

# Memorandum



**Date:** November 10, 2008

**To:** Honorable Chairman Bruno A. Barreiro  
and Members, Board of County Commissioners

GOE  
Agenda Item No. 2 (BBB)

**From:** George M. Burgess  
County Manager

A handwritten signature in black ink, appearing to read "G. Burgess", written over the printed name of the County Manager.

**Subject:** Ordinance Revising Zoning and other Land Development Regulations Pertaining  
to the Downtown Kendall Urban Center District

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## **Recommendation**

It is recommended that the Board of County Commissioners adopt the attached ordinance updating the Downtown Kendall Urban Center District Regulations.

## **Scope**

This ordinance impacts the Downtown Kendall area in Commission District 7.

## **Fiscal Impact/Funding Source**

The proposed ordinance creates no fiscal impact on Miami-Dade County.

## **Track Record/Monitor**

Not applicable.

## **Background**

Ordinance 99-166 was adopted on December 16, 1999 and created article XXXIII(l) of the Code of Miami-Dade County – Downtown Kendall Urban Center District Regulations (DKUCD). This article contains zoning regulations applicable to the Downtown Kendall area. The purpose of this proposed ordinance is to revise certain regulatory criteria within this article to address district regulation compliance issues surfacing during the administrative site plan review process as well as to streamline some of the criteria in line with the Standard Urban Center District Regulations (Article XXXIII(K) of the Code) that govern all other urban center districts.

Section 1 of this ordinance revises the Definitions section of the DKUCD in order to clarify the definition of colonnades.

Section 2 of this ordinance revises the Zoning Hearing Review section to delete signage regulations from the list of criteria that cannot be varied.

Section 3 of this ordinance revises the Regulating Plans section in order to provide for changes resulting from the administrative site plan review approval process for projects in the area.

Section 4 of this ordinance amends the Development Parameters section by:

- Deleting the development parameters summary chart.

- Updating the placement diagrams for the Core Sub-District – A, B, C and D Streets; Center Sub-District – A, B, C, D, and E Streets; and Edge Sub-District – E Street.
- Revising the General Requirements sub-section by:
  1. Updating permitted uses by allowing outdoor bazaars on C streets and under certain conditions.
  2. Deleting the building placement priority criteria.
  3. Revising Lots and Building criteria in order to clarify the language for spacing, lofting/mezzanines, floorplates, glazing and transparency.
  4. Revising Street, Alleys and Paseos criteria in order to require that all streets be provided with curb, gutter and sidewalks on both sides.
  5. Revising Courtyard Gardens, Street and Garden Walls, Fences and Hedges criteria.
  6. Revising the Open Space criteria in order to clarify the requirement for private open spaces.
  7. Updating the Parking criteria in order to provide for mechanized parking.

Section 5 of this ordinance amends the Additional Parameters section by:

- Revising the Landscape sub-section in order to update minimum tree caliper requirements and add minimum overall height requirement.
- Revising the Signage sub-section in order to bring the signs into compliance with the Standard Urban Center District Regulations.



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Assistant County Manager



# MEMORANDUM

(Revised)

TO: Honorable Chairman Bruno A. Barreiro  
and Members, Board of County Commissioners

DATE: October 7, 2008

FROM:   
R. A. Cuevas, Jr.  
County Attorney

SUBJECT: Agenda Item No. 4(F)

Please note any items checked.

- "4-Day Rule" ("3-Day Rule" for committees) applicable if raised
- 6 weeks required between first reading and public hearing
- 4 weeks notification to municipal officials required prior to public hearing
- Decreases revenues or increases expenditures without balancing budget
- Budget required
- Statement of fiscal impact required
- Bid waiver requiring County Manager's written recommendation
- Ordinance creating a new board requires detailed County Manager's report for public hearing
- Housekeeping item (no policy decision required)
- No committee review

Approved \_\_\_\_\_ Mayor  
Veto \_\_\_\_\_  
Override \_\_\_\_\_

Agenda Item No. 4(F)

10-7-08

ORDINANCE NO. \_\_\_\_\_

ORDINANCE REVISING ZONING AND OTHER LAND DEVELOPMENT REGULATIONS PERTAINING TO THE DOWNTOWN KENDALL URBAN CENTER ZONING DISTRICT ("DKUCD"), AMENDING SECTIONS 33-284.56 THROUGH 33-284.63, CODE OF MIAMI-DADE COUNTY, FLORIDA, PROVIDING SEVERABILITY, INCLUSION IN THE CODE AND AN EFFECTIVE DATE

**BE IT ORDAINED BY THE BOARD OF COUNTY COMMISSIONERS OF MIAMI-DADE COUNTY, FLORIDA:**

**Section 1.** Section 33-284.56 of the Code of Miami-Dade County, Florida is hereby amended as follows<sup>1</sup>:

**Sec 33-284.56. Definitions.**

Terms used throughout this Article shall take their commonly accepted meaning unless otherwise defined in Chapter 33 or Chapter 28 of the Code of Miami-Dade County. Terms requiring interpretation specific to this ordinance are as follows:

\* \* \*

(8) Colonnade: A roofed structure, extending over the sidewalk, open to the street [~~except for supporting~~] >>that is supported by<< columns or piers.

\* \* \*

<sup>1</sup> Words stricken through and/or ~~[[double bracketed]]~~ shall be deleted. Words underscored and/or >>double arrowed<< constitute the amendment proposed. Remaining provisions are now in effect and remain unchanged.

**Section 2.** Section 33-284.58 of the Code of Miami-Dade County, Florida is hereby amended as follows:

**Sec. 33-284.58. Zoning Hearing Review.**

Applications for zoning hearing which seek relief from the regulations contained within this Article shall be in accordance with the procedures set forth in Article XXXVI of this Code. In no event, however, shall the following provisions of this Article be varied:

Building height restrictions.

Habitable space regulations.

Colonnade regulations.

[[~~Signage regulations.~~]]

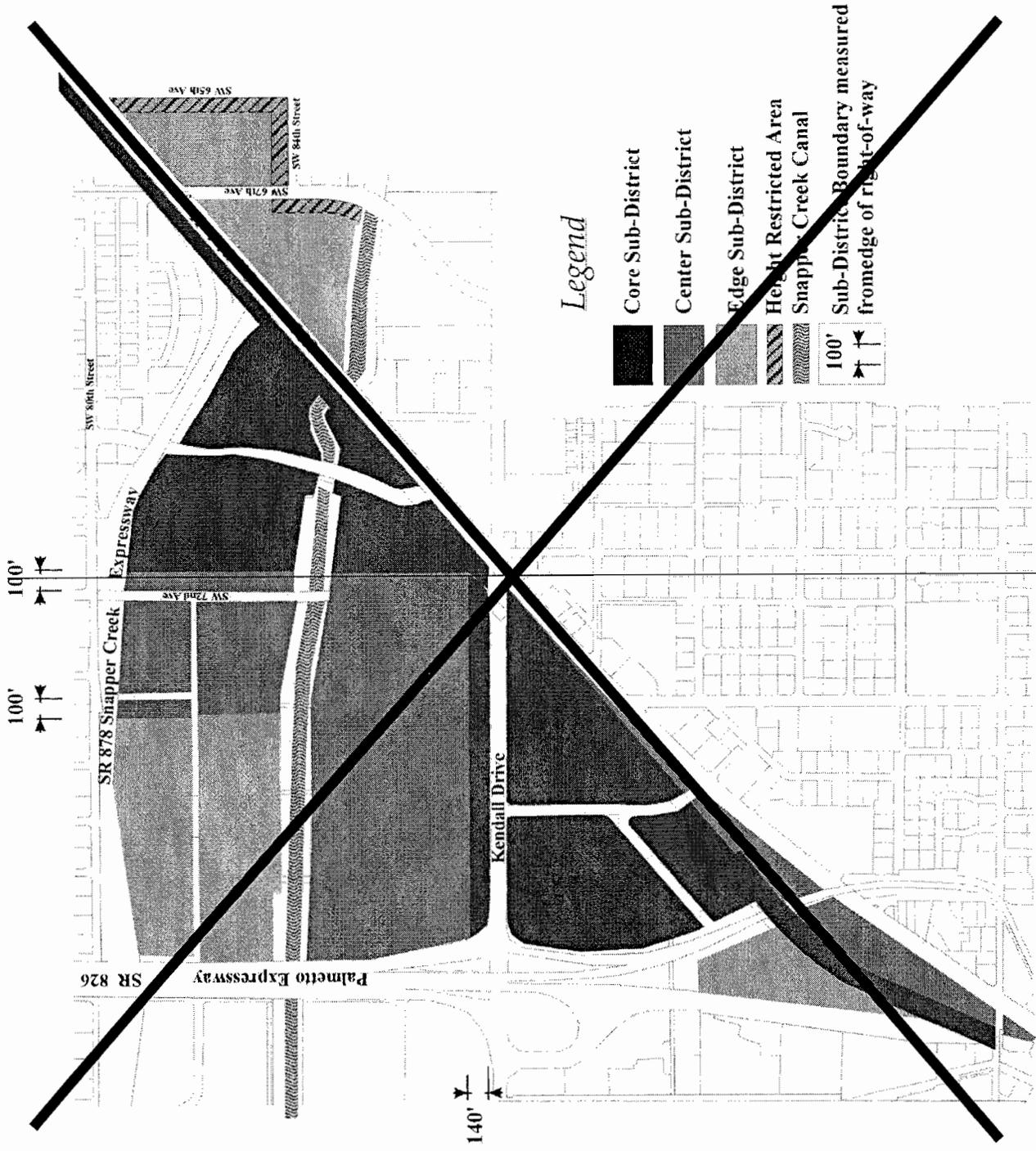
Landscape regulations for streets, squares, and medians.

**Section 3.** Section 33-284.61 of the Code of Miami-Dade County, Florida is hereby amended as follows:

**Sec 33-284.61. Regulating Plans.**

(A) Sub-District Plan.

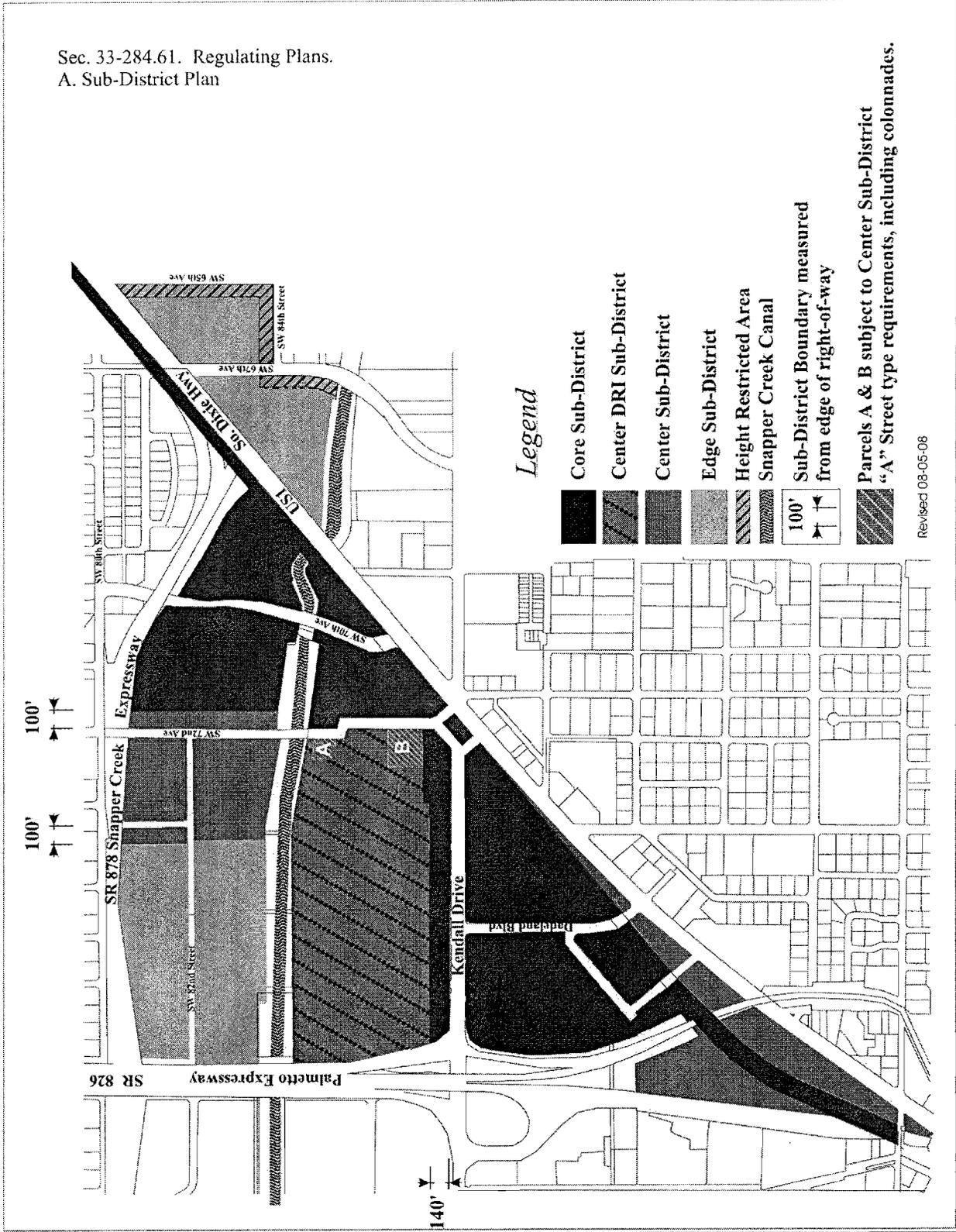
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II

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Sec. 33-284.61. Regulating Plans.  
A. Sub-District Plan



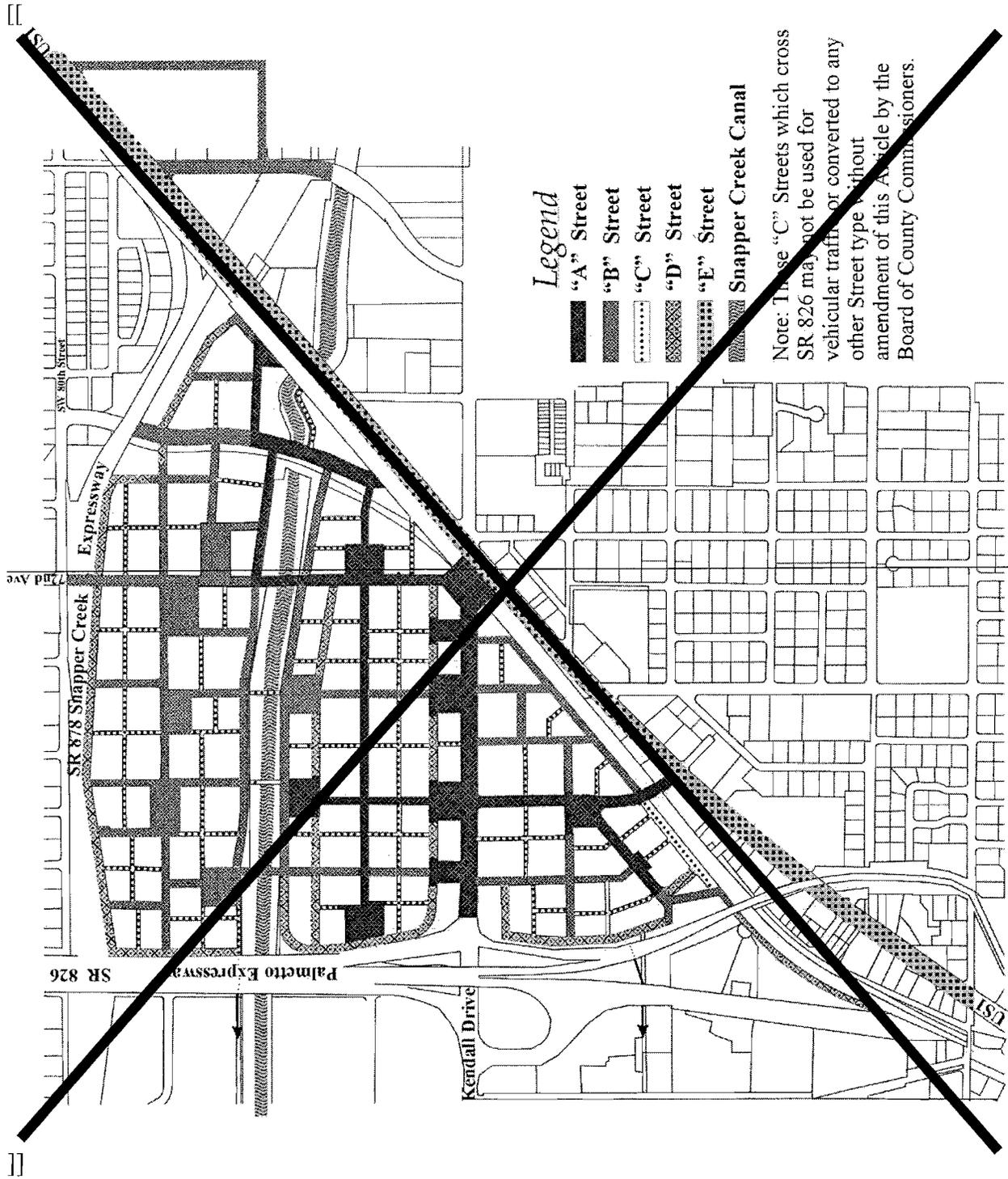
*Legend*

-  Core Sub-District
-  Center DRI Sub-District
-  Center Sub-District
-  Edge Sub-District
-  Height Restricted Area
-  Snapper Creek Canal
-  100'
-  Sub-District Boundary measured from edge of right-of-way
-  Parcels A & B subject to Center Sub-District "A" Street type requirements, including colonnades.

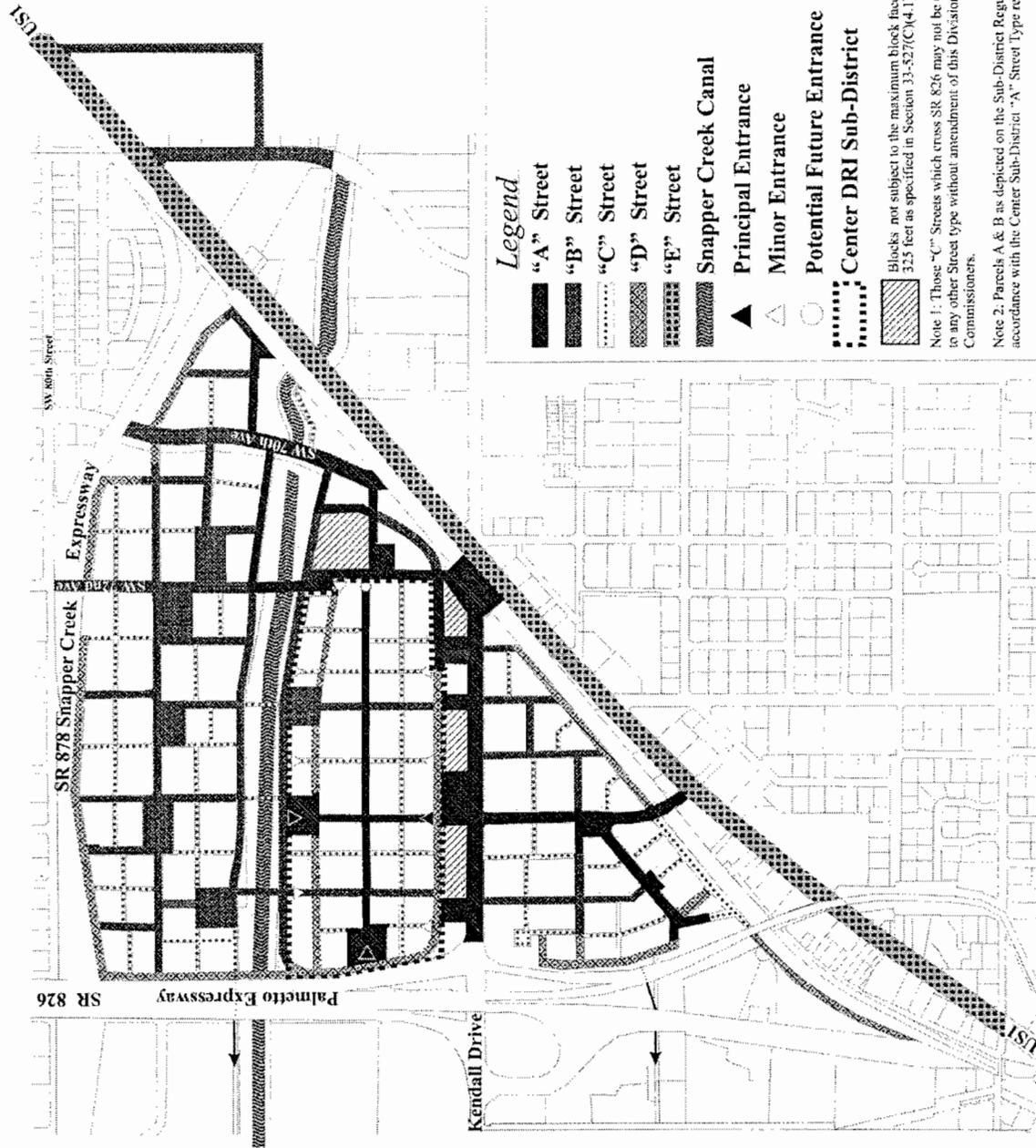
Revised 08-05-08

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(B) Street Frontage Plan.



B. Street Frontage Plan



*Legend*

- "A" Street
- - - "B" Street
- · · "C" Street
- ▨ "D" Street
- ▩ "E" Street
- ▧ Snapper Creek Canal
- ▲ Principal Entrance
- △ Minor Entrance
- Potential Future Entrance
- ▤ Center DRI Sub-District

Blocks not subject to the maximum block face length of 325 feet as specified in Section 33-527(C)(4)(c).

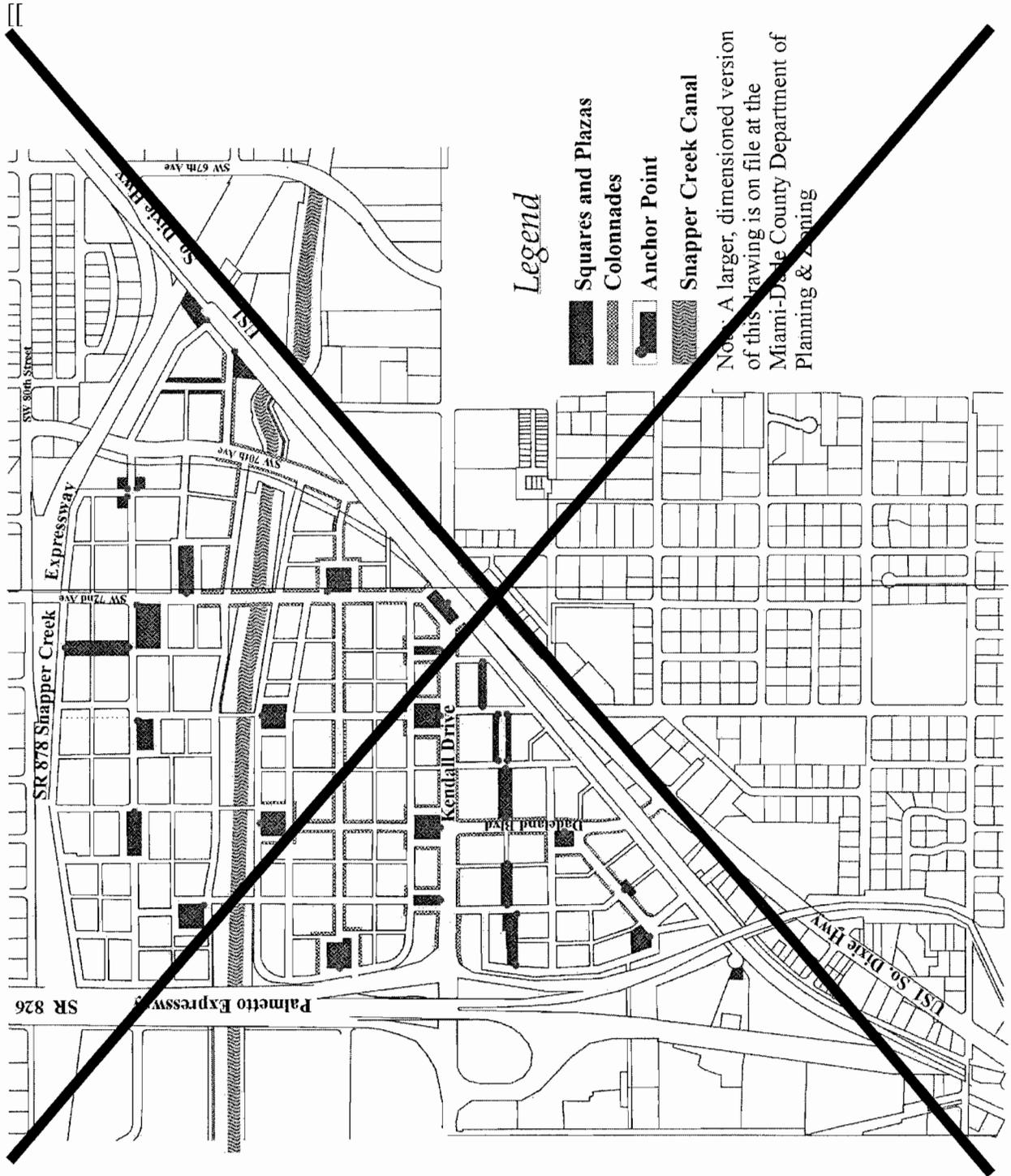
Note 1: Those "C" Streets which cross SR 826 may not be used for vehicular traffic or converted to any other Street type without amendment of this Division by the Board of County Commissioners.

Note 2: Parcels A & B as depicted on the Sub-District Regulating Plan shall be developed in accordance with the Center Sub-District "A" Street Type requirements, including colonnades.

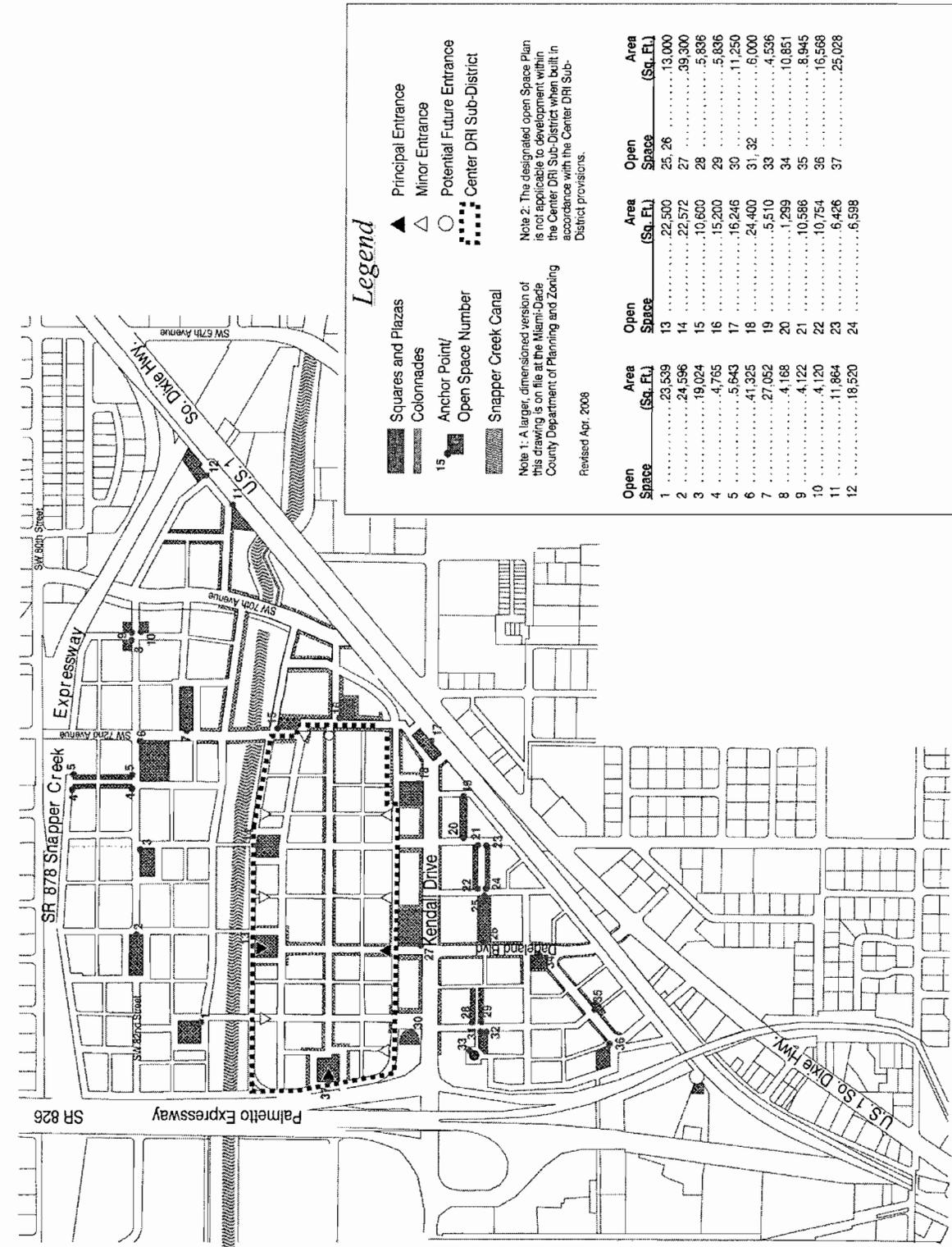
Note 3: The Street Frontage Regulating Plan is not applicable to development within the Center DRI Sub-District when built in accordance with the Center DRI Sub-District provisions, except as noted above in Note 2.

Adopted: 09-12-02  
Revised: 08-28-08

(C) Designated Open Space Plan.



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**Legend**

-  Squares and Plazas
-  Colonnades
-  Anchor Point/
-  Open Space Number
-  Snapper Creek Canal
-  Principal Entrance
-  Minor Entrance
-  Potential Future Entrance
-  Center DRI Sub-District

Note 1: A larger, dimensioned version of this drawing is on file at the Miami-Dade County Department of Planning and Zoning  
Revised Apr. 2008

Note 2: The designated open space plan is not applicable to development within the Center DRI Sub-District when built in accordance with the Center DRI Sub-District provisions.

Open Space	Area (Sq. Ft.)	Open Space	Area (Sq. Ft.)	Open Space	Area (Sq. Ft.)
1	23,539	13	22,500	25, 26	13,000
2	24,596	14	22,572	27	39,300
3	19,024	15	10,600	28	5,836
4	4,765	16	15,200	29	5,836
5	5,643	17	16,246	30	11,250
6	41,325	18	24,400	31, 32	6,000
7	27,052	19	5,510	33	4,536
8	4,168	20	1,299	34	10,851
9	4,122	21	10,586	35	8,945
10	4,120	22	10,754	36	16,568
11	11,864	23	6,428	37	25,028
12	18,520	24	6,598		

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**Section 4.** Section 33-284.62 of the Code of Miami-Dade County, Florida is

hereby amended as follows:

**Sec. 33-284.62. Development Parameters.**

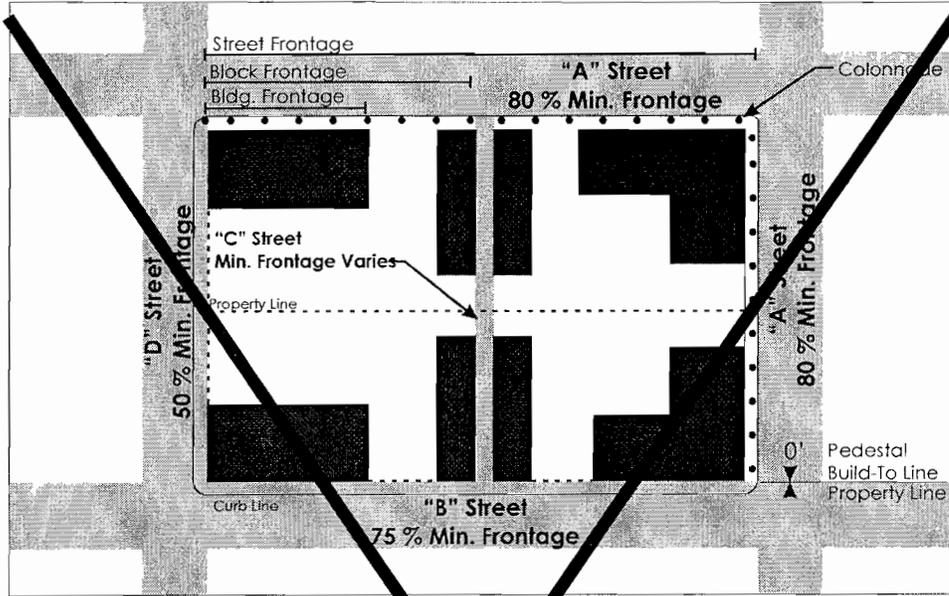
[[~~(A) Summary Chart~~ The chart below summarizes the parameters of the thirteen (13) zone and frontage type situations.

	Building Element Height		Build-To Line / Setback	Interior Side & Rear Setbacks	Building Frontage (Minimum Length) <sup>3</sup>	Habitable Space (Minimum Depth)	Driveway Access
	Minimum	Maximum					
<b>CORE SUB-DISTRICT</b>							
<b>A Street</b>							
Pedestal	4 stories	7 stories	0 ft. Build-To Line	0 ft.	80%	20 ft. min for 1st seven stories	restricted <sup>1</sup>
Tower	n/a	13 stories	20 ft. min.	30 ft. min.	n/a		
Penthouse <sup>2</sup>	n/a	5 stories	20 ft. min.	30 ft. min.	n/a		
<b>B Street</b>							
Pedestal	3 stories	7 stories	0 ft. Build-To Line	0 ft.	75%	20 ft. min for 1st seven stories	33 ft. maximum width, 60 ft. min. habitable space between openings
Tower	n/a	13 stories	20 ft. min.	30 ft. min.	n/a		
Penthouse <sup>2</sup>	n/a	5 stories	20 ft. min.	30 ft. min.	n/a		
<b>C Street</b>							
Pedestal	1 story	7 stories	0 ft. Build-To Line	0 ft.	75%	20 ft. min for 1st two stories	33 ft. maximum width, 60 ft. min. habitable space between openings
Tower	n/a	13 stories	n/a	30 ft. min.	n/a		
Penthouse <sup>2</sup>	n/a	5 stories	n/a	30 ft. min.	n/a		
<b>D Street</b>							
Pedestal	1 story	7 stories	0 ft. Build-To Line	0 ft.	50%	No Limitations	No Limitations
Tower	n/a	13 stories	20 ft. min.	30 ft. min.	n/a		
Penthouse <sup>2</sup>	n/a	5 stories	20 ft. min.	30 ft. min.	n/a		
<b>CENTER SUB-DISTRICT</b>							
<b>A Street</b>							
Pedestal	3 stories	5 stories	0 ft. Build-To Line	0 ft.	80%	20 ft. min for 1st five stories	restricted <sup>1</sup>
Tower	n/a	3 stories	20 ft. min.	30 ft. min.	n/a		
Penthouse <sup>2</sup>	n/a	2 stories	20 ft. min.	30 ft. min.	n/a		
<b>B Street</b>							
Pedestal	3 stories	5 stories	0 ft. Build-To Line	0 ft.	75%	20 ft. min for 1st five stories	33 ft. maximum width, 60 ft. min. habitable space between openings
Tower	n/a	3 stories	20 ft. min.	30 ft. min.	n/a		
Penthouse <sup>2</sup>	n/a	2 stories	20 ft. min.	30 ft. min.	n/a		
<b>C Street</b>							
Pedestal	1 story	5 stories	0 ft. Build-To Line	0 ft.	50%	20 ft. min for 1st two stories	33 ft. maximum width, 60 ft. min. habitable space between openings
Tower	n/a	3 stories	0 ft.	30 ft. min.	n/a		
Penthouse <sup>2</sup>	n/a	2 stories	0 ft.	30 ft. min.	n/a		
<b>D Street</b>							
Pedestal	1 story	5 stories	0 ft. Build-To Line	0 ft.	50%	No Limitations	No Limitations
Tower	n/a	3 stories	30 ft.	30 ft. min.	n/a		
Penthouse <sup>2</sup>	n/a	2 stories	30 ft.	30 ft. min.	n/a		
<b>E Street</b>							
Pedestal	1 story	6 stories	0 ft.	20 ft.	50%	20 ft. min for 1st story	33 ft. maximum width, 70 ft. min. habitable space between openings
Tower	n/a	2 story	20 ft. min.	30 ft. min.	n/a		
<b>EDGE SUB-DISTRICT</b>							
<b>B Street</b>							
Pedestal	2 stories	5 stories	10 ft.	8ft. <sup>4</sup>	75%	20 ft. min for 1st five stories	33 ft. maximum width, 60 ft. min. habitable space between openings
Tower	n/a	2 stories	18 ft. min.	14ft. min.	n/a		
<b>C Street</b>							
Pedestal	1 story	5 stories	0 ft. Build-To Line	0 ft.	25%	20 ft. min for 1st two stories	33 ft. maximum width, 60 ft. min. habitable space between openings
Tower	n/a	2 stories	0 ft.	30ft. min.	n/a		
<b>D Street</b>							
Pedestal	2 stories	5 stories	10 ft.	8ft. <sup>4</sup>	50%	No Limitations	No Limitations
Tower	n/a	2 stories	18 ft. min.	14ft. min.	n/a		
<b>E Street</b>							
Pedestal	1 story	6 stories	75 ft.	20 ft.	50%	20ft. min for 1st story	33 ft. maximum width, 70 ft. min. habitable space between openings
Tower	n/a	2 stories	95 ft. min.	30 ft. min.	n/a		
<b>Notes:</b>							
<sup>1</sup> permitted only if lot has no subordinate Street access. When permitted, entry may be up to 33 ft. wide, with a minimum interval of 60 ft. of Habitable Space between each entry.							
<sup>2</sup> Penthouse must occur above the tower level and is limited to 50% of the largest tower floorplate below.							
<sup>3</sup> Minimum frontage buildout of a block or lot, whichever is smallest							
<sup>4</sup> Each story above the second story must be set back an additional two (2) feet.							

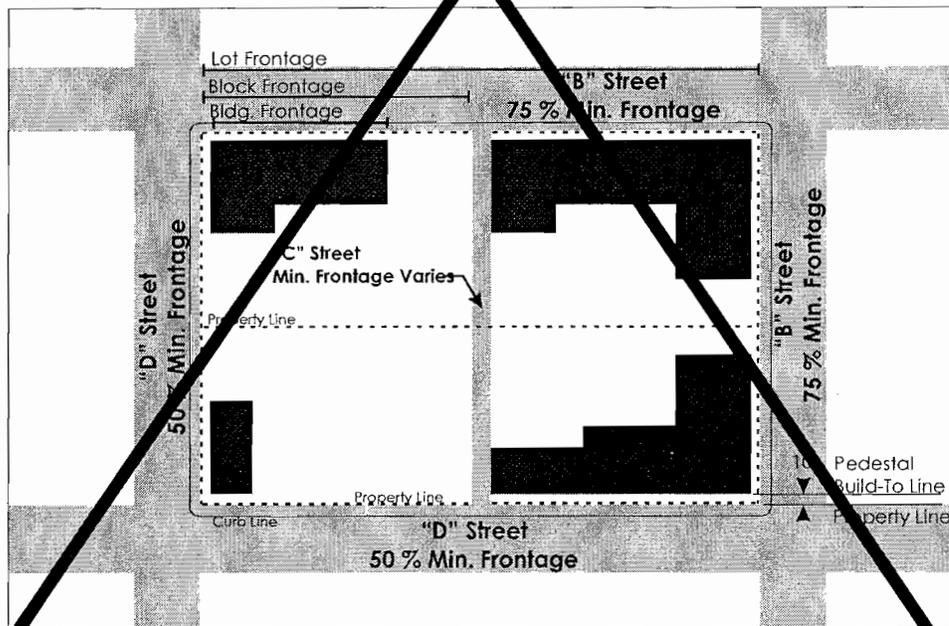
[[B]]>>(A)<< Placement Diagrams.

The following diagrams in this section identify design parameters specifically for the thirteen (13) Sub-district and frontage type situations.

[[



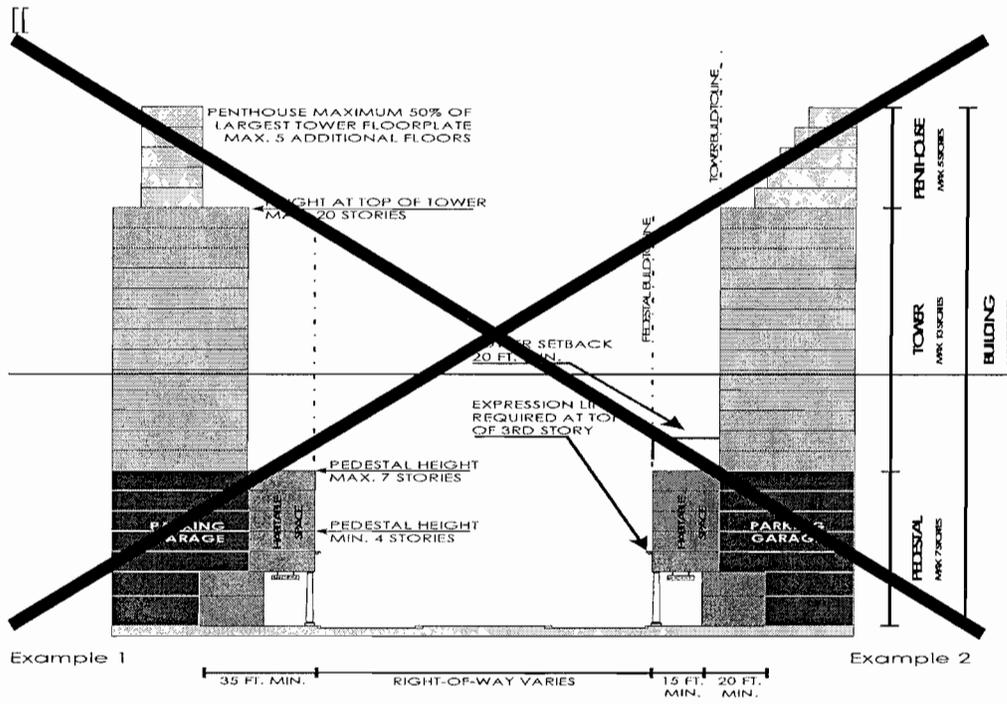
Core / Center Sub-District Placement Diagram



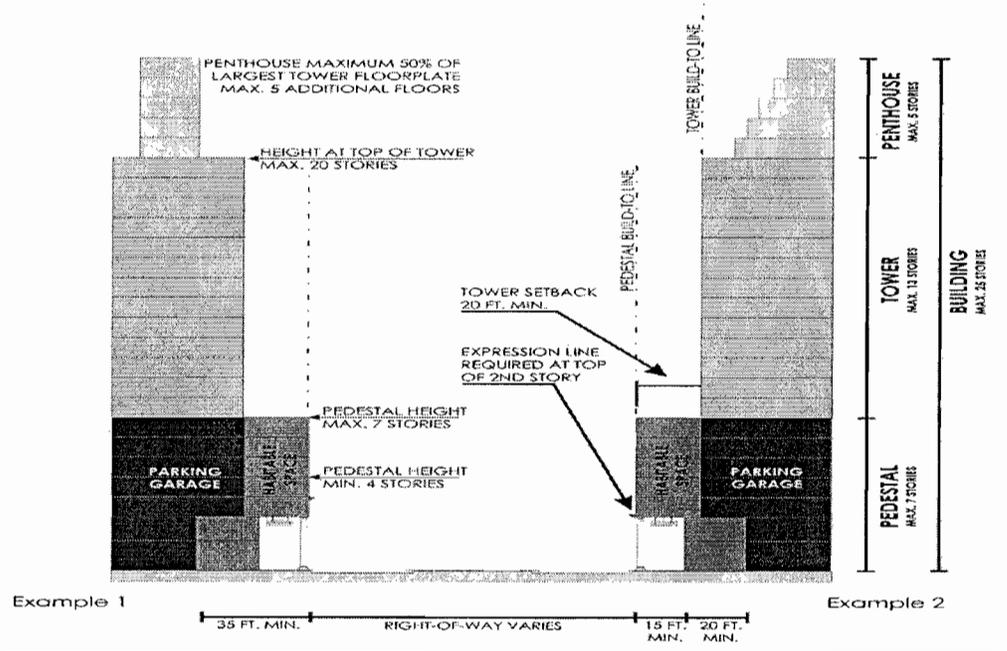
Edge Sub-District Placement Diagram

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Core Sub-District – “A” Street



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**Building Placement**

**Front** – Zero (0) foot build-to line for pedestal / twenty (20) foot minimum setback for tower and penthouse.

**Interior Side/Rear** – Zero (0) foot ~~setback~~ >>minimum<< setback for pedestal ~~setback for~~ tower and penthouse.

**Frontage Length** – Minimum eighty (80) percent of lot width. Free standing colonnades shall not count for frontage length.

**Streetwalls**

**Colonnade** – Two (2) story high for full required frontage at build-to line. Fifteen (15) foot minimum depth. Colonnade depth shall not exceed colonnade height. Exterior of colonnade shall be no closer than two (2) feet from curb line. ~~[[Interior wall of colonnade shall be a minimum of sixty (60) percent clear glazed area except for jewelry stores, which may be a minimum of twenty (20) percent, and for residential uses which may be a minimum of forty (40) percent.]]~~

**Vehicular Entries** – Not permitted, except when not accessible from a street of lesser hierarchy. If other frontages do not permit vehicular entries, the maximum vehicular entry width permitted shall be thirty-three (33) feet.

**Habitable Space** – Twenty (20) foot minimum depth for full height and length of pedestal.

**Expression Line** – Required at the top of the ~~[[third]]~~ >>second<< story.

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**Core Sub-District – “B” Street**

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**Building Placement**

**Front** – Zero (0) foot build-to line for pedestal / twenty (20) foot minimum setback for tower and penthouse.

**Interior Side / Rear** – Zero (0) foot ~~setback~~ >>minimum<< setback for pedestal ~~setback for~~ tower and penthouse.

**Frontage Length** – Minimum seventy-five (75) percent of lot width.

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**Core Sub-District – “C” Street**

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\* \* \*

**Building Placement**

**Spacing** – A minimum clear width of twelve (12) feet is required between buildings. For vehicular access, a minimum clear width of sixteen (16) feet is required. ~~[[For a minimum fifty (50) percent of its length, C street width shall be at a minimum thirty three (33) percent of its abutting building height. If a C street abuts a property line, there shall be a twelve (12) foot minimum setback for the pedestal and thirty (30) foot minimum setback for the tower.]]~~

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**Interior Side / Rear** – ~~[[Thirty (30)]]~~ >>Zero (0)<< foot minimum setback for >>pedestal,<< tower and penthouse.

**Overhead Cover** – A maximum of twenty-five (25) percent of the street may be covered above the first floor with structures connecting buildings including roofs, upper story terraces, pedestrian bridges, or automobile bridges between parking garages.

**Frontage Length** – Minimum seventy-five (75) percent of lot width.

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**Core Sub-District – “D” Street**

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**Building Placement**

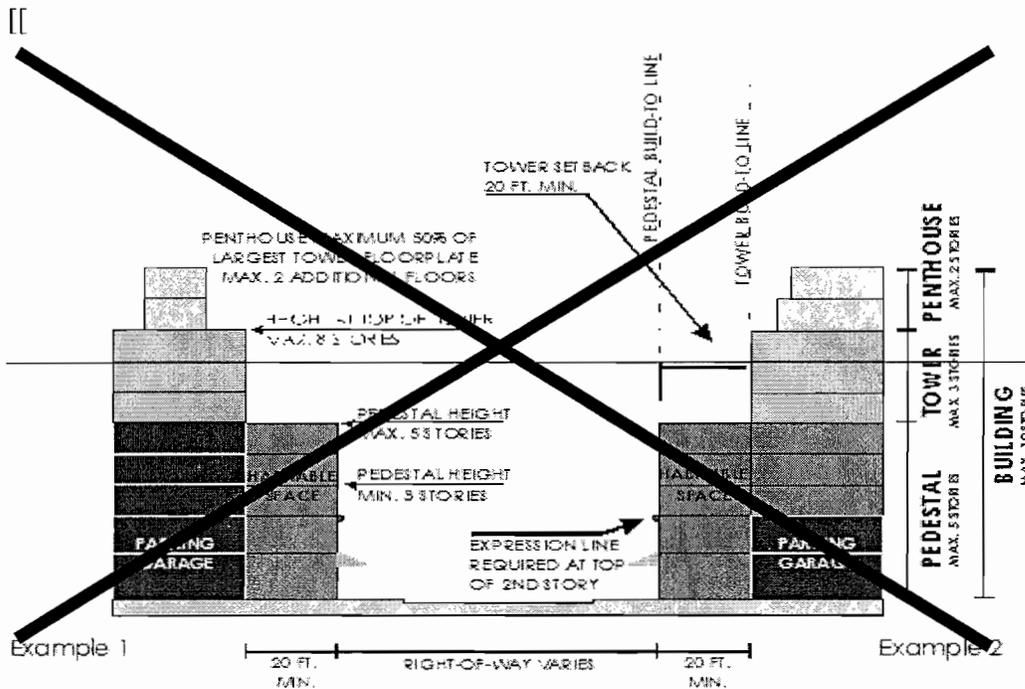
**Front** – Zero (0) foot build-to line for pedestal / twenty (20) foot minimum setback for tower and penthouse.

**Interior Side/Rear** – Zero (0) foot >>minimum<< setback for pedestal>>,<< ~~[[thirty (30) foot minimum setback for]]~~ tower and penthouse.

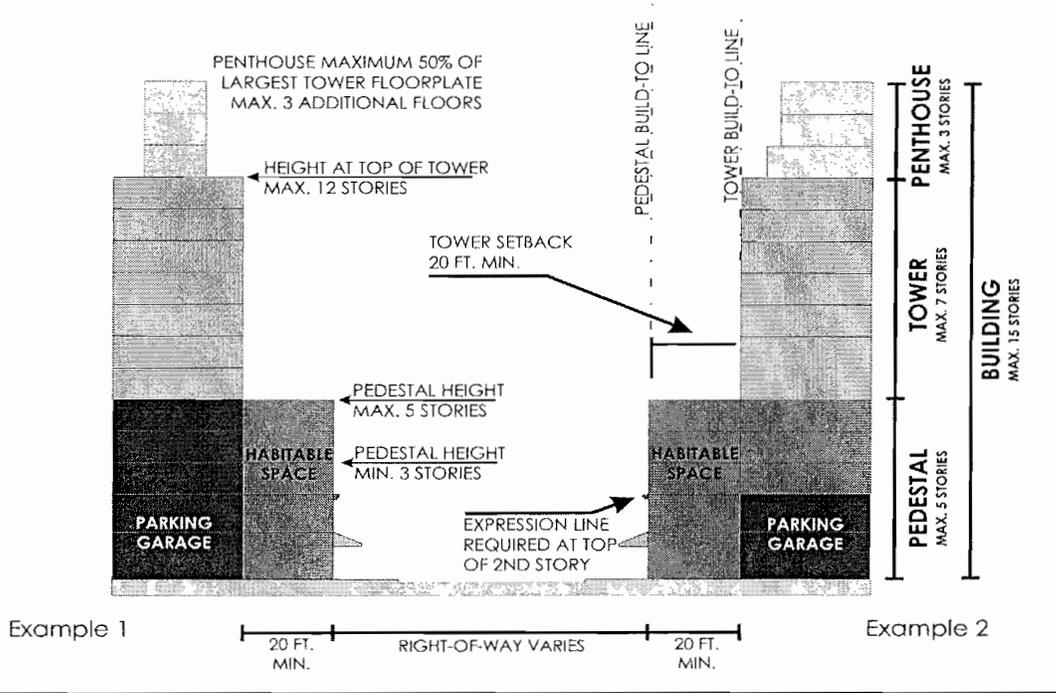
**Frontage Length** – Minimum fifty (50) percent of lot width.

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**Center Sub-District – “A” Street**



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**Building Height**

**Pedestal** – At street front three (3) stories minimum / five (5) stories maximum.  
**Tower** – ~~[[Three (3)]]~~ >> Seven (7) << stories maximum.  
**Penthouse** – ~~[[Two (2)]]~~ >> Three (3) << stories maximum. Floorplate maximum is fifty (50) percent of largest tower floorplate below.

**Building Placement**

**Front** – Zero (0) foot build-to line for pedestal / twenty (20) foot minimum setback for tower and penthouse.  
**Interior Side/Rear** – Zero (0) foot >> minimum << setback for pedestal >> <sub>2</sub> << ~~[[/thirty (30) foot minimum setback for]]~~ tower and penthouse.  
**Frontage Length** – Minimum eighty (80) percent of lot width. Free standing colonnades shall not count for frontage length.

**Streetwalls**

**Colonnade** – Two (2) story high for full required frontage at build-to line. Fifteen (15) foot minimum depth. Colonnade depth shall not exceed colonnade height. Exterior of colonnade shall be no closer than two (2) feet from curb line. ~~[[Interior wall of colonnade shall be a minimum of sixty (60) percent clear glazed area except for jewelry stores, which may be a minimum of twenty (20) percent, and for residential uses which may be a minimum of forty (40) percent.]]~~  
**Vehicular Entries** – Not permitted, except when not accessible from a street of lesser hierarchy. If other frontages do not permit vehicular entries, the maximum vehicular entry width permitted shall be thirty-three (33) feet.  
**Habitable Space** – Twenty (20) foot minimum depth for full height and length of pedestal.

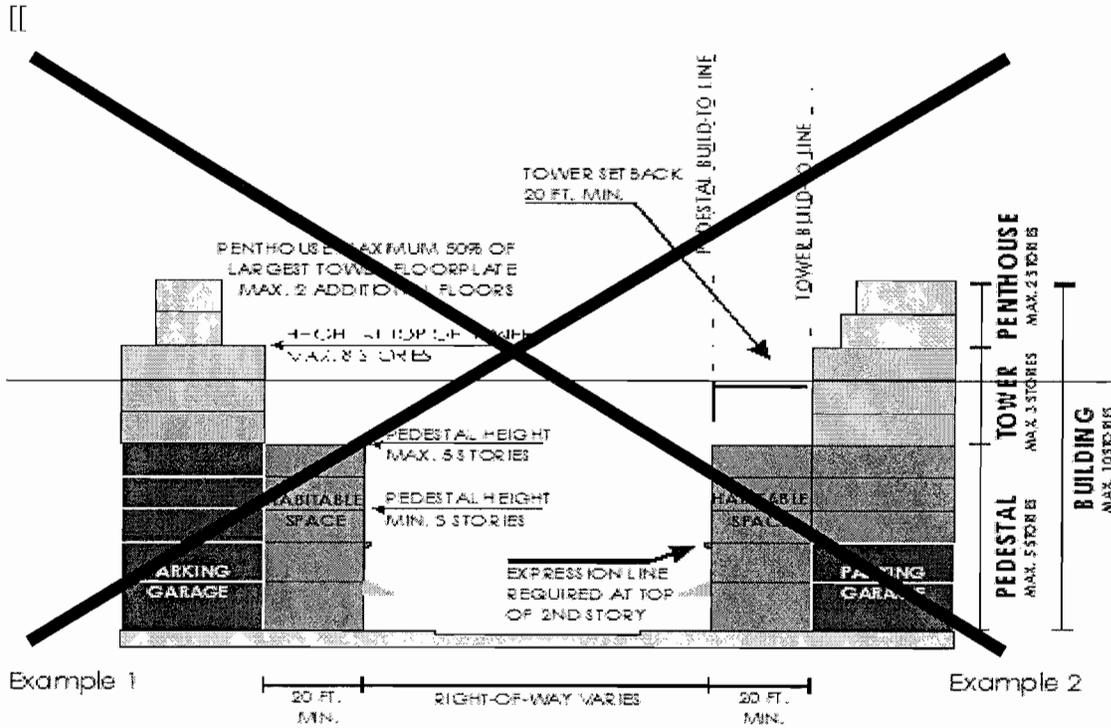
**Expression Line** – Required at the top of the ~~third~~ >>second<< story.

**Off-Street Parking**

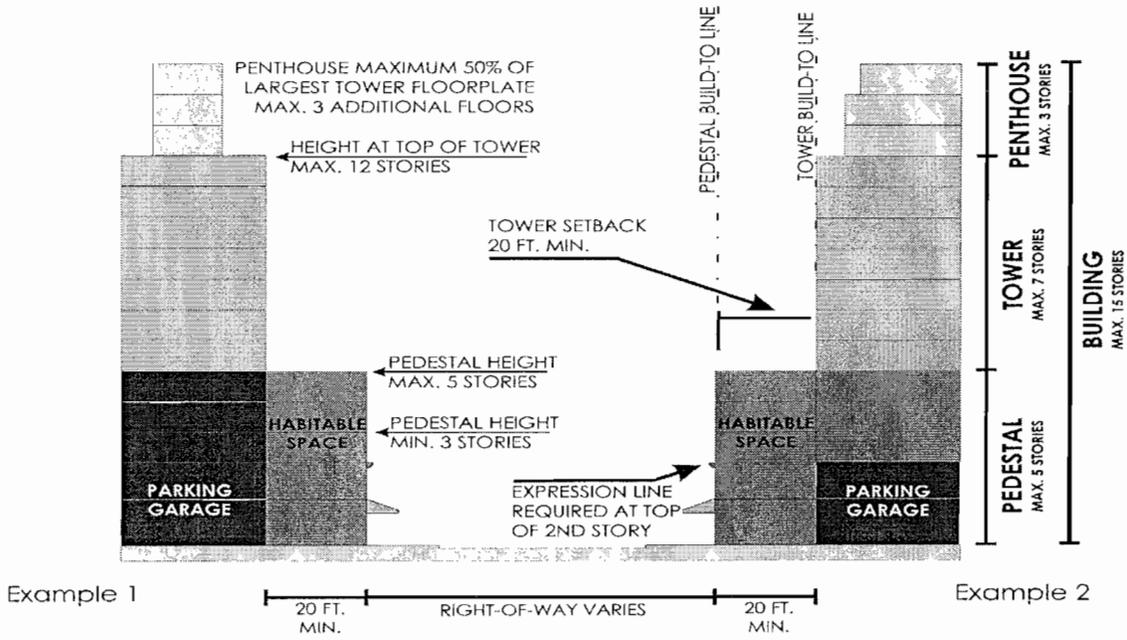
**Colonnade Levels** – Twenty (20) foot minimum setback from interior wall of colonnade.

**Other Levels** – Twenty (20) foot minimum setback from pedestal's build-to line.

**Center Sub-District – “B” Street**



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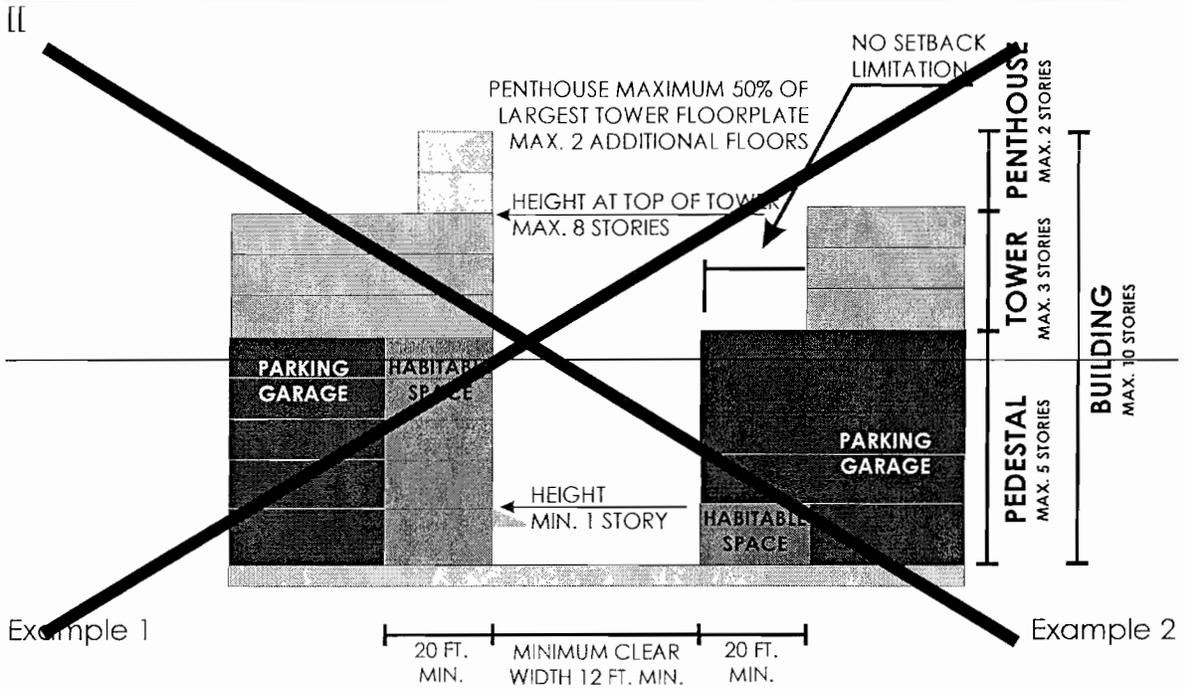
**Building Height** Pedestal – At street front three (3) stories minimum / five (5) stories maximum.  
 Tower – ~~[[Three (3)]]~~ >> Seven (7) << stories maximum.  
 Penthouse – ~~[[Two (2)]]~~ >> Three (3) << stories maximum. Floorplate maximum is fifty (50) percent of largest tower floorplate below.

**Building Placement**  
**Front** – Zero (0) foot build-to line for pedestal / twenty (20) foot minimum setback for tower and penthouse.  
**Interior Side/Rear** – Zero (0) foot >>minimum<< setback for pedestal>> << [[/thirty (30) foot minimum setback for]] tower and penthouse.  
**Frontage Length** – Minimum seventy-five (75) percent of lot width.

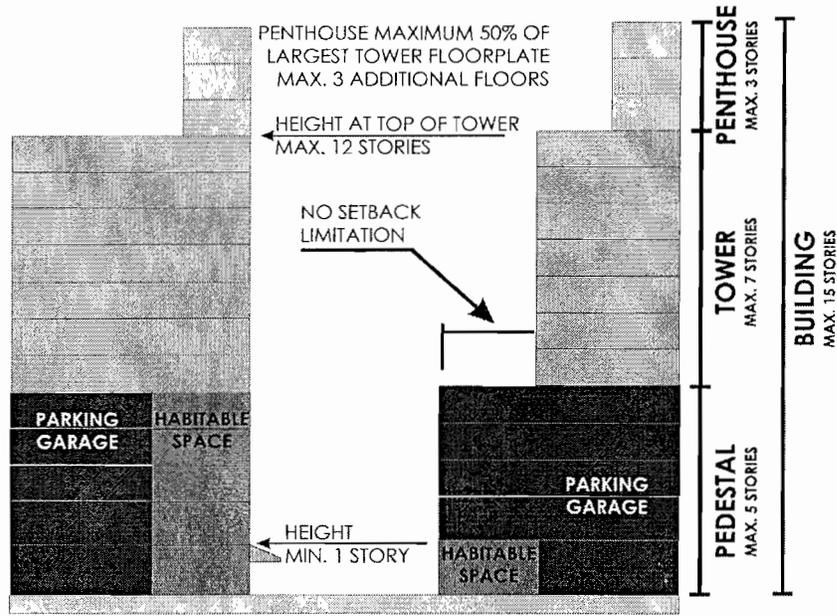
**Streetwalls**  
**Vehicular Entries** – Allowed. Each entry may be up to thirty-three (33) feet wide, with a minimum interval of sixty (60) feet of habitable space between each vehicular entry along frontage.  
**Habitable Space** – Twenty (20) foot minimum depth for full height and length of pedestal.  
**Expression Line** – Required at the top of the second story.

**Off-Street Parking All Levels** – Twenty (20) foot minimum setback from pedestal’s build-to line.

Center Sub-District – “C” Street



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**Building Height** Pedestal – At street front one (1) story minimum/ five (5) stories maximum .  
Tower – ~~Three (3)~~ Seven (7) stories maximum.

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**Penthouse** – ~~[[Two (2)]]~~ >> Three (3) << stories maximum. Floorplate maximum is fifty (50) percent of largest tower floorplate below.

**Building Placement**

**Spacing** – A minimum clear width of twelve (12) feet is required between buildings. For vehicular access, a minimum clear width of sixteen (16) feet is required. ~~[[For a minimum fifty (50) percent of its length, C street width shall be at a minimum thirty three (33) percent of its abutting building height. If a C street abuts a property line, there shall be a twelve (12) foot minimum setback for the pedestal and thirty (30) foot minimum setback for the tower and penthouse.]]~~

**Interior Side / Rear** – ~~[[Thirty (30)]]~~ >> Zero (0) << foot minimum setback for >>pedestal,<< tower and penthouse.

**Overhead Cover** – A maximum of twenty-five (25) percent of the street may be covered above the first floor with structures connecting buildings including roofs, upper story terraces, pedestrians bridges, or automobile bridges between parking garages.

**Frontage Length** – Minimum fifty (50) percent of lot width.

**Streetwalls**

**Vehicular Entries** – allowed. Each entry may be up to thirty-three (33) feet wide, with a minimum interval of sixty (60) feet of habitable space between each vehicular entry along frontage.

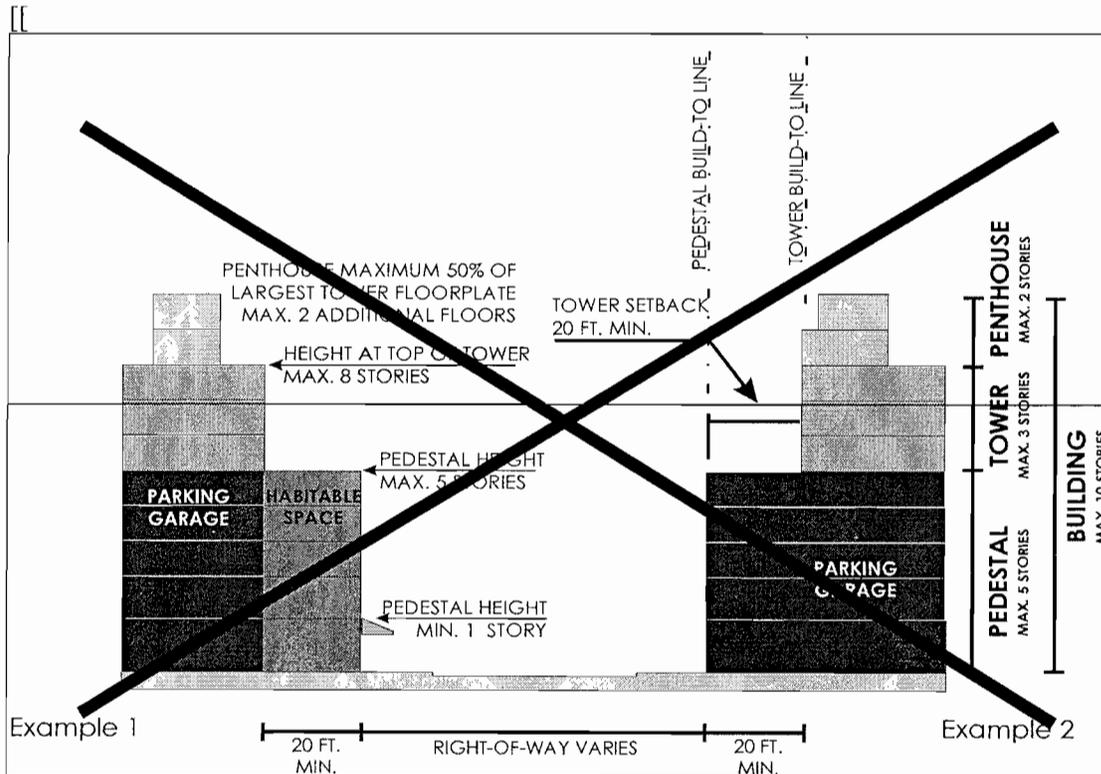
**Habitable Space** – Twenty (20) foot minimum depth for first story and full length of pedestal.

**Expression Line** – None required.

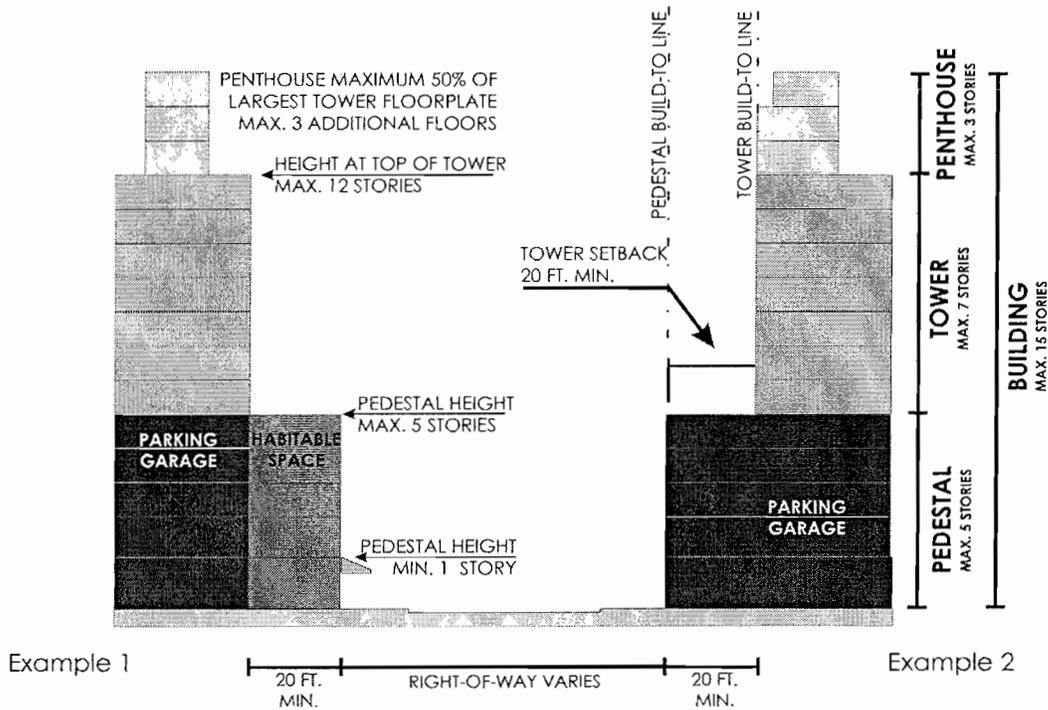
**Off-Street Parking Street Level** – Twenty (20) foot minimum setback from pedestal’s build-to line.

**Other Levels** – No setback required from pedestal’s build-to line.

**Center Sub-District – “D” Street**



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**Building Height**  
**Pedestal** – At street front one (1) story minimum / five (5) stories maximum.  
**Tower** – ~~[[Three (3)]]~~ >> Seven (7) << stories maximum.  
**Penthouse** – ~~[[Two (2)]]~~ >> Three (3) << stories ~~[[additional]]~~ maximum. Floorplate maximum is fifty (50) percent of largest tower floorplate below.

**Building Placement**  
**Front** – Zero (0) foot build-to line for pedestal / twenty (20) foot minimum setback for tower and penthouse.  
**Interior Side/Rear** – Zero (0) foot >> minimum << setback for pedestal >> << ~~[[/thirty (30) foot minimum setback for]]~~ tower and penthouse.  
**Frontage Length** – Minimum fifty (50) percent of lot width.

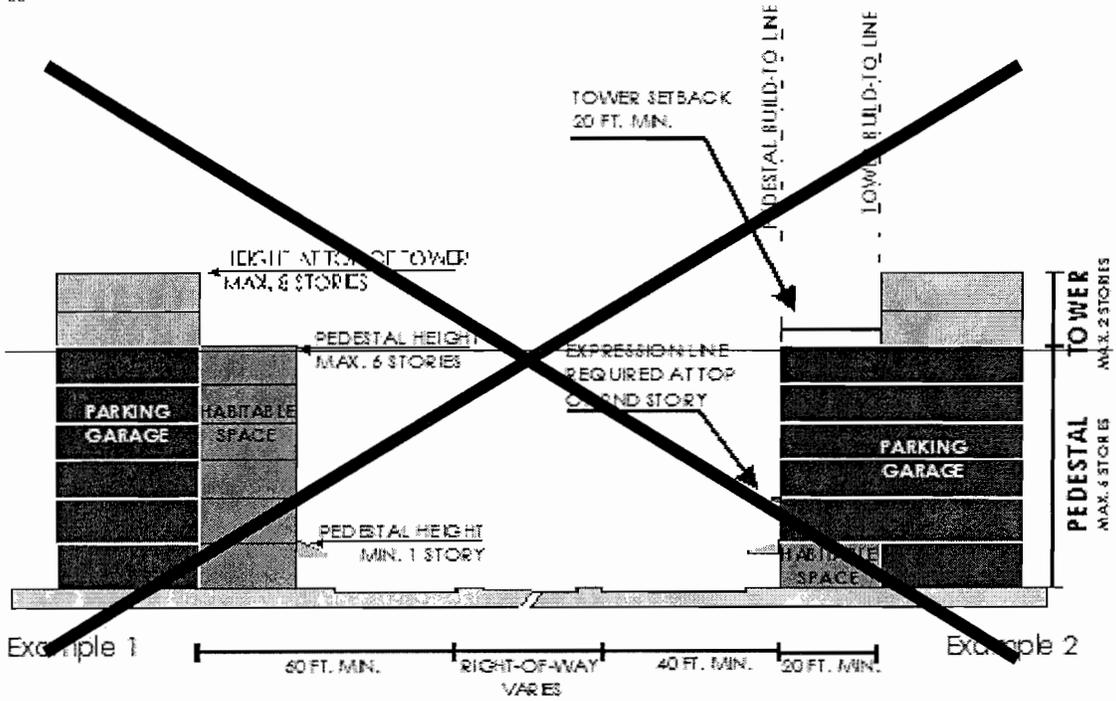
**Streetwalls**  
**Vehicular Entries** – Vehicular entries and utility entries are permitted.  
**Habitable Space** – No limitations.  
**Expression Line** – None required.

**Off-Street Parking**  
**Street Level** – Twenty (20) foot minimum setback from pedestal’s build-to line.  
**Other Levels** – No setback required from pedestal’s build-to line.

\* \* \*

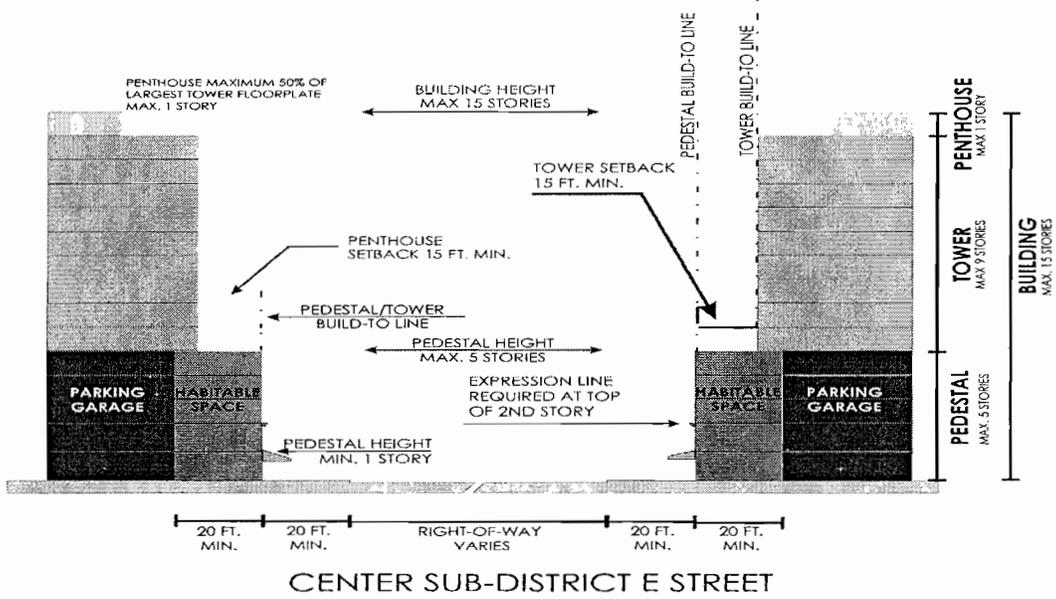
Center Sub-District – “E” Street

[[



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**Building Height**     **Pedestal** – At street front one (1) story minimum / ~~[[six (6)]]~~ >>five (5)<< stories maximum.  
**Tower** – ~~[[Two (2)]]~~ >>Nine (9)<< stories maximum.  
>>Penthouse – One (1) Story.<<

**Building Placement >>- US 1<<**

**Front** – Build-to line ~~[[forty (40)]]~~ >>twenty (20)<< feet from right-of way for pedestal/~~[[sixty (60) foot]]~~ >>thirty-five (35) feet<< minimum setback from right-of-way for tower >>and penthouse<<.

**Interior Side / Rear** – ~~[[Twenty (20)]]~~ >>Zero (0)<< foot >>minimum<< setback for pedestal ~~[[/ thirty (30) foot minimum setback for]]~~ >>\_1<< tower >>and penthouse.

**Overhead Cover** – At intersections of E and A Streets, a maximum of fifty (50) percent of the A Street may be covered above the second story with habitable space or structures connecting buildings, including roofs, upper-story terraces, pedestrian bridges, or automobile bridges between parking garages.<<

**Frontage Length** – Minimum fifty (50) percent of lot width.

>>Parameter – The front setback shall be treated as a plaza per definition provided herein.

**Building Placement - Old Dixie Highway, SW 95 Street, SW 98 Street, and South Datran Drive**

**Front** – Zero (0) foot build-to line for pedestal/fifteen (15) feet minimum setback for tower and penthouse.

**Interior Side / Rear** – Zero (0) foot minimum setback for pedestal, tower and penthouse.

**Frontage Length** – Minimum fifty (50) percent of lot width.<<

**Streetwalls**

**Vehicular Entries** – Allowed. Each entry may be up to thirty-three (33) feet wide, with a minimum interval of seventy (70) feet between each vehicular entry along frontage.

**Habitable Space** – Twenty (20) foot depth minimum for first story and entire length of pedestal.

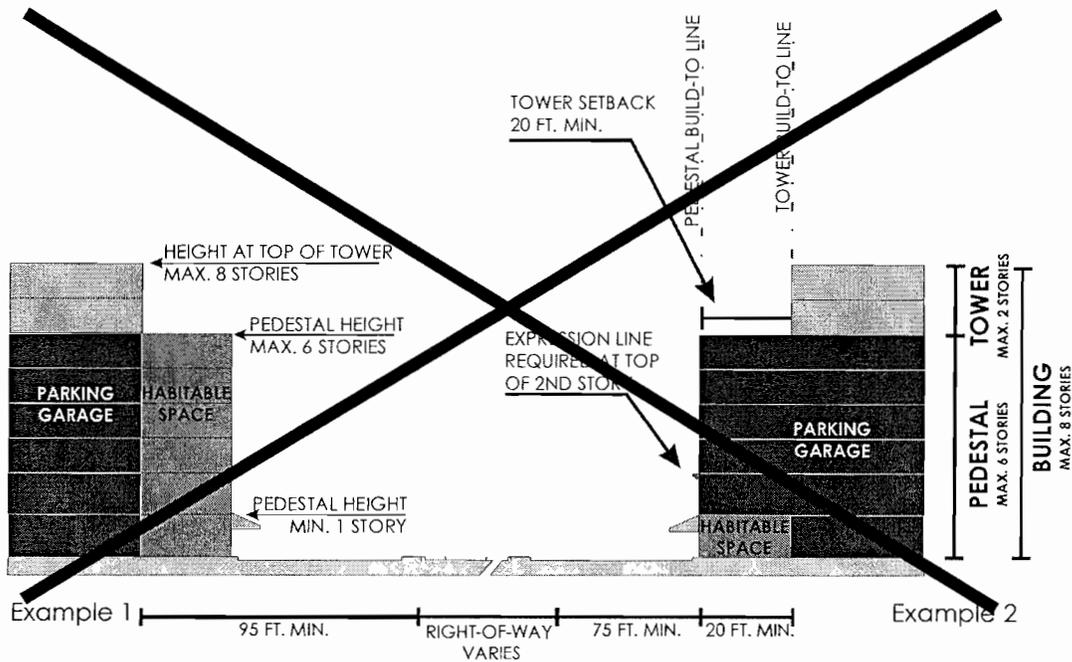
**Expression Lines** – Required at the top of the second story.

**Off-Street Parking**     **Street Level** – ~~[[Eight (8)]]~~ >>Twenty (20)<< foot minimum setback from the front property line.

**Other Levels** – Parking garages may be no closer to the front property line than the build-to line. At least one vehicular connection shall be provided between surface parking lots and garages, across property lines.

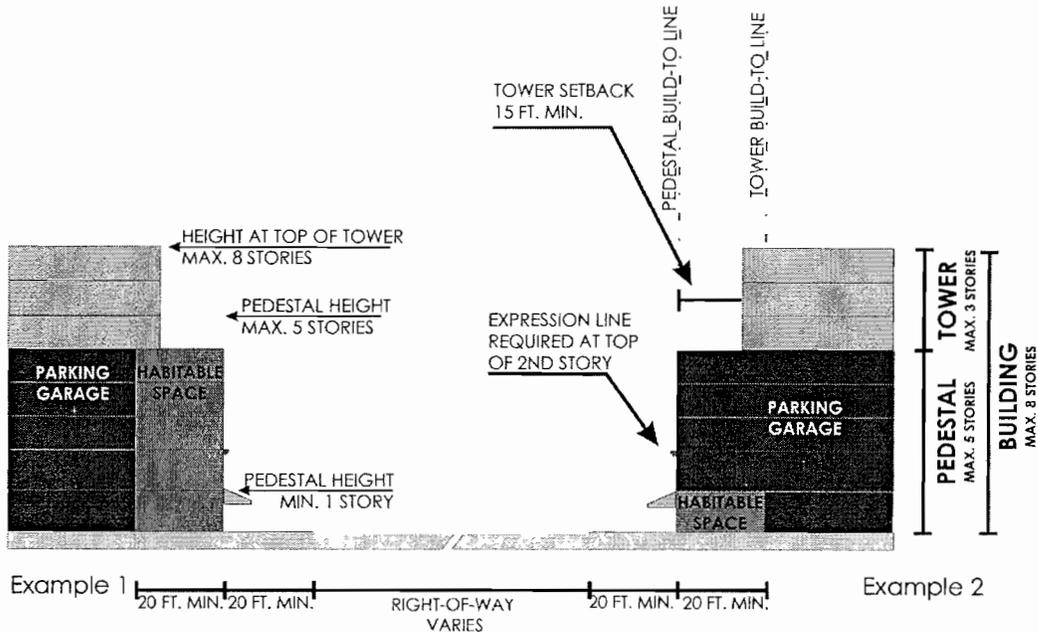
Edge Sub-District – “E” Street

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**Building Height**    **Pedestal** – At street front one (1) story minimum /six (6) stories maximum.  
                          **Tower** – Two (2) stories maximum.

**Building Placement**

**Front** – Build-to line ~~[[seventy-five (75)]]~~ >>twenty (20)<< feet from right-of-way for pedestal/~~[[ninety]]~~>>thirty<<-five ~~[[95-foot]]~~ >>(35) feet<< minimum setback from right-of-way for tower.

**Interior Side/Rear** – ~~[[Twenty (20) feet]]~~ >>Zero (0) foot<< minimum setback for pedestal ~~[[thirty (30) foot minimum setback for]]~~ >>and<< tower.

**Frontage Length** – Minimum fifty (50) percent of lot width.

>>**Parameter** – The front setback shall be treated as a plaza per definition provided herein.<<

**Streetwalls**

**Vehicular Entries** – Allowed. Each entry may be up to thirty-three (33) feet wide, with a minimum interval of seventy (70) feet between each vehicular entry along frontage.

**Habitable Space** – Twenty (20) foot minimum depth for first story and entire length of pedestal.

**Expression Line** – Required at the top of the second story.

**Off-Street Parking**    **Street Level** – ~~[[Eight (8) foot]]~~ >>Twenty (20) feet<< minimum setback from the front of the property line.

**Other Levels** – No setback required from pedestal's build-to line.

~~[[C]]~~>>(B)<< **General Requirements.** All new >>development<< and ~~[[renewal development]]~~ >>redevelopment<< shall comply with the following parameters irrespective of Sub-District and frontage categories:

(1) Permitted Uses.

(a) Permitted uses in Core and Center Sub-Districts shall be as follows:

All business and civic uses permitted in the BU-1, BU-1A, BU-2 Districts, and the following:

i. Area for residential uses shall not require public hearing.

ii. The following BU-3 uses shall be permitted:

- a. Bakeries, retail and wholesale.
- b. Cabinet working and carpentry shops.
- c. Locksmith shops.
- d. Secondhand stores.
- e. Television and broadcasting stations.
- f. Upholstery and furniture repairs.

iii. Outside food sales and services including but not limited to outdoor dining, cart vendors, and merchandise displays shall not require public hearing.

iv. Drive-in services shall be concealed from "A", "B" and "C" streets by buildings or garden walls.

>>v. An outdoor bazaar consisting of the display and sale of food, refreshments, flowers, antiques, art, and other merchandise shall be permitted to occur on "C" Streets on

any property in the DKUC District having a minimum area of 2 acres. The outdoor bazaar use shall be limited to a maximum of four times during the calendar year and shall not be conducted for more than three consecutive days. The activities associated with this type of use shall not extend beyond midnight. The following shall be prohibited: the outdoor consumption of alcoholic beverages; the sale of pets, livestock, and drug paraphernalia; and the use of mechanical amusement rides. Each outdoor bazaar use shall obtain a temporary CU from the Department.<<

>>vi.<< The provisions of Section 33-150(A) and (B) of this Code regarding alcoholic beverages shall not apply.

\* \* \*

~~[(2)]~~ ~~Building Placement Priority.~~

~~Building placement shall give priority to the street of higher pedestrian quality. Building construction shall meet the regulations contained herein, with priority given in the order of "A", "B", "C" and "E" Streets as defined herein, and as applicable. Construction of each phase shall be directed first toward the street of higher pedestrian quality, according to the regulations herein; however, minimum building frontage length requirements may be disregarded in approving each individual phase.~~

~~(3)]~~ >>(2)<< Lots and Buildings.

- (a) Minimum lot size is two thousand (2,000) square feet with a minimum frontage of twenty (20) feet.
- (b) All lots shall share a frontage line with a street or square.
- (c) Each story shall be between eight (8) feet and fourteen (14) feet high from floor to ceiling. Floors more than fourteen (14) feet, as measured from floor to ceiling, will count as additional floors. ~~[[Within the pedestal, one]]~~ >>Two<< ~~[[story]]~~ >>stories<< may exceed fourteen (14) feet, up to thirty (30) feet, provided no mezzanine area >>intended for commercial use<<exceeds ten (10) percent >>and no mezzanine area intended for residential use exceeds eighty (80) percent<< of the area of the floor immediately below. >>A single parking garage level shall count as a single story except when screened with habitable space.<<
- (d) No replatting or subdivision shall serve as a basis for deviating from this Article.
- (e) All buildings shall have their main pedestrian entrance opening to an "A", "B", "C", or "E" street, courtyard garden or square. There shall be pedestrian entrances at maximum intervals of seventy-five (75) feet along "A," and "B" Streets. When ground level uses have entries from both streets and other public open space, the primary entrance will be from the street. Doors facing streets shall remain operational during business hours.
- (f) Maximum building floorplates above eight stories for all uses shall be twenty thousand (20,000) square feet. Cantilever balconies six (6) feet or less in depth >>shall not be counted towards the maximum building floorplate area<< ~~[[, open on three (3) sides or~~

~~more that have a combined aggregate length of no more than fifty (50) percent of each floor perimeter shall not be included in floorplate calculation]].~~

- ~~[(g) Minimum spacing between towers within any one (1) continuous property line is sixty (60) feet.~~
- ~~(h) Aggregate tower frontage facing any street may not exceed two hundred twenty-five (225) feet per block or seventy (70) percent of street frontage, whichever is greater.~~
- ~~(i)]>>(g)<< Where an "A" "B" or "D" street intersects with another street, the corner of the building may need to be chamfered (angled) or rounded to satisfy view triangle and minimum sidewalk width requirements, and to make room for traffic signal poles (see diagram 1). The angled wall of the building shall count toward frontage requirements for both streets that it [[en]]fronts. In situations where the view triangle causes the front façade to "bend" at a shallow angle from the street, the angled or rounded wall may set back farther from the street intersection for esthetic and structural reasons. However, the setback shall not be farther than twenty (20) feet measured from the intersection of the two (2) property lines perpendicularly to the front plane of the angled wall. For curved walls this will be measured to the midpoint of the curve. The depth of the colonnade underneath the angled wall of the building shall also be a minimum of fifteen (15) feet.~~

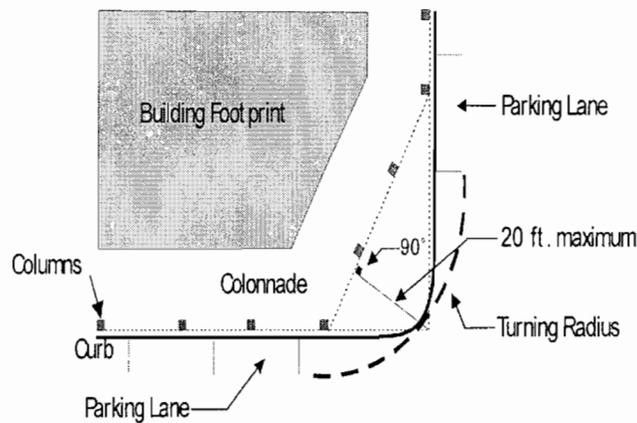


Diagram 1

- ~~[(i)]>>(h)<< Building design shall use energy conservation measures including but not limited to self-shading, natural lighting, natural ventilation, outdoor circulation, and reduced dependence on artificial lighting and air conditioning. Porches, balconies, breezeways, pergolas, deep eaves, eyebrows and other elements promoting natural ventilation and shading are encouraged. Each building shall dedicate a specific location for recycling separation, storage and access.~~
- ~~[(k)]>>(i)<< Vehicular entry gates at garage entries shall be positioned a minimum of twenty (20) feet behind the front wall of the building. At colonnaded frontages, this distance is measured from the interior/rear wall of the colonnade. To increase safety during off-hours, the setback area between the entry gate and the public sidewalk may be gated at the sidewalk edge during times when the garage is closed.~~
- ~~[(l)]>>(j)<< Exterior finish material shall be limited to concrete, stucco, quarried stone, cast stone, decorative concrete block, terra cotta, tile, metal, and glass. Wood and marble~~

door and window surrounds are permitted, as are wood pergolas and trellises. Fabric awnings are permitted without back lighting.

~~[(m)]~~ >>(k) Glazing and Transparency Requirements:

~~(1)~~<< Building streetwall surfaces shall be a minimum thirty (30) percent glazed. Mirror-type glass shall not be allowed. All glazing shall be of a type that permits view of human activities and spaces within. ~~[[The first floor streetwall shall be a minimum thirty (30) percent glazed.]]~~ Glazing shall be clear or very lightly tinted ~~[[for the first five stories]]~~, except where used for screening garages ~~[[above the second floor]]~~, where it may be translucent.

>>(2) Storefronts shall be provided on the first floor, directly accessible from Public Space. Storefronts shall be a minimum of sixty (60) percent clear-glazed except for jewelry stores, which may be a minimum of twenty (20) percent, and for residential uses which may be a minimum of forty (40) percent. Except for entrance doors, the bottom edge of the glazed areas shall be between eighteen (18) and thirty-six (36) inches above the sidewalk.

(3) Storefront security screens, if any, shall be of the mesh type that pedestrians can see through and shall be located behind storefront displays. Storefronts shall remain open to view and lit from within at night.

(4) Parking garage and loading area security<< ~~[[Security]]~~ screens and gates shall be a minimum of fifty (50) percent transparent.

>>(l)<< Colonnade column spacing, windows, and doors shall have a vertical proportion. The spacing of the columns of a colonnade, measured from the centerline of the columns, shall not be greater than the height of the colonnade. ~~[[The height of the colonnade shall be the vertical distance measured from the finished floor to the ceiling of the colonnade.~~

~~(n)]~~ >>(m)<< Cantilevers and mouldings shall not exceed three (3) feet in extension beyond the vertical wall surface, unless visibly supported by brackets or other supports.

~~[(o) Storefronts shall be provided on the first floor, directly accessible from Public Space, and shall have a transparent clear-glazed area of not less than seventy (70) percent of its facade area. Except for entrance doors, the bottom edge of the glazed areas shall be between eighteen (18) and thirty six (36) inches above the sidewalk. Security enclosures, if any, shall be of the mesh type that pedestrians can see through and shall be located behind storefront displays. Storefronts shall remain open to view and lit from within at night.~~

~~(p)]~~ >>(n)<< Parking garages shall have all architectural expression facing public open space consistent and harmonious with that of habitable space. >>The architectural expression shall include vertically proportioned openings, balconies, glazing, awnings, or other similar architectural elements.<< Ramping is encouraged to be internalized wherever possible. Exposed spandrels are prohibited. The exposed top level of parking structures shall be covered a minimum of sixty (60) percent with a shade producing structure such as a vined pergola or retractable canvas shade structure. >>All garage lighting installations shall be designed to minimize direct spillage, sky glow and hazardous interference with vehicular traffic on adjacent rights-of-way and all adjacent

properties; this may be achieved through the use of down-turned building beams, garage screening, landscaping, or other similar architectural elements.<<

[[4]] >>(3)<< Streets, Alleys, and Paseos.

New streets shall be located according to the Street Frontage Plan. These locations are schematic to allow flexibility in the design of the site plan. The design of new streets and modifications to existing streets shall follow the requirements below:

- (a) Streets shall provide access to all building lots and tracts.
- (b) All streets, alleys and paseos shall connect to other streets. Cul-de-sacs, and T-turnarounds are not permitted. Dead-end streets are only permitted for those shown on the Street Frontages Plan when the adjacent property has not been developed or redeveloped.
- (c) No block face shall have a length greater than three hundred and twenty-five (325) feet without a street, paseo, courtyard garden or alley providing through access to another street, alley, or paseo.
- (d) All new "A", "B" and "D" streets, both public and private, shall have a minimum right-of-way width of fifty-four (54) feet. All new ~~["A" and "B" S]~~ >>s<<treets shall have curb and gutter, and have sidewalks on both side>>s<< of the travel lanes. Where possible, there shall be parking lanes which in addition to on-street parking may be used for "drop off" areas, valet stands, or bus stops. ~~["D" Streets shall have a sidewalk on at least one side of the street.]~~
  - i. All sidewalks shall have a minimum width of eight ~~[(8)]~~ >>(10)<< feet, and a continuous unobstructed area of a width no less than sixty (60) inches ~~[[on "A" and "B" streets and no less than forty two (42) inches on all other streets]]~~. This area shall be unobstructed by utility poles, fire hydrants, benches or any other temporary or permanent structures. Free and clear public use of sidewalk area outside of the right-of-way shall be protected by a public access easement.
  - ii. On-street parking lanes shall not be closer than twenty-five (25) feet to intersections measured from the intersecting property lines (see diagram 2).
  - iii. All streets, except "C" streets, shall have at least two travel lanes, one in each direction; however, streets around squares may have one travel lane with one-way traffic.

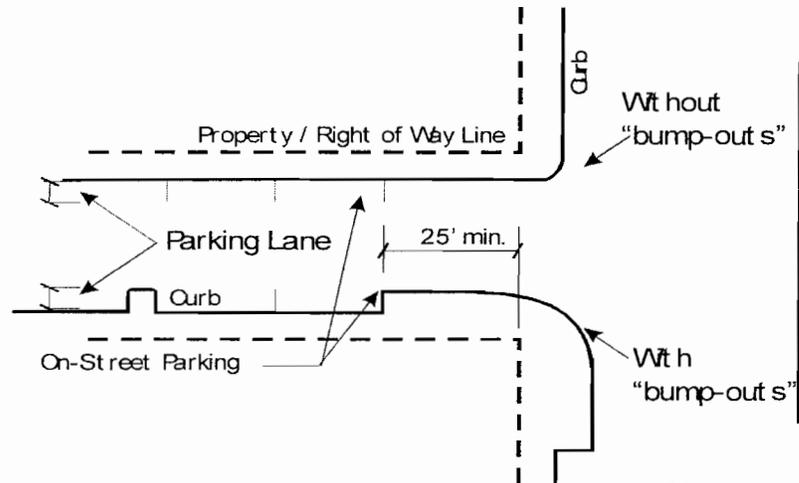


Diagram 2

- (e) In addition to the required "D" streets designated in the Street Frontage Plan, "D" streets or alleys are encouraged to the rear of building lots.
- (f) Curb radii at intersections shall be thirty-four (34) feet six (6) inches or less.
- (g) A minimum turning radius of thirty-six (36) feet shall be provided at street intersections. A clear zone is required when the curb extends beyond the turnout radius.

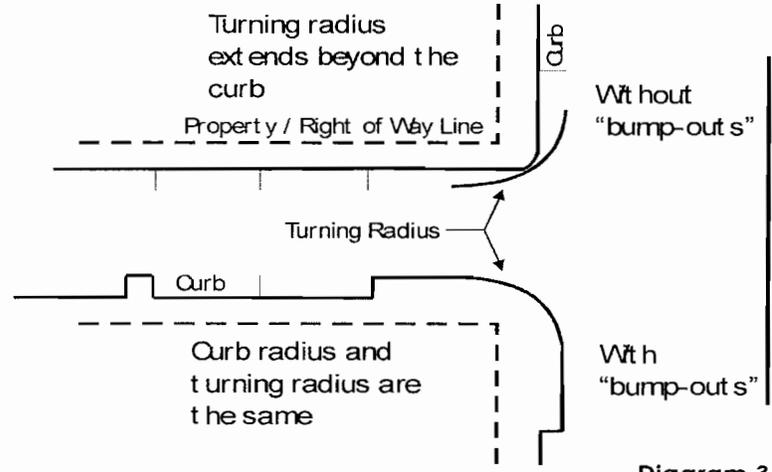


Diagram 3

- (h) Awnings, balconies, roof eaves, signs, porches, stoops and ramps may encroach into setbacks. Awnings, balconies, roof eaves and signs may encroach into rights-of-way; however, they shall not extend a distance closer than six (6) inches from the curb face. All right-of-way encroachments shall be a minimum one hundred thirty-two (132) inches above the sidewalk. ~~[[Encroachments shall not be taller than the building or pedestal, whichever is lower.]]~~

- (i) With the exception of fire hydrants, utilities shall run underground and above-ground projections of utilities shall be placed in or along rights-of-way of streets of lower pedestrian quality, wherever practicable.

~~[(5)]~~ >>(4)<< Courtyard Gardens, Street and Garden Walls, Fences and Hedges.

Street and garden walls, fences and hedges may be placed along property lines, at a height not to exceed ninety-six (96) inches, except in the Edge Sub-District, where side and rear yard walls are limited to seventy-two (72) inches in height. At street frontages, street and garden walls~~[[;]]~~ >>and<< fences ~~[[and hedges]]~~ shall be minimum fifty (50) percent transparent, and between thirty-six (36) inches and seventy-two (72) inches above grade for at least eighty (80) percent of the length. Pillars and posts shall average no more than ten (10) feet apart. Chain link fences are not permitted, except for temporary construction fences.

Only where necessary, walls, fences and hedges along street frontages shall angle away from street intersections and driveways to avoid obstructing the sight visibility triangles or to provide the minimum eight (8) foot sidewalk width at the intersecting streets.

A courtyard garden shall have at least two (2) sides enclosed by building walls; the remaining sides shall be enclosed by either fences or garden walls, and a minimum thirty (30) percent of its area shall be landscaped. ~~[[The street opening to the courtyard garden shall not exceed the width of the street or square that it opens on to.~~

~~(6)]~~ >>(5)<< Open Space >>and Recreation Areas.

(a) Private Open Spaces<<

A minimum of fifteen (15) percent of each net site shall be reserved for >>private<< open space. >>Colonnades, greens, landscaped roof terraces on buildings or garage structures can be counted towards this requirement.

(b) Designated Open Spaces

Designated open<< ~~[[Open]]~~ space in the form of colonnades, squares and plazas shall be located according to the Designated Open Space Plan ~~[[and shall not exceed fifteen (15) percent of the net site as recorded as of July 1, 1998]].~~ >>All designated open spaces<<[[It]] shall be at grade level and ~~[[it]]~~ shall be accessible to the public. ~~[[The area required for designated open space includes colonnades, squares, and plazas.]]~~ No replatting or other land division shall divide property in such a way that the provision of the required designated open space is avoided or its location changed. >>Designated open space areas provided in compliance with this section of the code shall count towards the private open space requirement provided herein.<<

Location, area and dimensions of the designated open spaces shall conform with the Designated Open Space Plan. ~~[[Dimensions of the squares and plazas may be modified by up to fifteen (15) percent on each side; provided said squares and plazas remain wholly within the property in which they were designated.]]~~ Total square area must be in accordance with the Designated Open Space Plan; and the square must include the anchor

point specified on the Designated Open Space Plan. ~~[[At least three (3) corners of a square shall have a street intersection; and squares shall have a minimum dimension of one hundred fifty (150) feet between surrounding vehicular access ways.]]~~

Squares and plazas shall be densely shaded and provide seating. Trees and shrubs (shrubs are not permitted in plazas) shall be of sufficient quantity and located as to define a specific geometry of open space and shall promote security by allowing visibility through all areas. Ground surface shall be a combination of paving, lawn or ground cover integrated in design with trees and shrubs. Fountains, sculpture, and works of art are encouraged. Street furniture in squares such as trash containers and bus benches shall be permanently secured to the sidewalk. Street furniture shall not obstruct sight visibility triangles at street intersections. ~~[[Newspaper and other vending boxes shall be placed collectively in consultations with the Department.]]~~

>>(c) Recreation Areas

Educational and child care facilities located within an Urban Center District shall be exempt from the outdoor recreation area requirements of Section 33-151.18(a) of this Code and shall be required to provide indoor and/or outdoor recreation areas subject to the following requirements:

<u>Categories</u>	<u>Required Recreation Area (**)</u>
<u>Child care/day nursery/kindergarten and preschool and after-school care</u>	<u>22.5 square feet per child calculated in terms of half of the proposed maximum number of children for attendance at the school at one (1) time.</u>
<u>Elementary school (grades 1-6)</u>	<u>250 square feet per student for the first 30 students; thereafter, 150 square feet per student.</u>
<u>Junior and senior high school (grades 7-12)</u>	<u>400 square feet per student for the first 30 students; 150 square feet per student for the next 300 students; thereafter, 75 square feet per student.</u>

\* Where there are category combinations, each classification shall be calculated individually

\*\* Recreation Area consists of indoor and outdoor recreation areas. Indoor-recreation areas may consist of indoor playgrounds, indoor pools, gymnasiums and/or indoor ball courts and/or similar indoor recreation facilities. Outdoor recreation areas may include rooftop facilities.<<

[[~~(7)~~]] >>(6)<< Parking.

(a) Parking shall be provided as per Section 33-124 of this Code, except as follows:

\* \* \*

>>(l) Mechanized parking shall be allowed for residential multi-family and non-residential buildings and when provided it shall be exempt from the provisions of section 33-122 of this code. For the purpose of this article, mechanized parking shall be defined as a mechanism with vertical and horizontal transport capability that provides for automobile storage or retrieval. A mechanized parking space may be counted as a parking space required in this section provided that:

- a. A queuing analysis is submitted and approved during the Administrative Site Plan and Architectural Review.
- b. Mechanized parking shall be located within an enclosed building/garage which shall be screened along all frontages, except along a service road or a pedestrian passage, by a liner building containing a minimum depth of 20 feet of habitable space.

(m) The provisions of Sec. 33-131 of this code shall not apply to the required parking for mixed-use developments.

(n) Educational and child care facilities located within a mixed-use building shall be exempt from the auto-stacking requirements of section 33-151.18(c) of this code.<<

**Section 5.** Section 33-284.63 of the Code of Miami-Dade County, Florida is hereby amended as follows:

**Sec. 33-284.63. Additional Parameters.**

The following are required irrespective of frontage and Sub-District categories:

(A)Landscape.

With the exception of Sections 18A-7, 18A-8, 18A-9, 18A-11, 18A-12 and 18A-13, the provisions of Chapter 18A of the Code of Miami-Dade County, Florida, shall not apply, except as provided for below. Trees and landscape shall be required for streets, medians, squares, plazas, and private property in accordance with the following:

- (1) Street Trees: Street trees shall be placed along "B", "C" and "E" Streets at a maximum average spacing of twenty (20) feet on center. Street trees shall have a minimum caliper of ~~[[six (6)]]~~ >>four (4)<< inches and shall have a minimum clear trunk of ~~[[eight (8)]]~~ >>six (6) feet and an overall height of twelve (12)<< feet at the time of planting. Palms shall not be used as street trees. Street trees are not required when colonnades are provided along the street.
  
- (2) Median Trees: Median trees shall have a minimum caliper of ~~[[six (6)]]~~ >>four (4)<< inches and shall have a minimum clear trunk of ~~[[eight (8)]]~~ >>six (6) feet and an overall height of twelve (12)<< feet at time of planting. Median planting shall provide a one hundred (100) percent canopy coverage within two years of installation. Median trees may be a maximum of twenty (20) percent flowering trees or palms, which at time of planting shall have a minimum height of fifteen (15) feet, a minimum spread of ten (10) feet, and a minimum caliper of three (3) inches.
  
- (3) Square and Plaza Trees: Trees on squares and plazas shall have a minimum caliper of ~~[[six (6)]]~~ >>four (4)<< inches and shall have a minimum clear trunk of ~~[[eight (8)]]~~ >>six (6) feet and an overall height of twelve (12)<< feet. Trees on squares and plazas shall provide a one-hundred (100) percent canopy coverage for eighty (80) percent of the entire square within two (2) years of installation. Trees for squares and plazas may be ten (10) percent palms of the following species: phoenix canariensis (Canary Island Date Palm); phoenix dactylifera (North African Date Palm); 'Medjool' (Date Palm); and 'Zahidi' (Date Palm); phoenix sylvestris (Wild Date Palm); roystonea elata (Florida Royal Palm) and regia (Cuban Royal Palm).
  
- (4) With the exception of squares as provided in Section 33.284.62 (C)(6) above, no shrubs are required.
  
- (5) Tree requirements for private property shall be based on sixteen (16) trees per net acre of lot area and, in addition to the lot, may be placed in squares, plazas and medians within the District. Trees shall have a minimum caliper of ~~[[six (6)]]~~ >>two (2)<< inches and shall have a minimum ~~[[clear trunk]]~~ >>overall height<< of eight (8) feet at time of planting.

\* \* \*

- (8) To ensure quality and longevity, the following additional conditions for tree planting in streets, medians, squares, and plazas shall apply:

- i. All trees shall be Florida Grade #1 or better.
- ii. All trees shall be shaped and branched typical for the species and variety.
- iii. A signed and sealed "Professional Preparer's Statement of Compliance" shall be submitted by the Project Landscape Architect at time of submission for Administrative Site Plan Approval (ASPR), zoning, or other approval.
- iv. A signed and sealed "Professional Preparer's Certification at time of Final Inspection" shall be submitted by the project Landscape Architect before a Certificate of Occupancy may be issued.
- v. A minimum of thirty (30) percent of the total of all trees or palms planted shall be of a native species.
- vi. A minimum six (6) foot by six (6) foot opening, clear of utilities, shall be provided for all trees.
- vii. Root barriers shall be provided for all tree plantings.
- viii. Tree grates or other approved devices shall be provided around all trees in hard surfaced areas to ensure adequate water and air penetration.

~~[[Street furniture such as trash containers and bus benches shall be permanently secured to the sidewalk. Street furniture shall not obstruct sight visibility triangles at street intersections.]]~~

(B) Signage.

Three (3) types of signs are allowed: temporary signs, point of sale signs and directional signs. Outdoor advertising signs, automatic electric changing signs, and entrance features are not permitted ~~[[, and shall not be the subject of a public hearing]]~~. All signs shall not obstruct sight visibility triangles at street intersections.

\* \* \*

(2) Permanent Point of Sale Signs.

(a) Permanent point of sale signs in the Edge Sub-District North of Snapper Creek Canal and west of US Highway 1: Detached, flat, awning, projecting, pylon signs are all allowed:

- (i) Size: Maximum six (6) square feet except for churches, schools and universities which are permitted twenty-four (24) square feet. Cantilever projecting signs shall be mounted perpendicular to buildings.
- (ii) Number: One (1) sign per tenant per street frontage.
  - >>(iii) Building identification wall signs and pylon signs shall be permitted above the fifth floor. Wall signs: One (1) sign per frontage is permitted; each sign shall be a maximum of three hundred (300) square feet. Roof sign: (1) sign per building with a maximum area of three hundred (300) square feet.<<
  - [[~~(iii)~~]]>>(iv)<< Setback and spacing: The outer edge of the sign shall be no closer than zero (0) feet from right-of-way. and five (5) feet minimum from interior side property.

[(iv)]>>(v)<<Illumination: Section 33-96, Illumination, of this Code, shall apply, except that revolving, rotating and otherwise moving signs shall be prohibited.

[(v)]>>(vi)<<Maximum Height: Four (4) feet maximum height above grade to top of sign for detached signs; nine (9) feet minimum from bottom of sign to grade for awning and projecting signs; no limits for flat attached signs, or signs painted on the façade of a building.

[(vi)]>>(vii)<<Special Conditions: No permit required for awnings following these regulations. Letters attached or painted to fabric shall be limited to the identification of the occupant and/or use of the property. Back-lit awnings and balloon signs are not allowed. Decorative neon may be used only inside windows. Building name and quotations carved in stone or stucco relief may occupy up to ten (10) percent of façade.

[(vii)]>>(viii)<<No sign shall exhibit thereon any lewd or lascivious matter.

(b) Permanent point of sale signs in the Core and Center Sub-Districts and in the Edge Sub-District north of Snapper Creek Canal and East of US Highway 1: Detached, flat, awning, projecting, pylon>>roof<< and marquee are all allowed:

- (i) Size: Twenty-four (24) square feet maximum, except eight (8) square feet maximum for cantilever projecting signs, which shall be mounted perpendicular to buildings.
- (ii) Number: One (1) of each sign type, up to a total of three (3) per street frontage for each tenant.
- (iii) Building identification wall signs >>and/or a roof sign<< shall be permitted in the Core and Center Sub-Districts above the ~~[[eighth]]~~ >>seventh<< floor. >>Wall signs:<< (1) sign per frontage is permitted, each sign shall be a maximum of ~~[[three]]~~ >>six<< hundred ~~[[300]]~~ >>(600)<< square feet. >>Roof sign: (1) sign per building with a maximum area of seven hundred and fifty (750) square feet.<<
- (iv) Setbacks and Spacing: The outer edge of the sign shall be no closer than zero (0) feet from right-of-way and five (5) feet minimum from side or rear property line.
- (v) Illumination: Section 33-96, Illumination, of this Code, shall apply, except that revolving, rotating and otherwise moving signs shall be prohibited.
- (vi) Maximum Height: Four (4) feet maximum height above grade to top of sign for detached signs.
- (vii) Special Conditions: No permit required for awnings following these regulations. Letters attached or painted to fabric shall be limited to the identification of the occupant and/or use of the property. Back-lit awnings and balloons signs are not allowed. Decorative neon may be used only inside windows. Building name and quotations carved in stone or stucco relief may occupy up to ten (10) percent of a façade.
- (viii) No sign shall exhibit thereon any lewd or lascivious matter.

\* \* \*

**Section 6.** If any section, subsection, sentence, clause or provision of this ordinance is held invalid, the remainder of this ordinance shall not be affected by such invalidity.

**Section 7.** It is the intention of the Board of County Commissioners, and is hereby ordained that the provisions of this ordinance shall become and made a part of the Code of Miami-Dade County, Florida. The section of this ordinance may be renumbered or relettered to accomplish such intention, and the word "ordinance" may be changed to "section", "article" or other appropriate word.

PASSED AND ADOPTED:

Approved by County Attorney as  
to form and legal sufficiency:

Prepared by:

Dennis A. Kerbel

