

# MEMORANDUM

Agenda Item No. 5(C)

(Public Hearing 2-4-14)

**TO:** Honorable Chairwoman Rebeca Sosa  
and Members, Board of County Commissioners

**DATE:** December 17, 2013

**FROM:** R. A. Cuevas, Jr.  
County Attorney

**SUBJECT:** Ordinance relating to zoning and  
other land development  
regulations; updating the Ojus  
Urban Area District Regulations;  
amending Sections 33-284.99.17  
through 33-284.99.19 and  
Section 33-284.99.22 of the Code

The accompanying ordinance was prepared by the Regulatory and Economic Resources Department and placed on the agenda at the request of Prime Sponsor Commissioner Sally A. Heyman.



R. A. Cuevas, Jr.  
County Attorney

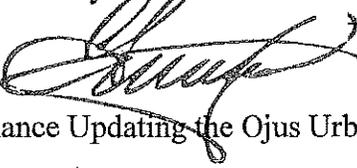
RAC/smm

# Memorandum



**Date:** February 4, 2014

**To:** Honorable Chairwoman Rebeca Sosa  
and Members, Board of County Commissioners

**From:** Carlos A. Gimenez  
Mayor 

**Subject:** Proposed Zoning Ordinance Updating the Ojus Urban Area District Regulations

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## **Recommendation**

It is recommended that the Board of County Commissioners (BCC) adopt the attached zoning ordinance updating the County's Ojus Urban Area District (OUAD) Regulations.

## **Scope**

This ordinance impacts areas zoned Ojus Urban Area District located in Commission District 4, Commissioner Sally A. Heyman.

## **Fiscal Impact/Funding Source**

The proposed ordinance creates no fiscal impact on Miami-Dade County.

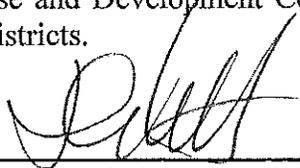
## **Track Record/Monitor**

Not applicable.

## **Background**

Development within the County's designated Urban Centers is regulated through the Standard Urban Center District Regulations (Article XXXIII(K) of the Zoning Code) and the individual Urban Center District regulations (i.e. Ojus, Naranja, Goulds, Perrine, Princeton, etc.). On October 2, 2012, the Board of County Commissioners adopted Ordinance No. 12-86 consisting of a comprehensive overhaul to the County's Standard Urban Center District Regulations. This comprehensive update, among other things, consolidated a series of regulations that were included in the individual Urban Center Districts (UCDs), including the permitted uses, building placement and street type development parameters and the various nonconforming sections. As a result, all individual UCDs need to be amended to conform to Ordinance No. 12-86. The attached ordinance updating the Ojus Urban Area District is the first in a series of individual Urban Center Districts that will be presented to the Board for this purpose.

In addition, this proposed ordinance updates the regulating plans of the Ojus Urban Area District to reflect changing conditions resulting from additional community input and staff's review of development applications. It also conforms to regulations being codified through an ordinance recently forwarded to the Board with a favorable recommendation by the Land Use and Development Committee that establishes a procedure to amend the Urban Center Districts.

  
\_\_\_\_\_  
Jack Osterholt, Deputy Mayor



**MEMORANDUM**  
(Revised)

**TO:** Honorable Chairwoman Rebeca Sosa  
and Members, Board of County Commissioners

**DATE:** February 4, 2014

**FROM:** R. A. Cuevas, Jr.  
County Attorney

**SUBJECT:** Agenda Item No. 5(C)

Please note any items checked.

- "3-Day Rule" for committees applicable if raised
- 6 weeks required between first reading and public hearing
- 4 weeks notification to municipal officials required prior to public hearing
- Decreases revenues or increases expenditures without balancing budget
- Budget required
- Statement of fiscal impact required
- Ordinance creating a new board requires detailed County Mayor's report for public hearing
- No committee review
- Applicable legislation requires more than a majority vote (i.e., 2/3's \_\_\_\_, 3/5's \_\_\_\_, unanimous \_\_\_\_ ) to approve
- Current information regarding funding source, index code and available balance, and available capacity (if debt is contemplated) required

Approved \_\_\_\_\_ Mayor

Agenda Item No. 5(C)

Veto \_\_\_\_\_

2-4-14

Override \_\_\_\_\_

ORDINANCE NO. \_\_\_\_\_

ORDINANCE RELATING TO ZONING AND OTHER LAND DEVELOPMENT REGULATIONS; UPDATING THE OJUS URBAN AREA DISTRICT REGULATIONS; AMENDING SECTIONS 33-284.99.17 THROUGH 33-284.99.19 AND SECTION 33-284.99.22 OF THE CODE OF MIAMI-DADE COUNTY; PROVIDING SEVERABILITY, INCLUSION IN THE CODE AND AN EFFECTIVE DATE

**BE IT ORDAINED BY THE BOARD OF COUNTY COMMISSIONERS OF MIAMI-DADE COUNTY, FLORIDA:**

**Section 1.** Section 33-284.99.17 of the Code of Miami-Dade County, Florida, is hereby amended as follows:<sup>1</sup>

**Sec. 33-284.99.17. Uses.**

Except as provided herein, all permitted, conditionally permitted, and temporary uses within the OUAD shall comply with Section 33-284.83 of this Code.

1. As provided in the Land Use Regulating Plan, no duplexes shall be permitted in areas designated:
  - a. Residential (R) with a maximum permitted density of 6 dwelling units per net acre; and
  - b. Residential Modified (RM) with maximum permitted densities greater or equal to 36 units per net acre.
2. No ~~[[municipal]]~~ recreation building, playground, or park owned and operated by a municipality, county, state, or the federal government shall be permitted in areas designated R on the Land Use Regulating Plan.

<sup>1</sup> Words stricken through and/or ~~[[double bracketed]]~~ shall be deleted. Words underscored and/or >>double arrowed<< constitute the amendment proposed. Remaining provisions are now in effect and remain unchanged.

3. No civic uses shall be permitted in areas designated R on the Land Use Regulating Plan, except for educational facilities on properties not to exceed 5 acres.

~~[[4. Industrial uses. Notwithstanding the provisions of Section 33-284.83 (A)(4), only the following uses shall be permitted in the Industrial District (ID) area. These uses shall be allowed in conformance with the Land Use Regulating Plan and the Street Type Development Parameters.~~

~~a. All uses permitted in the IU 1 zoning district.~~

~~b. All uses permitted in the IU 2 zoning district after public hearing pursuant to section 33-311(A)(3) of this code.~~

~~c. MC uses at a maximum density of 52 units net acre or at a maximum density of 60 units per net acre with the purchase of the appropriate number of Severable Use Rights pursuant to Sections 33B-41 to 33B-47 of this code.~~

~~d. live-work units as provided in Sec. 33-284.83(A)(4)(b).~~

~~e. On lots fronting West Dixie Highway and south of NE 195 Street, all uses permitted in the Mixed Use Main Street (MM), at a minimum density of 12 units per net acre and at a maximum density of 52 units net acre, or a maximum density of 60 units per net acre with the purchase of the appropriate number of Severable Use Rights as permitted by Section 33B-41 to Section 33B-47 of this code~~

~~f. On lots fronting NE 26th Avenue, all uses permitted in the Residential Modified (RM), at a minimum density of 12 units per net acre and a maximum density of 36 units net acre.]]~~

~~[[5.]]>>4.<< Institutional uses. The following additional uses shall be permitted in the Institutional (I) area in accordance with the Land Use Regulating Plan and the Street Types Development Parameters.~~

~~a. Civic uses in accordance with the Street Types Development Parameters.~~

- b. On lots located west of NE 25th Avenue, all uses permitted in the Residential (R), with ~~[[a minimum density of 6 units per net acre and a maximum density of 13 units per net acre]]~~ >>the density shown on the Density Plan<<.
- c. On lots located east of NE 25th Avenue, all uses permitted in the Residential Modified (RM), with ~~[[a minimum density of 12 units per net acre and a maximum density of 36 units per net acre]]~~ >>the density shown on the Density Plan<<.

~~[[6. Conditionally Permitted Uses. Notwithstanding the provisions of Section 33-284.83 (B), only the following conditional uses shall be permitted subject to the administrative approval of a site plan, pursuant to Section 33-284.88 of this code.~~

- ~~1. Liquor package stores shall be permitted only in the Core Sub-district and only in compliance with all applicable regulations of this code.]~~

**Section 2.** Section 33-284.99.18 of the Code of Miami-Dade County, Florida is

hereby amended as follows:

**Sec. 33-284.99.18. The Regulating Plans.**

The Regulating Plans shall consist of the following controlling plans, as defined and graphically depicted in this section.

- A. The Street Types Plan, which establishes a hierarchy of street types in existing and future locations. The five Street Types and the hierarchy of streets (from most important to least important in accommodating all types of activity) are U.S. 1, Main Street, Boulevard, Minor Street, and Service Road.
- B. The Sub-districts Plan, which delineates 3 Sub-districts: Core, Center and Edge. These Sub-districts shall regulate the allowable intensity of development in accordance with the Comprehensive Development Master Plan and this article.
- C. The Land Use Plan, which delineates the areas where specified land uses and development of various types and intensities shall be permitted.

>>D. The Density Plan, which delineates areas where specified minimum and maximum residential densities shall be permitted.<<

~~[[D.]]~~>>E.<< The Building Heights Plan, which establishes the minimum and maximum allowable number of stories.

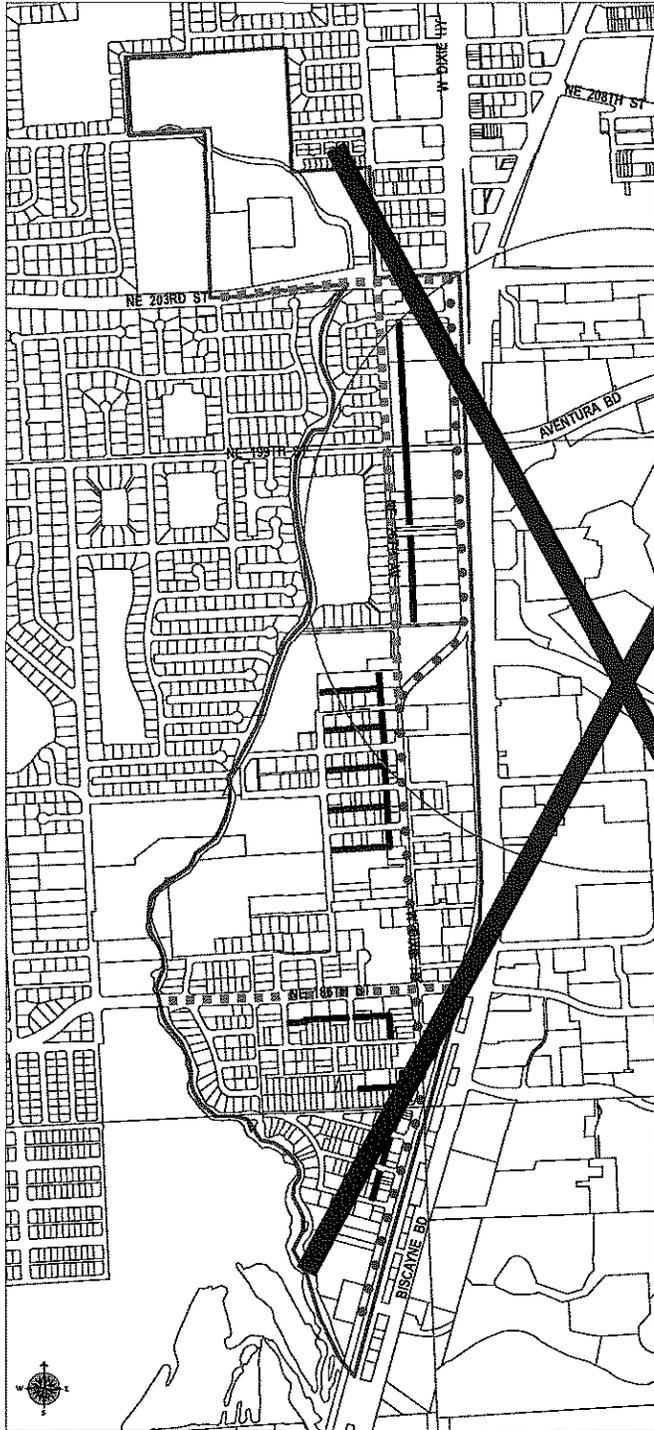
~~[[E.]]~~>>F.<< The Designated Open Space Plan, which designates open spaces. The designated open spaces shall be controlled by anchor points.

~~[[F.]]~~>>G.<< The New Streets Plan, which shows the location and the number of new streets needed to create the prescribed network of streets within the Ojus Urban Area. All new A streets shall be required in the same general location as shown on the New Streets Plan. All B streets shall be located as provided in Section 33-284.86(F) of this code.

~~[[G.]]~~>>H.<< The Bike Route Plan, which depicts the designated bike routes, including the bike facility requirements if any, which shall be shown in all development plans.

A. Street Types Plan

II

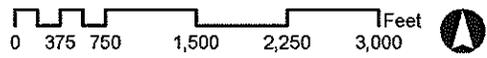
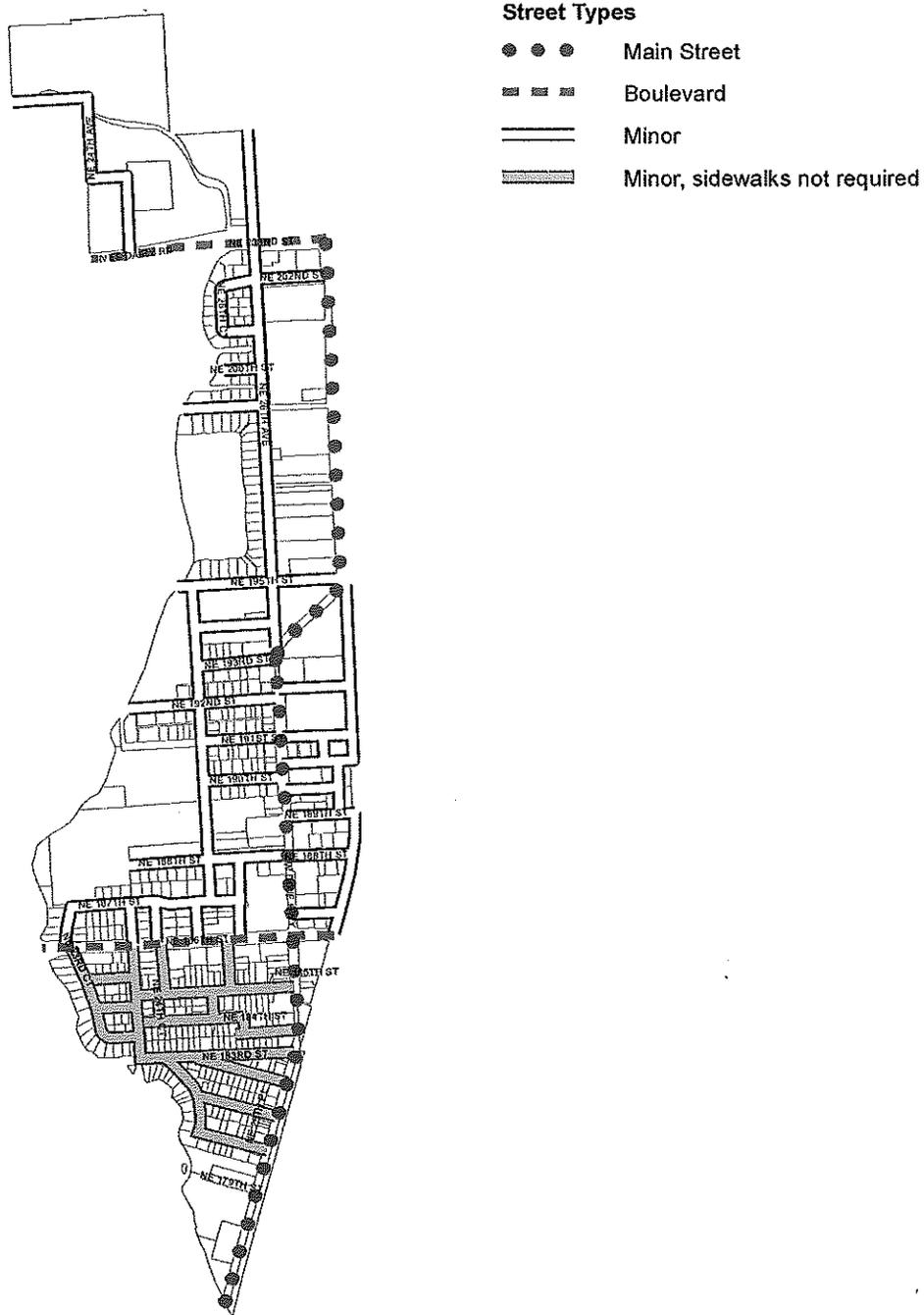


KEY

- Main Street: West Dixie Highway
- ■ ■ Boulevard
- Minor Street
- Service Road
- MUC Circle
- ▨ Ojus Urban Area Boundary

II

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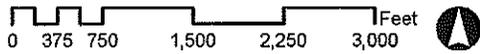


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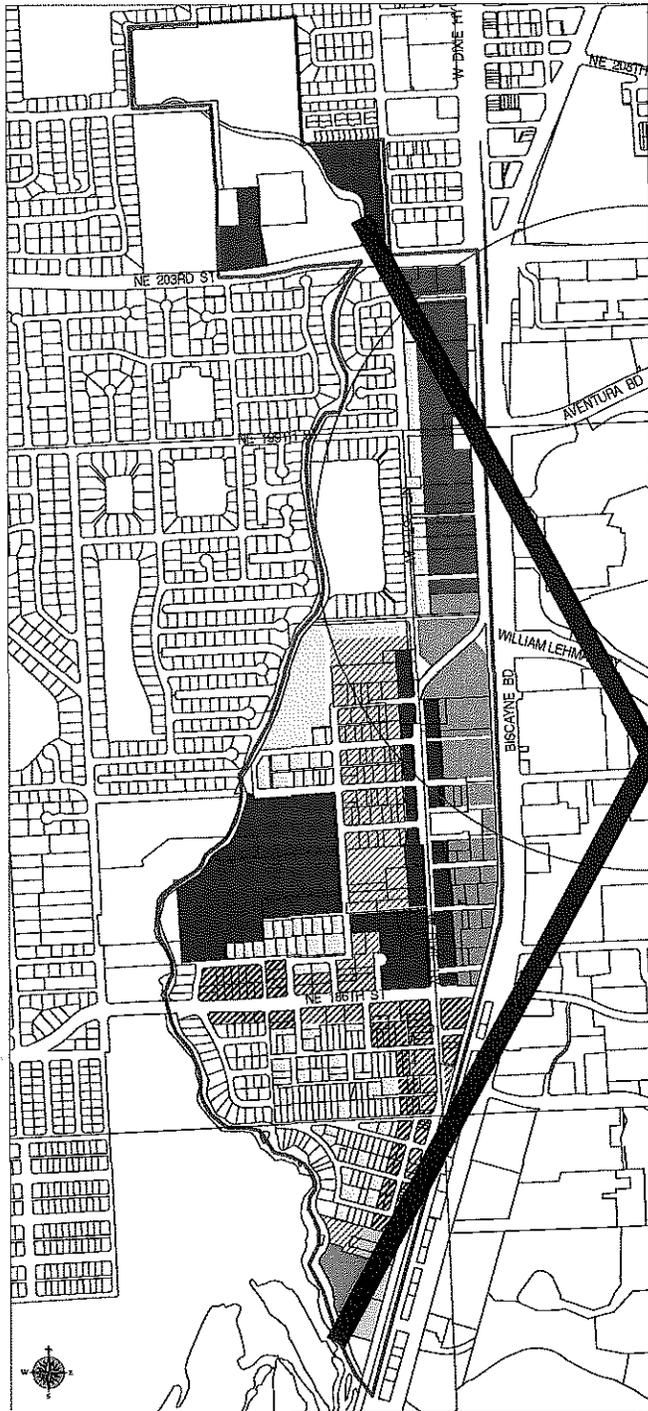
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C. Land Use Plan

II



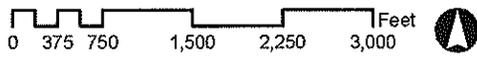
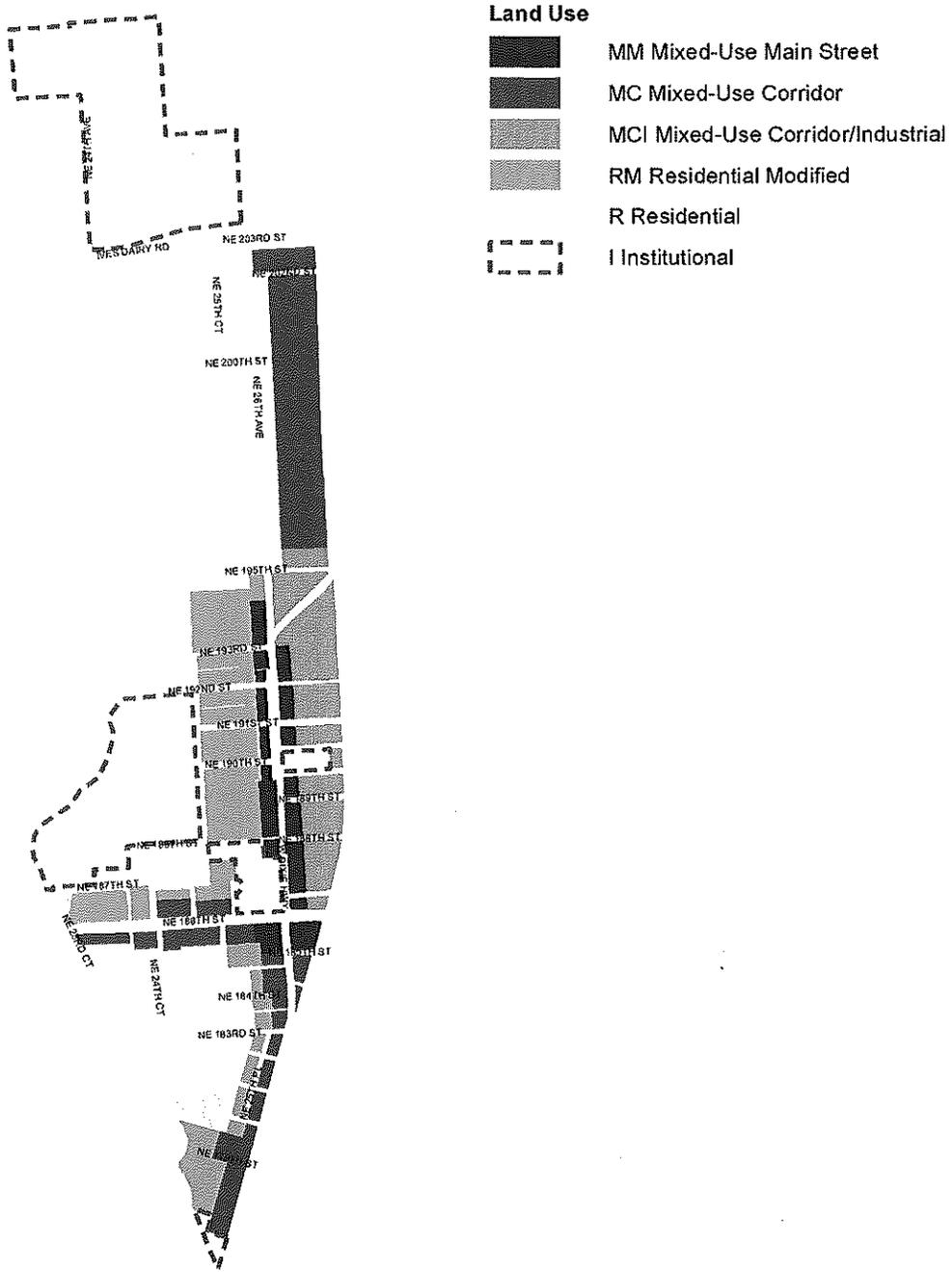
KEY

-  **MM:** Mixed-use Main Street: First and second floors - businesses, professional offices, civic, education and government offices; second floor and above - residential (Min. 12 units/acre net, Max. 52\* units/acre net)
-  **MM:** Mixed-use Main Street: First and second floors - businesses, professional offices, civic, education and government offices; second floor and above - residential (Min. 12 units/acre net, Max. 36 units/acre net)
-  **MC:** Mixed-use Corridor: residential, businesses, professional offices, civic, education and government offices (Max. 82\* units/acre net)
-  **MC:** Mixed-use Corridor: residential, businesses, professional offices, civic, education and government offices (Max. 82\* units/acre net)
-  **MC:** Mixed-use Corridor: residential, businesses, professional offices, civic, education and government offices (Max. 36 units/acre net)
-  **RM:** Residential Modified: Rowhouse, urban villa, apartment dwellings (Min. 12 units/acre net, Max. 52\* units/acre net)
-  **RM:** Residential Modified: Rowhouse, urban villa, apartment dwellings (Min. 12 units/acre net, Max. 36 units/acre net)
-  **RM:** Residential Modified: Duplex, urban villa, rowhouse, and live-work dwellings (Min. 8 units/acre net, Max. 18 units/acre net)
-  **R:** Residential: Single family detached dwellings (Max. 6 units/acre net)
-  **R:** Residential: Single family detached, duplex, urban villa, rowhouse dwellings (Min. 6 units/acre net, Max. 13 units/acre net)
-  **ID:** Industrial District: In all floors and all Sub-districts: IU-1 uses are permitted and IU-2 uses after public hearing. In addition:
  1. MC (Max. 52\* units/acre net)
  2. Live-work units
  3. South of NE 195 St: MM along West Dixie Highway only (Min. 12 units/acre net, Max. 52\* units/acre net)
  4. RM along NE 26th Avenue only (Min. 12 units/acre net, Max. 36 units/acre net)
-  **I:** Institutional: Civic, education and government offices and residential as per Sec 33-284.99.16(A)(5) of this Code.
-  MUC Circle
-  Ojus Urban Area Boundary

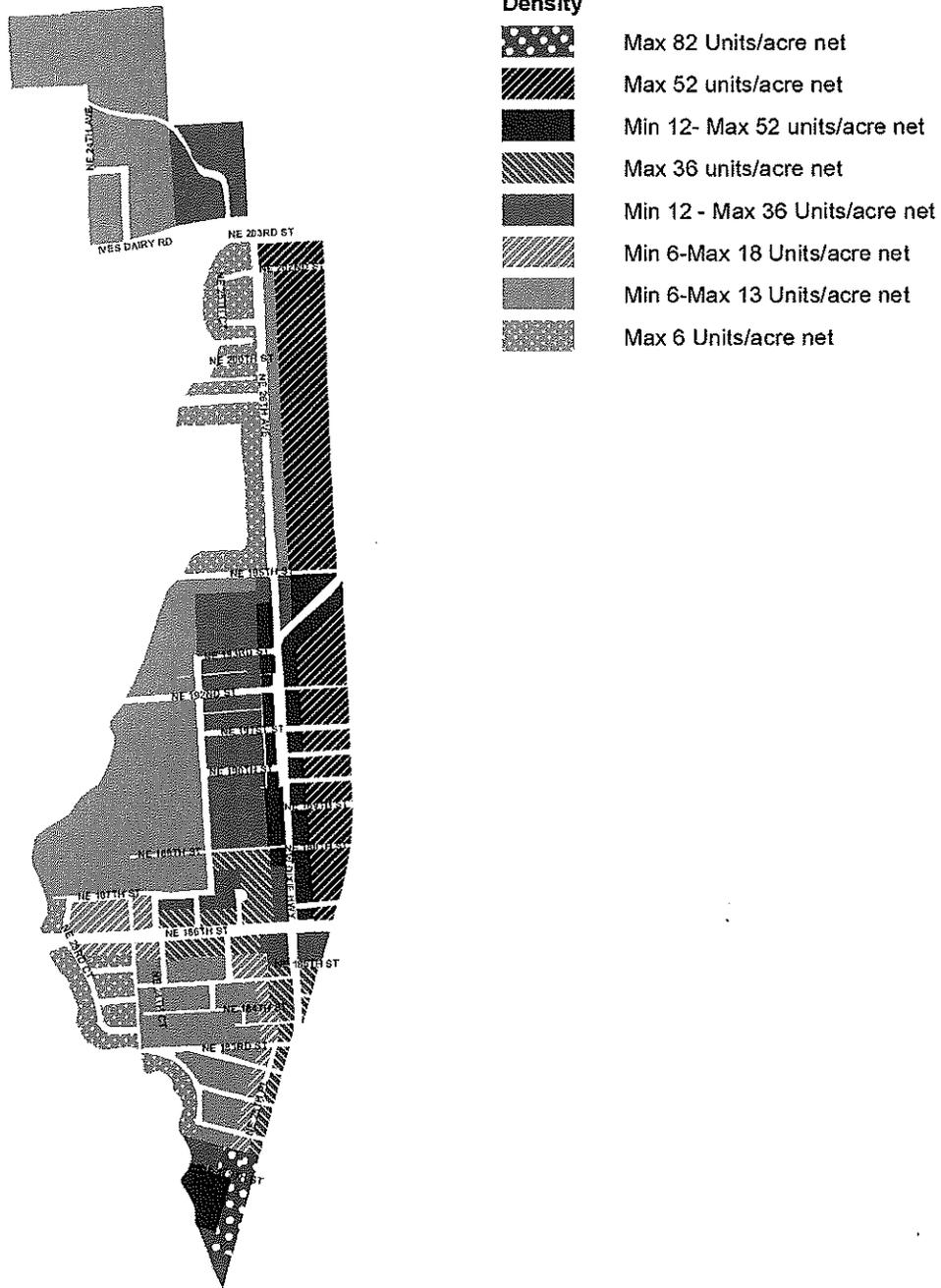
See Sections 33-284.83 and 33-284.99.16 of this code for specific permitted uses in each land use area.

\*Residential density may be increased through the use of Severable Use Rights (SURs). See Sec. 33B-45(g)(15) of this code for applicability.

II

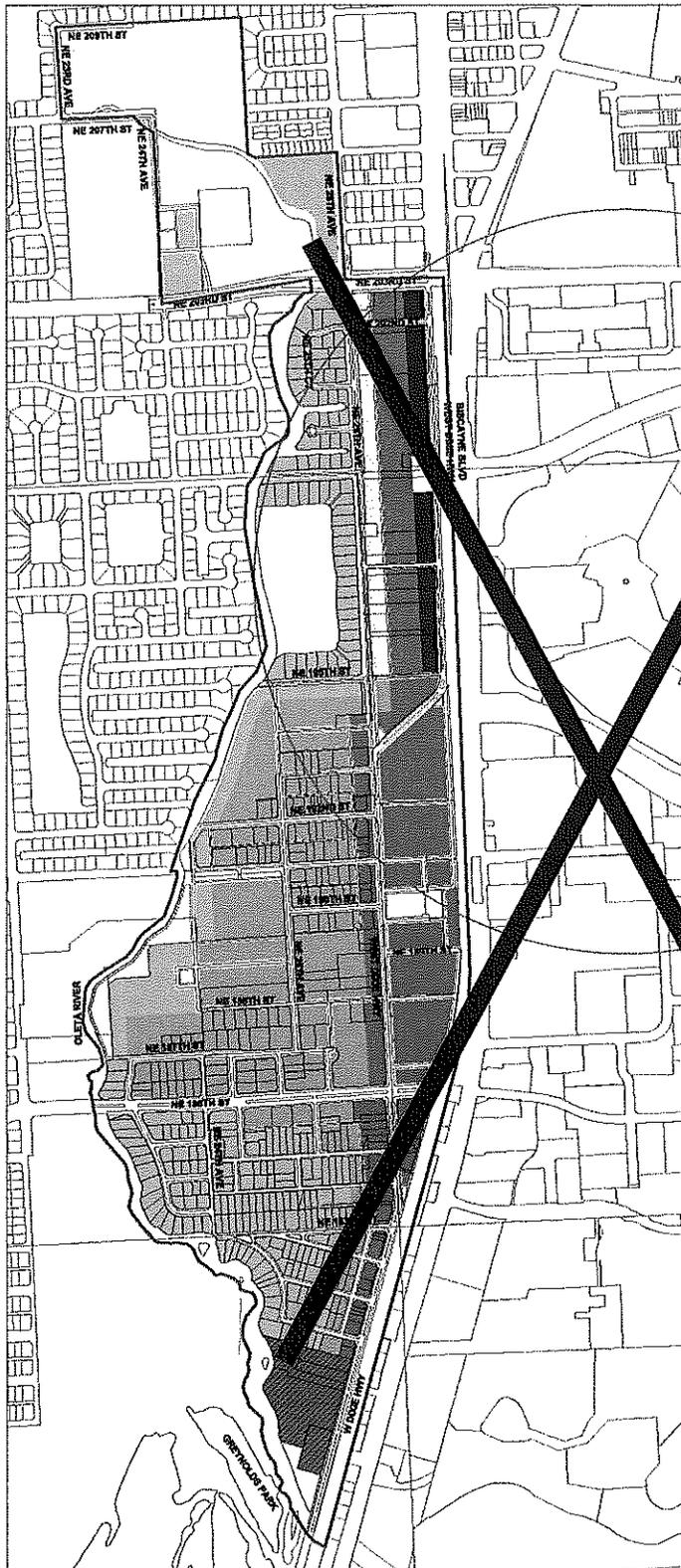


>>D. Density Plan



[[D]]>>E<<. Building Heights Plan

II





[[E]]>>F<<. Designated Open Space Plan

[[



**KEY**

-  Designated Open Space: G: Green; S: Square; P: Plaza
-  Existing Park
-  Existing Water Bodies
-  Street Vista
-  Anchor Point
-  MUC Circle
-  Ojus Urban Area Boundary

**Number Type Area**

Number	Type	Area
1.	G	48,600 sq. ft.
2.	G	N/A
3.	G	N/A
4.	P	2,500 sq. ft.
5.	G	14,500 sq. ft.
6.	S	Existing Park
7.	G	23,500 sq. ft.
8.	G	5,500 sq. ft.
9.	G	4,000 sq. ft.
10.	G	35,500 sq. ft.
11.	G	26,000 sq. ft.

The open space shall provide the general square footage shown in this Designated Open Space Plan.

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[[F]]>>G<<. New Street Dedications Plan

[[



KEY

- Existing 'A' Street
- New 'A' Street
- Existing 'B' Street
- New 'B' Street
- MUC Circle
- Ojus Urban Area Boundary
- Property Ownership Pattern

Note: New street allocations are based on the Illustrative Plan and are approximate.



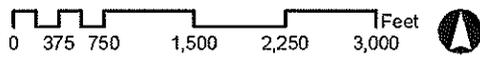
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**A/B Streets**

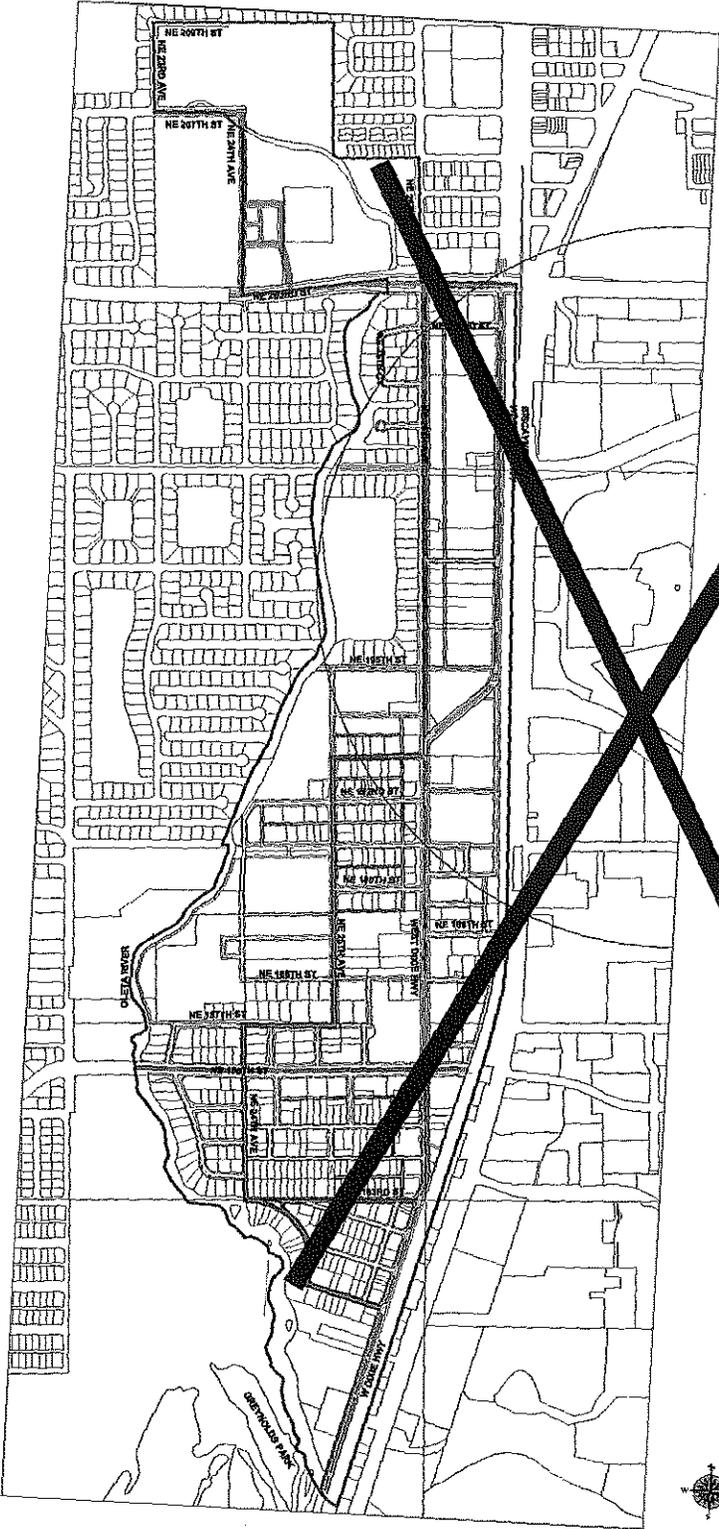
- A Existing
- A New
- ..... B Existing
- . - . B New



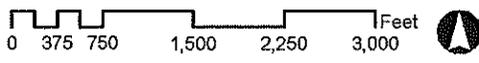
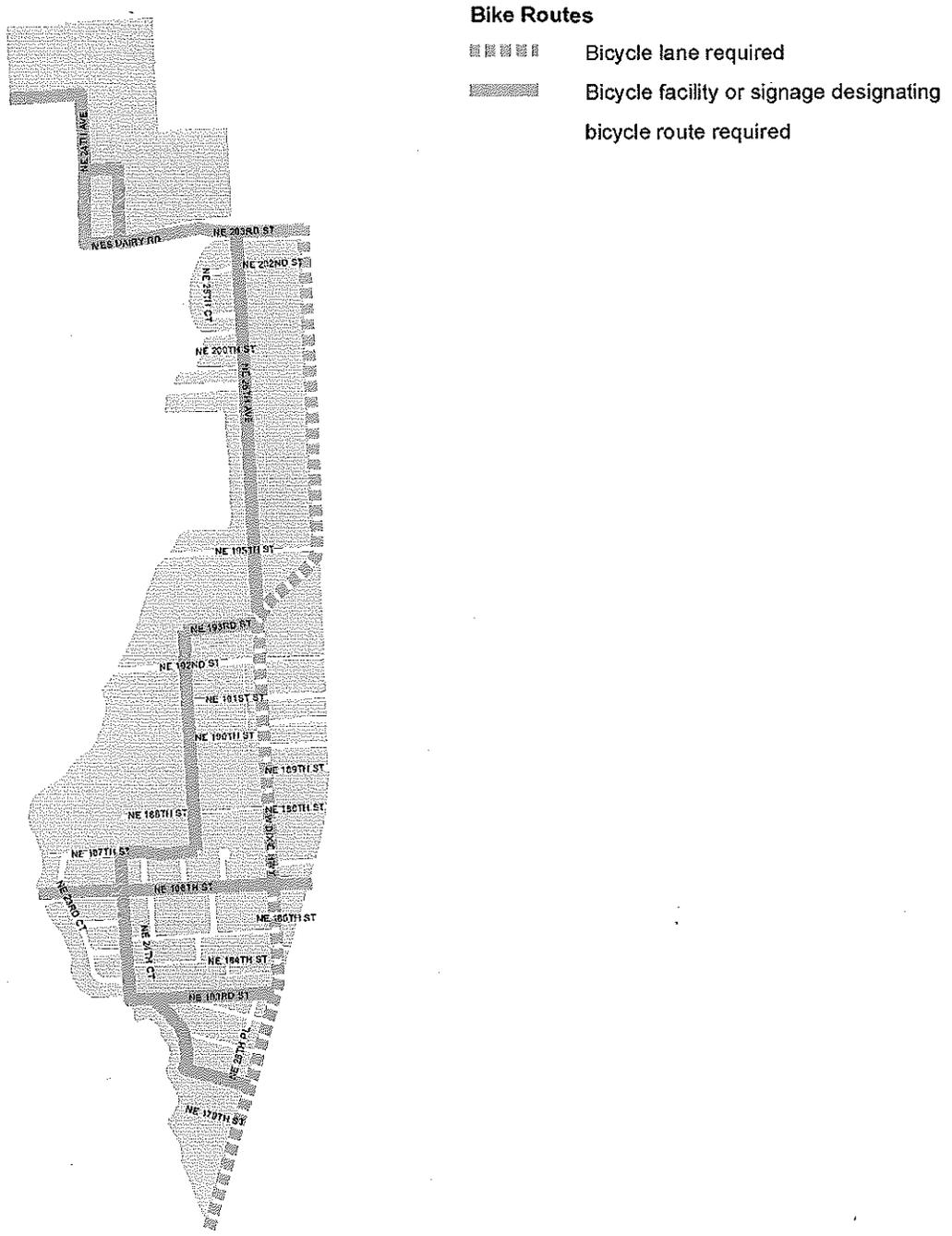
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[[G]]>>H<<. Bike Route Plan

II



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**Section 3.** Section 33-284.99.19 of the Code of Miami-Dade County, Florida, is hereby amended as follows:

**Sec. 33-284.99.19. Building Placement and Street Type Development Parameters.**

- A. All new development and redevelopment within the OUAD shall comply with the Building Placement ~~[[and Design Parameters]]~~ >>Standards<< as provided in ~~[[Section 33-284.85]]~~ >>Article XXXIII(K)<<of this code.
- B. All new development and redevelopment within the OUAD shall comply with the ~~[[Street Type Parameters]]~~ >>Streets, Service Roads and Utilities standards in Article XXXIII(K) of this code or<< as provided herein:

[[

<u>Street type</u>	<u>Minimum Required Configuration</u>
Main Street	As provided herein
Boulevard (NE 26 <sup>th</sup> Avenue)	As provided herein
Boulevard	As provided in section 33-284.85
Minor Street	As provided herein or in section 33-284.85
Service Road	As provided in section 33-284.85
Pedestrian Passage	As provided in section 33-284.85]]

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<u>Street type</u>	<u>Minimum Required Configuration</u>	
	<u>Core/Center</u>	<u>Edge</u>
<u>Main Street</u>	As provided in this section	
<u>Boulevard</u>	As provided in this section	
<u>Minor Street</u>	Street type 3, 4, or 5	
<u>Minor Street, Sidewalks not required</u>	Not applicable	As provided in this section<<

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- C. ~~[[Unless otherwise provided by the Building Placement and Design Parameters in section 33-284.85 of this code, the following street setbacks shall be required for mixed-use/industrial buildings located in areas designated as MM, MC and ID within the OUAD]]~~ >>The following setbacks shall be required where a Building Placement Standard in Article XXXIII(K) of this code refers to a Frontage Table<<:

[[

Street Type	Required Setback		
	Core	Center	Edge
Main Street	0' * or 12'	N/A	N/A
Boulevard (NE 26 Avenue)	N/A	0' or 10'	10' or 15'
Boulevard (Other)	0'	0' or 10'	10' or 15'
Minor Street	0' or 10'	0' or 10'	10' or 15'
Note: * 12' colonnade required when setback is 0' ** as provided in Section 33-284.99.19 of this code N/A not applicable			

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Street Type	Required Setback		
	Core	Center	Edge
Main Street	0' * 12' **	N/A	N/A
Boulevard	0' * 10' **	0' * 10' **	10' or 15'
Minor Street	0' * 10' **	0' * 10' **	10' or 15'
Note: * Colonnade required ** Setback adjoining ground-story residential uses shall be landscaped and/or hard surfaced N/A not applicable			

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[[

<b>MAIN STREET (WEST DIXIE HWY/NE 26th AVE)</b>	
<b>CORE</b>	
<p><b>STREET SECTION</b></p> <p><b>Key:</b>            s: sidewalk            g: green            c: curb and gutter            ln: lane            med: median            p: parking            bl: bike lane            col: colonnade            setb.: Setback            PL: property line            Min: Minimum            Max: Maximum            Req: Required            Ded: Dedication</p> <p>----- Property Line</p>	
<b>LANDSCAPE/ OPEN SPACE</b>	<p>Parking lot buffers and street trees shall meet all requirements of this article and Chapter 18-A of this code, except street trees shall have a minimum diameter breast height of 4". Permanent irrigation shall be required. Street trees along the sidewalk only are optional and, if provided, shall be planted in 5'x5' tree grates.</p>
<b>PARKING</b>	<p>On-street parking shall count towards the minimum required parking.</p>
<b>OTHER ELEMENTS</b>	<p>A colonnade shall be required on both sides of West Dixie Highway when build-to line is 0' and shall occupy the full length of the building frontage.            Perimeter walls, fences, hedges, entrances and pedestrian pass throughs shall be provided as specified in the General Requirements.            On all Main Street intersections, the median shall have a mountable curb.</p>

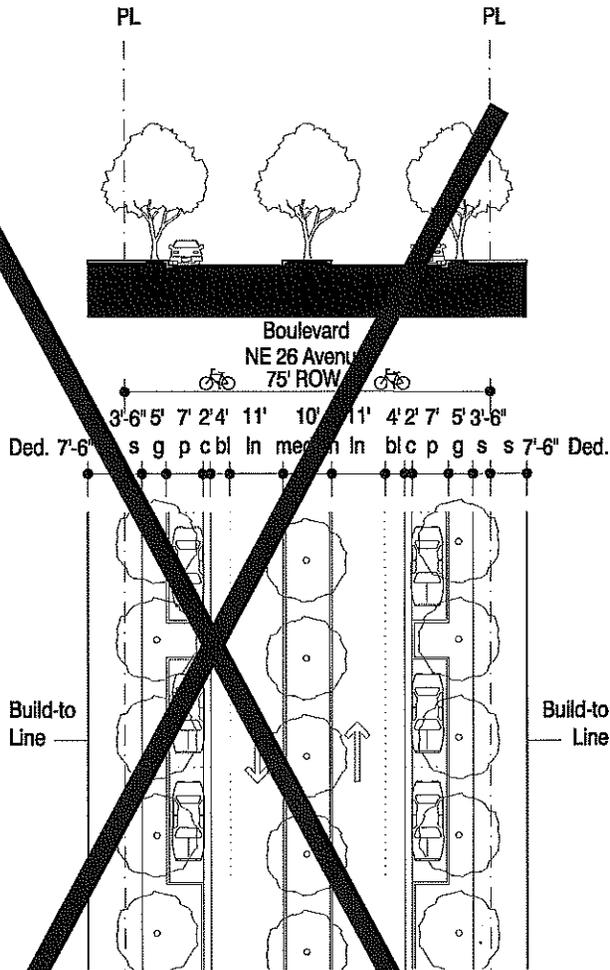
**BOULEVARD (NE 26TH AVENUE)**  
**CORE/CENTER**

**STREET SECTION**

**Key:**

- s: sidewalk
- g: green
- c: curb and gutter
- ln: lane
- med: median
- p: parking
- bl: bike lane
- col: colonnade
- setb.: Setback
- PL: property line
- Min: Minimum
- Max: Maximum
- Req: Required
- Ded: Dedication

----- Property Line



**LANDSCAPE/  
OPEN SPACE**

Parking lot buffers and street trees shall meet all requirements of this article and Chapter 18-A of this code, except street trees shall have a minimum diameter breast height of 4". Street trees shall be planted in a 5' continuous landscape strip. Permanent irrigation is required.

**PARKING**

On-street parking shall count towards the minimum required parking.

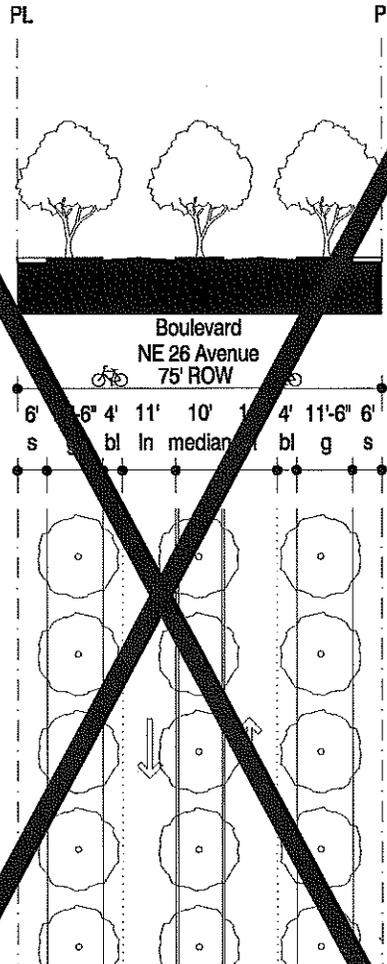
**OTHER ELEMENTS**

The front setback shall be hard surfaced and finished to match the adjoining sidewalk. A minimum of 5' clear width within the setback shall be kept unobstructed for pedestrians. Weather protection elements shall be provided on the building facade. Perimeter walls, fences, hedges, entrances and pedestrian pass throughs shall be provided as specified in the General Requirements. On all Boulevard intersections, the median shall have a mountable curb.

**BOULEVARD (NE 26TH AVENUE)**  
**EDGE**

**STREET SECTION**

- Key:**  
s: sidewalk  
g: green  
c: curb and gutter  
ln: lane  
med: median  
p: parking  
bl: bike lane  
col: colonnade  
setb.: Setback  
PL: property line  
Min: Minimum  
Max: Maximum  
Req: Required  
Ded: Dedication
- Property Line



**LANDSCAPE/  
OPEN SPACE**

Parking lot buffers and street trees shall meet all requirements of this article and Chapter 18-A of this code, except street trees shall have a minimum diameter breast height of 4". Street trees shall be planted in a 6" continuous landscape strip.

**PARKING**

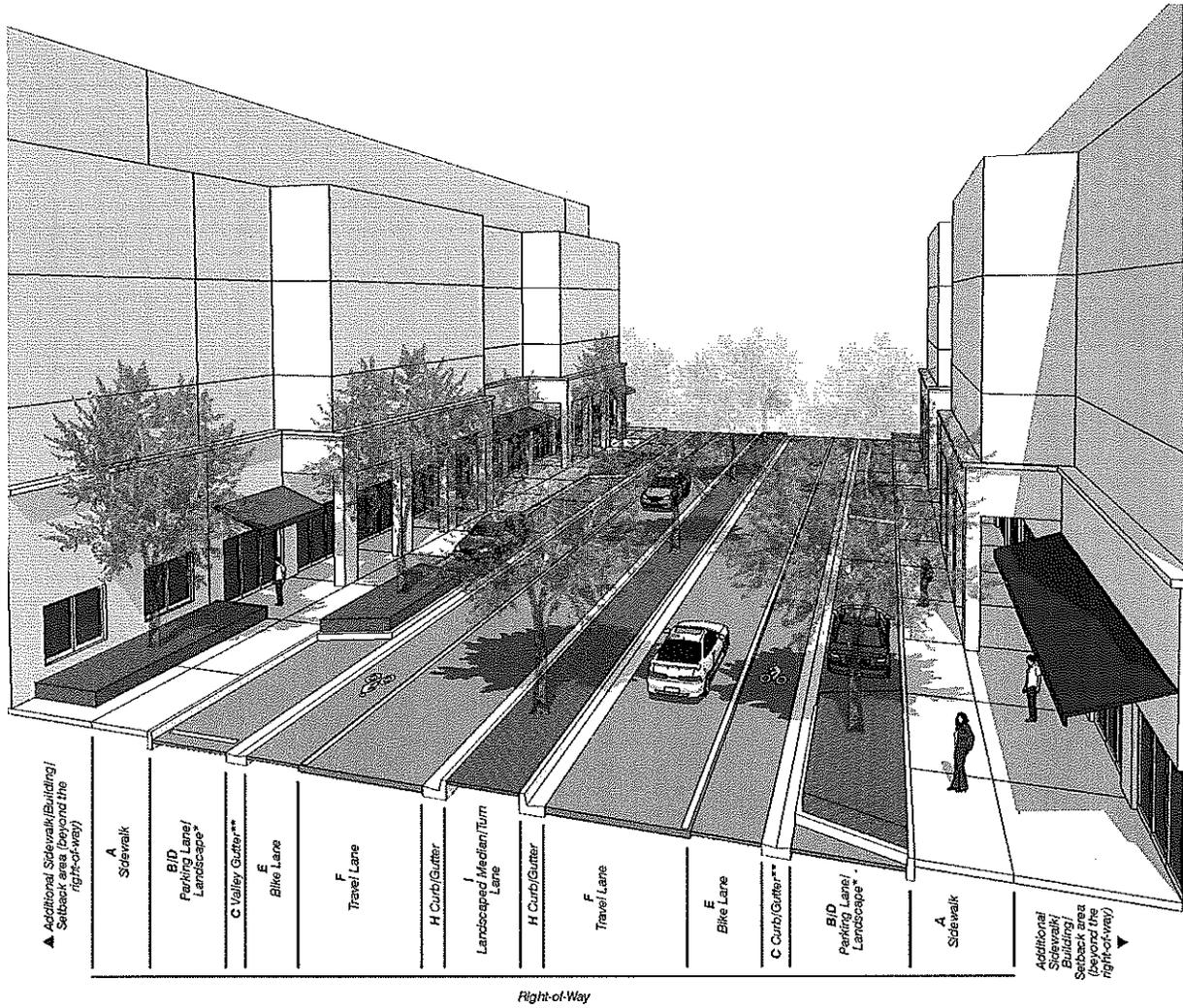
N/A

**OTHER ELEMENTS**

The front setback shall be landscaped.  
Perimeter walls, fences, hedges, entrances and pedestrian pass throughs shall be provided as specified in the General Requirements.  
On all Boulevard intersections, the median shall have a mountable curb.

>>D. Street Types Development Parameters.

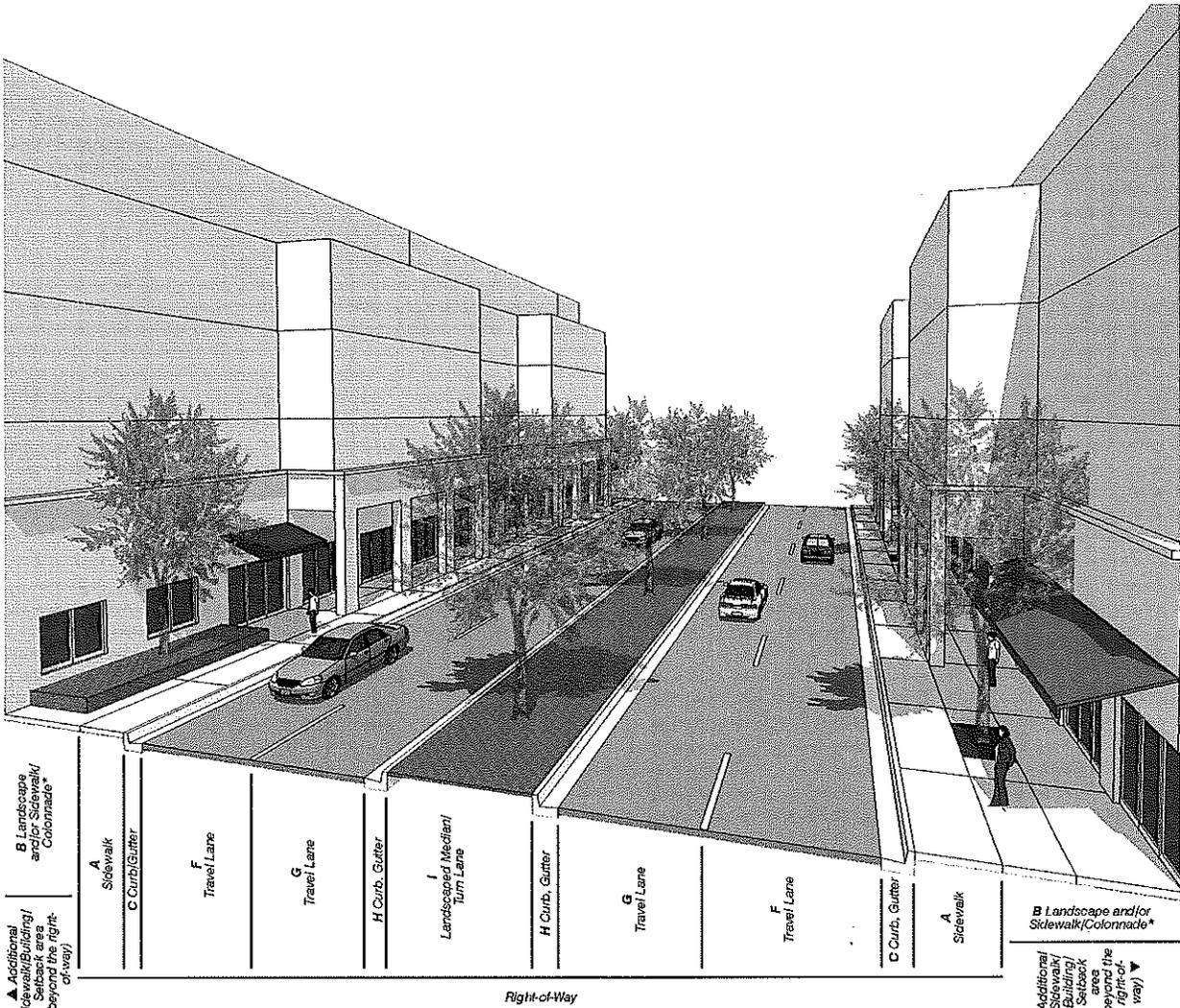
Main Street



\* Refer to column B in Street Types Table for required landscape elements.

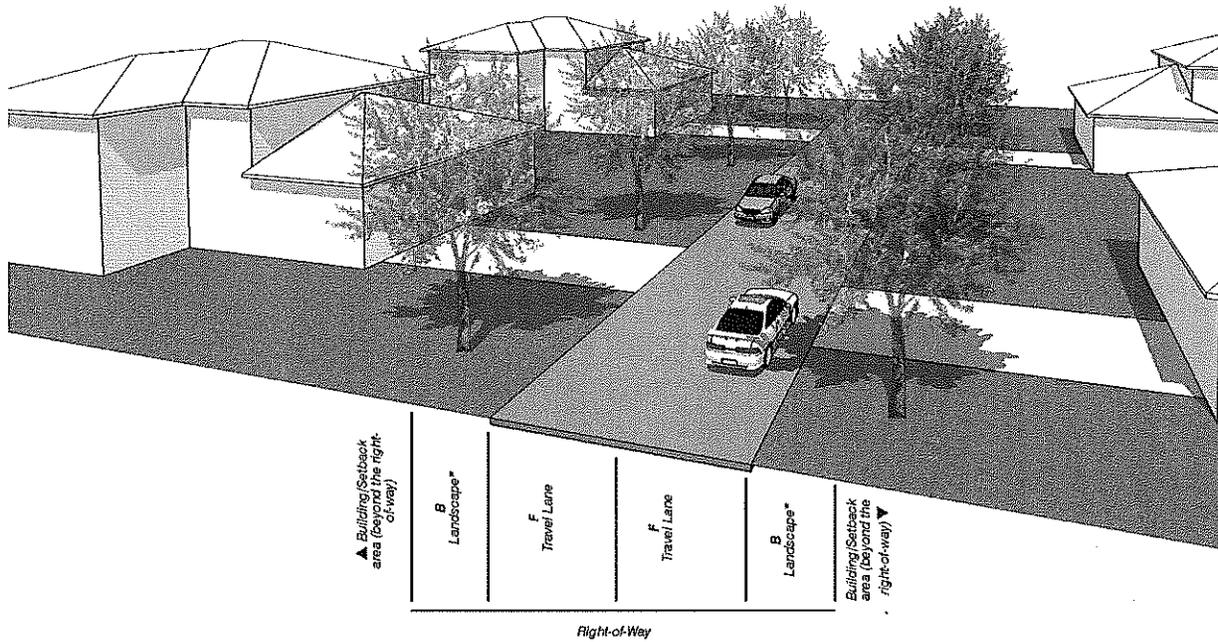
\*\* Curb and gutter between the sidewalk and parking/travel lanes may be utilized in place of the valley gutter illustrated.

Boulevard



\* Refer to column B in Street Types Table for required landscape elements.

Minor Street, Sidewalks not required



\* Refer to column B in Street Types Table for required landscape elements.

<u>Street Type</u>	<u>Required Elements</u>							
	<u>A.</u> <u>Sidewalk</u> <u>(Min.)</u>	<u>B.</u> <u>Land-</u> <u>scape</u> <u>[b, c, d]</u>	<u>C.</u> <u>Curb/</u> <u>Gutter</u> <u>[e]</u>	<u>D.</u> <u>Parking</u> <u>Lane</u>	<u>E.</u> <u>Bike</u> <u>Lane [g]</u>	<u>F, G.</u> <u>Travel</u> <u>Lanes</u> <u>[h]</u>	<u>H.</u> <u>Curb/</u> <u>Gutter</u> <u>[e]</u>	<u>I.</u> <u>Median/</u> <u>Turn</u> <u>Lane</u>
<u>Main Street</u> <u>Core</u>	5'	Tree grates; tree planters	2'	7'	Required where indicated on Bike Route Plan	11'	2'	6' (Median) 10' (Turn Lane)

<u>Street Type</u>	<u>Required Elements</u>							
	<u>A.</u> <u>Sidewalk</u> <u>(Min.)</u>	<u>B.</u> <u>Land-</u> <u>scape</u> <u>[b, c, d]</u>	<u>C.</u> <u>Curb/</u> <u>Gutter</u> <u>[e]</u>	<u>D.</u> <u>Parking</u> <u>Lane</u>	<u>E.</u> <u>Bike</u> <u>Lane [g]</u>	<u>F, G.</u> <u>Travel</u> <u>Lanes</u> <u>[h]</u>	<u>H.</u> <u>Curb/</u> <u>Gutter</u> <u>[e]</u>	<u>I.</u> <u>Median/</u> <u>Turn</u> <u>Lane</u>
<b><u>Boulevard</u></b> <i>Core/</i> <i>Center/</i> <i>Edge</i>	5'	Tree grates; tree planters; landscape strip	2'	N/A	Required where indicated on Bike Route Plan	11'	2'	6' (Median) 10' (Turn Lane)
<b><u>Minor Street, Sidewalks not required</u></b> <i>Edge</i>	N/A	Landscape strip	N/A	N/A	Required where indicated on Bike Route Plan	11'	N/A	N/A
N/A: Not Applicable								
[#] Footnote (as provided below)								

Footnotes:

- a. Landscape area is exclusive of the minimum sidewalk width.
- b. Street trees shall have a minimum caliper of six (6) inches at time of planting.
- c. Permanent irrigation is required.
- d. Tree grates shall have a minimum area of twenty-four (24) square feet; tree planters shall have a minimum area of thirty-two (32) square feet; continuous landscape strips shall have a minimum width of six (6) feet in the Core and Center Sub-districts, eight (8) feet in the Edge Sub-district.
- e. In all Sub-districts, curbs and gutters shall be provided at all intersections and roadway edges of arterials, boulevards and Main Street; in Core and Center Sub-districts, curbs and gutters shall be provided at all intersections and roadway edges of minor streets.
- g. Bike lanes shall be four (4) feet in width when adjacent to curb or swale; five (5) feet in width when adjacent to a parking lane.

- h. The minimum required width of one-lane/one-way travel lanes shall be determined by the Department of Public Works and Waste Management and Fire Rescue Department on a case-by-case basis during the Administrative Site Plan Review process (ASPR).<<

**Section 4.** Section 33-284.89.22 of the Code of Miami-Dade County, Florida is hereby amended as follows:

**Sec. 33-284.99.22. Non-conforming Structures, Uses, and Occupancies.**

~~[[Nothing contained in this article shall be deemed or construed to prohibit a continuation of a legal nonconforming structure, use, or occupancy in the OUAD that either (1) was existing as of the date of the district boundary change on the property to OUAD or (2) on or before said date, had received final site plan approval through a public hearing pursuant to this chapter or through administrative site plan review or had a valid building permit. However, any structure, use, or occupancy in the OUAD that is discontinued for a period of at least six months, or is superseded by a lawful structure, use or occupancy permitted under this chapter, or that incurs damage to the roof or structure to an extent of 50 percent or more of its market value, shall be subject to Section 33-35(e) of this code. However, a lawfully existing single family home use that is discontinued for a period of at least six months or that incurs damage to the roof or structure to an extent of 50 percent or more of its market value, shall not be subject to Section 33-35(e) of this code.]]~~

>>Non-conforming Structures, Uses, and Occupancies shall be governed by the provisions of Section 33-284.89.2 of this chapter.<<

**Section 5.** If any section, subsection, sentence, clause or provision of this ordinance is held invalid, the remainder of this ordinance shall not be affected by such invalidity.

**Section 6.** It is the intention of this Board of County Commissioners, and is hereby ordained that the provisions of this ordinance shall become and made part of the Code of Miami-Dade County, Florida. The section of this ordinance may be renumbered or relettered to

accomplish such intention, and the word "ordinance" may be changed to "section," "article" or other appropriate word.

Section 7. This ordinance shall become effective ten (10) days after the date of enactment unless vetoed by the Mayor, and if vetoed, shall become effective only upon an override by this Board.

PASSED AND ADOPTED:

Approved by County Attorney as  
to form and legal sufficiency:


Prepared by:

Dennis A. Kerbel