

Date: October 21, 2008

To: Honorable Chairman Bruno A. Barreiro
And Members, Board of County Commissioners

From: George M. Burgess
County Manager 

Subject: Historic Preservation Ad Valorem Tax Exemption for
803 Anastasia Avenue, Coral Gables

Agenda Item No. 8(N)(1)(C)

Resolution No. R-1121-08

Recommendation

It is recommended that pursuant to the provisions of Florida Statute Section 196.1997 and 196.1998 and Dade County Ordinance 16A-18 that the Board approve the resolution for the Ad Valorem Tax Exemption for the following property: 803 Anastasia Avenue, Coral Gables, Florida.

Scope

Impact of the agenda item is countywide and does not have a separate impact upon one or more commission districts.

Fiscal Impact/Funding Source

Annual taxes to be foregone if this Historic Preservation Exemption application is granted is estimated at \$701 (see attached "Revenue Implications Report").

Track Record/Monitor

County Historic Preservation staff or the Preservation Officer of the municipality in which the property is located will conduct periodic reviews of the property to insure that the improvements are maintained for the duration of the tax abatement.

Background

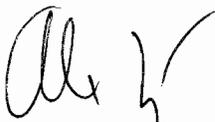
In 1993, the State legislature approved Tax Exemptions for historic properties thereby providing local option property tax exemption for historic properties. Miami-Dade County adopted an ordinance allowing tax exemption in March 1993. The purpose of this legislation is to encourage historic preservation by removing from the assessment the incremental value added by the authorized improvements. This exemption does not apply to assessed land value, only to the value of the "improvements." This exemption applies only to Miami-Dade County's portion of the taxes. Under the rules set forth by the Florida Department of State, Division of Historical Resources, certain criteria must be met for a tax exemption to be allowed:

1. Certification that the property is a historic property.
2. Certification that the property qualifies for the improvement.
3. Determination that the planned improvements are consistent with the Secretary of the Interior's Standards for Rehabilitation.

The tax exemption takes effect on January 1 following substantial completion of the improvement and extends for a ten-year period. Miami-Dade Historic Preservation staff or the Preservation Officer of the municipality in which the property is located will conduct periodic reviews of the property to insure that the improvements are consistent with the Secretary of the Interior's Standards for Rehabilitation. Failure by the owners to adhere to these standards would result in revocation of the exemption. The following property has met the criteria established for the Ad Valorem Tax Exemption:

1. The property located at 803 Anastasia Avenue, Coral Gables, Florida, meets the criteria set forth by the State of Florida. The City of Coral Gables Historic Preservation Board and the Miami-Dade County Historic Preservation Board approved the application for the tax exemption which certifies that the property does qualify for the exemption and that improvements are consistent with the Secretary of the Interior's Standards for Rehabilitation. 803 Anastasia Avenue was designated a local historic landmark by the Coral Gables Historic Preservation Board in 2001. The residence was designed by the architectural firm of Webb & Meyers in 1925. The property was the site of the Exmoor School from 1927 to approximately 1960. The school was housed in the two-story Mediterranean Revival styled home. The structure is considered an "excellent example of the types of structures ... built in the 1920s." The improvement project involved restoration, rehabilitation, renovations and some changes and alterations.
2. The total revenue foregone for the current fiscal year if the exemption applied for is granted is estimated at \$701.00 by the County's Property Appraiser (see attached "Revenue Implications" report).

Attachments



Alex Muñoz
Assistant County Manager

**HISTORIC PRESERVATION EXEMPTION
PROPERTY TAX ASSESSMENTS / REVENUE IMPLICATIONS**

Property Address: 803 Anastasia Ave.
Folio # 03-4118-004-0490

	<u>2004 Estimate</u>
1. Assessed Value of Improvements : (excluding land)	\$455,345
2. Total Taxes Levied on Improvements and Additions to : (based on 2003 millage)	\$10,503
1) Countywide Operating	\$2,718
2) Unincorporated Municipal Service Area	\$0
3) Debt Service	\$129
4) City Operating	\$2,728
5) All other property taxes	\$4,928

Revenue Implications

3. Total revenue foregone for the current fiscal year by virtue of exemptions previously granted under this section.	
a) County	\$120,080
b) Municipal	\$34,321
4. Total revenue foregone for the current fiscal year if exemption applied for is granted.	
a) County	\$701
b) Municipal	\$703
5. Taxable value foregone if the exemption applied for was granted on improvements to Real Property.	\$117,408

Date: 11/10/04

Signed: *Robert C. Farley*
Property Appraiser

for JWR



MEMORANDUM

(Revised)

TO: Honorable Chairman Bruno A. Barreiro
and Members, Board of County Commissioners

DATE: October 21, 2008

FROM: 
R. A. Cuevas, Jr.
County Attorney

SUBJECT: Agenda Item No. 8(N)(1)(C)

Please note any items checked.

- "4-Day Rule" ("3-Day Rule" for committees) applicable if raised
- 6 weeks required between first reading and public hearing
- 4 weeks notification to municipal officials required prior to public hearing
- Decreases revenues or increases expenditures without balancing budget
- Budget required
- Statement of fiscal impact required
- Bid waiver requiring County Manager's written recommendation
- Ordinance creating a new board requires detailed County Manager's report for public hearing
- Housekeeping item (no policy decision required)
- No committee review

Approved _____ Mayor
Veto _____
Override _____

Agenda Item No. 8(N)(1)(C)
10-21-08

RESOLUTION NO. R-1121-08

RESOLUTION AUTHORIZING HISTORIC PRESERVATION AD VALOREM TAX EXEMPTION FOR THE REHABILITATION TO 803 ANASTASIA AVENUE, CORAL GABLES, FLORIDA PURSUANT TO SECTION 196.1997, AND 196.1998 FLORIDA STATUTE AND SECTION 16A-18, MIAMI-DADE COUNTY CODE

WHEREAS, the Florida Legislature has authorized counties and local governments to grant tax exemptions to historic properties for the incremental value added by approved restoration work, provided that the owner covenants to maintain the historic nature of the property during the term of the tax exemption; and Miami-Dade County has enacted enabling legislation to provide such exemption, codified at section 16A-18, Miami-Dade County code; and

WHEREAS, 803 Anastasia Avenue, Coral Gables, Florida is a property of architectural and historic significance; and

WHEREAS, the Miami-Dade County Historic Preservation Board recommended that the exemption be allowed and certified to the Board of County Commissioners that 803 Anastasia Avenue, Coral Gables, Florida is a designated municipal historic landmark and that the proposed improvements are consistent with the United States Secretary of Interior's Standards for Rehabilitation and meet the criteria established in the rules adopted by the Department of State; and

WHEREAS, the property owner(s) have executed the necessary covenant, which is attached and made part of this resolution,

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF COUNTY COMMISSIONERS OF MIAMI-DADE COUNTY, FLORIDA, that this Board finds that this property meets the requirements of section 16A-18, Miami-Dade County code and therefore the application for a historic preservation tax exemption, pursuant to those provisions, is hereby granted to Kathleen Lee as the owner of 803 Anastasia Avenue, Coral Gables, Florida.

The owner shall have recorded the original of the attached covenant with the deed for the property in the official records of Miami-Dade County and Miami-Dade County hereby accepts the covenant. The exemption shall run for ten years beginning on January 1st following substantial completion of the improvements. The County Manager is hereby authorized and directed to sign the attached covenant on behalf of Miami-Dade County. If any section, subsection, sentence, clause or provision of this resolution is held invalid, the remainder of this resolution shall not be affected by such invalidity.

The foregoing resolution was offered by Commissioner **Dorrin D. Rolle**, who moved its adoption. The motion was seconded by Commissioner **Rebeca Sosa** and upon being put to a vote, the vote was as follows:

	Bruno A. Barreiro, Chairman	aye	
	Barbara J. Jordan, Vice-Chairwoman	aye	
Jose "Pepe" Diaz	aye	Audrey M. Edmonson	aye
Carlos A. Gimenez	aye	Sally A. Heyman	aye
Joe A. Martinez	aye	Dennis C. Moss	aye
Dorrin D. Rolle	aye	Natacha Seijas	absent
Katy Sorenson	absent	Rebeca Sosa	aye
Sen. Javier D. Souto	absent		

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Resolution No. R-1121-08

Agenda Item No. 8(N)(1)(C)

Page No. 3

The Chairperson thereupon declared the resolution duly passed and adopted this 21st day of October, 2008. This resolution shall become effective ten (10) days after the date of its adoption unless vetoed by the Mayor, and if vetoed, shall become effective only upon an override by this Board.

MIAMI-DADE COUNTY, FLORIDA
BY ITS BOARD OF
COUNTY COMMISSIONERS

HARVEY RUVIN, CLERK



By: **Kay Sullivan**
Deputy Clerk

Approved by County Attorney as
to form and legal sufficiency.

A handwritten signature in black ink, appearing to be "T. Logue", written over a horizontal line.

Thomas W. Logue

A large, handwritten mark in black ink that resembles the number "7".

HISTORIC PRESERVATION PROPERTY TAX EXEMPTION APPLICATION
PART 1 – PRECONSTRUCTION APPLICATION

Instructions: Read the attached instructions carefully before completing this application. In the event of any discrepancy between the application form and other supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form shall take precedence. Type or print clearly in black ink. If additional space is needed, attach additional sheets.

I. PROPERTY IDENTIFICATION AND LOCATION

Historic/Site Name: _____

Property Address: 803 Anastasia Ave

Folio Number: 620639 Plat book: 32 Page Number: 63

Legal Description (attach additional sheets if necessary):
(Lot, Block, Subdivision and Section)

Lot 13 & 14, Block 26, "Second Revised Plat of Coral Gables Country Club Section Part 2"

* Attach Public Value Inquiry which can be obtained at the Dade County Property Appraiser's Office, 111 NW 1st Street, Suite 710, Miami, Florida (305) 375-1212

- Designated as a local historic landmark
- Designated as a contributing structure within a local district
- Listed in the National Register of Historic Places
- Individual listing
- Contributing structure in a district
- (Attach the local historic designation report or the National Register Nomination)*

II. OWNER INFORMATION

Name of individual(s) or organization owning the property:

Kathleen and Brian Lee

Mailing Address: 803 Anastasia Ave

City: Coral Gables State: FL Zip: 33134

Daytime Telephone Number: (305) 443-1095

Contact Person: Kathleen Lee

E-mail: Kblee.3@mindspring.com Fax: (305) Other: _____

If property is in multiple ownership please attach a list of all owners and their mailing addresses.

III. CURRENT PHYSICAL DESCRIPTION OF PROPERTY

A. General Information

Date of Construction: 1926

Alterations: Provide date and description of physical alterations to the property. (for example, "casement windows replaced with jalousie type, approximately 1974")

1973 ~~was~~ involved roofed section of NW addition and saw porch was added: eliminating steps to landing area enclosing main entrance

Additions: Provide date and description of any additions which may have been made. (For example, "east bedroom-rear added, 1974")

1973 addition of a porch well and roofed addition to the west of original structure.

B. Exterior

Exterior construction Materials:

Type of Roof

- Hip
- Gable
- Flat
- Parapet
- Other _____

Material

- Shingle
 - wood
 - asphalt
 - slate
 - concrete
- Tile
 - clay barrel
 - s-type
- Metal
 - copper
 - tin
 - aluminum
- Other _____

Number of Stories: 2

Basic Floor Plan:

- Rectangle
- Square
- "L"-shaped
- "H"-shaped
- "U"-shaped
- Irregular
- Other

Distinguishing Exterior Architectural Features (e.g.: placement and type of windows; chimneys; porches; etc.)

wrought iron balcony, arched openings, decorative spiral columns, predominant chimney, casement windows, porch well, wood & metal accents, barrel tile roof

C. Interior

Distinguishing features (e.g.: decorative molding-dining room; limestone fireplace-living room; etc.)

cream molding living room, fireplace living room

D. Auxiliary Structures

Describe the present appearance of any auxiliary structures on the property (e.g., out buildings; detached garages; walls; etc.)

Two Car detached garage w/second story studio apartment, exterior staircase to apartment.

IV DESCRIPTION OF PROPOSED IMPROVEMENTS

All improvements to historic properties will be evaluated for their consistency with the current Secretary of Interior's Standards for Rehabilitation. Staff report(s) are appended to this application. Applications must contain sufficient information to enable those judgements and will be returned if incomplete and or for insufficient documentation. The application must include labeled photographs of both the interior and exterior of the property which describe the property and its characteristics. Black and white or color photographs are acceptable; minimum size of photograph is 3 1/2" x 5".

Use of the building before the improvements: Private One Family Home

Use of the building after the improvements: Private One Family Home

Estimated project start date: ~~8-1-02~~ 7-17-02

Estimated project completion date: 2-1-03

Estimated value of improvements/restoration: \$120,000

Type of work proposed: Addition Alteration Upgrade Restoration Rehabilitation

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A. EXTERIOR ARCHITECTURAL FEATURES

The following represents an itemization of work to be accomplished. List each principal elevation affect. Include a numbered photograph of each elevation or detail and plans or drawings. Please attach additional sheets if necessary.

Feature 1

Elevation (e.g., north; south; east; west. Please specify principal facade):

East & North property line of Anastasia & Anderson

Photo number: 1, 2

Plan Number: 5.0, A1.0

Describe work:

adding wall with decorative ironwork gates (to match existing ironwork) to border property the entire length of Anastasia & Anderson property perimeter

Feature 2

Elevation (e.g., north; south; east; west. Please specify principal facade):

East & North

Photo number: # 1, 6, 7

Plan Number: A 3.0

Describe work:

restoring front porch to original open plan, restoring spiral columns to re-create open-air porch

Feature 3

Elevation (e.g., north; south; east; west. Please specify principal facade):

West

Photo number: 2, 4, 5, 10

Plan Number: A 5.0

Describe work:

Constructing covered (bead-tiled) walkway to connect back of house to two-story garage. Addition to include tiled walkway supported by columns

Exterior

Feature 4:

elevation: west

photo: #10

plan: A8, A11

work:

Construction of library ~~to include~~ adjacent to rear of garage to include: french doors, ~~the~~ Spanish tile floor and exposed wood beam ceiling.

B. Interior Architectural Features

Feature 1

Room: west

Photo number: #8, #9

Plan Number: A.3, A.11

Describe work:

*taking down wall above oven and extending adjacent
laundry room to create open kitchen and allow
more light into area*

Feature 1

Room: _____

Photo number: _____

Plan Number: _____

Describe work:

Feature 1

Room: _____

Photo number: _____

Plan Number: _____

Describe work:

Landscape Features

Landscape plan e.g., trees and shrubbery, plans, walls, fountains, etc.

**PRECONSTRUCTION APPLICATION REVIEW
FOR HISTORIC PRESERVATION OFFICE USE ONLY**

Folio Number 03 4118 004 0490

Street Address 803 Anastasia Avenue
Coral Gables Florida 33134

The Historic Preservation Officer has reviewed Part 1 (Preconstruction Application) of the Historic Preservation Property Tax Exemption Application for the above named property and hereby:

- Certifies that the above referenced property qualifies as a historic property consistent with the provisions of s. 196.1997 (11), F. S.
- Certifies that the above referenced property does not qualify as a historic property consistent with the provisions of s. 196.1997 (11), F. S.
- Determines that improvements to the above referenced property are consistent with the Secretary of Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings and the criteria set forth in Chapter 1A-38, F. A. C.
- Determines that improvements to the above referenced property are not consistent with the Secretary of Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings and the criteria set forth in chapter 1A-38, F. A. C. all work not consistent with the referenced Standards, Guidelines and criteria is identified in the Review Comments.

Review comments:

See COA(SP) 2002-04
AV 2002-05

Additional Review Comments attached? Yes No

Signature: 

Typed or printed name: Dona M Lubin

Title Historical Resources Director

Date _____

Complete the following if an individual is signing for an organization.

Title _____ Organization name _____

Social Security or Taxpayer Identification Number _____

Mailing Address _____

City _____ State _____ Zip Code _____

Daytime Telephone Number _____

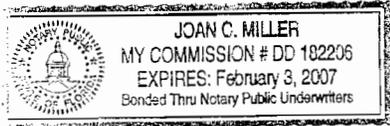
Notarized:
STATE OF FLORIDA)
COUNTY OF DADE)

The foregoing instrument was acknowledged before me this 14 day of January, 2004
by Kathleen Lee (and) _____ who
is (are) personally known to me, or have produced driver's license as
identification.

My commission expires:

Joan C. Miller
NOTARY PUBLIC, STATE OF FLORIDA

Print Name: JOAN C. MILLER



**REVIEW OF COMPLETED WORK
FOR HISTORIC PRESERVATION OFFICE USE ONLY**

Folio Number 03 4118 004 0490

Street Address 803 Anastasia Avenue

Coral Gables FL 33134

The Historic Preservation Officer has reviewed Part 2 (Request for Review of Completed Work) of the Historic Preservation Property Tax Exemption Application for the above named property and hereby:

- Determines that the completed improvements to the above referenced property are consistent with the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings and the criteria set forth in Chapter 1A-38, F.A.C., and; therefore, recommends approval of the requested historic preservation tax exemption.
- Determines that the completed improvements to the above referenced property are not consistent with the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, and the criteria set forth in Chapter 1A-38, F.A.C., and therefore, recommends denial of the requested historic preservation tax exemption for the reasons stated in the Review Comments below.

Review comments:

*See COA (SP) 2002-04
AV 2002-05*

Additional Review Comments attached? (Yes No

Signature: *Dona M. Lubin*

Typed or printed name: Dona M Lubin

Title Historical Resources Director

Date _____

Site sketch and/or landscape plan number: _____

Describe Work:

RE: 803 Anastasia Ave

The following is a detailed account of renovations completed on the historically designated property of Kathleen and Brian Lee at 803 Anastasia Avenue, Coral Gables, 33134.

- Original stucco wall redesigned and completed around perimeter of property reflecting original style iron work detailing.
- Main entrance porch restored to original condition. Columns and arches restored.
- Rear entrance and kitchen expanded to include custom cabinetry to match existing kitchen cabinetry. North facing rear French style impact resistant Marvin doors and windows were installed and the floor is imported Spanish tile.
- Entire main house windows replaced with French casement styled impact resistant Marvin windows. East facing window on stairs was restored to an arched window as was originally designed.
- Library constructed on west side of garage with impact-resistant French doors and windows. Custom handmade cuban tile floor
- Loggia connecting the Library to the rear French doors of main house includes imported Spanish terracota tiles and bricks and handpainted Spanish tile on stair risers.
- Surrounding areas of property were trenched and drainage pits were put in place for proper drainage of water.
- Stairs were recovered and returned to original conditions on small porch on East side of main house.
- Entire property was re-landscaped with tropical trees and specimen plantings.

Total Project cost: \$430,000.

Cost to Historic Buildings: \$400,00

Thank you.

Please contact Kathleen Lee (305) 443-1095 for any reason.

RE: 803 Anastasia Ave

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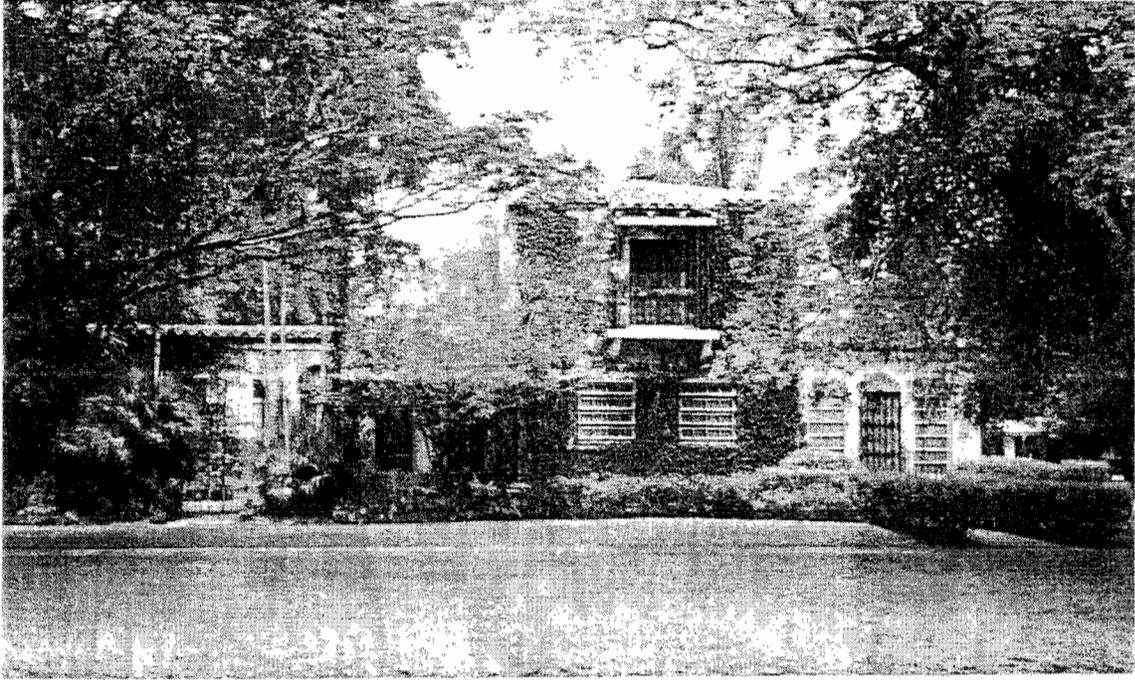
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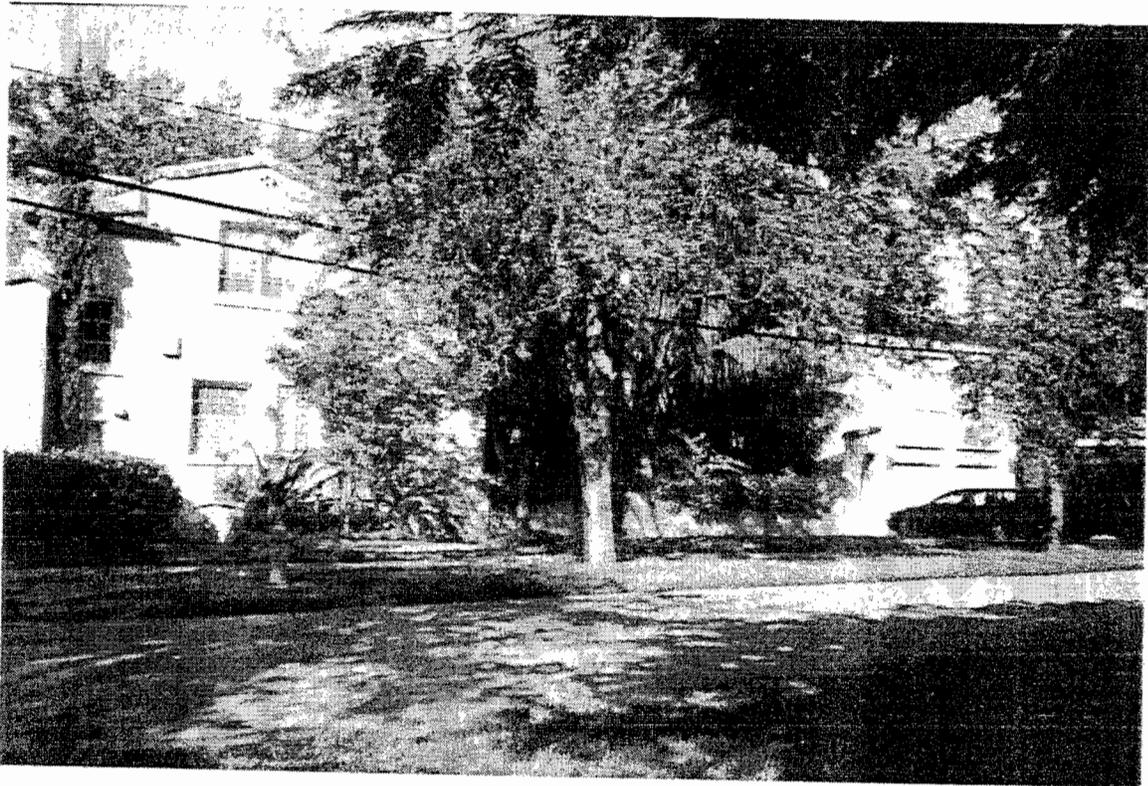
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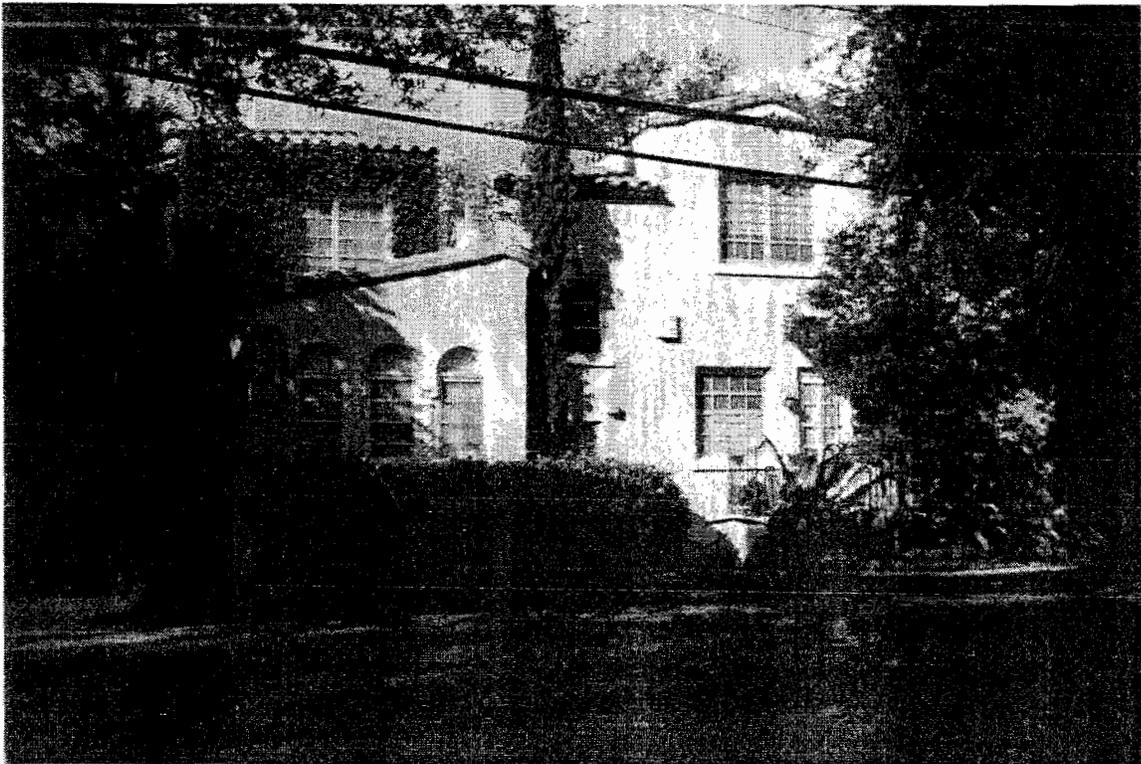
Thank you.

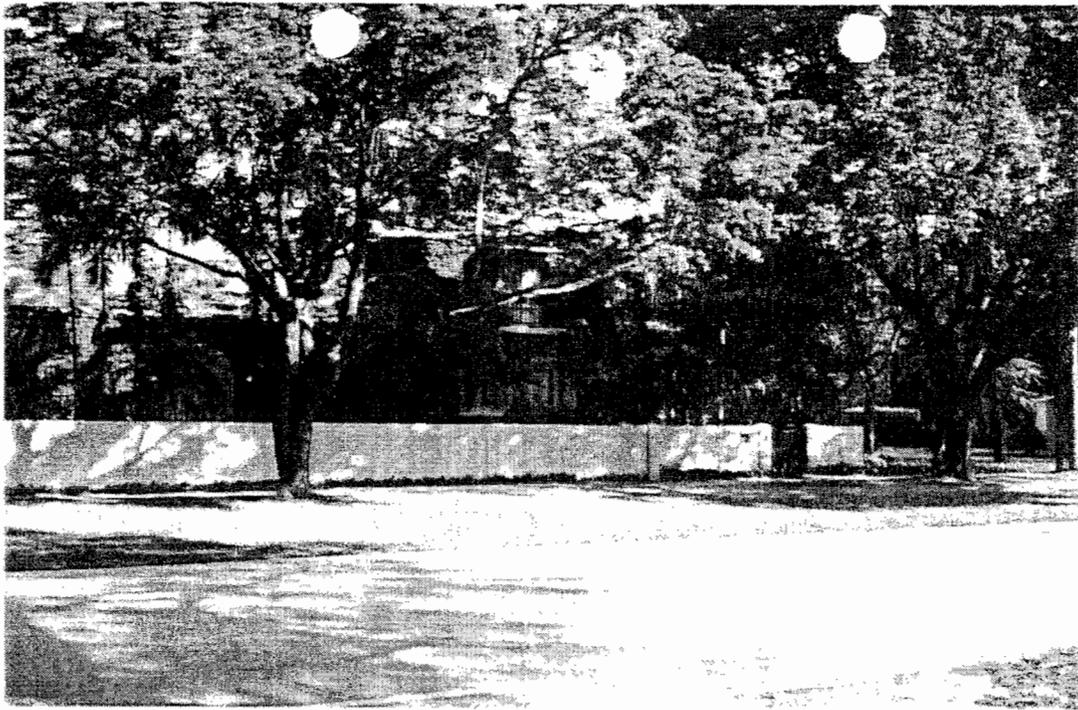
Please contact Kathleen Lee (305) 443-1095 for any reason.



1850-1860



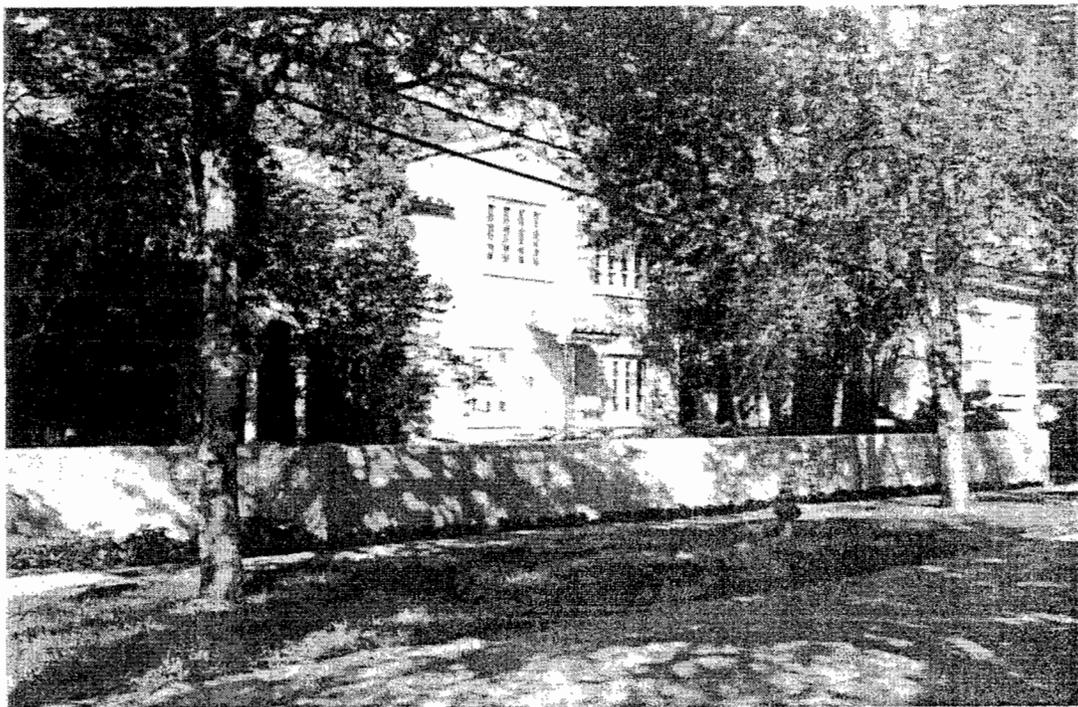




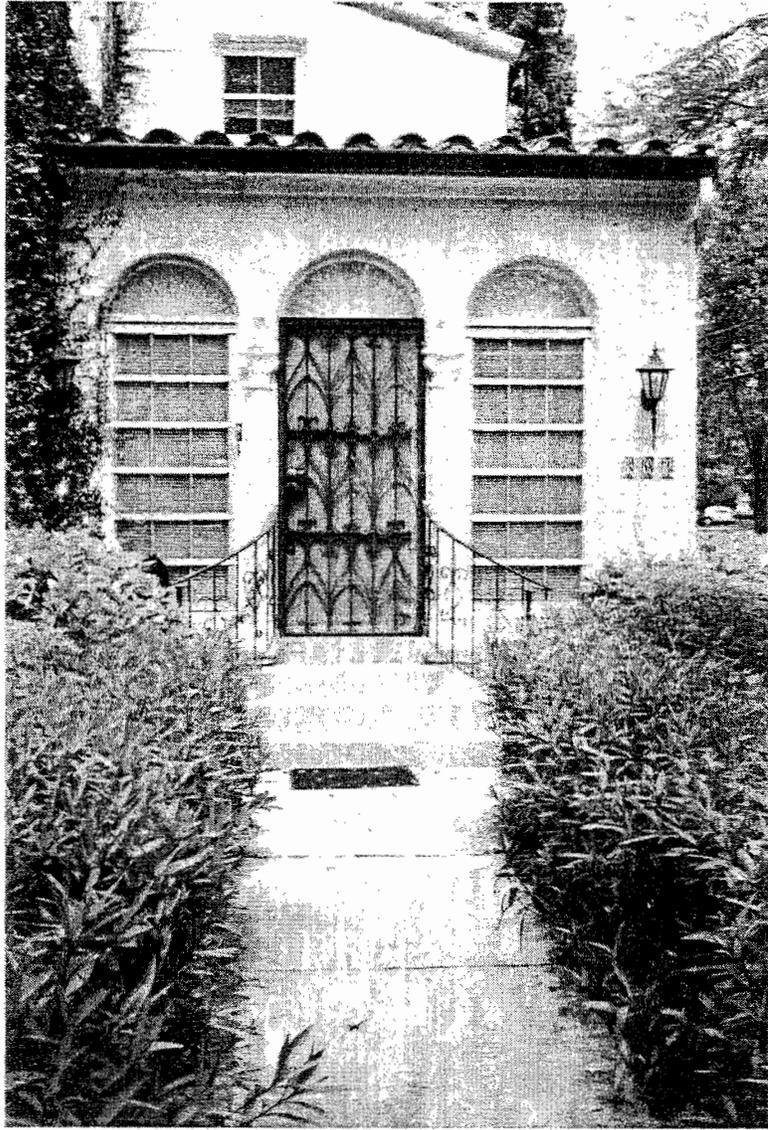
1) Stucco Wall constructed around perimeter of property w/
 matching iron details to original iron on property.
 South Facing Side of Anastos. a

2) East Facing on Anderson Wall Repair all
 windows

2



with
 1 m. east
 resistant
 Masonry
 Windows



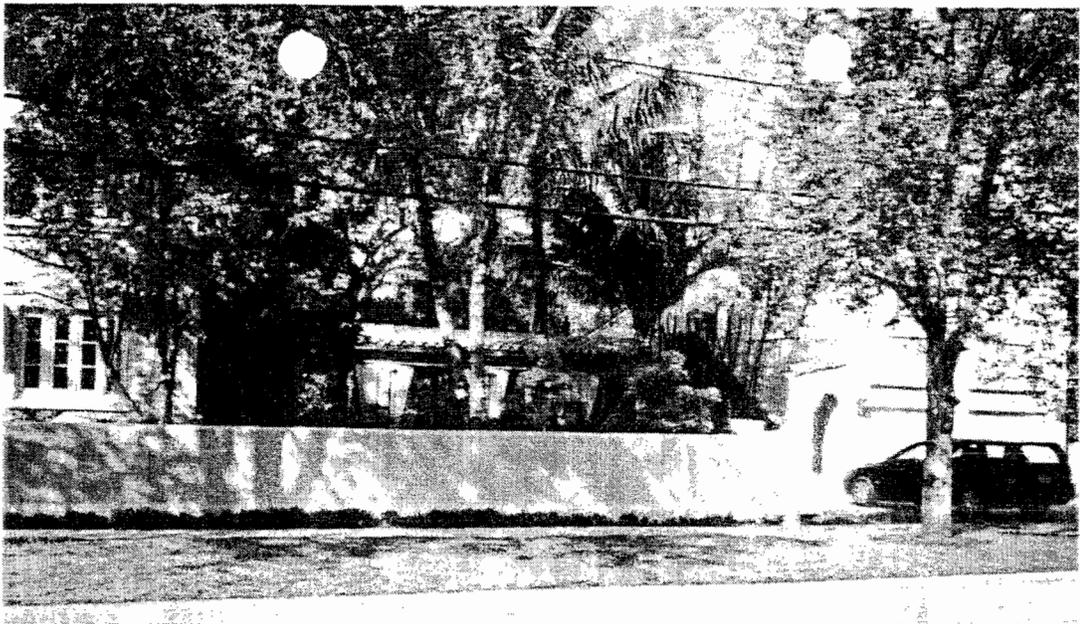
24

5

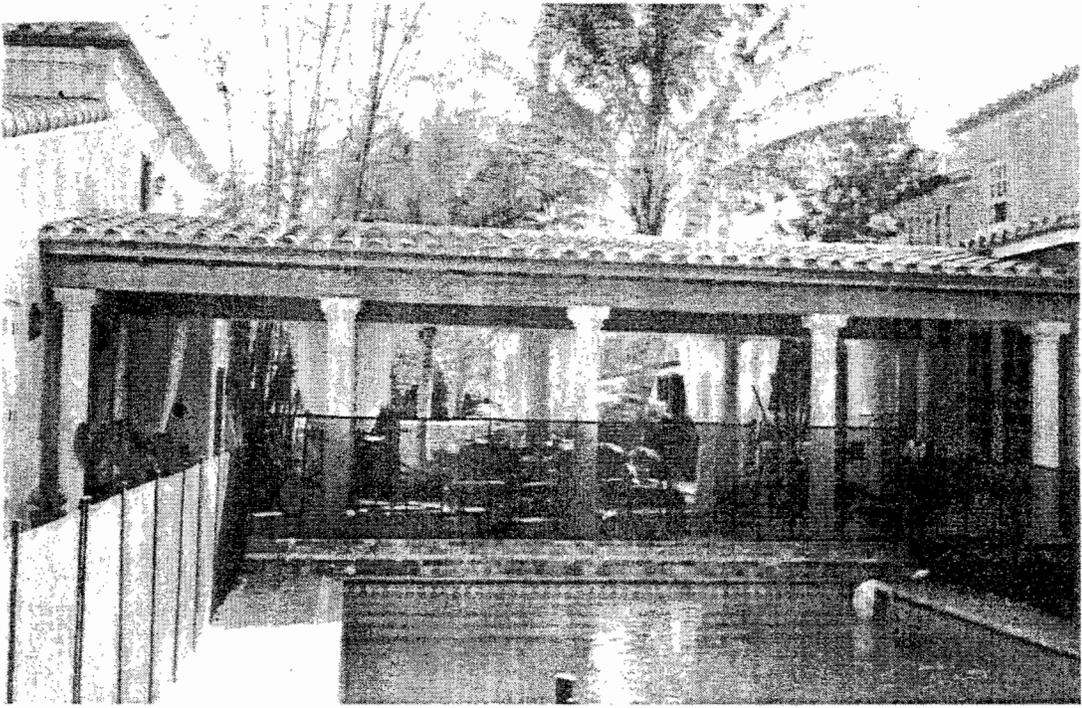


3) Saint Francis Main Entrance
Elevation of porch and column details

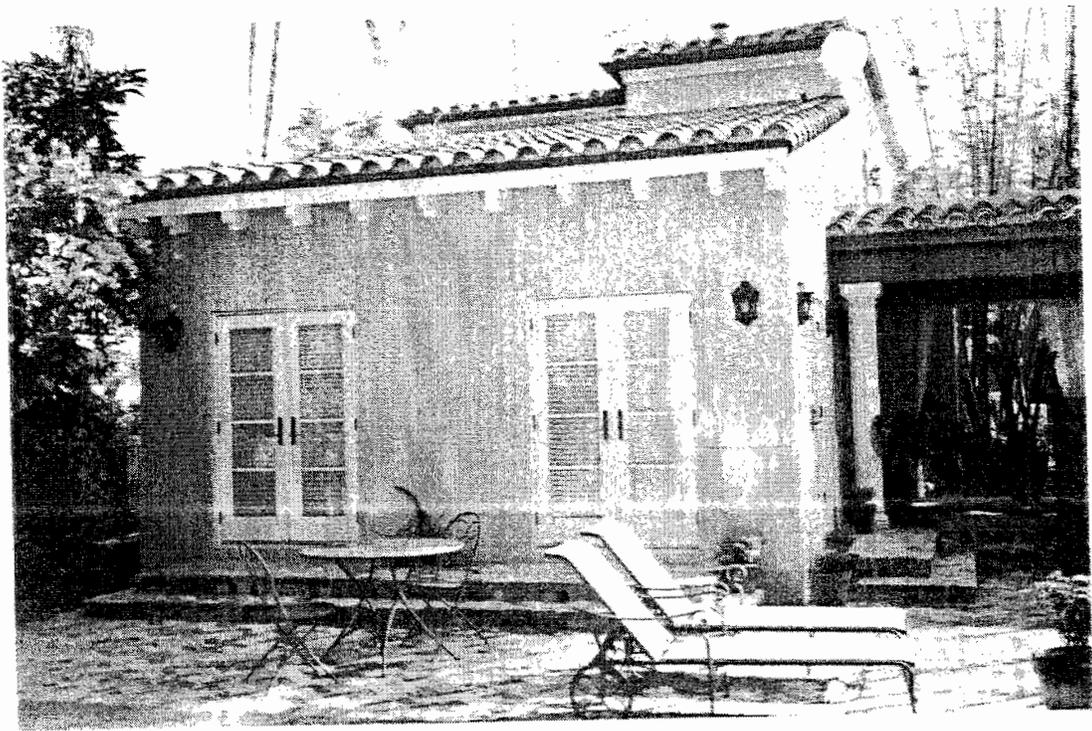
4



5



405) Construction of open-air Loggia (E) east view
 (45) west view. It connects the main house to
 the newly constructed library.



6. Street Facing side of library

7



7. Interior of library includes hand-made Cuban tile floor

The general contractor must have an operating fax machine and a telephone on the job site at all times.

All work shall be in strict accordance with the best workmanship practices of the construction trade. Architect reserves the right to reject a material or work, which does not conform to these standards.

All work shall be in accordance with the South Florida Building Code and other applicable local and national codes.

All materials furnished on the site shall be new and stored in such a manner as to protect the contractor shall keep the site clean and free of debris at all times during the construction period.

These plans may be used only under such conditions in which all applicable safety laws, rules, and regulations are being observed. Compliance is the sole responsibility of the General Contractor.

The architect shall be provided with samples, submittals, shop drawings, for fixed and operable hurricane shutters, millwork, fireplace, windows and doors, and trusses, etc. Needed dimensions shall have precedences over scaled dimensions. The architect shall be notified of any discrepancies before the start of work.

The General Contractor shall be responsible for all permits, fees, licenses, and taxes related to work.

General Contractor is responsible for all work provided by subcontractors of the various trades.

Surfaces to be painted shall be filled, sanded, and sanded as required. Colors to be selected shall be made available prior to execution of work. The architect shall also select colors of ready-built products.

All intrusion preventing devices shall conform to chapter 36 of the South Florida Building Code.

General Contractor shall be responsible that architectural, structural, electrical, mechanical drawings are employed simultaneously in the construction of the project. Any discrepancies shall be reported to the architect immediately.

No deviations of these plans are allowed except with written consent of the architect. Before submission of bid, the General Contractor shall visit the site and become familiarized with the existing conditions.

Lawful and proper disposal of all waste material shall be the responsibility of the General Contractor.

General Contractor shall take special precautions and coordinate with the owner that the construction schedule shall be considered. General Contractor shall coordinate construction schedule with owner and the security activities prior to construction start.

Any demolition shall be in strict accordance with structural engineering requirements. Refer to the structural drawings for details. The General Contractor shall be responsible for the demolition and construction period that no damage will occur to anything in existing areas which was intended to remain.

No substitutions shall be permitted.

General Contractor shall install a first aid kit at job site in a readily accessible location.

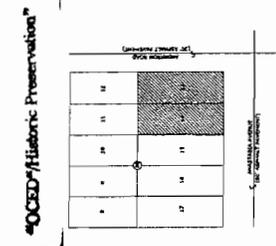
ZONING REGULATIONS:

ZONING DISTRICT: R-7
 GROSS LOT AREA: 14,163.3 SQ. FT.
 MAX. FLOOR AREA:
 ALLOWED: 5,474.8 SQ. FT.
 PROVIDED: 5,082.7 SQ. FT.
 MIN. LANDSCAPE OPEN SPACE RATIO: (GROSS X 35%)
 REQUIRED: 5,045.7 SQ. FT.
 PROVIDED: 6,936.5 SQ. FT.
 BUILDING LOT COVERAGE: 4,497.5 SQ. FT. (INCL. POOL)

LEGAL DESCRIPTION:

Lot 13 & 14, Block 26,
 SECOND REVISED PLAT OF CORAL
 GABLES COUNTRY CLUB SECTION PART
 2, according to the plat thereof as recorded
 in Plat Book 32 at page 63, of the public
 records of Dade
 County, Florida
 Flood Zone X
 This is NOT a Flood Hazard Zone
 Community Parcel number: 120639
 Parcel No: 0190
 Date of Form: 7/17/95
 Base Flood Elev: N/A
 Finish Floor Elev: N/A
 Lowest Adj. Grade: N/A

REVISED
 JUL 23 2002



Location Map
 Scale: 1" = 100'

SHEET LEGEND:

ARCHITECTURAL	COVER SHEET	MECHANICAL	AC-1
A1.0	SITE PLAN	AC-2	AC-2
A2.0	DEMOLITION PLAN	ELECTRICAL	E-1
A3.0	GROUND FLOOR PLAN	E-2	E-2
A3.1	SECOND FLOOR PLAN	PLUMBING	P-1
A4.0	SECTION FLOOR REFLECTED CEILING PLAN	P-2	P-2
A5.0	SECTION FLOOR REFLECTED CEILING PLAN	STRUCTURAL	S-1
A5.1	EXTERIOR ELEVATIONS	S-2	S-2
A6.0	EXTERIOR DETAILS	S-3	S-3
A7.0	BUILDING SECTION	S-4	S-4
A7.1	BUILDING SECTION		
A8.0	INTERIOR ELEVATIONS		
A8.1	INTERIOR ELEVATIONS		
A9.0	INTERIOR DETAILS		
A9.1	INTERIOR DETAILS		
A10.0	FLOORING PLAN		
SW-1	SITE WORK PLAN		

RECEIVED
 JUL 15 2002

UPSTAIRS STUDIO
 architecture
 4333 Grand Boulevard
 Fort Lauderdale, FL 33309
 Tel: 954.344.1111 Fax: 954.344.1112

PROJECT:
 LEE RESIDENCE
 833 ANASTASIA
 CORAL GABLES, FL
 RENOVATION & ADDITION

sheet no
A0.0

revisions:
 1
 2
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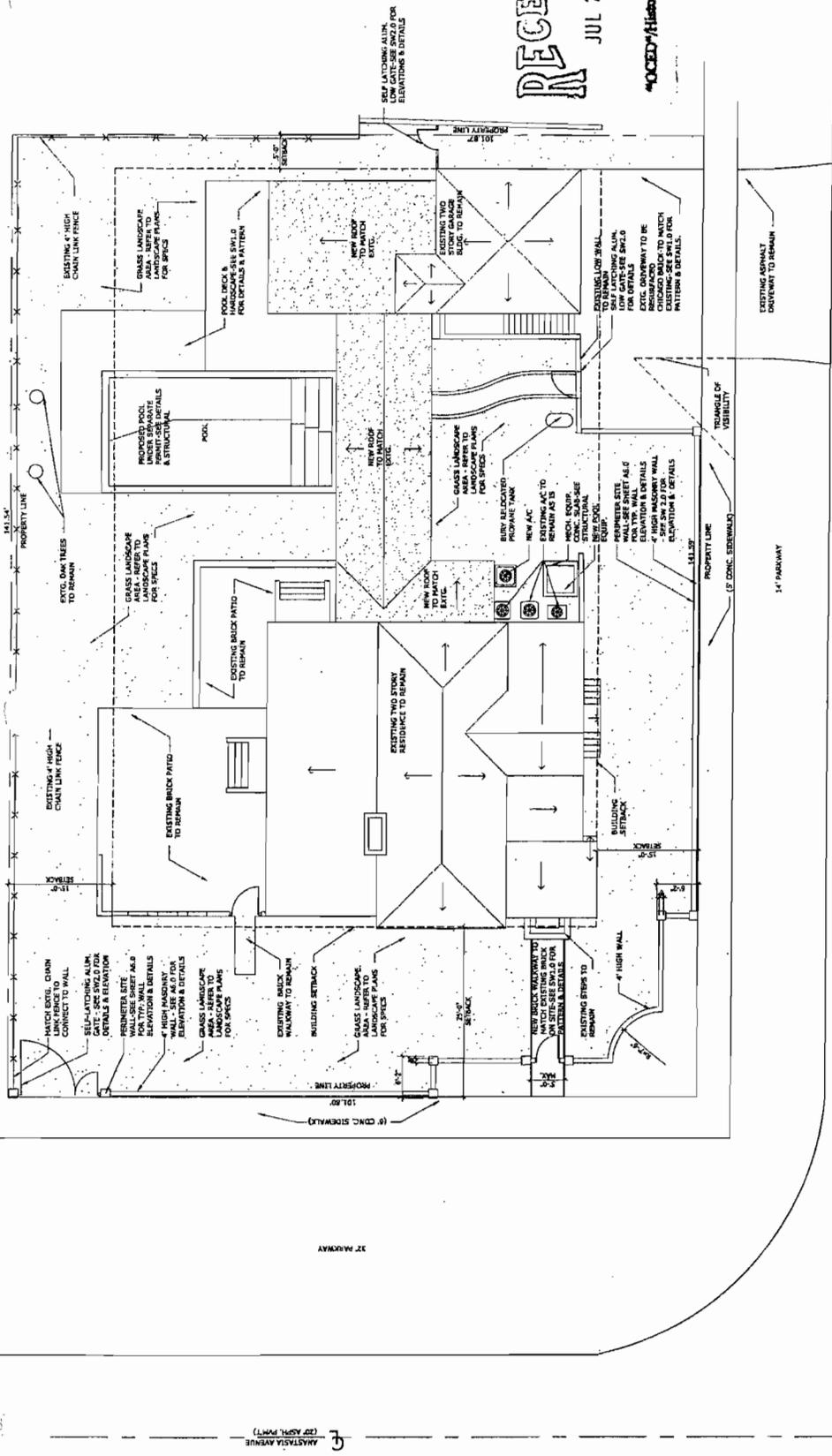
LEE RESIDENCE

28

RECEIVED

JUL 23 2002

ACCED/Historic Preservation™



sheet no. **A1.0**

project: **LEE RESIDENCE**
 803 ANASTASIA
 CONIC GABLES, VA
 RENOVATION & ADDITION

UPSTAIRS STUDIO
 architecture
 4133 Lakes Park Drive
 1400 Lakes Park Drive, Suite 101
 Fairfax, VA 22031
 PHONE: 703.261.1111
 FAX: 703.261.1112

revisions:

SITE PLAN
SCALE: 1/8" = 1'-0"

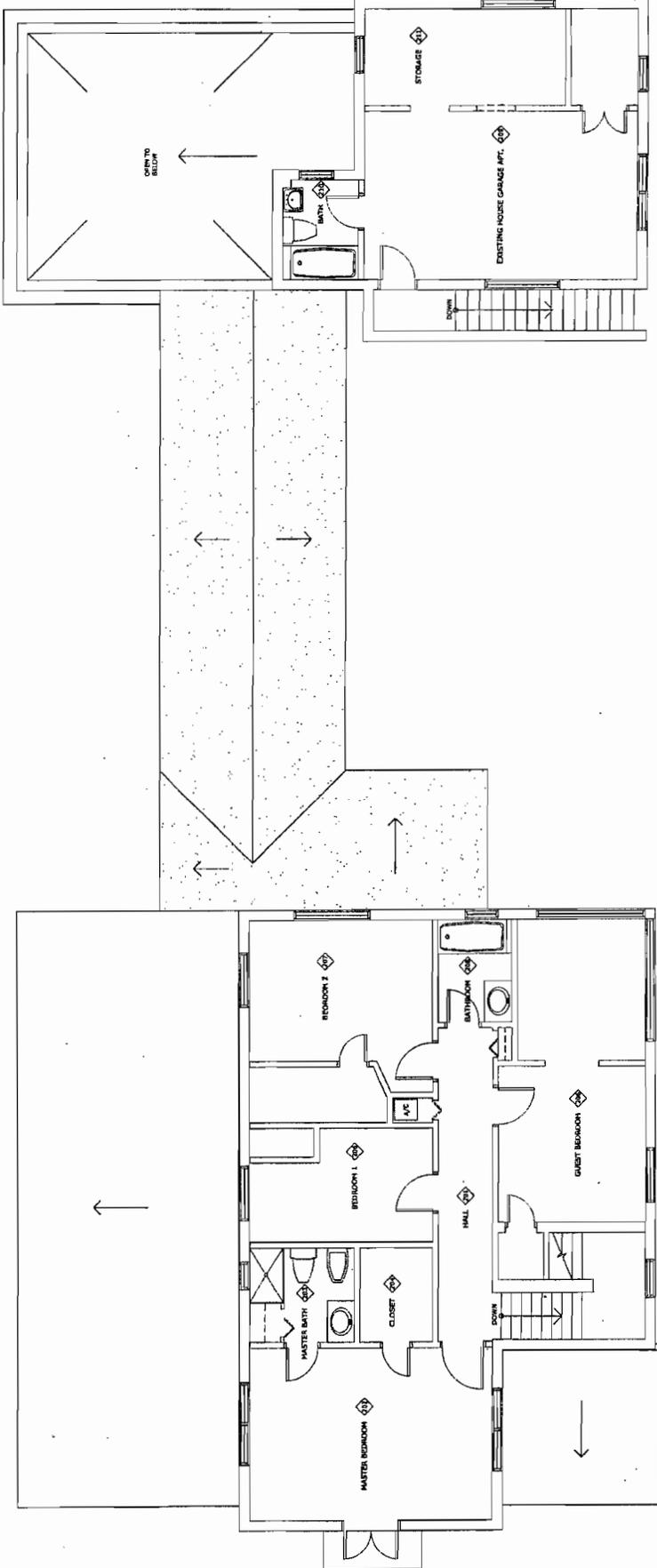


29

NOTE:
 ALL HEAVY EXTERIOR DOORS AND WINDOWS ARE TO HAVE HURRICANE IMPACT RESISTANT GLASS AND DADE CO. PRODUCT APPROVAL AS PER SO. FL. BLDG. CODE. ALL OTHERS TO BE UNDER SEPARATE PERMIT.

WALL LEGEND

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RECEIVED
 JUL 23 2002

ROCKWELL Historic Preservation

project: **LEE RESIDENCE**
 803 AMSTERDAM
 CASAL GARLES, FL
 RESTORATION & RENOVATION

UPSTAIRS STUDIO
 architecture
 4411 Lyndon B. Johnson
 Fort Worth, TX 76109
 Tel: 817 339 9999 Fax: 817 339 9993

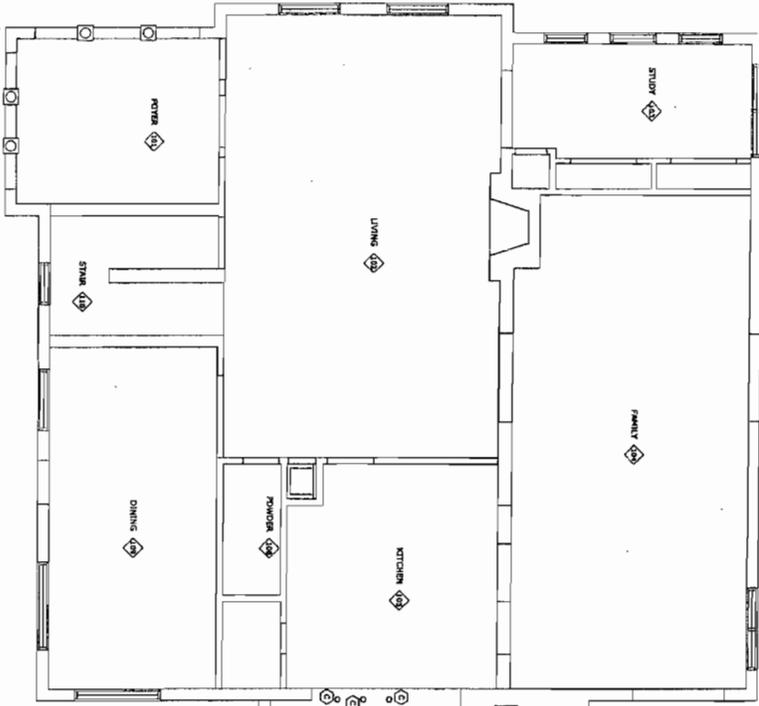
sheet no **A3.1**

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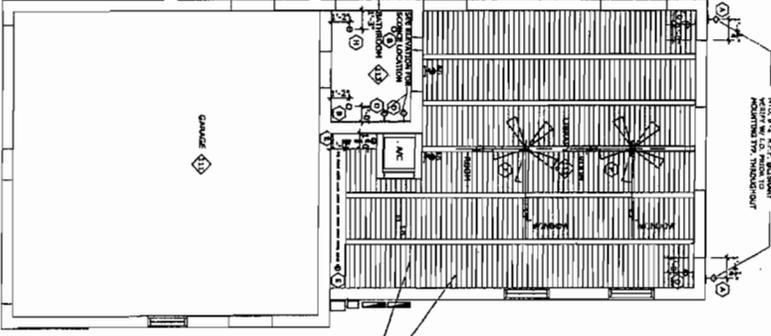
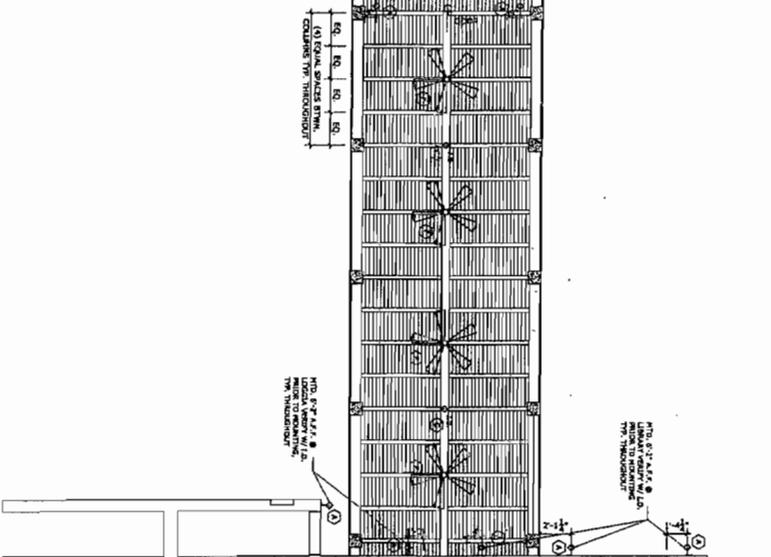
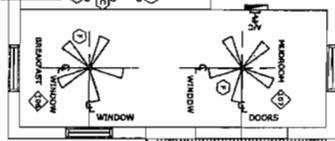
SECOND FLOOR PLAN
 SCALE: 1/4"=1'-0"

32



REVIEWED
 JUL 23 2002

©CEED/Historic Preservation



GROUND FLOOR REF. CEILING PLAN
 SCALE: 1/4"=1'-0"

PROJECT: LEE RESIDENCE
 601 MADISON
 CHARLOTTE, NC

UPSTAIRS STUDIO
 architecture

1415 Lexington Road, Suite 100
 Charlotte, NC 28203
 Tel: 704.375.1111
 Fax: 704.375.1112
 www.upstairsstudio.com

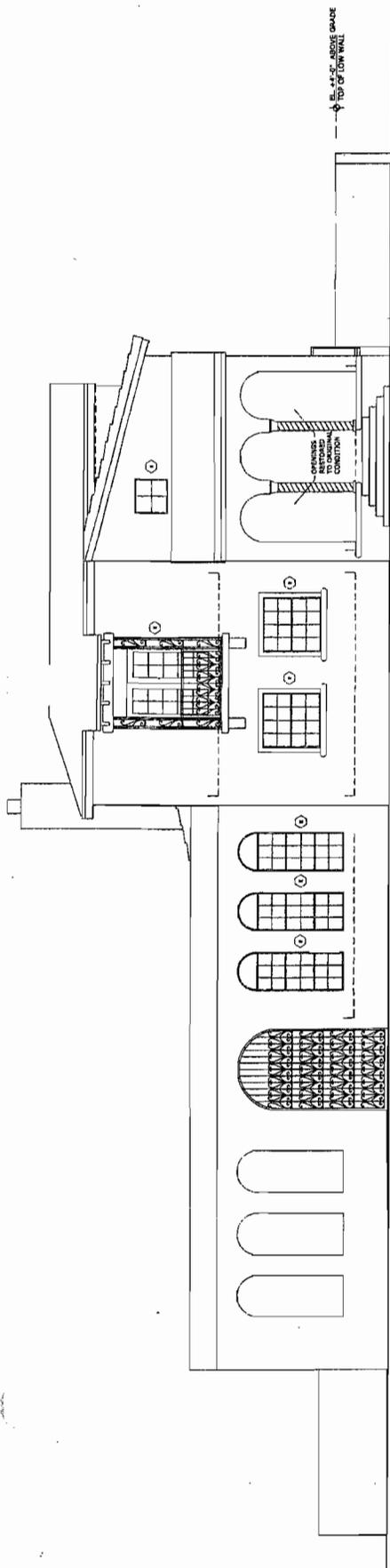
RENOVATION & ADDITION

Sheet no **A4.0**

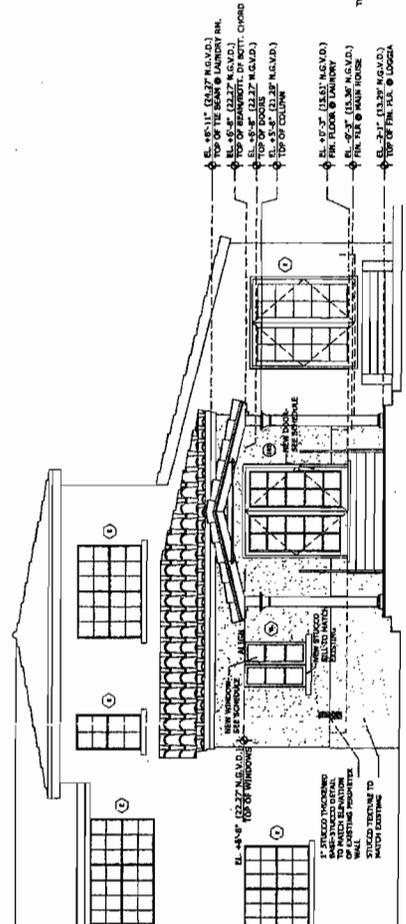
33

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OXLEY-Historic Preservation



SOUTH ELEVATION @ MAIN HOUSE



SOUTH ELEVATION @ PROPOSED POOL HOUSE

Project: LEE RESIDENCE
803 AMSTERDAM
CORAL GABLES, FL.
RENOVATION & ADDITION

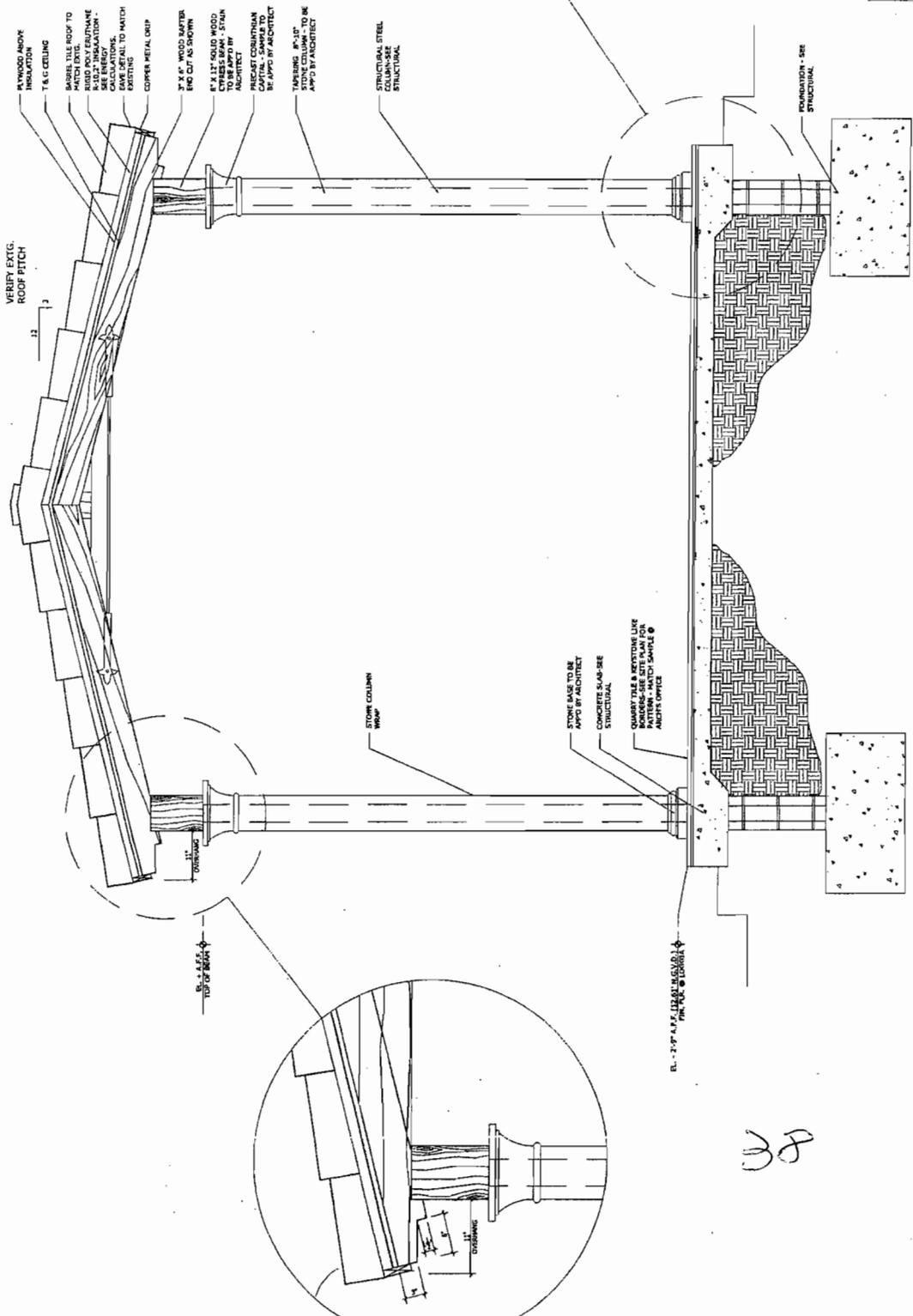
UPSTAIRS STUDIO
architecture
411 Laurel Plaza Tower
Tel: 305-441-1777 Fax: 305-441-1711
www.upstairsstudio.com

sheet no. A5.1

Revisions:

EXTERIOR ELEVATIONS
SCALE: 1/4" = 1'-0"

25



VERIFY EXTG. ROOF PITCH

12

TOP OF BRICK

STONE COLUMN WRAP

STONE BASE TO BE APPLIED BY ARCHITECT

CONCRETE SLAB-SEE STRUCTURAL

GLASSY TILE & BRICKS TO MATCH EXIST. PATTERNS - MATCH SAMPLE @

EL. - 1.07' A.S. 112.87' (S.C. 1.1) FIN. PK. @ LEVEL

FOUNDATION - SEE STRUCTURAL

STRUCTURAL STEEL STRUCTURAL

3" x 4" WOOD BASKET END CUT AS SHOWN

4" x 12" SOLID WOOD TO BE APPLIED BY ARCHITECT

WOOD JOINT CONNECTION TO BE APPLIED BY ARCHITECT

TAPERING - 1" x 1/2" TO BE APPLIED BY ARCHITECT

COPPER METAL DRIP

SAVE DETAIL TO MATCH EXISTING

SEE ENERGY

"OCEDY/Historic Preservation"

JUL

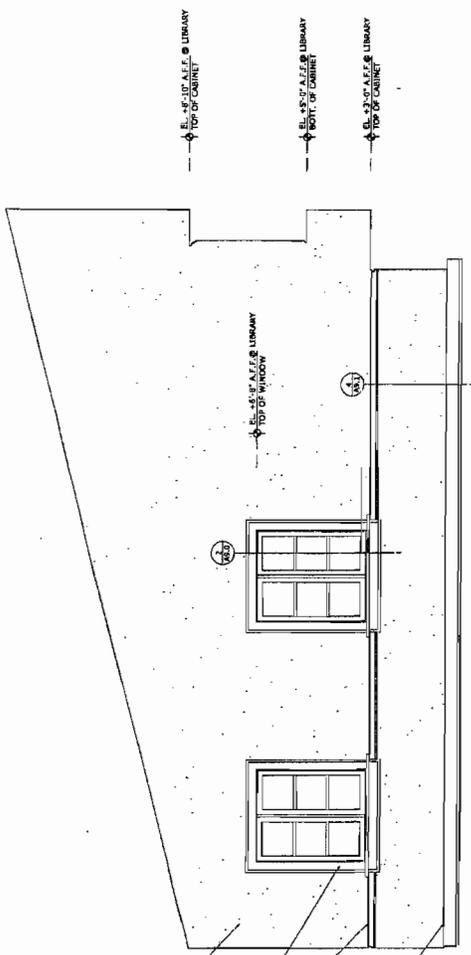
PREVISIONS: 	PROJECT: LEE RESIDENCE 880 ANASTASIA CORAL GABLES, FL RENOVATION & ADOTION	sheet no. A7.1
	UPSTAIRS STUDIO architecture 4401 Lincoln Avenue, Suite 200 Coral Gables, Florida 33134 Tel: 305.441.1111 Fax: 305.441.1112 www.upstairsstudio.com	

BUILDING SECTION
SCALE: 1" = 1'-0"

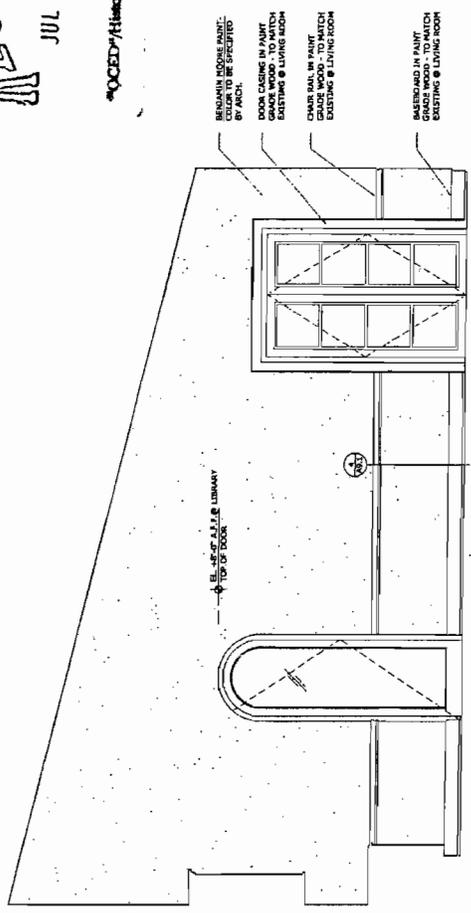
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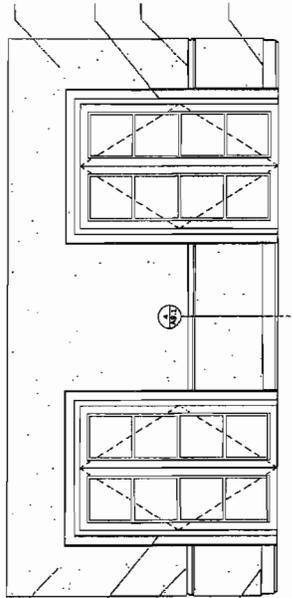
ACEP/Historic Preservation



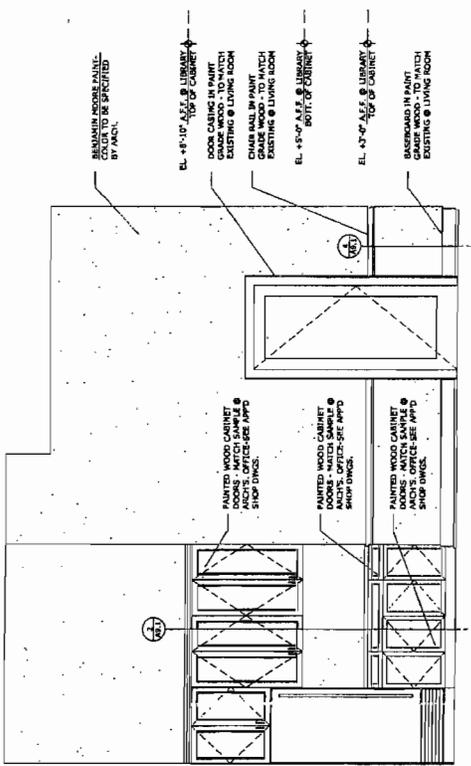
1 LIBRARY



1 LIBRARY



1 LIBRARY



1 LIBRARY

UPSTAIRS architecture
Call us today at 305.444.1111
110 N.W. 10th St. 5th Floor Miami, FL 33136

Project: LEE RESIDENCE
303 ANASTASIA CORAL GABLES, FL
RENOVATION & ADDITION

REVISIONS:
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sheet # A8.0

ELEVATIONS
SCALE: 1/2"=1'-0"

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JUL 2 3 2002

OCED/Historic Preservation

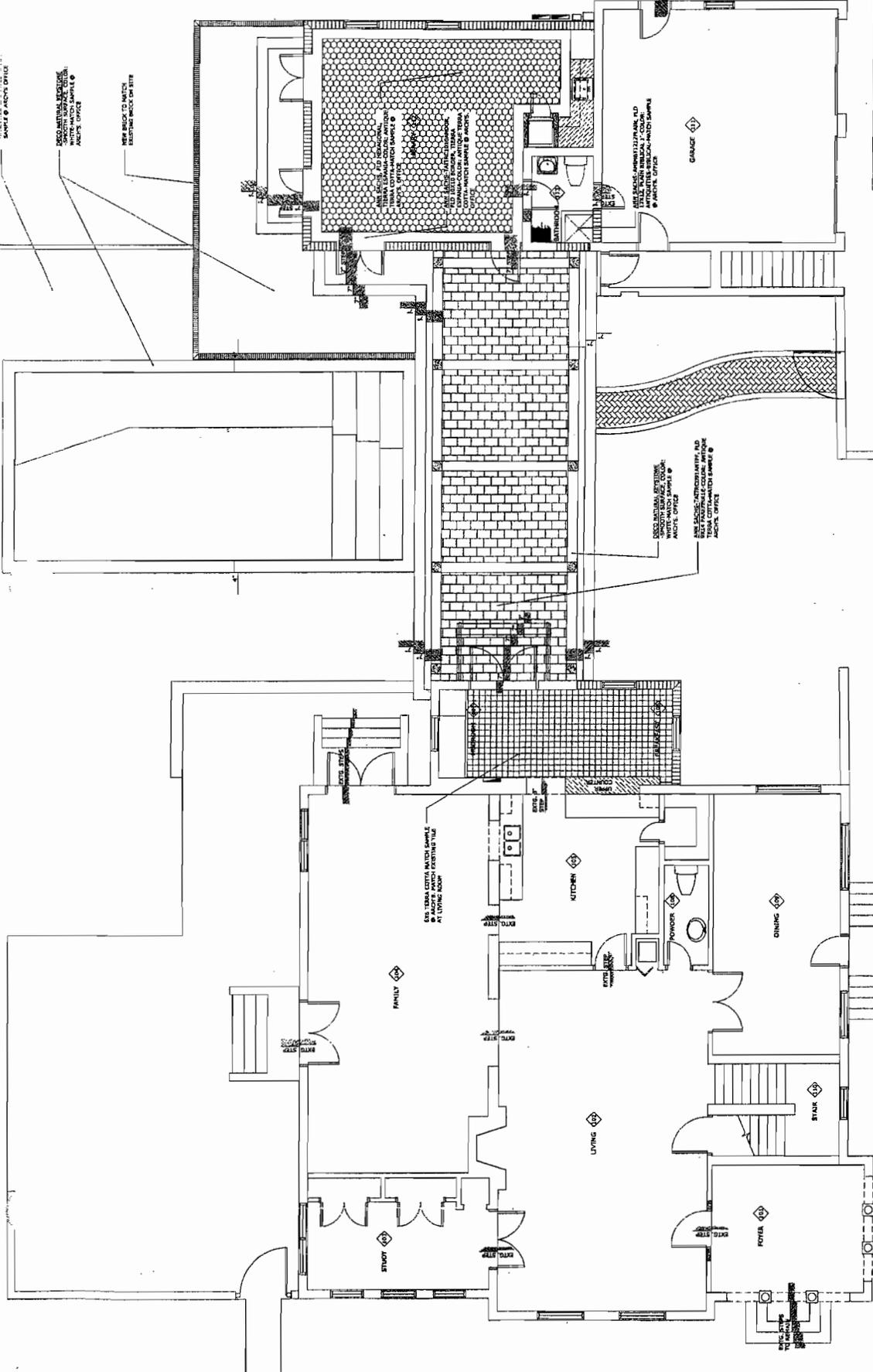
project: LEE RESIDENCE
303 ANASTASIA
CORAL GABLES, FL
RENOVATION & ADDITION

sheet no. A11.0

UPSTAIRS STUDIO
architecture
1111 NE 15th Ave, Suite 100
Coral Gables, FL 33134
Tel: 305.442.1111 Fax: 305.442.1111
www.upstairsstudio.com

revision:

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SITE PLAN
SCALE: 1/8" = 1'-0"



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JUL 23 2002

"OCED" Historic Preservation"

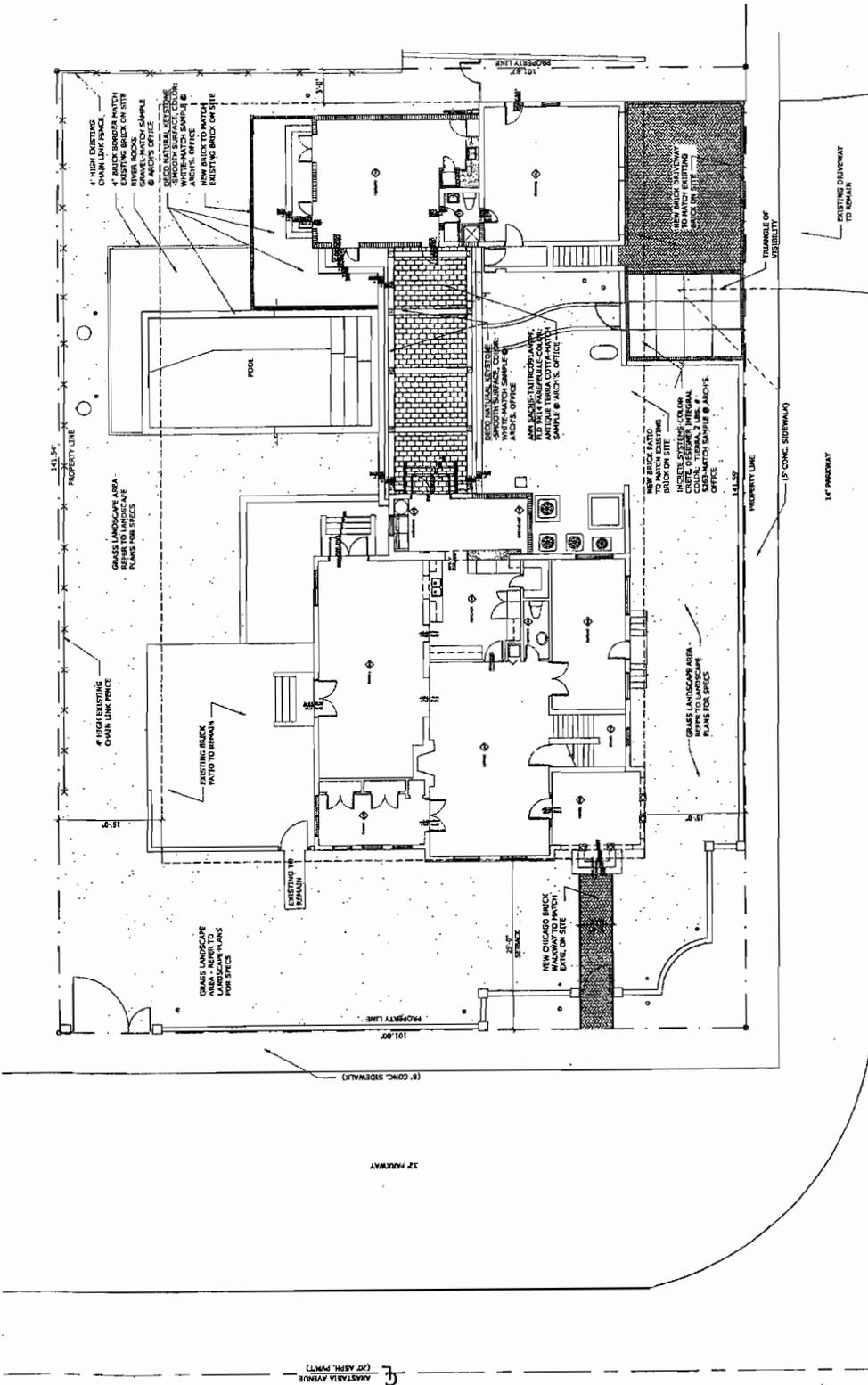
sheet no. **SW1.0**

Project: **LEE RESIDENCE**
843 AMATECIA
CORAL GABLES, FL
RENOVATION & ADDITION

UPSTAIRS STUDIO
architecture
4311 Upper Grove Avenue
Coral Gables, FL 33134
Tel: 305.442.4474 Fax: 305.442.4475
www.upstairsstudio.com

REVISIONS:

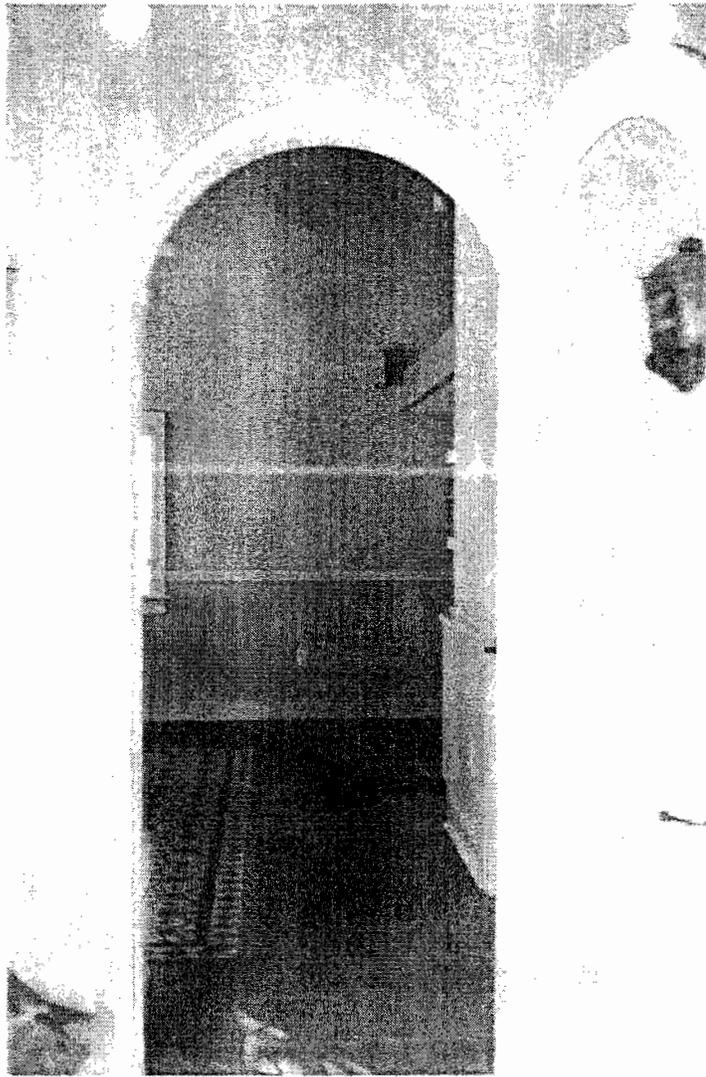
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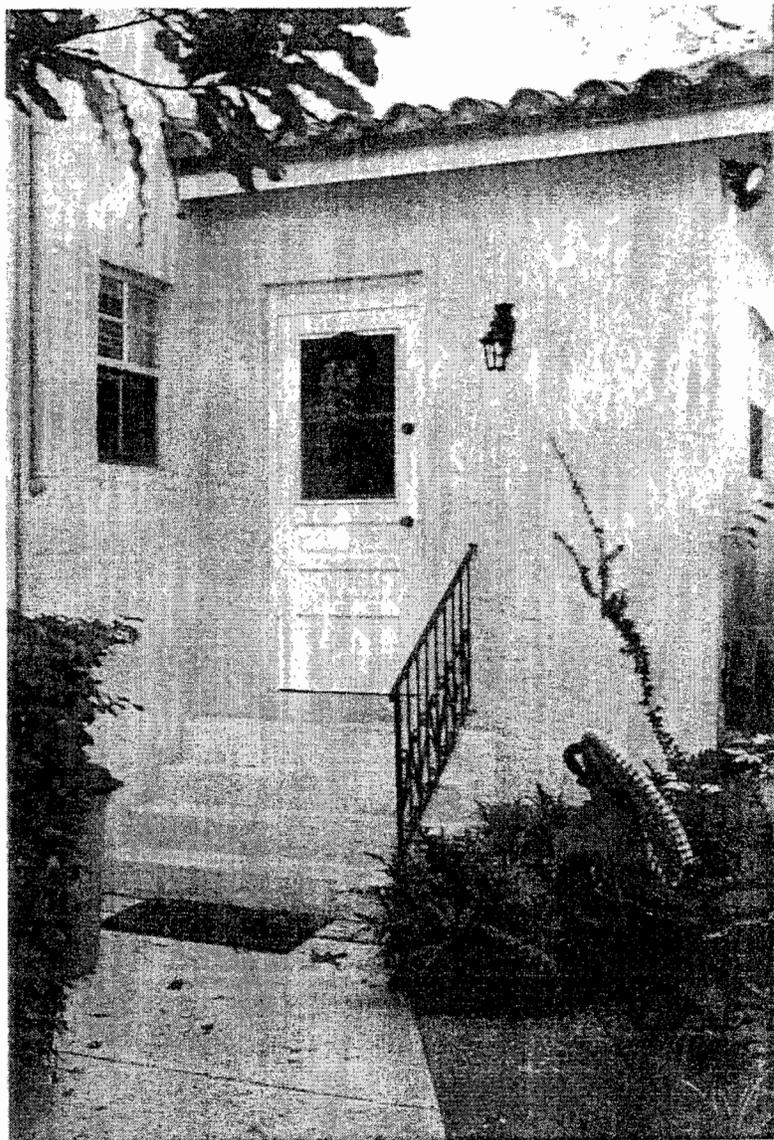
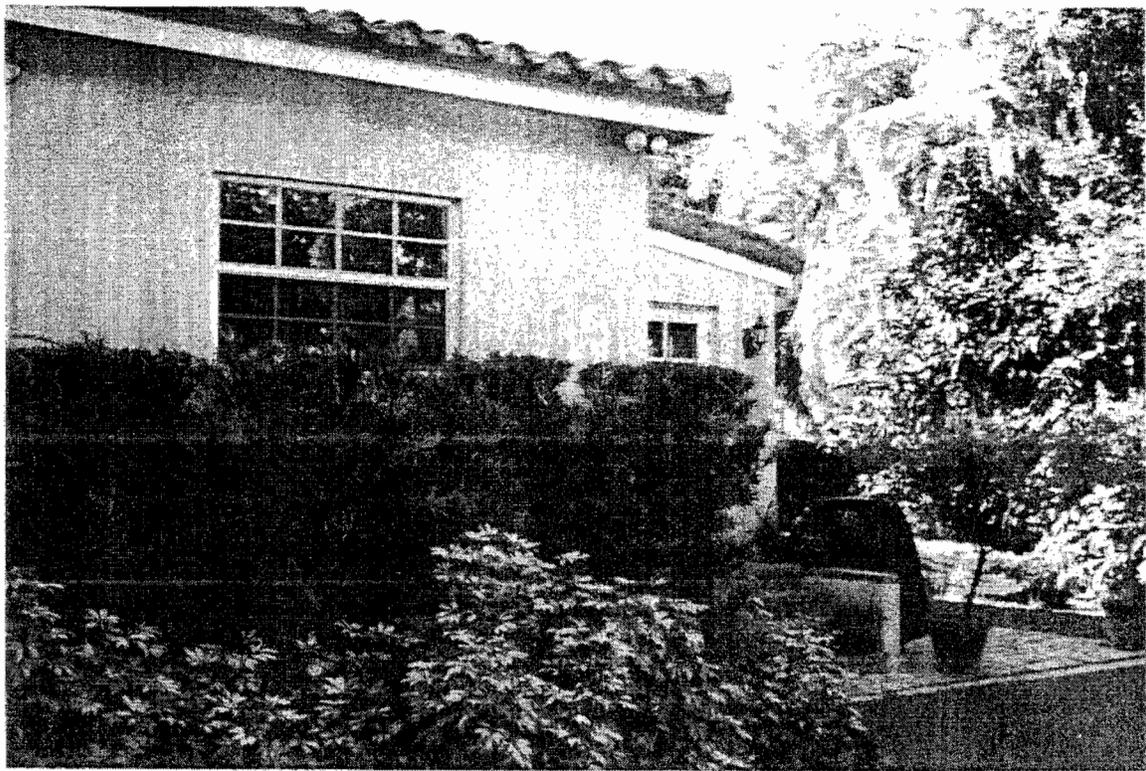
SITE PLAN
SCALE: 1/8"=1'-0"

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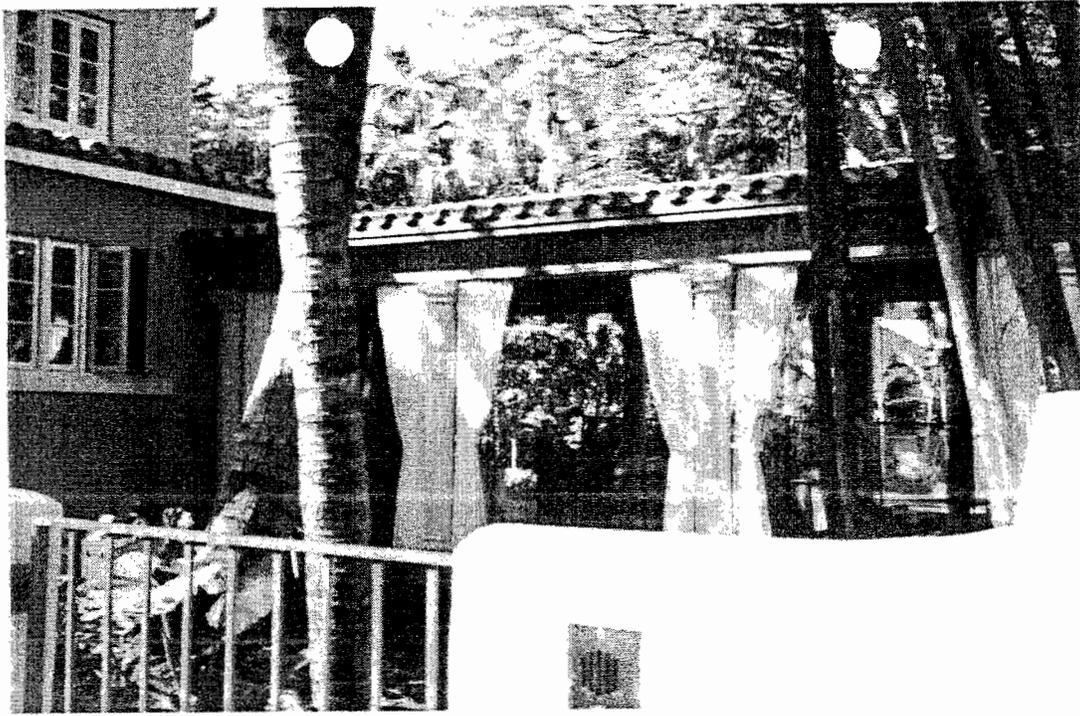


5. Arched door entry to library south
facing from underneath Loggia



48

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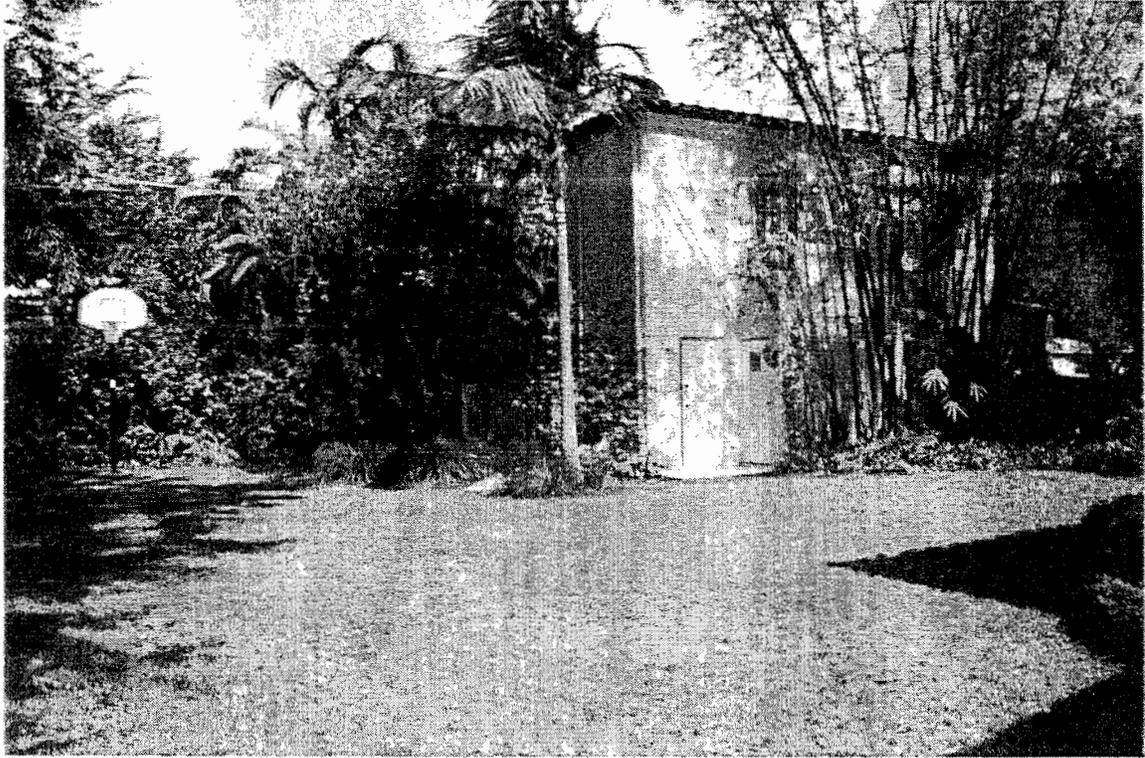
9.10) Loggia connects to main house via french doors

10.



and Spanish
Architect
Studio

49

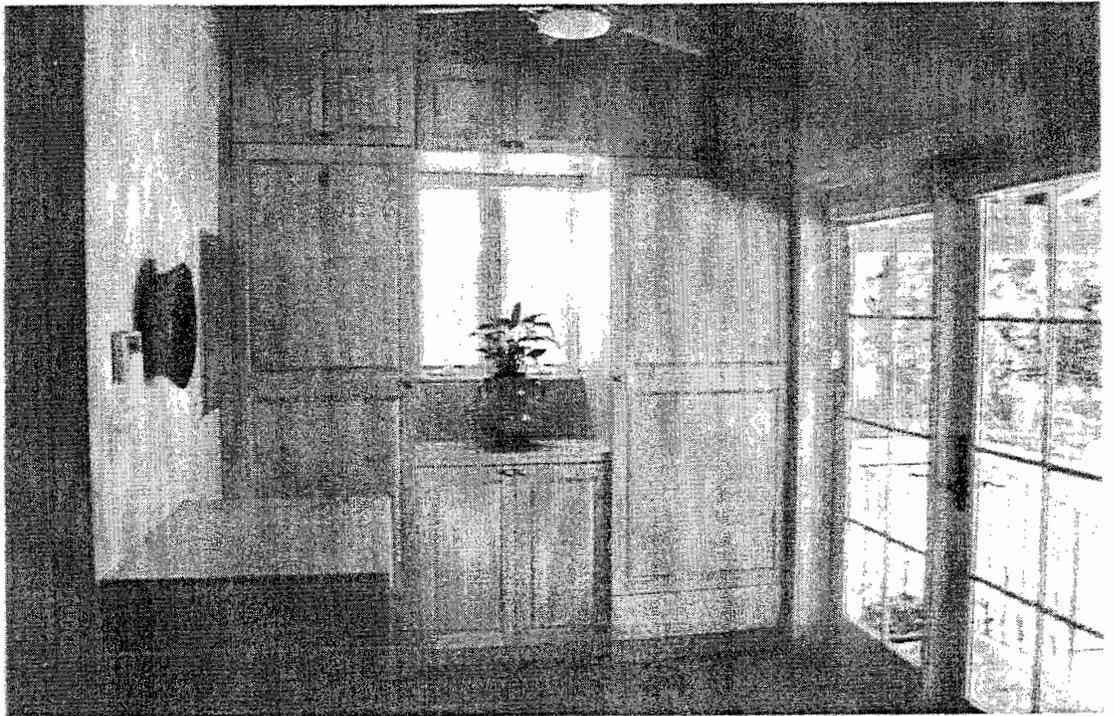


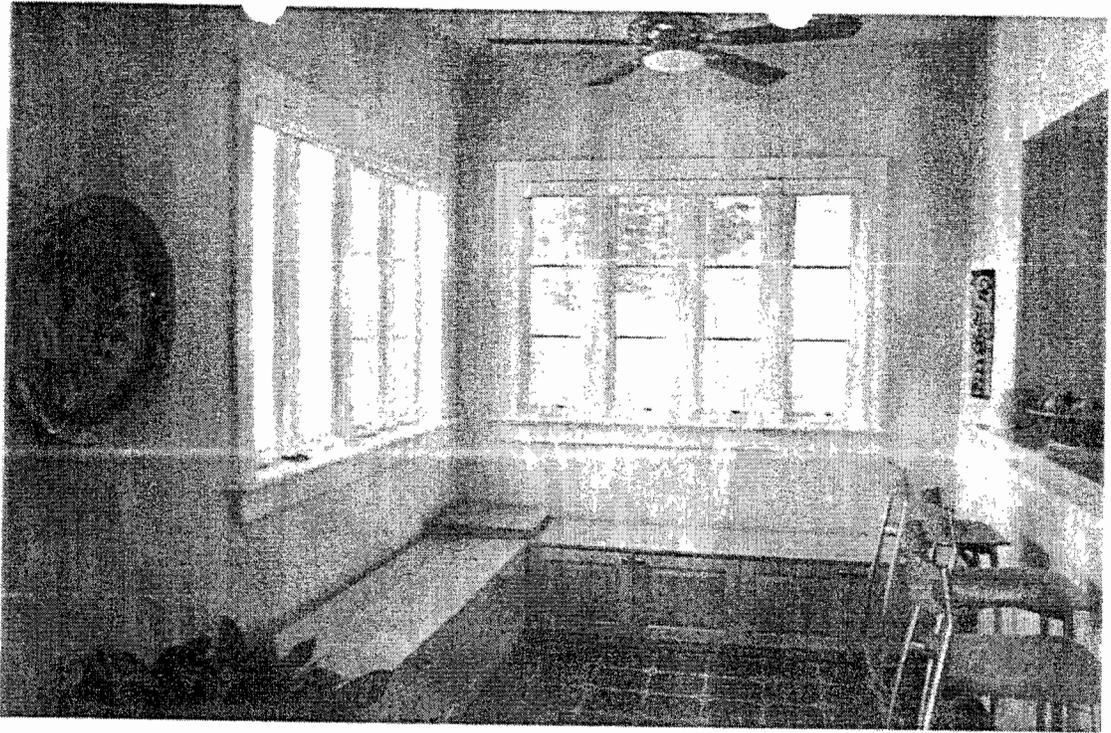
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11) West-facing view

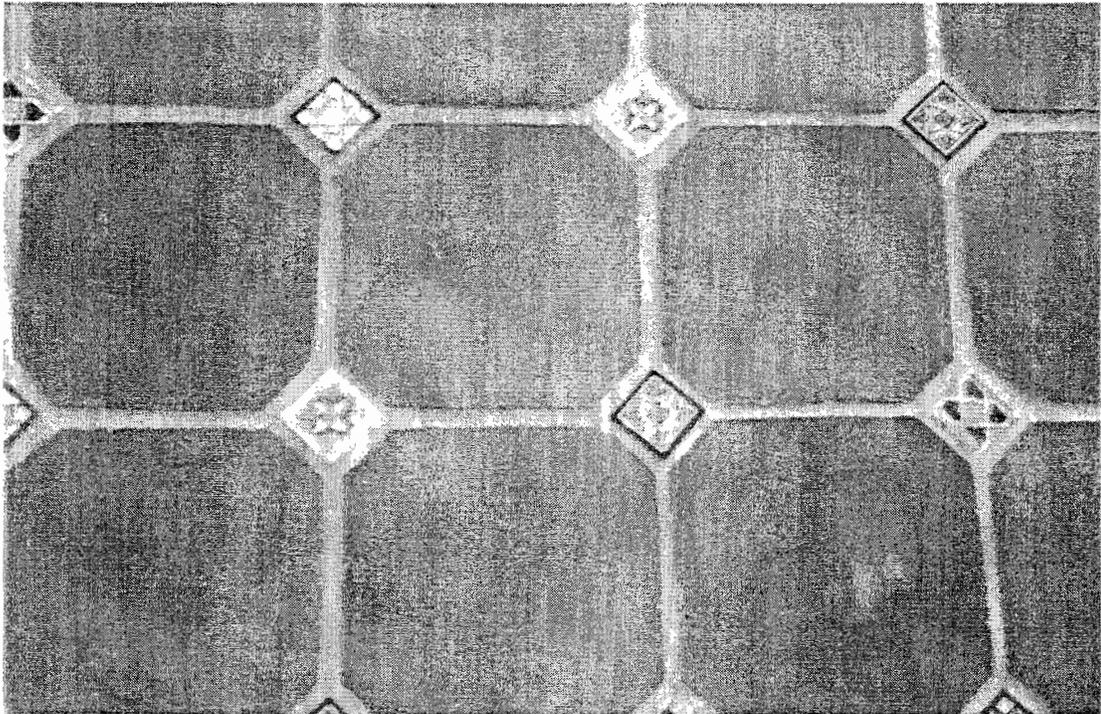








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CITY OF CORAL GABLES, FLORIDA

RECEIVED
JUL 18 2002

ORDNANCE NO. 3545

RECEIVED
JUL 18 2002

AN ORDINANCE AMENDING ORDINANCE NO. 1525, AS AMENDED AND KNOWN AS THE "ZONING CODE", AND IN PARTICULAR, USE AND AREA MAP PLATE NO. 7 BY DESIGNATING THEREON AS HISTORIC LANDMARK, RESIDENCE AT 803 ANASTASIA AVENUE ON LOTS 13 AND 14, BLOCK 26, CORAL GABLES COUNTRY CLUB SECTION PART 2; AND REPEALING ALL ORDINANCES INCONSISTENT HERewith.

WHEREAS, it is the policy of the City of Coral Gables to preserve its architectural heritage by designating certain properties as historic landmarks/districts; and

WHEREAS, after notice duly published and notification of all property owners of record within five hundred (500) feet, a public hearing was held before the Historic Preservation Board on September 20, 2001, at which time it was determined that the subject property met the criteria set forth in Chapter 11, Section 11-29, Article II of the "Code of the City of Coral Gables", and therefore recommended that it be designated an "Historic Landmark"; and

WHEREAS, the Planning Director has determined that there is no effect on the City's Comprehensive Plan or any other adopted planning and zoning policies; and

WHEREAS, the City Commission after due consideration at its regular meeting of October 9, 2001, approved said historic designation on first reading;

NOW, THEREFORE, BE IT ORDAINED BY THE COMMISSION OF THE CITY OF CORAL GABLES:

SECTION 1. That Ordinance No. 1525, as amended and known as the "Zoning Code", and in particular, Use and Area Map Plate No. 7, which is attached thereto and by reference made a part thereof, is hereby amended to show henceforth the residence at 803 Anastasia Avenue, located on Lots 13 and 14, Block 26, Country Club Section Part 2, Coral Gables, Florida to be designated as "HL-R-8" Single Family Residential Use, with the letter symbol "HL" to indicate that said property is an "Historic Landmark" designated pursuant to Section 11-29, Article II of the "Code of the City of Coral Gables."

SECTION 2. That a document prepared by the Historic Preservation Director containing information on the historic and architectural significance of the residence at 803 Anastasia Avenue, shall by reference be made a part of this ordinance, which incorporates a Review Guide for use as a reference in determining the impact of future building permits.

SECTION 3. That all ordinances or parts of ordinances inconsistent or in conflict herewith are hereby repealed insofar as there is conflict or inconsistency.

PASSED AND ADOPTED THIS TWENTIETH DAY OF NOVEMBER, A.D., 2001.
(Motion: Cabrera/Second: Withers)
(Yeas: Cabrera, Kerdyk, Withers, Anderson) (Slesnick Absent)
(Clerk's Item No. 24)

DONALD D. SLESNICK II
MAYOR

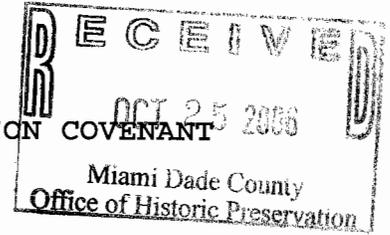
ATTEST:
VIRGINIA L. PAUL
CITY CLERK

APPROVED AS TO FORM
AND LEGAL SUFFICIENCY:
ELIZABETH M. HERNANDEZ
CITY ATTORNEY

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MIAMI-DADE COUNTY

HISTORIC PRESERVATION PROPERTY TAX EXEMPTION COVENANT



This Covenant is made the 2 day of October, 2006,
by Kathleen Lee (hereinafter referred to as
the Owner) and in favor of MIAMI-DADE COUNTY

(hereinafter referred to as the Local Government) for the purpose
of the restoration, renovation or rehabilitation, of a certain
Property located at 803 Anastasia Ave, Coral Gables,
FL 33134

which is owned in fee simple by the Owner and is listed in the
National Register of Historic Places or locally designated under
the terms of a local preservation ordinance or is a contributing
property to a National Register listed district or a contributing
property to a historic district under the terms of a local
preservation ordinance. The areas of significance of this
property, as identified in the National Register nomination or
local designation report for the property or the district in
which it is located are architecture, history,
archaeology.

The Property is comprised essentially of grounds, collateral,
appurtenances, and improvements. The property is more
particularly described as follows (include city reference,
consisting of repository, book, and page numbers): Legal Description:

<u>Folio # 03-4118-004-0490</u>	<u>18 54 41 PB 32-63</u>
<u>58</u>	<u>Coral Gables Country Club Sec 2</u>
	<u>2nd Rev lots 13 & 14 BIK db</u>
	<u>Lot Size Irregular</u>

Page Two

In consideration of the exemption granted by the Local Government, the Owner hereby agrees to the following for the ten year period beginning on January 1st after the improvements are substantially completed:

1. The Owner agrees to assume the cost of the continued maintenance and repair of said Property so as to preserve the architectural, historical, or archaeological integrity of the same in order to protect and enhance those qualities that made the Property eligible for listing in the National Register of Historic Places or designation under the provisions of the local preservation ordinance.

2. The Owner agrees that no visual or structural alterations will be made to the Property without prior written permission of the Local Historic Preservation Office.

The address of the certified Local Historic Preservation Office is, if one exists in the jurisdiction:

Name of Office/Agency: MIAMI-DADE OFFICE OF HISTORIC PRESERVATION

Address: Stephen P. Clark Ctr., 111 NW 1st ST., Ste. 695

City: MIAMI Zip: 33128

Telephone: 305-375-4958 fax: 305-372-6394

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3. (Only for properties of archaeological significance) The Owner agrees to ensure the protection of the site against willful damage or vandalism. Nothing in this Covenant shall prohibit the Owner from developing the site in such a manner that will not threaten or damage the archaeological resource, provided that permission for alteration of the site is obtained pursuant to 2. above.

4. The Owner agrees that the Local Historic Preservation Office and appropriate representatives of the Local Government, their agents and designees shall have the right to inspect the Property at all reasonable times in order to ascertain whether or not the conditions of this Covenant are being observed.

5. In the event of the non-performance or violation of the maintenance provision of the Covenant by the Owner or any successor-in-interest during the term of the Covenant, the Local Historic Preservation Office will report such violation to the Property Appraiser and Tax Collector who shall take action pursuant to s.196.1997 (7), F.S. The Owner shall be required to pay the difference between the total amount of taxes which would have been due in March in each of the previous years in which the Covenant was in effect had the property not received the exemption and the total amount of taxes actually paid in those

Page Four

years, plus interest on the difference calculated as provided in s.212.12(3), F.S.

6. If the Property is damaged by accidental or natural causes during the Covenant period, the Owner will inform the Local Historic Preservation Office in writing of the damage of the Property, including (1) an assessment of the nature and extent of the damage; and (2) an estimate of the cost of restoration or reconstruction work necessary to return the Property to the condition existing at the time of project completion. In order to maintain the tax exemption, the Owner shall complete the restoration or reconstruction work necessary to return the Property to the condition existing at the time of project completion on a time schedule agreed upon by the Owner and the Local Historic Preservation Office.

7. If the Property has been destroyed or severely damaged by accidental or natural causes, that is, if the historical integrity of the features, materials, appearance, workmanship, and environment, or archaeological integrity which made the property eligible for listing in the National Register of Historic Places or designation under the terms of the local preservation ordinance have been lost or so damaged that restoration is not feasible, the Owner will notify the Local Historic Preservation Office in writing of the loss. The Local

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Historic Preservation Office will evaluate the information provided and notify the Owner in writing of its determination regarding removal of the Property from eligibility for tax exemption. If the Local Historic Preservation Office determines that the property should be removed from eligibility for tax exemption, it will notify the Property Appraiser of the county in which the Property is located in writing so that the tax exemption can be cancelled for the remainder of the Covenant period. In such cases, no penalty or interest shall be assessed against the Owner.

8. If it appears that the historical integrity of the features, materials, appearance, workmanship, and environment, or archaeological integrity which made the Property eligible for listing in the National Register of Historic Places or designation under the terms of the local preservation ordinance have been lost or damaged deliberately or through gross negligence of the Owner, the Local Historic Preservation Office shall notify the Owner in writing. The Owner shall have 30 days to respond indicating any extenuating circumstances which show that the damage was not deliberate or due to gross negligence. If the Owner cannot show such extenuating circumstances, he shall develop a plan for restoration of the Property and a schedule for completion of the restoration. In order to maintain the tax

exemption, the Owner shall complete the restoration work necessary to return the Property to the condition existing at the time of project completion on a time schedule agreed upon by the Owner and the Local Historic Preservation Office. If the owner does not complete the restoration work on the agreed upon time schedule, the Local Historic Preservation Office will report such violation to the Property Appraiser and Tax Collector who shall take action pursuant to s.196.1997 (7), F.S. The Owner shall be required to pay the difference between the total amount of taxes which would have been due in March in each of the previous years in which the Covenant was in effect had the property not received the exemption and the total amount of taxes actually paid in those years, plus interest on the difference calculated as provided in s.212.12(3), F.S.

9. The terms of this Covenant shall be binding on the current Property owner, transferees, and their heirs, successors, or assigns.

This Covenant shall be enforceable in specific performance by a court of competent jurisdiction.

OWNER(S) :

Kathleen A. Lee
Name

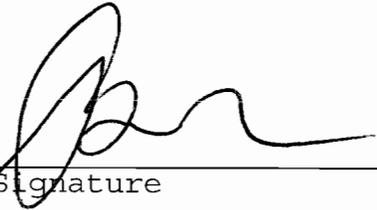
Kathleen A. Lee
Signature

10/18/06
Date

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Page Seven

Brian E. Lee
Name


Signature

10/18/06
Date

LOCAL GOVERNMENT: Coral Gables

Kathleen Kauffman
Local Official
Chief
Miami-Dade County
Office of Historic
Preservation


Signature

8/15/08
Date

George M. Burgess
County Manager

Signature

Date

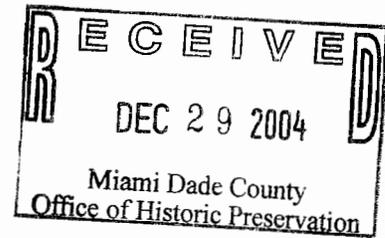


**MIAMI-DADE COUNTY
HISTORIC PRESERVATION BOARD**
STEPHEN P. CLARK CENTER
111 N. W. FIRST STREET
SUITE 695
MIAMI, FLORIDA 33128
305-375-4958
Facsimile 305- 372-6394

ORIGINAL



CFN 2004R1077269
OR Bk 22875 Pgs 3232 - 3234 (3pgs)
RECORDED 12/03/2004 15:58:12
HARVEY RUVIN, CLERK OF COURT
MIAMI-DADE COUNTY, FLORIDA



MIAMI-DADE HISTORIC PRESERVATION BOARD

RESOLUTION NO. 04-13

**803 ANASTASIA AVENUE, CORAL GABLES
A CITY OF CORAL GABLES HISTORIC LANDMARK**

WHEREAS, the Miami-Dade Historic Preservation Board has determined that the property located at 803 Anastasia Avenue, Coral Gables, Florida, is of architectural and historic significance and is a City of Coral Gables designated historic landmark; and,

WHEREAS, the proposed improvements to this property meet with the Secretary of the Interior's Standards for Rehabilitation to the satisfaction of this Board; and,

WHEREAS, the property is located at:

Legal Description: Coral Gables Country Club Section Part 2, PB 32-63, Lots 13 & 14, Block 26

Folio Number: 03-4118-004-0490

NOW, THEREFORE, BE IT RESOLVED, that the Historic Preservation Board on November 17, 2004, voted to approve the Ad Valorem Tax Exemption for 803 Anastasia Avenue, Coral Gables, Florida and, therefore, recommends to the Board of County Commissioners of Miami-Dade County, Florida, that the property receive the tax exemption for historic properties for the County's portion of the millage pursuant to 16A-18 Miami-Dade County Code. This recommendation is conditioned upon:

1. The completed rehabilitation project is reviewed and approved by the municipal Historic Preservation Officer and is in accordance with the documents and plans presented to and approved by this Board.

65



**MIAMI-DADE COUNTY
 HISTORIC PRESERVATION BOARD**
 STEPHEN P. CLARK CENTER
 111 N. W. FIRST STREET
 SUITE 695
 MIAMI, FLORIDA 33128
 305-375-4958
 Facsimile 305- 372-6394

**Resolution No. 04-13
 Page 2 of 3**

- 2. The filing of an appropriate covenant approved by the County Attorney.

The Historic Preservation Board recommends that this tax exemption be in effect beginning January 1 after the City of Coral Gables Historic Preservation Officer certifies to the Miami-Dade County Property Appraiser that the rehabilitation is complete and in accordance with the plans approved by this Board.

- 3. The rehabilitation project is reviewed and evaluated by the county Property Appraiser with the completion of a "Historic Preservation Tax Assessment / Revenue Implications" report.

Alberta Godfrey

Alberta Godfrey, Chair
 Miami-Dade County Historic Preservation Board

Date 11/23/04

Prepared by:

Ivan Rodriguez

 FOR IVAN RODRIGUEZ

Ivan Rodriguez, Director
 Office of Historic Preservation



**MIAMI-DADE COUNTY
HISTORIC PRESERVATION BOARD**
STEPHEN P. CLARK CENTER
111 N. W. FIRST STREET
SUITE 695
MIAMI, FLORIDA 33128
305-375-4958
Facsimile 305- 372-6394

**Resolution No. 04-13
Page 3 of 3**

<u>Board Members</u>	<u>Vote</u>
Ruth Campbell	yes
Richard Cohen	yes
Alberta Godfrey	yes
Armando Gutierrez, Jr.	yes
Paul George	yes
Robert McKinney, Chair	yes
Hyacinth Johnson	excused
JoEllen Phillips	yes
Enid Pinkney	excused
Dennis Wilhelm	yes

**STATE OF FLORIDA
COUNTY OF MIAMI-DADE**

The foregoing instrument was acknowledged before me this Nov. 23, 2004
by, ~~Robert McKinney~~, Chair, Miami-Dade County Historic Preservation Board.

Alberta Godfrey (N/A)
[Signature]

David J. Hertzberg



David J. Hertzberg
My Commission DD267662
Expires January 09, 2008

Personally Known Yes
OR Produced Identification N/A Type of Identification Produced N/A.

My Home
Miami-Dade County, Florida

MIAMI-DADE

miami-dade.gov

Property Information Map



Digital Orthophotography - 2007

0 114 ft

This map was created on 8/8/2008 3:30:28 PM for reference purposes only.

Web Site © 2002 Miami-Dade County. All rights reserved.



Summary Details:

Folio No.:	03-4118-004-0490
Property:	803 ANASTASIA AVE
Mailing Address:	KATHLEEN LEE 803 ANASTASIA AVE CORAL GABLES FL 33134-6407

Property Information:

Primary Zone:	0800 SINGLE FAMILY RESIDENCE
CLUC:	0001 RESIDENTIAL-SINGLE FAMILY
Beds/Baths:	4/2
Floors:	2
Living Units:	1
Adj Sq Footage:	4,280
Lot Size:	14,456 SQ FT
Year Built:	1926
Legal Description:	18 54 41 PB 32-63 CORAL GABLES COUNTRY CLUB SEC 2 2ND REV LOTS 13 & 14 BLK 26 LOT SIZE IRREGULAR OR 18880-4837 1199 1

Sale Information:

Sale O/R:	18880-4837
Sale Date:	11/1999
Sale Amount:	\$680,000

Assessment Information:

Year:	2007	2006
Land Value:	\$728,647	\$662,616
Building Value:	\$627,383	\$593,334
Market Value:	\$1,356,030	\$1,255,950
Assessed Value:	\$1,085,962	\$1,059,476
Homestead Exemption:	\$25,000	\$25,000
Total Exemptions:	\$25,000	\$25,000
Taxable Value:	\$1,060,962	\$1,034,476

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