

Date: March 20, 2012

To: Honorable Chairman Joe A. Martinez
and Members, Board of County Commissioners

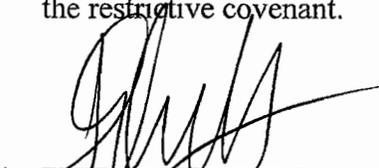
From: Carlos A. Gimenez
County Mayor 

Subject: Class IV Permit Application by Doral Grande Residences, LTD Requesting Authorization to Impact 23.04 Acres of Wetlands for a Residential Housing Development and Acceptance of a Restrictive Covenant for 2.34 Acres of On-Site Wetlands

Agenda Item No. 5(D)

Resolution No. R-257-12

Attached, please find for your consideration an application by Doral Grande Residences, LTD for a Class IV permit. Also attached is the recommendation of the Director of the Department of Permitting, Environment and Regulatory Affairs and a proposed resolution approving the issuance of the Class IV permit and approving the acceptance of the restrictive covenant.


Deputy Mayor

Memorandum



Date: February 21, 2012

To: Carlos A. Gimenez
County Mayor

From: Charles Danger, P.E., Interim Director
Permitting, Environment and Regulatory Affairs

A handwritten signature in black ink, appearing to read "Charles Danger", written over the printed name.

Subject: Class IV Permit Application by Doral Grande Residences, LTD Requesting Authorization to Impact 23.04 Acres of Wetlands for a Residential Housing Development and Acceptance of a Restrictive Covenant for 2.34 Acres of On-Site Wetlands

Recommendation

I have reviewed the attached application for a Class IV permit by Doral Grande Residences, LTD. Based upon the applicable evaluation factors set forth in Section 24-48.3 of the Code of Miami-Dade County (Code), I recommend that the Board of County Commissioners (Board) approve the issuance of a Class IV permit and acceptance of the associated restrictive covenant for the reasons set forth below.

Scope

The site is located at NW 74 Street and NW 107 Avenue, Doral, in Commission Diaz's District 12.

Fiscal Impact/Funding Source

Not applicable

Track Record/Monitor

The Wetlands Resources Section Manager in the Department of Permitting, Environment and Regulatory Affairs (PERA) will monitor the conditions of the permit and covenant.

Background

The attached Class IV permit application requests authorization to dredge and fill 23.04 acres of wetlands not supporting halophytic (salt tolerant) vegetation for a residential housing development. The project site is located south of NW 74 Street and east of NW 107 Avenue in Doral, Florida. Chapter 24-48 of the Code, which regulates the permitting of environmental resources, requires Board approval for the issuance of Class IV permits to dredge and fill more than 15 acres of wetlands within the Urban Development Boundary (UDB). The proposed project site is within the UDB and adjacent to unfilled, undeveloped wetlands to the north, south and east, and adjacent to residential development to the west.

The wetlands that will be impacted within the project site are historically characterized as herbaceous prairie. The property currently contains areas of native wet prairie and areas with high densities of *Melaleuca* trees, an invasive exotic plant species. Compensatory mitigation for the ecological impacts related to the loss of wetland functions will be accomplished by preserving and enhancing 2.34 acres of wetlands on-site, and by purchasing 8.5 freshwater herbaceous mitigation credits in the Everglades Mitigation Bank, owned and managed by Florida Power & Light Company. The on-site preservation and enhancement will consist of treatment and removal of exotic vegetation and the recording of a restrictive covenant for the long term preservation of the

2.34 acre area. The offsite wetland restoration and enhancement projects conducted within the Everglades Mitigation Bank have enhanced property in the South Dade Wetland Basin by removing exotic vegetation, replanting with native species, restoring filled areas to natural grade elevations, and implementing a fire management program.

The proposed project has been designed in accordance with all relevant Miami-Dade County Class IV permit criteria and is consistent with all other Miami-Dade County wetland protection provisions.

Please find attached a Project Report from the PERA Wetland Resources Section, which sets forth in more detail the reasons this project is recommended for approval by PERA pursuant to the applicable evaluation factors set forth in Section 24-48.3 of the Code. The conditions, limitations, and restrictions set forth in the Project Report attached hereto are incorporated herein by reference hereto.

Attachments

- Attachment A: Class IV Permit Application
Site Plans
Restrictive Covenant
- Attachment B: Applicant's / Agent's Letter
Engineer's Certification Letter
- Attachment C: Zoning Approval Letter
DERM Water Control's Cut & Fill Approval
Mitigation Acceptance Letter
- Attachment D: Adjacent Property Owners List
- Attachment E: Project Report



MEMORANDUM

(Revised)

TO: Honorable Chairman Joe A. Martinez
and Members, Board of County Commissioners

DATE: March 20, 2012

FROM: R. A. Cuevas, Jr.
County Attorney

SUBJECT: Agenda Item No. 5(D)

Please note any items checked.

- "3-Day Rule" for committees applicable if raised
- 6 weeks required between first reading and public hearing
- 4 weeks notification to municipal officials required prior to public hearing
- Decreases revenues or increases expenditures without balancing budget
- Budget required
- Statement of fiscal impact required
- Ordinance creating a new board requires detailed County Manager's report for public hearing
- No committee review
- Applicable legislation requires more than a majority vote (i.e., 2/3's ____, 3/5's ____, unanimous ____) to approve
- Current information regarding funding source, index code and available balance, and available capacity (if debt is contemplated) required

Approved _____ Mayor
Veto _____
Override _____

Agenda Item No. 5(D)
3-20-12

RESOLUTION NO. R-257-12

RESOLUTION RELATING TO AN APPLICATION BY DORAL GRANDE RESIDENCES, LTD FOR A CLASS IV PERMIT REQUESTING AUTHORIZATION TO IMPACT 23.04 ACRES OF WETLANDS TO CONSTRUCT A RESIDENTIAL HOUSING DEVELOPMENT LOCATED SOUTH OF NW 74 STREET AND EAST OF NW 107 AVENUE IN SECTION 17, TOWNSHIP 53 SOUTH, AND RANGE 40 EAST IN DORAL, FLORIDA, AND ACCEPTANCE OF A RESTRICTIVE COVENANT FOR 2.34 ACRES OF ON-SITE WETLANDS

WHEREAS, this Board desires to accomplish the purposes outlined in the accompanying memorandum, a copy of which is incorporated herein by reference,

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF COUNTY COMMISSIONERS OF MIAMI-DADE COUNTY, FLORIDA, that this Board having considered all the applicable factors contained within Section 24-48.3 of the Code of Miami-Dade County, hereby approves the application by Doral Grande Residences, LTD for a Class IV permit to impact 23.04 acres of wetlands to construct a residential housing development, and accepts the restrictive covenant proffered for the preservation and enhancement of 2.34 acres of on-site wetlands within the project site located south of NW 74 Street and east of NW 107 Avenue in Section 17, Township 53S, and Range 40E, in Doral, Miami-Dade County, subject to the conditions set forth in the memorandum from the Director of the Miami-Dade County Permitting, Environment and Regulatory Affairs, a copy of which is attached hereto and made a part hereof. The issuance of this approval does not relieve the applicant from obtaining all applicable Federal, State, and local permits.

The foregoing resolution was offered by Commissioner **Jose "Pepe" Diaz**, who moved its adoption. The motion was seconded by Commissioner **Sen Javier D. Souto** and upon being put to a vote, the vote was as follows:

	Joe A. Martinez, Chairman		aye
	Audrey M. Edmonson, Vice Chairwoman		aye
Bruno A. Barreiro	aye	Lynda Bell	aye
Esteban L. Bovo, Jr.	aye	Jose "Pepe" Diaz	aye
Sally A. Heyman	aye	Barbara J. Jordan	absent
Jean Monestime	aye	Dennis C. Moss	aye
Rebeca Sosa	aye	Sen. Javier D. Souto	aye
Xavier L. Suarez	absent		

The Chairperson thereupon declared the resolution duly passed and adopted this 20th day of March, 2012. This resolution shall become effective ten (10) days after the date of its adoption unless vetoed by the Mayor, and if vetoed, shall become effective only upon an override by this Board.

MIAMI-DADE COUNTY, FLORIDA
BY ITS BOARD OF
COUNTY COMMISSIONERS

HARVEY RUVIN, CLERK



By: **Christopher Agrippa**
Deputy Clerk

Approved by County Attorney as
to form and legal sufficiency.

Abbie Schwaderer Raurell

Attachment A

Class IV Permit Application
Site Plans
Restrictive Covenant

Class IV Permit Application



RECEIVED Date Received: OCT 27 2011	FOR DEPARTMENTAL USE ONLY	Updated: 09/09
	Application Number: _____	Application Fee: _____

DERM Wetlands Resources Section
 Natural Resources Regulation & Restoration
 Application must be filed out in its entirety. Please indicate N/A for non-applicable fields.

1. Applicant Information:

Name: Doral Grande Residences, LTD
 Address: 1025 Kane Concourse, Ste 215
Bay Harbour Islands, FL Zip Code: 33154-2118
 Phone #: 305-867-2245 Fax#: 305-867-2246
 Email: _____

* This should be the applicant's information for contact purposes.

2. Applicant's Authorized Permit Agent:

Agent is allowed to process the application, furnish supplemental information relating to the application and bind the applicant to all requirements of the application.

Name: Kenneth MacFarlane, MacKen Environmental, Inc.
 Address: 9999 NE 2nd Avenue Suite 313
Miami Shores, FL Zip Code: 33138
 Phone #: 305-758-0560 Fax #: 305-758-0561
 Email: kennym@mackenviro.com

3. Location where proposed activity exists or will occur (latitude and longitude are only necessary for properties without address or folio #):

Folio #(s): 35-3017-001-0320, -0310, -0300 Latitude: _____ Longitude: _____
 Street Address: SE Corner of NW 74 St / NW 107 Ave Section: 17 Township: 53S Range: 40E
 In City or Town: Doral, FL Near City or Town: _____

4. Describe the proposed activity (check all that apply):

- | | | |
|---|---|--|
| <input type="checkbox"/> Agriculture | <input checked="" type="checkbox"/> Excavation/Dredging (See Box 6) | <input checked="" type="checkbox"/> Filling |
| <input type="checkbox"/> Row Crops | <input checked="" type="checkbox"/> Lake Excavation | <input checked="" type="checkbox"/> Limerock |
| <input type="checkbox"/> Fruit Grove | <input type="checkbox"/> Drainage Features | <input type="checkbox"/> Soil/Muck |
| <input type="checkbox"/> Field Nursery - At Grade | <input type="checkbox"/> Rock Mining | <input type="checkbox"/> Sand |
| <input type="checkbox"/> Field Nursery - Row and Furrow | | <input type="checkbox"/> Marl |
| <input type="checkbox"/> Container Nursery | | <input type="checkbox"/> Clay |
| <input type="checkbox"/> Shade House Nursery | | <input type="checkbox"/> Stone |
| <input type="checkbox"/> Drainage Features | | <input type="checkbox"/> Concrete Rubble |
| <input type="checkbox"/> Other: _____ | | |

Other: _____

Total Property size: 26.60 acres Wetland acreage proposed to be impacted: 23.04 acres

Are you seeking an after-the-fact approval for any portion of the work (ATF)? Yes No

5. Proposed Use (check all that apply):

- | | |
|--|-------------------------------------|
| <input type="checkbox"/> Single Family | <input type="checkbox"/> Commercial |
| <input checked="" type="checkbox"/> Multi-Family | <input type="checkbox"/> Industrial |
| <input checked="" type="checkbox"/> Private | <input type="checkbox"/> Utility |
| <input type="checkbox"/> Public | <input type="checkbox"/> Other |
| <input type="checkbox"/> Agricultural | |

6. If the proposed work relates to Excavation/Dredging as indicated in Box 4 above, provide the following information:

Proposed acreage of excavation: 3.81 acres
 Proposed depth of excavation: 25 feet below ground surface
 Proposed acreage of backfill area: 19.23 acres (if applicable)

7. List all permits or certifications that have been applied for or obtained for the above referenced work:

Issuing Agency	Type of Approval	Identification Number	Application Date	Approval Date
SFWMD	ERP (Pending)	061129-19		
ACOE	Dredge and Fill	SAJ-2007-153		

8. Contractor Information (If known):

Name: TO BE DETERMINED License # (County/State): _____

Address: _____ Zip Code: _____

Phone #: _____ Fax #: _____ E-mail: _____

9. IMPORTANT NOTICE TO APPLICANTS: The written consent of the property owner is required for all applications to be considered complete. Your application WILL NOT BE PROCESSED unless the Applicant and Owner Consent portion of the application is completed below. You have the obligation to apprise the Department of any changes to information provided in this application.

Application is hereby made for a Miami-Dade County Class IV permit to authorize the activities described herein. I agree to or affirm the following:

- I possess the authority to authorize the proposed activities at the subject property, and
- I am familiar with the information, data and plans contained in this application, and
- To the best of my knowledge and belief, the information, data and plans submitted are true, complete and accurate, and
- I will provide any additional information, evidence or data necessary to provide reasonable assurance that the proposed project will comply with the applicable State and County water quality standards both during construction and after the project is completed, and
- I am authorizing the permit agent listed in Section 2 of this application to process the application, furnish supplemental information relating to this application and bind the applicant to all requirements of this application, and
- I agree to provide access and allow entry to the project site to inspectors and authorized representatives of Miami-Dade County for the purpose of making the preliminary analyses of the site and to monitor permitted activities and adherence to all permit conditions.

A. IF APPLICANT IS AN INDIVIDUAL

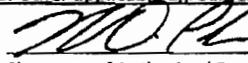
Signature of Applicant	Print Applicant's Name	Date
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B. IF APPLICANT IS OTHER THAN AN INDIVIDUAL OR NATURAL PERSON

(Examples: Corporation, Partnership, Trust, LLC, LLP, etc.)

Doral Grande Residences, LTD	LTD	Florida
Print Name of Applicant (Enter the complete name as registered)	Type (Corp, LLC, LLP, etc.)	State of Registration/Incorporation

Under the penalty of perjury, I certify that I have the authority to sign this application on behalf of the Applicant, to bind the Applicant, and if so required to authorize the issuance of a bond on behalf of the Applicant. (If asked, you must provide proof of such authority to the Department). *****Please Note: If additional signatures are required, pursuant to your governing documents, operating agreements, or other applicable agreements or laws, you must attach additional signature pages.*****

	Howard Cohen	President of G.P.	1-7-2011
Signature of Authorized Representative	Print Authorized Representative's Name	Title	Date

C. IF APPLICANT IS A JOINT VENTURE Each party must sign below (If more than two members, list on attached page)

Print Name of Applicant (Enter the complete name as registered)	Type (Corp, LLC, LLP, etc.)	State of Registration/Incorporation
---	-----------------------------	-------------------------------------

Print Name of Applicant (Enter the complete name as registered)	Type (Corp, LLC, LLP, etc.)	State of Registration/Incorporation
---	-----------------------------	-------------------------------------

Under the penalty of perjury, I certify that I have the authority to sign this application on behalf of the Applicant, to bind the Applicant, and if so required to authorize the issuance of a bond on behalf of the Applicant. (If asked, you must provide proof of such authority to the Department). *****Please Note: If additional signatures are required, pursuant to your governing documents, operating agreements, or other applicable agreements or laws, you must attach additional signature pages.*****

Signature of Authorized Representative	Print Authorized Representative's Name	Title
Signature of Authorized Representative	Print Authorized Representative's Name	Title

RECEIVED
JAN 19 2011
Date

DORAL GRANDE

Doral Grande Residences LTD.

1025 Kane Concourse, Suite 215, Bay Harbor Islands, FL 33154
 phone 305 - 867-2245 fax 305 - 867-2246
 alastra@apmanagement.net

Paving & Drainage Plans
 DORAL, FL 33122

Atlantic & Pacific
 COMPANIES

PROJECT ENGINEERS:
 CORZO CASTELA CARBALLO
 THOMPSON SALMAN, PA
 Consulting Engineers - Civil
 901 Ponce de Leon Blvd., Suite 900
 Coral Gables, Florida 33134



Architects
 Engineers
 Planners
 901 Ponce de Leon Blvd., Suite 900
 Coral Gables, Florida 33134
 305-443-3000
 305-443-3001
 305-443-3002
 A/CORZOS
 CITY PROJECT NO.: 0409041

REVISIONS

NO. DATE
 1 2/16/01
 2 2/16/01
 3 2/16/01

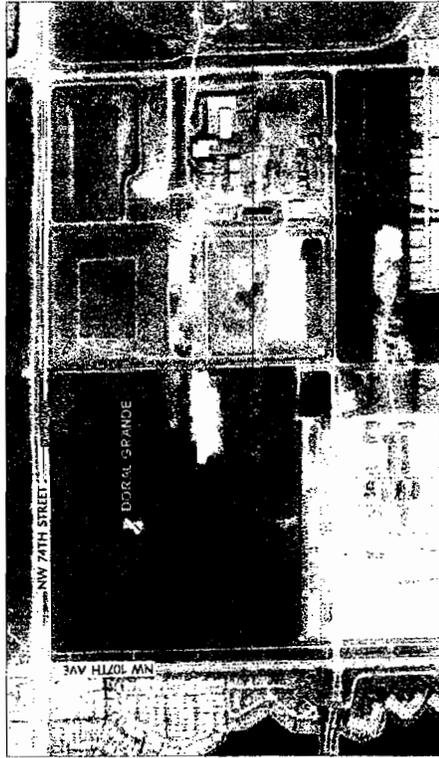


DANIEL G. SALZMAN
 CIVIL ENGINEER
 LICENSE NO. 12117
 EXPIRES 12/31/04

DRAWING INDEX

CIVIL:

- A COVER
- E-01 EXCAVATION PLAN
- G-00 GENERAL NOTES
- G-01 ALIGNMENTS GEOMETRY PLAN
- G-02 BASIN PLAN
- G-03 GUT PLAN
- G-04 GUT PLAN
- G-05 14 GEOMETRY PLAN (NOT PART OF THIS SUBMITTAL)
- G-06 14 DRAINAGE & GRADING PLAN
- C-01-09 OFF SITE DRAINAGE & GRADING PLAN
- C-10-11 DRAINAGE DETAILS
- C-12 SECTIONS
- C-13 DETAILS
- C-14 SURFACE WATER POLLUTION PREVENTION PLAN
- C-15-18 SURFACE WATER POLLUTION PREVENTION DETAILS
- C-18



PROJECT LOCATION



Know what's below.
 Call before you dig.



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 OCT 13 2001



CONSTRUCTION: []
 PERMIT: []
 DATE: 06/01/11

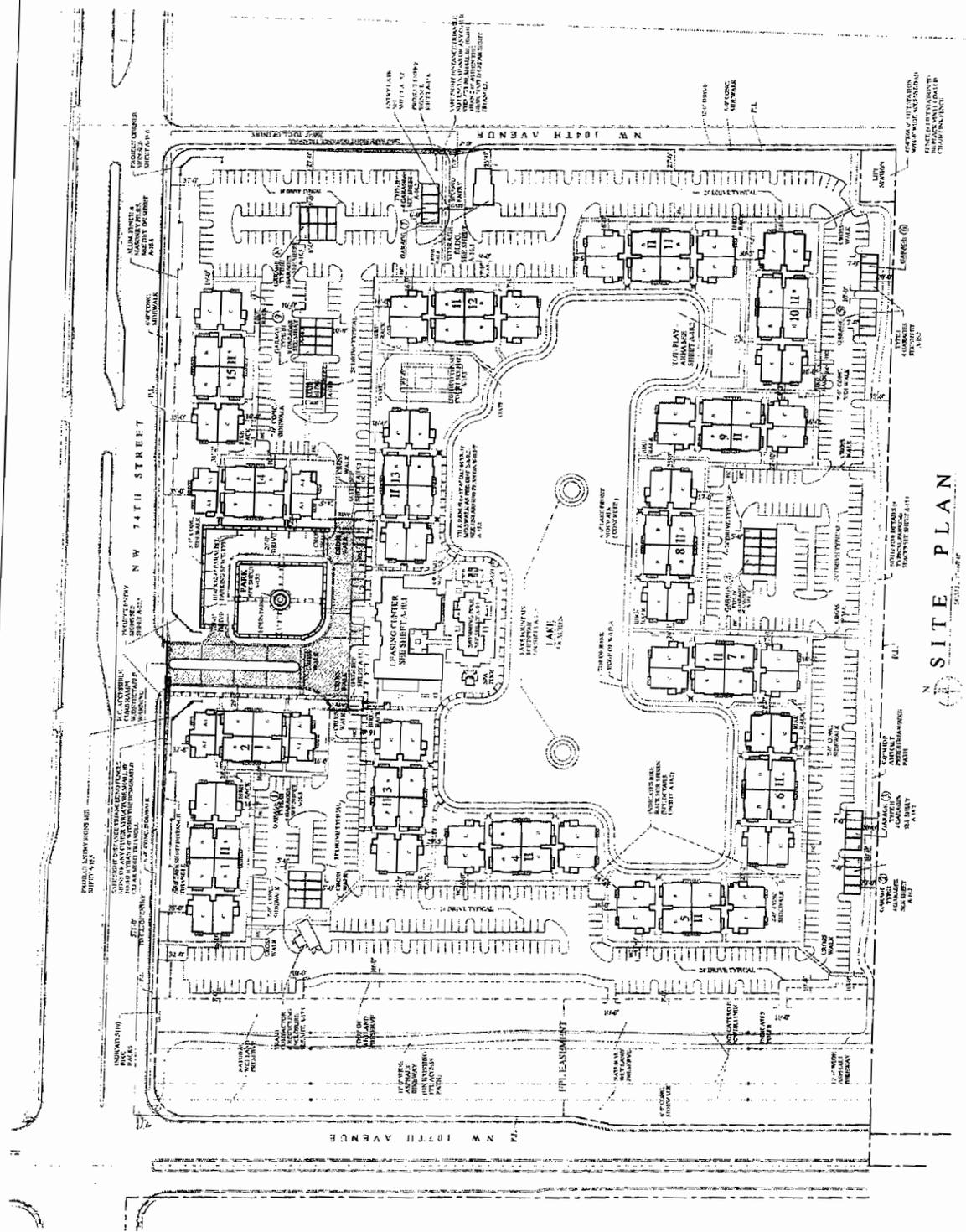
DORAL GRANDE
 AT DORAL

Atlantic & Pacific
 COMPANIES

ROGER FRY & ASSOCIATES
 ARCHITECTS, P.A.
 ROGER FRY, AIA
 7700 N.W. 11TH AVENUE, SUITE 300
 DORAL, FL 33126
 TEL: 305-441-7287
 FAX: 305-441-5558
 www.rfry.com

DATE: 06/01/11 SHEET NUMBER: A-02

RECEIVED
 JUN 2 2011



N
 SITE PLAN



CCTS
CORZO
CASTELLA
CARBALLO
THOMPSON
SALMAN

Architects
 Engineers
 Planners

3000 West 10th Street, Suite 200
 Denver, Colorado 80202
 Phone: 303.733.1000
 Fax: 303.733.1001
 www.ccts.com

CITY PROJECT NO. 0020001

REVISIONS

NO.	DATE	DESCRIPTION
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2	01/15/07	ISSUED FOR PERMITS
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10	01/15/07	ISSUED FOR PERMITS



DANIEL GONZALEZ
 ENGINEER
 LICENSE NO. 100000000
 STATE OF COLORADO

BASIN PLAN

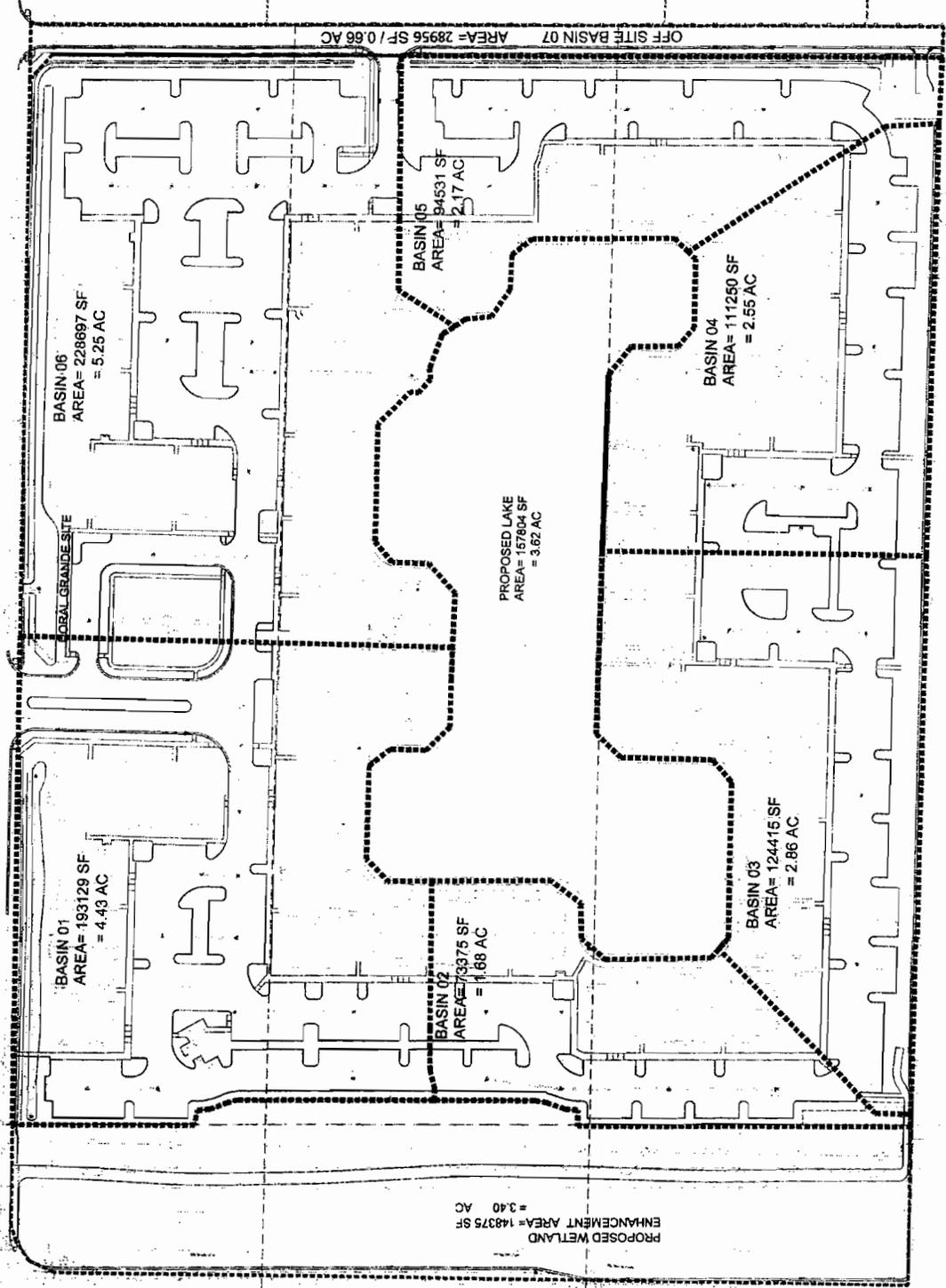
DORAL GRANDE
 AT DORAL

Atlantic & Pacific
 COMPANIES

ROGER FRY
 & ASSOCIATES
 ARCHITECTS, P.A.

2701 BRIG AVENUE
 COCCODUIT GROVE, FL 33133
 TEL: 305.463.5755
 FAX: 305.463.5755
 info@rogerfr.com

DATE: 9/11 SHEET NUMBER: G-02





CORZO CASTELLA CARBALLO THOMPSON SALMAN
Architects
Engineers
Planners

901 Torres de Leon Blvd, Suite 900
Coral Gables, Florida 33134
Tel: 305-446-7332
Fax: 305-446-7332
www.c3ts.com

REVISIONS

NO.	DATE	DESCRIPTION
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DORAL GRANDE AT DORAL

Atlantic & Pacific COMPANIES

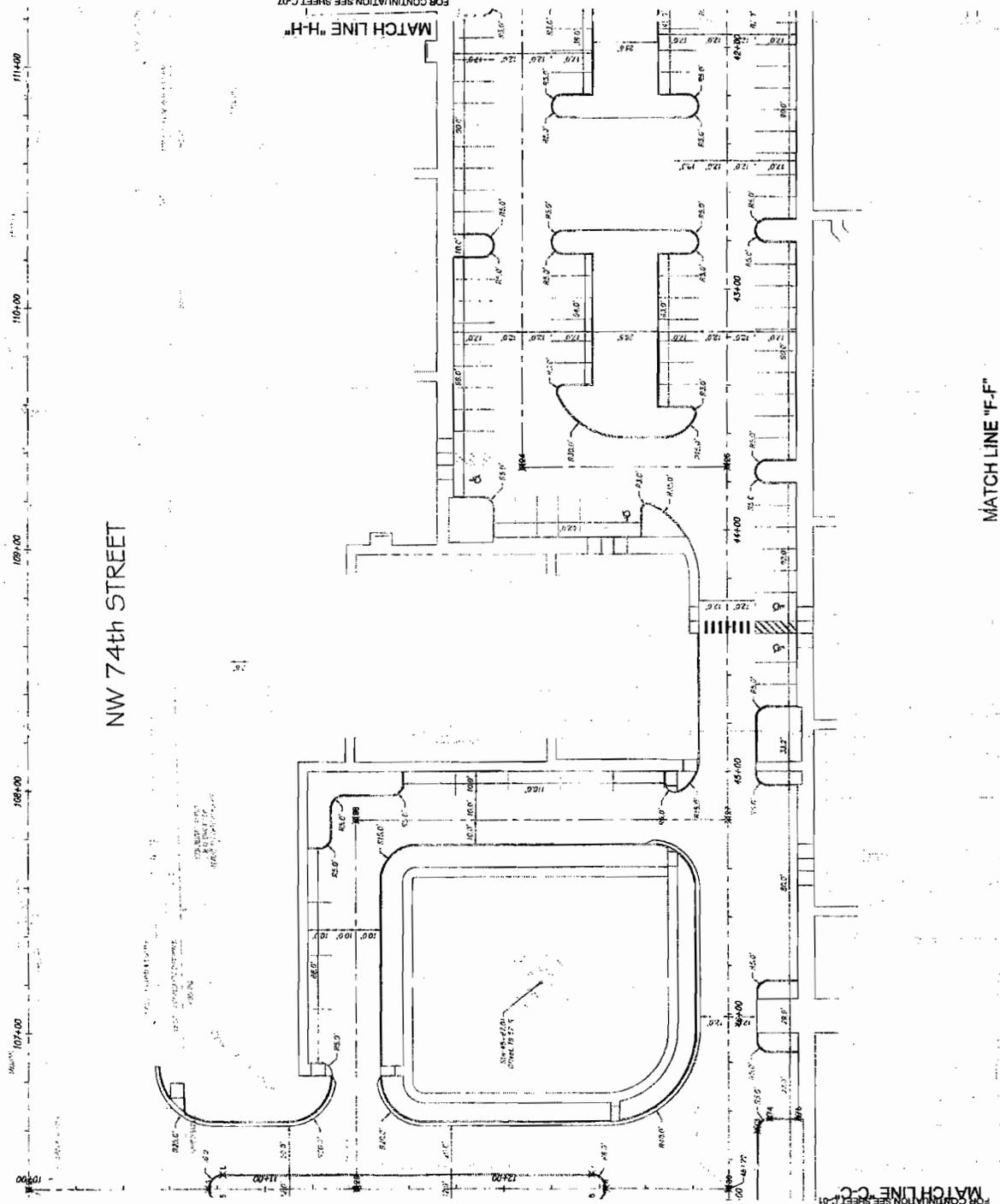
ROGER FRY & ASSOCIATES ARCHITECTS, P.A.

ROGER FRY, ARCHITECT
2701 BIRCHWOOD AVENUE
COCONUT GROVE, FL 33133
TEL: 305-446-7332
FAX: 305-446-7332
rfa@rogerfy.com

DATE: 09/11
SHEET NUMBER: G-06



- LEGEND**
- 1. 1/2" = 1'-0" (1/4" = 1'-0")
 - 2. 1/4" = 1'-0" (1/8" = 1'-0")
 - 3. 1/8" = 1'-0" (1/16" = 1'-0")
 - 4. 1/16" = 1'-0" (1/32" = 1'-0")
 - 5. 1/32" = 1'-0" (1/64" = 1'-0")
 - 6. 1/64" = 1'-0" (1/128" = 1'-0")
 - 7. 1/128" = 1'-0" (1/256" = 1'-0")
 - 8. 1/256" = 1'-0" (1/512" = 1'-0")
 - 9. 1/512" = 1'-0" (1/1024" = 1'-0")
 - 10. 1/1024" = 1'-0" (1/2048" = 1'-0")
 - 11. 1/2048" = 1'-0" (1/4096" = 1'-0")
 - 12. 1/4096" = 1'-0" (1/8192" = 1'-0")
 - 13. 1/8192" = 1'-0" (1/16384" = 1'-0")
 - 14. 1/16384" = 1'-0" (1/32768" = 1'-0")
 - 15. 1/32768" = 1'-0" (1/65536" = 1'-0")
 - 16. 1/65536" = 1'-0" (1/131072" = 1'-0")
 - 17. 1/131072" = 1'-0" (1/262144" = 1'-0")
 - 18. 1/262144" = 1'-0" (1/524288" = 1'-0")
 - 19. 1/524288" = 1'-0" (1/1048576" = 1'-0")
 - 20. 1/1048576" = 1'-0" (1/2097152" = 1'-0")
 - 21. 1/2097152" = 1'-0" (1/4194304" = 1'-0")
 - 22. 1/4194304" = 1'-0" (1/8388608" = 1'-0")
 - 23. 1/8388608" = 1'-0" (1/16777216" = 1'-0")
 - 24. 1/16777216" = 1'-0" (1/33554432" = 1'-0")
 - 25. 1/33554432" = 1'-0" (1/67108864" = 1'-0")
 - 26. 1/67108864" = 1'-0" (1/134217728" = 1'-0")
 - 27. 1/134217728" = 1'-0" (1/268435456" = 1'-0")
 - 28. 1/268435456" = 1'-0" (1/536870912" = 1'-0")
 - 29. 1/536870912" = 1'-0" (1/1073741824" = 1'-0")
 - 30. 1/1073741824" = 1'-0" (1/2147483648" = 1'-0")
 - 31. 1/2147483648" = 1'-0" (1/4294967296" = 1'-0")
 - 32. 1/4294967296" = 1'-0" (1/8589934592" = 1'-0")
 - 33. 1/8589934592" = 1'-0" (1/17179869184" = 1'-0")
 - 34. 1/17179869184" = 1'-0" (1/34359738368" = 1'-0")
 - 35. 1/34359738368" = 1'-0" (1/68719476736" = 1'-0")
 - 36. 1/68719476736" = 1'-0" (1/137438953472" = 1'-0")
 - 37. 1/137438953472" = 1'-0" (1/274877906944" = 1'-0")
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 - 39. 1/549755813888" = 1'-0" (1/1099511627776" = 1'-0")
 - 40. 1/1099511627776" = 1'-0" (1/2199023255552" = 1'-0")
 - 41. 1/2199023255552" = 1'-0" (1/4398046511104" = 1'-0")
 - 42. 1/4398046511104" = 1'-0" (1/8796093022208" = 1'-0")
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 - 44. 1/17592186044416" = 1'-0" (1/35184372088832" = 1'-0")
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 - 57. 1/144115188075855872" = 1'-0" (1/288230376151711744" = 1'-0")
 - 58. 1/288230376151711744" = 1'-0" (1/576460752303423488" = 1'-0")
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Architects
Engineers
Planners

REVISIONS
DATE
BY
DESCRIPTION



DANIEL GRADY, PE
PRONER OF RECORD - 2/20/07

GEOMETRY PLAN

DORAL GRANDE

AT DORAL

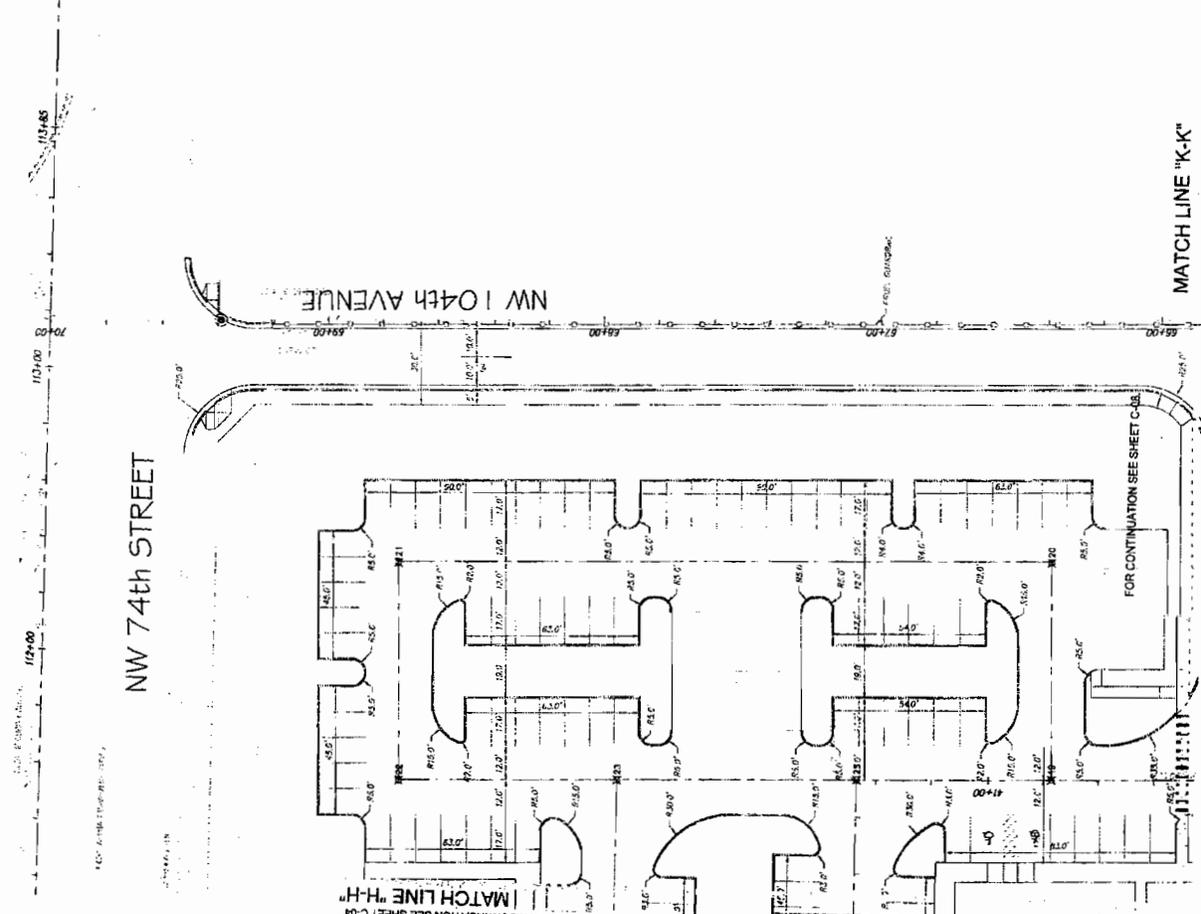
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COMPANIES
ROGER FRY
& ASSOCIATES
ARCHITECTS, P.A.

ROGER FRY ARCHITECT
2704 BRID AVENUE
CORAL GABLES, FL 33133
TEL 305-445-5755
FAX 305-445-5755
rfg@rfgny.com

DATE: 9/9/11
SHEET NUMBER: G-07



- LEGEND**
- Center Line
 - Right of Way Line
 - Left Right of Way Line
 - Center Line
 - 1/4" = 1' - 0"
 - 2" = 10' - 0"
 - 3" = 15' - 0"
 - 4" = 20' - 0"
 - 5" = 25' - 0"
 - 6" = 30' - 0"
 - 7" = 35' - 0"
 - 8" = 40' - 0"
 - 9" = 45' - 0"
 - 10" = 50' - 0"
 - 11" = 55' - 0"
 - 12" = 60' - 0"
 - 13" = 65' - 0"
 - 14" = 70' - 0"
 - 15" = 75' - 0"
 - 16" = 80' - 0"
 - 17" = 85' - 0"
 - 18" = 90' - 0"
 - 19" = 95' - 0"
 - 20" = 100' - 0"
 - 21" = 105' - 0"
 - 22" = 110' - 0"
 - 23" = 115' - 0"
 - 24" = 120' - 0"
 - 25" = 125' - 0"
 - 26" = 130' - 0"
 - 27" = 135' - 0"
 - 28" = 140' - 0"
 - 29" = 145' - 0"
 - 30" = 150' - 0"
 - 31" = 155' - 0"
 - 32" = 160' - 0"
 - 33" = 165' - 0"
 - 34" = 170' - 0"
 - 35" = 175' - 0"
 - 36" = 180' - 0"
 - 37" = 185' - 0"
 - 38" = 190' - 0"
 - 39" = 195' - 0"
 - 40" = 200' - 0"
 - 41" = 205' - 0"
 - 42" = 210' - 0"
 - 43" = 215' - 0"
 - 44" = 220' - 0"
 - 45" = 225' - 0"
 - 46" = 230' - 0"
 - 47" = 235' - 0"
 - 48" = 240' - 0"
 - 49" = 245' - 0"
 - 50" = 250' - 0"
 - 51" = 255' - 0"
 - 52" = 260' - 0"
 - 53" = 265' - 0"
 - 54" = 270' - 0"
 - 55" = 275' - 0"
 - 56" = 280' - 0"
 - 57" = 285' - 0"
 - 58" = 290' - 0"
 - 59" = 295' - 0"
 - 60" = 300' - 0"
 - 61" = 305' - 0"
 - 62" = 310' - 0"
 - 63" = 315' - 0"
 - 64" = 320' - 0"
 - 65" = 325' - 0"
 - 66" = 330' - 0"
 - 67" = 335' - 0"
 - 68" = 340' - 0"
 - 69" = 345' - 0"
 - 70" = 350' - 0"
 - 71" = 355' - 0"
 - 72" = 360' - 0"
 - 73" = 365' - 0"
 - 74" = 370' - 0"
 - 75" = 375' - 0"
 - 76" = 380' - 0"
 - 77" = 385' - 0"
 - 78" = 390' - 0"
 - 79" = 395' - 0"
 - 80" = 400' - 0"
 - 81" = 405' - 0"
 - 82" = 410' - 0"
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 - 84" = 420' - 0"
 - 85" = 425' - 0"
 - 86" = 430' - 0"
 - 87" = 435' - 0"
 - 88" = 440' - 0"
 - 89" = 445' - 0"
 - 90" = 450' - 0"
 - 91" = 455' - 0"
 - 92" = 460' - 0"
 - 93" = 465' - 0"
 - 94" = 470' - 0"
 - 95" = 475' - 0"
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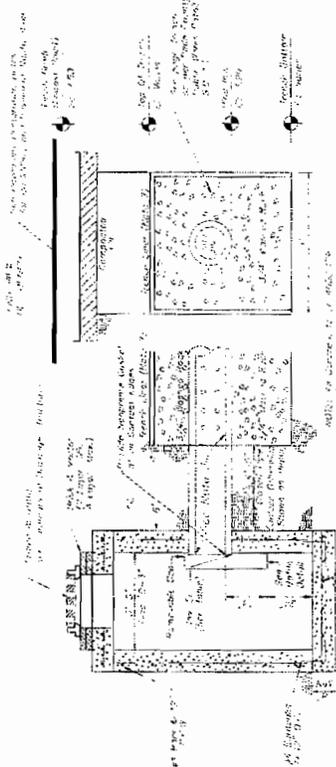


MATCH LINE "K-K"

FOR CONTINUATION SEE SHEET C-08

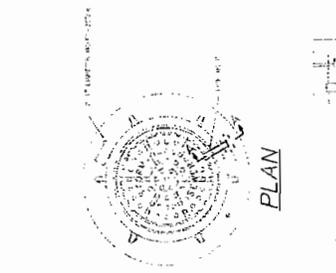
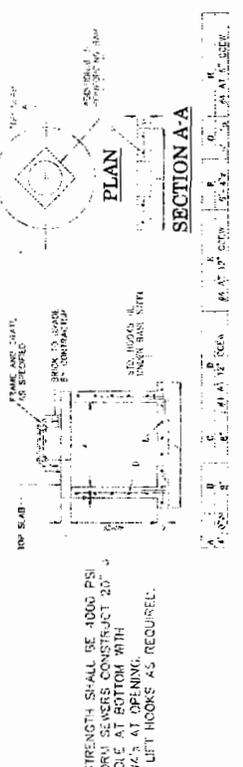
REVISIONS

NO.	DATE	DESCRIPTION
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2	08/11/11	ISSUED FOR PERMIT
3	08/11/11	ISSUED FOR PERMIT
4	08/11/11	ISSUED FOR PERMIT
5	08/11/11	ISSUED FOR PERMIT
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9	08/11/11	ISSUED FOR PERMIT
10	08/11/11	ISSUED FOR PERMIT



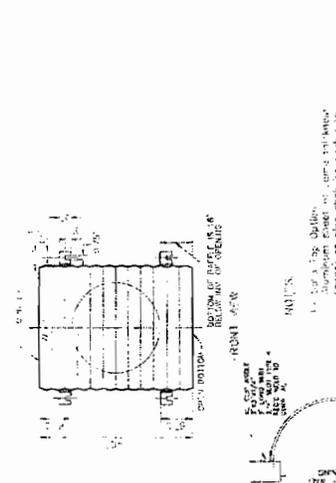
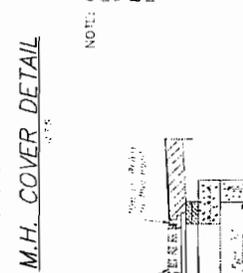
- NOTES:**
1. U.S. Precast Corp. Type "D-3" 24" x 24" x 8" Catch Basin.
 2. Concrete Baffle (CB) shall be 28-days.
 3. Catch Basin shall be 18" Perforated.
 4. Catch Basin shall be 18" Perforated.
 5. Cover Edge Faces with No. 10 Galvanized or 1/2" x 1/2" Screen, Unless No. 10 Larger Than 1/2" x 1/2" Screen.
 6. Baffle Back Shall be Iron Fresh Water.
 7. Baffle Back Shall be Free of Electrolytic Material.
 8. All "D-3" Catch Basins shall be tested to be clear with 100% of the flow rate.
 9. All "D-3" Catch Basins shall be tested to be clear with 100% of the flow rate.
 10. All "D-3" Catch Basins shall be tested to be clear with 100% of the flow rate.

TYPE "D-3" CATCH BASIN AND EXFILTRATION TRENCH DETAIL



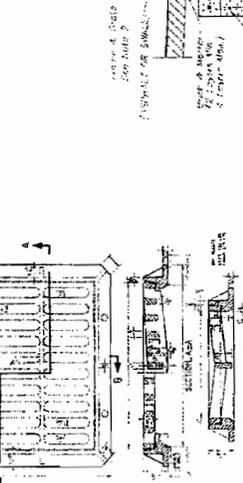
- NOTES:**
1. Concrete Baffle (CB) shall be 28-days.
 2. Catch Basin shall be 18" Perforated.
 3. Catch Basin shall be 18" Perforated.
 4. Catch Basin shall be 18" Perforated.
 5. Catch Basin shall be 18" Perforated.
 6. Catch Basin shall be 18" Perforated.
 7. Catch Basin shall be 18" Perforated.
 8. Catch Basin shall be 18" Perforated.
 9. Catch Basin shall be 18" Perforated.
 10. Catch Basin shall be 18" Perforated.

M.H. COVER DETAIL

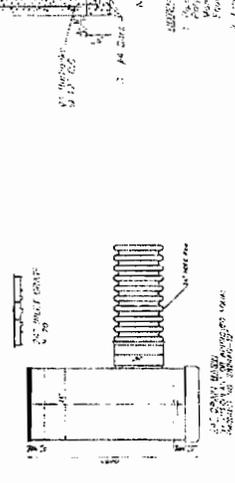


- NOTES:**
1. Pollution Retardant Baffle (PRB) shall be 28-days.
 2. Pollution Retardant Baffle (PRB) shall be 18" Perforated.
 3. Pollution Retardant Baffle (PRB) shall be 18" Perforated.
 4. Pollution Retardant Baffle (PRB) shall be 18" Perforated.
 5. Pollution Retardant Baffle (PRB) shall be 18" Perforated.
 6. Pollution Retardant Baffle (PRB) shall be 18" Perforated.
 7. Pollution Retardant Baffle (PRB) shall be 18" Perforated.
 8. Pollution Retardant Baffle (PRB) shall be 18" Perforated.
 9. Pollution Retardant Baffle (PRB) shall be 18" Perforated.
 10. Pollution Retardant Baffle (PRB) shall be 18" Perforated.

POLLUTION RETARDANT BAFFLE DETAIL



DRAIN BASIN DETAIL



- NOTES:**
1. Drain Basin shall be 28-days.
 2. Drain Basin shall be 18" Perforated.
 3. Drain Basin shall be 18" Perforated.
 4. Drain Basin shall be 18" Perforated.
 5. Drain Basin shall be 18" Perforated.
 6. Drain Basin shall be 18" Perforated.
 7. Drain Basin shall be 18" Perforated.
 8. Drain Basin shall be 18" Perforated.
 9. Drain Basin shall be 18" Perforated.
 10. Drain Basin shall be 18" Perforated.

TYPE "D" CATCH BASIN



DRAINAGE DETAILS

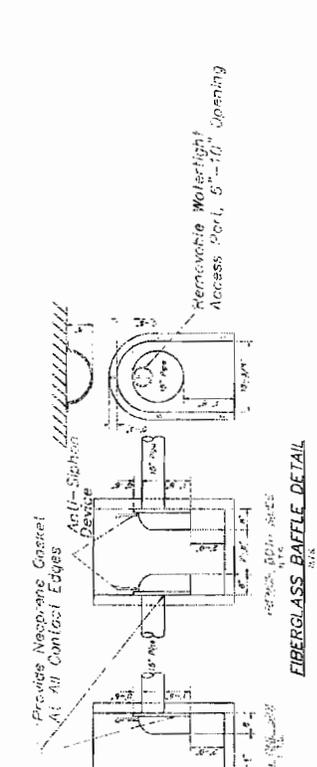
DORAL GRANDE
AT DORAL

Atlantic & Pacific COMPANIES

ROGER FRY & ASSOCIATES ARCHITECTS, P.A.

ROGER FRY ARCHITECT
200 W. 10th Ave.
COCOA BEACH, FL 32935
TEL: 321.444.2357
ry@ryfray.com

DATE: 9/8/11 SHEET NUMBER: C-12



- NOTES:**
1. All Basins shall be equipped with a Wateright Access Port, a Mounting Flange, and an Anti-Siphon Vent Pipe and Clear as Drawn.
 2. The Anti-Siphon Vent shall extend above flood by Min. of 1" and a Max. of 12" According to Structure Configuration.



CORZO CASTELLA CARBALLO THOMPSON SALMAN
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 Planners

3700 Avenue of the Americas, Suite 100
 New York, NY 10018
 Tel: 212 692 9000
 Fax: 212 692 9001
 www.corzo.com

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2	08/21/11	ISSUED FOR PERMITS
3	08/21/11	ISSUED FOR PERMITS



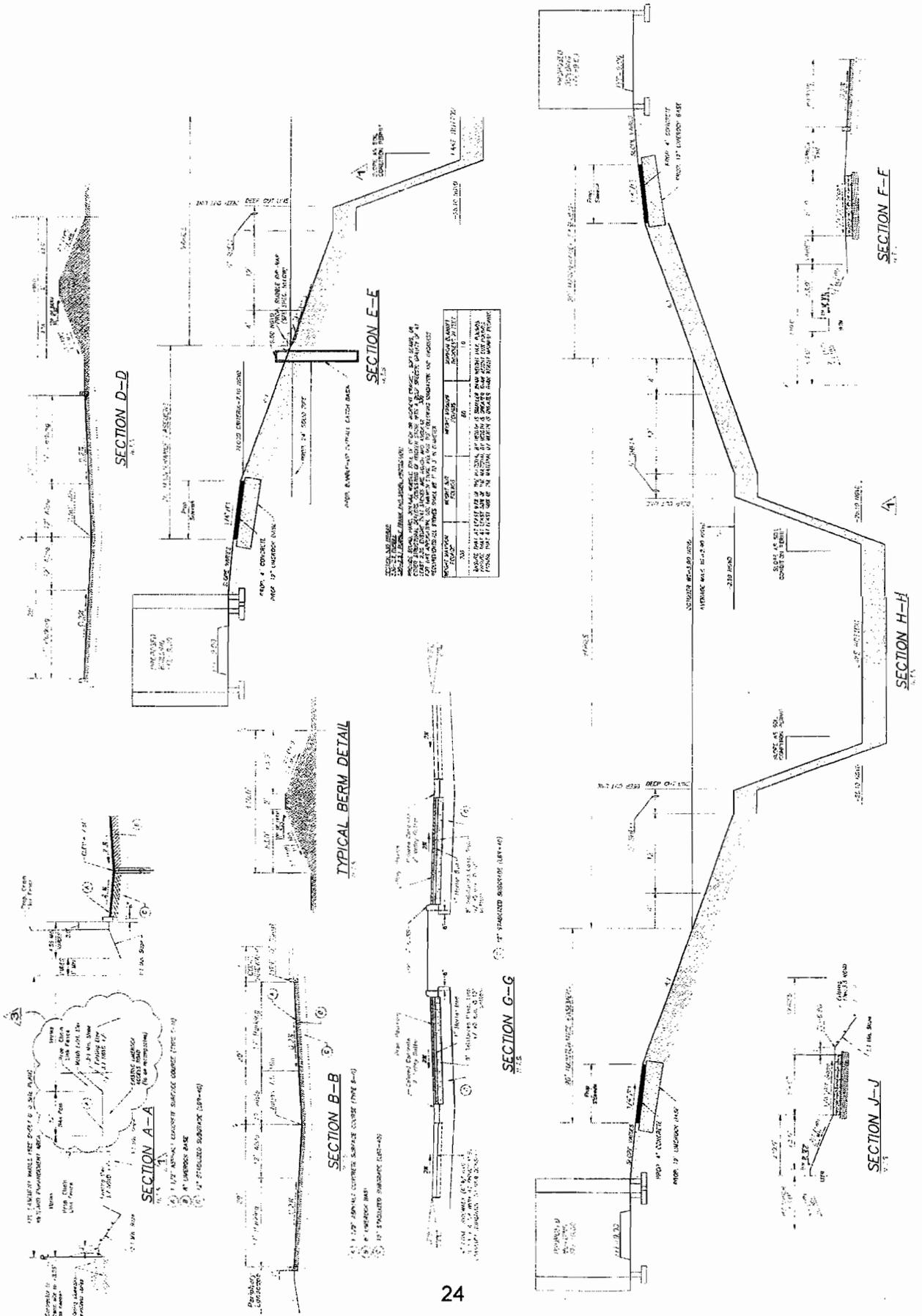
DATE: 08/21/11
 NUMBER OF SHEETS: 13

SECTIONS & NOTES

DORAL GRANDE
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Atlantic & Pacific
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 ROGER FRY & ASSOCIATES
 ARCHITECTS, P.A.
 ROGER FRY, ARCHITECT
 2700 BRID AVENUE
 COCONUT GROVE, FL 33153
 TEL: 305 443 2755
 rfo@atpacific.com

DATE: 08/21/11
 SHEET NUMBER: C-13





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New York, New York 10013
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Fax: 212-692-9001
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18	08/11/11	ISSUED FOR PERMIT
19	08/11/11	ISSUED FOR PERMIT
20	08/11/11	ISSUED FOR PERMIT



DETAILS

DORAL GRANDE
AT DORAL

Atlantic & Pacific COMPANIES

ROGER FRY & ASSOCIATES ARCHITECTS, P.A.

ROGER FRY, ARCHITECT
7201 BELLEVILLE BLVD., SUITE 100
COCKEYVILLE, MD 21033
TEL: 410-326-4400
FAX: 410-326-4401
rfa@rogerfy.com

DATE: 08/11/11
SHEET NUMBER: C-14

GENERAL NOTES:

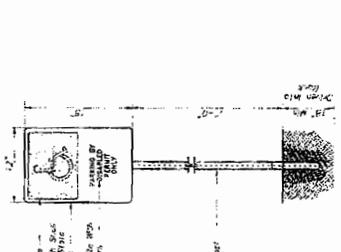
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE LATEST EDITIONS OF THE INTERNATIONAL PLUMBING AND MECHANICAL CODE (IMC).
2. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNALING CODE (NFPA).
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL MECHANICAL CODE (NMC) AND THE NATIONAL PLUMBING CODE (NPC).
5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL GAS CODE (NGC) AND THE NATIONAL HAZARDOUS LIQUID GAS CODE (NLGC).
6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL FUEL GAS CODE (NFGC) AND THE NATIONAL GAS PIPING CODE (NGPC).
7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL MECHANICAL CODE (NMC) AND THE NATIONAL PLUMBING CODE (NPC).
8. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNALING CODE (NFPA).
9. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL MECHANICAL CODE (NMC) AND THE NATIONAL PLUMBING CODE (NPC).
10. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL GAS CODE (NGC) AND THE NATIONAL HAZARDOUS LIQUID GAS CODE (NLGC).
11. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL FUEL GAS CODE (NFGC) AND THE NATIONAL GAS PIPING CODE (NGPC).
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14. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL MECHANICAL CODE (NMC) AND THE NATIONAL PLUMBING CODE (NPC).
15. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL GAS CODE (NGC) AND THE NATIONAL HAZARDOUS LIQUID GAS CODE (NLGC).
16. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL FUEL GAS CODE (NFGC) AND THE NATIONAL GAS PIPING CODE (NGPC).
17. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL MECHANICAL CODE (NMC) AND THE NATIONAL PLUMBING CODE (NPC).
18. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNALING CODE (NFPA).
19. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL MECHANICAL CODE (NMC) AND THE NATIONAL PLUMBING CODE (NPC).
20. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL GAS CODE (NGC) AND THE NATIONAL HAZARDOUS LIQUID GAS CODE (NLGC).

REVISIONS

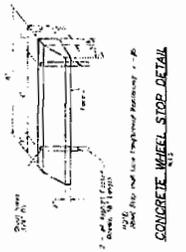
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REVISIONS

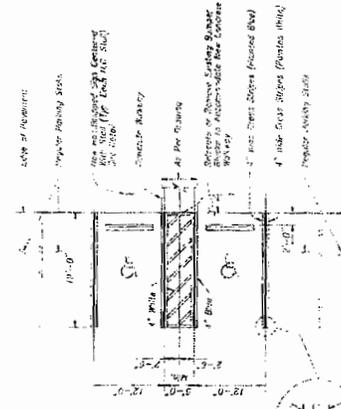
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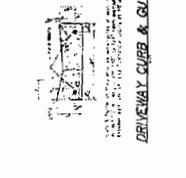
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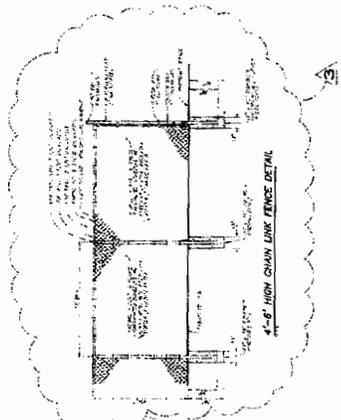
CONCRETE WHEEL STOP DETAIL



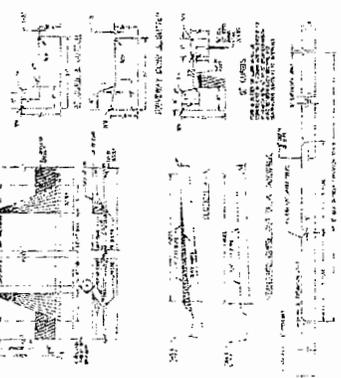
DRIVEWAY CURB & GUTTER



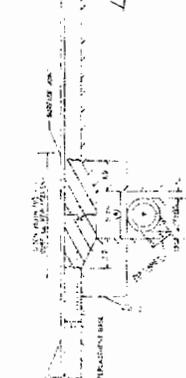
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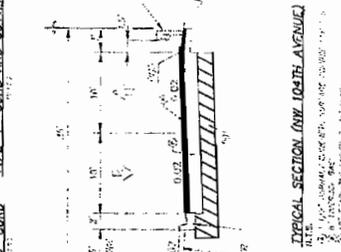
TYPICAL SECTION (NW 104TH AVENUE)



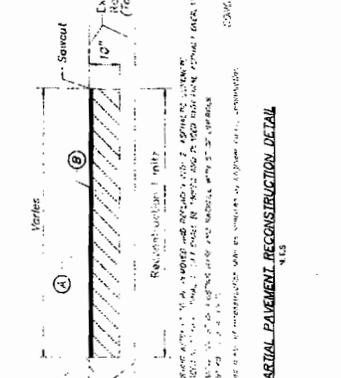
CURB & GUTTER, SIDEWALK AND DRIVEWAY DETAILS



RESTORATION OF TRENCH EXCAVATION



TYPICAL SECTION (NW 104TH AVENUE)



PARTIAL PAVEMENT RECONSTRUCTION DETAIL



**Architects
Engineers
Planners**
300 West de Leon Blvd., Suite 300
Coral Gables, Florida, 33134
Tel: 305-442-2777
Fax: 305-442-2777
www.g3ts.com
CITY PROJECT NO.: BUD-001

REVISIONS

No.	Description	Date
1	ISSUED FOR PERMITS	08/11/11
2	ISSUED FOR PERMITS	08/11/11
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99	ISSUED FOR PERMITS	08/11/11
100	ISSUED FOR PERMITS	08/11/11



SUMMARY OF STRUCTURES

DORAL GRANDE AT DORAL

Atlantic & Pacific COMPANIES
ROGER FRY ARCHITECT & ASSOCIATES ARCHITECTS, P.A.
ROGER FRY ARCHITECT
700 BRICKWAY CENTER
COCOA BEACH, FL 32931
TEL: 321-446-2777
FAX: 321-446-2777
rfr@apacific.com

DATE: 8/11/11
SHEET NUMBER: C-15

SUMMARY OF DRAINAGE STRUCTURES

Structure No.	Structure Type	Interior Diam (inch)	Rim Elev. (ft)	INVERTS (ft)					Pollution Retardant Beriffs					Bottom (Sump) Elev. (ft)	Comments
				N	S	E	W		N	S	E	W			
S-01	INLET	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-02	INLET	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-03	INLET	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-04	INLET	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-05	PH	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-06	PH	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-07	INLET	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-08	PH	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-09	INLET	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-10	INLET	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-11	INLET	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-12	INLET	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-13	INLET	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-14	INLET	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-15	INLET	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-16	INLET	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-17	INLET	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-18	PH	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-19	PH	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-20	INLET	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-21	INLET	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-22	INLET	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-23	INLET	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-24	INLET	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-25	INLET	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-26	INLET	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-27	PH	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-28	PH	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-29	PH	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-30	PH	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-31	PH	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
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S-35	INLET	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-36	INLET	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-37	INLET	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-38	INLET	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-39	INLET	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-40	INLET	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-41	INLET	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-42	INLET	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-43	INLET	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-44	INLET	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-45	INLET	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-46	INLET	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-47	INLET	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-48	INLET	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-49	INLET	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-50	PH	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-51	PH	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-52	INLET	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-53	INLET	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-54	INLET	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-55	INLET	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-56	INLET	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-57	INLET	48.00	7.50	4.00	4.00	4.00	4.00							7.00	
S-58	INLET</														



Architects
ENGINEERS
PLANNERS

301 Ponce de Leon Blvd., Suite 300
Coral Gables, Florida 33134
Tel: 305-441-3755
Fax: 305-441-3755
www.crits.com

CITS PROJECT NO: DDP001

REVISIONS

NO.	DATE	DESCRIPTION
1	05/01/01	ISSUED FOR PERMITS
2	05/01/01	ISSUED FOR RECORD & SIGN



DATE OF RECORD & SIGN

OFF-SITE
SUMMARY OF
STRUCTURES

DORAL
GRANDE
AT DORAL

Atlantic & Pacific
COMPANIES
ROGER FRY
& ASSOCIATES
ARCHITECTS, P.A.
ATLANTA, GA 30309

ROGER FRY, ARCHITECT
2791 BIRD AVENUE
COCOA BEACH, FL 32909
TEL: 321-864-4777
FAX: 321-864-4775
rfr@rogerfray.com

DATE: 05/01
SHEET NUMBER: C-16

SUMMARY OF DRAINAGE STRUCTURES

Structure No.	Structure Type	Interior Dam (inch) Elev (ft)	Rim Elev (ft)	INVERTS (ft)				Pollution Retardant Baffle				Bottom (Sump) Elev (ft)	Comments
				N	S	E	W	N	S	E	W		
S-100	INLET	48.00	7.10	3.40								4.18	
S-101	INLET	48.00	7.10	3.40	3.50							0.00	
S-106	INLET	48.00	7.10	3.50								0.00	
S-107	INLET	48.00	7.25	3.50								0.00	

Structure Table

Structure No.	Structure Type	Interior Dam (inch) Elev (ft)	Rim Elev (ft)	Invert Elev (ft)	Bottom Elev (ft)
S-100	INLET	48.00	7.10	3.40	4.18
S-101	INLET	48.00	7.10	3.40	0.00
S-106	INLET	48.00	7.10	3.50	0.00
S-107	INLET	48.00	7.25	3.50	0.00



**Architects
Engineers
Planners**

1911 Ponce de Leon Blvd., Suite 1900
Coral Gables, Florida 33134
305.444.1230
www.ccrts.com
FLORIDA LICENSE NO. 140000000
CRIS PROJECT NO.: 040000

NO.	DATE	REVISIONS
1	02/07/11	ISSUE FOR PERMITS
2	02/07/11	ISSUE FOR PERMITS
3	02/07/11	ISSUE FOR PERMITS
4	02/07/11	ISSUE FOR PERMITS
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18	02/07/11	ISSUE FOR PERMITS
19	02/07/11	ISSUE FOR PERMITS
20	02/07/11	ISSUE FOR PERMITS



DANIEL GRANDE, P.E.
REGISTERED PROFESSIONAL ENGINEER
STATE OF FLORIDA

**SURFACE WATER
POLLUTION
PREVENTION
DETAILS**

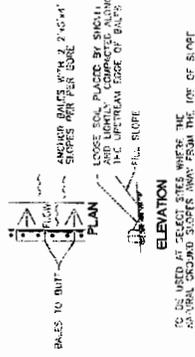
**DORAL
GRANDE
AT DORAL**

**Atlantic & Pacific
COMPANIES**

ROGER FRY
& ASSOCIATES
ARCHITECTS, P.A.

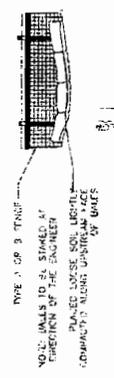
ROGER FRY, ARCHITECT
ALL PERMITS
2700 LEE ROAD, SUITE 100
COCONUT GROVE, FL 33133
TEL: 305.444.0782
FAX: 305.444.0785
ry@rogerfry.com

DATE: 9/8/11 SHEET NUMBER: C-18

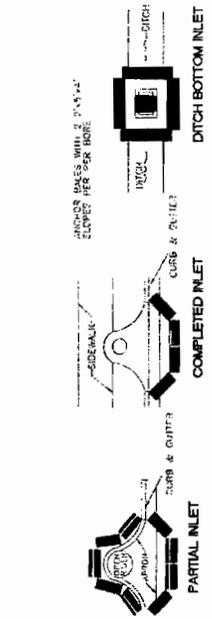


BARRIER FOR FILL SLOPE

INDICATION ADAPTED FROM THE FLORIDA
STATE DEPARTMENT OF TRANSPORTATION
STATE CHANGE MANUAL.
NO NEW BATES ARE TO BE USED FOR THIS PROJECT



TYPE 1 OR 3 TANK
NO. 10 BALES TO BE SPACED AT
EQUIDISTANT INTERVALS
PLACED UNDER SOL LEVEL
COMPACTED ALONG DOWNSTREAM FACE
BY GRADES
AS INDICATED
ANCOR BALES WITH 2' x 2' x 4'
SLOPES PER PER BORE
FILL SLOPE
TO BE USED AT SLOPE SITES WHERE
FROM THE TOP OF SLOPE
BALES BACKED BY FENCE



PROTECTION AROUND INLETS OR SIMILAR STRUCTURES

EROSION AND SEDIMENTATION CONTROLS

1. PROTECT INLETS, UNDERDRAINS, AND TRENCHES WITH A CURB OF SYNTHETIC BALES AS PER FDOT STANDARD INDEX NO. 102.
2. THE CONTRACTOR WILL MAINTAIN STABILIZATION DUE TO THE EXTENTS OF TRACK TRAFFIC AND TRACKING BOTH ON AND OFF OF THE PROJECT AS SHOWN ON PLAN & EMP TO THE CONSTRUCTION SITE WITH GENERAL AS SHOWN ON PLAN.
3. CONFORM TO HAZARDOUS STANDARD SPECIFICATIONS, MP, 71F.
4. COUNTY'S PERMITS REQUIREMENTS.
5. ALL EROSION AND SEDIMENTATION CONTROLS SHALL BE INSPECTED EVERY 7 DAYS OR WITHIN 24 HOURS OF A STORY OF 0.3 INCHES OR MORE IN DEPTH. ALL CONTROLS MUST BE IN GOOD OPERATING ORDER AND MAINTAINED THROUGHOUT CONSTRUCTION. CONTROLS SHALL BE STABILIZED AND THE CONSTRUCTION IS COMPLETE.
6. CURB BALES MUST BE PLACED TO THE CURB SHALL COVER THE CURB WITH A TIRFASAN TO AVOID NECESSARY WATERING UP DUST.
7. DUST CONTROL SHALL BE PROVIDED ON A DAILY BASIS OR MORE FREQUENTLY AS NEEDED.

SEQUENCE OF MAJOR ACTIVITIES

1. SECURE AND COMPLY WITH PERMITS, PERMIT AND ALL OTHER PERMITS.
2. INSTALL TYPE III SILT FENCE AT BOUNDARIES OF PROPOSED CONSTRUCTION WHERE APPLICABLE. INSTALL BALES ON EXISTING STRUCTURES AND CONSTRUCTION ERRATA.
3. COMMENCE SITE CONSTRUCTION ACTIVITIES.
4. AS PROPOSED INLETS ARE CONSTRUCTED, INSTALL SYNTHETIC BALE SILT BARRIER.
5. INSTALL TEMPORARY SEED AND MULCH IN AREAS WHERE CONSTRUCTION TEMPORARILY REMAINS FOR AT LEAST 21 DAYS NO LATER THAN 15 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY.
6. INSTALL PERMANENT SEEDING AND PLANTING IN AREAS WHERE CONSTRUCTION REMAINS FOR AT LEAST 21 DAYS NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY.
7. REMOVE ACCUMULATED SEDIMENT EVERY MORNING BY
8. REMOVE PERMANENT SEEDING AND PLANTING MEASURES AFTER ALL CONSTRUCTION ON SITE HAS BEEN COMPLETED AND DISPOSE OF ACCORDING TO CDDM.



**Architects
Engineers
Planners**
901 Peach Avenue, Suite 300
Coral Gables, Florida 33134
305.442.9200 1.800.440.0777
www.ctsdesign.com

REVISIONS

NO.	DATE	DESCRIPTION
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DANIEL GANDOLF PE DATE
ENGINEER OF RECORD & SEAL

GEOMETRY PLAN

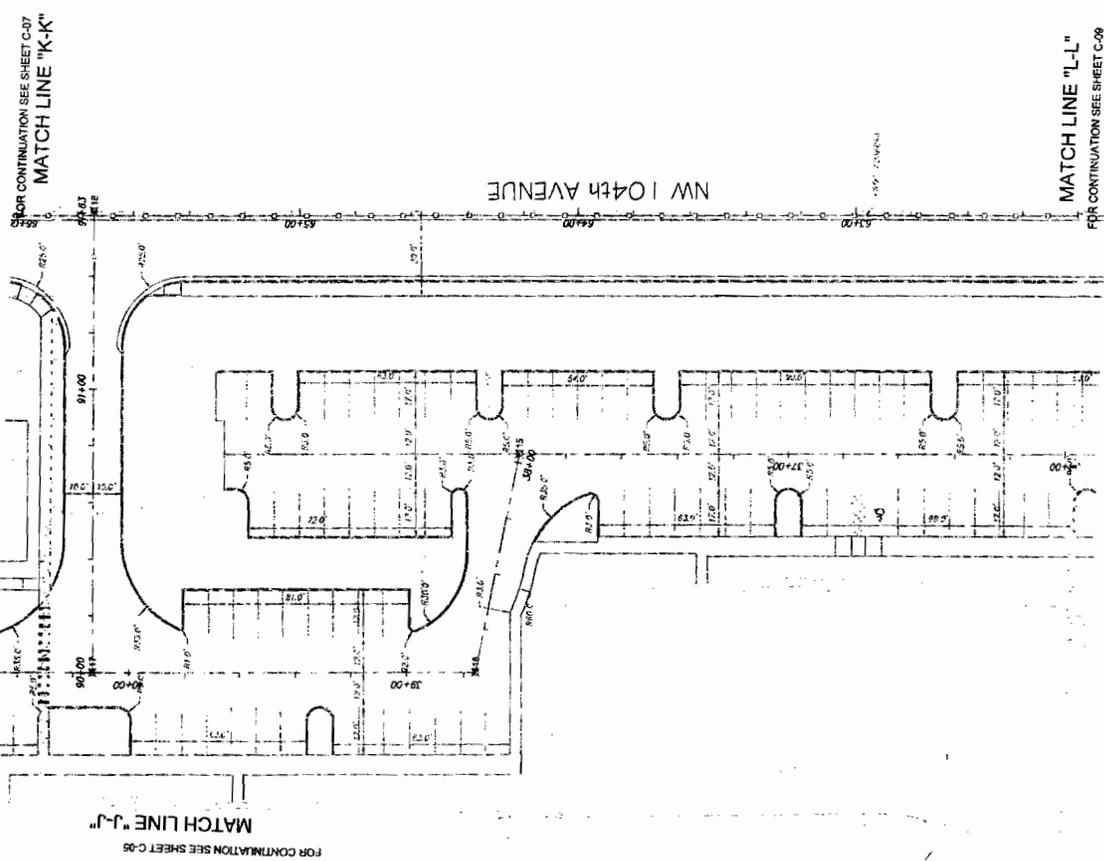
DORAL GRANDE
AT DORAL

Atlantic & Pacific
COMPANIES

ROGER FRY
& ASSOCIATES
ARCHITECTS, P.A.

AL 00000008
ROBERT FRY ARCHITECT
P.A. INC.
2511 PINEWOOD AVENUE
CORAL GABLES, FL 33133
TEL: 305-446-2787
FAX: 305-446-2585
rfry@roffry.com

DATE: 08/11
SHEET NUMBER: G-10



GEOMETRY PLAN

REVISIONS

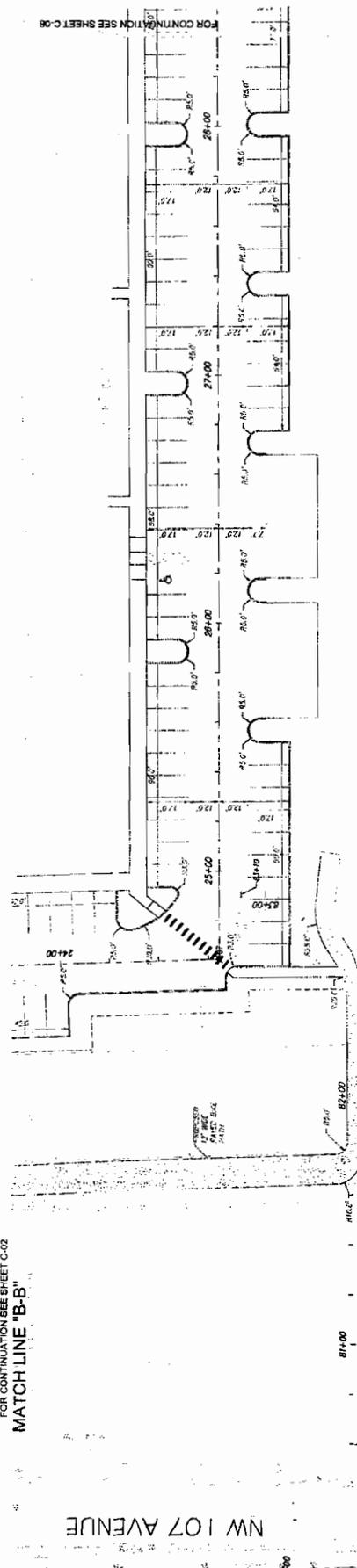
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DORAL GRANDE AT DORAL

Atlantic & Pacific COMPANIES
 ROGER FRY & ASSOCIATES ARCHITECTS, P.A.
 11100 W. BOCA RATON BLVD., SUITE 200
 BOCA RATON, FL 33433
 TEL: 561-995-7877
 FAX: 561-995-7878
 WWW.ATPCOMPANIES.COM

DATE: 9811 SHEET NUMBER: G-11



LEGEND

- 3" - 6" Deep Concrete Slab
- 6" - 8" Deep Concrete Slab
- 8" - 10" Deep Concrete Slab
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GEOMETRY PLAN



CRIS
CORZO
CASTELA
CARBALLO
THOMPSON
SALMAN

Architects
Engineers
Planners

900 Ponce de Leon Blvd, Suite 800
 Coral Gables, FL 33134
 Phone: 305-441-2100
 Fax: 305-441-2127
 Website: www.cris.com

REVISIONS

NO.	DATE	DESCRIPTION
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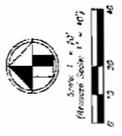
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 PROJECT NO.: 11000011

DRAINAGE & GRADING PLAN

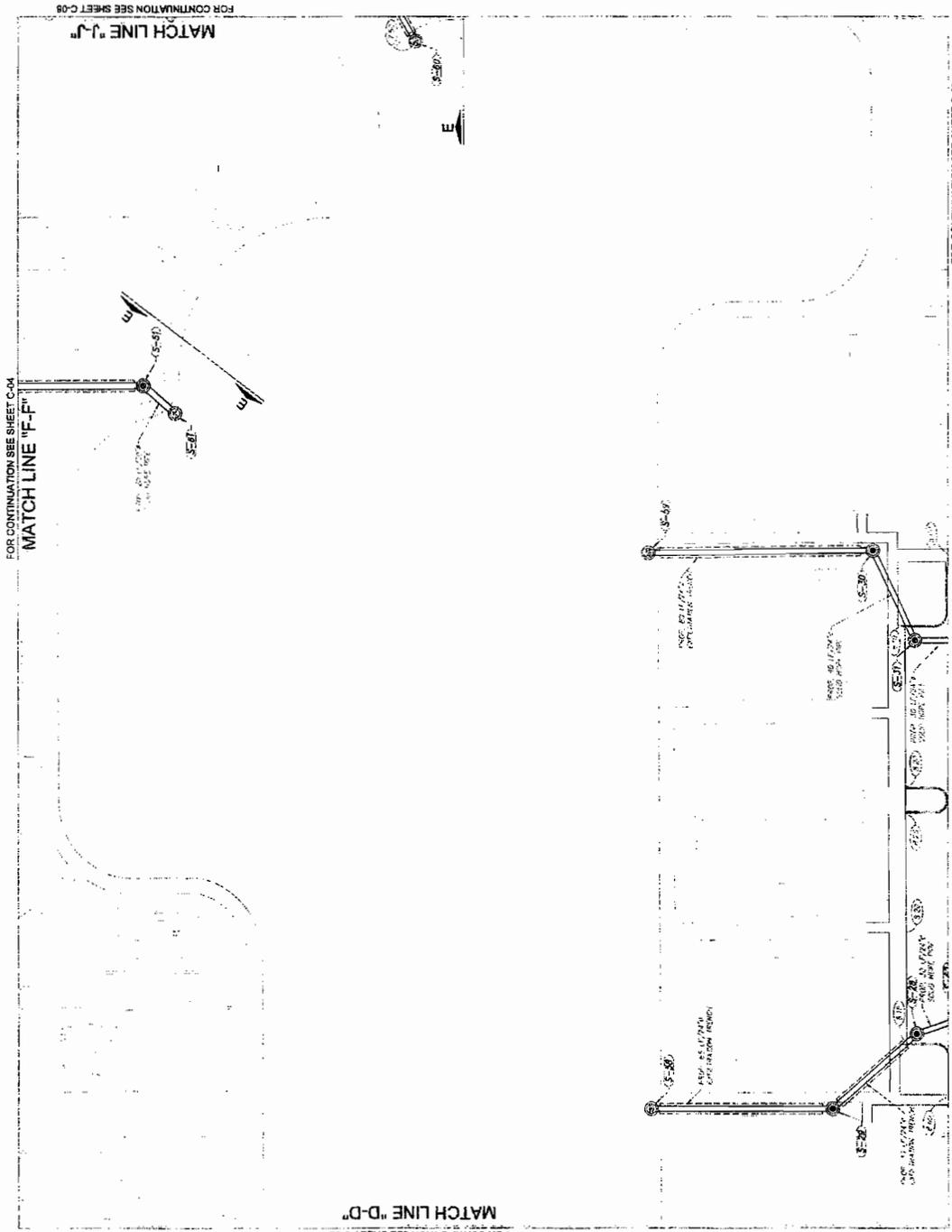
DORAL GRANDE
 AT DORAL

Atlantic & Pacific
 COMPANIES
 ROGER FRY
 & ASSOCIATES
 ARCHITECTS, P.A.
 ROGER FRY, ARCHITECT
 2701 BRID AVENUE
 COCONUT GROVE, FL 33133
 PHONE: 305-441-5755
 FAX: 305-441-5755
 rfy@regafly.com

DATE: 08/11/11
 SHEET NUMBER: C-05



- LEGEND**
- Proposed Property Line
 - Proposed Right of Way Line
 - Proposed Drive
 - Proposed 7' Buffer
 - Proposed Edge of Pavement
 - Proposed Storm Drainage Pipe
 - Proposed Storm Drain
 - Proposed Sewer Line
 - Proposed Catch Basin
 - Proposed Manhole
 - Proposed Storm Water Inlet
 - Proposed Storm Water Outlet
 - Proposed Storm Water Storage
 - Proposed Storm Water Treatment
 - Proposed Storm Water Detention
 - Proposed Storm Water Retention
 - Proposed Storm Water Diversion
 - Proposed Storm Water Collection
 - Proposed Storm Water Conveyance
 - Proposed Storm Water Discharge
 - Proposed Storm Water Treatment
 - Proposed Storm Water Detention
 - Proposed Storm Water Retention
 - Proposed Storm Water Diversion
 - Proposed Storm Water Collection
 - Proposed Storm Water Discharge



DRAINAGE & GRADING PLAN

**COVENANT RUNNING WITH THE LAND IN FAVOR
OF MIAMI-DADE COUNTY**

The undersigned, Doral Grande Residences, Ltd being the present owner(s) of the following real property (hereinafter referred to as the "Property") lying, being and situated in Miami-Dade County, Florida, to wit:

See Exhibit A1, A-2

pursuant to Section 24-48.2(I)(B)(2)(b) of the Code of Miami-Dade County, Florida hereby proffers this executed Restrictive Covenant Running With The Land in Favor of Miami-Dade County, Florida as part of Miami-Dade County Department of Permitting, Environment and Regulatory Affairs Class IV Permit Application Number FW 11-001

1. The owner, its heirs, successors, assigns and grantees, covenants to the County to comply with all conditions set forth in the Class IV Wetland Permit No. FW 11-001, attached hereto as Exhibit B and incorporated herein by reference.
2. The owner, its heirs, successors, assigns and grantees, covenants to Miami-Dade County that neither native trees nor native understory shall be removed from the Property without the prior written consent of the County.
3. The owner, its heirs, successors, assigns and grantees, shall notify the County in writing not later than thirty (30) days after any conveyance, sale grant or transfer of the Property or any portion thereof, to any heirs, successors, assigns or grantees.
4. The owner, its heirs, successors, assigns and grantees, covenants to Miami-Dade County to prohibit and prevent public access to the Property except where otherwise approved by the County . In the event that the Property is being degraded (i.e., the area is being destroyed or damaged, plants removed or trampled upon or trash and debris are accumulating in the area), then Miami-Dade County may require the owner install protective barriers around area within the Property, which has been degraded.
5. This Covenant is to run with the land and shall be binding on all parties and all persons claiming under it for a period of thirty (30) years after the date this Covenant is recorded, after which time it shall be extended automatically for successive periods of ten (10) years each, unless the Covenant is modified or released by Miami-Dade County.

6. The undersigned agree(s) and covenant(s) that this Restrictive Covenant and the provisions contained herein may be enforced against any person permitting, allowing, letting, causing or suffering any violation of the terms of this Restrictive Covenant by the Department of Permitting, Environment and Regulatory Affairs, or its successor, by temporary, permanent, prohibitory, and mandatory injunctive relief as well as otherwise provided by law or ordinance and also may include an action for and to recover civil penalties, damages, costs and expenses, and attorney's fees in favor of Miami-Dade County against said person(s) as authorized by law or ordinance. All of the remedies provided herein shall be deemed to be independent and cumulative and shall be deemed to be supplemental to any remedies provided by law or ordinance.

IN WITNESS WHEREOF, the undersigned have caused this Covenant to be executed this 17th day of FEBRUARY, 2012.

Witnesses:

sign

[Signature]

print

ALEX LASTMA

sign

[Signature]

print

Lina H. Pachón

Property Owner

sign

[Signature]

print

Mr. Howard Cohen

Title

President, Doral Grande Residences, Ltd

Address

1025 Kane Concourse #215

Bay Harbor Islands, FL 33154

STATE OF FLORIDA, COUNTY OF MIAMI-DADE

The foregoing instrument was acknowledged before me this 17 day of Feb, 2012 by Howard D. Cohen as President, who is personally known to me or who has produced _____ as identification and who did take an oath.

NOTARY PUBLIC

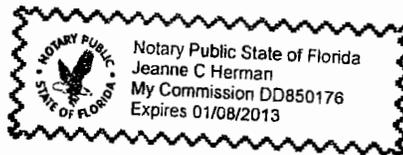
sign

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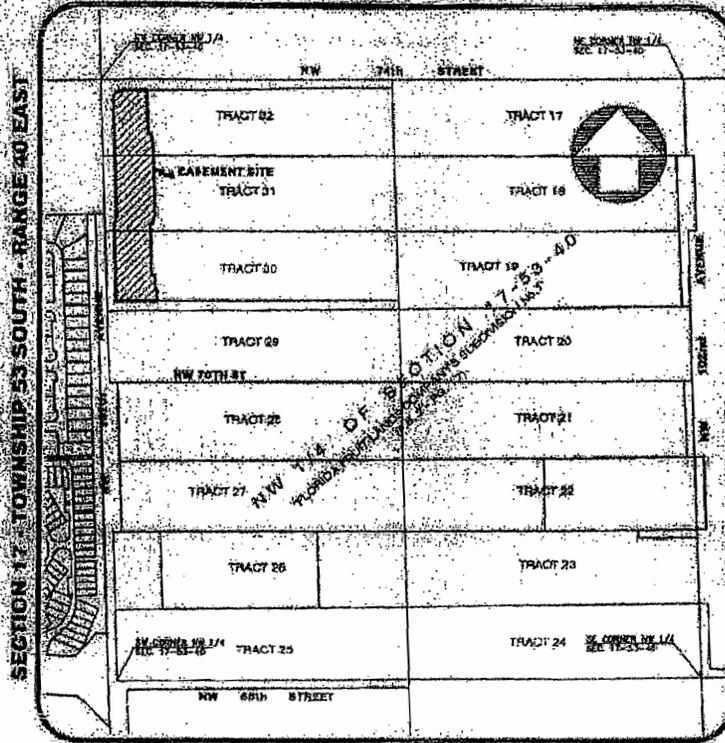
print

Jeanne C. Herman
State of Florida at Large (Seal)
My Commission Expires:

1/8/13



SKETCH TO ACCOMPANY LEGAL DESCRIPTION
CONSERVATION EASEMENT FOR NATURAL WETLAND PRESERVE
"DORAL GRANDE AT DORAL"
EXHIBIT "A1"



LEGAL DESCRIPTION:
CONSERVATION EASEMENT

A portion Tracts 30, 31 and 32 of "FLORIDA FRUIT LANDS COMPANY'S SUBDIVISION No. 1" in the Northwest 1/4 of Section 17, Township 53 South, Range 40 East, City of Doral, Miami-Dade County, Florida, being more particularly described as follows:

COMMENCE at the Northwest corner of said Section 17; thence N89°39'25" E along the North Line of the Northwest 1/4 of said Section 17 for 210.05 feet; thence S01°43'10" E for 72.02 feet to a point on the South Right-of-Way Line of NW 74th Street as shown on certain Right-of-Way Deed to Miami-Dade County as recorded in Official Records Book 26222, at Page 3256 of the Public Records of Miami-Dade County, Florida, said point also being the POINT OF BEGINNING of the easement hereinafter described; thence continue S01°43'10" E for 182.00 feet to a Point of Curvature of a circular curve to the left, concave to the Northeast; thence Southeastery and Northeastery along the arc of said curve, having for its elements a radius of 6.00 feet and a central angle of 90°00'00" for an arc distance of 7.85 feet to the Point of Tangency; thence N88°16'50" E for 8.30 feet; thence S01°43'10" E for 4.85 feet to a Point of Curvature of a circular curve to the left, concave to the Northeast; thence Southeastery along the arc of said curve, having for its elements a radius of 4.00 feet and a central angle of 28°57'18" for an arc distance of 22.74 feet to a Point of Reverse Curvature of a circular curve concave to the Southwest; thence Southeastery along the arc of said curve, having for its elements a radius of 6.00 feet and a central angle of 28°57'18" for an arc distance of 10.89 feet to the Point of Tangency; thence S01°43'10" E for 504.44 feet to a Point of Curvature of a circular curve to the right, concave to the Northwest; thence Southwestery along the arc of said curve, having for its elements a radius of 35.00 feet and a central angle of 28°22'47" for an arc distance of 17.24 feet to a Point of Reverse Curvature of a circular curve concave to the Southeast; thence Southerly along the arc of said curve, having for its elements a radius of 14.00 feet and a central angle of 28°22'47" for an arc distance of 21.85 feet to the Point of Tangency; thence S01°43'10" E for 3.07 feet; thence S88°16'50" W for 15.29 feet; thence S01°43'10" E for 229.52 feet; thence N88°16'50" E for 14.30 feet; thence S01°43'10" E for 14.00 feet; thence N88°16'50" E for 8.00 feet; thence S01°43'10" E for 48.20 feet to a point on the South Line of Tract 30 of Florida Fruit Lands Company's Subdivision No. 1; thence S88°39'41" W along said South Line of said Tract 30 of Florida Fruit Lands Company's Subdivision No. 1 for 181.85 feet to a point on the East Right-of-Way Line of NW 107th Avenue as shown on the mentioned Right-of-Way Deed to Miami-Dade County as recorded in Official Records Book 26222, at Page 3268 of the Public Records of Miami-Dade County, Florida, (the following three (3) courses being along the East Right-of-Way Line of NW 107th Avenue as shown on said Right-of-Way Deed to Miami-Dade County); thence N01°43'10" W for 336.14 feet; thence N01°13' E for 51.20 feet; thence N01°43'10" W for 184.58 feet to a Point of Curvature of a circular curve to the right, concave to the Southeast; thence Northeastery along the arc of said curve, having for its elements a radius of 10.00 feet and a central angle of 91°22'35" for an arc distance of 63.79 feet to a point on the South Right-of-Way Line of NW 74th Street as shown on said Right-of-Way Deed to Miami-Dade County recorded in Official Records Book 26222, at Page 3256 of the Public Records of Miami-Dade County, Florida, said point also being a Point of Tangency; thence N89°39'25" E along said South Right-of-Way Line of NW 74th Street for 106.57 feet to the POINT OF BEGINNING of said Conservation Easement.

Containing 149,256 Square Feet or 3.43 Acres, more or less, by calculations.

NOTICE: Not full and complete without all pages. Total of Three (3) Pages

No. 06360
 Page 2 of 3

**SKETCH TO ACCOMPANY LEGAL DESCRIPTION
CONSERVATION EASEMENT FOR NATURAL WETLAND PRESERVE
"DORAL GRANDE AT DORAL"
EXHIBIT "A1"**

SOURCES OF DATA:

The Legal Description of the Subject Property was generated from the following sources of data:

- Special Warranty Deed dated January 16, 2006, recorded in Official Records Book 24163, Pages 2495, Miami-Dade County Records;
- Right-of-Way Deed dated April 04, 2007, recorded in Official Records Book 26222, Pages 3258-3261, Miami-Dade County Records;
- Plat of "FLORIDA FRUIT LANDS SUBDIVISION No. 1", according to the Plat thereof, recorded in Plat Book 2, at Page 17, of the Public Records of Miami-Dade County, Florida;
- Plat of "DORAL ISLES ST. CROSS FIRST ADDITION", according to the Plat thereof, recorded in Plat Book 155, at Page 16 of the Public Records of Miami-Dade County, Florida;
- Township Maps prepared by Miami-Dade County, Public Works Department, Engineering Division Services for Section 17, Township 53 South, Range 40 East, Miami-Dade County, Florida;
- Florida Department of Environmental Protection Certified Corner Record No. 082960 for the SE Corner of Section 18, Township 53 South, Range 40 East, Miami-Dade County, Florida, said Corner described as iron hammer with yellow cap (illegible ID), located at NW 74th Street and NW 107th Avenue, Miami-Dade County, Florida.

In addition, the following sources of data were used to the extent required to complete this document in a defensible matter, that is to say:

- A copy of a Map of Boundary Survey prepared by Rodonne Corp. with a physical address of 1985 NW 88th Court, Suite 202, Doral, Florida, 33172, last updated on May 24, 2011;
- A Sketch of the Conservation Easement Area prepared by Macken Environmental, Inc. with a physical address of 9999 NE 2nd Avenue, Suite 313, Miami Shores, Florida 33138, last dated August 15, 2011.

Bearings as shown hereon are based upon the North line of the NE 1/4 of Section 17, Township 53 South, Range 40 East with an assumed bearing of N89°39'25"E.

EASEMENTS AND ENCUMBRANCES:

No information was provided as to the existence of any easements other than that appears on the underlying Plat of record. Please refer to the Limitations item with respect to possible restrictions of record and utility services.

LIMITATIONS:

Since no other information were furnished other than that is cited in the Sources of Data, the Client is hereby advised that there may be legal restrictions on the subject property that are not shown on the Sketch or contained within this Report that may be found in the Public Records of Miami-Dade County, Florida or any other public and private entities in their jurisdictions may apply.

This document does not represent a field boundary survey of the described property, or any part or parcel thereof.

INTENDED USE / EXPRESS PURPOSES:

It is understood by the Surveyor that the intended use of this document is to create an easement for the preservation of a natural wetland area.

SURVEYOR'S CERTIFICATE:

I hereby certify that this "Sketch to Accompany Legal Description" was prepared under my direction and is true and correct to the best of my knowledge and belief and further that said Sketch meets the intent of the "Minimum Technical Standards for Land Surveying in the State of Florida" pursuant to Rule 58-17.051 through 58-17.052 of the Florida Administrative Code and its Implementing Rule, Chapter 472.027 of the Florida Statutes.

By:  Date: 

Ernest A. Sauer, P.E.
Professional Surveyor and Mapper, PSM No. 8918
Florida Chapter
MACKEN ENVIRONMENTAL, INC.
Land Surveyors & Mappers
Certified of Accreditation 11/7/07
1045 NW 88th Court, Suite 202
Doral, Florida 33172
Tel: 305-419-9999
Fax: 305-419-9999

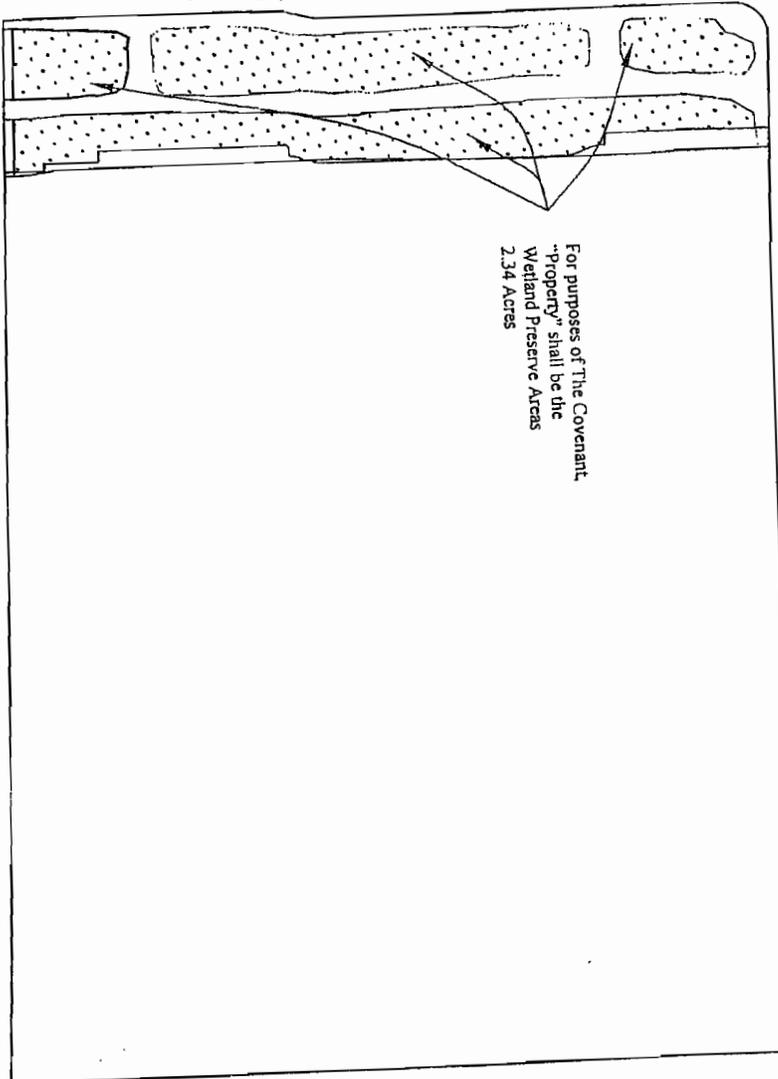
NOTICE: Not valid without the signatures and original raised seal of a Florida Licensed Surveyor and Mapper. Each Sheet as incorporated herein shall not be considered full, valid and complete unless attached to the others. This Notice is required by Rule 58-17-05 of the Florida Administrative Code.

NOTICE: Not full and complete without all pages. Total of Three (3) Pages

No. 05260
Page 3 of 3

NW 74 STREET

NW 107 AVENUE



For purposes of The Covenant,
 "Property" shall be the
 Wetland Preserve Areas
 2.34 Acres

Doral Grande Residences, Ltd

35-3017-001-0300
 35-3017-001-0310
 35-3017-001-0320



Wet Prairie to Remain and to
 be Encumbered by the PERA
 Wetland Covenant.
 2.34 Acres

MackEn Environmental, Inc.

9999 NE 2nd Avenue, Suite 313
 Miami Shores, Florida 33138
 PH: (305) 520-9668

PROJECT:	Doral Grande (FW11-001)			Detail A-2	
SHEET NAME:	Wetland Preserve Areas - Exhibit A				
PREPARED FOR:	Doral Grande Residences, Ltd.				
LOCATION:	NW 74 Street / NW 107 Avenue Doral, FL				
PROJECT No:	2010-12	Date:	1-15-12	Scale:	1" = 200'

Attachment B

Applicant's/Agent's Letter
Engineer's Certification Letter

Permit Applicant / Authorized Agent Statement

October 13th, 2011

Miami-Dade County DERM
Wetland Resources Section
701 N.W. 1st Street
6th Floor
Miami, Florida 33130

RE: Class IV Standard Form Application Number FW 11-001

Ladies and Gentlemen:

By the attached Class IV Standard Form permit application with supporting documents, I, Kenneth MacFarlane, am the permit applicant applicant's authorized agent and hereby request permission to perform the following: Fill 23.04 acre of freshwater wetlands in association with a residential development known as Doral Grande. I understand that a Miami-Dade County Class IV Standard Form Permit is required to perform this work.

If approval is granted for the proposed work by the Board of County Commissioners, complete and detailed plans and detailed plans and calculations of the proposed work shall be prepared by an engineer registered/licensed in the State of Florida in accordance with the minimum requirements of Chapter 24 of the Code of Miami-Dade County, Florida. Said plans and calculations shall be subject to the review and approval of the Department of Environmental Resources Management. The permit applicant will secure the services of an engineer registered/licensed in the State of Florida to conduct inspections throughout the construction period, and said engineer shall prepare all required drawings of record.

Respectfully Submitted,



Kenneth MacFarlane
Authorized Agent

RECEIVED

OCT 27 2011

ENGINEER LETTER OF CERTIFICATION DERM Wetlands Resources Section
Natural Resources Regulation & Restoration
Division (NRRRD)



October 27th, 2011

Miami-Dade County DERM
Wetland Resources Section
701 NW 1st Court, Suite 600
Miami, Florida 33136

Engineers
Architects
Planners

Re: Class IV Standard Form Permit Application No. FW # 11-001

Ladies and Gentlemen:

EB0005022
AAC002142

This letter will certify that I am an engineer registered/licensed in the State of Florida, qualified by education and experience in the area of construction, and that to the best of my knowledge and belief, the proposed work does not violate any laws of the State of Florida or any provision of the Code of Miami-Dade County which may be applicable, that diligence and recognized standard practices of the engineering profession have been exercised in the engineer's design process of the proposed work, and in my opinion, based upon my knowledge and belief, the following will not occur:

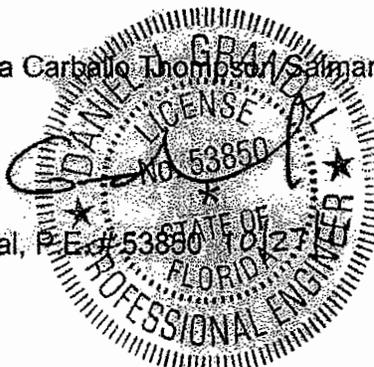
- a. Harmful obstruction or undesirable alteration of the natural flow of the water within the area of the proposed work.
- b. Harmful or increased erosion, shoaling of channels or stagnant areas of water. (Not applicable to class IV permits).
- c. Material injury to adjacent property.
- d. Adverse environmental impacts from changes in water quality or quantity. (Applicable to class IV permits only).

Further, I have been retained by the applicant to provide inspections throughout the construction prior and to prepare a set of reproducible record prints of drawings showing changes made during the construction process based upon the marked-up prints, drawings, and other data furnished by the contractor to me.

Sincerely,

Corzo Castella Carballo Thompson Salzman, P.A.


 Daniel Grandal, P.E. #53850



Attachment C

Zoning Approval Letter
DERM Water Control's Cut & Fill Approval
Mitigation Acceptance Letter



RECEIVED

OCT 27 2011

DERM Wetlands Resources Section
Natural Resources Regulation & Restoration
Division (NRRRD)

October 12th, 2011

Planning and Zoning
Department

Miami-Dade County DERM
Wetland Resource Section
701 NW 1st Court, Suite 400
Miami, Florida 33136-3912

RE: Doral Grande Residences site plan prepared by Roger Fry & Associates (AA26000598) Signed/Sealed Plans dated 9/28/2011.

Ladies and Gentlemen:

The proposed usage of the property upon which the proposed work would occur does not violate any zoning law applicable to the area of the proposed work.

Sincerely,

Nathan Kogon, AICP
Planning and Zoning Director

Memorandum



Date: 12-2-2011

To: Julia Millet, Biologist II
Wetlands Resources Section

From: Amancio Villamil, P.E., Engineer II *A.V.*
Water Control Section

Subject: Project Name: Doral Grande Residences
Location: Approx. at NW 74th Street and NW 107th Avenue
Folios 35-3017-001-0300/0310/0320
Section 17, Township 53, Range 40
Wetlands Section File FW 11-001

PERA's Water Control Section has received your section's request to determine compliance with the required water quality, flood protection and relevant fill encroachment criteria for the above-referenced project.

Class II Permit No. 20110035 is currently in process for this project. According to the information submitted in this application, the proposed water management system is able to provide the satisfactory water quality pre-treatment and the full on-site retention corresponding to the 5 years storm event.

The subject property is located within the Basin B area. Cut and Fill No. 566 (Doral Grande) is in effect for this project.

An Environmental Resources Permit Application was submitted by the consultant to the SFWMD back on 2006 (Application No. 061120-19).

If you have any further question and/or clarification, please let me know.

RECEIVED

DEC - 5 2011

DERM Wetlands Resources Section
Natural Resources Regulation & Restoration
Division (NRRRD)



EVERGLADES
MITIGATION BANK

November 15, 2011

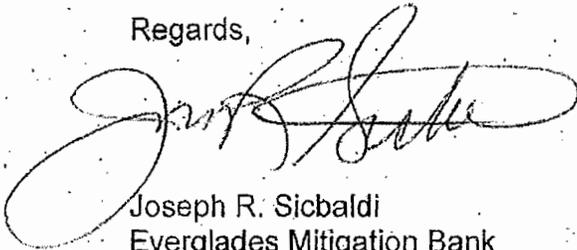
Howard D. Cohen
Doral Grande Residences, LTD
1025 Kane Concourse, Suite 215
Bay Harbor Island, FL 33154

**Re: Everglades Mitigation Bank Credit Reservation:
U. S. Army Corps of Engineers Permit Number SAJ-2007-00153 (IP-MLC)
South Florida Water Management District Application Number 061120-19
Miami-Dade County Department of Environmental Resources Permit
Number FW11-001**

Please be advised that the Everglades Mitigation Bank (the "EMB") has reserved 8.50 Freshwater Herbaceous mitigation credits necessary to offset the unavoidable wetland impact for the above referenced project. Phase II of the EMB has a signed Mitigation Banking Instrument acknowledged by both FDEP and USACE and sufficient credits are currently available on the EMB ledger to offset the proposed impacts. **The EMB acknowledges receiving a deposit towards the purchase of the above referenced credits.**

Please contact me at 561-694-6388 for any additional information or questions regarding this matter.

Regards,



Joseph R. Sicbaldi
Everglades Mitigation Bank

Attachment D

Adjacent Property Owners List

MIAMI-DADE COUNTY
WATER AND SEWER
3071 SW 38 AVE
MIAMI, FL 33146-1520

FDG BEACON COMMONS, LLC
10151 DEERWOOD PARK BLVD #330-10
JACKSONVILLE, FL 32256

RENEGADE AT DORAL, LLC
305 ALCAZAR AVENUE #3
CORAL GABLES, FL 33134

DORAL PALMS DEVELOPMENT, LLC
9840 SW 77 AVE STE 301
MIAMI, FL 33156-2749

DORAL 10, LLC
3441 ALHAMBRA CIR
CORAL GABLES, FL 33134-6211

74 ST DORAL ASSOC LLC
1765 MERRIMAN RD
AKRON, OH 44313

FRAGADOR LLC
1320 S DIXIE HIGHWAY #214
CORAL GABLES FL 33146-2951

DORAL ISLES COMMUNITY ASSN, INC
C/O CASTLE MANAGEMENT, INC
P O BOX 189013
PLANTATION FL 33318

RECEIVED

APR 07 2011

MIAMI-DADE COUNTY Section
Natural Resources, Environment & Restoration
Landscape Unit

Attachment E
Project Report

PROJECT REPORT

CLASS IV PERMIT APPLICATION NO. CLIV2011-0001

Class IV Permit Application by Doral Grande Residences, LTD Requesting Authorization to Impact 23.04 Acres of Wetlands for a Residential Housing Development and Acceptance of a Proffered Restrictive Covenant for 2.34 Acres of On-Site Wetlands.

February 3, 2012

Staff's recommendation of approval for the above-referenced project is based upon the applicable evaluation factors set forth in Section 24-48.3, Code of Miami-Dade County. The following is a summary evaluation of the proposed project with respect to each applicable evaluation factor:

1. Potential Adverse Environmental Impact – The proposed project will result in an adverse environmental impact to 23.04 acres of wetlands. However, the mitigation, as set forth in Number 14 below, will compensate for the loss of wetland values associated with the proposed project.
2. Potential Cumulative Adverse Environmental Impact – The proposed project will result in minimal cumulative adverse environmental impacts. However, the mitigation, as set forth in Number 14 below, will compensate for the loss of wetland values associated with the proposed project within the subject property.
3. Hydrology - The proposed project, as designed, is not reasonably expected to adversely affect surface water drainage or retention of storm water.
4. Water Quality – The proposed project, as designed, is not reasonably expected to adversely affect applicable Miami-Dade County water quality standards.
5. Wellfields – The proposed project is not located within at Wellfield Protection Area.
6. Water Supply – The proposed project is not reasonably expected to adversely affect the water supply.
7. Aquifer Recharge – The proposed project is not reasonably expected to adversely affect aquifer recharge.
8. Aesthetics - The proposed project is designed to be aesthetically compatible with the surrounding area.
9. Navigation – Not applicable.
10. Public Health - The proposed project is not reasonably expected to adversely affect the public health.
11. Historic Values – The proposed project is not reasonably expected to adversely affect historic values.
12. Archaeological Values – There is no known archaeological site located within the boundaries of this application.
13. Air Quality – The proposed project is not reasonably expected to adversely affect air quality.
14. Marine and Wildlife Habitats - The proposed project seeks approval for impacts from the proposed dredging and filling of 23.04 acres of wetlands. The wetlands that will be impacted within the project site are historically characterized as herbaceous prairie. The area currently contains both areas of native wet prairie and areas with high densities of *Melaleuca*, an invasive exotic plant species. The mitigation proposed for this project, purchase of credits from the Everglades Mitigation Bank (EMB) and preservation and enhancement of 2.34 acres of freshwater wetlands within the property boundary is favorable for protecting wildlife habitats. The wetland restoration and enhancement conducted within this area will include preservation and maintenance of the wetlands through treatment and removal of invasive exotic vegetation.
15. Wetland Soils Suitable for Habitat - The proposed project will result in the permanent removal of wetland soils. However, the mitigation, as set forth in Number 14, will result in the enhancement of existing wetland habitat and soils by removing exotics, thereby promoting re-vegetation with native wetland plant species and soil-vegetative interactions.

16. Floral Values - The proposed project will impact herbaceous wetlands. However, the mitigation, as set forth in Number 14 above, will provide for the restoration of native wetland vegetation appropriate for promoting the natural ecosystem.
17. Faunal Values - The proposed project will disturb native wildlife habitat. However, the mitigation, as set forth in Number 14 above, will provide for high quality habitat for native fauna.
18. Rare, Threatened and/or Endangered Species – The proposed project is not reasonably expected to result in adverse impacts to rare, threatened or endangered species, or species of special concern.
19. Natural Flood Damage Protection - The water management features of the project have been reviewed by DERM's Water Control Section and are in compliance with DERM's criteria for development in this area. (See attachment C).
20. Wetland Values – The proposed project seeks approval to impact 23.04 acres of wetlands. The project site is an herbaceous prairie supporting native plant species including sawgrass (*Cladium jamaicensis*) and spikerush (*Eleocharis* spp.). However, it has been hydrologically altered due to residential developments to the west and south, a rock mine lake to the north, and landfill to the east. Lower water levels have allowed the colonization of invasive exotics on the site such as *Melaleuca*. The mitigation set forth in Number 14 above will compensate for the loss of wetland values associated with the proposed project.
21. Land Use Classification –The Planning and Zoning Department for the City of Doral has determined that the proposed usage does not violate any zoning law applicable to the area of the proposed work. (See Attachment C)
22. Recreation – The proposed project does not conflict with the recreation elements of the Miami-Dade County Comprehensive Development Master Plan and/or the Biscayne Bay Management Plan.
23. Other Environmental Values Affecting the Public Interest – There are no other known environmental factors that will affect the public interest.
24. Standard Construction Procedures and Practices and Design and Performance Standards – In the opinion of PERA, the proposed project complies with the standard construction procedures and practices and design and performance standards of the applicable portions of the following:
 - a. Miami-Dade County Public Works Manual
 - b. Chapter 33B of the Code of Miami-Dade County
25. Comprehensive Environmental Impact Statement (CEIS) - In the opinion of the Director, the proposed mitigation plan will compensate for the loss of wetland values associated with the proposed project. As such, a CEIS was not required by DERM to evaluate the proposed project.
26. Conformance with All Applicable Federal and State Laws and Regulations – In the opinion of PERA, the proposed project is in conformance with the following applicable State, Federal and local laws and regulations:
 - a. United States Clean Water Act (US Army Corps of Engineers and USEPA)
 - b. Federal Endangered Species Act (US Fish & Wildlife Service)
 - c. Florida Department of Environmental Protection Regulations
 - d. Chapter 24 of the Code of Miami-Dade County
 - e. Rules of the South Florida Water Management District
 - f. Basis of Review for Surface Water Management Permit applications within the South Florida Water Management District

27. Conformance with the Miami-Dade County Comprehensive Development Master Plan (CDMP) – In the opinion of PERA, the proposed land use is consistent with the CDMP. Specifically, the proposed project complies with the following CDMP Elements and Policies:

LAND USE ELEMENT:

Objective 1 – Growth management - The proposed project is generally consistent with the goals, objectives and policies contained in the Conservation, Aquifer Recharge and Drainage Element.

Objective 3/Policies 3B, 3C - Protection of natural resources and systems - The proposed project is consistent with all applicable environmental regulations, as well as all other elements of the CDMP. The proposed project is compatible with surrounding land uses and does not involve development in the Big Cypress area of Critical State concern or the East Everglades.

CONSERVATION, AQUIFER RECHARGE AND DRAINAGE ELEMENT:

Objective 2/Policy 2A – Protection of ground and surface water resources – The proposed project adheres to all relevant storm water management criteria.

Objective 3/Policies 3A, 3B, 3D - Wellfield protection areas - The proposed project is not located within a Wellfield protection area.

Objective 3/Policy 3E - Limestone mining within the area bounded by the Florida Turnpike, the Miami-Dade/Broward Levee, NW 12 Street and Okeechobee Road - The proposed project is not located within the above referenced area.

Objective 4/Policies 4A, 4B, 4C - Water storage, aquifer recharge potential and maintenance of natural surface water drainage - The proposed project is not reasonably expected to adversely affect water storage, aquifer recharge potential, or natural surface water drainage.

Objective 5/Policies 5A, 5B, 5F - Flood protection and cut and fill criteria - The water management features of the proposed project have been reviewed by PERA's Water Control Section and are in compliance with PERA's criteria for development in this area.

Objective 6/Policy 6A - Areas of highest suitability for mineral extraction - The proposed project is not located in an area proposed or suitable for mineral extraction.

Objective 6/Policy 6B - Guidelines for rock quarries for the re-establishment of native flora and fauna – Not applicable.

Objective 6/Policy 6D - Suitable fill material for the support of development – The proposed project will not cause premature urban encroachment. The proposed project must use suitable fill material in order to meet the requirements of Chapter 24 of the Code of Miami-Dade County.

Objective 7/Policy 7A - No net loss of high quality, relatively unstressed wetlands – The wetlands impacted by this project are not considered high quality. The loss of wetland values associated with the proposed project will be mitigated as set forth in Number 14 above.

Objective 9/Policies 9A, 9B, 9C - Protection of habitat critical to Federal or State-designated threatened or endangered species - The proposed project is not reasonably expected to affect any rare, threatened, or endangered species.

28. Conformance with Chapter 33B, Code of Miami-Dade County (East Everglades Zoning Overlay Ordinance) – The proposed project is not within the East Everglades Zoning overlay area.

29. Conformance with Miami-Dade County Ordinance 81-19 (Biscayne Bay Management Plan) – The proposed project is not within the area of the Biscayne Bay Management Plan.
30. Conformance with Manatee Protection Plan – Not applicable.
31. Consistency with Miami-Dade County Criteria for Lake Excavation – Not applicable.
32. Municipality Recommendation - The City of Doral Planning and Zoning Department has determined the proposed usage does not violate any zoning law applicable to the area. (See Att. C)
33. Coastal Resources Management Line – Not Applicable.
34. Maximum Protection of a Wetland's Hydrological and Biological Functions Through Adherence to the Following Fill Limitations: -
 - i) Placement of the minimum fill necessary to provide for the land usage alternative which results in the least adverse environmental impact and the least cumulative adverse environmental impact – The proposed project uses the minimum amount of fill necessary to provide for the proposed land usage alternative.
 - ii) Placement of temporary fill pads and fill roads for the purpose of conducting rock mining - Not applicable.

The proposed project was also evaluated for compliance with the minimum required standards contained in Section 24-48.3 (2), (3), and (4) of the Code of Miami-Dade County. The following is a summary of the proposed project's compliance with said standards:

24-48.3 (2) Dredging and/or Filling for Class I Permit – Not applicable.

24-48.3 (3) Docks and Piers for Mooring Purposes - Not applicable.

24-48.3 (4) Clean Fill in Wetlands - The proposed project involves the placement of clean fill material only as defined in Section 24-5 of the Code of Miami-Dade County.

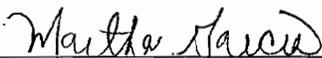
24-48.3 (6) Basin Fill Criteria – The proposed project complies with criteria for the total volume of fill material placed on a project. Specifically, the drainage plans and calculations for the subject project demonstrate the project meets the water quality and water quantity for stormwater. The project is located outside of the Cut and Fill Basins.

SUMMARY

BASED ON THE FOREGOING, IT IS RECOMMENDED THAT A CLASS IV PERMIT BE APPROVED.



Evan Skornick, Wetland Resources Section Manager
Environmental Resources Regulation Division



Martha Garcia, Biologist II