

MEMORANDUM

Agenda Item No. 5(H)

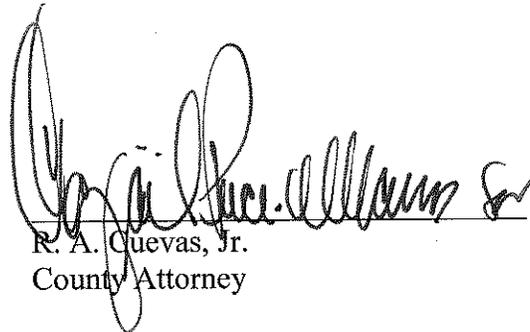
TO: Honorable Chairwoman Rebeca Sosa
and Members, Board of County Commissioners

DATE: September 4, 2013

FROM: R. A. Cuevas, Jr.
County Attorney

SUBJECT: Resolution approving a 113'
High Communications
Monopole/Antenna for
Miami-Dade Fire Rescue
Station No. 37, located at
4200 SW 142 Avenue
Resolution No. R-675-13

The accompanying resolution was prepared by the Regulatory and Economic Resources Department and placed on the agenda at the request of Prime Sponsor Senator Javier D. Souto.



R. A. Cuevas, Jr.
County Attorney

RAC/lmp

Memorandum



Date: September 4, 2013

To: Honorable Chairwoman Rebeca Sosa
and Members, Board of County Commissioners

From: Carlos A. Gimenez
Mayor 

Subject: Governmental Facilities Hearing Application GF 13-02
Communications Monopole/Antenna for Miami-Dade Fire Rescue Station No. 37

Recommendation

It is recommended that the Board of County Commissioners (Board) approve the attached resolution approving a communications monopole/antenna for Miami-Dade Fire Rescue Station No. 37, located at 4200 SW 142 Avenue, in compliance with Section 33-303 of the Code of Miami-Dade County. This item was prepared by the Department of Regulatory and Economic Resources at the request of the Miami-Dade Fire Rescue Department (MDFR) and is recommended for approval.

Scope

Miami-Dade Fire Rescue Station No. 37 is located in Commission District 10 and primarily serves communities in said District.

Fiscal Impact/Funding Source

The estimated cost for this project is \$250,000 with funding from Miami-Dade Fire Rescue Communications Division operating budget, which is funded through the countywide general fund. The monthly maintenance costs are anticipated to be \$1,500 which will also be funded from the Miami-Dade Fire Rescue Communications Division operating budget.

Track Record/Monitor

Fernando Fernandez, Assistant Fire Chief, Greg Rubin, Division Chief and Carlos Heredia, Supervisor, Miami-Dade Fire Rescue will oversee the implementation of the approved communications monopole/antenna.

Background

This item relates to the Governmental Facilities approval process provided in Section 33-303 of the County Code. Specifically, this item requests Board approval of a proposed communications monopole/antenna for Miami-Dade Fire Station No. 37. A public meeting was held by the MDFR Department with neighborhood residents on June 13, 2013. Neighborhood residents did not object to the request.

Governmental Facilities – 113' High Communications Monopole/Antenna

LOCATION: 4200 SW 142 Avenue, unincorporated Miami-Dade County.

FOLIO NUMBER: 30-4922-022-0920

SIZE: Approximately 1.5 acres

ZONING: RU-1, Single-Family Residential (7,500 sq. ft. net).

JUSTIFICATION: This application is being processed as a Governmental Facility to allow MDR to erect a 113' high communications monopole/antenna at Fire Station No. 37, to meet the Federal Communications Commission (FCC) mandated UHF radio narrow-banding project approved by the Board of County Commissioners in September 2012. The project is essential for the safety and well-being of the public, as well as firefighters, and to improve the emergency radio coverage across Miami-Dade County.

PROJECT DESCRIPTION: To meet part of the FCC fire station communication requirements for this area of Miami-Dade County, a 113' high monopole/antenna is proposed in the geometric center of the subject property, next to an existing patio located on the north side of the fire station. The monopole's setbacks from property lines are: 117' from the north property line; 134' from the south property line; 129' from the east property line; and 125' from the west property line. On the southeast corner of the parcel lies the fire station and the parking lot for the facility is on the north, both surrounded by a wide grassed area planted with trees. The FCC Public Notice, DA 11-1189 (released July 13, 2011), and Title 47 of the Code of Federal Regulations 1.925, requires the County to narrowband its radio stations operations by December 31, 2013. Miami-Dade County has been actively narrow-banding County operations in the 150-174 Megahertz and 421-512 Megahertz spectrum. To date, Miami-Dade County has migrated 31 of its licenses to the 12.5 Kilohertz technology as mandated by the FCC. The FCC recently awarded Miami-Dade Fire Rescue a one year waiver to complete the migration of its public safety infrastructure due to the complexity of the County's system and the technical challenges presented by narrow banding.

Miami-Dade County's process of narrowband system redesign began in 2010. Upon project completion, the system will have a total of 44 radio sites, comprised of the following: 23 transmit only, 17 receive only, and four (4) receive and transmit. Of the 44 radio sites, five (5) require new monopoles/antennas and this fire station was targeted as one of the five requiring installation of a monopole/antenna.

SITE REVIEW
COMMITTEE:

The committee's task is to review projects subject to 33-303 of the Code of Miami-Dade County with regard to the public need for the proposed facility, its impact upon the surrounding community, and other similar considerations. The committee reviewed this project on March 21, 2013 and recommended approval.

PUBLIC HEARING:

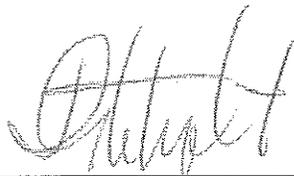
Section 33-303 of the Code of Miami-Dade County provides that, prior to the construction, erection or operation of a government facility in the unincorporated areas of Miami-Dade County, a favorable public hearing before the Board is required. The Board may only authorize the use, construction, erection and operation of such facilities in any zoning district after considering, among other factors, the public need for the facility, the type of function involved, existing land use patterns in that area and the nature of the impact of the facility on surrounding properties. The attached report from the Miami-Dade County Site Review Committee addresses these factors.

REVIEWER:

Gilberto Blanco, Supervisor

DELEGATED
AUTHORITY:

This resolution approves the erection of a 113' foot high communications monopole/antenna for Miami-Dade Fire Rescue Station No. 37.



Jack Osterholt
Deputy Mayor

Memorandum



Date: August 13, 2013
To: Carlos A. Gimenez
Mayor
From: Miami-Dade County Site Review Committee
Subject: Governmental Facilities Hearing Application
GF13-02 Communications Monopole/Antenna for Miami-Dade
Fire Rescue Station No. 37

RECOMMENDATION

It is recommended that the Board of County Commissioners approve the attached resolution approving a 113' high communications monopole/antenna for Miami-Dade Fire Rescue Station No. 37, located at 4200 SW 142nd Avenue, in compliance with Section 33-303 of the Code of Miami-Dade County. This item was prepared by the Department of Regulatory and Economic Resources at the request of the Miami-Dade Fire Rescue Department. The Miami-Dade Site Review Committee's task is to review projects subject to Section 33-303 of the Code of Miami-Dade County with regard to the public need for the facility, its impact upon the surrounding community, and other similar considerations. The committee reviewed the application on March 21, 2013, and recommends approval of the communications monopole for Fire Rescue Station No. 37 to fulfill the Federal Communications Commission (FCC) mandated UHF radio narrow-banding project approved by the Board of County Commissioners in September 2012.

STAFF REPORTS

Department of Regulatory and Economic Resources

Metropolitan Planning Division:

1. Comprehensive Development Master Plan (CDMP)

The subject site is occupied by Fire-Rescue Station No. 37 and is designated "Low-Density Residential" on the Adopted 2015 and 2025 LUP map. The "Low-Density Residential" designation is generally characterized by single-family detached houses and townhouses. However, small-scale public facilities - such as fire houses, electrical substations and distribution facilities, cell antennas and other uses - intended to serve the immediate needs of the residential community may be permitted on compatible sites in Residential Communities subject to adequate design and buffering (CDMP; Page I-35).

STATEMENT OF LEGISLATIVE INTENT

The Board recognizes that a particular application may bring into conflict, and necessitate a choice between, different goals, priorities, objectives, and provisions of the CDMP. While it is the intent of the Board that the Land Use Element be afforded a high priority, other elements must be taken into consideration in light of the Board's responsibility to provide for the multitude of needs of a large heavily populated and diverse community. This is especially true with regard to the siting of public facilities.

Recognizing that County Boards and agencies will be required to balance competing policies and objectives of the CDMP, it is the intention of the County Commission that such boards and agencies consider the overall intention of the Commission that such boards and agencies consider the overall intention of the CDMP as well as portions particularly applicable to a matter under consideration in order to ensure that the CDMP, as applied, will protect the public health, safety and welfare.

Land Use Element

The proposed site plan will further the following policies of the Land Use Element:

Residential Communities

The areas designated Residential Communities permit housing types ranging from detached single-family to attached multi-family buildings, as well as different constructions systems. Also permitted in Residential Communities are neighborhood and **community services** including schools, parks, houses of worship, day care centers, group housing facilities, and utility facilities only when consistent with other goals, objectives and policies of this Plan and compatible with the neighborhood. The character of the "neighborhood" reflects the intensity and design of developments mix of land uses, and their relationship.

Public Facilities

Large-scale public facilities, institutional and communications uses, and utilities are specifically identified in the Institutions, Utilities, and Communications category on the Plan map. Small-scale uses and the facilities intended to serve the immediate needs of the residential community may be permitted on compatible sites in Residential Communities subject to adequate design and buffering. These facilities include fire stations, electrical substations and distribution facilities, cell antenna, natural gas, telephone, fiber optic, cable, water and sewer facilities. They are preferably located in activity nodes, transition areas, and along major thoroughfares, and also at section centers if designed to serve the immediate neighborhood. Larger uses and facilities which are designed to serve more than a local area are preferably located in or adjacent to Industrial and Office, or Business and Office areas. Cemeteries may also be permitted in Residential Communities where direct access to a Major or Minor Roadway is provided or where traffic would not disrupt adjacent residential areas.

Institutions, Utilities and Communications

Neighborhood or community-serving institutional uses, cell towers and utilities including schools, libraries, sanitary sewer pump stations and fire and rescue facilities in particular, and cemeteries may be approved where compatible in all urban land use categories, in keeping with

any conditions specified in the applicable category, and where provided in certain Open Land subareas. Compatibility shall be determined in accordance to Policy LU-4A. Co-location of communication and utility facilities are encouraged. Major utility and communication facilities should generally be guided away from residential areas; however, when considering such approvals, the County shall consider such factors as the type of function involved, the public need, existing land use patterns in the area and alternative locations for the facility. All approvals must be consistent with the goals, objectives and policies of the Comprehensive Development Master Plan.

Policy LU-4A

When evaluating compatibility among proximate land uses, the County shall consider such factors as noise, lighting, shadows, glare, vibration, odor, runoff, access, traffic, parking, height, bulk, scale of architectural elements, landscaping, hours of operation, buffering, and safety, as applicable.

2. Impact of Facility on Surrounding Land Use and CDMP Consistency

The proposed 113' high communications monopole/antenna is **consistent** with the adopted goals, objectives and policies of the Comprehensive Development Master Plan (CDMP) based on the following:

Miami-Dade Fire Rescue Station No. 37 is located at 4200 SW 142 Avenue, in the middle of a single-family residential neighborhood. The 113' high monopole/antenna is proposed in the geometric center of the lot, and will be visible from surrounding properties. Specifically, the pole is setback +/-117' from the north property line, +/-134' from the south property line, +/-129' from the east property line, and +/-125' from the west property line. To minimize the visual impact of the monopole/antenna on adjacent property owners, the Miami-Dade Fire Rescue Department will increase the facility's landscape buffer along the west, south and east property lines. This buffer will consist of adding trees and shrubs close to the perimeter of the site to partially mitigate the visual impact of the antenna onto adjacent property owners. Policy LU-4A provides that when evaluating compatibility among proximate land uses, the County shall consider such factors as noise, lighting, shadows, glare, vibration, odor, runoff, access, traffic, parking, height, bulk, scale of architectural elements, landscaping, hours of operation, buffering, and safety, as applicable. The antenna will not generate: glare; vibrations; emit odors; runoff; increase traffic; cause an increase in parking requirements for the facility; or decrease the existing landscape. When evaluating these types of applications, the County shall consider such factors as the type of function involved, the public need, existing land use patterns in the area and alternative locations for the facility as indicated in the Institutions, Utilities and Communications Facilities interpretative text of the adopted CDMP. The location of the antenna is critical for the narrow banding requirements of the Federal Communications Commission (FCC) and essential for the safety and well-being of the public, as well as firefighters, and to improve the emergency radio coverage across Miami-Dade County. An alternative site would compromise the narrow banding grid communications matrix proposed by the Fire Rescue Department. In this regard, the application is **consistent** with the CDMP and with the additional landscaping, **compatible** with the neighborhood.

Development Services Division:

1. Background:

This application is being processed as a Governmental Facility to allow MDRF to erect a 113' high communications monopole/antenna at Fire Station No. 37, to meet the Federal Communications Commission (FCC) mandated UHF radio narrow-banding project approved by the Board of County Commissioners in September 2012. The project is essential for the safety and well-being of the public, as well as firefighters, and to improve the emergency radio coverage across Miami-Dade County.

2. Project Description:

To meet part of the FCC fire station communication requirements for this area of Miami-Dade County, a 113' high concrete monopole/antenna is proposed in the geometric center of the subject property, next to an existing patio located on the north side of the fire station. The monopole's setbacks from property lines are: 117' from the north property line; 134' from the south property line; 129' from the east property line; and 125' from the west property line. On the southeast corner of the parcel lies the fire station and the parking lot for the facility is on the north, both surrounded by a wide grassed area planted with trees. The FCC Public Notice, DA 11-1189 (released July 13, 2011), and Title 47 of the Code of Federal Regulations 1.925, requires the County to narrow band its radio stations operations by December 31, 2013. Miami-Dade County has been actively narrow-banding County operations in the 150-174 Megahertz and 421-512 Megahertz spectrum. To date, Miami-Dade County has migrated 31 of its licenses to the 12.5 Kilohertz technology as mandated by the FCC. The FCC recently awarded Miami-Dade Fire Rescue a one year waiver to complete the migration of its public safety infrastructure due to the complexity of the County's system and the technical challenges presented by narrow banding.

NEIGHBORHOOD CHARACTERISTICS		
	Zoning and Existing Use	Land Use Designation
Subject Property	RU-1; Miami-Dade Fire Rescue Station	Low-Density Residential (2.5 dua to 6 dua)
North	RU-1; single-family residences; canal	Low Density Residential (2.5 dua to 13 dua)
South	RU-1; single-family residences	Low Density Residential (2.5 dua to 6 dua)
East	RU-1; single-family residences	Low-Medium Density Residential (6 dua to 13 dua)
West	RU-1; single-family residences	Low Density Residential (2.5 dua to 6 dua)

The **Development Services Division** recommends approval of this application. The proposed 113' high monopole/antenna at Fire Station No. 37 will help complete the narrow-banding

Carlos A. Gimenez

Mayor

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for Miami-Dade County, which will improve the safety of the public and emergency personnel by providing a functional and strategically operational radio system.

3. Conditions:

- a. The site plan for "Motorola West Kendall (FS-37) Park shall be submitted to the Director of the Department of Regulatory and Economic Resources or its successor Department upon the submittal of an application for a building permit.
- b. That in the approval of the application at the time of permitting, the site plan considered shall be basically in accordance with that submitted for the hearing entitled, "Motorola West Kendall (FS-37)", as prepared by Motorola dated stamped received March 6, 2013.
- c. That the applicant shall comply with all applicable conditions and requirements of the Site Review Committee.
- d. That the applicant submit to the Department of Regulatory and Economic Resources or its successor Department for its review and approval a landscaping plan which indicates the type of plant material and size, prior to the issuance of a building permit, and to be installed prior to final construction sign off.
- e. The applicant shall plant along the north, south and west property lines, trees spaced a maximum of 25' average on center. Existing trees shall count towards meeting this requirement. In addition to the tree requirement, the applicant shall install a hedge at a minimum height of 24" at time of planting along the north, south and west property lines. A minimum of thirty (30) percent of the plant material installed shall be native.
- f. That the monopole/antenna, monopole facility and ancillary structures comply with FAA and FCC lighting requirements.

4. Platting and Traffic Review Section:

The **Platting and Traffic Section** has reviewed the application and has no objections and offers the following comments:

The land complies with Chapter 28 of the Miami-Dade County Code. The property is platted as Tract A of Plat Book 118, Page 34.

Should you have any questions, please contact Julio Delgado, P.S.M., Platting, at (305) 375-2141.

Roadway/Traffic Concurrency: No new trips are anticipated as a result of this application; therefore, there are no roadway/traffic concurrency impacts.

Should you have any questions, please contact Elena Cata-Brinas, Concurrency, at (305) 375-2268.

5. Environmental Resources Management Division:

The subject application has been reviewed for compliance with the requirements of Chapter 24 of the Miami-Dade County Code (the Code) and meets the minimum requirements of the Code. Accordingly, the application may be scheduled for public hearing.

a. Flood Protection

The application site lies within a Special Flood Hazard Zone with a base flood elevation of 9 ft. NGVD as per the Federal Flood Insurance Rate Maps (FIRM) for Miami-Dade County. The County flood criteria for this site is (8.10) ft. NGVD. The concrete pad for the proposed addition of a 100-foot high monopole equipment as depicted in the submittal must be above the base flood elevation and 4 inches above the crown of road and County Flood Criterion. For more information please contact the DERM Floodplain Program at (786) 315-2800.

b. Wellfield Protection:

The subject property is located within the West Wellfield interim protection area. The Board of County Commissioners approved a wellfield protection ordinance for this wellfield. This ordinance provides for stringent wellfield protection measures that restrict development, and regulate land uses within the wellfield protection area.

Since the subject request involves a non-residential land use or a zoning category which permits a variety of non-residential land uses, the owner of the property has submitted a properly executed covenant running with the land in favor of Miami-Dade County, as required by Section 24-43(5)(a) of the Code. The covenant provides that hazardous materials shall not be used, generated, handled, discharged, disposed of or stored on the subject property.

c. Potable Water Service and Wastewater Disposal

Public water and public sanitary sewers can be made available to the subject property. Therefore, connection of the proposed development to the public water supply system and sanitary sewer system shall be required, in accordance with Code requirements. All sewer lines serving the property shall comply with the exfiltration standards as applied to development within wellfield protection areas.

Existing public water and public sanitary sewer facilities and services meet the Level of Service (LOS) standards set forth in the Comprehensive Development Master Plan (CDMP). Furthermore, the proposed development order, if approved, will not result in a reduction of the LOS standards subject to compliance with the conditions required by DERM for this proposed development order.

Notwithstanding the foregoing, and in light of the fact that the County's sanitary sewer system has limited sewer collection, transmission, and treatment capacity, no new sewer service connections can be permitted, unless there is adequate capacity to handle the additional flows that this project would generate. Consequently, final development orders for this site may not be granted if adequate capacity in the system is not available at the point in

time when the project will be contributing sewage disposal may only be granted in accordance with Code requirements, and shall be an interim measure, with connection to the public sanitary sewer system required upon availability of adequate collection/transmission and treatment capacity.

d. Stormwater Management

Be advised that the proposed wireless monopole cannot interfere with the existing stormwater management system.

e. Wetlands

The subject property does not contain wetlands as defined by Section 24-5 of the Code; therefore, a Class IV Wetland Permit will not be required.

The applicant is advised that permits from the Army Corps of Engineers (305-526-7181), the Florida Department of Environmental Protection (561-681-6600) and the South Florida Water Management District (1-800-432-2045) may be required for the proposed project. It is the applicant's responsibility to contact these agencies.

f. Tree Preservation

The proposal for a monopole will not impact tree resources. Therefore, DERM has no objection to this application. Be advised that a Miami-Dade County Tree Removal/Relocation Permit is required prior to the removal and/or relocation of any tree that is subject to the Tree Preservation and Protection provisions of the Code.

The U.S. Fish and Wildlife Service is the lead Federal Agency charged with the protection and conservation of Federal Trust Resources, such as threatened and endangered species and migratory birds, in accordance with Section 7 of the Endangered Species Act of 1973, as amended (ESA) (87 Stat. 884; 16 U.S.C. 1531 et seq.), the Bald and Golden Eagle Protection Act, (16 U.S.C. 668-668d) (Eagle Act), and the Migratory Bird Treaty Act (40 Stat. 755; 16 U.S.C. 701 et seq.). Included in this mandate is the review of projects involving communication towers, therefore the applicant is advised to contact the United States Fish and Wildlife Services (850-539-1684) for more information. It is the applicant's responsibility to contact this agency.

g. Concurrency Review Summary

A concurrency review has been conducted for this application and has determined that the same meets all applicable LOS standards for an initial development order, as specified in the adopted CDMP for potable water supply, wastewater disposal, and flood protection. Therefore, the application has been approved for concurrency subject to the comments and conditions contained herein.

This concurrency approval does not constitute a final concurrency statement and is valid only for this initial development order, as provided for in the adopted methodology for concurrency review.

Additionally, this approval does not constitute any assurance that the LOS standards would be met by any subsequent development order applications concerning the subject property.

Public Works and Waste Management Department

Right-of-Way and Survey Division:

The Department of Public Works and Waste Management **Right-of-Way Division** has reviewed the application presented on the March 21, 2013 Site Review Committee meeting and has no objections to the application.

Roadway Engineering and Right-of-Way Division:

The Public Works and Waste Management Department (PWWM) Roadway Engineering and Right-of-Way Division has reviewed the subject application and provides the following comments:

- Currently, PWWM has no proposed roadway project adjacent to the subject site in the 2013 Transportation Improvement Program (TIP), nor in the 2035 Long Range Transportation Plan (LRTP).
- Please be advised that a PWWM permit may be required for this project. Please contact the PWWM Permit Section, at (305) 375-2142, for more information.

Should you have any questions, please contact Javier Heredia, P.E., Section Head, Highway Planning, at (305) 375-1901.

Traffic Engineering Division:

The Public Works and Waste Management Department, Traffic Engineering Division (TED), has reviewed the subject application and provides the following comments:

- The site plan sheet (C2) indicates the proposed pole is just south of a parking stall. The north face of the pole should be placed at least 5-1/2 ft. south of the face of the linear curb on the south edge of the parking stall. In the event someone is standing or walking next to the pole, they would not be pinned against the pole by a vehicle pulling into the stall.

Should you have any questions, please contact Jeff Cohen, P.E., Assistant Chief, Traffic Engineering Division, at (305) 375-2030.

Miami-Dade Fire Rescue Department

The Miami-Dade Fire Rescue Department is the applicant.

Carlos A. Gimenez
Mayor
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If you need additional information, please contact Mr. Carlos Heredia, Planning Section Supervisor, at 786-331-4544.

Miami-Dade Water & Sewer Department

Project: Monopole for Fire Station No. 37 (GF 13-02)

Location: 4200 SW 142 Ave.

Water and Sewer:

M-DWASD has no objection to this project.

Internal Services Department

Internal Services Department (ISD) does not have any objections to the Government Facility application.

Should you have any questions regarding this notification, please contact Asael Ace Marrero at 305-375-1115.

Aviation Department

As requested by the Department of Regulatory and Economic Resources (DRER), the Miami-Dade Aviation Department (MDAD) has reviewed the Miami-Dade Rescue Department's (MDFR) request for a 113' (113' with antenna; 100' monopole only) on the premises of Station 37 at 4200 SW 142 Avenue in Miami-Dade County, Florida.

Based upon the information provided, MDAD determined that a monopole at this location at an elevation of 113' conforms to the Code of Miami-Dade County, Chapter 33, Airport Zoning. **Please be advised, however, that a FAA Airspace Determination is required to coordinate frequency activation and verify that no interference is caused to FAA facilities prior to beginning any transmission from the site.**

In addition, any cranes for this project at this location reaching or exceeding 200 feet AMSL (Above Mean Sea Level) must be filed with the Federal Aviation Administration (FAA) using Form 7460-1 'Notice of Proposed Construction Alteration for Determination of Known Hazards'. The form is available through this office or through the FAA website: <https://oeaaa.faa.gov>. This form should be mailed to: Federal Aviation Administration, Air Traffic Airspace Branch – ASW-520, 2601 Meacham Blvd, Ft. Worth, TX 76137-0520. Alternatively, the applicant may "e-file" online at <https://oeaaa.faa.gov>.

This determination is based, in part on the description provided to us by MDFR, which includes specific building locations and heights. Any changes in structure location/layouts or heights will void this determination. Any future construction or alteration, including an increase to heights requires a separate notice to the FAA and MDAD.

Should you have any questions, please feel free to contact Jose A. Ramos, R.A., Aviation Planning Division at 305-876-8080.

Miami-Dade Transit

Project Description

The Miami-Dade Fire Rescue Department (MDFR) is seeking approval for a Governmental Facilities Hearing in order to construct a 100 foot high monopole on the premises of Miami-Dade Fire Rescue Station 37 located at 4200 SW 142 Avenue, Miami-Dade County Florida.

Current Transit Service

Transit service in the area surrounding the application site is provided by Route 40. The alignment for this route is illustrated on the attached map. The service headways for this route (in minutes) are as follows:

Metrobus Route Service Summary								
MDFR Station No. 37 (4200 SW 142 Avenue) Application Site								
Route(s)	Service Headways (in minutes)						Proximity to Bus Route (miles)	Type of Service
	Peak (AM/PM)	Off-Peak (middays)	Evenings (after 8pm)	Overnight	Saturday	Sunday		
40	30	60	45	n/a	60	60	0	L

Notes: L means Metrobus local route service
 F means Metrobus feeder service to Metrorail
 E means Express or Limited-Stop Metrobus service

November 2012 Line Up

Future Transportation/Transit Improvements

The draft 2014 Transportation Improvement Program (TIP) does not propose any improvements on the roadways within the immediate vicinity of the site.

The 2035 Long Range Transportation Plan (LRTP) does not propose any improvements on the roadways within the immediate vicinity of the site.

Carlos A. Gimenez

Mayor

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The draft 2013 ten-year Transit Development Plan (TDP) identifies in its 2023 Recommended Service Plan the following improvements/adjustments on the existing route serving the vicinity of the project:

Route	Improvement/Adjustment
40	Extend route to future terminal at SW 147 Avenue and SW 8 Street

MDT Comments/Recommendations

The subject site is improved with an existing Miami-Dade Fire Rescue Station. The applicant seeks to construct a 100 foot high monopole on the premises of Miami-Dade Fire Rescue Station 37 located at 4200 SW 142 Avenue. The proposed monopole will be contained on-site at the existing fire rescue station and the construction of said monopole is not anticipated to impact transit services in the area.

Based on the information presented, MDT has no objections to this application.

MIAMI-DADE COUNTY SITE REVIEW COMMITTEE

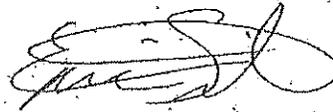
APPLICATION G2013000002

MIAMI-DADE FIRE RESCUE

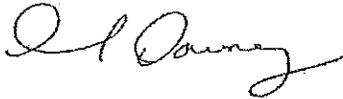
MONOPOLE ANTENNA FOR FIRE RESCUE STATION NO. 37



Kathleen Woods-Richardson, Director
Public Works and Waste Management



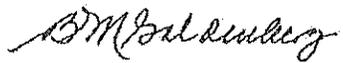
Eric Silva, Assistant Director
Regulatory and Economic Resources



David Downey, Fire Chief
Fire Rescue Department



Jose Gonzalez, Assistant Director
Permitting, Environment and
Regulatory Affairs



Bertha Goldenberg, Assistant Director
Water and Sewer Department



Lester Sola, Director
Internal Services Department



MEMORANDUM
(Revised)

TO: Honorable Chairwoman Rebeca Sosa
and Members, Board of County Commissioners

DATE: September 4, 2013

FROM: R. A. Cuevas, Jr.
County Attorney

SUBJECT: Agenda Item No. 5(H)

Please note any items checked.

- "3-Day Rule" for committees applicable if raised
- 6 weeks required between first reading and public hearing
- 4 weeks notification to municipal officials required prior to public hearing
- Decreases revenues or increases expenditures without balancing budget
- Budget required
- Statement of fiscal impact required
- Ordinance creating a new board requires detailed County Mayor's report for public hearing
- No committee review
- Applicable legislation requires more than a majority vote (i.e., 2/3's _____, 3/5's _____, unanimous _____) to approve
- Current information regarding funding source, index code and available balance, and available capacity (if debt is contemplated) required

Approved _____ Mayor
Veto _____
Override _____

Agenda Item No. 5(H)
9-4-13

RESOLUTION NO. R-675-13

RESOLUTION APPROVING A 113' HIGH COMMUNICATIONS MONOPOLE/ANTENNA FOR MIAMI-DADE FIRE RESCUE STATION No. 37, LOCATED AT 4200 SW 142 AVENUE, IN COMPLIANCE WITH SECTION 33-303 OF THE CODE OF MIAMI-DADE COUNTY

WHEREAS, this Board desires to accomplish the purposes outlined in the accompanying memorandums, copies of which are incorporated herein by reference, and has conducted a public hearing in compliance with the provisions of Section 33-303 of the Code of Miami-Dade County, Florida,

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF COUNTY COMMISSIONERS OF MIAMI-DADE COUNTY, FLORIDA, that this Board hereby finds that the proposed 113' high communications monopole/antenna for Miami-Dade Fire Rescue Station No. 37, located at 4200 SW 142 Avenue, more specifically described as follows:

SEE ATTACHED EXHIBIT A

is necessary to protect the health, safety and welfare of the citizens of Miami-Dade County, Florida and in so finding, has considered, among other factors, the type of function involved, the public need therefore, the land use pattern in the area, and the nature of the impact on surrounding properties.

The foregoing resolution was offered by Commissioner **Sen Javier D. Souto**

who moved its adoption. The motion was seconded by Commissioner **Xavier L. Suarez**

and upon being put to a vote, the vote was as follows:

	Rebeca Sosa, Chairwoman	aye
	Lynda Bell, Vice Chair	aye
Bruno A. Barreiro	aye	Esteban L. Bovo, Jr. aye
Jose "Pepe" Diaz	absent	Audrey M. Edmonson absent
Sally A. Heyman	aye	Barbara J. Jordan aye
Jean Monestime	aye	Dennis C. Moss aye
Sen. Javier D. Souto	aye	Xavier L. Suarez aye
Juan C. Zapata	aye	

The Chairperson thereupon declared the resolution duly passed and adopted this 4th day of September, 2013. This resolution shall become effective ten (10) days after the date of its adoption unless vetoed by the Mayor, and if vetoed, shall become effective only upon an override by this Board.

MIAMI-DADE COUNTY, FLORIDA
BY ITS BOARD OF
COUNTY COMMISSIONERS

HARVEY RUVIN, CLERK

By: **Christopher Agrippa**
Deputy Clerk



Approved by County Attorney as
to form and legal sufficiency.

Craig H. Collier

MIAMI-DADE COUNTY
BOARD OF COUNTY COMMISSIONERS
NOTICE OF PUBLIC HEARING

The BOARD OF COUNTY COMMISSIONERS of Miami-Dade County, Florida will meet Wednesday 4th day of September 2013 9:30 a.m. in the County Commission Chambers, Second Floor, Stephen P. Clark Center, 111 N.W. First Street, Miami, Florida, to consider the following request:

Application: MONOPOLE ANTENNA IN FIRE STATION NO. 37
Number: GF13-02
Applicant: MIAMI-DADE FIRE RESCUE
Location: 4200 SW 142 Avenue, Miami-Dade County
Size: Approximately 1.5 acres
Request: Approval of a Monopole Antenna in Fire Station No. 37
Legal Description: FOLIO: 30-4922-022-0920

TRACT A OF BIRD LAKES NORTH SECTION 1 PLAT BOOK 118-34

OBJECTIONS MAY BE MADE IN PERSON AT THE HEARING OR FILED IN WRITING PRIOR TO THE HEARING DATE. MAIL OBJECTIONS AT LEAST FIVE BUSINESS DAYS PRIOR TO THE HEARING TO THE DEPARTMENT OF REGULATORY AND ECONOMIC RESOURCES, ATTENTION: Gilberto Blanco, 111 NW 1 STREET, 11TH FLOOR, MIAMI, FLORIDA 33128. SIGN LANGUAGE INTERPRETERS ARE AVAILABLE UPON REQUEST. PLEASE CALL (305)670-9099 AT LEAST FOUR DAYS IN ADVANCE.

EXHIBIT "A"

MIAMI-DADE COUNTY

MONOPOLE ANTENNA IN FIRE STATION NO. 37 FOR MIAMI-
DADE FIRE RESCUE

Legal Description

TRACT A OF BIRD LAKES NORTH SECTION 1 PLAT BOOK 118-34

EXHIBIT A



MOTOROLA
COMMUNICATIONS SYSTEMS
10000 W. BIRDAWAY BLVD
MIAMI, FL 33176
PHONE: (772) 825-6887
FAX: (772) 423-8889





LOCAL OFFICE
5645 SW 142nd AVE
MIAMI, FL 33176
TEL: (305) 885-6588
FAX: (305) 885-1786

COMPANY OF AMERICANS OF FLORIDA
PROJECT NO.: 6788-12-04A (6/02)

NOT FOR CONSTRUCTION

DATE OF SIGNATURE: 3/14/03

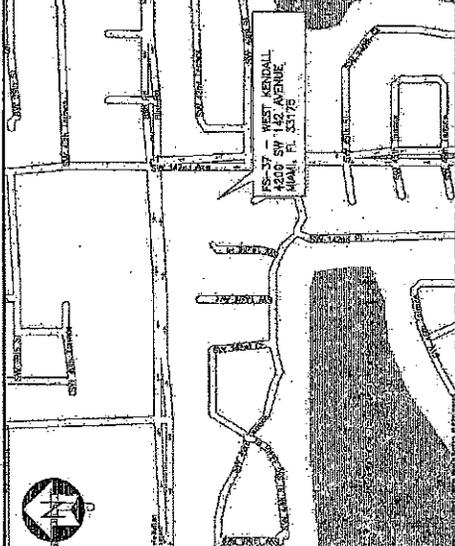
WEST KENDALL (FS-37)

4200 SW 142 AVENUE
MIAMI, FL 33176

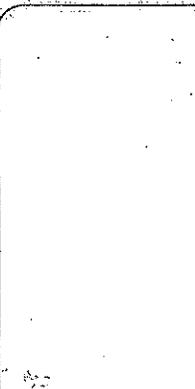
SHEET NAME

TITLE SHEET

SHEET NUMBER: T1

DRIVING DIRECTIONS	LOCAL MAP	VICINITY MAP	APPROVALS	CONSTRUCTION NOTES	INDEX OF DRAWINGS																																																												
<p>MOTOROLA</p> <p>WEST KENDALL (FS-37)</p> <p>4200 SW 142 AVENUE MIAMI, FL 33176</p> <p>PROPOSED COMMUNICATIONS SITE WITH NEW 100' MONOPOLE</p>			<p>OWNER: _____</p> <p>RF ENGINEER: _____</p> <p>CONSTRUCTION: _____</p> <p>LEASING: _____</p> <p>ZONING: _____</p> <p>SCOPE OF WORK</p> <p>INSTALLATION OF NEW UNMANNED AIRBORNE TELECOMMUNICATIONS EQUIPMENT WITHIN PROPOSED CABINET AND ERECTION OF NEW 100' MONOPOLE. CONNECTIONS TO POWER AND TELCO SUPPLY.</p>	<p>1. ALL NEW BUILDINGS AND STRUCTURES HAVE BEEN DESIGNED IN ACCORDANCE WITH THE 2010 EDITION OF THE FLORIDA BUILDING CODE FOR DESIGN PRESSURES, WIND SPEEDS AND VELOCITY FOR 150 MPH.</p> <p>EXPOSURE: _____</p> <p>WIND SPEED: _____</p> <p>2. CONTRACTOR SHALL VERIFY ALL PLANS AND THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.</p> <p>3. CONTRACTOR SHALL NOTIFY OWNER FOR ACCESS TO SITE.</p> <p>LEGAL DESCRIPTION</p> <p>BIRD LAKES NORTH SECTION 1, PB 11B-34, LOT 27, AREA 0.66511, 50 FT BY 125.00' 240' 0.824 8'</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>SHEET NO.</th> <th>DESCRIPTION</th> <th>REV. NO.</th> </tr> </thead> <tbody> <tr> <td>T1</td> <td>TITLE SHEET</td> <td>A</td> </tr> <tr> <td>C1</td> <td>GENERAL NOTES</td> <td>A</td> </tr> <tr> <td>C2</td> <td>SITE PLAN</td> <td>A</td> </tr> <tr> <td>C3</td> <td>SITE LAYOUT</td> <td>A</td> </tr> <tr> <td>C4</td> <td>EAST ELEVATION</td> <td>A</td> </tr> <tr> <td>C5</td> <td>NORTH ELEVATION</td> <td>A</td> </tr> <tr> <td>C6</td> <td>WEST ELEVATION</td> <td>A</td> </tr> <tr> <td>C7</td> <td>COAX ROUTING DETAILS</td> <td>A</td> </tr> <tr> <td>C8</td> <td>COAX SHEET & ANTENNA MOUNT DET.</td> <td>A</td> </tr> <tr> <td>C9</td> <td>CABLE TRAY & HVAC DETAILS</td> <td>A</td> </tr> <tr> <td>C10</td> <td>ARCH. NOTES & WALL DETAILS</td> <td>A</td> </tr> <tr> <td>E1</td> <td>ELECTRICAL PLAN & NOTES</td> <td>A</td> </tr> <tr> <td>E2</td> <td>ELECTRICAL SINGLE LINE DIAGRAM</td> <td>1</td> </tr> <tr> <td>E3</td> <td>GROUNDING PLAN & NOTES</td> <td>A</td> </tr> <tr> <td>E4</td> <td>EQUIP. RM. GROUND. AND DETAILS</td> <td>A</td> </tr> <tr> <td>E5</td> <td>GROUNDING DETAILS</td> <td>A</td> </tr> <tr> <td>E6</td> <td>GROUNDING DETAILS</td> <td>A</td> </tr> <tr> <td>M1</td> <td>HVAC DETAILS</td> <td>A</td> </tr> <tr> <td>S1</td> <td>SITE SURVEY</td> <td>A</td> </tr> </tbody> </table>	SHEET NO.	DESCRIPTION	REV. NO.	T1	TITLE SHEET	A	C1	GENERAL NOTES	A	C2	SITE PLAN	A	C3	SITE LAYOUT	A	C4	EAST ELEVATION	A	C5	NORTH ELEVATION	A	C6	WEST ELEVATION	A	C7	COAX ROUTING DETAILS	A	C8	COAX SHEET & ANTENNA MOUNT DET.	A	C9	CABLE TRAY & HVAC DETAILS	A	C10	ARCH. NOTES & WALL DETAILS	A	E1	ELECTRICAL PLAN & NOTES	A	E2	ELECTRICAL SINGLE LINE DIAGRAM	1	E3	GROUNDING PLAN & NOTES	A	E4	EQUIP. RM. GROUND. AND DETAILS	A	E5	GROUNDING DETAILS	A	E6	GROUNDING DETAILS	A	M1	HVAC DETAILS	A	S1	SITE SURVEY	A
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<p>SITE DATA</p> <p>PLAT # : 30-4922-022-0920</p> <p>LATITUDE: N 25° 43' 41.47"</p> <p>LONGITUDE: W 30° 25' 27.12"</p> <p>ZONING JURISDICTION: MIAMI-DADE COUNTY</p> <p>PROPERTY OWNER(S): MIAMI DADE COUNTY FIRE RESCUE DEPARTMENT 9300 NW 41st STREET DORAL, FL 33178</p> <p>CONTACT: JOEL MEZOGOS (305) 864-8789</p> <p>MOTOROLA MANAGER: HARRY WOODWORTH 685 NE 19th PLACE BOSTON BEACH, FL 33435 TEL: (561) 734-3300 FAX: (561) 734-3307</p>																																																																	

22



PROJECT NO: 8704-12-248 (0430)

DATE	10/22/04
BY	PRELIMINARY
CHKD BY	DISSEMINATION
DATE	11/12/04
BY	A. J. LEONARD
CHKD BY	L. E. PACE
DATE	11/12/04

NOT FOR CONSTRUCTION

DATE OF REVISION: 12/02/04

WEST KENDALL
(FS-37)

4850 BY 142 AVENUE
ANN ARBOR, MI 48106

SHEET NAME

GENERAL NOTES

SHEET NUMBER
C1

1.12. TEST RESULTS

THE CONTRACTOR IS REQUIRED TO SUBMIT THE RESULTS OF ALL TESTS REQUIRED BY THE PROJECT SPECIFICATIONS AND DRAWINGS TO THE ENGINEER IN WRITING WITHIN THE FOLLOWING TIME FRAME. THE CONTRACTOR SHALL SUBMIT AT LEAST THE FOLLOWING TEST RESULTS IN ADDITION TO ALL OTHER REQUIRED TEST RESULTS:

- CONCRETE COMPRESSIVE TEST FOR ALL CONCRETE WORK
- CONCRETE TENSILE TEST FOR ALL CONCRETE WORK
- ANTENNA AND TRANSMISSION INSTALLATION WORK
- FUEL LINE LEAKAGE TEST FOR FUEL TANK AND PIPING
- INSTALLATION WORK FOR CONCRETE WORK
- GROUNDING RESISTANCE TEST FOR GROUNDING WORK

1.13. CONTRACT CLOSEOUT

MOTOROLA'S REPRESENTATIVE WILL PROVIDE A CERTIFICATE OF COMPLETION AND WILL APPROVE FINAL PAYMENT WHEN ALL PROJECT-LIST ITEMS HAVE BEEN CORRECTED AND ALL SYSTEMS ARE ACCEPTABLE.

1.14. WARRANTY

ALL WORK PERFORMED BY THE CONTRACTOR IS GUARANTEED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL COMPLETION OF THE PROJECT. THIS GUARANTEE SHALL COVER ALL MATERIALS, EQUIPMENT, WORKMANSHIP, DEFECTS IN INTERIOR OR NOT IN ACCORDANCE WITH THE TERMS OF THE CONTRACT DURING THE GUARANTEE PERIOD. IF WITHIN THE GUARANTEE PERIOD, REPAIRS OR CHANGES ARE REQUIRED TO CORRECT DEFECTS, THE CONTRACTOR SHALL PROGRAMMATICALLY AND WITHOUT EXPENSE TO MOTOROLA, PROVIDE TO:

- MAKE ANY NECESSARY REPAIRS TO ALL SUCH WORK AND CORRECT ALL DAMAGES TO THE STRUCTURE OR SITE OR EQUIPMENT OR CONTENTS THEREOF, WHICH, IN THE OPINION OF MOTOROLA, IS THE RESULT OF THE NEGLIGENCE, IMPROPER INSTALLATION, OR DEFECTIVE WORK OF THE CONTRACTOR OR NOT IN ACCORDANCE WITH THE TERMS OF THE CONTRACT.
- MAKE GOOD ANY WORK, MATERIALS OR EQUIPMENT AND ADJACENT STRUCTURES DISTURBED IN FULFILLING THE GUARANTEE.

1.20. GENERAL NOTES

REFER TO CONSTRUCTION ANY DRAWING BE SHOWING. THE CONTRACTOR SHALL VERIFY HIMSELF AS TO THE ACCURACY OF ALL SURVEY DATA AS INDICATED IN THE PLANS AND SPECIFICATIONS AND/OR AS PROVIDED BY MOTOROLA.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVING ALL ESTABLISHED SURVEY CONTROL POINTS. IF THE CONTRACTOR OR ANY OF ITS SUBCONTRACTORS MAKE OR DESTROY ANY SURVEY CONTROL POINTS, THE COST INCURRED BY THE OWNER(S) OR CONTRACTOR TO RE-ESTABLISH THEM WILL BE BORNE BY THE CONTRACTOR.

THE SCOPE OF WORK SHALL INCLUDE FURNISHING ALL MATERIALS AND EQUIPMENT NOT SHOWN ON THE DRAWINGS AND NECESSARY TO COMPLETE THE WORK/PROJECT AS DESCRIBED HEREIN.

THE CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO BEGINNING WORK TO VERIFY THAT THE PROJECT, AS SHOWN ON THE DRAWINGS, IS IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. NOTIFY THE CONSTRUCTION MANAGER OF ANY DISCREPANCIES OR REFERENCES THAT AFFECT THE WORK UNDER THIS CONTRACT.

THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS ACCORDING TO THE MANUFACTURER'S/VENDOR'S SPECIFICATIONS UNLESS NOTED OTHERWISE OR UNLESS LOCAL CODES OR ORDINANCES TAKE PRECEDENCE.

1.10. ERECTION

THE CONTRACTOR SHALL OBTAIN ALL NOTICES AND PERMITS WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LOCAL ORDERS OF THE JURISDICTION AND STATE REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND APPROVALS FROM LOCAL GOVERNMENT AGENCIES BY THE DATE OF COMMENCEMENT OF THE PROJECT AND ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES.

1.11. SITE INSPECTION BY MOTOROLA

THE CONTRACTOR SHALL HAVE THE RESPONSIBILITY FOR ARRANGING WITH MOTOROLA FOR AN INSPECTION PRIOR TO COVERING UP ANY WORK THAT WILL BE COVERED IN FINISHED CONSTRUCTION. THE CONTRACTOR SHALL NOT REQUEST AN INSPECTION UNLESS ALL OF THE FOLLOWING REQUIREMENTS HAVE BEEN MET:

- THE PREVIOUS STEP HAS BEEN INSPECTED AND APPROVED BY THE LOCAL INSPECTORS AND MOTOROLA REPRESENTATIVE ON THE PRESENCE OF AN OWNER OF MOTOROLA REPRESENTATIVE ON THE ASSIGNED RESPONSIBILITIES OF THE WORK.
- ALL WORK HAS BEEN COMPLETED AND ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES HAVE BEEN OBTAINED.
- ALL DOCUMENTS REQUIRED BY THE CONTRACT HAVE BEEN OBTAINED AND APPROVED BY MOTOROLA.

THE FOLLOWING INFORMATION IS INCLUDED AS A GUIDE TO THE CONTRACTOR TO ASSIST IN DETERMINING THE TYPE AND FREQUENCY OF INSPECTIONS. THE LISTED INSPECTIONS REPRESENT COMPLEX PROJECTS. THE CONTRACTOR SHALL OBTAIN ADDITIONAL INSTRUCTIONS DEPENDING ON THE SEQUENCE OF WORK.

1.12. SITE CLEARANCE

THE CONTRACTOR SHALL KEEP THE GENERAL WORK AREA CLEAN AND HAZARD FREE DURING CONSTRUCTION AND REMOVE ALL DIRT, DEBRIS, VEGETATION AND RUBBISH, AND REMOVE EQUIPMENT FROM THE WORK AREA AS THE PROJECT PROGRESSES. THE CONTRACTOR SHALL MAINTAIN THE WORK SITE TO BE LEFT UNDISTURBED TO DISCOURAGE TRESPASSERS. PREMISES SHALL BE LEFT IN CLEAN CONDITION AND FREE FROM CONSTRUCTION DEBRIS OR SURCES OF ANY NATURE. AT THE CONCLUSION OF WORK:

- THE CONTRACTOR SHALL RESTORE THE SITE TO ITS ORIGINAL CONDITION, INCLUDING ALL UTILITIES AND STRUCTURES, SEEDING, MULCHING AND FERTILIZED FOR EROSION PROTECTION.
- SEEDING FOR AREAS DISTURBED SHALL BE ESTABLISHED IMMEDIATELY AS REQUIRED BY LOCAL ORDINANCES.
- EXISTING UNDERGROUND OR OVERHEAD ELECTRIC SERVICES, BUILDINGS ON THE SITE AS WELL AS OFFICE SERVICES BUILT, OR HAS OPERATIONS SHALL BE CORRECTED AND/OR RESTORED TO THE SATISFACTION OF THE PROPERTY OWNER(S) AND MOTOROLA AT NO ADDITIONAL COST TO THE PROPERTY OWNER(S) OR MOTOROLA.

THE CONTRACTOR SHALL HAVE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, PAVING, CURBS, ETC. DURING CONSTRUCTION. UPON COMPLETION OF WORK, THE CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY HAVE OCCURRED DUE TO CONSTRUCTION ON OR ABOUT THE PROPERTY.

1.15. FACILITY STABILITY & COMMISSIONING

THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DEMONSTRATE THAT ALL SYSTEMS AND SUB-SYSTEMS INSTALLED UNDER THIS CONTRACT OPERATE PROPERLY PRIOR TO THE FINAL ACCEPTANCE INSPECTION. PROVIDE THE OPERATIONS AND MAINTENANCE MANUALS AT THIS TIME.

1.15.1. AS-BUILT DRAWINGS

THE CONTRACTOR SHALL KEEP UP-TO-DATE WORKED-UP PRINTS OF THE AS-BUILT DRAWINGS. UPON COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL REVIEW THE COMPLETED AS-BUILT DRAWINGS AND ASCERTAIN THAT ALL DATA FURNISHED ON THE DRAWINGS IS ACCURATE AND THAT THE DRAWINGS REPRESENT THE PROJECT AS-BUILT. DRAWINGS SHALL BE RED OR GREEN AND CLEARLY VISIBLE. TWO SETS OF AS-BUILT DRAWINGS SHALL BE FURNISHED TO THE MOTOROLA PROJECT MANAGER AT THE COMPLETION OF THE PROJECT. THESE DRAWINGS SHALL ALSO SHOW THE FOLLOWING:

- MODIFICATIONS TO SITE LAYOUT
- GROUNDING SYSTEM LAYOUT
- UNDERGROUND FUEL LINES RUN
- UNDERGROUND ELECTRICAL RUN

WHERE THE CONTRACTOR IS RESPONSIBLE FOR SUPPLYING

REQUIREMENTS FOR THE SUPPLYING OF MATERIALS SHALL INCLUDE ALL OPERATIONS AND MAINTENANCE MANUALS AND AS-BUILT DRAWINGS THAT FULLY DESCRIBE THE ACTUAL INSTALLED EQUIPMENT.

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THIS DRAWING IS COPYRIGHTED AND IS THE SOLE PROPERTY OF THE OWNER. IT IS PROTECTED BY PATENT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE OWNER.



MOTOROLA
COMMUNICATIONS ELECTRONICS CORPORATION
1000 W. CALIFORNIA AVENUE
ANN ARBOR, MI 48106
TELEPHONE (313) 632-2000
FAX (313) 333-8887



aneco
LOCAL OFFICE
4440 S.W. 106th AVENUE
MIAMI, FL 33155
TEL: (305) 653-9900
FAX: (305) 653-1794
CORPORATE OFFICE
2700 N.W. 12th AVENUE
MIAMI, FL 33125
TEL: (305) 653-9900
FAX: (305) 653-1794

PROJECT No.: 8708-15-2143 (04-00)

DATE	10/28/83	
REV.	DATE	DESCRIPTION
1	11/15/83	PRELIMINARY
2	12/15/83	REVISIONS
3	1/15/84	REVISED
4	2/15/84	REVISED
5	3/15/84	REVISED
6	4/15/84	REVISED
7	5/15/84	REVISED
8	6/15/84	REVISED
9	7/15/84	REVISED
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DATE OF SUBMITTAL: 05/02/84

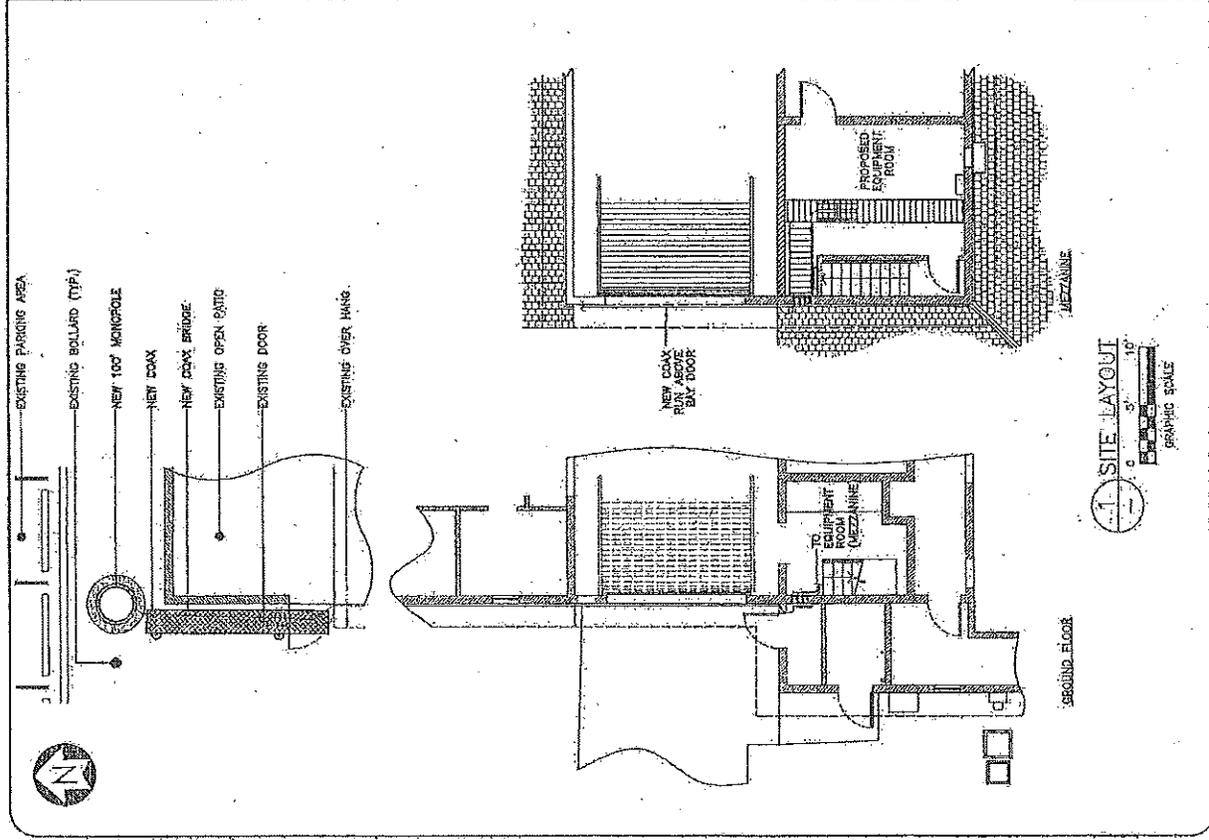
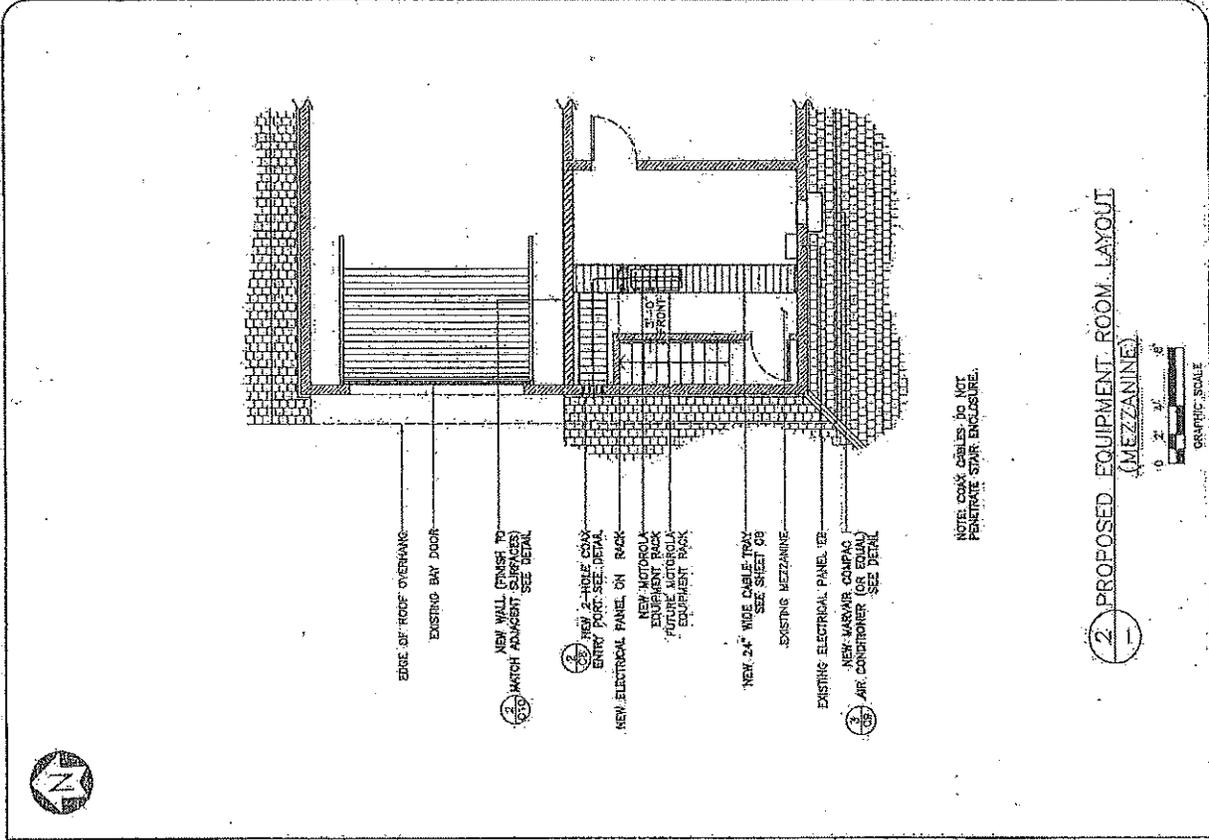
WEST. KENDALL
(FS-37)

4490 SW 106 AVENUE
MIAMI, FL 33155

SHEET NAME
SITE LAYOUT

SHEET NUMBER
C3

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 5405 W. BIRCH STREET
 FORT LAUDERDALE, FL 33309
 TEL (954) 482-3788
 FAX (954) 482-3789
 CORPORATION OF MICHIGAN A 5202

PROJECT NO.	078-12-244 (0148)
DATE	
PREPARED BY	A. E. LUDANO
CHECKED BY	L. E. PUEBE
APPROVED BY	
DATE	10/22/74
DESCRIPTION	

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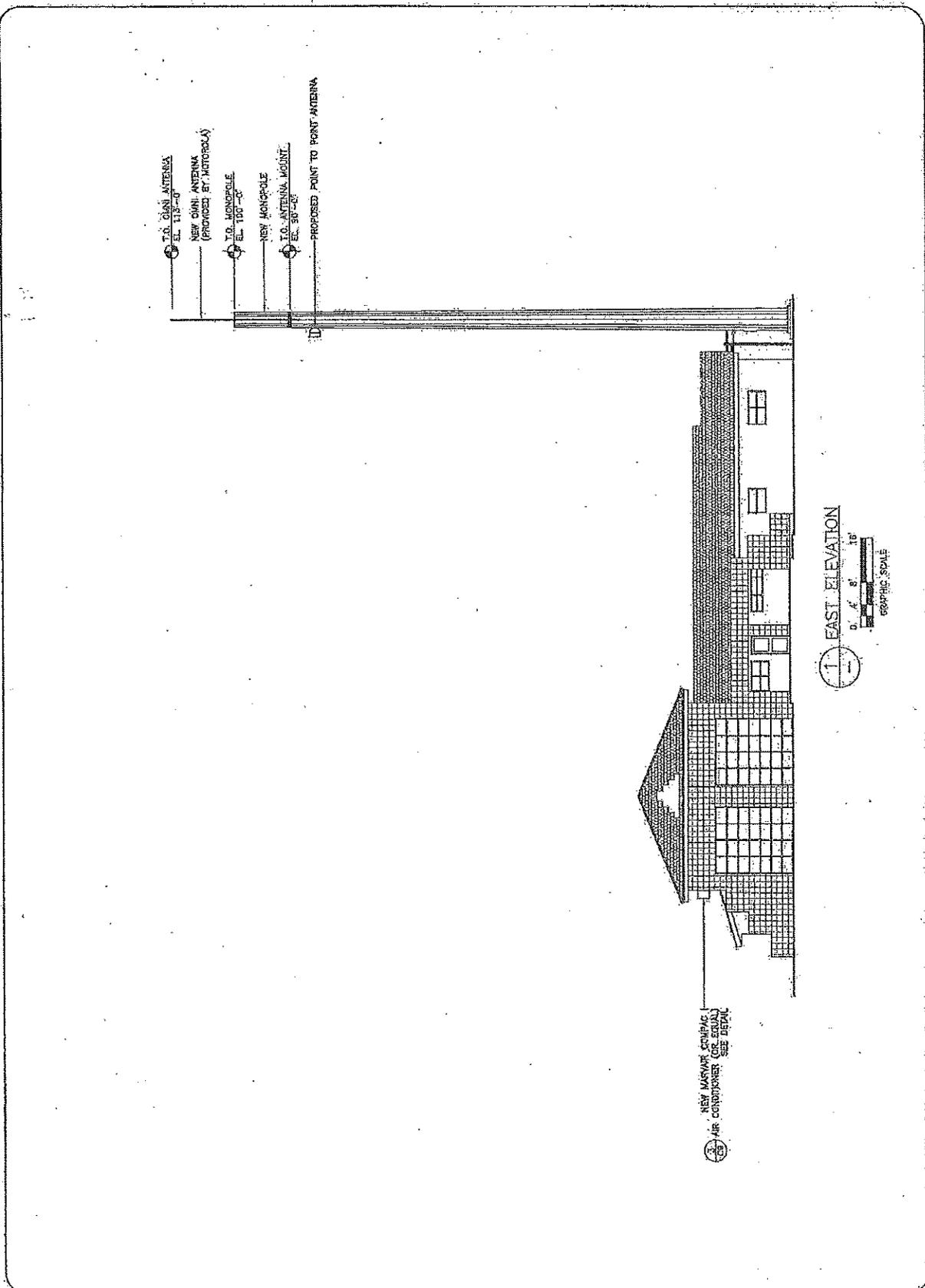
DATE OF REVISION: 10/22/74

**WEST KENDALL
 (FS-37)**

4200 SW 142 AVENUE
 MIAMI, FL 33135

SHEET NAME
**EAST
 ELEVATION**

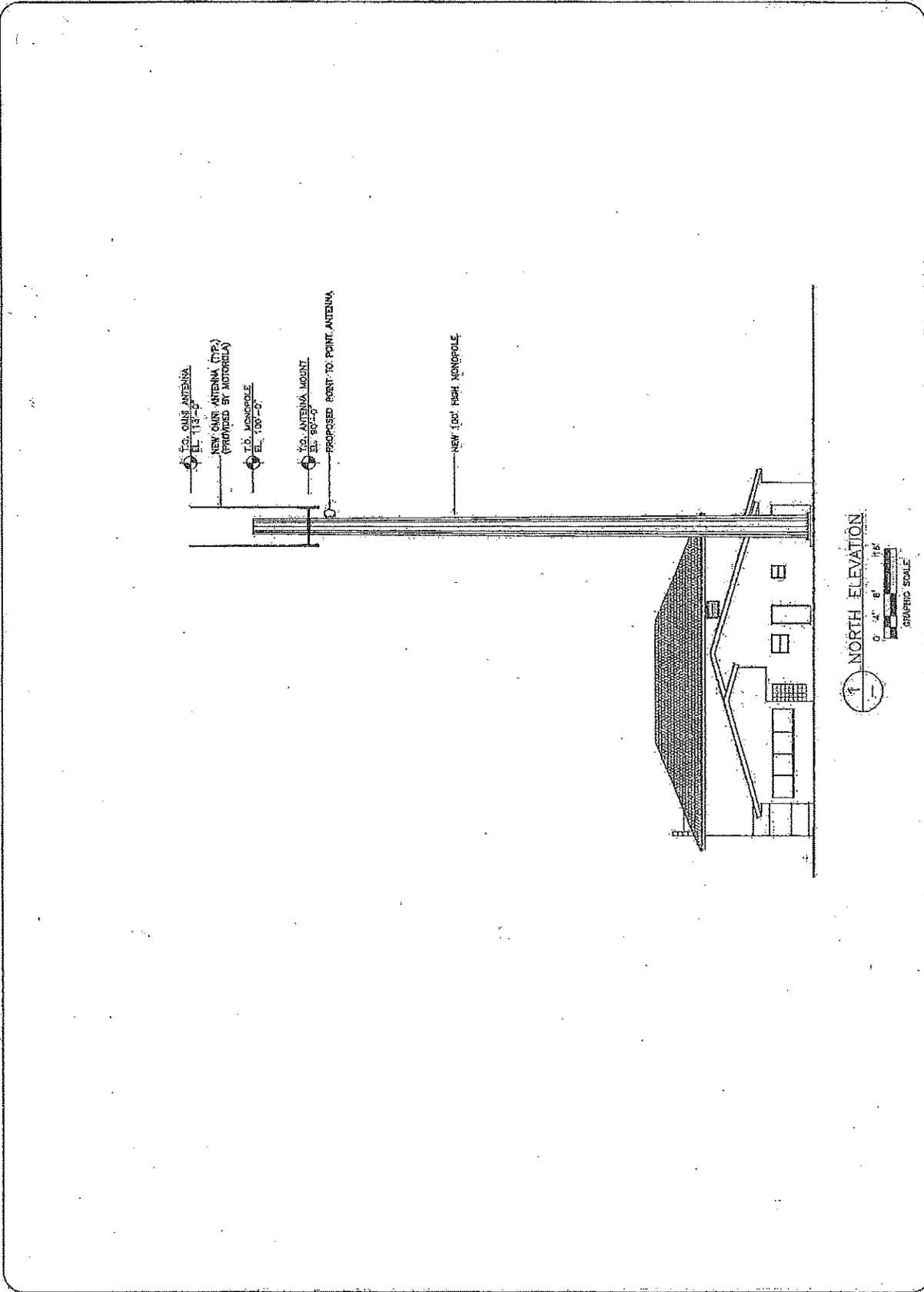
SHEET NUMBER
C4



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 <p>MOTOROLA COMMUNICATIONS SYSTEMS CORPORATION 10000 W. BROADWAY ANN ARBOR, MI 48106 PHONE (313) 576-1000 FAX (313) 576-1001</p>	 <p>ameco LOCAL OFFICE 5000 W. BROADWAY ANN ARBOR, MI 48106 TEL (313) 576-1000 FAX (313) 576-1001</p>	<p>PROJECT NO. 9708-12-243 (04/03)</p> <p>CONTRACTOR: INTERNATIONAL J. 592</p>	DATE OF REVISION	BY
			<p>WEST KENDALL (FS-37)</p> <p>4003 SW 140 AVENUE MIAMI, FL 33175</p> <p>SHEET NAME</p>	
<p>PROJECT NO. 9708-12-243 (04/03)</p> <p>CONTRACTOR: INTERNATIONAL J. 592</p>		<p>DATE OF REVISION</p> <p>BY</p>		<p>SHEET NUMBER</p> <p>05</p>
<p>PROJECT NO. 9708-12-243 (04/03)</p> <p>CONTRACTOR: INTERNATIONAL J. 592</p>		<p>DATE OF REVISION</p> <p>BY</p>		

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RD. 400, BOX 100
MILWAUKEE, WI 53224
TEL: (414) 654-3300
FAX: (414) 654-1700
EMPLOYEE OF INTERNATIONAL A. S.P.A.

NOT FOR CONSTRUCTION

DATE OF REVISION: 04/02/97

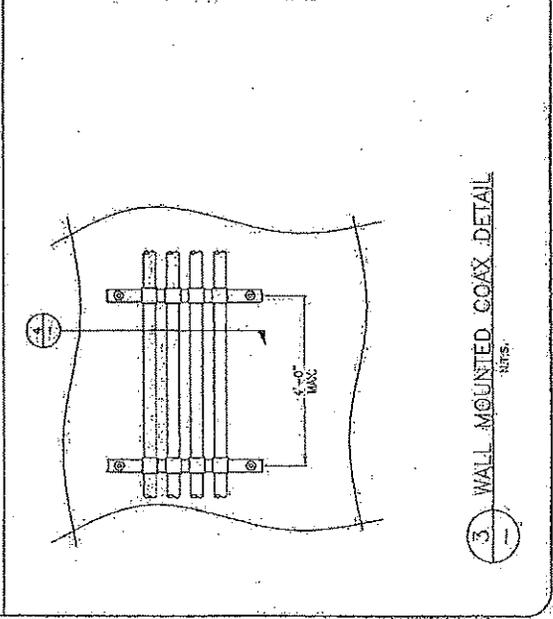
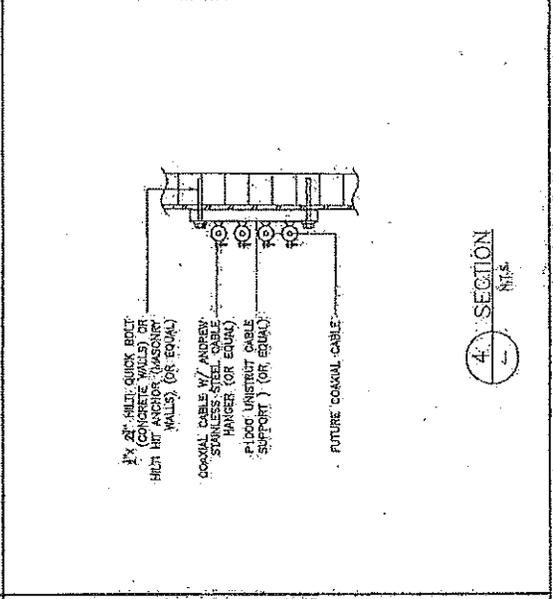
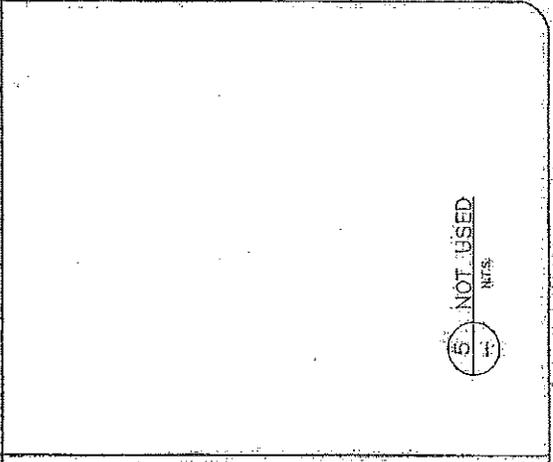
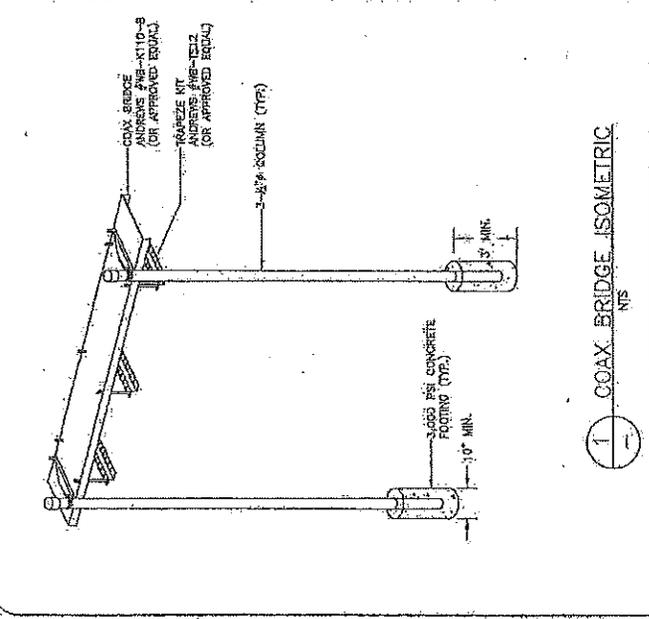
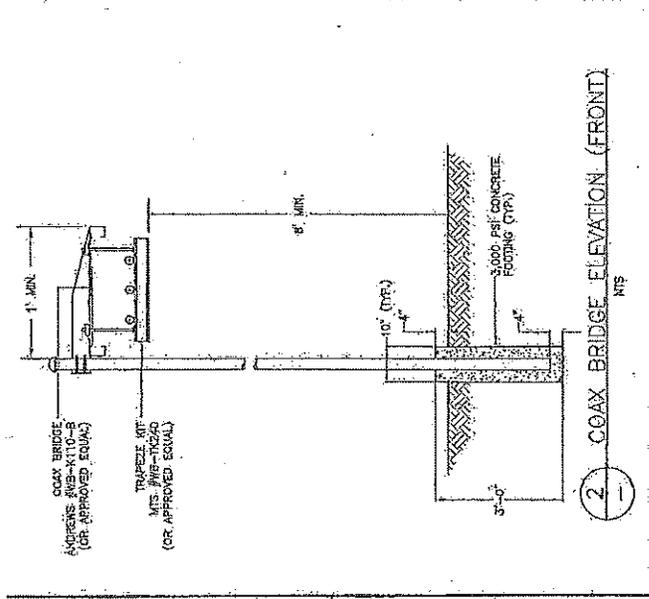
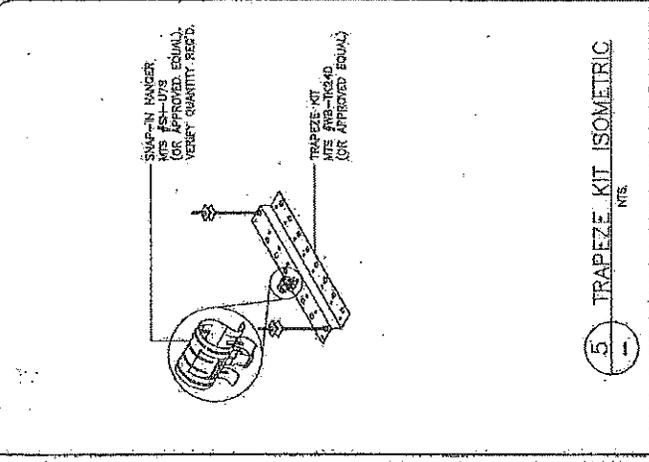
WEST KENDALL
(FS-37)

4000 SW 142 AVENUE
MIAMI, FL 33170

SHEET NAME
COAX
ROUTING
DETAILS

SHEET NUMBER
C7

PROJECT NO:	9788-12-2448 (04.98)
DATE:	
DESIGNER:	
CHECKED BY:	A. E. COOPER
REVISION:	
PROJECT:	
DATE:	
BY:	
DESCRIPTION:	
PROJECT NO:	
DATE:	
DESIGNER:	
CHECKED BY:	
REVISION:	
PROJECT:	
DATE:	
BY:	
DESCRIPTION:	





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803 1ST AVE. SUITE 200
P.O. BOX 14
P.O. BOX 234-728
MEMPHIS, TN 38102-0728

PROJECT NO. 7718-72-546 (0003)

DATE	12/22/77
REV. DATE	DESCRIPTION
DESIGNED BY	A. P. LOZANO
CHECKED BY	J. L. PEARCE
REVIEWED BY	

NOT FOR CONSTRUCTION

DATE OF STRUCTURE: 07/29/70

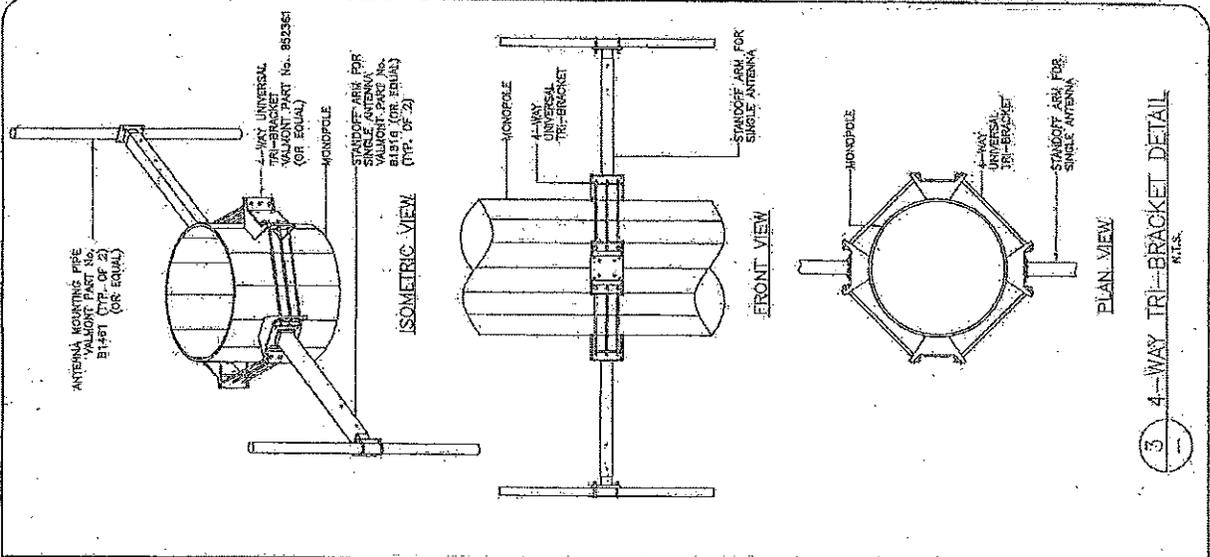
WEST KENDALL
(FS-37)

4000 W. 149 AVENUE
HALL, FL 32170

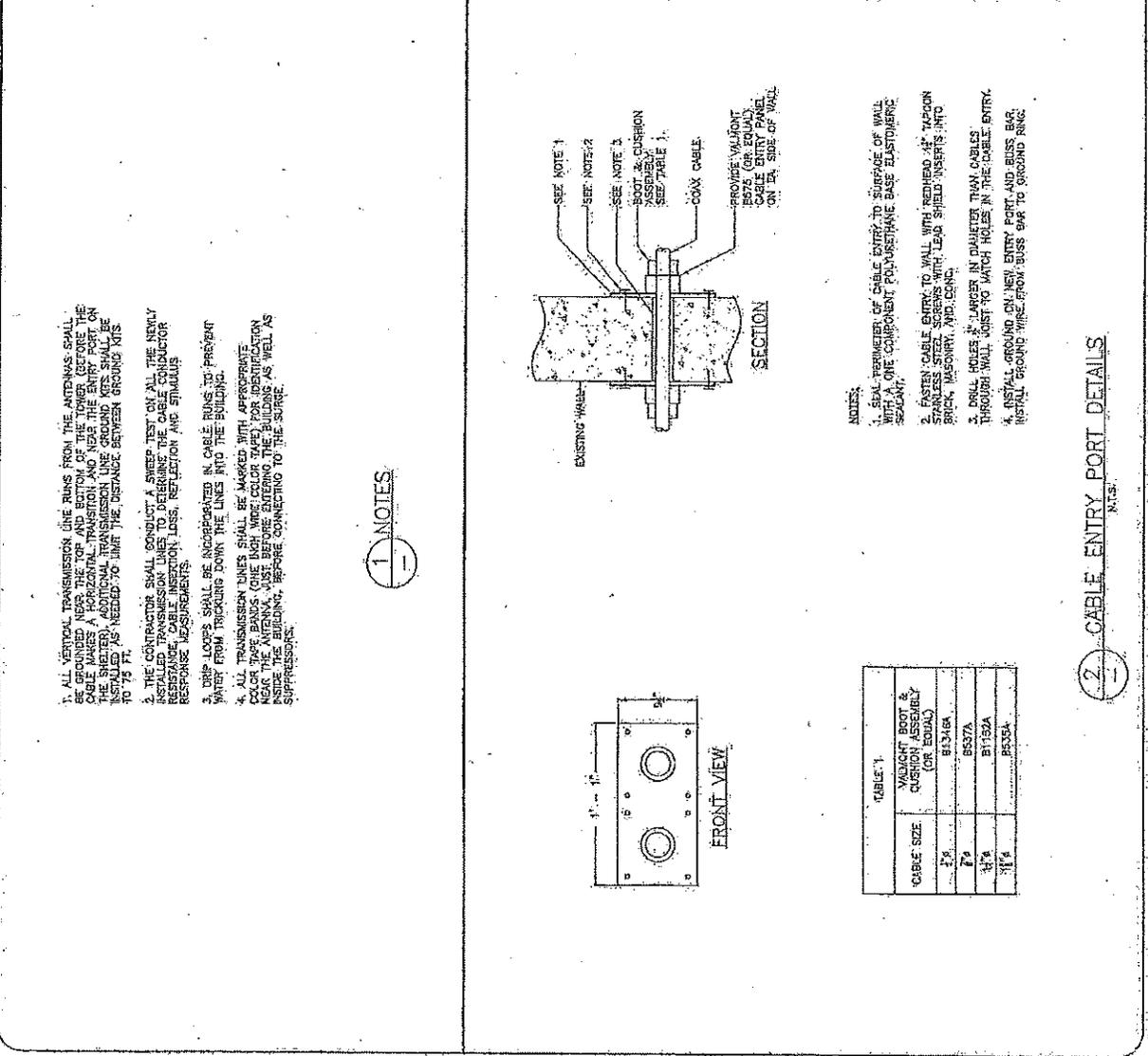
SHEET NO. 08

COAX SCHEDULE
& ANTENNA
MOUNT DETAILS

SHEET NUMBER: 08



3 4-WAY TR-BRACKET DETAIL
M.S.



THE SERVICE OF CONTRACTORS AND IN THE STATE OF ALABAMA IS PROHIBITED EXCEPT FOR USE BY THE OWNER AND BY APPLICABLE PROFESSIONAL PERSONNEL IN CONNECTION WITH THE PROJECT FOR WHICH THE SERVICE OF THE ENGINEER IS PROVIDED. CONTRACTORS SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE WORKMANSHIP OF THE OWNER.

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 1000 W. UNIVERSITY BLVD.
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 MOBILE, ALABAMA 36688
 TEL: (904) 654-1800
 FAX: (904) 654-1700
 CORPORATION OF ALABAMA
 PROJECT NO.: 8718-02-2412 (S.A.00)

DATE: 04/24/87

WEST KENDALL
 (FS-87)

4800 SW 14th AVENUE
 MIAMI, FL 33175

CABLE TRAY &
 HVAC ISOMETRIC
 DETAILS

SHEET NUMBER
 C-9

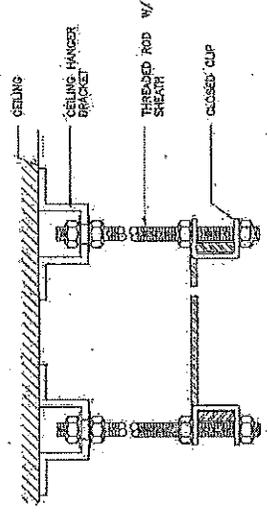
NOT FOR CONSTRUCTION

DATE OF SUBMITTALS

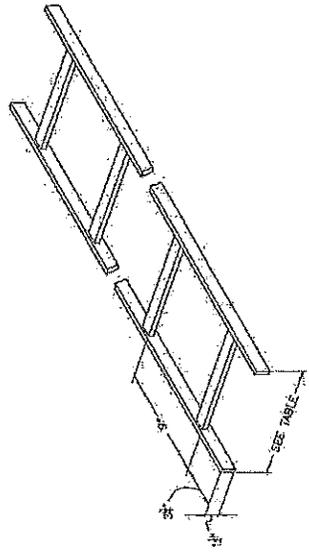
DESIGNED BY: L. E. ROYCE
 CHECKED BY: L. E. ROYCE
 DRAWN BY: A. E. LOZANO
 IN CHARGE: J. J. ROYCE
 PROJECT NO.: 8718-02-2412 (S.A.00)

PART No.	WIDTH
CR1012-0	12"
CR1018-0	18"
CR1024-0	24"

SYSTEM: WRETHOLD FELDHAUSE CR SERIES CABLE RUNWAY (OR EQUAL)

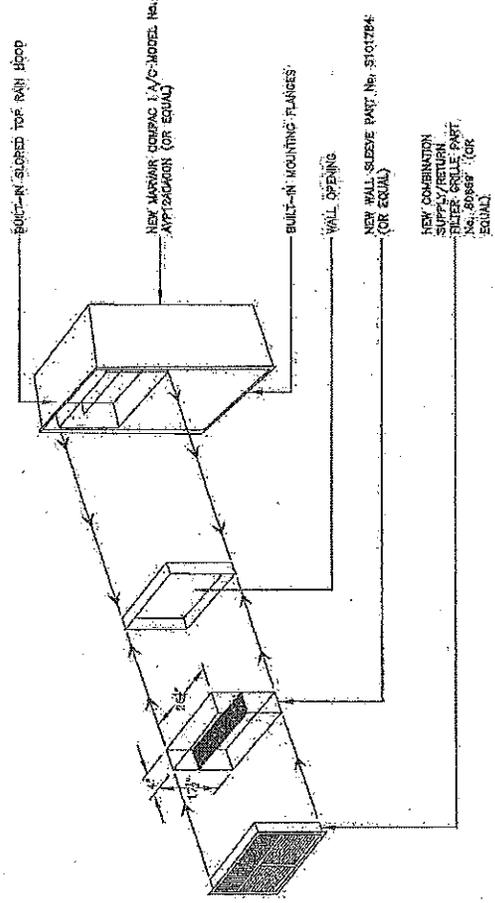


2. CABLE TRAY DETAIL
 N.T.S.



1. CABLE TRAY ISOMETRIC
 N.T.S.

- NOTES:
1. ALL EQUIPMENT SHALL BE NEW AND INSTALLED PER MANUFACTURERS' RECOMMENDATIONS.
 2. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL MATERIALS, DEVICES AND EQUIPMENT TO BE SUBMITTED TO THE OWNER AND A/E FOR REVIEW. INCLUDE ALL WIRING AND CONTROLS DIAGRAMS.
 3. ALL WORK: MATERIALS AND EQUIPMENT SHALL COMPLY WITH ALL REQUIREMENTS OF THE LATEST EDITIONS AND THEIR AMENDMENTS OF ANSI, CSA, NEMA AND ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS AND ORDINANCES. ALL MATERIALS SHALL BE UNDER THE REQUIREMENTS OF THE UNDERWRITERS' LABORATORIES (U.L.) AND BEAR THE "U.L." LABEL.
 4. THE CONTRACTOR SHALL PROVIDE AND INSTALL A COMPLETE AND FULLY FUNCTIONAL PACKAGED COOLING SYSTEM.
 5. THE CONTRACTOR SHALL INCLUDE A 15-AMP BREAKER FOR NEW AC UNIT IN EXISTING AC POWER PANEL.
 6. THE CONTRACTOR TO INSTALL A WARMUP THERMOSTAT (0071) TO MAINTAIN SPACE TEMPERATURE.



3. HVAC ISOMETRIC
 N.T.S.

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AA
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 COMMUNICATIONS
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 FAX (305) 433-4800

ameco
 LOCAL OFFICE
 2400 N.W. 10TH AVENUE, SUITE 100
 MIAMI, FL 33150
 TEL (305) 254-1500
 FAX (305) 254-1700
 CORPORATION OF AMERICA, INC. 501A
 PROJECT NO. 0788-12-2448 (04/83)

DATE	07/26/78
BY	A. E. LEWIS
DESCRIPTION	PRELIMINARY
PROJECT NO.	0788-12-2448 (04/83)
DRIVER BY	A. E. LEWIS
CHECKED BY	L. E. RICHIE
INCHES	1/4"

NOT FOR CONSTRUCTION

DATE OF SIGNATURE: 07/26/78
 WEST KENDALL
 (FS-37)
 4000 SW 142 AVENUE
 MIAMI, FL 33175
 SHEET NAME
 ELECTRICAL
 PLAN & NOTES
 SHEET NUMBER
 E1

GENERAL MANUFACTURE MARKING OR OTHER IDENTIFICATION
 1. LOCATE MANUFACTURE MARKING OR OTHER IDENTIFICATION
 MARKS ON OUTSIDE EQUIPMENT OR BOX FRONT COVERS.
 MANUFACTURE:
 2. PROVIDE MANUFACTURE MARKING WITH EQUIPMENT IDENTIFICATION
 FOR EACH SAFETY SWITCH AND ALL OTHER ELECTRICAL DEVICES, ETC.

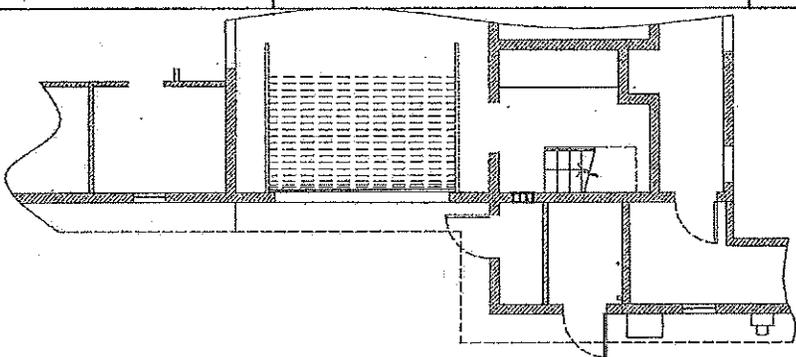
2 ELECTRICAL IDENTIFICATION

1. ALL ELECTRICAL WORK SHALL CONFORM TO THE NATIONAL ELECTRICAL CODE (EDITION ADOPTED BY LOCAL JURISDICTION) AND APPLICABLE LOCAL CODES.
2. ALL ELECTRICAL ITEMS SHALL BE U.I.L. APPROVED OR LISTED.
3. PROVIDE ALL LABOR AND MATERIAL DESCRIBED ON THIS DRAWING, AND ALL ITEMS INCIDENTAL TO COMPLETING AND PRESENTING THIS PROJECT AS FULLY OPERATIONAL.
4. THE CONTRACT DRAWINGS ARE GENERALLY DIAGRAMMATIC AND OVERSET DEVICES, FITTINGS AND ACCESSORIES ARE NOT NECESSARILY SHOWN; PROVIDE ALL SUCH ITEMS AS MAY BE REQUIRED.
5. ALL POWER WIRING SHALL BE STRANDED COPPER, TYPE THHN/THWN, AND BE DEEPEES C RATED.
6. CONTRACTOR SHALL OBTAIN ALL PERMITS, PAY PERMIT FEES AND SCHEDULE INSPECTIONS.
7. WHERE LONG POWER CABLE RUNS ARE NECESSARY, CONTRACTOR SHALL CALCULATE THE VOLTAGE DROP AND SIZE WIRES AND CONDUIT ACCORDINGLY.
8. ALL ELECTRICAL DEVICES EXPOSED TO WEATHER SHALL BE OF WEATHERPROOF CONSTRUCTION AND SHALL HAVE WATER TIGHT CONDUIT FITS.
9. GROUNDING SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE AND MOTOROLA REC.

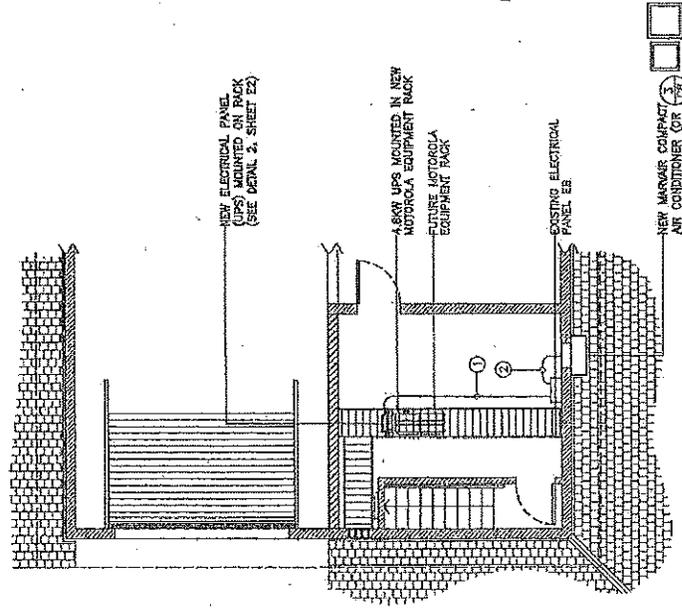
3 ELECTRICAL NOTES

- THE SCOPE OF ELECTRICAL WORK FOR THIS SITE IS AS FOLLOWS:
1. INSTALL 80 AMP FEED TO NEW RACK MOUNTED 4.0KW UPS.
 2. INSTALL TRANSPARENT VOLTAGE SURGE SUPPRESSOR (TVSS) AND MAINTENANCE DISCONNECT ON LINE AND LOAD SIDE OF EXISTING AUTOMATIC TRANSFER SWITCH.
 3. INSTALL TYS ON EXISTING PANEL 2B.
 4. GROUNDING RADIO RACK AND TOWER PER REC AND MOTOROLA REQUIREMENTS.
 5. INSTALL 15 AMP SERVICE TO NEW WALL MOUNTED 110V UNIT.

4 SCOPE OF ELECTRICAL WORK
 N.T.S.



GROUND FLOOR



- 1 PROVIDE 85/10, 14100 IN 3/4" EMT CONDUIT
- 2 PROVIDE 34/14, 14146 IN 3/4" EMT CONDUIT

1 PARTIAL MEZZANINE ELECTRICAL PLAN





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amec
LOCAL OFFICE
1000 N. ZEEB RD.
AVONDALE, IL 60486
TEL: (708) 431-3000
FAX: (708) 431-4800

PROJECT NO.: 0700-12-446 (04/01)

REV.	DATE	DESCRIPTION
1	10/27/01	PRELIMINARY
2	11/14/01	REVISED BY: L.E. PUDRE
3	11/14/01	REVISED BY:

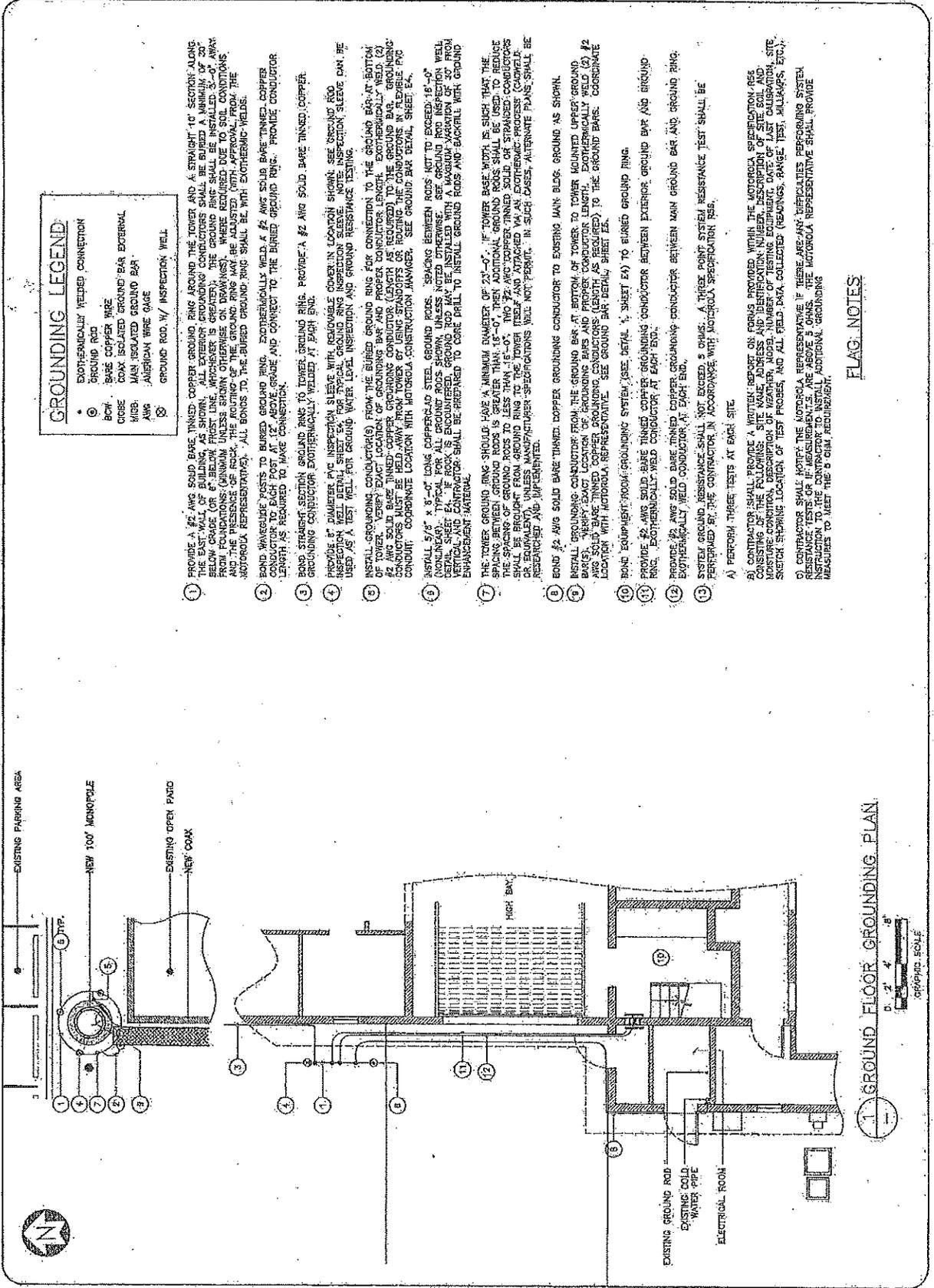
NOT FOR CONSTRUCTION

WEST KENDALL (FS-37)

4000 SW 142 AVENUE
MIAMI, FL 33176

SHEET NAME: GROUNDING PLAN

& NOTES: E3



GROUNDING LEGEND

- EXOTHERMICALLY WELDED CONNECTION
- ⊙ GROUND ROD
- ⊙ BASE COPPER WIRE
- ⊙ COAX ISOLATED GROUND BAR
- ⊙ MAIN ISOLATED GROUND BAR
- ⊙ AMERICAN WIRE GAGE
- ⊙ GROUND ROD 1/2" INSPECTION WELL

- 1 PROVIDE A #2 AWG SOLID BASE THINNED COPPER GROUND RING AROUND THE TOWER AND A STRAIGHT 10' SECTION ALONG THE EAST WALL OF BUILDING, AS SHOWN. ALL EXTERIOR GROUNDING CONDUCTORS SHALL BE BURIED A MINIMUM OF 20" BELOW GRADE (OR THROUGH FLOOR SLAB, WHEREVER IS APPLICABLE). THE GROUND RING SHALL BE INSTALLED 18"-20" AWAY FROM THE EXTERIOR WALLS AND THE PRESSURE OF SOILS. THE ROUTING OF THE GROUND RING MAY BE ADJUSTED WITH APPROVAL FROM THE MOTOROLA REPRESENTATIVE. ALL BONDS TO THE BURIED GROUND RING SHALL BE WITH EXOTHERMIC WELDS.
 - 2 BOND WAREHOUSE TESTS TO BURIED GROUND RING. EXOTHERMICALLY WELD A #2 AWG SOLID BASE THINNED COPPER LEAD TO EACH TEST POINT. COMPLETE GROUNDE AND CONNECT TO THE BURIED GROUND RING. PROVIDE CONDUCTOR LEADERS AS REQUIRED TO MAKE CONNECTIONS.
 - 3 BOND STRAIGHT SECTION GROUND RING TO TOWER GROUND RING. PROVIDE A #2 AWG SOLID BASE THINNED COPPER GROUNDING CONDUCTOR EXOTHERMICALLY WELDED AT EACH END.
 - 4 PROVIDE 1/2" DIAMETER PVC INSPECTION SLEEVE WITH REMOVABLE COVER IN LOCATION SHOWN. SEE GROUND ROD INSPECTION WELL DETAIL SHEET EA. FOR TYPICAL GROUND RING INSPECTION SLEEVE. NOTE: INSPECTION SLEEVE CAN BE USED AS A TEST WELL FOR GROUND WATER LEVEL INSPECTION AND GROUND RESISTANCE TESTING.
 - 5 INSTALL GROUNDING CONDUCTORS FROM THE BURIED GROUND RING FOR CONNECTION TO THE GROUND BAR-IT-BOTTOM OF TOWER. VERIFY EXACT LOCATION OF GROUNDING BAR AND PROPER CONDUCTOR LENGTH. EXOTHERMICALLY WELD (2) #2 AWG SOLID BASE THINNED COPPER GROUNDING CONDUCTORS (LENGTH AS REQUIRED) TO THE GROUND BAR. GROUNDING CONDUCTORS MUST BE HELD AWAY FROM TOWER BY USING STANDOFFS OR ROUTING THE CONDUCTORS IN FLEXIBLE PVC CONDUIT. COORDINATE LOCATION WITH MOTOROLA CONSTRUCTION MANAGER. SEE GROUND BAR DETAIL SHEET EA.
 - 6 INSTALL 5/8" x 8'-0" LONG COPPER-ALLOY STEEL GROUND RODS. SPACING BETWEEN RODS: NOT TO EXCEED 18'-0" (NON-UNIFORM). TYPICAL FOR ALL GROUND RODS SHOWN, UNLESS NOTED OTHERWISE. SEE GROUND ROD INSPECTION WELL DETAIL SHEET EA. IF ROCK IS ENCOUNTERED, GROUND ROD MAY BE INSTALLED WITH A MAXIMUM VARIATION OF 30" FROM VERTICAL. AND CONTRACTOR SHALL BE PREPARED TO CORE DRILL TO INSTALL GROUND RODS AND BACKFILL WITH GROUND ENHANCEMENT MATERIAL.
 - 7 THE TOWER GROUND RING SHOULD HAVE A MINIMUM DIAMETER OF 23'-0". IF TOWER BASE WIDTH IS SUCH THAT THE SPACING BETWEEN GROUND RODS IS GREATER THAN 18'-0", THEN ADDITIONAL GROUND RODS SHALL BE USED TO REDUCE THE SPACING OF GROUND RODS TO LESS THAN 18'-0". TWO #2 AWG COPPER-TINNED SOLID OR STRANDED CONDUCTORS SHALL BE USED FOR EACH GROUND ROD. THE TOWER TIE-BARS ATTACHED TO EACH OTHER THROUGH PIPES (CONCRETE OR STEEL) SHALL BE RESEARCHED AND IMPLEMENTED.
 - 8 BOND #2 AWG SOLID BASE THINNED COPPER GROUNDING CONDUCTOR TO EXISTING MAIN BLDG. GROUND AS SHOWN.
 - 9 INSTALL GROUNDING CONDUCTOR FROM THE GROUND BAR AT BOTTOM OF TOWER TO TOWER MOUNTED UPPER GROUND BARS. VERIFY EXACT LOCATION OF GROUNDING BARS AND PROPER CONDUCTOR LENGTH. EXOTHERMICALLY WELD (2) #2 AWG SOLID BASE THINNED COPPER GROUNDING CONDUCTORS (LENGTH AS REQUIRED) TO THE GROUND BARS. COORDINATE LOCATION WITH MOTOROLA REPRESENTATIVE. SEE GROUND BAR DETAIL SHEET EA.
 - 10 BOND EQUIPMENT ROOM GROUNDING SYSTEM (SEE DETAIL 1, SHEET EA) TO BURIED GROUND RING.
 - 11 PROVIDE #2 AWG SOLID BASE THINNED COPPER GROUNDING CONDUCTOR BETWEEN MAIN GROUND BAR AND GROUND RING. EXOTHERMICALLY WELD CONDUCTOR AT EACH END.
 - 12 PROVIDE #2 AWG SOLID BASE THINNED COPPER GROUNDING CONDUCTOR BETWEEN MAIN GROUND BAR AND GROUND RING. EXOTHERMICALLY WELD CONDUCTOR AT EACH END.
 - 13 SYSTEM GROUND RESISTANCE SHALL NOT EXCEED 5 OHMS. A THREE POINT SYSTEM RESISTANCE TEST SHALL BE PERFORMED BY THE CONTRACTOR, IN ACCORDANCE WITH MOTOROLA SPECIFICATION 15A.
- A) PERFORM THREE TESTS AT EACH SITE.
- B) CONTRACTOR SHALL PROVIDE A WRITTEN REPORT ON FORMS PROVIDED WITH THE MOTOROLA SPECIFICATION 15A. THE REPORT SHALL INCLUDE: DATE OF TEST, NUMBER OF TESTS, NUMBER OF TESTING EQUIPMENT, DATE OF LAST CALIBRATION, SITE SKETCH SHOWING LOCATION OF TEST POINTS, AND ALL FIELD DATA COLLECTED (READINGS, RANGE, TEST, MULLERS, ETC.).
- C) CONTRACTOR SHALL NOTIFY THE MOTOROLA REPRESENTATIVE IF THERE ARE ANY DIFFICULTIES PERFORMING SYSTEM RESISTANCE TESTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MOTOROLA REPRESENTATIVE SHALL PROVIDE INSTRUCTION TO THE CONTRACTOR TO INSTALL ADDITIONAL GROUNDING MEASURES TO MEET THE 5 OHM REQUIREMENT.

FLAG NOTES

1 GROUND FLOOR GROUNDING PLAN
0' 2' 4' 8'
GRAPHIC SCALE

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NOT FOR CONSTRUCTION

WEST KENDALL (FS-37)

DATE OF REVISION: 5/2/2004

DESIGNED BY: J.E. PURVIS

CHECKED BY: J.E. PURVIS

PROJECT NO.: 0188-12-2443 (04/03)

COMPANY OF AMERICANS J. 0022

anec

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1400 W. 10TH ST.
MARIETTA, GA 30067
PHONE: (770) 572-0347
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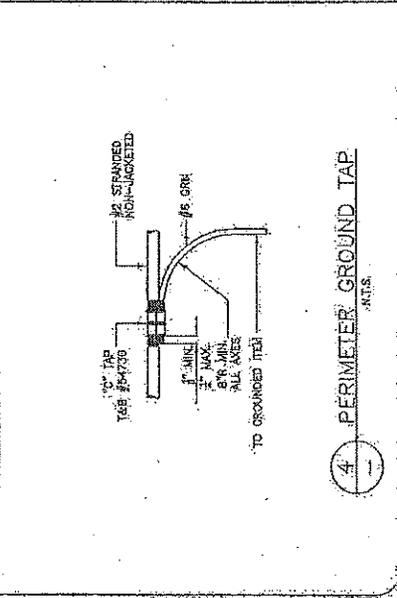
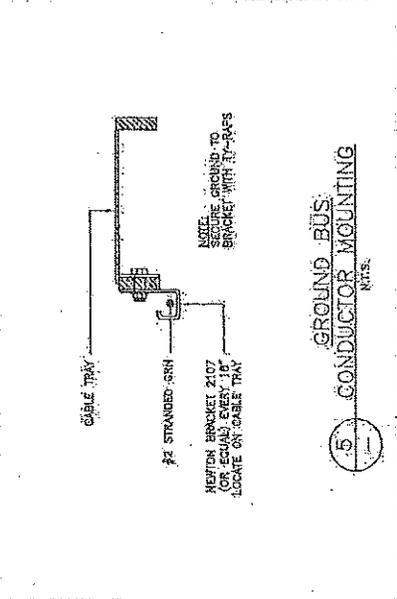
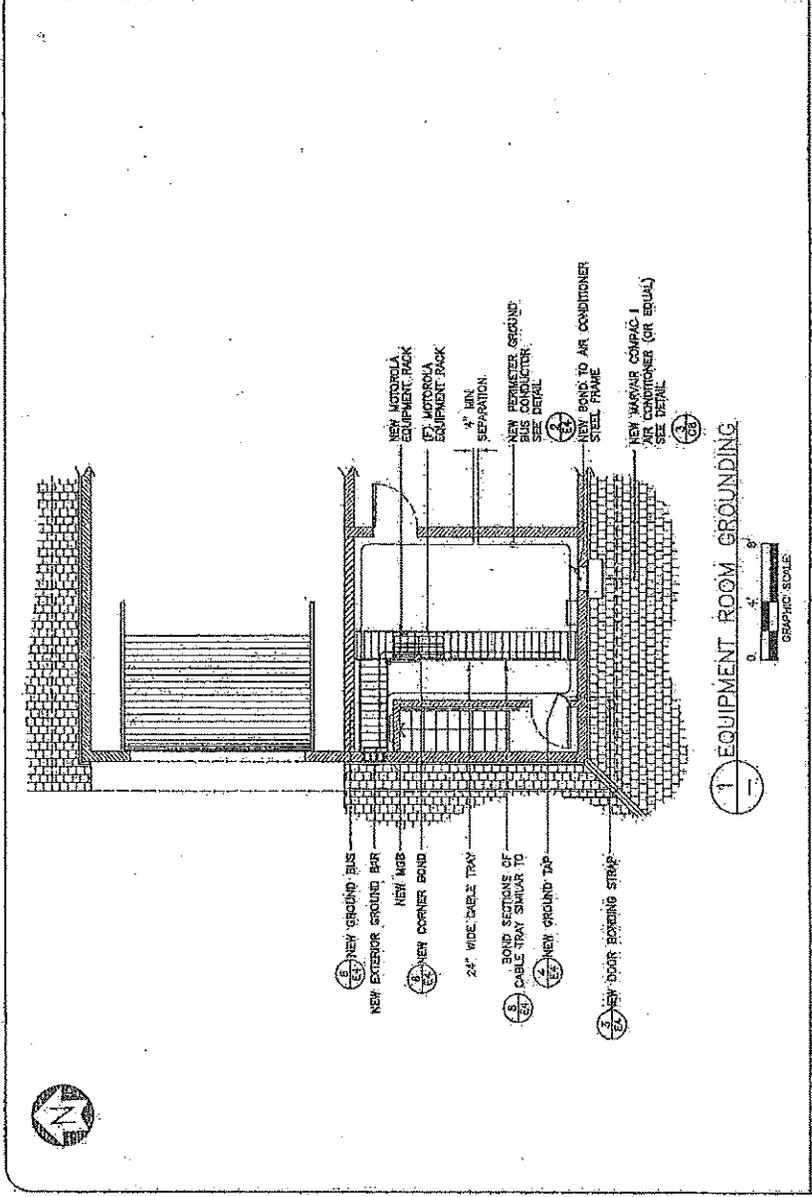
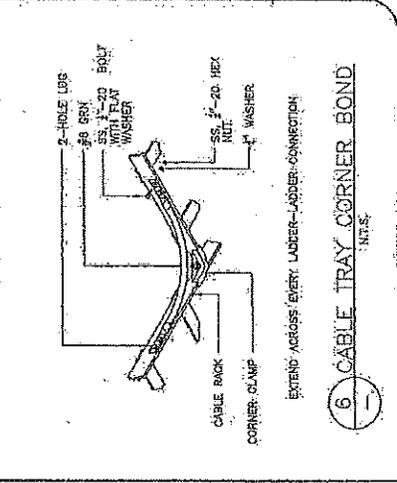
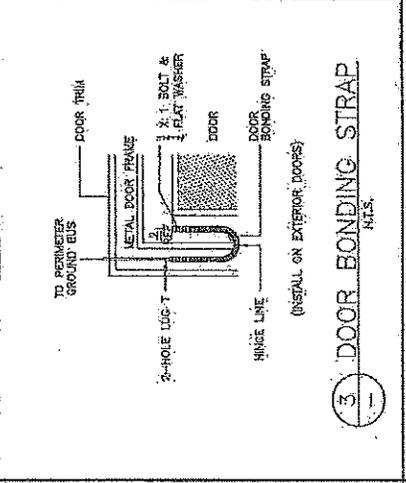
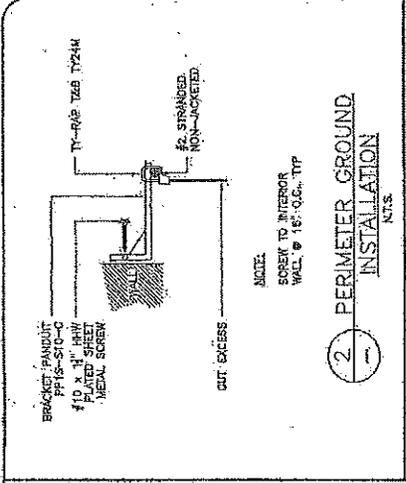
MOTOROLA
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1400 W. 10TH ST.
MARIETTA, GA 30067
PHONE: (770) 572-0347
FAX: (770) 572-3460

PROJECT NAME: EQUIPMENT ROOM GROUNDING & DETAILS

DATE: 5/2/2004

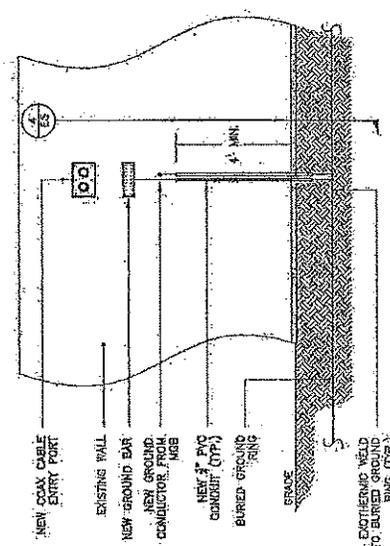
BY: J.E. PURVIS

SCALE: E4

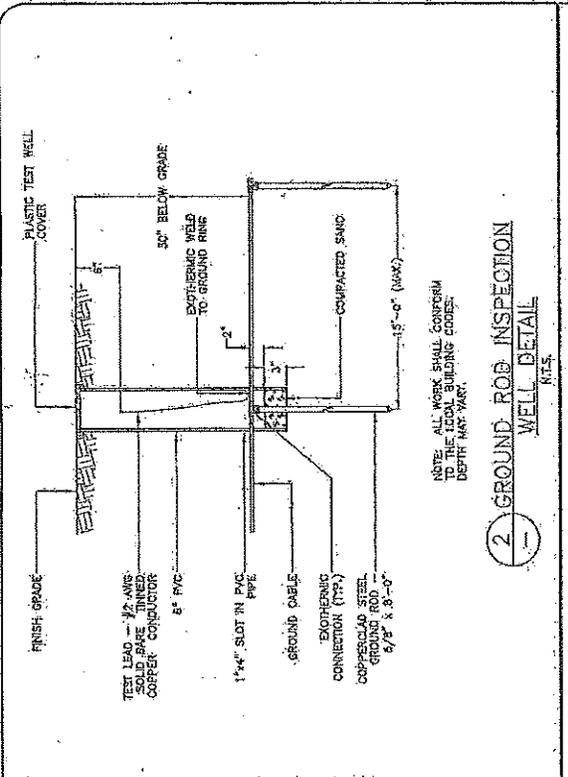


1. ALL GROUNDING CABLE IN CONCRETE OR THROUGH WALL SHALL BE IN 3/4" PVC CONDUIT. NO METALLIC CONDUIT SHALL BE USED FOR GROUNDING CONDUCTOR SLEEVES.
2. THE CONTRACTOR SHALL NOTIFY THE MOTOROLA REPRESENTATIVE WHEN THE GROUND RING IS INSTALLED SO THAT THE REPRESENTATIVE CAN INSPECT GROUND RING BEFORE IT IS CONCRETED.
3. ALL EXTERIOR GROUNDING CONDUCTORS INCLUDING GROUND RING SHALL BE #2 AWG SOLID BARE TINNED COPPER. MAKE ALL GROUND CONNECTIONS AS SHORT AND DIRECT AS POSSIBLE. AVOID SHARP BENDS. THE RADIUS OF ANY BEND SHALL NOT BE LESS THAN 8" AND THE INCLUSIVE ANGLE OF ANY BEND SHALL NOT EXCEED 90°. GROUNDING CONDUCTORS SHALL BE ROUTED DOWNWARD TOWARD THE BURIED GROUND RING.
4. ALL BELOW GROUND EXTERNAL CONNECTIONS SHALL BE ELECTRICALLY WELDED. ALL EXOTHERMIC WELDS TO BURIED GROUND RING SHALL BE THE PARALLEL-STEEL EXCEPT FOR THE GROUND RODS WHICH ARE TEE-TYPE EXOTHERMIC WELDS. REPAIR ALL GALVANIZED SURFACES THAT HAVE BEEN DAMAGED BY EXOTHERMIC WELDING. USE SPRAY GALVANIZED SUCH AS POLITELECTROL #18-501.
5. WHERE USE OF PARALLEL-STEEL CONNECTIONS (NUT-BLOCKS OR CLAMPS) ARE USED, APPLY A USERRAL PROTECTIVE COATING OF A CONDUCTIVE ANTI-CORROSION COMPOUND ON ALL CONNECTIONS. PROVIDE LOCK WASHERS ON ALL MECHANICAL CONNECTIONS. USE STAINLESS STEEL HARDWARE THROUGHOUT. THOROUGHLY REMOVE ALL PAINT AND CLEAN ALL DIRT FROM SURFACES REQUIRING GROUND CONNECTIONS. REPAIR TO MATCH EXISTING AFTER CONNECTION IS MADE TO MAINTAIN CORROSION RESISTANCE. ALL GROUND CONNECTIONS SHALL BE APPROVED FOR THE TYPES OF METALS BEING ATTACHED TO.
6. A RESISTANCE TO GROUND OF (8) OHMS OR LESS IS REQUIRED FOR ALL MOTOROLA SITES. THE CONTRACTOR SHOULD RETAIN HIS DVM "TESTER" AT HIS OWN EXPENSE. IN ADDITION, A THIRD PARTY SHOULD BE HIRED TO OBTAIN DEEPER AND SWEEP RESULTS ON ALL SITES INCLUDING 10' DEEP TESTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESENT AND FUTURE FIELD VERIFICATION. REFER TO THE MOTOROLA SITES SPECIFICATION FOR MESSOR TESTING PROCEDURES. IF THE FINAL GROUNDING RESISTANCE MEASUREMENT EXCEEDS 5 (FIVE) OHMS, THE CONTRACTOR SHALL NOTIFY THE MOTOROLA REPRESENTATIVE.
7. ALL MOUNTING HARDWARE SHALL BE STAINLESS STEEL.
8. THE GROUND WIRES SHALL BE RUN STRAIGHT FOR MINIMUM INDUCTANCE AND VOLTAGE DROP. SINCE CABLE BENDS INCREASE INDUCTANCE, THE MINIMUM REQUIRED BENDING RADIUS IS 8 INCHES WHEN BENDS ARE UNAVOIDABLE. ALL METAL WORK WITHIN 10 FEET OF BURIED GROUND RING SHALL BE DIRECTLY BONDED TO THE GROUND SYSTEM, WITHOUT USING BARRIERS OR BAST COAX CONNECTION ARRANGEMENTS.
9. PAINT, ENAMEL, LACQUER AND OTHER ELECTRICALLY NON-CONDUCTIVE COATINGS SHALL BE REMOVED FROM THREADS AND SURFACE AREAS WHERE CONNECTIONS ARE MADE TO ENSURE GOOD ELECTRICAL CONTACT.
10. CONNECTIONS BETWEEN DISSIMILAR METALS SHALL NOT BE MADE UNLESS THE CONDUCTORS ARE SEPARATED BY A SUITABLE MATERIAL. THAT IS A PART OF THE ATTACHMENT DEVICE. ONLY ATTACHMENT DEVICES LISTED AND APPROVED FOR USE WITH THE SPECIFIC DISSIMILAR METALS MAY BE USED FOR THIS PURPOSE.
11. ALL BELOW GRADE GROUND-SYSTEM CONDUCTORS SHALL BE A MINIMUM DEPTH OF 30" (OR 6" BELOW THE FROST LINE, WHICHEVER IS GREATER).

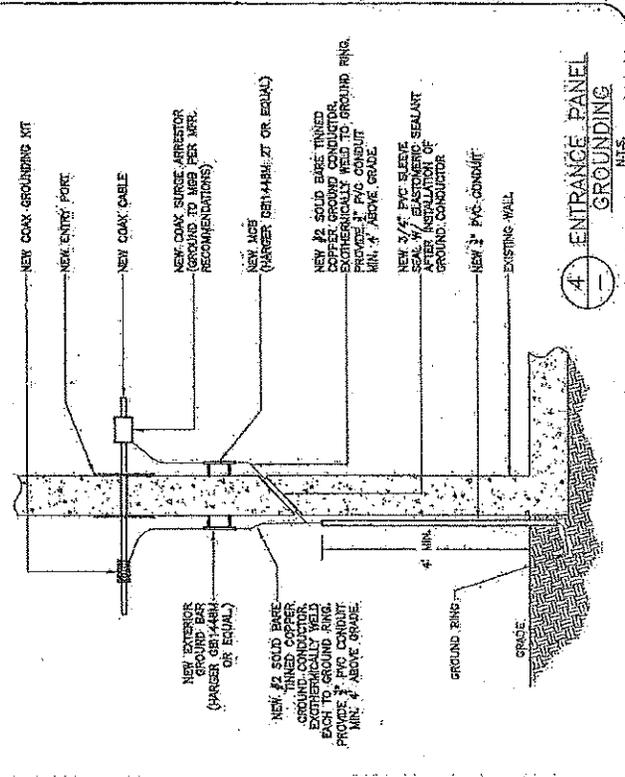
1 GENERAL GROUNDING NOTES



1 BUILDING WALL GROUNDING DETAIL
K.T.S.



2 GROUND ROD INSPECTION WELL DETAIL
K.T.S.



3 ENTRANCE PANEL GROUNDING
K.T.S.

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PROJECT NO. 4080-12-240 (04-80)

DATE	12/22/84
DESIGNER	PRELIMINARY
BY	PLANNING
DATE	12/22/84
DESIGNER	PLANNING
BY	X C EDWARDS
DATE	1/1/85
DESIGNER	PLANNING
BY	U.E. PUGH
DATE	1/1/85

NOT FOR CONSTRUCTION

DATE OF REVISION: 04/27/85

WEST KENDALL
(FS-37)

4200 SW 146 AVENUE
MIAMI, FL 33174

SHEET NAME
GROUNDING
DETAILS

SHEET NUMBER
E5

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Raleigh, NC 27609
TEL (919) 872-3988
FAX (919) 872-1194

PROJECT No. 8768-12-21-03 (11-03)

DATE	12/21/03
BY	W. J. BROWN
CHECKED BY	L. E. FURKE
ISSUED BY	
DESCRIPTION	

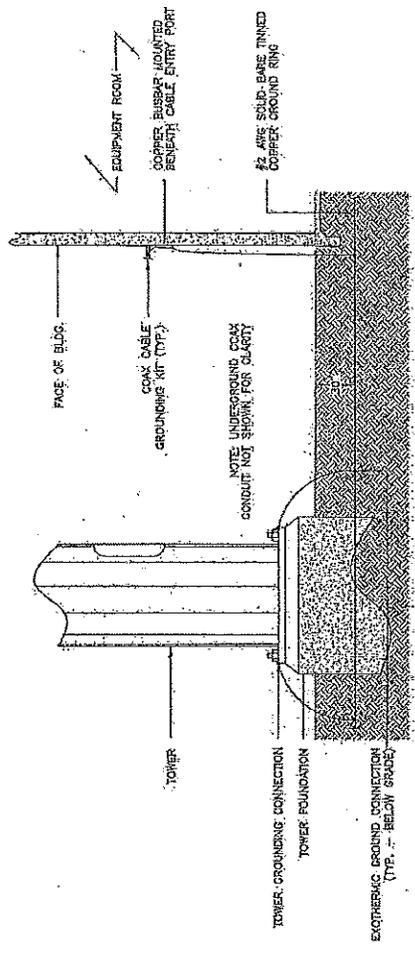
WEST KENDALL
(FS-37)

4800 SW 44th AVENUE
MIAMI, FL 33175
SHEET NAME

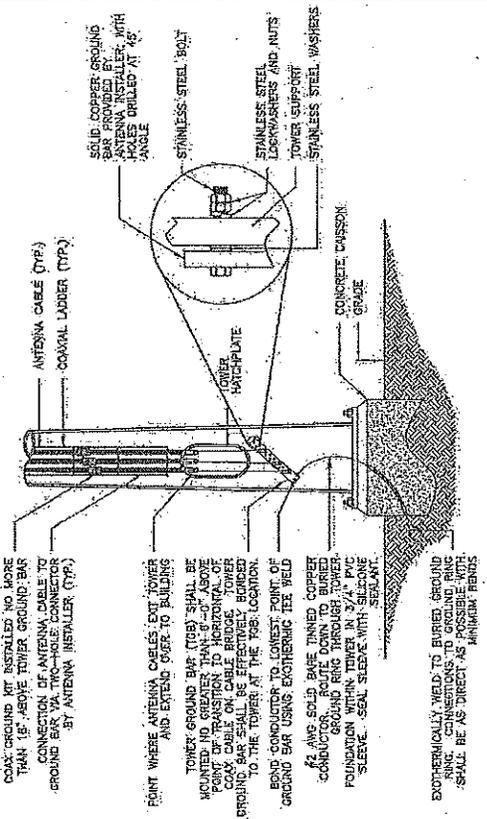
GROUNDING
DETAILS

SHEET NUMBER
E6

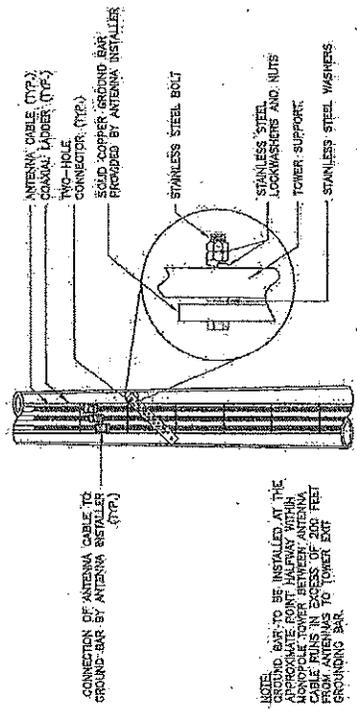
NOT FOR CONSTRUCTION



1. TOWER GROUNDING DETAIL
N.T.S.



2. TOWER BOTTOM GROUND BAR DETAIL
N.T.S.



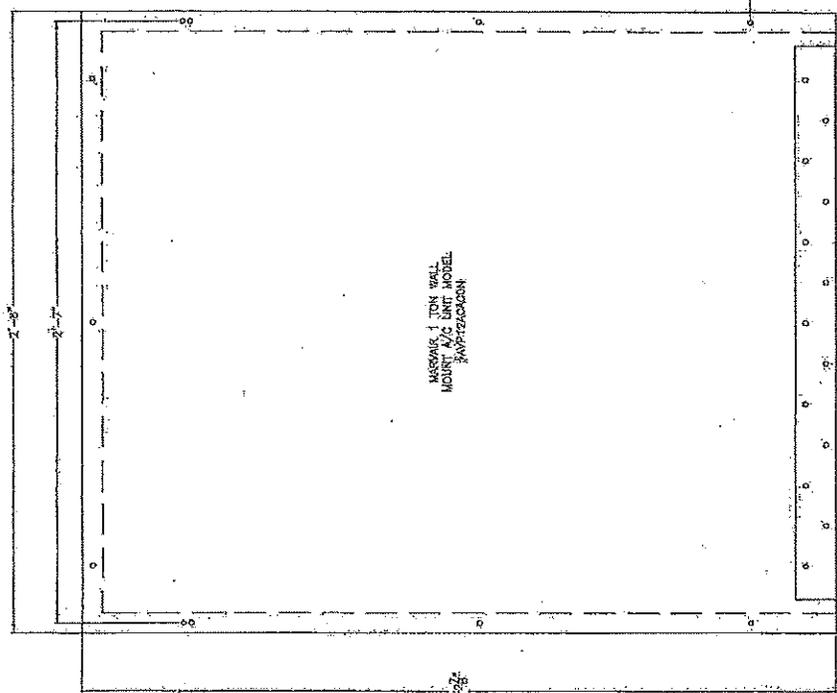
3. MID/TOP GROUND BAR DETAIL
N.T.S.


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 MESA, ARIZONA 85201
 TEL: (602) 833-3333
 FAX: (602) 833-1753
 DIVISION OF ARCHITECTURE A. 5022
 PROJECT NO.: 8745-12-414 (0418)

NOT FOR CONSTRUCTION

SHEET NAME: WEST KENDALL (FS-37)
 SHEET NUMBER: 4000 SW 142 AVENUE MIAMI, FL 33175
 DETAILS: HVAC
 PROJECT NUMBER: M1



MANUFACTURER SUPPLIED: MOUNTING HARDWARE W/ PRE-DRILLED HOLES (TYP.)

3 MOUNTING DETAIL

NOTE: USE 1/2" X 1/4" X 1/2" TUBULAR FASTENERS WITH NUTS. USE 1/2" X 1/4" X 1/2" TUBULAR FASTENERS WITH NUTS REQUIRED. USE MINIMUM OF 16 BRACKETS DISPERSED EVENLY AROUND AIR-CONDITIONING UNIT.

1. PROVIDE ALL LABOR, PERMITS, MATERIALS, TOOLS, SUPPLIES, EQUIPMENT TO INSTALL, COMPLETE AND OPERATE AIR-CONDITIONING SYSTEM. INSTALLATION SHALL BE IN ACCORDANCE WITH LOCAL CODES.
2. PROVIDE ONE EXTENDED WALL MOUNTED AIR-CONDITIONING UNIT AS SCHEDULED BELOW. UNIT SHALL BE MOUNTED TO WALL. SEE THIS SHEET FOR INSTALLATION. NO DUCTWORK IS INSTALLED FOR THIS UNIT.
3. PROVIDE & INSTALL ALL THERMOSTATS AS ACCEPTABLE TO MANUFACTURER.
4. BRACKETS FOR WALL MOUNTED AIR-CONDITIONING UNITS MEETS ASSE 7-10 WIND LOAD REQUIREMENTS.
5. THIS IS AN UNOCCUPIED SPACE WITH OCCASIONAL SERVICE PERSONNEL.
6. MANUFACTURER SHALL PROVIDE SUPPLY AIR REGISTER AND RETURN AIR GRILLE FOR EACH UNIT.
7. CONTRACTOR SHALL VERIFY MASONRY WALL OPENING SIZES FOR SUPPLY AND RETURN AIR GRILLES PRIOR TO CONSTRUCTION.

1 GENERAL A/C NOTES

MANUFACTURER: MARKWAIR
 MODEL: 3A1P1234567890
 SUPPLY CFM: 420
 C.A. CFM: 100
 EXT. STATIC PRESSURE: 0.2 NO DUCTWORK
 HEAT XW: 0.0
 REFRIGERANT: R-134a
 VOLTAGE: 230/208 - SINGLE PHASE
 SYSTEM: 9000 BTU CONDENSER & 8000 BTU EVAP. ENT. AIR
 TOTAL FRICTION: 0.1200
 TOTAL SEASONABLE SPAH: 5,180
 SEER: 11.0
 120 LEA

AIR BALANCE	
SUPPLY	420
RETURN	320
OUTSIDE AIR	100
TOTAL	420 420

- NOTES
- UNOCCUPIED COMMUNICATIONS ROOM.
 - ROOM NOT DESIGNED FOR HUMAN OCCUPANCY. EQUIPMENT ROOM ONLY.

2 1 TON UNIT SCHEDULE

