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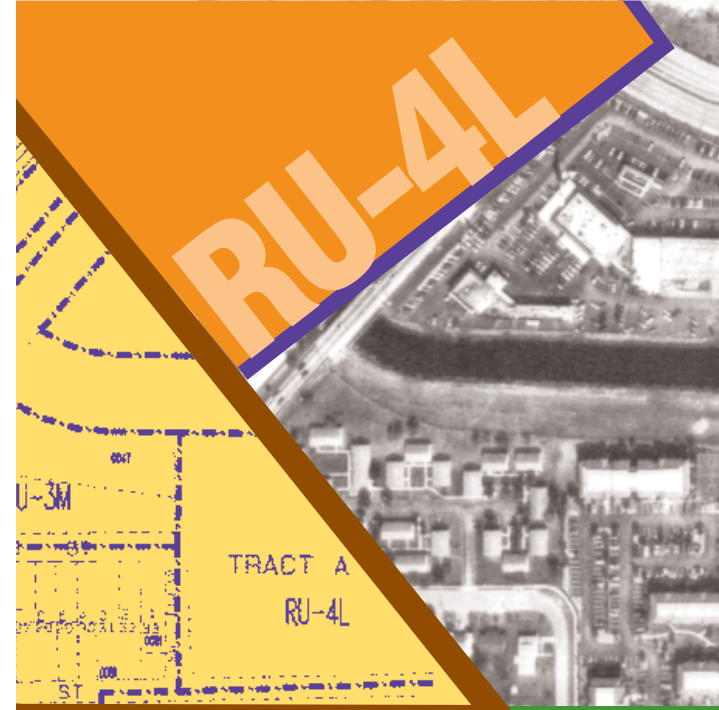
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Miami-Dade County provides equal access and equal opportunity in employment and services and does not discriminate on the basis of disability. "It is the policy of Miami-Dade County to comply with all of the requirements of the Americans with Disabilities Act."

Miami-Dade County
Department of Planning & Zoning
111 N.W. 1st Street
Miami, FL 33128-1974
01/2009



ZONING INFORMATION

Limited Apartment House District

- Swimming Pools
- Sheds
- Carports
- Uses permitted in the RU-1, RU-1M(a), RU-1M(b), RU-2, RU-3 and RU-TH Districts

A Public Information
Service of Miami-Dade County
Department of Planning and Zoning

111 N.W. 1st Street, Miami, FL 33128-1974
Monday-Friday, 8am-5pm, 305-375-1808

Questions AND ANSWERS

What is Zoning?

Zoning controls the use and development of land and buildings for the health, welfare and safety of the community.

What is Setback?

A setback is the required minimum horizontal distance between the front, sides, and rear of the lot to the building.

What is Lot Coverage?

It is the percentage of the overall area of the site that the building occupies (building area under roof at ground level/total lot area = lot coverage percentage).

Does my shed have to comply with any regulations?

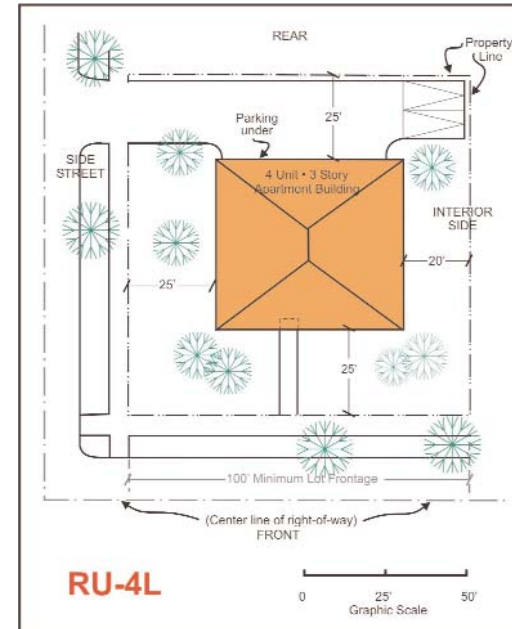
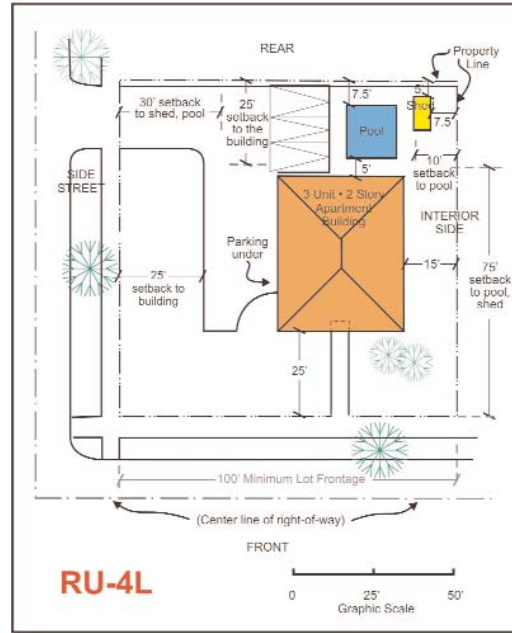
Yes, all structures must comply with setback requirements and sheds must meet accessory use setbacks and rear lot coverage requirements.

What is an Easement?

An easement grants access to private property for utility installation and maintenance. No structure, fence or tree may be placed in an easement without the written consent of all utility companies that have the right to access an easement. Your survey will show all easements that are located on your property.

The regulations contained herein are general in nature and are subject to change as deemed necessary by the Board of County Commissioners. It is advisable to contact Department of Planning and Zoning, Information Center at (305) 375-1808 to ascertain whether more restrictive regulations may apply to specific developments.

Typical SITE PLAN



General INFORMATION

Maximum Lot Coverage

Maximum lot coverage shall be 30% of net lot area.

Minimum Lot Area, Frontage

Minimum area of land shall be 10,000 square feet, having a minimum frontage of 100 feet.

Maximum Number of Units (Density)

The maximum number of dwelling units shall be determined on the basis of a total of twenty three (23) dwelling units per net acre.

Building Height, No. of Stories, Floor Area Ratio (FAR) and Open Space

The maximum height of any structure in this district shall be 6 stories and shall not exceed 75 feet in height. See Section 33-207.2(B)(5) of the Miami-Dade County Zoning Code for additional information concerning (FAR) requirements. Open space shall be provided on the basis of 25% for structures not exceeding 4 stories; 35% for structure over 4 stories.

Landscaping and trees required shall be provided as per Chapter 18A of the Miami-Dade County Code.

Principal Building Setbacks

Front	25'	Rear	25'
Interior side	15' (structures no more than 2 stories)	Front	75'
Side Street	25'	Rear	5'
Rear	5'	Interior side	7.5'
Side street	30'	Between Buildings	30'

Fences, Walls and Hedges

Maximum height 6 feet.*

* In certain instances, the height may be limited to 2.5' for visibility at intersections.