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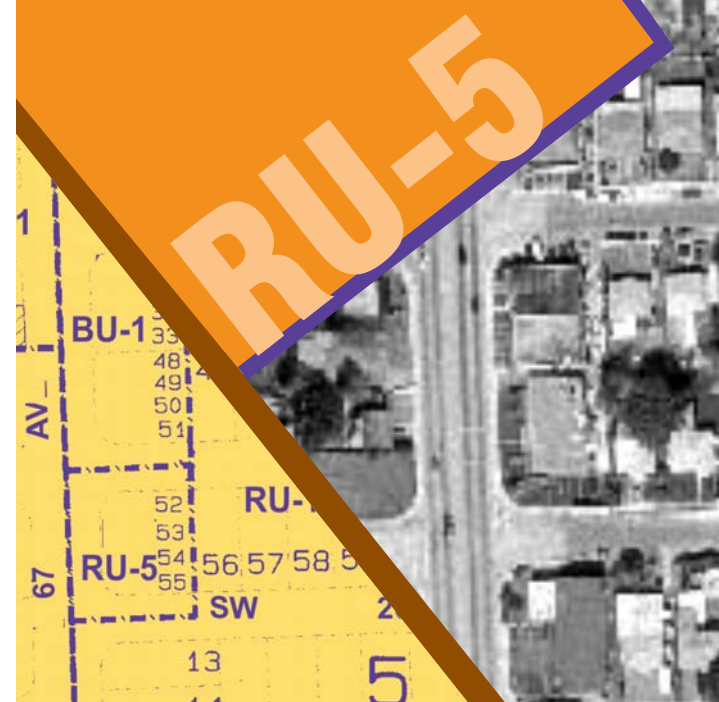
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Miami-Dade County provides equal access and equal opportunity in employment and services and does not discriminate on the basis of disability. "It is the policy of Miami-Dade County to comply with all of the requirements of the Americans with Disabilities Act."

Miami-Dade County
Department of Planning & Zoning
111 N.W. 1st Street
Miami, FL 33128-1974
01/2009



ZONING INFORMATION

Residential-Semi-Professional Office District

This zoning district permits
Semi-Professional Office

- After School care facility and those uses permitted in the RU-3 and RU-2 districts
- Day Nursery
- Kindergarten

A Public Information
Service of Miami-Dade County
Department of Planning and Zoning

111 N.W. 1st Street, Miami, FL 33128-1974
Monday-Friday, 8am-5pm, 305-375-1808

Questions AND ANSWERS

What is Zoning?

Zoning controls the use and development of land and buildings for the health, welfare and safety of the community.

What is Setback?

A setback is the required minimum horizontal distance between the front, sides, and rear of the lot to the building.

What is Lot Coverage?

It is the percentage of the overall area of the site that the building occupies (building area under roof at ground level/total lot area = lot coverage percentage).

Can I have a retail use in the RU-5 district?

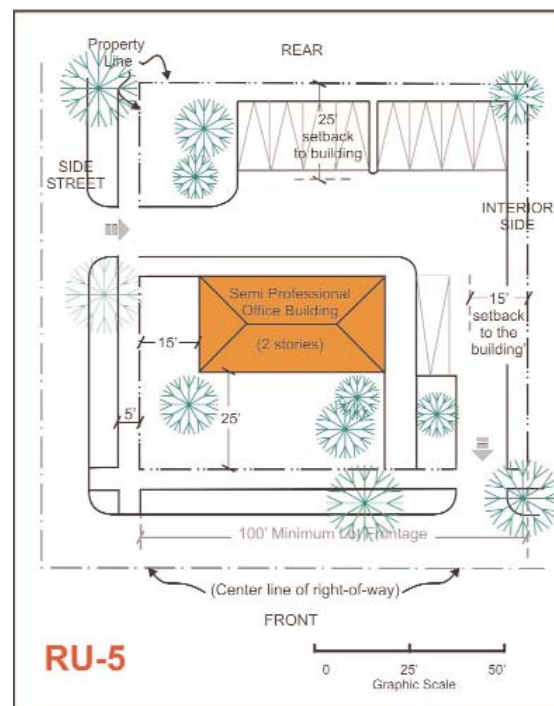
No, only semi-professional office uses such as an accounting office or a doctor's office are permitted in this district. See Section 33-223.1 of Miami-Dade County Zoning Code for specific uses permitted.

Can I operate an office in conjunction with a single family residence?

Yes, see Section 33-223.5(d).

The regulations contained herein are general in nature and are subject to change as deemed necessary by the Board of County Commissioners. It is advisable to contact Department of Planning and Zoning, Information Center at (305) 375-1808 to ascertain whether more restrictive regulations may apply to specific developments.

Typical SITE PLAN



General INFORMATION

Maximum Lot Coverage

Maximum lot coverage shall be 40% of net lot area.

Minimum Lot Area, Frontage

Minimum area of land shall be not less than 10,000 square feet, having a minimum frontage of 100 feet.

Building Height and # of Stories, Floor Area Ratio (FAR) and Open Space

The maximum height of any structure in this district shall be 2 stories but not to exceed 35 feet. FAR shall not exceed .40 at 1 story and .60 at 2 stories. Minimum 25% open space required. Landscaping and trees required shall be as per Chapter 18A of the Miami-Dade County Code.

Fences, Walls and Hedges

Maximum height permitted 6'*

A decorative masonry wall or wood fence compatible with the main structure, 5 feet in height, shall be erected along all interior property lines including the rear property line. In the event that the rear property line abuts a secondary street, the rear wall shall be set in 10 feet from the official right-of-way and said 10-foot strip shall then be landscaped. Further, if the interior side property line abuts property zoned RU-5, RU-5A or a more liberal zoning district, the requirement for a wall along said common interior property line shall not apply.

Principal Building Setbacks

Front	25'	Interior side	15'
Rear	25'	Side street	15'

No accessory building shall be permitted

Type of Building Permitted

The building(s) to be erected shall be without store fronts or display windows.

* In certain instances, the height may be limited to 2.5' for visibility at intersections and within 10 feet of either side of driveway.