

# FINAL AGENDA

4-23-2013 Version # 2



COMMUNITY ZONING APPEALS BOARD 15  
SOUTH DADE GOVERNMENT CENTER-ROOM 203 (OLD BUILDING)  
10710 SW 211 Street, Miami  
Wednesday, May 22, 2013 at 7:00 p.m.

PREVIOUSLY DEFERRED

A. 13-4-CZ15-1 VILLA CAPRI, INC., ET AL 12-141 03-57-39

CURRENT

1. 13-5-CZ15-1 WASTE MANAGEMENT, INC. OF FLORIDA 13-7 18-57-40 N



# Official Zoning Agenda

## COMMUNITY ZONING APPEALS BOARD

---

COMMUNITY ZONING APPEALS BOARD - AREA 15

MEETING OF WEDNESDAY, MAY 22, 2013

SOUTH DADE GOVERNMENT CENTER – ROOM 203 (OLD BUILDING)

10710 SW 211 STREET, MIAMI, FLORIDA

NOTICE: THE FOLLOWING HEARINGS ARE SCHEDULED FOR 7:00 P.M., AND

ALL PARTIES SHOULD BE PRESENT AT THAT TIME

ANY PERSON MAKING IMPERTINENT OR SLANDEROUS REMARKS OR WHO BECOMES BOISTEROUS WHILE ADDRESSING THE COMMUNITY ZONING APPEALS BOARD SHALL BE BARRED FROM FURTHER AUDIENCE BEFORE THE COMMUNITY ZONING APPEALS BOARD BY THE PRESIDING OFFICER, UNLESS PERMISSION TO CONTINUE OR AGAIN ADDRESS THE BOARD BE GRANTED BY THE MAJORITY VOTE OF THE BOARD MEMBERS PRESENT.

NO CLAPPING, APPLAUDING, HECKLING OR VERBAL OUTBURSTS IN SUPPORT OR OPPOSITION TO A SPEAKER OR HIS OR HER REMARKS SHALL BE PERMITTED. NO SIGNS OR PLACARDS SHALL BE ALLOWED IN THE MEETING ROOM. PERSONS EXITING THE MEETING ROOM SHALL DO SO QUIETLY.

THE USE OF CELL PHONES IN THE MEETING ROOM IS NOT PERMITTED. RINGERS MUST BE SET TO SILENT MODE TO AVOID DISRUPTION OF PROCEEDINGS. INDIVIDUALS, INCLUDING THOSE ON THE DAIS, MUST EXIT THE MEETING ROOM TO ANSWER INCOMING CELL PHONE CALLS. COUNTY EMPLOYEES MAY NOT USE CELL PHONE CAMERAS OR TAKE DIGITAL PICTURES FROM THEIR POSITIONS ON THE DAIS.

THE NUMBER OF FILED PROTESTS AND WAIVERS ON EACH APPLICATION WILL BE READ INTO THE RECORD AT THE TIME OF HEARING AS EACH APPLICATION IS READ.

THOSE ITEMS NOT HEARD PRIOR TO THE ENDING TIME FOR THIS MEETING, WILL BE DEFERRED TO THE NEXT AVAILABLE ZONING HEARING MEETING DATE FOR THIS BOARD.

SWEARING IN OF WITNESSES

---

- (1) UNUSUAL USE to permit a lake excavation.
- (2) MODIFICATION of Paragraph # 1 of a Declaration of Restrictions, recorded in Official Records Book 23207, Pages 1385 through 1390, last modified by Amendment to Declaration of Restrictions, recorded in Official Record Book 23541 Pages 1431 through 1435 reading as follows:

FROM:

"1. That said property shall be developed substantially in accordance with the plan previously submitted, prepared by Mouriz, Salazar & Associates entitled "Villa Capri" dated December 17, 2004, said plans being on file with the Miami-Dade County Department of Planning and Zoning , and by reference made a part of this agreement."

TO:

"1. That said property shall be developed substantially in accordance with the plans entitled "Villa Capri Phase II", as prepared by Salazar Architectural Group consisting of 17 sheets and landscape plans prepared by JFS Design Inc., consisting of 9 sheets and lake plans entitled "Lake Cross-Sections, Villa Capri" as prepared by Stoner Associates, Inc., consisting of 3 sheets for a total of 29 sheets and all sheets dated stamped received 11/20/12, said plans being on file with the Department of Regulatory and Economic Resources, and by reference made a part of this agreement."

- (3) DELETION of Paragraph #3 of Declaration of Restrictions, recorded in Official Records Book 23207, Pages 1385 through 1390, reading as follows:

"3. That prior to the issuance of a building permit for any dwelling units, the Owner shall submit a separate application to the Department of Planning and Zoning for ASPR approval for any lake excavations proposed on the Property. Said lake excavations shall comply with Sec. 33-16 of the Code. The Owner shall obtain the approval of the lake excavations prior to the construction of any dwelling units within the Property."

- (4) DELETION of Covenant Running with the Land with Unity of Title, recorded in Official Records Book 21924 pages 3882 through 3889.

The purpose of requests #2 - #4 is to allow the applicant to submit a revised site plan showing modified building types, different lake slopes than approved through a prior Administrative Site Plan Review application and deletion of a condition requiring submittal of a lake Administrative Site Plan Review application.

The aforementioned plans are on file and may be examined in the Department of Regulatory and Economic Resources. Plans may be modified at public hearing.

LOCATION: Lying between SW 280 Street & SW 284 Street & between SW 144 Avenue & SW 147 Avenue, Miami-Dade County, Florida.

SIZE OF PROPERTY: 36.88 Acres

Department of Regulatory and  
Economic Resources

Recommendation :

Approval with conditions.

Protests: \_\_\_\_\_ 0 \_\_\_\_\_

Waivers: \_\_\_\_\_ 0 \_\_\_\_\_

APPROVED: \_\_\_\_\_

DENIED WITH PREJUDICE: \_\_\_\_\_

DENIED WITHOUT PREJUDICE: \_\_\_\_\_

DEFERRED: \_\_\_\_\_

---

**1. WASTE MANAGEMENT, INC. OF FLORIDA (13-5-CZ15-1/13-07)**

**18-57-40  
Area 15/District 09**

- (1) MODIFICATION of Condition #2 of Resolution #4ZAB-180-91, as last modified by Resolution # CZAB15-1-10, passed and adopted by Community Zoning Appeals Board # 15, and reading as follows:

From: "2. That in the approval of the plan, the same be substantially in accordance with that submitted for the hearing entitled "Delta Homestead C & D Facility and Delta Recycling Homestead" as prepared by Globex Engineering & Development consisting of 1 sheet, dated stamped received 9/9/09.

To: "2. That in the approval of the plan, the same be substantially in accordance with that submitted for the hearing entitled "Vertical Expansion WM Homestead C & D Facility" as prepared by SCS Globex Engineering consisting of 7 sheets dated stamped received 1/22/13, "Landscape Permit Plan" prepared by ATKINS consisting of 6 sheets, dated stamped received 4/9/13.

- (2) MODIFICATION of Condition #6 of Resolution # 5-ZAB-338-94 as last modified by Resolution # CZAB15-17-05, passed and adopted by Community Zoning Appeals Board # 15, and reading as follows:

From: "6. That the berm and accompanying landscaping to be maintained along the rights-of-way will be at a height such that the top of the filled areas of the landfill (34' maximum above grade) will not be visible from automobiles traveling along S.W. 328 Street and S.W. 117 Avenue, as shown on the plans entitled "Atlas Homestead, Inc. C & D Landfill and M.R.f. Facility" as prepared by Globex Engineering & Development consisting of 1 sheet dated, signed and sealed 1/19/04, sheet #2 dated 3/19/04 and plans entitled "Atlas-Homestead, Inc. C & D Landfill and M.R.F. Facility" as prepared by P.B.S. & J., consisting of sheet LA-1R dated 11/22/04, Sheets LA-2 through LA-6 dated, signed and sealed 10/23/03 and a "Sketch of Survey" as prepared by Craven-Thompson and Associates, Inc., dated received 11/23/04 and consisting of 1 sheet.

To: "6. That the berm and accompanying landscaping to be maintained along the rights-of-way will be at a height such that the top of the filled areas of the landfill (54' maximum above grade) will not be visible from automobiles traveling along S.W. 328 Street and S.W. 117 Avenue, as shown on the plans entitled "Vertical Expansion WM Homestead C & D Facility" as prepared by SCS Globex Engineering consisting of 7 sheets dated stamped received 1/22/13, "Landscape Permit Plan" prepared by ATKINS consisting of 6 sheets, dated stamped received 4/9/13.

(3) MODIFICATION of Condition #7 of Resolution # 4ZAB-425-92, as last modified by Resolution # CZAB15-1-10, passed and adopted by Community Zoning Appeals Board # 15, and reading as follows:

From: "7. That the time for completion of the project be as follows: the closure of the landfill shall be July 1, 2014, and completion of the activities of the Materials Recycling Facility (MRF) shall be December 31, 2023.

To: "7. That the time for completion of the project be as follows: the closure of the landfill shall be July 1, 2025, and completion of the activities of the Materials Recycling Facility (MRF) shall be December 31, 2035.

The purpose of requests #1 through #3 is to allow the applicant to submit a revised site plan showing an increase in the height of the landfill and to extend the time for closure and completion of the landfill.

The afore-mentioned plans are on file and may be examined in the Department of Regulatory and Economic Resources. Plans may be modified at public hearing.

LOCATION: 11695 SW 328 Street, Miami-Dade County, Florida.

SIZE OF PROPERTY: 55.36 acres

Department of Regulatory and Economic Resources  
Recommendation:

Approval with conditions.

Protests: 0

Waivers: 0

APPROVED: \_\_\_\_\_

DENIED WITH PREJUDICE: \_\_\_\_\_

DENIED WITHOUT PREJUDICE: \_\_\_\_\_

DEFERRED: \_\_\_\_\_

**NOTICE**

\*\*\*\*\*  
THE FOLLOWING SUMMARY INFORMATION IS PROVIDED AS A COURTESY; IT SHOULD NOT BE TREATED AS LEGAL ADVICE AND IT SHOULD NOT BE RELIED UPON. LEGAL CONSULTATION MAY BE WARRANTED IF AN APPEAL OR OTHER LEGAL CHALLENGE IS BEING CONTEMPLATED.  
\*\*\*\*\*

Decisions of the Community Zoning Appeals Board (CZAB) may be subject to appeal or other challenge. For example, depending upon the nature of the requests and applications addressed by the CZAB, a CZAB decision may be directly appealable to the Board of County Commissioners (BCC) or may be subject to challenge in Circuit Court. Challenges asserted in

Circuit Court, where available, must ordinarily be filed within 30 days of the transmittal of the pertinent CZAB resolution to the Clerk of the BCC. Appeals to the BCC, where available, must be filed with the Zoning Hearing Section of the Department of Regulatory and Economic Resources (RER), or its successor Department, within 14 days after RER has posted a short, concise statement (such as that furnished above for the listed items) that sets forth the action that was taken by the CZAB. (RER's posting will be made on a bulletin board located in the office of RER.) All other applicable requirements imposed by rule, ordinance, or other law must also be observed when filing or otherwise pursuing any challenge to a CZAB decision.

Further information regarding options and methods for challenging a CZAB decision may be obtained from sources that include, but are not limited to, the following: Sections 33-312, 33-313, 33-314, 33-316, and 33-317 of the Code of Metropolitan Dade County, Florida; the Florida Rules of Appellate Procedure; and the Municode website ([www.municode.com](http://www.municode.com)). Miami-Dade County does not provide legal advice regarding potential avenues and methods for appealing or otherwise challenging CZAB decisions; however, a licensed attorney may be able to provide assistance and legal advice regarding any potential challenge or appeal.

**Miami-Dade County Department of Regulatory and Economic Resources  
Staff Report to Community Council No. 15**

**PH: Z12-141 (13-4-CZ15-1)**

**May 22, 2013**

Item No. A

<b>Recommendation Summary</b>	
<b>Commission District</b>	9
<b>Applicant</b>	Villa Capri, Inc., Et Al
<b>Summary of Requests</b>	The applicants are seeking to modify a previously recorded declaration of restrictions, delete a unity of title and permit a lake excavation.
<b>Location</b>	Lying between SW 280 Street and SW 284 Street and between SW 144 Avenue and SW 147 Avenue
<b>Property Size</b>	36.88-acres
<b>Existing Zoning</b>	RU-4L, Limited Apartment House District
<b>Existing Land Use</b>	Multi-family residence
<b>2015-2025 CDMP Land Use Designation</b>	Low-Medium Density Residential <i>(see attached Zoning Recommendation Addendum)</i>
<b>Comprehensive Plan Consistency</b>	Consistent with interpretative text, goals, objectives and policies of the CDMP
<b>Applicable Zoning Code Section(s)</b>	Section 33-311(A)(3) Special Exceptions, Unusual Uses and New Uses Section 33-311(A)(7) Generalized Modification Standards <i>(see attached Zoning Recommendation Addendum)</i>
<b>Recommendation</b>	<b>Approval with conditions</b>

This application was deferred from the April 17, 2013 meeting due to a lack of quorum.

**REQUESTS:**

- (1) UNUSUAL USE to permit a lake excavation.
- (2) MODIFICATION of Paragraph #1 of Declaration of Restrictions, recorded in Official Record Book 23207 pages 1385 through 1390, last modified by Amendment to Declaration of Restrictions, recorded in Official Record Book 23541 pages 1431 through 1435 reading as follows:

FROM: "That said property shall be developed substantially in accordance with the plan previously submitted, prepared by Mouriz, Salazar & Associates entitled "Villa Capri" dated December 17, 2004, said plans being on file with the Miami-Dade County Department of Planning and Zoning, and by reference made a part of this agreement.

TO: That said property shall be developed substantially in accordance with the plans entitled "Villa Capri Phase II", as prepared by Salazar Architectural Group, consisting of 17 sheets and landscape plans prepared by JFS Design Inc., consisting of 9 sheets and lake plans entitled "Lake Cross-Sections, Villa Capri" as prepared by Stoner Associates, Inc., consisting of 3 sheets, for a total of 29 sheets and all sheets dated stamped received 11/20/12, said plans being on file with the Department of Regulatory and Economic Resources, and by reference made a part of this agreement."

- (3) DELETION of Paragraph #3 of Declaration of Restrictions, recorded in Official Record Book 23207 pages 1385 through 1390, reading as follows:

"3. That prior to the issuance of a building permit for any dwelling units, the Owner shall submit a separate application to the Department of Planning and Zoning for ASPR

approval for any lake excavations proposed on the Property. Said lake excavations shall comply with Sec. 33-16 of the Code. The Owner shall obtain the approval of the lake prior to the construction of any dwellings units within the Property.”

- (4) DELETION of Covenant Running with the Land with Unity of Title, recorded in Official Record Book 21924 Pages 3882 through 3889.

The purpose of requests #2-#4 is to allow the applicant to submit a revised site plan showing modified building types, different lake slopes than approved through a prior ASPR, and deletion of a condition requiring submittal of a lake ASPR application.

The aforementioned plans are on file and may be examined in the Department of Regulatory and Economic Resources. Plans may be modified at public hearing.

**PROJECT DESCRIPTION:**

The site plan depicts the 477 unit multi-family residential development with a lake in the center of the development.

<b><u>NEIGHBORHOOD CHARACTERISTICS</u></b>		
	<b>Zoning and Existing Use</b>	<b>Land Use Designation</b>
<b>Subject Property</b>	RU-4L; multi-family residence	Low-Medium Density Residential (6 – 13 dua)
<b>North</b>	TND; vacant	Low-Medium Density Residential (6 – 13 dua)
<b>South</b>	RU-1; single-family residences	Low Density Residential (2.5 – 6 dua)
<b>East</b>	RU-TH; townhouse development	Low-Medium Density Residential (6 – 13 dua)
<b>West</b>	LCCUC & GU; County owned & RV park	Community Urban Center Low-Medium Density Residential (6 – 13 dua)

**NEIGHBORHOOD COMPATIBILITY:**

The subject property located at south of SW 280 Street between SW 144 and 147 Avenues. The surrounding area is characterized by residential and institutional uses and vacant land.

**SUMMARY OF THE IMPACTS:**

Approval of this application will allow the applicant to submit revised plans that depict a lake, new building type and reconfiguration of the southeast portion of the site. However, the approval could have a visual impact on the surrounding area.

**CDMP ANALYSIS:**

The subject property is designated as **Low-Medium Density Residential** on the Comprehensive Development Master Plan (CDMP) Land Use Plan (LUP) map. This category allows a range in density from a minimum of 6.0 to a maximum of 13 dwelling units per gross

acre. *The types of housing typically found in areas designated low-medium density include single-family homes, townhouses and low-rise apartments. Zero-lot-line single-family developments in this category shall not exceed a density of 7.0 dwelling units per gross acre.* The approval of this application will permit the applicant to submit a revised site plan that depicts a new building type, modified site layout and lake. Staff notes that approval will not add additional dwelling units to the site beyond what was previously approved is allowed by the CDMP LUP map and will not change the multi-family residence use. Since the applicant is not requesting to add additional dwelling units to the site above that previously approved or allowed, approval of the application with conditions is **consistent** with the density range of the Low-Medium Density Residential CDMP LUP map designation and the CDMP Land Use Element interpretative text for Residential Communities.

Staff opines that the revised site plan is **compatible** with the surrounding area based on compatibility criteria set forth in the **Land Use Element Policy LU-4A** which states *when evaluating compatibility among proximate land uses, the County shall consider such factors as noise, lighting, shadows, glare, vibration, odor, runoff, access, traffic, parking, height, bulk, scale of architectural elements, landscaping, hours of operation, buffering, and safety, as applicable.* Staff notes that the redesign of the southeast portion of the development includes a single-family type model rather than the previously approved apartment/townhome model. As such staff opines approval will be **consistent** with the Low-Medium Density Residential designation and **compatible** with the surrounding are based on the Land Use Element **Policy LU-4A** compatibility criteria.

#### **ZONING ANALYSIS:**

When analyzing request #1, an unusual use to permit a lake excavation under Section 33-311(A)(3) Special Exceptions, Unusual Uses and New Uses, staff is of the opinion that the approval of the request with conditions would be **compatible** with the surrounding area. Staff opines that the existing lake does not have an unfavorable effect on the economy of Miami-Dade County and will not result in excessive traffic, tend to create a fire or other equally or greater dangerous hazard, or provoke excessive overcrowding of people for reasons indicated above. Additionally, when considering the necessity for and reasonableness of the applied for use in relation to the present and future development of the area and the compatibility of the applied for use with the area and its development, staff opines the existing lake is compatible with the same. Further, staff notes that the memoranda submitted by the Department of Regulatory and Economic Resources – Platting and Traffic Review Section and Division of Environmental Resources Management and the Departments of Parks, Recreation and Open Spaces and Fire Rescue indicate no objection to the application. Staff notes that the existing lake was previously approved pursuant to ASPR No. 200300031; however, the lake slopes are not consistent with the approval and therefore the applicant seeks to legalize the lake slopes at this time. Staff opines that the existing lake is a decorative feature that visually enhances the multi-family residential development and is **compatible** with the surrounding area. **As such, staff recommends approval with conditions of requests #1 under Section 33-311(A)(3).**

When requests #2 through #4 to permit the modification and deletion of paragraphs of a previously recorded declaration of restrictions and deletion of a covenant running with the land with unity of title, are analyzed under Section 33-311(A)(7) Generalized Modification Standards, staff opines that approval would be **compatible** with the surrounding area. Approval of these requests will allow the applicant to submit a revised site plan that depicts a lake, new building type and reconfiguration of the southeast portion of the site. Staff notes that the revised site plan depicts a different building configuration and type in the southeast portion of the subject

property. The buildings are designed in manner that is similar to the single family residences to the south. In staff's opinion, the redesigned site plan does not visually impact the surrounding area due to the similarity of building types and landscaping that is provided along the south property line. Staff opines that said revised site plan with no additional residential units will not result in excessive traffic as evidenced by the memorandum from the Platting Section of the Department of Regulatory and Economic Resources which states that the project does not generate any new additional daily peak hour trips and it meets the traffic concurrency criteria set for an Initial Development Order and one or more traffic concurrency determinations will subsequently be required before development will be permitted. The Division of Environmental Resources Management of the Department of Regulatory and Economic Resources indicates that approval will not result in a reduction in the LOS standards for potable water service, wastewater disposal, or stormwater management. Additionally the memorandum from the Miami-Dade Fire Rescue Department does not indicate that the proposed development will have a negative impact on fire rescue services in the area. Staff notes that the memoranda submitted by the Department of Park, Recreation and Open Spaces, indicates no objection to the application. Based on the aforementioned Department memoranda, staff opines that the request will not result in, among other things, excessive noise or traffic, cause undue or excessive burden on public facilities, nor provoke excessive overcrowding and concentration of people. As such, when considering the necessity and reasonableness of the modification and elimination in relation to the present and future development of the area concerned the requested modification and deletion would be **compatible** with the surrounding area based on the design of the revised site plan which depicts a single-family type residential unit that is similar to the single-family residences to the south. **As such, staff recommends approval with conditions of requests #2 through #4 under Section 33-311(A)(7) Generalized Modification Standards.**

**ACCESS, CIRCULATION AND PARKING:**

The submitted site plan depicts ingress/egress points along SW 144 and SW 147 Avenues and SW 280 and SW 284 Streets.

**NEIGHBORHOOD SERVICES PROVIDER COMMENTS:** See attached.

**OTHER:** N/A

**RECOMMENDATION:** Approval with conditions

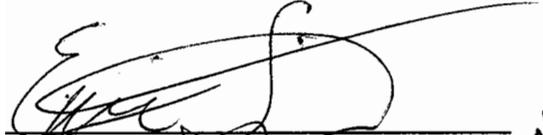
**CONDITIONS FOR APPROVAL:**

1. That all the paragraphs of the Declaration of Restrictions, recorded in Official Record Book 23207 pages 1385 through 1390, last amended by Declaration of Restrictions, recorded in Official Record Book 23541 pages 1431 - 1435, shall remain in full force and effect, except as herein modified.
2. That in the approval of the lake excavation plan, the same be substantially in accordance with that submitted for the hearing entitled, "Lake Cross-Sections Villa Capri" as prepared by Stoner and Associates, Inc. dated stamped received, 11/20/2012 consisting of 3 sheets.
3. That any official inspector of Miami-Dade County, or its agents duly authorized, may have the privilege at any time during normal working hours of entering and inspecting the use of

the premises to determine whether or not the conditions herein agreed to are being complied with.

4. That the use be established and maintained in accordance with the approved plan.
5. That the applicant comply with all applicable conditions and requirements of the Department of Regulatory and Economic Resources Division of Environmental Resources Management and Platting and Traffic Section, and the Miami-Dade Fire Rescue Department as contained in their memoranda pertaining to this application.

ES:MW:NN:CH:AN



Eric Silva, AICP, Assistant Director  
Development Services Division  
Miami-Dade County  
Department of Regulatory and Economic Resources

NDN

# ZONING RECOMMENDATION ADDENDUM

Villa Capri, Inc. Et. Al.  
Z12-141

NEIGHBORHOOD SERVICES PROVIDER COMMENTS*	
Division of Environmental Resources Management (RER)	No objection
Platting and Traffic Review (RER)	No objection
Parks, Recreation & Open Spaces	No objection
Fire Rescue	No objection
Police	No comment
Schools	No comment
*Subject to conditions in their memorandum.	

## COMPREHENSIVE DEVELOPMENT MASTER PLAN (CDMP) OBJECTIVES, POLICIES AND INTERPRETATIVE TEXT

<p><b>Low- Medium Density Residential</b> (Pg. I-31)</p>	<p>The Adopted 2015 and 2025 Land Use Plan designates the subject property as being within the Urban Development Boundary for <b>Low-Medium Density Residential</b>. This category allows a range in density from a minimum of 6.0 to a maximum of 13 dwelling units per gross acre. The types of housing typically found in areas designated low-medium density include single-family homes, townhouses and low-rise apartments. Zero-lot-line single-family developments in this category shall not exceed a density of 7.0 dwelling units per gross acre.</p>
--	--

## PERTINENT ZONING REQUIREMENTS/STANDARDS

<p><b>33-311(A)(3) Special exceptions, unusual and new uses</b></p>	<p>Special exceptions (for all applications other than public charter schools), <b>unusual</b> and new uses. Hear application for and grant or deny special exceptions, except applications for public charter schools; that is, those exceptions permitted by the regulations only upon approval after public hearing, new uses and <b>unusual uses</b> which by the regulations are only permitted upon approval after public hearing; provided the applied for exception or use, including exception for site or plot plan approval, in the opinion of the Community Zoning Appeals Board, would not have an unfavorable effect on the economy of Miami-Dade County, Florida, would not generate or result in excessive noise or traffic, cause undue or excessive burden on public facilities, including water, sewer, solid waste disposal, recreation, transportation, streets, roads, highways or other such facilities which have been constructed or which are planned and budgeted for construction, are accessible by private or public roads, streets or highways, tend to create a fire or other equally or greater dangerous hazards, or provoke excessive overcrowding or concentration of people or population, when considering the necessity for and reasonableness of such applied for exception or use in relation to the present and future development of the area concerned and the compatibility of the applied for exception or use with such area and its development. For purposes of public hearing, a site plan shall be considered one (1) special exception, and upon approval of a site plan by the Community Zoning Appeals Board and/or the Board of County Commissioners, all non-use variances incorporated within and reflected upon the site plan shall be considered a part thereof, and official approval of the site plan shall constitute approval of all such non-use variances, unless otherwise so moved by the approving board.</p>
<p><b>33-311(A)(7) Generalized Modification Standards</b></p>	<p>The Board shall hear applications to modify or eliminate any condition or part thereof which has been imposed by any final decision adopted by resolution, and to modify or eliminate any provisions of restrictive covenants, or parts thereof, accepted at public hearing, except as otherwise provided in Section 33-314(C)(3); provided, that the appropriate board finds after public hearing (a) that the modification or elimination, in the opinion of the Community Zoning Appeals Board, would not generate excessive noise or traffic, tend to create a fire or other equally or greater dangerous hazard, or provoke excessive overcrowding of people, or would not tend to provoke a nuisance, or would not be incompatible with the area concerned, when considering the necessity and reasonableness of the modification or elimination in relation to the present and future development of the area concerned, or (b) (i) that the resolution that contains the condition approved a school use that was permitted only as a special exception, (ii) that</p>

# ZONING RECOMMENDATION ADDENDUM

*Villa Capri, Inc. Et. Al.*  
*Z12-141*

<i>subsequent law permits that use as of right without the requirement of approval after public hearing, and (iii) that the requested modification or elimination would not result in development exceeding the standards provided for schools authorized as a matter of right without the requirement of approval after public hearing.</i>
--

MIAMI-DADE COUNTY  
COMMUNITY ZONING APPEALS BOARD - AREA 15  
MOTION SLIP

#1

APPLICANT'S NAME: VILLA CAPRI, INC., ET AL

REPRESENTATIVE:

HEARING NUMBER	HEARING DATE	RESOLUTION NUMBER	
13-4-CZ15-1 (12-141)	April 17, 2013	CZAB15	13

**REC: Approval with conditions.**

WITHDRAW:  APPLICATION       ITEM(S): \_\_\_\_\_

DEFER:       INDEFINITELY       TO: May 22, 2013       W/LEAVE TO AMEND

DENY:       WITH PREJUDICE       WITHOUT PREJUDICE

ACCEPT PROFFERED COVENANT       ACCEPT REVISED PLANS

APPROVE:       PER REQUEST       PER DEPARTMENT       PER D.I.C.  
     WITH CONDITIONS

**OTHER: Deferred due to a lack of quorum.**

TITLE	M/S	NAME	YES	NO	ABSENT
COUNCIL WOMAN		Patricia FORBES			<b>X</b>
COUNCILMAN		Paul J. MORROW			<b>X</b>
VICE CHAIRWOMAN		Marjorie MURILLO			<b>X</b>
COUNCIL WOMAN		Gale L. WIMBLEY			
CHAIR WOMAN		Diane RICHARDSON			<b>X</b>
VOTE:					

EXHIBITS:  YES       NO

COUNTY ATTORNEY: CYNJI LEE

**A. VILLA CAPRI, INC., ET AL**  
**(Applicant)**

**13-4-CZ15-1 (12-141)**  
**Area 15/District 09**  
**Hearing Date: 05/22/13**

Property Owner (if different from applicant) **Villa Capri Inc, ASC LTD, ASC111L**

Is there an option to purchase  /lease  the property predicated on the approval of the zoning request? Yes  No

Disclosure of interest form attached? Yes  No

**Previous Zoning Hearings on the Property:**

<b><u>Year</u></b>	<b><u>Applicant</u></b>	<b><u>Request</u></b>	<b><u>Board</u></b>	<b><u>Decision</u></b>
1969	Harry Bertson	- Unusual Use to permit a trailer park.	ZAB	Approved with Condition(s)
2005	Villa Capri Associates, LTD	- Modification of Condition of Resolution.	C15	Approved with Condition(s)

Action taken today does not constitute a final development order, and one or more concurrency determinations will subsequently be required. Provisional determinations or listings of needed facilities made in association with this Initial Development Order shall not be binding with regard to future decisions to approve or deny an Intermediate or Final Development Order on any

# Memorandum

**Date:** January 14, 2013

**To:** Jack Osterholt, Director  
Department of Regulatory and Economic Resources

**From:** Jose Gonzalez, P.E.  
Department of Regulatory and Economic Resources 

**Subject:** C-15 #Z2012000141  
Villa Capri Associates, Ltd., Villa Capri Associates III, Ltd.  
14500 SW 280<sup>th</sup> Street  
Modification of a Previously Approved Site Plan  
(RU-4L) (36.88 Acres)  
03-57-39

---

The subject application has been reviewed for compliance with the requirements of Chapter 24 of the Miami-Dade County Code (the Code) and meets the minimum requirements of the Code. Accordingly, the application may be scheduled for public hearing.

#### Potable Water Service and Wastewater Disposal

Public water and public sanitary sewers can be made available to the subject property. Therefore, connection of the proposed development to the public water supply system and sanitary sewer system shall be required in accordance with Code requirements.

Existing public water and sewer facilities and services meet the Level of Service (LOS) standards set forth in the Comprehensive Development Master Plan (CDMP). Furthermore, the proposed development order, if approved, will not result in a reduction in the LOS standards subject to compliance with the conditions required by DERM for this proposed development order.

Notwithstanding the foregoing, and in light of the fact that the County's sanitary sewer system has limited sewer collection, transmission, and treatment capacity, no new sewer service connections can be permitted, unless there is adequate capacity to handle the additional flows that this project would generate. Consequently, final development orders for this site may not be granted if adequate capacity in the system is not available at the point in time when the project will be contributing sewage to the system. Lack of adequate capacity in the system may require the approval of alternate means of sewage disposal. Use of an alternate means of sewage disposal may only be granted in accordance with Code requirements, and shall be an interim measure, with connection to the public sanitary sewer system required upon availability of adequate collection/transmission and treatment capacity.

#### Stormwater Management

A new Surface Water Management General Permit from the Water Control Section of DERM is required for the construction and operation of the required surface water management system.

Our records show that Class II permit CLII-20100057 has expired; therefore a new Class II permit application must be submitted.

These permits shall be obtained prior to any future development order approval. The applicant is advised to contact the Water Control Section for further information regarding permitting procedures and requirements.

#### Wetlands

The subject property does not contain wetlands as defined by Section 24-5 of the Code; therefore, a Class IV Wetland Permit will not be required.

The applicant is advised that permits from the Army Corps of Engineers (305-526-7181), the Florida Department of Environmental Protection (561-681-6600) and the South Florida Water Management District (1-800-432-2045) may be required for the proposed project. It is the applicant's responsibility to contact these agencies.

#### Tree Preservation

Tree Removal Permit TREE-003467-2011 was issued for this property on January 5, 2004, and expired on January 5, 2013. Please be advised that this permit has expired, therefore the required replanting and final inspection as per this permit must take place. The applicant should request a final inspection to avoid violation of permit conditions. A two weeks notice is required prior to the final inspection.

Please be advised that a Tree Removal Permit is required for the removal and/or relocation of any additional trees. Please contact the Tree Permitting Program at 305-372-6600, voice option #2, for information regarding tree permits.

#### Enforcement History

There are no open or closed enforcement records for violations of Chapter 24 of the Code for the subject property.

#### Concurrency Review Summary

A concurrency review has been conducted for this application and has determined that the same meets all applicable LOS standards for an initial development order, as specified in the adopted CDMP for potable water supply, wastewater disposal, and flood protection. Therefore, the application has been approved for concurrency subject to the comments and conditions contained herein.

This concurrency approval does not constitute a final concurrency statement and is valid only for this initial development order, as provided for in the adopted methodology for concurrency review. Additionally, this approval does not constitute any assurance that the LOS standards would be met by any subsequent development order applications concerning the subject property.

This memorandum shall constitute written approval as required by Chapter 24 of the Code.

If you have any questions concerning the comments or wish to discuss this matter further, please contact Christine Velazquez at (305) 372-6764.

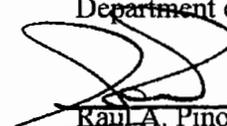
cc: Eric Silva, Department of Regulatory and Economic Resources

# Memorandum



**Date:** January 15, 2013

**To:** Eric Silva, Assistant Director  
Department of Regulatory and Economic Resources

**From:**   
~~Karl A. Pino, PLS~~  
Platting and Traffic Review Section  
Department of Regulatory and Economic Resources

**Subject:** Z2012000141  
Name: Villa Capri, Inc., Villa Capri Associates, LTD, Villa Capri Associates, III, Ltd.  
Location: 14500 SW 280 Street  
Section 03 Township 57 South Range 39 East

---

The Department of Regulatory and Economic Resources Platting and Traffic Review Section has reviewed the subject application and has no objections.

This land complies with Chapter 28 of the Miami-Dade County Code. The property is platted as Tract "A" of Plat Book 168, Page 94.

During the permitting process, applicant must submit paving, grading and pavement marking plans to the Department of Regulatory and Economic Resources (RER) Platting Section for review.

Additional improvements may be required at time of permitting.

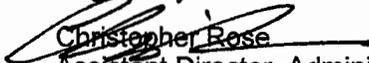
This application does not generate any new additional daily peak hour trips, therefore no vehicle trips have been assigned. This application meets the traffic concurrency criteria set for an Initial Development Order and one or more traffic concurrency determinations will subsequently be required before development will be permitted.

# Memorandum



**Date:** January 18, 2013

**To:** Jack Osterholt, Director  
Regulatory and Economic Resources Department

**From:**   
Assistant Director, Administration  
Public Works and Waste Management Department

**Subject:** # Z12-141  
Villa Capri Inc., et al

---

Attached please find a copy of this Department's review of the above-referenced item. Final comments will be offered as needed. If you should have any questions, please do not hesitate to contact Stacey McDuffie of the Fiscal, Planning and Performance Management Division at 305-514-6661.

Attachment

PUBLIC WORKS AND WASTE MANAGEMENT DEPARTMENT

#Z12-150  
Villa Capri Inc., et al

**Application:** *Villa Capri Inc., Villa Capri Associates, Ltd., and Villa Capri Associates III, Ltd., collectively referred to as Villa Capri Inc., et al* is requesting the following in regards to a multi-family residential development on a property, currently zoned in a Limited Apartment House district (RU-4L):

- 1) Modification of a zoning covenant "Declaration of Restrictions" recorded at Official Record Book 23207, Pages 1385 through 1390 of the public records of Miami-Dade County, in order to amend the site plan for the property;
- 2) Deletion of "Covenant Running with the Land with Unity of Title" at Official Record Book 21924, Pages 3882 through 3889; and
- 3) An unusual use for lake excavation

**Size:** The subject property is approximately 36.88 acres.

**Location:** The subject property is generally located on the southeast corner of SW 208<sup>th</sup> Street and SW 145<sup>th</sup> Avenue in Miami-Dade County, Florida.

**Analysis:**

1. Solid Waste Disposal

The Miami-Dade County Solid Waste Management System consists of both County facilities and private facilities under contract as follows: three Class I landfills (two owned by Waste Management Inc., of Florida) a Class III landfill, a Resources Recovery Facility waste to energy plant and associated ash monofill, and three regional transfer facilities. The Public Works and Waste Management Department (PWWM) does not assess or adjust estimated capacity requirements based on the impacts of individual developments. Instead, the Department maintains sufficient disposal capacity to accommodate five years of waste flows committed to the system through long-term interlocal agreements or contracts with municipalities and private waste haulers and anticipated non-committed waste flows. The latest Concurrency Status Determination issued on September 28, 2012, which is valid for one year, shows sufficient disposal system capacity to exceed the County's adopted level of service (five years of capacity). This determination, which is on file with the Sustainability, Planning and Economic Enhancement Department (formerly the Department of Planning and Zoning) is contingent upon the continued ability of the County to obtain and renew disposal facility operating permits from the Florida Department of Environmental Protection, as needed.

2. Garbage and Trash Collection Services

The property as mentioned in the application falls within the PWWM solid waste collection service area. The zoning requests regarding multi-family residential units will likely be considered development for "multi-family residential establishment." Chapter 15 of the Miami-Dade Code, entitled Solid Waste Management, requires the following of commercial developments located in unincorporated Miami-Dade County:

"every commercial and multi-family residential establishment shall utilize the solid waste collection services of either the proper governmental agency able to provide such services, or that of a licensed solid waste hauler authorized to perform such services by the Director of the Department." Therefore, the landlord or property owner is required to contact a private hauler to provide waste and recycling collection service. The collected material will subsequently be disposed of at PWWM facilities.

### 3. Recycling

Regarding **multi-family units**, **Section 15-2.2a** requires "every multi-family residential establishment shall provide for a recycling program which shall be serviced by a permitted hauler or the appropriate governmental agency and shall include, at a minimum, the five (5) materials listed in Section 15-2.2 below."

- 1) Newspaper
- 2) Glass (flint, emerald, amber)
- 3) Aluminum cans
- 4) Steel cans
- 5) Plastics (PETE, HDPE-natural, HDPE-colored)

**Section 15-2.2b** states the failure of a multi-family residential establishment to provide a recycling program or a modified recycling program pursuant to Section 15-2.4 hereof shall constitute a violation of this section for which the property owner(s) shall be liable, provided, however, that in the case of a condominium or cooperative apartment having a condominium association or cooperative apartment association, said association, rather than individual unit owners, shall be liable for any such violation.

Applicants are **strongly** advised to incorporate adequate space and facilities in their building plans to accommodate the required recycling program. Requests for approval of modified recycling programs must be made directly to the Department at 305 514-6666.

### 4. Waste Storage/Setout Considerations

**Section 15-4** of the Code requires that plans for storage and collection of solid waste be adequate before a building permit may be issued. Site plans must address location, accessibility, number and adequacy of solid waste collection and storage facilities. The site plan legend must contain the following statement: "Facilities for the collection and storage of solid waste are shown in accordance with Section 15-4 of the Miami-Dade County Code."

### 5. Site Circulation Considerations

It is required that development plans associated with this project incorporate at least one of the following traffic circulation criteria to minimize the reversing of waste vehicles and hence, provide for the safe circulation of service vehicles:

- a. Cul-de-sac with a minimum 49 foot turning radius (no "dead-ends")
- b. "T" shaped turnaround 60 feet long by 10 feet wide
- c. Paved throughway of adequate width (minimum 15 feet)

In addition, any and all alleyways designed with utilities, including waste collection, provided at the rear of the property should be planned in accordance with standard street specifications with sufficient width and turning radii to permit large vehicle access. Additionally, there should be no "dead-end" alleyways developed. Also, a sufficient waste set-out zone should be preserved (between the edge of the pavement and any possible obstructions such as parked cars, fencing, etc.) that would interrupt or preclude waste collection. **The PWWM has no objections to the proposed application.**

# Memorandum



**Date:** December 21, 2012

**To:** Jack Osterholt, Deputy Mayor  
Director, Regulatory and Economic Resources Department

**From:** Maria I. Nardi, Chief *M.I.*  
Planning and Research Division  
Parks, Recreation and Open Spaces Department

**Subject:** Z2012000141: VILLA CAPRI, INC., ET AL

---

**Application Name:** VILLA CAPRI, INC., ET AL

**Project Location:** The site is located in that area lying between SW 280 ST & SW 284 ST & between SW 144 AVE & SW 147 AVE, Miami-Dade County.

**Proposed Development:** The request is approval for modification of a previous resolution.

**Impact and demand:** The proposed design change is for a modification of unit types (and therefore the number of buildings) which results in a demand for park level of service equal to or less than that currently approved. Therefore, this application does not generate any additional residential population applicable to CDMP Open Space Spatial Standards. The Department has no objections to this application.

We have no pertinent comments for this application concerning impact or demand on existing County parks, proposed or budgeted service expansion, nor do we perform a concurrency review.

If you need additional information or clarification on this matter, please contact John Bowers at (305) 755-5447.

MN:jb

Cc: John M. Bowers, Parks Property Management Supervisor

# Memorandum



**Date:** 31-JAN-13  
**To:** Jack Osterholt, Director  
 Department of Regulatory and Economic Resources  
**From:** Dave Downey, Fire Chief.  
 Miami-Dade Fire Rescue Department  
**Subject:** Z2012000141

**Fire Prevention Unit:**

This memo supersedes MDFR memorandum dated January 24, 2013.  
 APPROVAL  
 No objection to the site plan with the November 20, 2012 zoning department received date.

**Service Impact/Demand**

Development for the above Z2012000141  
 located at Lying between SW 280 ST & SW 284 ST & between SW 144 AVE & SW 147 AVE, MIAMI-DADE COUNTY, FLORIDA.

in Police Grid 2537 is proposed as the following:

<u>477</u> residential	dwelling units	<u>N/A</u> industrial	square feet
<u>1,450</u> Office	square feet	<u>N/A</u> institutional	square feet
<u>N/A</u> Retail	square feet	<u>N/A</u> nursing home/hospitals	square feet

Based on this development information, estimated service impact is: 134.3 alarms-annually.  
 The estimated average travel time is: 7:24 minutes

**Existing services**

The Fire station responding to an alarm in the proposed development will be:  
 Station 6 - Modello - 15890 SW 288 Street  
 Rescue, BLS Tanker

**Planned Service Expansions:**

The following stations/units are planned in the vicinity of this development:  
 None.

**Fire Planning Additional Comments**

Current service impact calculated based on site plan date stamped received November 20, 2012. Substantial changes to the plan will require additional service impact analysis.

For information regarding the aforementioned comments, please contact the Miami-Dade Fire Rescue Department Planning Section at 786-331-4540.

DATE: 01-MAR-13

BUILDING AND NEIGHBORHOOD  
COMPLIANCE DEPARTMENT

ENFORCEMENT HISTORY OF VIOLATIONS OF CHAPTER 19 AND  
CHAPTER 33 OF THE MIAMI-DADE COUNTY CODE

VILLA CAPRI, INC., ET AL

Lying between SW 280 ST & SW  
284 ST & between SW 144 AVE &  
SW 147 AVE, MIAMI-DADE  
COUNTY, FLORIDA.

---

APPLICANT

---

ADDRESS

---

Z2012000141

---

HEARING NUMBER

**HISTORY:**

NC: THERE ARE NO CURRENT OPENED OR CLOSED CASES ON FOLIO NUMBERS  
3079030310012, 3079030310015, AND 3079030310010.

BLDG: THERE ARE NO CURRENT OPENED OR CLOSED CASES ON FOLIO NUMBERS  
3079030310012 AND 3079030310015.

BLDG OPEN:

FOLIO: 3079030310010-Case #20130157779-B, WAS OPENED ON FEBRUARY 15, 2013, FOR  
A CRACK IN THE CEILING IN THE LIVING ROOM AREA AND THE BEDROOMS. FURTHER  
ENFORCEMENT IS PENDING REVIEW OF THE CASE AND THE RESULTS FROM THE INITIAL  
INSPECTION.

CASE #A1013000774-X, WAS OPENED ON DECEMBER 11, 2012. A NOTICE OF VIOLATION  
WAS ISSUED FOR EXPIRED PERMIT #2012027390. THE CASE REMAINS OPEN.

BLDG CLOSED: THERE ARE NO CURRENT CLOSED CASES.

VILLA CAPRI, INC., ET AL

**OUTSTANDING FINES, PENALTIES, COST OR LIENS  
INCURRED PURSUANT TO CHAPTER 8CC:**

UNKNOWN



**DISCLOSURE OF INTEREST\***

If a **CORPORATION** owns or leases the subject property, list principal stockholders and percent of stock owned by each. [Note: Where principal officers or stockholders consist of other corporation(s), trust(s), partnership(s) or similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

CORPORATION NAME: Villa Capri, Inc.

<u>NAME AND ADDRESS</u>	<u>Percentage of Stock</u>
<u>See attached</u>	<u></u>
<u></u>	<u></u>

If a **CORPORATION** owns or leases the subject property, list principal stockholders and percent of stock owned by each. [Note: Where principal officers or stockholders consist of other corporation(s), trust(s), partnership(s) or similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

CORPORATION NAME: \_\_\_\_\_

<u>NAME AND ADDRESS</u>	<u>Percentage of Stock</u>
<u></u>	<u></u>

**RECEIVED**  
MIR. 06  
JUL 20 2012  
ZONING ADMINISTRATION REVIEW SECT.  
MIAMI-DADE PLANNING AND ZONING DEPT.  
BY \_\_\_\_\_

If a **PARTNERSHIP** owns or leases the subject property, list the principals including general and limited partners. [Note: Where partner(s) consist of other partnership(s), corporation(s), trust(s) or similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interests].

PARTNERSHIP OR LIMITED PARTNERSHIP NAME: Villa Capri Associates, Ltd. and Villa Capri Associates III, Ltd.

<u>NAME AND ADDRESS</u>	<u>Percent of Ownership</u>
<u>See attached</u>	<u></u>
<u></u>	<u></u>

If there is a **CONTRACT FOR PURCHASE** by a corporation, Trust or Partnership, list purchasers below, including principal officers, stockholders, beneficiaries or partners. [Note: Where principal officers, stockholders, beneficiaries or partners consist of other corporations, trusts, partnerships or similar entities, further disclosure shall be made to identify natural persons having ultimate ownership interests].

NAME OF PURCHASER: N/A

NAME ADDRESS AND OFFICE (if applicable)	Percentage of Interest

Date of contract: \_\_\_\_\_

If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, \_\_\_\_\_

**RECEIVED**  
NOV 20 2012

**RECEIVED**  
MIZ.06  
JUL 20 2012

ZONING HEARINGS SECTION  
MIAMI-DADE PLANNING AND ZONING DEPT.  
BY [Signature]

ZONING ADMINISTRATIVE REVIEW SECT.  
MIAMI-DADE PLANNING AND ZONING DEPT.  
BY \_\_\_\_\_

**NOTICE:** For changes of ownership or changes in purchase contracts after the date of the application, but prior to the date of final public hearing, a supplemental disclosure of interest is required.

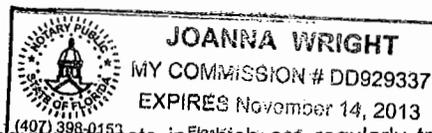
The above is a full disclosure of all parties of interest in his application to the best of my knowledge and belief.

Signature: [Signature] (Jorge Lopez)  
(Applicant)

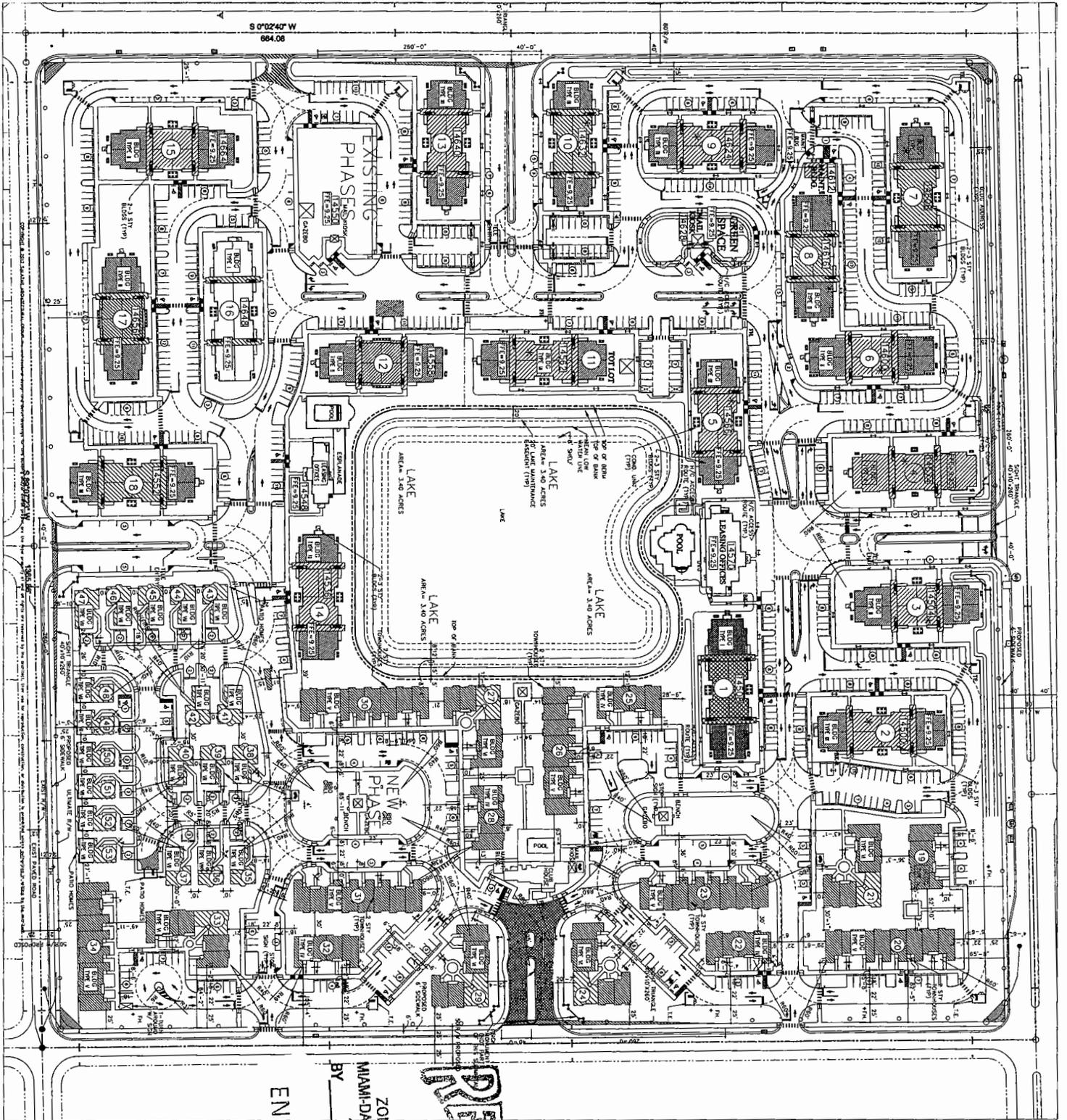
Sworn to and subscribed before me this 2<sup>nd</sup> day of July, 2012. Affiant is personally known to me or has produced \_\_\_\_\_ as identification.

[Signature]  
(Notary Public)

My commission expires 11/14/13



\*Disclosure shall not be required of: 1) any entity, the equity interests in which are regularly traded on an established securities market in the United States or a other country; or 2) pension funds or pension trusts of more than five thousand (5,000) ownership interests; or 3) any entity where ownership interests are held in a partnership, corporation or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership and where no one (1) person or entity holds more than a total of five percent (5%) of the ownership interest in the partnership, corporation or trust. Entities whose ownership interests are held in a partnership, corporation, or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership, shall only be required to disclose those ownership interest which exceed five (5) percent of the ownership interest in the partnership corporation or trust.



**PROCESSED**  
 NOV 20 2012

ZONING HEARINGS SECTION D  
 MIAMI-DADE PLANNING AND ZONING D  
 BY **FFC**

ENLARGED SITE PL

**RECEIVED**  
 NOV 20 2012  
 ZONING HEARINGS SECTION  
 PLANNING AND ZONING DEPT.  
 F.E.

NOV 20 2012

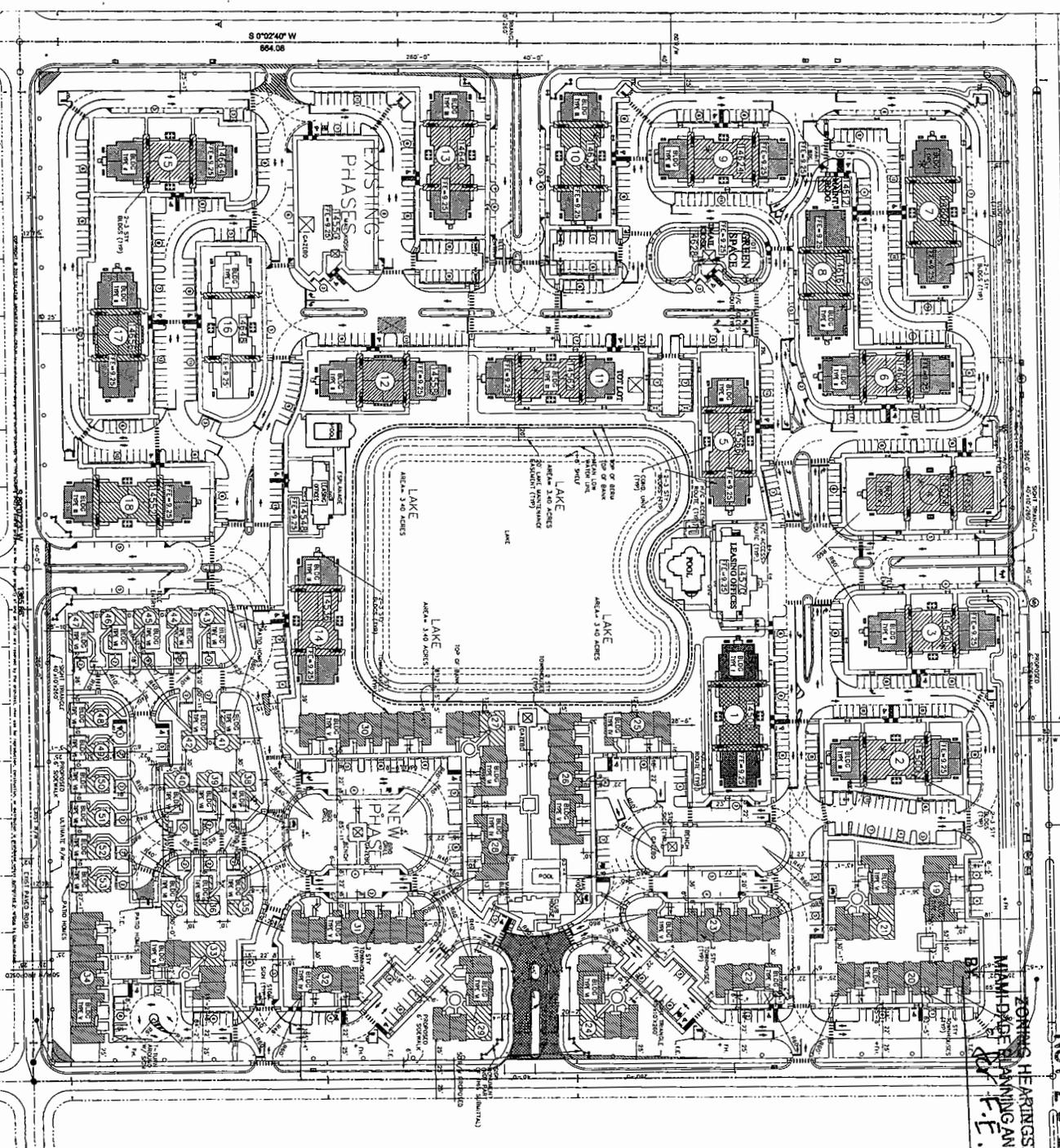
UNIT MIX and parking calculation

UNIT TYPE	TOTAL		TOTAL		TOTAL	
	UNIT	SQ. FT.	UNIT	SQ. FT.	UNIT	SQ. FT.
1	10	10,000	10	10,000	10	10,000
2	20	20,000	20	20,000	20	20,000
3	30	30,000	30	30,000	30	30,000
4	40	40,000	40	40,000	40	40,000
5	50	50,000	50	50,000	50	50,000
6	60	60,000	60	60,000	60	60,000
7	70	70,000	70	70,000	70	70,000
8	80	80,000	80	80,000	80	80,000
9	90	90,000	90	90,000	90	90,000
10	100	100,000	100	100,000	100	100,000

**SITE DATA**

1) ZONING: R-1  
 2) LOT AREA: 180,000 SF  
 3) MAXIMUM DEVELOPMENT BY WATER MAIN 100'/100' DEPTH: 180,000 SF  
 4) TOTAL DEVELOPMENT: 180,000 SF  
 5) TOTAL DEVELOPMENT: 180,000 SF  
 6) TOTAL DEVELOPMENT: 180,000 SF  
 7) TOTAL DEVELOPMENT: 180,000 SF  
 8) TOTAL DEVELOPMENT: 180,000 SF  
 9) TOTAL DEVELOPMENT: 180,000 SF  
 10) TOTAL DEVELOPMENT: 180,000 SF

1) LOT AREA: 180,000 SF  
 2) TOTAL DEVELOPMENT: 180,000 SF  
 3) TOTAL DEVELOPMENT: 180,000 SF  
 4) TOTAL DEVELOPMENT: 180,000 SF  
 5) TOTAL DEVELOPMENT: 180,000 SF  
 6) TOTAL DEVELOPMENT: 180,000 SF  
 7) TOTAL DEVELOPMENT: 180,000 SF  
 8) TOTAL DEVELOPMENT: 180,000 SF  
 9) TOTAL DEVELOPMENT: 180,000 SF  
 10) TOTAL DEVELOPMENT: 180,000 SF

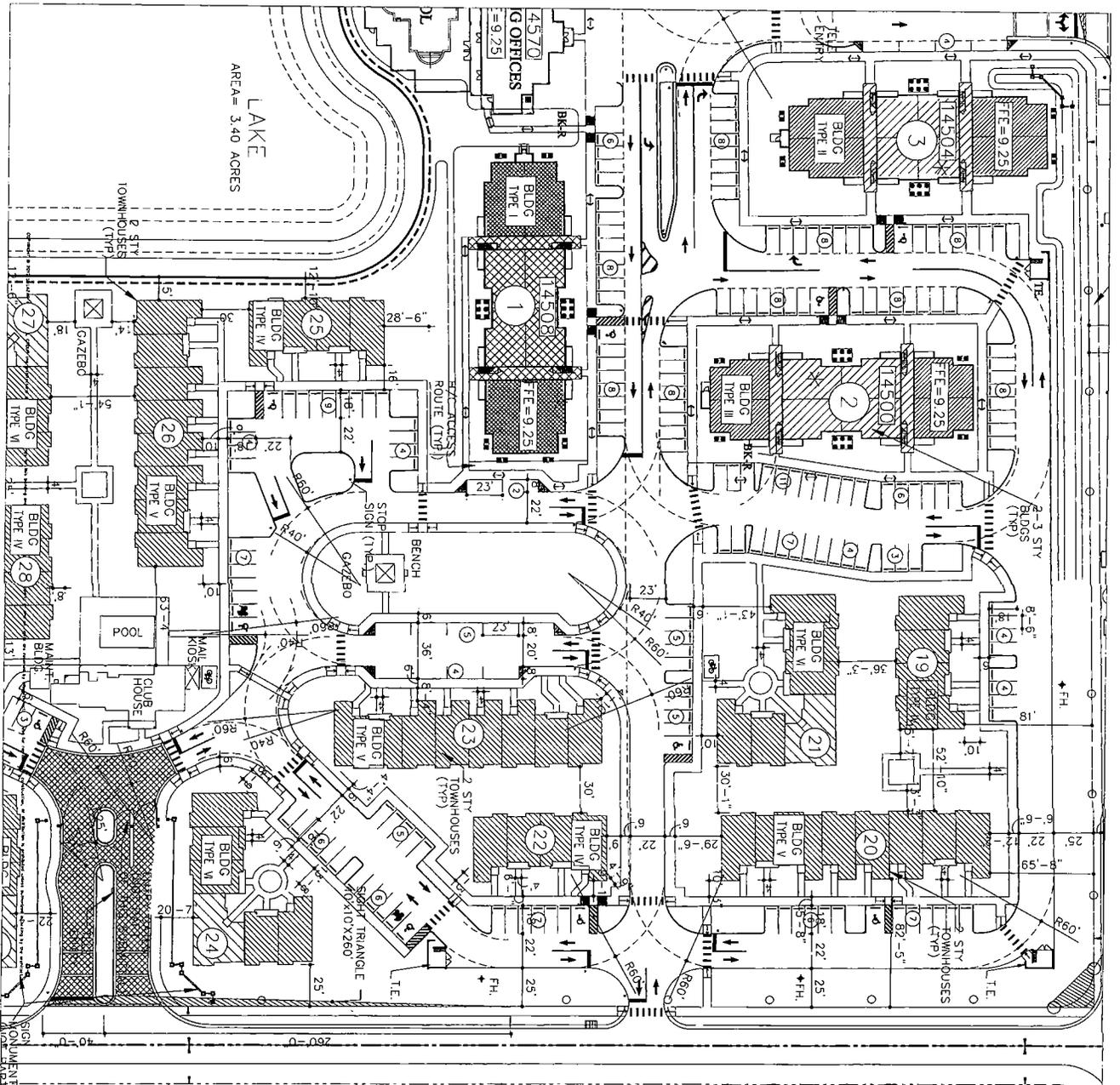


**Architectural group**  
 URBAN PLANNING  
**BALAZAR ARCHITECTURAL GROUP**  
 BALAZAR ARCHITECTURAL GROUP  
 1000 N. W. 10th Ave.  
 Suite 1000  
 Fort Lauderdale, FL 33304  
 Phone: (954) 575-1100  
 Fax: (954) 575-1101  
 Website: www.balazararchitect.com

**VILLA CAPRI PHASE II**  
 Naropa, Florida  
**CORNERSTONE GROUP INC.**

Job No. 12-216  
 Project Manager: AS SIMON  
 Scale: AS SIMON  
 Date: 08/23/2012

SHEET No. **SP-1.0**



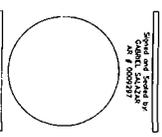
**RECEIVED**  
 2/2-18/11  
 NOV 20 2012

ZONING HEARINGS SECTION  
 MIAMI-DADE PLANNING AND ZONING DEPT.  
 BY                      for F.E.

**SITE PLAN**  
 1"=30'-0"

2/2-14/1  
**RECEIVED**  
 NOV 13 2012

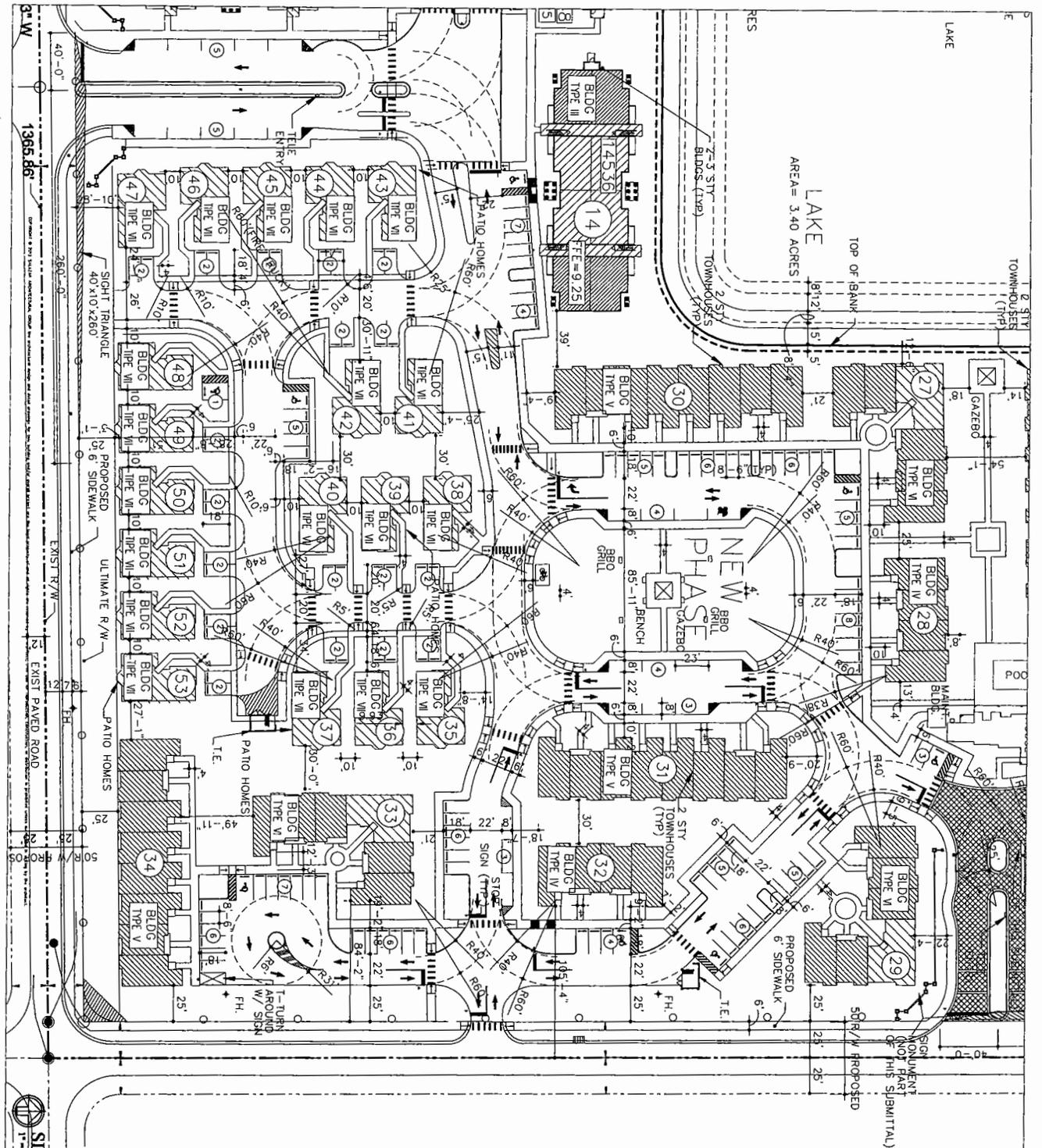
Job No.	13-24
Project Name	VILLA CAPRI PHASE II
Drawn By	AS SHOWN
Scale	AS SHOWN
Date	09/23/2012
SHEET No.	SP-1.1



**Sun2 architectural**  
 URBAN PLANNING  
 BALAZAR ARCHITECTURAL GROUP  
 845 SW 8th Street, Suite 200  
 MIAMI, FLORIDA 33135  
 305.571.1111

**VILLA CAPRI PHASE II**  
 Naranja, Florida  
**CORNERSTONE GROUP INC.**

REVISIONS	REV 12-11-2012	3/3



**SITE PLAN**  
1" = 30'-0"

RECEIVED  
NOV 23 2012

ZONING HEARINGS SECTION  
MIAMI-DADE PLANNING AND ZONING DEPT.  
BY *R.F.C.*

**RECEIVED**  
NOV 20 2012

**VILLA CAPRI PHASE II**  
NORONJA, FLORIDA  
**CORNERSTONE GROUP INC.**

**SP-1.2**

SHEET NO.

Job No. 12-216  
Project Manager: J.S. SIMON  
Scale: AS SHOWN  
Date: 08/23/2012

**chitectural**  
URBAN PLANNING

Special and General Services  
3600 N.W. 107th Ave., Suite 100  
Miami, FL 33177  
Tel: 305.444.1000

**MALAZAR ARCHITECTURAL GROUP**  
A CORNERSTONE GROUP INC. COMPANY

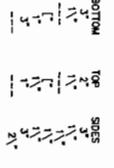
REV.	DATE	DESCRIPTION
1	12-11-2012	G.S.



**1. ALLOWABLE SOIL BEARING CAPACITY:**

1. ALLOWABLE SOIL BEARING CAPACITY: TO BE DETERMINED BY THE GEOTECHNICAL ENGINEERING FIRM AND SUBMITTED TO THE GEOTECHNICAL ENGINEERING FIRM FOR APPROVAL. REPORT DATED MARCH 15th, 2004 FOR SITE TESTING CONSULTANTS, INC. SEE GEOTECHNICAL REPORT DATED MARCH 15th, 2004 FOR SITE TESTING CONSULTANTS, INC. SEE GEOTECHNICAL REPORT DATED MARCH 15th, 2004 FOR SITE TESTING CONSULTANTS, INC. SEE GEOTECHNICAL REPORT DATED MARCH 15th, 2004 FOR SITE TESTING CONSULTANTS, INC.

2. CONCRETE:
  - A. ALL CONCRETE SHALL CONFORM TO ALL REQUIREMENTS OF AC 308-05 AND AC 308-06.
  - B. SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR REINFORCED CONCRETE SHALL BE TO THE LATEST EDITIONS OF THE ACI 308-05 AND AC 308-06.
  - C. ALL CONCRETE SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - D. CONCRETE SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - E. REINFORCING STEEL SHALL CONFORM TO ALL REQUIREMENTS OF AASHTO M 31-05 AND AASHTO M 31-06.
3. CONCRETE JOISTS:
  - A. TO BE AS FOLLOWS:

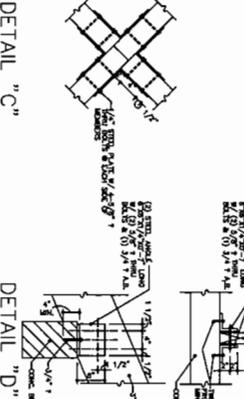


4. REINFORCING STEEL:
  - A. ALL REINFORCING STEEL SHALL BE DESIGNED AS PER ACI 308-05 AND ACI 308-06.
  - B. ALL REINFORCING STEEL SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - C. ALL REINFORCING STEEL SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - D. ALL REINFORCING STEEL SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - E. ALL REINFORCING STEEL SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - F. ALL REINFORCING STEEL SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
5. CONCRETE MASONRY WALLS:
  - A. ALL CONCRETE MASONRY WALLS SHALL BE DESIGNED AS PER ACI 308-05 AND ACI 308-06.
  - B. ALL CONCRETE MASONRY WALLS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - C. ALL CONCRETE MASONRY WALLS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - D. ALL CONCRETE MASONRY WALLS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - E. ALL CONCRETE MASONRY WALLS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - F. ALL CONCRETE MASONRY WALLS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
6. STRUCTURAL STEEL:
  - A. ALL STRUCTURAL STEEL SHALL BE DESIGNED AS PER ACI 308-05 AND ACI 308-06.
  - B. ALL STRUCTURAL STEEL SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - C. ALL STRUCTURAL STEEL SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - D. ALL STRUCTURAL STEEL SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - E. ALL STRUCTURAL STEEL SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - F. ALL STRUCTURAL STEEL SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
7. WELDING:
  - A. ALL WELDING SHALL BE DESIGNED AS PER ACI 308-05 AND ACI 308-06.
  - B. ALL WELDING SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - C. ALL WELDING SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - D. ALL WELDING SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - E. ALL WELDING SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - F. ALL WELDING SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
8. SLAB ON GRADE:
  - A. ALL SLAB ON GRADE SHALL BE DESIGNED AS PER ACI 308-05 AND ACI 308-06.
  - B. ALL SLAB ON GRADE SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - C. ALL SLAB ON GRADE SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - D. ALL SLAB ON GRADE SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - E. ALL SLAB ON GRADE SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - F. ALL SLAB ON GRADE SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
9. PRE-FABRICATED WOOD TRUSSES:
  - A. ALL PRE-FABRICATED WOOD TRUSSES SHALL BE DESIGNED AS PER ACI 308-05 AND ACI 308-06.
  - B. ALL PRE-FABRICATED WOOD TRUSSES SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - C. ALL PRE-FABRICATED WOOD TRUSSES SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - D. ALL PRE-FABRICATED WOOD TRUSSES SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - E. ALL PRE-FABRICATED WOOD TRUSSES SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - F. ALL PRE-FABRICATED WOOD TRUSSES SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
10. PRESSURE TREATED LUMBER / LUMBER:
  - A. ALL PRESSURE TREATED LUMBER / LUMBER SHALL BE DESIGNED AS PER ACI 308-05 AND ACI 308-06.
  - B. ALL PRESSURE TREATED LUMBER / LUMBER SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - C. ALL PRESSURE TREATED LUMBER / LUMBER SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - D. ALL PRESSURE TREATED LUMBER / LUMBER SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - E. ALL PRESSURE TREATED LUMBER / LUMBER SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - F. ALL PRESSURE TREATED LUMBER / LUMBER SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
11. DESIGN LOADS:
  - A. THE DESIGN LOADS SHALL BE AS FOLLOWS:
  - B. DEAD LOADS:
    - 1. FLOOR: 40 PSF (DLK ON FLOOR)
    - 2. ROOF: 20 PSF (DLK ON ROOF)
  - C. LIVE LOADS:
    - 1. FLOOR: 60 PSF (DLK ON FLOOR)
    - 2. ROOF: 30 PSF (DLK ON ROOF)
  - D. WIND LOADS:
    - 1. AS PER ASCE 7-02
  - E. SEISMIC LOADS:
    - 1. AS PER ASCE 7-02

**12. PRECAST AND PRESTRESS CONCRETE ROOF JOISTS:**

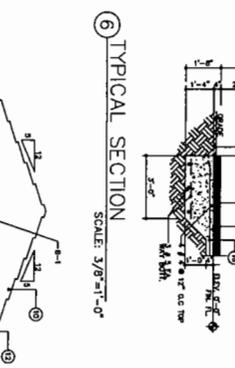
12. PRECAST AND PRESTRESS CONCRETE ROOF JOISTS: TO BE DESIGNED BY THE GEOTECHNICAL ENGINEERING FIRM AND SUBMITTED TO THE GEOTECHNICAL ENGINEERING FIRM FOR APPROVAL. REPORT DATED MARCH 15th, 2004 FOR SITE TESTING CONSULTANTS, INC. SEE GEOTECHNICAL REPORT DATED MARCH 15th, 2004 FOR SITE TESTING CONSULTANTS, INC. SEE GEOTECHNICAL REPORT DATED MARCH 15th, 2004 FOR SITE TESTING CONSULTANTS, INC.

13. FORM WORK AND SHORING:
  - A. ALL FORM WORK AND SHORING SHALL BE DESIGNED AS PER ACI 308-05 AND ACI 308-06.
  - B. ALL FORM WORK AND SHORING SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - C. ALL FORM WORK AND SHORING SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - D. ALL FORM WORK AND SHORING SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - E. ALL FORM WORK AND SHORING SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - F. ALL FORM WORK AND SHORING SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
14. PRECAST CONCRETE JOIST:
  - A. ALL PRECAST CONCRETE JOIST SHALL BE DESIGNED AS PER ACI 308-05 AND ACI 308-06.
  - B. ALL PRECAST CONCRETE JOIST SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - C. ALL PRECAST CONCRETE JOIST SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - D. ALL PRECAST CONCRETE JOIST SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - E. ALL PRECAST CONCRETE JOIST SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - F. ALL PRECAST CONCRETE JOIST SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
15. RAFTERS:
  - A. ALL RAFTERS SHALL BE DESIGNED AS PER ACI 308-05 AND ACI 308-06.
  - B. ALL RAFTERS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - C. ALL RAFTERS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - D. ALL RAFTERS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - E. ALL RAFTERS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - F. ALL RAFTERS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
16. TRUSSES:
  - A. ALL TRUSSES SHALL BE DESIGNED AS PER ACI 308-05 AND ACI 308-06.
  - B. ALL TRUSSES SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - C. ALL TRUSSES SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - D. ALL TRUSSES SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - E. ALL TRUSSES SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - F. ALL TRUSSES SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
17. SAFETY:
  - A. ALL SAFETY SHALL BE DESIGNED AS PER ACI 308-05 AND ACI 308-06.
  - B. ALL SAFETY SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - C. ALL SAFETY SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - D. ALL SAFETY SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - E. ALL SAFETY SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - F. ALL SAFETY SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
18. GENERAL:
  - A. ALL GENERAL SHALL BE DESIGNED AS PER ACI 308-05 AND ACI 308-06.
  - B. ALL GENERAL SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - C. ALL GENERAL SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - D. ALL GENERAL SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - E. ALL GENERAL SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.
  - F. ALL GENERAL SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FROM THE COMMENCEMENT OF ANY CONCRETE WORK.

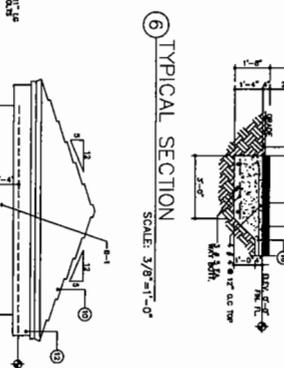


NO.	DESCRIPTION	QUANTITY	UNIT
1	1" x 4" x 8" LUMBER	100	LF
2	2" x 4" x 8" LUMBER	200	LF
3	4" x 4" x 8" LUMBER	100	LF
4	6" x 6" x 8" LUMBER	50	LF
5	8" x 8" x 8" LUMBER	25	LF
6	10" x 10" x 8" LUMBER	10	LF
7	12" x 12" x 8" LUMBER	5	LF
8	14" x 14" x 8" LUMBER	2	LF
9	16" x 16" x 8" LUMBER	1	LF
10	18" x 18" x 8" LUMBER	1	LF
11	20" x 20" x 8" LUMBER	1	LF
12	22" x 22" x 8" LUMBER	1	LF
13	24" x 24" x 8" LUMBER	1	LF
14	26" x 26" x 8" LUMBER	1	LF
15	28" x 28" x 8" LUMBER	1	LF
16	30" x 30" x 8" LUMBER	1	LF
17	32" x 32" x 8" LUMBER	1	LF
18	34" x 34" x 8" LUMBER	1	LF
19	36" x 36" x 8" LUMBER	1	LF
20	38" x 38" x 8" LUMBER	1	LF
21	40" x 40" x 8" LUMBER	1	LF
22	42" x 42" x 8" LUMBER	1	LF
23	44" x 44" x 8" LUMBER	1	LF
24	46" x 46" x 8" LUMBER	1	LF
25	48" x 48" x 8" LUMBER	1	LF
26	50" x 50" x 8" LUMBER	1	LF
27	52" x 52" x 8" LUMBER	1	LF
28	54" x 54" x 8" LUMBER	1	LF
29	56" x 56" x 8" LUMBER	1	LF
30	58" x 58" x 8" LUMBER	1	LF
31	60" x 60" x 8" LUMBER	1	LF
32	62" x 62" x 8" LUMBER	1	LF
33	64" x 64" x 8" LUMBER	1	LF
34	66" x 66" x 8" LUMBER	1	LF
35	68" x 68" x 8" LUMBER	1	LF
36	70" x 70" x 8" LUMBER	1	LF
37	72" x 72" x 8" LUMBER	1	LF
38	74" x 74" x 8" LUMBER	1	LF
39	76" x 76" x 8" LUMBER	1	LF
40	78" x 78" x 8" LUMBER	1	LF
41	80" x 80" x 8" LUMBER	1	LF
42	82" x 82" x 8" LUMBER	1	LF
43	84" x 84" x 8" LUMBER	1	LF
44	86" x 86" x 8" LUMBER	1	LF
45	88" x 88" x 8" LUMBER	1	LF
46	90" x 90" x 8" LUMBER	1	LF
47	92" x 92" x 8" LUMBER	1	LF
48	94" x 94" x 8" LUMBER	1	LF
49	96" x 96" x 8" LUMBER	1	LF
50	98" x 98" x 8" LUMBER	1	LF
51	100" x 100" x 8" LUMBER	1	LF

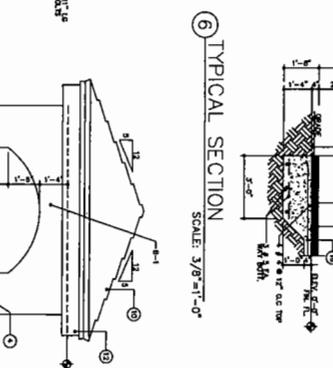
**6. TYPICAL SECTION**



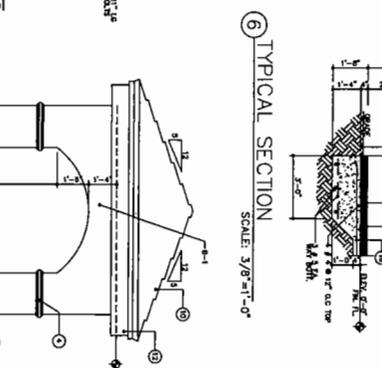
**4. SECTION @ COLUMN**



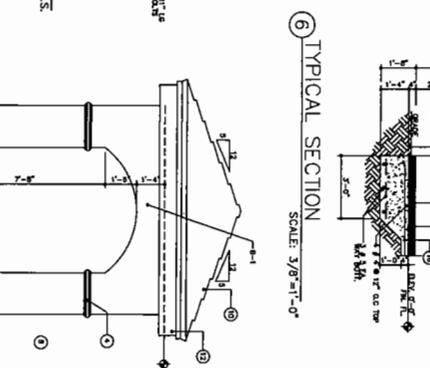
**5. FRONT & SIDE ELEVATION**



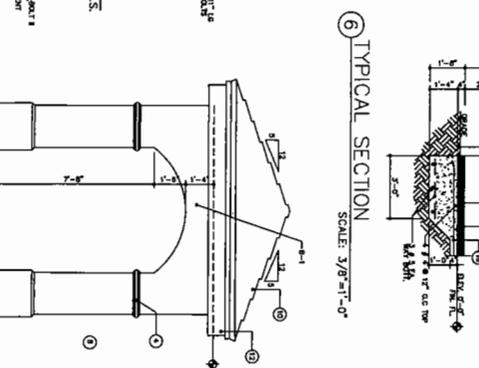
**3. ROOF PLAN**



**2. FLOOR PLAN**



**1. FOUNDATION PLAN**



**RECEIVED**

NOV 20 2012

ZONING HEARINGS SECTION  
MIAMI-DADE PLANNING AND ZONING DEPT.  
BY *CVI. F.E.*

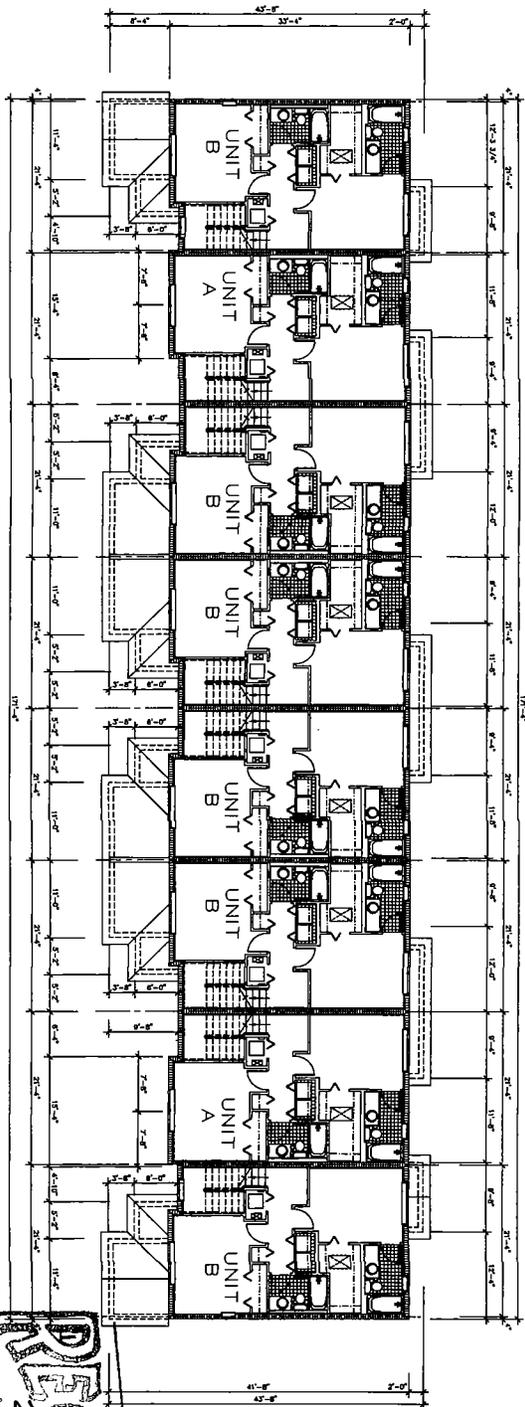
**RECEIVED**

NOV 21 2012

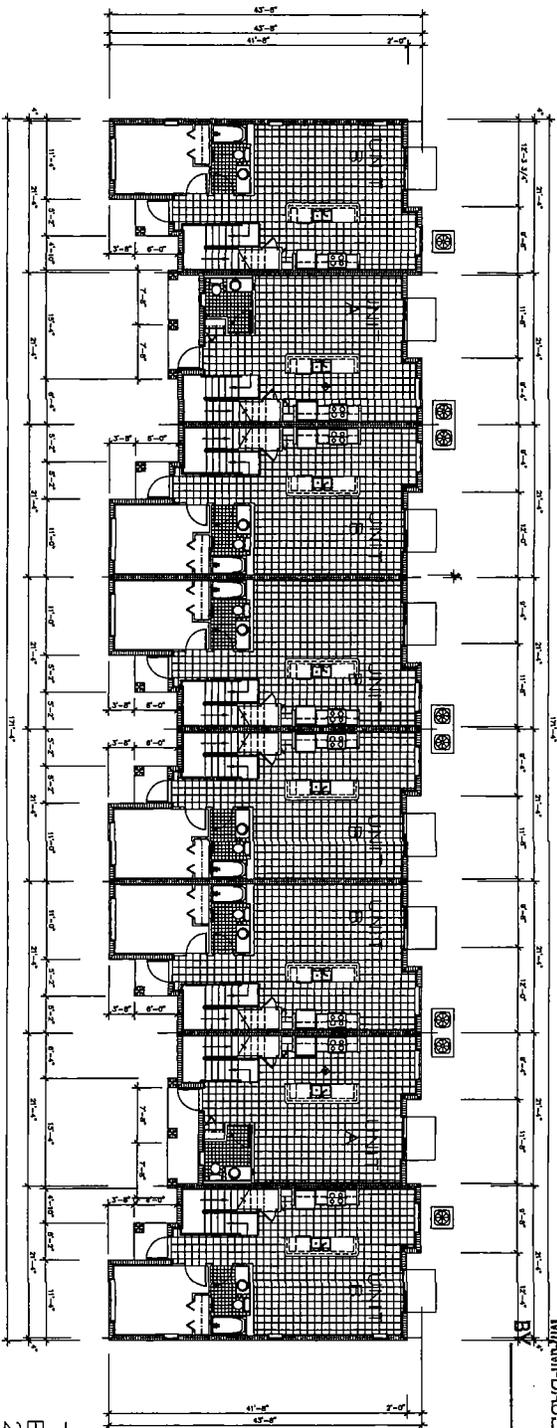








2 SECOND FLOOR PLAN  
Scale: 1/8" = 1'-0"



1 FIRST FLOOR PLAN  
Scale: 1/8" = 1'-0"

**RECEIVED**  
NOV 20 2012

ZONING HEARINGS SECTION  
MIAMI-DADE PLANNING AND ZONING DEPT.  
KCFE

TYPE V BUILDING  
BLDG. NO. 20, 23,  
26, 30, 31, & 34  
2 TYPE "A" UNITS  
6 TYPE "B" UNITS

BLDG. AREA: 6,520 SQ. FT.  
FIRST FLOOR: 3,046 SQ. FT.  
SECOND FLOOR: 1,248 SQ. FT.  
TOTAL: 12,108 SQ. FT.

2/2-14/11  
**RECEIVED**  
NOV 20 2012

SHEET NO.	12-21E
Job No.	12-21E
Drawn by	AS/SJK/ML
Scale	AS/SJK/ML
Date	08/23/2012



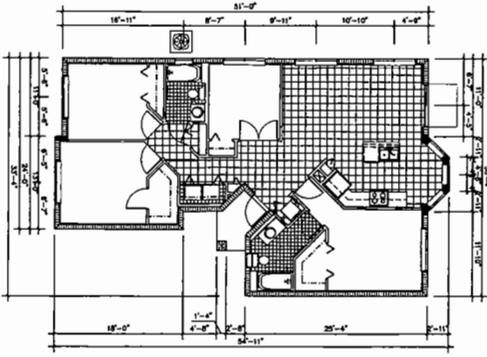
**BALAZAR ARCHITECTURAL GROUP**  
BALAZAR ARCHITECTURAL GROUP  
MIAMI, FLORIDA  
407.344.1100  
407.344.1100

**VILLA CAPRI PHASE II**  
Naranja, Florida  
**CORNERSTONE GROUP INC.**

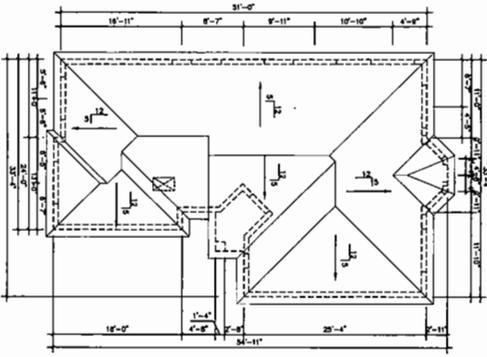
REVISIONS	BY



COPYRIGHT © 2012 SURVEILLANT ARCHITECTURE GROUP. ALL RIGHTS RESERVED. THIS DOCUMENT IS THE PROPERTY OF SURVEILLANT ARCHITECTURE GROUP. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM SURVEILLANT ARCHITECTURE GROUP.



1 STANDARD FLOOR PLAN  
Scale: 1/8" = 1'-0"



2 STANDARD ROOF PLAN  
Scale: 1/8" = 1'-0"

TYPE VII BUILDING  
 1 TYPE "D" UNIT  
 BLDGS. NO. 38, 39, 40, 41, 42,  
 47, 48, 49, 50, 51, 52, & 53

TOTAL AREA  
 1,461 SQ. FT.

**RECEIVED**  
 NOV 20 2012  
 ZONING HEARINGS SECTION  
 MIAMI-DADE PLANNING AND ZONING DEPT.  
 BY *for P.E.*

RECEIVED  
 NOV 28 2012

JOB NO.	12-216
DATE	08/23/2012
DESIGNED BY	AS SKORN
CHECKED BY	AS SKORN
DATE	08/23/2012
SHEET NO.	



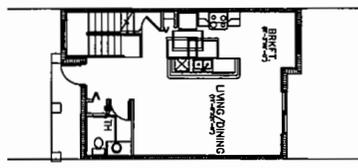
**architectural group**  
 URBAN PLANNING  
 SURVEILLANT ARCHITECTURAL GROUP  
 3400 BUCKLE UP DR.  
 MIAMI, FLORIDA  
 33133

**VILLA CAPRI PHASE II**  
 Naranja, Florida  
**CORNERSTONE GROUP INC.**

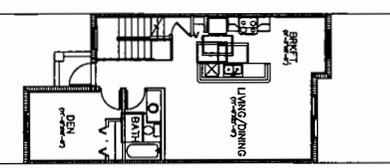
REVISIONS	BY

**RECEIVED**  
 NOV 20 2012

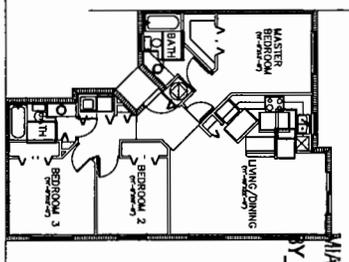
ZONING HEARINGS SECTION  
 MIAMI-DADE PLANNING AND ZONING DEPT.  
 FOR E.E.



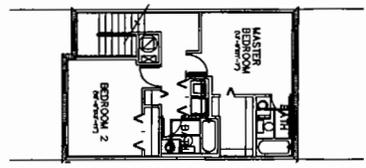
UNIT A FIRST FLOOR  
 SCALE: 1/8"=1'-0"  
 982 S.F.



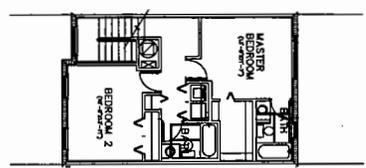
UNIT B FIRST FLOOR  
 SCALE: 1/8"=1'-0"  
 886 S.F.



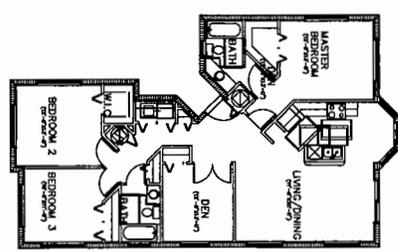
UNIT C FIRST FLOOR  
 SCALE: 1/8"=1'-0"  
 1290 S.F.



UNIT A SECOND FLOOR  
 SCALE: 1/8"=1'-0"  
 646 S.F.  
 TOTAL AREA = 1977 S.F.



UNIT B SECOND FLOOR  
 SCALE: 1/8"=1'-0"  
 646 S.F.  
 TOTAL AREA = 1451 S.F.



UNIT D PATIO HOME (BUILDING VII)  
 SCALE: 1/8"=1'-0"  
 TOTAL = 1461 S.F.

UNIT TYPES

**RECEIVED**  
 NOV 21 2012

**RECEIVED**  
 NOV 23 2012

REVISIONS	BY

VILLA CAPRI PHASE II  
 Naranja, Florida  
 CORNERSTONE GROUP INC.

**Architectural**  
 group  
 URBAN PLANNING  
 SALAZAR ARCHITECTURAL GROUP  
 SAAG GROUP INC.  
 MIAMI, FLORIDA  
 305.441.1808

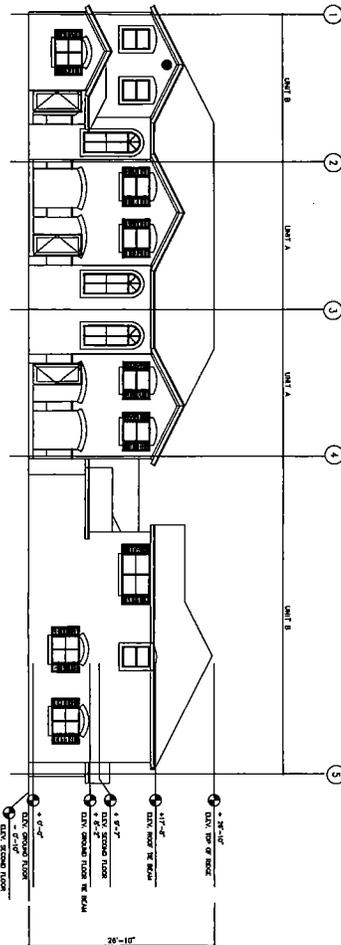


Job No. 12-218  
 Project Name: VILLA CAPRI PHASE II  
 Drawn By: AS  
 Date: 09/27/2012

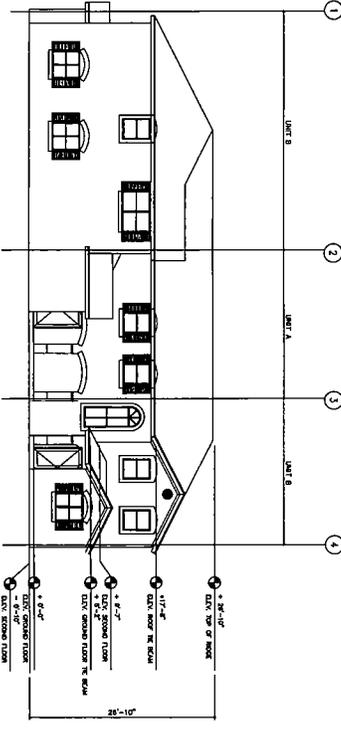
SHEET No.  
**SP-2.4**



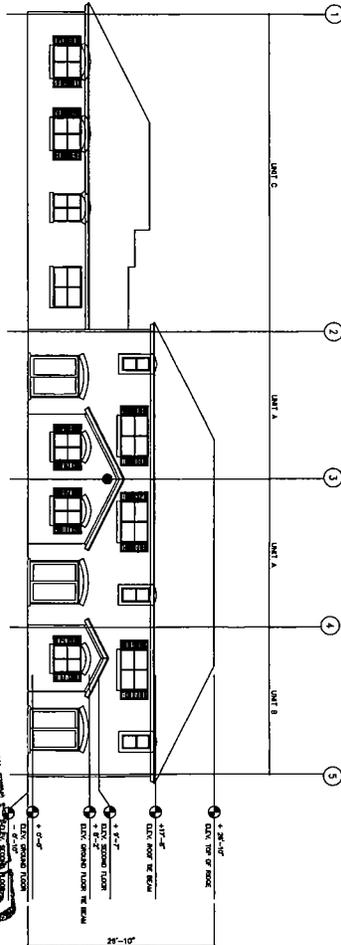




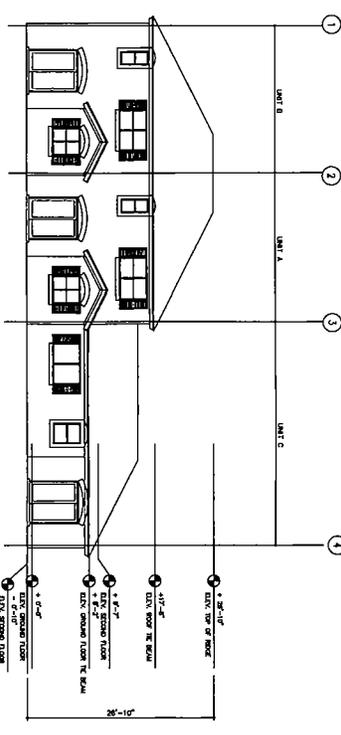
FRONT ELEVATION  
SCALE: 1/8"=1'-0"



RIGHT ELEVATION  
SCALE: 1/8"=1'-0"



REAR ELEVATION  
SCALE: 1/8"=1'-0"



LEFT ELEVATION  
SCALE: 1/8"=1'-0"

RECEIVED  
NOV 21 2012  
ZONING HEARINGS SECTION  
MIAMI-DADE PLANNING AND ZONING DEPT.  
FOR FE

BUILDING TYPE VI

RECEIVED  
NOV 13 2012

SP-3.3

SHEET No. \_\_\_\_\_

Job No. \_\_\_\_\_ 12-218

Project Manager \_\_\_\_\_ G.S.

Drawn By \_\_\_\_\_ A.S. SIMON

Date \_\_\_\_\_ 09/23/2012



salazararchitectural group  
URBAN PLANNING  
SALAZAR ARCHITECTURAL GROUP  
P.A.S. GROUP, INC.  
MIAMI, FLORIDA

VILLA CAPRI PHASE II  
Naranja, Florida  
CORNERSTONE GROUP INC.

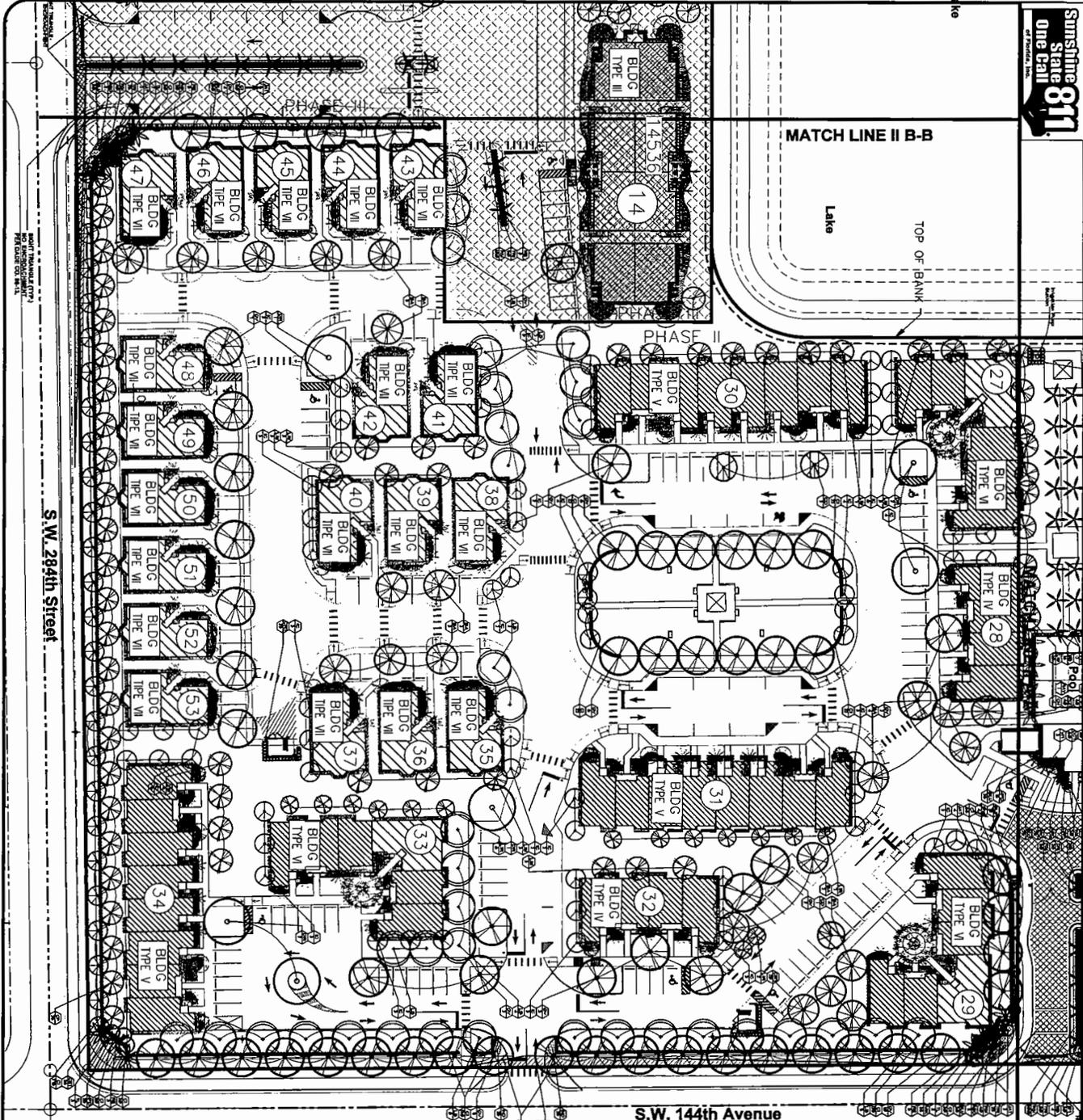
REVISIONS	BY











**SOUTHEAST SECTOR  
LANDSCAPE PLAN**

NOTES:  
1. ALL PLANTINGS SHALL BE INSTALLED WITHIN THE PROPOSED PLANTING AREAS UNLESS OTHERWISE NOTED.  
2. PLANTINGS SHALL BE INSTALLED AT THE DISTANCE FROM THE EDGE OF PAVEMENT (FROM THE CURB OR PUBLIC USE) AS NOTED.  
3. SEE CONSTRUCTION LANDSCAPE PLAN FOR PLANTING SPECIFICATIONS AND TYPICAL DETAIL.  
4. SEE SHEETS L-1, L-2, L-3 FOR LANDSCAPE LEGEND, PLANTING SPECIFICATIONS, DETAILS, ETC.

RECEIVED  
NOV 11 2012

RECEIVED  
NOV 20 2012

SCALE: 1" = 30'

north

S.W. 144th Avenue

ZONING HEARINGS SECTION  
MIAMI-DADE PLANNING AND ZONING DEPT.  
BY

**RECEIVED**  
NOV 20 2012

**VILLA CAPRI PHASE II**  
14500 S.W. 280th St.  
Miami-Dade, FL 33032

THE CORNERSTONE GROUP  
2100 Hollywood Blvd.  
Hollywood, FL 33021

**JFS**

**JFS Design Inc.**  
LANDSCAPE ARCHITECTURE  
LC 000393  
www.jfsdesignfl.com  
jimmy@jfsdesignfl.com

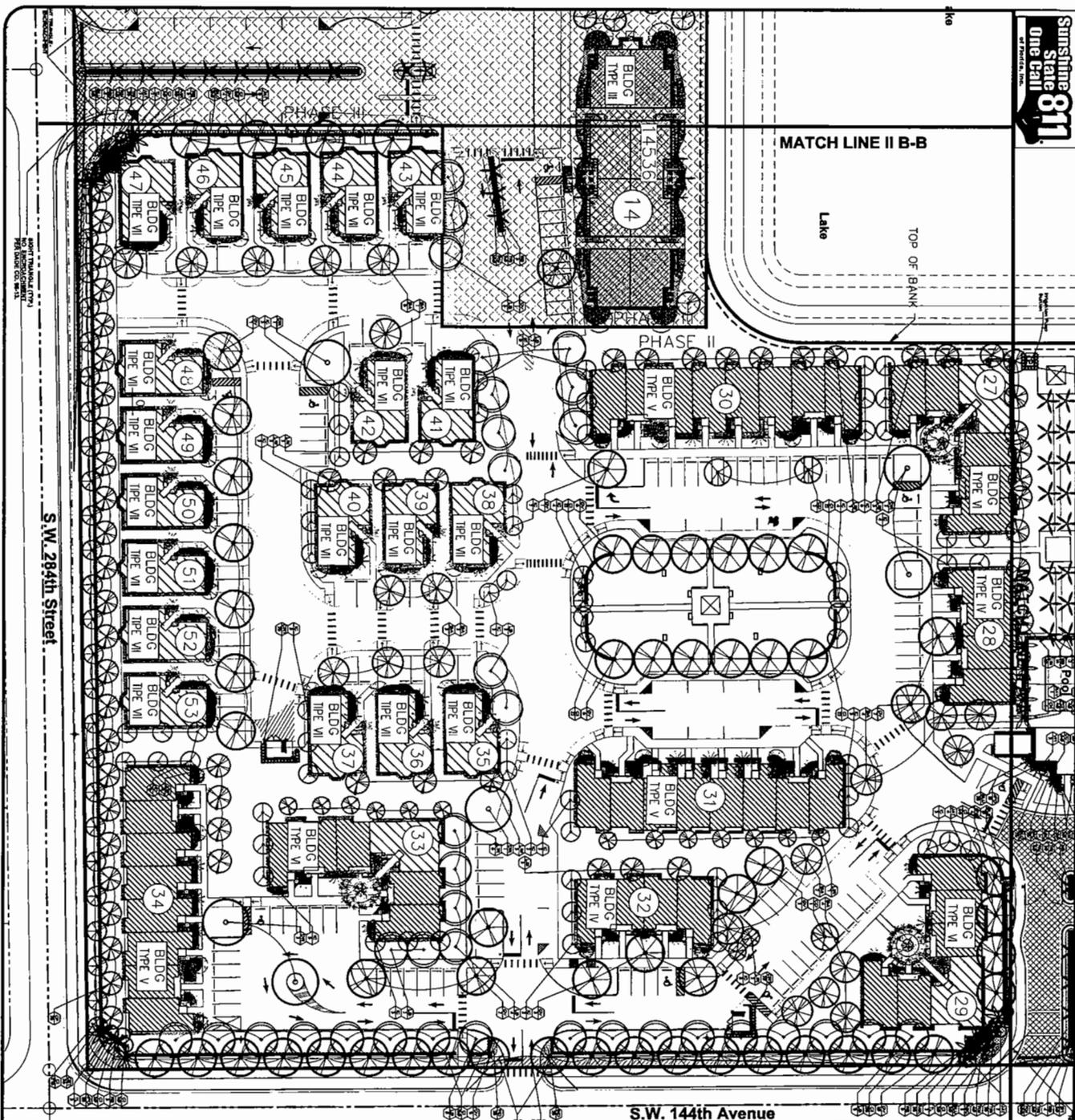
L-3

DATE: JUN 5, 2012  
DRAWN BY: J. BOCCHIA  
CHECKED BY: J. BOCCHIA  
PROJECT NO: 12-001

No.	Date	Revision
1	6/5/12	ISSUED FOR PERMIT

8033 Hill Meadow Lane  
P.O. Box 1000  
Hollywood, FL 33021  
Tel: (954) 441-8852  
Fax: (954) 442-8225

42



**SOUTHEAST SECTOR  
LANDSCAPE PLAN**

STREET TREES ARE SHOWN WITHIN THE PROPERTY BOUNDARY. DISTANCE FROM EDGE OF PAVEMENT FROM P.O. DEPT. OF PUBLIC WORKS IS NOT POSSIBLE.  
SEE CORRESPONDING LANDSCAPE PLAN FOR LANDSCAPE PLANS AND TECHNICAL INFO.  
SEE LEGEND, PLANTLIST, SPECIFICATIONS, DETAILS, ETC.

RECEIVED  
NOV 11 2012

RECEIVED  
SEP 14 2012

SCALE: 1" = 30'

50'

NORTH

**RECEIVED**  
NOV 20 2012

ZONING HEARINGS SECTION  
MIAMI-DADE PLANNING AND ZONING DEPT.  
BY  
TAFE

No.	Date	Revision
1	06/01/11	Final

Design: J.F. SODOLSKI  
 Drawn: N.P. LANDROND  
 Checked: T.V. HORNAN  
 Approved: J.F. SODOLSKI  
 Project: A 2-146  
 Date: JUN 5, 2002  
 City: MIAMI  
 Job No.: 0146

**VILLA CAPRI PHASE II**  
 14500 S.W. 280th St.  
 Miami-Dade, FL 33032

**THE CORNERSTONE GROUP**  
 2100 Hollywood Blvd.  
 Hollywood, FL 33021

**JFS**

**JFS Design Inc.**  
 LANDSCAPE ARCHITECTURE  
 LC 000393  
 www.jfsdesignfl.com  
 jimmy@jfsdesignfl.com

8533 Hill 146th Terr.,  
 P.O. Box 14600, Miami, FL 33078  
 TEL: (954) 441-8523  
 FAX: (954) 443-8279



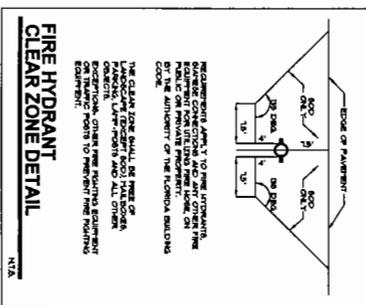
**LANDSCAPE NOTES**

1. ALL PLANT MATERIAL SHALL BE IDENTIFIED BY NAME, NUMBER, SIZE, LOCATION OF AND DATE OF PLANTING. PLANTING SHALL BE IDENTIFIED BY NAME, NUMBER, SIZE, LOCATION OF AND DATE OF PLANTING. PLANTING SHALL BE IDENTIFIED BY NAME, NUMBER, SIZE, LOCATION OF AND DATE OF PLANTING.
2. CONSTRUCTION SHALL PROTECT EXISTING PLANT MATERIAL AND OTHER UTILITIES AND PROVIDE SUFFICIENT CLEARANCE FOR ALL PLANTING AND OTHER UTILITIES AND PROVIDE SUFFICIENT CLEARANCE FOR ALL PLANTING AND OTHER UTILITIES.
3. ALL PLANTING SHALL BE IDENTIFIED BY NAME, NUMBER, SIZE, LOCATION OF AND DATE OF PLANTING. PLANTING SHALL BE IDENTIFIED BY NAME, NUMBER, SIZE, LOCATION OF AND DATE OF PLANTING.
4. ALL PLANTING SHALL BE IDENTIFIED BY NAME, NUMBER, SIZE, LOCATION OF AND DATE OF PLANTING. PLANTING SHALL BE IDENTIFIED BY NAME, NUMBER, SIZE, LOCATION OF AND DATE OF PLANTING.
5. ALL PLANTING SHALL BE IDENTIFIED BY NAME, NUMBER, SIZE, LOCATION OF AND DATE OF PLANTING. PLANTING SHALL BE IDENTIFIED BY NAME, NUMBER, SIZE, LOCATION OF AND DATE OF PLANTING.
6. ALL PLANTING SHALL BE IDENTIFIED BY NAME, NUMBER, SIZE, LOCATION OF AND DATE OF PLANTING. PLANTING SHALL BE IDENTIFIED BY NAME, NUMBER, SIZE, LOCATION OF AND DATE OF PLANTING.
7. ALL PLANTING SHALL BE IDENTIFIED BY NAME, NUMBER, SIZE, LOCATION OF AND DATE OF PLANTING. PLANTING SHALL BE IDENTIFIED BY NAME, NUMBER, SIZE, LOCATION OF AND DATE OF PLANTING.
8. ALL PLANTING SHALL BE IDENTIFIED BY NAME, NUMBER, SIZE, LOCATION OF AND DATE OF PLANTING. PLANTING SHALL BE IDENTIFIED BY NAME, NUMBER, SIZE, LOCATION OF AND DATE OF PLANTING.
9. ALL PLANTING SHALL BE IDENTIFIED BY NAME, NUMBER, SIZE, LOCATION OF AND DATE OF PLANTING. PLANTING SHALL BE IDENTIFIED BY NAME, NUMBER, SIZE, LOCATION OF AND DATE OF PLANTING.
10. ALL PLANTING SHALL BE IDENTIFIED BY NAME, NUMBER, SIZE, LOCATION OF AND DATE OF PLANTING. PLANTING SHALL BE IDENTIFIED BY NAME, NUMBER, SIZE, LOCATION OF AND DATE OF PLANTING.



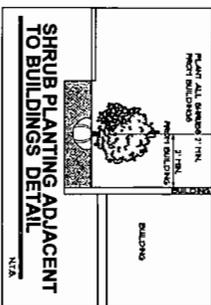
**FERTILIZATION:**

ALL PLANTING SHALL BE IDENTIFIED BY NAME, NUMBER, SIZE, LOCATION OF AND DATE OF PLANTING. PLANTING SHALL BE IDENTIFIED BY NAME, NUMBER, SIZE, LOCATION OF AND DATE OF PLANTING.



**FIRE HYDRANT CLEAR ZONE DETAIL**

ALL PLANTING SHALL BE IDENTIFIED BY NAME, NUMBER, SIZE, LOCATION OF AND DATE OF PLANTING. PLANTING SHALL BE IDENTIFIED BY NAME, NUMBER, SIZE, LOCATION OF AND DATE OF PLANTING.



**SHRUB PLANTING ADJACENT TO BUILDINGS DETAIL**

ALL PLANTING SHALL BE IDENTIFIED BY NAME, NUMBER, SIZE, LOCATION OF AND DATE OF PLANTING. PLANTING SHALL BE IDENTIFIED BY NAME, NUMBER, SIZE, LOCATION OF AND DATE OF PLANTING.



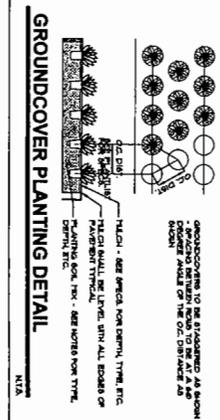
**TYPICAL PLANTING SCREEN FOR GROUND-MOUNTED EQUIPMENT**

ALL PLANTING SHALL BE IDENTIFIED BY NAME, NUMBER, SIZE, LOCATION OF AND DATE OF PLANTING. PLANTING SHALL BE IDENTIFIED BY NAME, NUMBER, SIZE, LOCATION OF AND DATE OF PLANTING.



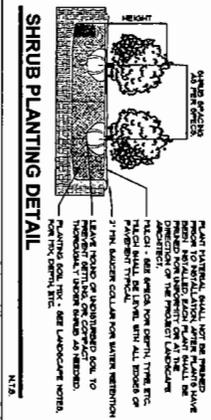
**MINIMUM TREE CLEARANCE FROM LIGHT FIXTURES**

ALL PLANTING SHALL BE IDENTIFIED BY NAME, NUMBER, SIZE, LOCATION OF AND DATE OF PLANTING. PLANTING SHALL BE IDENTIFIED BY NAME, NUMBER, SIZE, LOCATION OF AND DATE OF PLANTING.



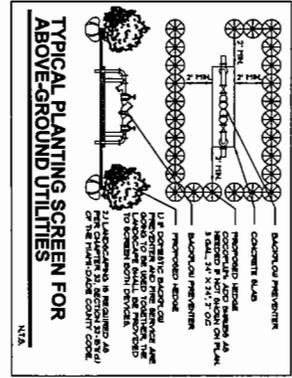
**GROUNDCOVER PLANTING DETAIL**

ALL PLANTING SHALL BE IDENTIFIED BY NAME, NUMBER, SIZE, LOCATION OF AND DATE OF PLANTING. PLANTING SHALL BE IDENTIFIED BY NAME, NUMBER, SIZE, LOCATION OF AND DATE OF PLANTING.



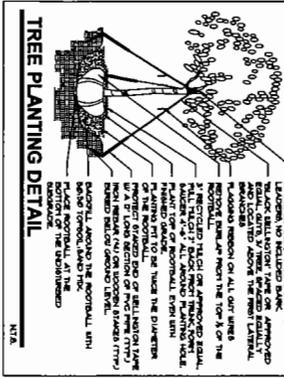
**SHRUB PLANTING DETAIL**

ALL PLANTING SHALL BE IDENTIFIED BY NAME, NUMBER, SIZE, LOCATION OF AND DATE OF PLANTING. PLANTING SHALL BE IDENTIFIED BY NAME, NUMBER, SIZE, LOCATION OF AND DATE OF PLANTING.



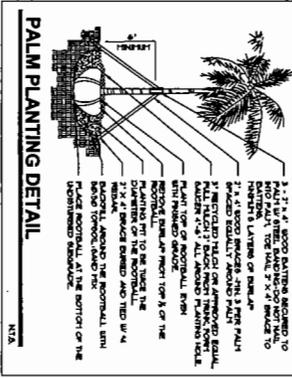
**TYPICAL PLANTING SCREEN FOR ABOVE-GROUND UTILITIES**

ALL PLANTING SHALL BE IDENTIFIED BY NAME, NUMBER, SIZE, LOCATION OF AND DATE OF PLANTING. PLANTING SHALL BE IDENTIFIED BY NAME, NUMBER, SIZE, LOCATION OF AND DATE OF PLANTING.



**TREE PLANTING DETAIL**

ALL PLANTING SHALL BE IDENTIFIED BY NAME, NUMBER, SIZE, LOCATION OF AND DATE OF PLANTING. PLANTING SHALL BE IDENTIFIED BY NAME, NUMBER, SIZE, LOCATION OF AND DATE OF PLANTING.



**PALM PLANTING DETAIL**

ALL PLANTING SHALL BE IDENTIFIED BY NAME, NUMBER, SIZE, LOCATION OF AND DATE OF PLANTING. PLANTING SHALL BE IDENTIFIED BY NAME, NUMBER, SIZE, LOCATION OF AND DATE OF PLANTING.

**RECEIVED**  
NOV 20 2012

ZONING HEARINGS SECTION  
MIAMI-DADE PLANNING AND ZONING DEPT.

**RECEIVED**  
NOV 20 2012

LANDSCAPE DETAILS, SPECIFICATIONS, ETC.

No.	Date	Revision
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

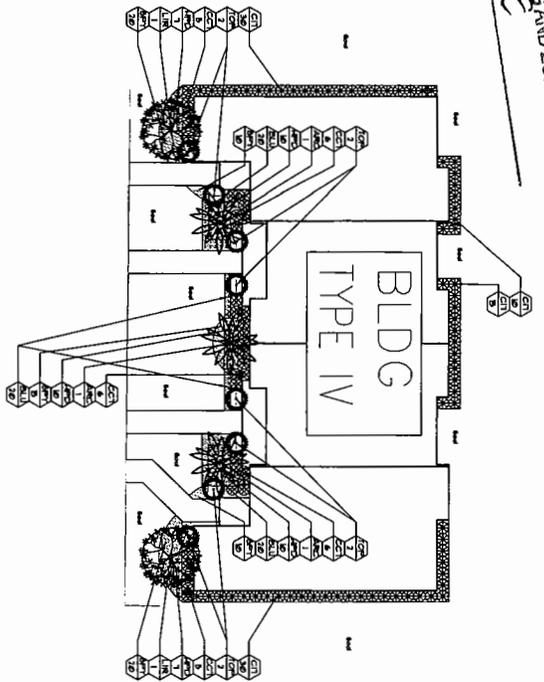
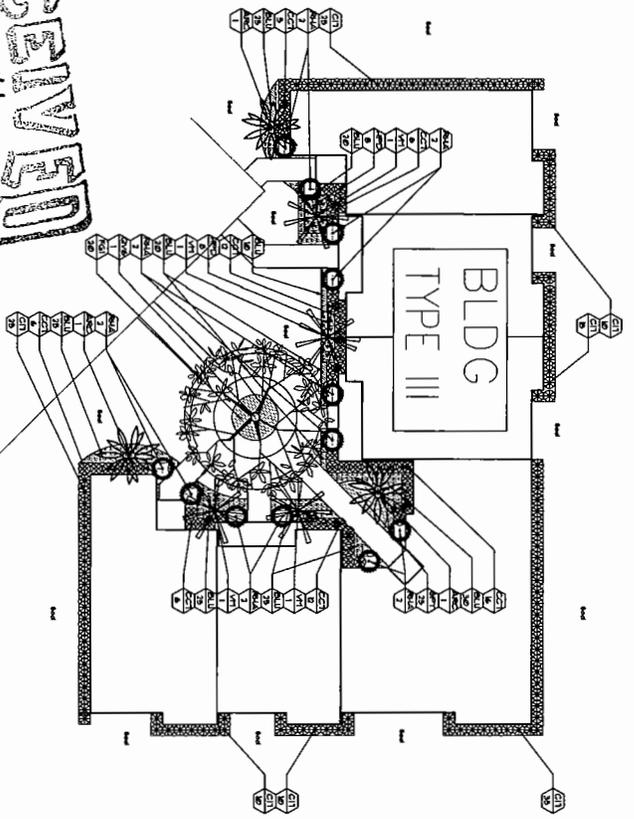
**VILLA CAPRI PHASE II**  
1450 S.W. 280th St.  
Miami-Dade, FL 33032  
THE CORNERSTONE GROUP  
2100 Hollywood Blvd.  
Hollywood, FL 33021

**JFS Design Inc.**  
LANDSCAPE ARCHITECTURE  
LC 000393  
www.jfsdesignfl.com  
jimmy@jfsdesignfl.com

45

**RECEIVED**  
NOV 28 2012

ZONING HEARINGS SECTION  
MIAMI-DADE PLANNING AND ZONING DEPT.  
BY KFE



**BUILDING TYPE III**  
SCALE: 1" = 8'

PLANTLIST	PLANTLIST
QTY	QTY
NAME	NAME
BOTANICAL NAME	BOTANICAL NAME
SPECIFICATION	SPECIFICATION
1	1
2	2
3	3
4	4
5	5
6	6
7	7
8	8
9	9
10	10
11	11
12	12
13	13
14	14
15	15
16	16
17	17
18	18
19	19
20	20
21	21
22	22
23	23
24	24
25	25
26	26
27	27
28	28
29	29
30	30
31	31
32	32
33	33
34	34
35	35
36	36
37	37
38	38
39	39
40	40
41	41
42	42
43	43
44	44
45	45
46	46
47	47
48	48
49	49
50	50
51	51
52	52
53	53
54	54
55	55
56	56
57	57
58	58
59	59
60	60
61	61
62	62
63	63
64	64
65	65
66	66
67	67
68	68
69	69
70	70
71	71
72	72
73	73
74	74
75	75
76	76
77	77
78	78
79	79
80	80
81	81
82	82
83	83
84	84
85	85
86	86
87	87
88	88
89	89
90	90
91	91
92	92
93	93
94	94
95	95
96	96
97	97
98	98
99	99
100	100

NOTE: SEE THE LANDSCAPE PLAN PLANT LIST FOR TOTAL QTY.  
NOTE: ALL PLANTS ARE TO BE PLANTED TO ACCORD WITH THE SPECIFICATIONS TO INCLUDE ALL NECESSARY ABOVE-GROUND UTILITIES, IRRIGATION AND FERTILIZATION.

**BUILDING TYPE IV**  
SCALE: 1" = 8'

PLANTLIST	PLANTLIST
QTY	QTY
NAME	NAME
BOTANICAL NAME	BOTANICAL NAME
SPECIFICATION	SPECIFICATION
1	1
2	2
3	3
4	4
5	5
6	6
7	7
8	8
9	9
10	10
11	11
12	12
13	13
14	14
15	15
16	16
17	17
18	18
19	19
20	20
21	21
22	22
23	23
24	24
25	25
26	26
27	27
28	28
29	29
30	30
31	31
32	32
33	33
34	34
35	35
36	36
37	37
38	38
39	39
40	40
41	41
42	42
43	43
44	44
45	45
46	46
47	47
48	48
49	49
50	50
51	51
52	52
53	53
54	54
55	55
56	56
57	57
58	58
59	59
60	60
61	61
62	62
63	63
64	64
65	65
66	66
67	67
68	68
69	69
70	70
71	71
72	72
73	73
74	74
75	75
76	76
77	77
78	78
79	79
80	80
81	81
82	82
83	83
84	84
85	85
86	86
87	87
88	88
89	89
90	90
91	91
92	92
93	93
94	94
95	95
96	96
97	97
98	98
99	99
100	100

NOTE: SEE THE LANDSCAPE PLAN PLANT LIST FOR TOTAL QTY.  
NOTE: ALL PLANTS ARE TO BE PLANTED TO ACCORD WITH THE SPECIFICATIONS TO INCLUDE ALL NECESSARY ABOVE-GROUND UTILITIES, IRRIGATION AND FERTILIZATION.

**RECEIVED**  
SEP 14 2012

TYPICAL UNIT  
LANDSCAPE PLANS

**VILLA CAPRI PHASE II**  
14500 S.W. 280th St.  
Miami-Dade, FL 33032  
THE CORNERSTONE GROUP  
2100 Hollywood Blvd.  
Hollywood, FL 33021

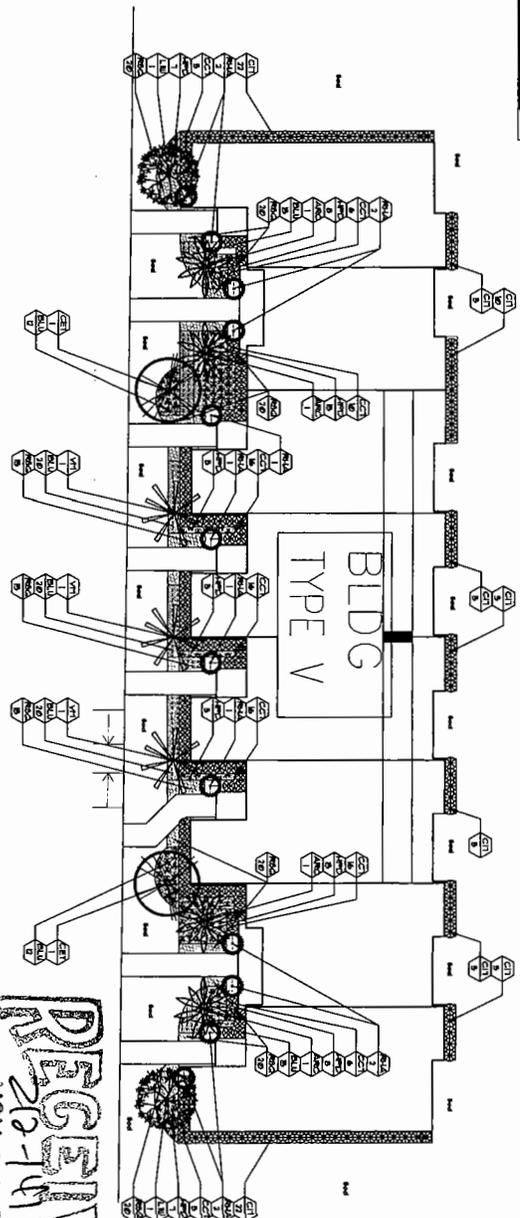
**JFS Design Inc.**  
LANDSCAPE ARCHITECTURE  
LC 000393  
www.jfsdesignfl.com  
jimmy@jfsdesignfl.com

**RECEIVED**  
SEP 14 2012

**TU-1**

DATE: JULY 9, 2012  
SCALE: 1" = 8'

DESIGNED BY: J.F. COCCARINI  
CHECKED BY: T.Y. TORRES  
APPROVED BY: J.F. COCCARINI  
PROJECT NO.: B-46  
DATE: JULY 9, 2012  
SCALE: 1" = 8'



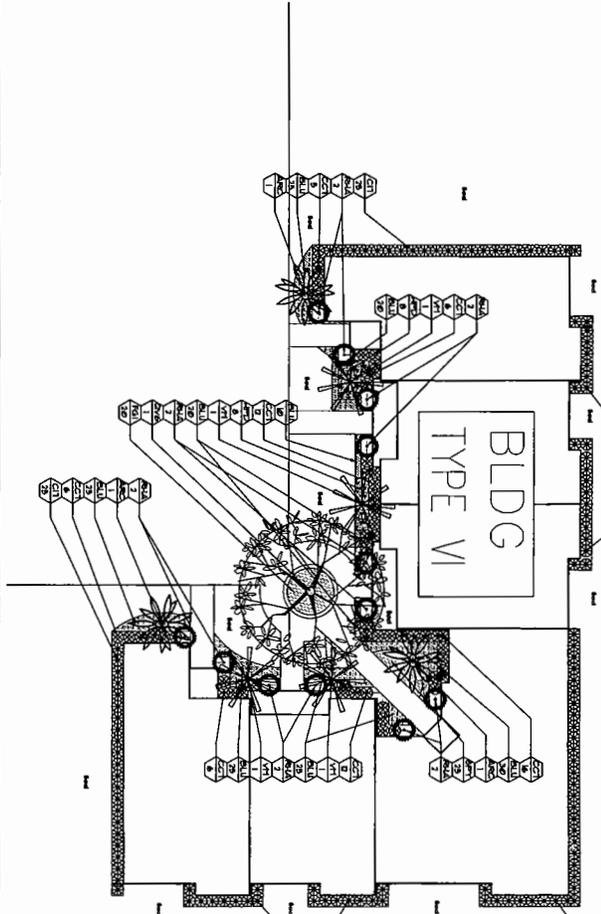
**BUILDING TYPE V**  
SCALE: 1" = 8'

**PLANTLIST**

PLANT NAME	TYPE	BOTANICAL NAME	SPECIFICATION
1 OLIVE BOTTLEWOOD	TREES	<i>Canarium meso-panicum</i>	8" x 8" STANDARD
2 CANTON MIMOSA	TREES	<i>Leguminosae mimosae</i>	8" x 8" x 10' x 10' x 8" x 10'
3 KING ALBANY PALM	PALMS	<i>Archontophoenix alexandrina</i>	10' x 10' x 10' x 10' x 10'
4 HORTON PALM	PALMS	<i>Washingtonia robusta</i>	10' x 10' x 10' x 10' x 10'
5 BIRIBIRI GROUNDCOVER AND ACCENTS	GROUNDCOVER	<i>Chorizanthe linearis</i>	1" x 1" x 1" x 1" x 1" x 1"
6 JAMAICA CACTUS	CACTUS	<i>Cylindropuntia cholla</i>	1" x 1" x 1" x 1" x 1" x 1"
7 COCCOON	GROUNDCOVER	<i>Chorizanthe linearis</i>	1" x 1" x 1" x 1" x 1" x 1"
8 DUNE PALM	PALMS	<i>Chorizanthe linearis</i>	1" x 1" x 1" x 1" x 1" x 1"
9 DUNE PALM	PALMS	<i>Chorizanthe linearis</i>	1" x 1" x 1" x 1" x 1" x 1"
10 DUNE PALM	PALMS	<i>Chorizanthe linearis</i>	1" x 1" x 1" x 1" x 1" x 1"

**RECEIVED**  
NOV 20 2012

ZONING HEARINGS SECTION  
MIAMI-DADE PLANNING AND ZONING DEPT.  
BY *[Signature]*



**BUILDING TYPE VI**  
SCALE: 1" = 8'

**PLANTLIST**

PLANT NAME	TYPE	BOTANICAL NAME	SPECIFICATION
1 LIVE OAK	TREES	<i>Quercus virginiana</i>	10' x 10' x 10' x 10' x 10'
2 KING ALBANY PALM	PALMS	<i>Archontophoenix alexandrina</i>	10' x 10' x 10' x 10' x 10'
3 HORTON PALM	PALMS	<i>Washingtonia robusta</i>	10' x 10' x 10' x 10' x 10'
4 BIRIBIRI GROUNDCOVER AND ACCENTS	GROUNDCOVER	<i>Chorizanthe linearis</i>	1" x 1" x 1" x 1" x 1" x 1"
5 COCCOON	GROUNDCOVER	<i>Chorizanthe linearis</i>	1" x 1" x 1" x 1" x 1" x 1"
6 JAMAICA CACTUS	CACTUS	<i>Cylindropuntia cholla</i>	1" x 1" x 1" x 1" x 1" x 1"
7 DUNE PALM	PALMS	<i>Chorizanthe linearis</i>	1" x 1" x 1" x 1" x 1" x 1"
8 DUNE PALM	PALMS	<i>Chorizanthe linearis</i>	1" x 1" x 1" x 1" x 1" x 1"
9 DUNE PALM	PALMS	<i>Chorizanthe linearis</i>	1" x 1" x 1" x 1" x 1" x 1"
10 DUNE PALM	PALMS	<i>Chorizanthe linearis</i>	1" x 1" x 1" x 1" x 1" x 1"

**RECEIVED**  
NOV 18 2012

TYPICAL UNIT LANDSCAPE PLANS

NOTE: SEE THE LANDSCAPE PLAN FOR UNIT FOR TOTAL PLANT QUANTITIES.  
NOTE: ALL PLANTS ARE TO BE PLANTED TO ADVANCE WITH THE CONSTRUCTION TO INCLUDE ALL PLANTS ABOVE-GROUND UNLESS OTHERWISE INDICATED AND PLANTED.

**VILLA CAPRI PHASE II**  
14500 S.W. 280th St.  
Miami-Dade, FL 33032  
THE CORNERSTONE GROUP  
2100 Hollywood Blvd.  
Hollywood, FL 33021

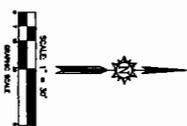
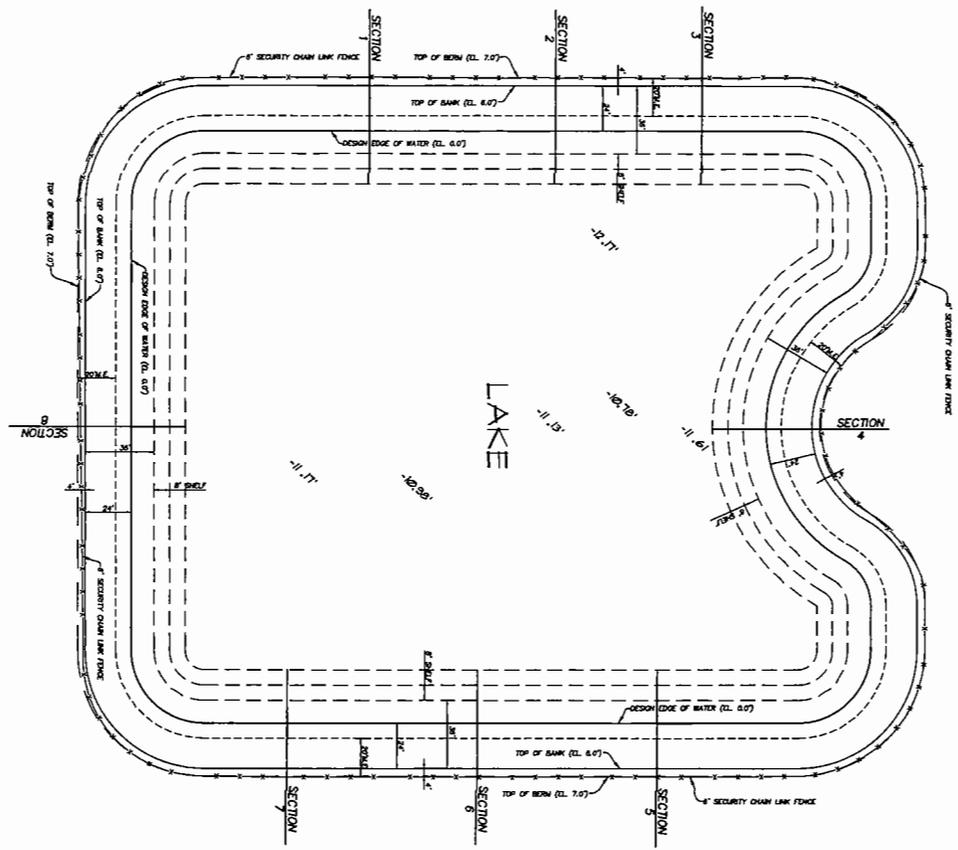
**JFS Design Inc.**  
LANDSCAPE ARCHITECTURE  
LC 000393  
www.jfsdesignfl.com  
jimmy@jfsdesignfl.com

Drawn: *[Signature]*  
Checked: *[Signature]*  
Date: 11/16/12  
Project: 11-12-0001  
Sheet: TU-2



**LEGEND**

- MANTONDAE CASPER
- AS-BUILT BOTTOM ELEVATION
- BANK IN SOIL
- SLOPE ELEVATION



**RECEIVED**  
 2012-11-14  
 NOV 20 2012  
 ZONING HEARINGS SECTION  
 MIAMI-DADE PLANNING AND ZONING DEPT.  
 BY XX FE

RECEIVED  
 2012-11-14  
 NOV 13 2012

**SURVEY NOTES:**

1. THE EXISTING SURVEY MONUMENTS ARE SET INTO CONCRETE. THE ORIGINAL SURVEY MONUMENTS WERE ESTABLISHED FROM A 1940-1945 COUNTY ENGINEERING DEPARTMENT RECORDING. H-10N, EXTENSION = 6.87'.
2. THE AS-BUILT SURVEY SHOWN HEREON IS APPROVED FOR LAKES PERMANENT PURPOSES ONLY. THIS SURVEY IS NOT A FIELD SURVEY.

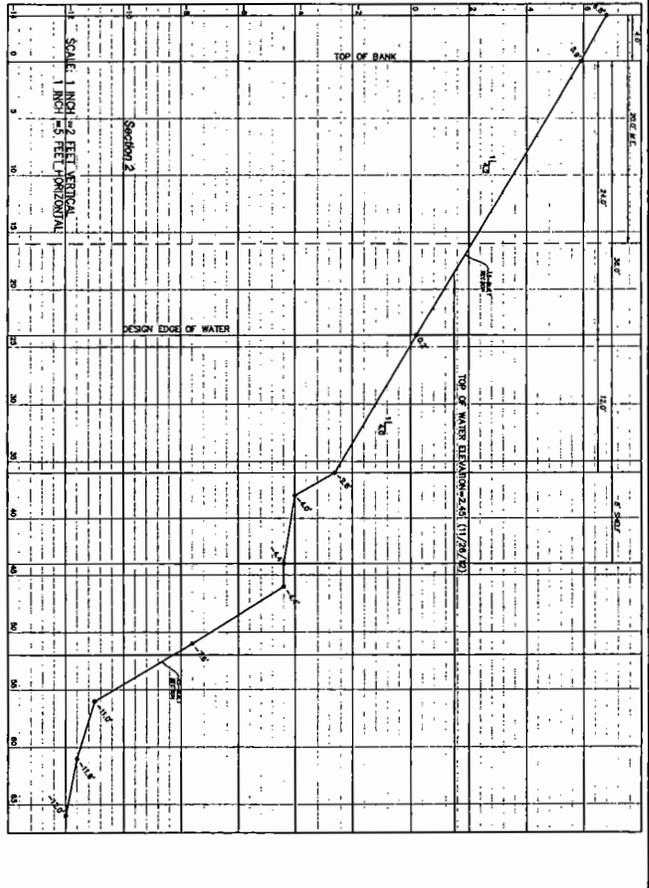
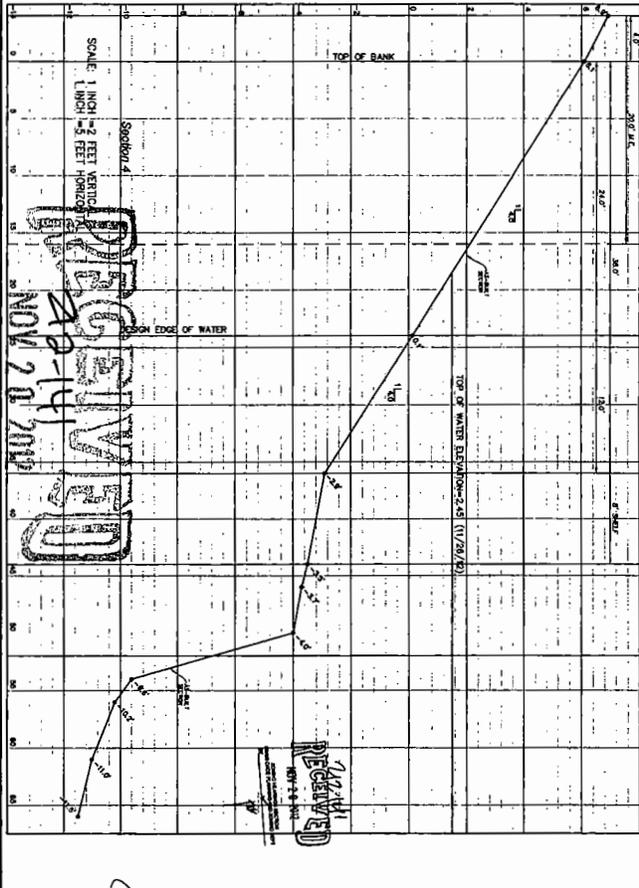
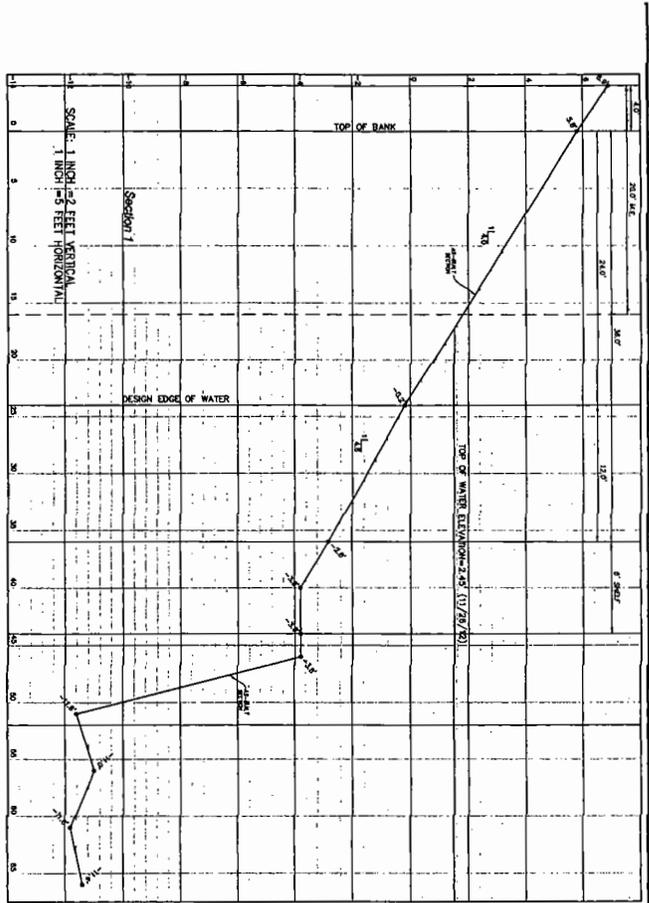
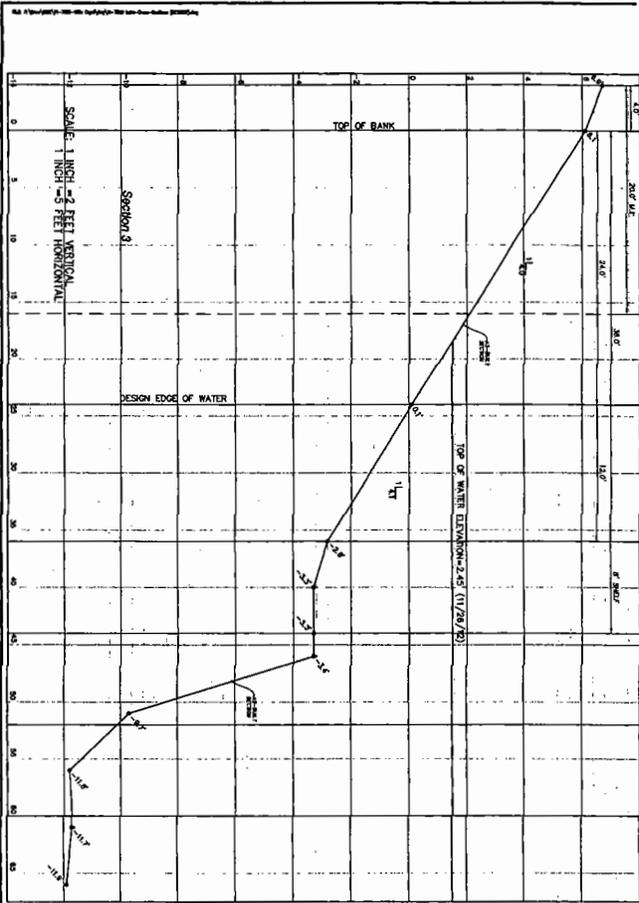
**CERTIFICATE (CASE AS-BUILT)**

THIS IS TO CERTIFY THAT THE AS-BUILT SURVEY SHOWN HEREON MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND APPEARS IN COMPLIANCE WITH THE FLORIDA STATUTES AND RULES GOVERNING THE PRACTICE OF SURVEYING IN THE STATE OF FLORIDA. THIS SURVEY IS NOT A FIELD SURVEY.

RICHARD S. CRAWFORD, JR.  
 PROFESSIONAL SURVEYOR AND MAPPER NO. 5371  
 STATE OF FLORIDA

PROJECT 11-7809	DATE OF SURVEY	11/26/12	TEL (854) 585-0997 FAX (854) 585-3927	NO.	REVISION	DATE	BY
	DRAWN	DEL					
SHEET NO. 1 OF 3	CHECKED	ROC	STONER & ASSOCIATES, Inc. SURVEYORS - MAPPERS Florida Licensed Survey and Mapping Business No. 0653 4341 S.W. 62nd AVENUE TOWN OF DAVE, FLORIDA 33314	THE MATERIAL SHOWN HEREON IS THE PROPERTY OF STONER & ASSOCIATES, INC. AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT PERMISSION OF STONER & ASSOCIATES, INC. COPYRIGHT © 2012			
	FIELD BOOK	KXC					

49



ZONING HEARINGS SECTION  
 MIAMI-DADE PLANNING AND ZONING DEPT.  
 BY for TE

DATE OF FIELD WORK: 11/28/12  
 DRAWN BY: ORL  
 CHECKED BY: ROC  
 FIELD BOOK: [blank]  
 BOOK NO.: 82513-45  
 & FIELD DATA COLLECTOR

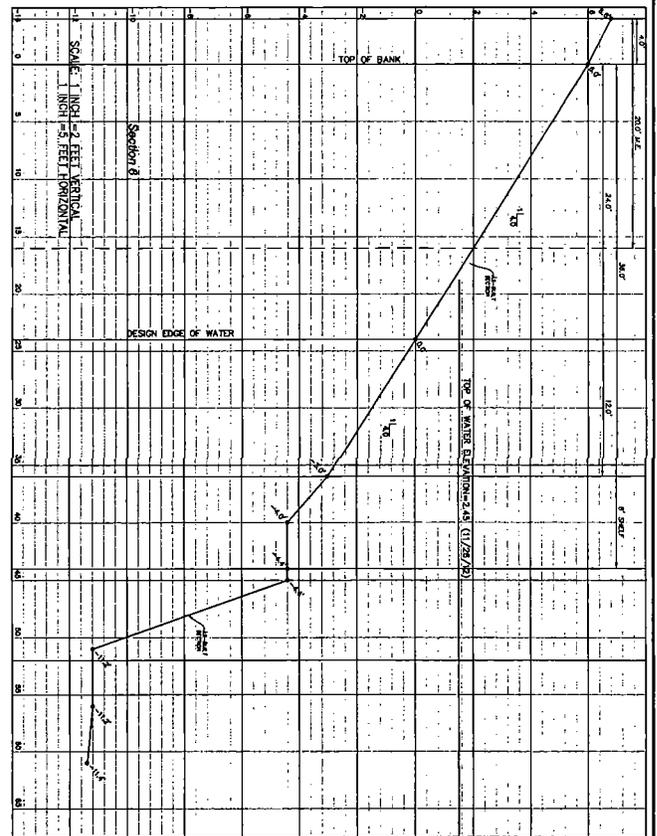
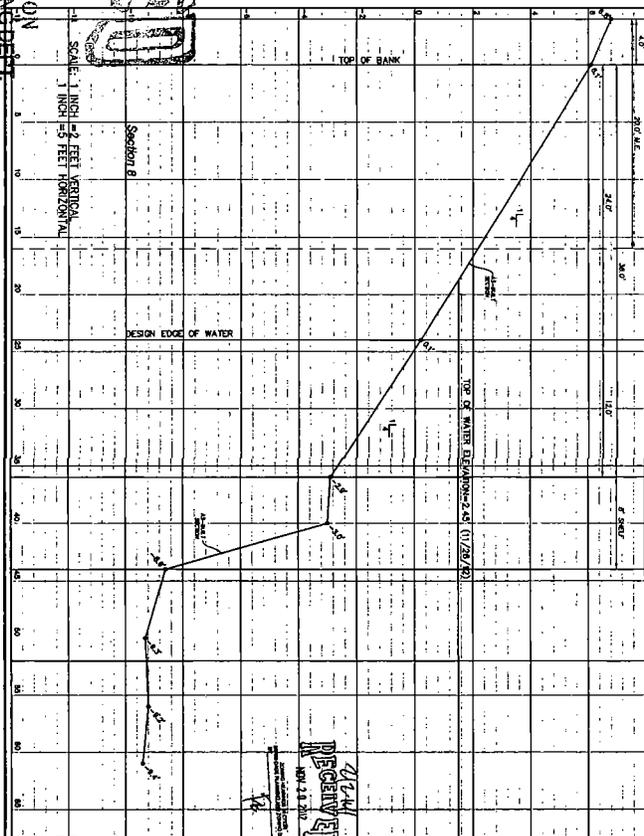
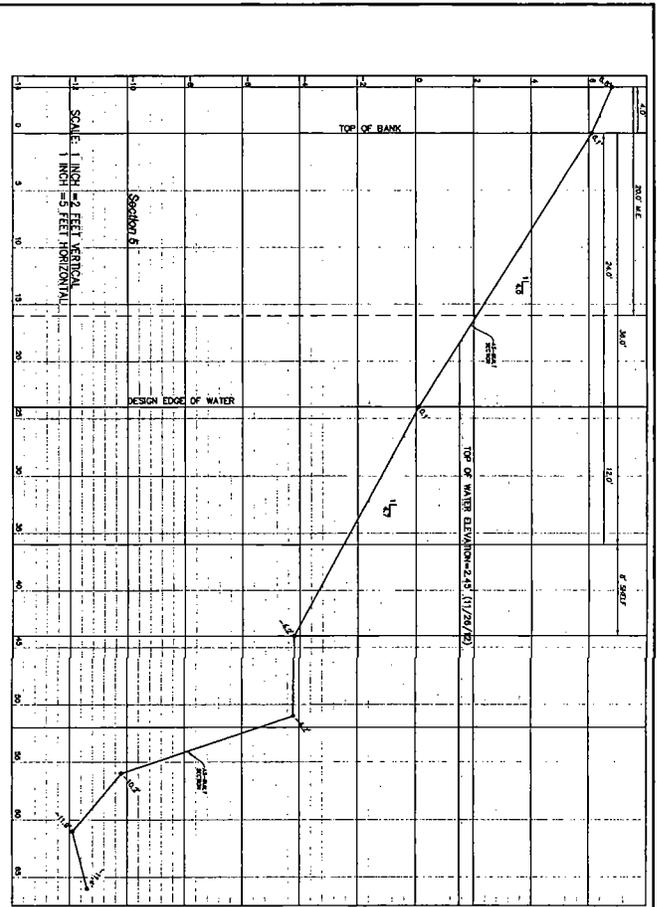
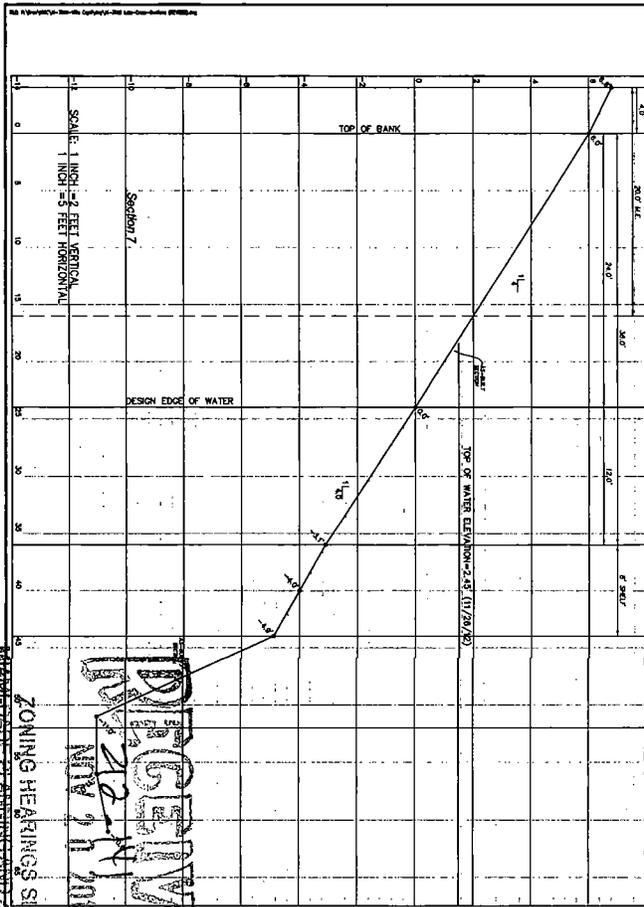
**LAKE CROSS-SECTIONS**  
**VILLA CAPRI**  
 HOMESTEAD, MIAMI-DADE COUNTY, FLORIDA

**STONER & ASSOCIATES, Inc.**  
 SURVEYORS - MAPPERS  
 Florida Licensed Surveyors  
 and Mapping Business No. 8633  
 4341 S.W. 82nd AVENUE TOWN OF DAVE, FLORIDA 33314

NO.	REVISION	DATE	BY

THE NATIONAL BROWN BANNER IS THE PROPERTY OF STONER & ASSOCIATES, INC. AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT PERMISSION OF STONER & ASSOCIATES, INC. COPYRIGHT © 2012

50



**RECEIVED**  
MAY 22 2012  
MIA-DAD ZONING DEPT.

BY KOV FE.

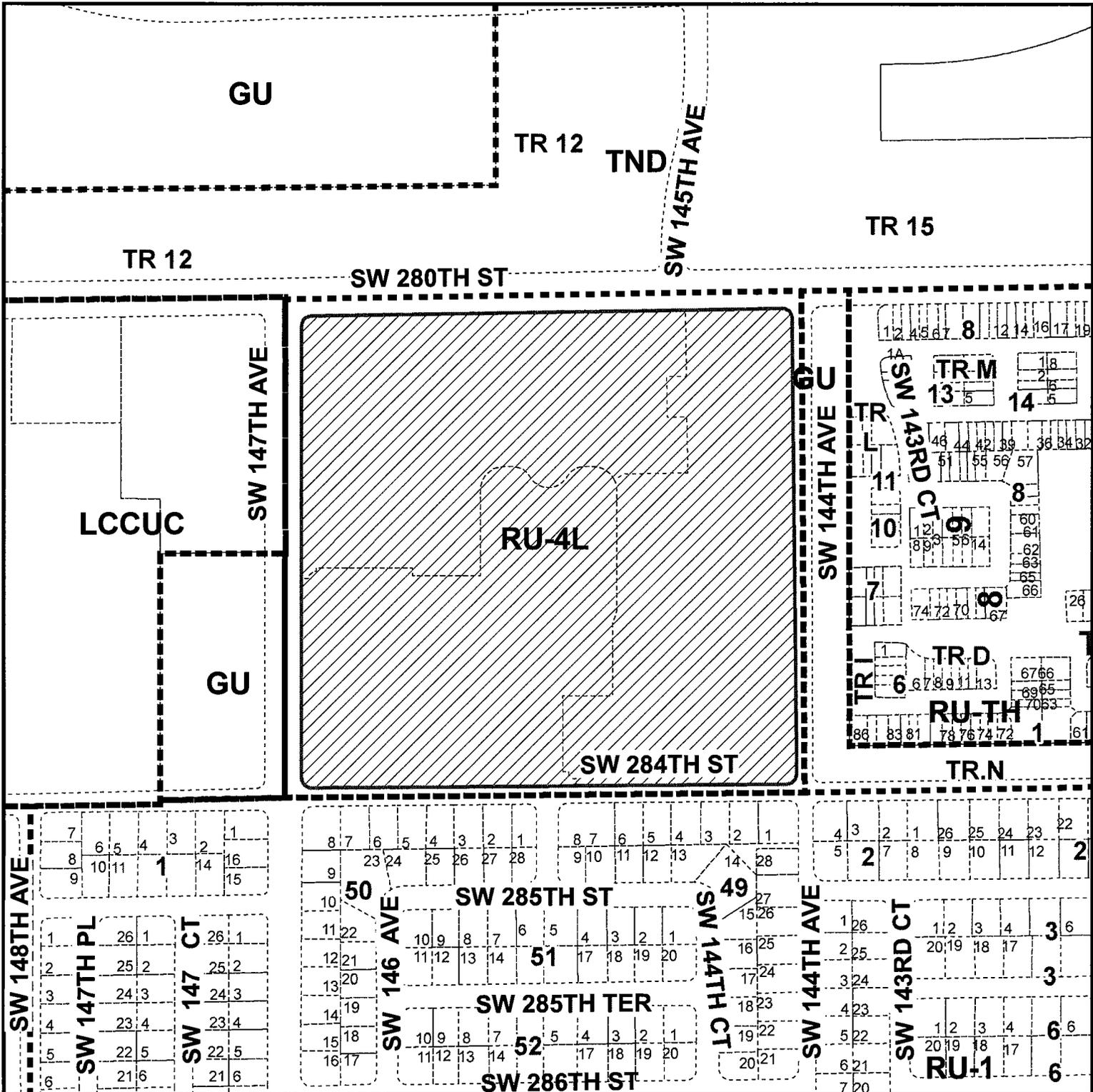
PROJECT	11-7809
SHEET NO.	3 OF 3
DATE	11/28/12
DRAWN	ORL
CHECKED	ROC
FIELD BOOK	
BOOK	822-43-45
FIELD DATA COLLECTOR	

**LAKE CROSS-SECTIONS**  
**VILLA CAPRI**  
HOMESTEAD, MIAMI-DADE COUNTY, FLORIDA

**STONER & ASSOCIATES, Inc.**  
SURVEYING & MAPPING  
Florida Licensed Survey  
and Mapping Business No. 6633  
4341 S.W. 62nd AVENUE TOWN OF DAVE, FLORIDA 33314

NO.	REVISION	DATE BY

51



**MIAMI-DADE COUNTY**  
**HEARING MAP**

Process Number

**Z2012000141**



Section: 03 Township: 57 Range: 39

Applicant: VILLA CAPRI, INC., VILLA CAPRI ASSOC.,LTD, VILLA CAPRI ASSOC., 111,LTD

Zoning Board: C15

Commission District: 9

Drafter ID: JEFFER GURDIAN

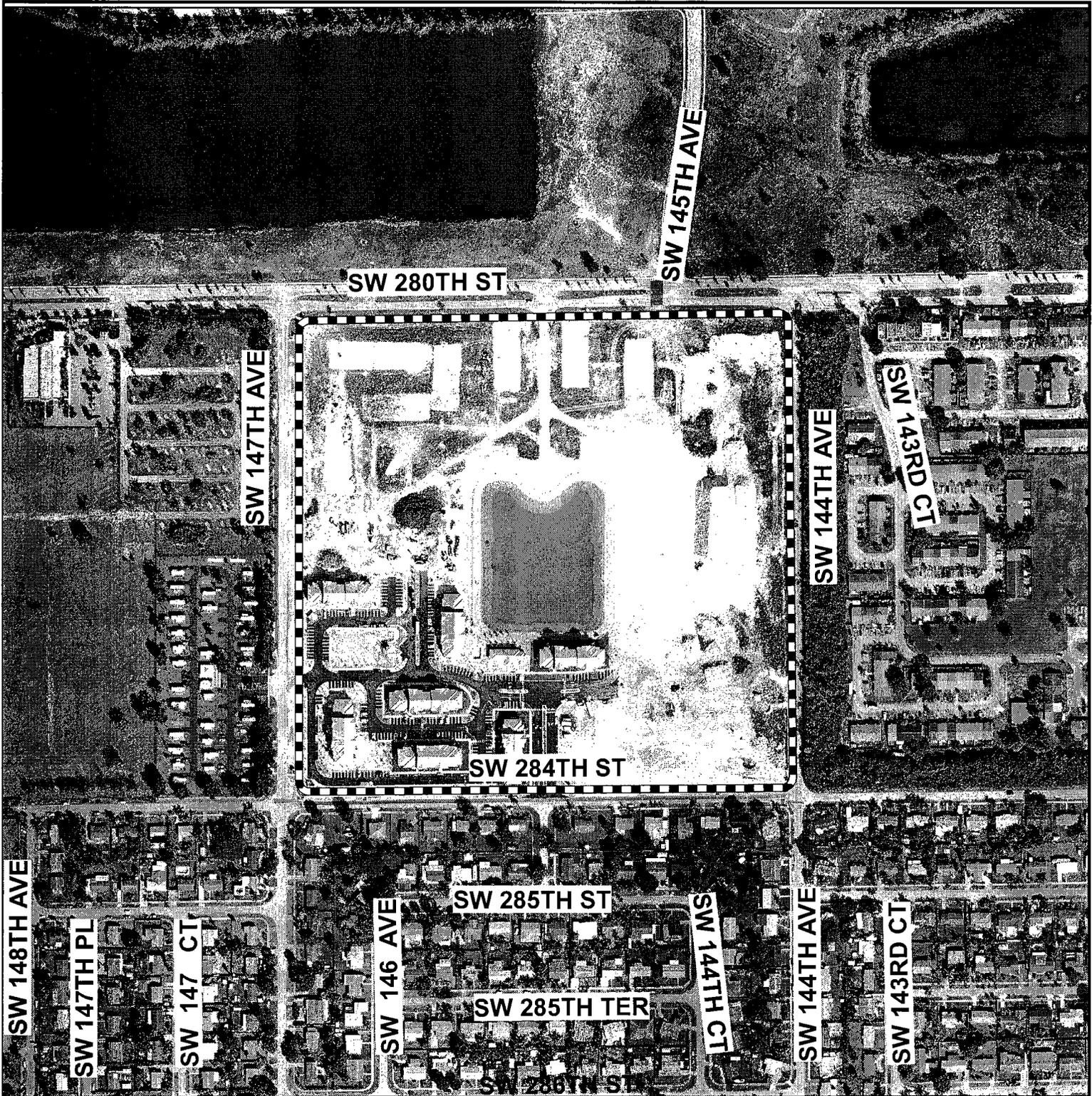
Scale: NTS

**Legend**

 Subject Property Case



REVISION	DATE	BY
		52



**MIAMI-DADE COUNTY**

Process Number

AERIAL YEAR 2009

**Z2012000141**



Section: 03 Township: 57 Range: 39

Applicant: VILLA CAPRI, INC., VILLA CAPRI ASSOC.,LTD, VILLA CAPRI ASSOC., 111,LTD

Zoning Board: C15

Commission District: 9

Drafter ID: JEFFER GURDIAN

Scale: NTS

Legend

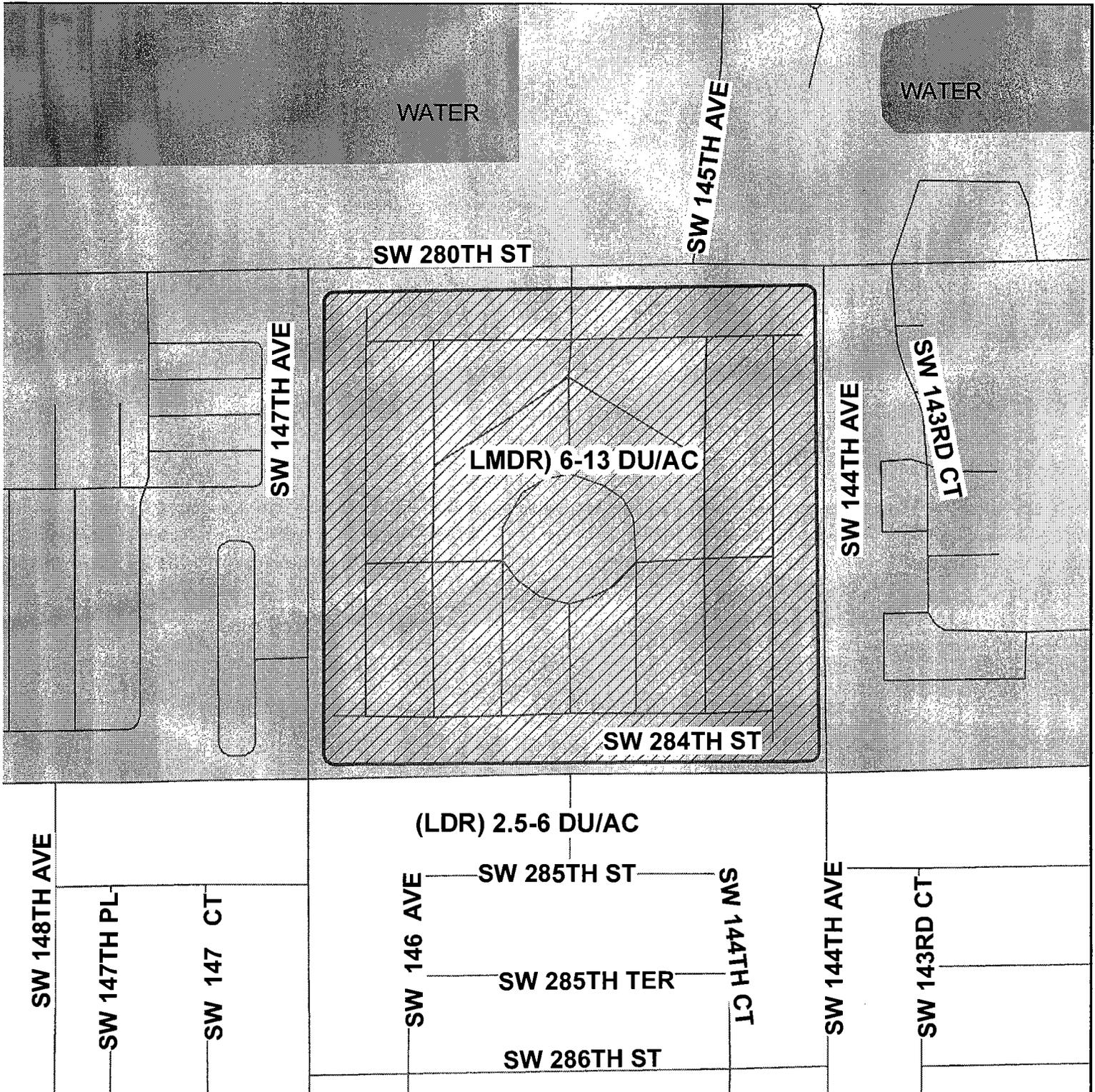
 Subject Property



SKETCH CREATED ON: Thursday, December 6, 2012

REVISION	DATE	BY
		53





**MIAMI-DADE COUNTY**  
**CDMP MAP**

Process Number  
**Z2012000141**



Section: 03 Township: 57 Range: 39

Applicant: VILLA CAPRI, INC., VILLA CAPRI ASSOC.,LTD, VILLA CAPRI ASSOC., 111,LTD

Zoning Board: C15

Commission District: 9

Drafter ID: JEFFER GURDIAN

Scale: NTS

**Legend**

 Subject Property Case



SKETCH CREATED ON: Thursday, December 6, 2012

REVISION	DATE	BY

**Miami-Dade County Department of Regulatory and Economic Resources  
Staff Report to Community Council No. 15**

**PH: Z13-007 (13-05-CZ15-1)**

**May 22, 2013**

Item No. 1

<b>Recommendation Summary</b>	
<b>Commission District</b>	9
<b>Applicant</b>	Waste Management Inc. of Florida
<b>Summary of Requests</b>	The applicant is seeking to modify conditions of previously approved resolutions to increase the height and extend the closure of a landfill.
<b>Location</b>	11695 SW 328 Street, Miami-Dade County, Florida
<b>Property Size</b>	55.36-acre
<b>Existing Zoning</b>	AU, Agricultural
<b>Existing Land Use</b>	Landfill
<b>2015-2025 CDMP Land Use Designation</b>	Agriculture (see attached Zoning Recommendation Addendum)
<b>Comprehensive Plan Consistency</b>	Consistent with interpretative text, goals, objectives and policies of the CDMP
<b>Applicable Zoning Code Section(s)</b>	Section 33-311(A)(7) Generalized Modification Standards (see attached Zoning Recommendation Addendum)
<b>Recommendation</b>	<b>Approval with conditions</b>

**REQUESTS:**

- (1) Modification of Condition #2 of Resolution No. 4-ZAB-180-91, as last modified by Resolution No. CZAB15-1-10, passed and adopted by Community Zoning Appeals Board #15, and reading as follows:

From: "2. That in the approval of the plan, the same be substantially in accordance with that submitted for the hearing entitled 'Delta Homestead C & D Facility and Delta Recycling Homestead' as prepared by Globex Engineering & Development consisting of 1 sheet, dated stamped received 9/9/09."

To: "2. That in the approval of the plan, the same be substantially in accordance with that submitted for the hearing entitled "Vertical Expansion WM Homestead C & D Facility" as prepared by SCS Globex Engineering consisting of 7 sheets dated stamped received 1/22/13, "Landscape Permit Plan" prepared by ATKINS consisting of 6 sheets, dated stamped received 4/9/13."

- (2) Modification of Condition #6 of Resolution No. 5-ZAB-338-94, as last modified Resolution No. CZAB15-17-05, passed and adopted by Community Zoning Appeals Board # 15, and reading as follows:

From: "6. That the berm and accompanying landscaping to be maintained along the rights-of-way will be at a height such that the top of the filled areas of the landfill (34' maximum above grade) will not be visible from automobiles traveling along S.W. 328 Street and S.W. 117 Avenue, as shown on the plans entitled 'Atlas Homestead, Inc. C & D Landfill and M.R.F. Facility' as prepared by Globex Engineering & Development consisting of 1 sheet dated, signed and sealed 1/19/04, sheet 2 dated 3/19/04 and plans entitled 'Atlas-Homestead, Inc. C & D Landfill and M.R.F. Facility' as prepared by P.B.S.& J., consisting of sheet LA-1R dated 11/22/04, Sheets LA-2 through LA-6 dated,

signed and sealed 10/23/03 and a 'Sketch of Survey' as prepared by Craven-Thompson and Associates, Inc., dated received 11/23/04 and consisting of 1 sheet."

To: "6. That the berm and accompanying landscaping to be maintained along the rights-of-way will be at a height such that the top of the filled areas of the landfill (54' maximum above grade) will not be visible from automobiles traveling along SW 328 Street and SW 117 Avenue, as shown on the plans entitled "Vertical Expansion WM Homestead C & D Facility" as prepared by SCS Globex Engineering consisting of 7 sheets dated stamped received 1/22/13, "Landscape Permit Plan" prepared by ATKINS consisting of 6 sheets, dated stamped received 4/9/13."

(3) Modification of Condition #7 of Resolution No. 4-ZAB-425-92, as last modified by Resolution No. CZAB15-1-10, passed and adopted by Community Zoning Appeals Board #15, and reading as follows:

From: "7. That the time for completion of the project be as follows: the closure of the landfill shall be July 1, 2014, and completion of the activities of the Materials Recycling Facility (MRF) shall be December 31, 2023."

To: "7. That the time for completion of the project be as follows: the closure of the landfill shall be July 1, 2025, and completion of the activities of the Materials Recycling Facility (MRF) shall be December 31, 2035."

The purpose of requests #1 through #3 is to allow the applicant to submit a revised site plan showing an increase in the height of the landfill and to extend the time for closure and completion of the landfill.

The aforementioned plans are on file and may be examined in the Department of Regulatory and Economic Resources. Plans may be modified at public hearing.

**PROJECT DESCRIPTION:**

The site plan depicts an existing 55.36-acre landfill.

<b><u>NEIGHBORHOOD CHARACTERISTICS</u></b>		
	<b>Zoning and Existing Use</b>	<b>Land Use Designation</b>
<b>Subject Property</b>	AU; landfill	Agriculture
<b>North</b>	AU; vacant	Agriculture
<b>South</b>	AU; vacant	Agriculture
<b>East</b>	AU; row crops and vacant	Agriculture
<b>West</b>	AU; row crops	Open Land

**NEIGHBORHOOD COMPATIBILITY:**

The subject property is an existing 55.36-acre landfill located on SW 117 Avenue between SW 320 Street (Mowry Drive) and SW 328 Street (Canal Drive). The surrounding area is characterized by agricultural uses and vacant land.

**SUMMARY OF THE IMPACTS:**

Approval of this application will allow the applicant to extend the closure date for the existing construction and demolition (C & D) debris landfill and increase the height of the landfill. However, approval of the requests could have a visual impact on the surrounding area.

**CDMP ANALYSIS:**

The subject property is located outside the Urban Development Boundary and designated as **Agriculture** on the Adopted 2015-2025 Land Use Plan (LUP) map. The interpretative text of the Comprehensive Development Master Plan (CDMP) indicates that the area designated as "Agriculture" contains the best agricultural land remaining in Miami-Dade County. As stated in the Miami-Dade County Strategic Plan, approved in 2003 by the Board of County Commissioners, protection of viable agriculture is a priority. The text further indicates that other uses, including utility uses compatible with agriculture and with the rural residential character may be approved in the Agriculture area only if deemed to be a public necessity, or if deemed to be in the public interest and the applicant demonstrates that no suitable site for the use exists outside the Agriculture area. Staff notes that the existing landfill was approved pursuant to Resolution No. 4-ZAB-180-91 on a portion of the subject property and subsequently permitted to expand, pursuant to Resolution No. 4-ZAB-425-92. The applicant is proposing to increase the height of the existing landfill and extend the closure date to July 1, 2025 for the existing C & D debris landfill and extend the completion date of the activities of the Materials Recycling Facility until December 31, 2035. Staff notes that the submitted letter of intent indicates that the population in south Miami-Dade County is estimated to increase significantly over the next ten years resulting in the need for additional C & D debris landfill capacity, therefore demonstrating that the landfill use is a public necessity. Staff opines that the existing location is a suitable site to increase the capacity for the existing landfill because it can no longer be used for agricultural purposes and will not further deplete agriculture land. Approval of this application will not change the existing landfill use, therefore, staff opines that the existing C& D debris landfill remains **consistent** with the CDMP Land Use interpretative text which states *all existing lawful uses and zoning are deemed to be consistent with this Plan unless such a use or zoning (a) is found through a subsequent planning study, as provided in Policy LU-4E, to be inconsistent with the criteria set forth below; and (b) the implementation of such a finding will not result in a temporary or permanent taking or in the abrogation of vested rights as determined by the Code of Miami-Dade County, Florida.*

The revised site plan submitted in conjunction with this application depicts an increase in height for the landfill from 34' to 54'. Staff opines that said site plan is **compatible** with the surrounding area based on compatibility criteria set forth in the **Land Use Element Policy LU-4A** which states *when evaluating compatibility among proximate land uses, the County shall consider such factors as noise, lighting, shadows, glare, vibration, odor, runoff, access, **traffic**, parking, height, bulk, scale of architectural elements, **landscaping**, hours of operation, buffering, and safety, as applicable.* Staff notes that the existing landfill is bounded by canals on the north and south sides, SW 117 Avenue on the west and row crops and vacant land to the east. Staff notes that the landscape plan depicts berms, hedges and trees surrounding the property to limit any visual impacts on the surrounding area. The memorandum from the Platting and Traffic Review Section of the Department of Regulatory and Economic Resources indicates that the proposed increase in height and time extension will not result in additional traffic.

Staff is of the opinion that because the use will not change, the existing use is **consistent** with the CDMP Land Use Element Agriculture interpretative text, existing uses interpretative text and

**compatible** with the surrounding area based on the **Land Use Element Policy LU-4A** compatibility criteria.

**ZONING ANALYSIS:**

When requests #1 through #3 to permit the modification of conditions of previously approved resolutions are analyzed under Section 33-311(A)(7) Generalized Modification Standards, staff opines that approval would be **compatible** with the surrounding area for the reasons stated above. The applicant indicates in its letter of intent submitted with this application that the population in south Miami-Dade County is estimated to increase significantly over the next ten years resulting in the need for additional C & D debris landfill capacity. The letter further indicates that the vertical expansion of the landfill will allow the useful life of the facility to be extended, without the need to develop new landfills in this region. Staff opines that approval of this application will allow the applicant to submit a revised site plan that depicts an increase in the height of the landfill, permit the extension of the closure date to July 1, 2025 for the existing C & D debris landfill and extend the completion date of the activities of the Materials Recycling Facility until December 31, 2035. The site plan submitted in conjunction with this application depicts five (5) phases for a gradual increase in height for the existing landfill. The submitted landscape plan depicts a proposed landscape screen consisting of a berm with a hedge and trees along SW 117 Avenue, an existing landscape screen that consists of a berm, screening hedge, canopy trees and a palm screen along the south portion of the landfill that faces the canal and SW 328 Street (Canal Drive), an existing tree canopy and berm along the north portion of the property that faces SW 320 Street (Mowry Drive) and berm along the east side of the property. In staff's opinion, the visual impact of the increase in height of the landfill will be limited by the existing and proposed landscaping along all of the property lines.

Staff opines that the site plan with a higher landfill will not result in excessive traffic as evidenced by the memorandum from the Platting and Traffic Review Section of the Department of Regulatory and Economic Resources which states that the project does not generate any new additional daily peak hour trips and it meets the traffic concurrency criteria set for an Initial Development Order. As previously stated, the use will not change and the increase in height will be phased, therefore limiting the number of trips to the site. The Division of Environmental Resources Management of the Department of Regulatory and Economic Resources indicates that approval will not result in a reduction in the LOS standards for an initial development order for potable water service, wastewater disposal, or stormwater management. Additionally the memorandum from the Miami-Dade Fire Rescue Department does not indicate that the requests will have a negative impact on fire rescue services in the area. Based on the aforementioned Department memoranda, staff opines that the requests will not result in, among other things, excessive noise or traffic, cause undue or excessive burden on public facilities, nor provoke excessive overcrowding and concentration of people. As such, when considering the necessity and reasonableness of the modification in relation to the present and future development of the area concerned the requested modification would be **compatible** with the surrounding area. **As such, staff recommends approval with conditions of requests #1 through #3 under Section 33-311(A)(7) Generalized Modification Standards.**

**ACCESS, CIRCULATION AND PARKING:**

The submitted site plan depicts the existing landfill with a single ingress/egress point along SW 117 Avenue.

**NEIGHBORHOOD SERVICES PROVIDER COMMENTS:** See attached.

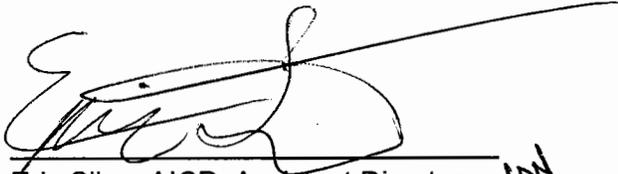
**OTHER:** N/A

**RECOMMENDATION:** Approval conditions

**CONDITIONS FOR APPROVAL:**

1. That all conditions of Resolution No. CZAB15-17-05 remain in full force and effect except as herein modified.
2. That the applicant comply with all applicable conditions and requirements of the Division of Environmental Resources Management of the Miami-Dade County Department of Regulatory and Economic Resources.

ES:NN:CH:AN



Eric Silva, AICP, Assistant Director  
Development Services Division  
Miami-Dade County  
Department of Regulatory and Economic Resources

NDN

# ZONING RECOMMENDATION ADDENDUM

Waste Management Inc. of Florida

Z13-007

<b>NEIGHBORHOOD SERVICES PROVIDER COMMENTS*</b>	
Division of Environmental Resources Management (RER)	No objection
Public Works and Waste Management	No objection
Parks, Recreation and Open Spaces	No objection
Fire Rescue	No objection
Police	No objection
Schools	No objection
*Subject to conditions in their memorandum.	

## COMPREHENSIVE DEVELOPMENT MASTER PLAN (CDMP) OBJECTIVES, POLICIES AND INTERPRETATIVE TEXT

<p><b>Agriculture</b> (Pg. I-58)</p>	<p><i>The area designated as "Agriculture" contains the best agricultural land remaining in Miami-Dade County. As stated in the Miami-Dade County Strategic Plan, approved in 2003 by the Board of County Commissioners, protection of viable agriculture is a priority. The principal uses in this area should be agriculture, uses ancillary to and directly supportive of agriculture and farm residences. Uses ancillary to and directly supportive of agriculture are defined as those uses related to preserving, processing, packaging or selling of agricultural products from Florida, and farm supplies, as well as sale and service of farm machinery and implements, subject to the requirements of Chapter 24 of the County Code. Uses ancillary to, and necessary to support the rural residential community of the agricultural area may also be approved, including houses of worship. However, schools shall not be approved in Agriculture areas but should be located inside the UDB in accordance with Policy EDU-2.A.</i></p> <p><i>In order to protect the agricultural industry, uses incompatible with agriculture, and uses and facilities that support or encourage urban development are not allowed in this area. Residential development that occurs in this area is allowed at a density of no more than one unit per five acres. Creation of new parcels smaller than five acres for residential use may be approved in the Agriculture area only if the immediate area surrounding the subject parcel on three or more contiguous sides is predominantly and lawfully parcelized in a similar manner, and if a division of the subject parcel would not precipitate additional land division in the area. No business or industrial use should be approved in the area designated Agriculture unless the use is directly supportive of local agricultural production, and is located on an existing arterial roadway, and has adequate water supply and sewage disposal in accordance with Chapter 24 of the County Code, and the development order specifies the approved use(s); however, agricultural processing facilities for produce grown in Florida are not restricted to locating on an existing arterial roadway. Other uses, including utility uses compatible with agriculture and with the rural residential character may be approved in the Agriculture area only if deemed to be a public necessity, or if deemed to be in the public interest and the applicant demonstrates that no suitable site for the use exists outside the Agriculture area.</i></p>
<p><b>Land Use Element Uses and Zoning Not Specifically Depicted on the LUP Map</b> (Pg. I-73)</p>	<p><i>Within each map category numerous land uses, zoning classifications and housing types may occur. Many existing uses and zoning classifications are not specifically depicted on the Plan map. This is due largely to the scale and appropriate specificity of the countywide LUP map, graphic limitations, and provisions for a variety of uses to occur in each LUP map category. In general, 5 acres is the smallest site depicted on the LUP map, and smaller existing sites are not shown. All existing lawful uses and zoning are deemed to be consistent with this Plan unless such a use or zoning (a) is found through a subsequent planning study, as provided in Policy LU-4E, to be inconsistent with the criteria set forth below; and (b) the implementation of such a finding will not result in a temporary or permanent taking or in the abrogation of vested rights as determined by the Code of Miami-Dade County, Florida.</i></p>

## PERTINENT ZONING REQUIREMENTS/STANDARDS

<p><b>33-311(A)(7) Generalized Modification Standards</b></p>	<p><i>The Board shall hear applications to modify or eliminate any condition or part thereof which has been imposed by any final decision adopted by resolution, and to modify or eliminate any provisions of restrictive covenants, or parts thereof, accepted at public hearing, except as otherwise provided in Section 33-314(C)(3); provided, that the appropriate board finds after public hearing (a) that the modification or elimination, in the opinion of the Community Zoning Appeals Board, would not generate excessive noise or traffic, tend to create a fire or other equally or greater dangerous hazard, or provoke excessive overcrowding of people, or would</i></p>
---	---

## ZONING RECOMMENDATION ADDENDUM

Waste Management Inc. of Florida

Z13-007

	<p><i>not tend to provoke a nuisance, or would not be incompatible with the area concerned, when considering the necessity and reasonableness of the modification or elimination in relation to the present and future development of the area concerned, or (b) (i) that the resolution that contains the condition approved a school use that was permitted only as a special exception, (ii) that subsequent law permits that use as of right without the requirement of approval after public hearing, and (iii) that the requested modification or elimination would not result in development exceeding the standards provided for schools authorized as a matter of right without the requirement of approval after public hearing.</i></p>
--	--

**1. WASTE MANAGEMENT, INC. OF FLORIDA**  
**(Applicant)**

**13-5-CZ15-1 (13-007)**  
**Area 15/District 09**  
**Hearing Date: 05/22/13**

Property Owner (if different from applicant) **ATLAS-HOMESTEAD, INC.**

Is there an option to purchase  /lease  the property predicated on the approval of the zoning request? Yes  No

Disclosure of interest form attached? Yes  No

**Previous Zoning Hearings on the Property:**

<b><u>Year</u></b>	<b><u>Applicant</u></b>	<b><u>Request</u></b>	<b><u>Board</u></b>	<b><u>Decision</u></b>
1991	Dennis Rog	- Unusual Use to permit a dump for the disposal of clean construction debris.	ZAB	Approved with Condition(s)
1992	Dennis Rog ET AL	- Unusual Use to permit the expansion of an existing dump for the disposal of clean construction debris.	ZAB	Approved with Condition(s)
1994	Cesar Hurtado ET AL	- Modification of conditions of resolution.	ZAB	Approved with Condition(s)
2005	ATLAS Homestead, Inc.	- Modification of conditions and plans of previous resolution.	C15	Approved with Condition(s)
2010	Waste Management Inc. of FL (WMIF)	- Modification of conditions of resolution.	C15	Approved with Condition(s)

Action taken today does not constitute a final development order, and one or more concurrency determinations will subsequently be required. Provisional determinations or listings of needed facilities made in association with this Initial Development Order shall not be binding with regard to future decisions to approve or deny an Intermediate or Final Development Order on any grounds.

# Memorandum

**Date:** May 2, 2013

**To:** Jack Osterholt, Director  
Department of Regulatory and Economic Resources

**From:** Jose Gonzalez, P.E.  
Department of Regulatory and Economic Resources

**Subject:** C-15 #Z2013000007-1<sup>st</sup> Revision  
Atlas-Homestead, Inc.  
11695 SW 328<sup>th</sup> Street  
Modification of Previous Resolution  
(AU) (55.36 Acres)  
18-57-40



Enclosed, please find the Division of Environmental Resources Management (DERM) review of the above referenced zoning application for compliance with the requirements of Chapter 24 of the Code of Miami-Dade County, Florida (the Code). As noted in the attached comments, your application has been reviewed and approved for compliance with the requirements of the Code subject to the conditions below and may be scheduled for hearing.

***Conditions of Approval:***

1. The applicant shall be required to modify the FDEP Permit No. 065545 for the C&D Disposal operation
2. The applicant shall be required to modify the FDEP Permit No. 064362 for the Materials Recovery Facility (MRF) operation
3. The applicant shall be required to modify the DERM-RER annual operating permit (SW 1158) issued for both the C&D Disposal and the MRF.

***Pertinent DERM comments:***

**Stormwater Management**

The Change of the landfill height to be 54' NGVD, extend the closure date and the completion date of the activities of the MFR, will not affect the existing stormwater management system.

The Applicant is advised that a perimeter berm has to be at or above the 25-year/3-day stage storm event calculation for full on-site retention.

**Pollution Remediation**

The subject site is tracked under numbers SW-1157 and SW-1158. The site is currently conducting groundwater monitoring for landfill contamination parameters. There are no records of current contamination assessment or remediation issues for sites directly abutting the property.

### Wetlands

The subject properties are located within the Southwest Biscayne Bay Basin, in an area that generally contains wetlands as defined by Section 24-5 of the Code. Class IV Wetland Permit FW 93-043 was issued for the filling of 51 acres of wetlands at this location. This permit expired on December 23, 1995; however, the properties were filled prior to this date.

This zoning application requesting modifications to a previous resolution to permit the height of the landfill to be 54' NGVD, extend the closure date of the existing C&D Landfill until July 1, 2025 and the completion date of the activities of the Materials Recycling Facility until December 31, 2035. These requests would not be inconsistent with the issued Class IV Wetland Permit FW 93-043 provided all ground water monitoring wells meet all applicable ground water standards and the requirements of Miami-Dade County Permit SW-1158 and State of Florida Permit WACS #58463.

The applicant is advised that permits from the Army Corps of Engineers (305-526-7181), the Florida Department of Environmental Protection (561-681-6600) and the South Florida Water Management District (1-800-432-2045) may be required for the proposed project. It is the applicant's responsibility to contact these agencies.

### Tree Preservation

The subject properties contain tree resources along the boundaries of the sites. Section 24-49 of the Code provides for the preservation and protection of tree resources. A Miami-Dade County Tree Removal/Relocation Permit is required prior to the removal and/or relocation of any tree that is subject to the Tree Preservation and Protection provisions of the Code. Said permit shall meet the requirements of Sections 24-49.2 and 24-49.4 of the Code.

The applicant is required to comply with the above tree permitting requirements. This Department's approval of the subject application is contingent upon inclusion of said tree permitting requirements in the resolution approving this application.

The applicant is advised to contact the Tree Permitting Program at (305)-372-6600, voice option #2, for additional information regarding permitting procedures and requirements prior to site development.

### Enforcement History

The subject property has four (4) closed enforcement records for violations of Chapter 24 of the Code. Please contact the Enforcement Section if you require additional information.

### Concurrency Review Summary

A concurrency review has been conducted for this application and has determined that the same meets all applicable LOS standards for an initial development order, as specified in the adopted CDMP for potable water supply, wastewater disposal, and flood protection. Therefore, the application has been approved for concurrency subject to the comments and conditions contained herein.

This concurrency approval does not constitute a final concurrency statement and is valid only for this initial development order, as provided for in the adopted methodology for concurrency review. Additionally, this approval does not constitute any assurance that the LOS standards would be met by any subsequent development order applications concerning the subject property.

This memorandum shall constitute written approval as required by Chapter 24 of the Code.

If you have any questions concerning the comments or wish to discuss this matter further, please contact Christine Velazquez at (305) 372-6764.

cc: Eric Silva, Department of Regulatory and Economic Resources

# Memorandum



**Date:** March 12, 2013

**To:** ~~Eric Silva~~, Assistant Director  
Department of Regulatory and Economic Resources

**From:** ~~Raul A. Pino, PLS, Chief~~  
Platting and Traffic Review Section  
Department of Regulatory and Economic Resources

**Subject:** Z2013000007  
Name: Waste Management, Inc. of Florida  
Location: 11695 SW 328 Street  
Section 18 Township 57 South Range 40 East

---

The Department of Regulatory and Economic Resources Platting and Traffic Review Section has reviewed the subject application and has no objections.

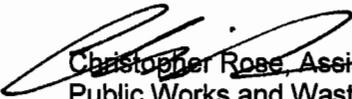
This application does not generate any new additional daily peak hour trips, therefore no vehicle trips have been assigned. This application meets the traffic concurrency criteria set for an Initial Development Order.

# Memorandum



**Date:** March 13, 2013

**To:** Jack Osterholt, Director  
Regulatory and Economic Resources Department

**From:**  Christopher Rose, Assistant Director, Administration  
Public Works and Waste Management Department

**Subject:** #13-007  
Waste Management Inc. of Florida

---

Attached please find a copy of the Public Works and Waste Management's review of the above-referenced item. Final comments will be offered as needed.

Should you require additional information, please contact Stacey McDuffie, Fiscal Planning and Performance Management Division at, 305-375-6661.

PUBLIC WORKS AND WASTE MANAGEMENT DEPARTMENT

#13-007

**Waste Management Inc of Florida**

**Application:** *Waste Management Inc of Florida* is requesting a modification of a previous plan and condition(s) to permit the height of the Construction and Demolition (C&D) landfill on the site to be 54' N.G.V.D (National Geodetic Vertical Datum, otherwise known as "Above Sea Level"), to extend the closure date of the existing C&D landfill until July 1, 2025, and extend the completion date of the activities of the Materials Recycling Facility (MRF) for the approved landfill until December 31, 2035. The property is located within an Agricultural District (AU).

**Size:** The subject property is approximately 55.36 acres.

**Location:** The subject property is generally located at 11695 SW 328<sup>th</sup> Street in Miami-Dade County, Florida.

**Analysis:**

1. Solid Waste Disposal

The Miami-Dade County Solid Waste Management System consists of both County facilities and private facilities under contract as follows: three Class I landfills (two owned by Waste Management Inc., of Florida) a Class III landfill, a Resources Recovery Facility waste to energy plant and associated ash monofill, and three regional transfer facilities. The Public Works and Waste Management Department (PWWM) does not assess or adjust estimated capacity requirements based on the impacts of individual developments. Instead, the Department maintains sufficient disposal capacity to accommodate five years of waste flows committed to the system through long-term interlocal agreements or contracts with municipalities and private waste haulers and anticipated non-committed waste flows. The latest Concurrency Status Determination issued on September 28, 2012, which is valid for one year, shows sufficient disposal system capacity to exceed the County's adopted level of service (five years of capacity). This determination, which is on file with the Sustainability, Planning and Economic Enhancement Department (formerly the Department of Planning and Zoning) is contingent upon the continued ability of the County to obtain and renew disposal facility operating permits from the Florida Department of Environmental Protection, as needed.

2. Garbage and Trash Collection Services

The property as mentioned in the application falls within the PWWM solid waste collection service area. The existing landfill on the property will likely be considered development for a "commercial establishment". Chapter 15 of the Miami-Dade Code, entitled Solid Waste Management, requires the following of commercial developments located in unincorporated Miami-Dade County:

"every commercial and multi-family residential establishment shall utilize the solid waste collection services of either the proper governmental agency able to provide such services, or that of a licensed solid waste hauler authorized to perform such services by the Director of the Department." Therefore, the landlord or property owner is required to contact a private hauler to provide waste and recycling collection service. The collected material will subsequently be disposed of at PWWM facilities.

3. Recycling: Commercial Establishments

The following language from **Section 15-2.3a** requires commercial establishments "to provide for a recycling program, which shall be serviced by a permitted hauler or the appropriate governmental agency. The recycling program for commercial establishments must include a minimum of three (3) materials chosen from the following:

- |                                  |  |
|----------------------------------|--|
| 1) High grade office paper       | 6) Steel (cans, scrap)                         |
| 2) Mixed paper                   | 7) other metals/scrap production materials     |
| 3) Corrugated cardboard          | 8) Plastics (PETE, HDPE-natural, HDPE-colored) |
| 4) Glass (flint, emerald, amber) | 9) Textiles                                    |
| 5) Aluminum (cans, scrap)        | 10) Wood                                       |

**Section 15-2.3 states** the failure of a commercial establishment to provide a recycling program or a modified recycling program pursuant to Section 15-2.4 hereof shall constitute a violation of this section for which the property owner and the owner(s) and operator(s) of the commercial establishment shall be jointly and severally liable.

#### 4. Waste Storage/Setout Considerations

**Section 15-4** of the Code requires that plans for storage and collection of solid waste be adequate before a building permit may be issued. Site plans must address location, accessibility, number and adequacy of solid waste collection and storage facilities. The site plan legend must contain the following statement: "Facilities for the collection and storage of solid waste are shown in accordance with Section 15-4 of the Miami-Dade County Code."

#### 5. Site Circulation Considerations

It is required that development plans associated with this project incorporate at least one of the following traffic circulation criteria to minimize the reversing of waste vehicles and hence, provide for the safe circulation of service vehicles:

- a. Cul-de-sac with a minimum 49 foot turning radius (no "dead-ends")
- b. "T" shaped turnaround 60 feet long by 10 feet wide
- c. Paved throughway of adequate width (minimum 15 feet)

In addition, any and all alleyways designed with utilities, including waste collection, provided at the rear of the property should be planned in accordance with standard street specifications with sufficient width and turning radii to permit large vehicle access. Additionally, there should be no "dead-end" alleyways developed. Also, a sufficient waste set-out zone should be preserved (between the edge of the pavement and any possible obstructions such as parked cars, fencing, etc..) that would interrupt or preclude waste collection. **The PWWM has no objections to the proposed application.**

# Memorandum



**Date:** May 2, 2013

**To:** Jack Osterholt, Deputy Mayor  
Director, Regulatory and Economic Resources Department

**From:** Maria I. Nardi, Chief *U.U.*  
Planning and Research Division  
Parks, Recreation and Open Spaces Department

**Subject:** Z2013000007: WASTE MANAGEMENT, INC. OF FLORIDA  
Review includes plans submitted 4/9/2013.

---

**Application Name:** WASTE MANAGEMENT, INC. OF FLORIDA

**Project Location:** The site is located at 11695 SW 328 ST, Miami-Dade County.

**Proposed Development:** The request is approval of the modification of a previous resolution to permit the height to 54'NGVD and extend closure date of the existing C&D landfill. Review includes plans submitted 4/9/2013.

**Impact and demand:** This application does not generate any residential population applicable to CDMP Open Space Spatial Standards. The Department has no objections to this application.

We have no pertinent comments for this application concerning impact or demand on existing County parks, proposed or budgeted service expansion, nor do we perform a concurrency review.

If you need additional information or clarification on this matter, please contact John Bowers at (305) 755-5447.

MN:jb

Cc: John M. Bowers, Parks Property Management Supervisor

# Memorandum



**Date:** 07-FEB-13  
**To:** Jack Osterholt, Director  
 Department of Regulatory and Economic Resources  
**From:** Dave Downey, Fire Chief  
 Miami-Dade Fire Rescue Department  
**Subject:** Z2013000007

## Fire Prevention Unit:

No objection via Case # Z2013000007

## Service Impact/Demand

Development for the above Z2013000007  
 located at 11695 SW 328 ST, MIAMI-DADE COUNTY, FLORIDA.  
 in Police Grid 2650 is proposed as the following:

<u>N/A</u> residential	dwelling units	<u>N/A</u> industrial	square feet
<u>N/A</u> Office	square feet	<u>N/A</u> institutional	square feet
<u>N/A</u> Retail	square feet	<u>N/A</u> nursing home/hospitals	square feet

Based on this development information, estimated service impact is: N/A alarms-annually.  
 The estimated average travel time is: 6:24 minutes

## Existing services

The Fire station responding to an alarm in the proposed development will be:  
 Station 66 - Village of Homstead - 3100 SE 8 Street  
 ALS Engine,

## Planned Service Expansions:

The following stations/units are planned in the vicinity of this development:  
 None.

## Fire Planning Additional Comments

Not applicable to service impact analysis.

For information regarding the aforementioned comments, please contact the Miami-Dade Fire Rescue  
 Department Planning Section at 786-331-4540.

DATE: 26-APR-13

BUILDING AND NEIGHBORHOOD  
COMPLIANCE DEPARTMENT

ENFORCEMENT HISTORY OF VIOLATIONS OF CHAPTER 19 AND  
CHAPTER 33 OF THE MIAMI-DADE COUNTY CODE

WASTE MANAGEMENT, INC. OF  
FLORIDA

11695 SW 328 ST, MIAMI-DADE  
COUNTY, FLORIDA.

---

APPLICANT

---

ADDRESS

---

Z2013000007

---

HEARING NUMBER

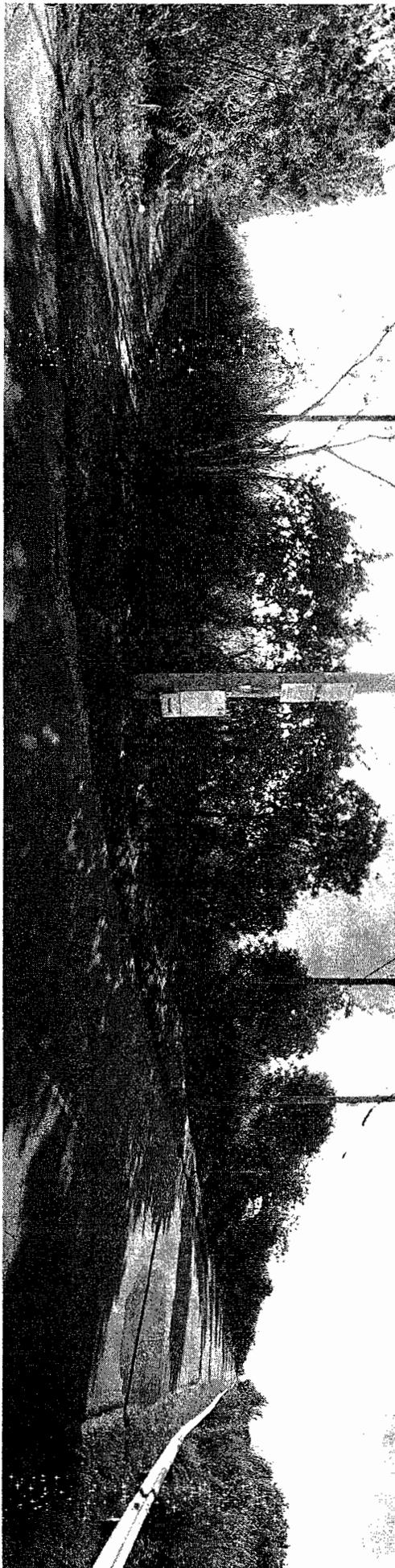
**HISTORY:**

NC: THERE ARE NO CURRENT OPEN OR CLOSED CASES.  
BLDG: THERE ARE NO CURRENT OPEN OR CLOSED CASES.

WASTE MANAGEMENT, INC. OF FLORIDA

**OUTSTANDING FINES, PENALTIES, COST OR LIENS  
INCURRED PURSUANT TO CHAPTER 8CC:**

**REPORTER NAME:**



213-2007

**RECEIVED**  
JAN 22 2013

ZONING HEARINGS SECTION  
MIAMI DADE PLANNING AND ZONING DEPT  
BY \_\_\_\_\_

DF



JAN 22 2013

ZONING HEARINGS SECTION  
MIAMI-DADE PLANNING AND ZONING DEPT  
BY

VH

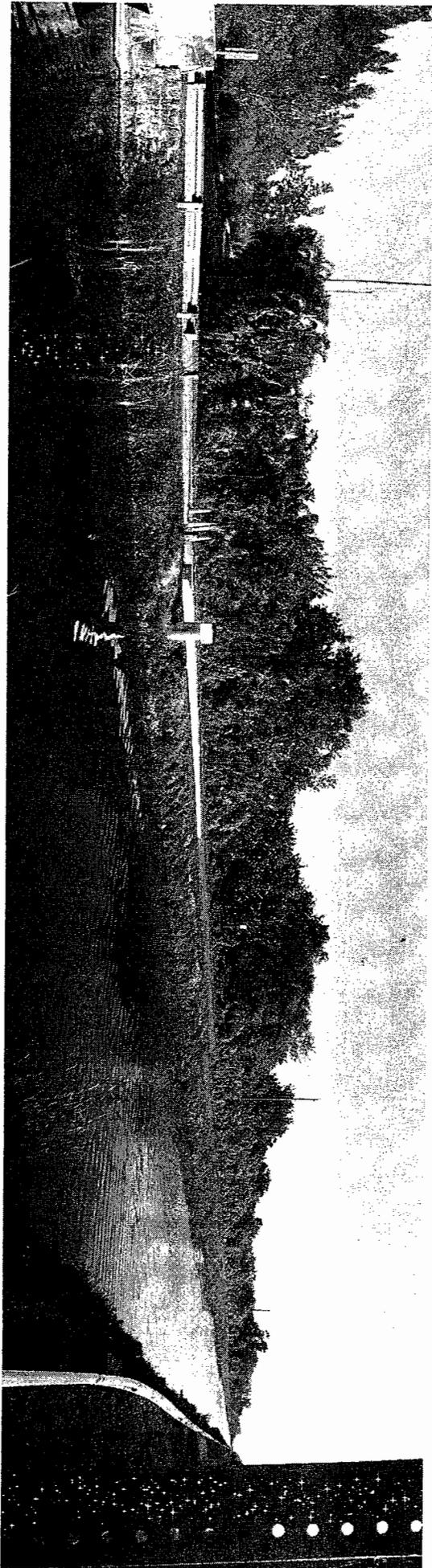
2/13/07



RECEIVED  
JAN 22 2013  
213-007

ZONING HEARINGS SECTION  
MANHATTAN PLANNING AND ZONING DEPT.  
BY

DK

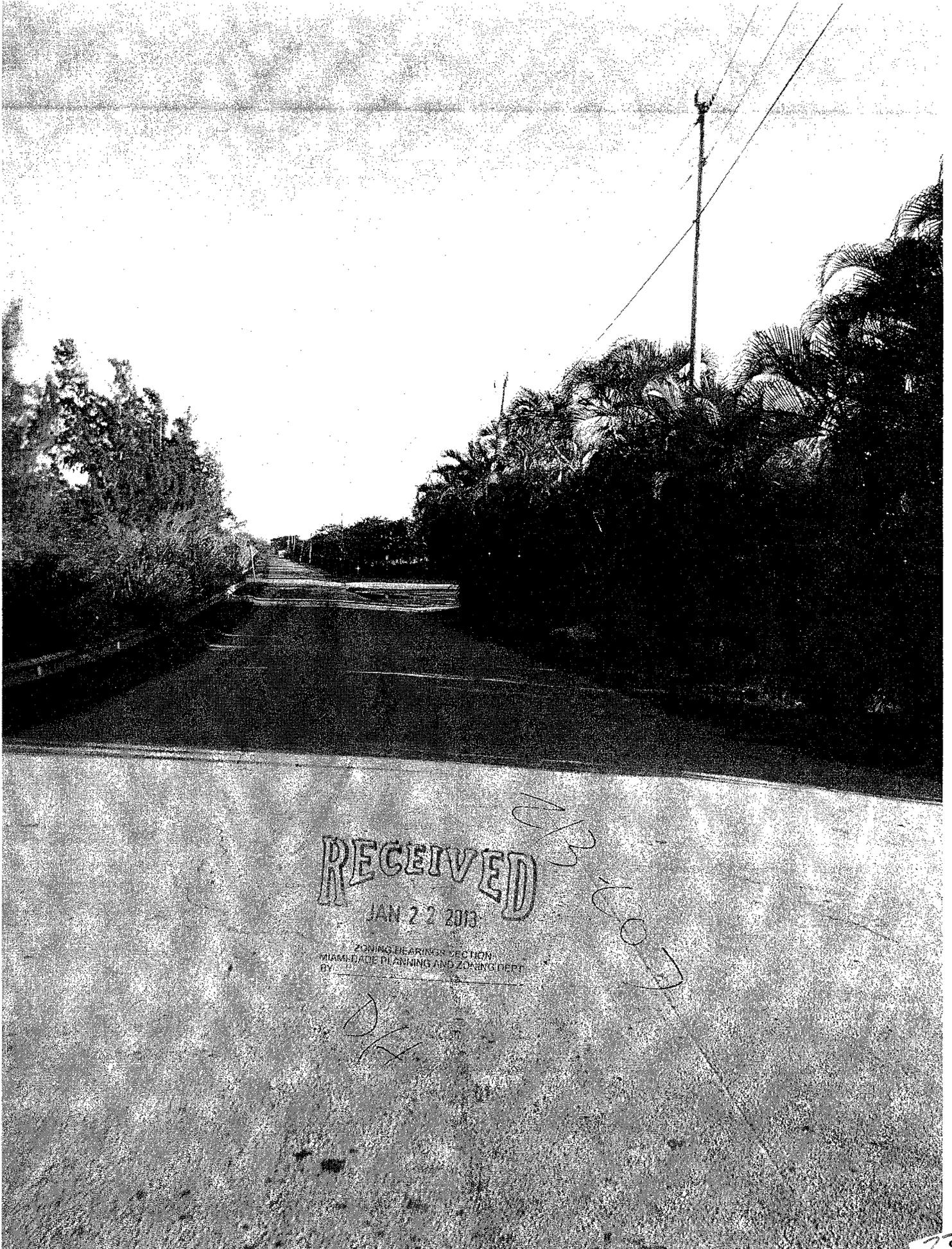


2/3.007  
DK

RECEIVED  
JAN 22 2013

ZONING HEARINGS SECTION  
MIAMI-DADE PLANNING AND ZONING DEPT  
BY

DK



**RECEIVED**  
JAN 22 2013

ZONING DEPARTMENT  
MIAMI BEACH PLANNING AND ZONING DEPT  
BY: \_\_\_\_\_

*OK*

*23-100-0000*

**DISCLOSURE OF INTEREST\***

If a CORPORATION owns or leases the subject property, list principal stockholders and percent of stock owned by each. [Note: Where principal officers or stockholders consist of other corporation(s), trust(s), partnership(s) or other similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

CORPORATION NAME: Atlas-Homestead, Inc. is wholly owned subsidiary of J.R. Capital Corp.

<u>NAME AND ADDRESS</u>	<u>Percentage of Stock</u>
JR Capital Corp., 1160 NW 19th Avenue Pompano, Florida 33016	
- Jack R. Casagrande	50%
- Dominick & Patrick Marzano	22.5% each individual
- Thomas Roberts	5%

If a TRUST or ESTATE owns or leases the subject property, list the trust beneficiaries and the percent of interest held by each. [Note: Where beneficiaries are other than natural persons, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

TRUST/ESTATE NAME \_\_\_\_\_

<u>NAME AND ADDRESS</u>	<u>Percentage of Interest</u>
_____	_____
_____	_____
_____	_____
_____	_____

If a PARTNERSHIP owns or leases the subject property, list the principals including general and limited partners. [Note: Where the partner(s) consist of another partnership(s), corporation(s), trust(s) or other similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

PARTNERSHIP OR LIMITED PARTNERSHIP NAME: \_\_\_\_\_

<u>NAME AND ADDRESS</u>	<u>Percentage of Ownership</u>
_____	_____
_____	_____
_____	_____
_____	_____

If there is a **CONTRACT FOR PURCHASE**, by a Corporation, Trust or Partnership list purchasers below, including principal officers, stockholders, beneficiaries or partners. [Note: Where principal officers, stockholders, beneficiaries or partners consist of other corporations, trusts, partnerships or other similar entities, further disclosure shall be made to identify natural persons having the ultimate ownership interests].

NAME OF PURCHASER: \_\_\_\_\_

NAME, ADDRESS AND OFFICE (if applicable)

Percentage of Interest

_____	_____
_____	_____
_____	_____
_____	_____

Date of contract: \_\_\_\_\_

If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership or trust.

_____	_____
_____	_____
_____	_____
_____	_____

**NOTICE:** For any changes of ownership or changes in purchase contracts after the date of the application, but prior to the date of final public hearing, a supplemental disclosure of interest is required.

The above is a full disclosure of all parties of interest in this application to the best of my knowledge and belief.

Signature: *[Handwritten Signature]*  
(Applicant)

Sworn to and subscribed before me this 14 day of January, 2013. Affiant is personally know to me or has produced \_\_\_\_\_ as identification.

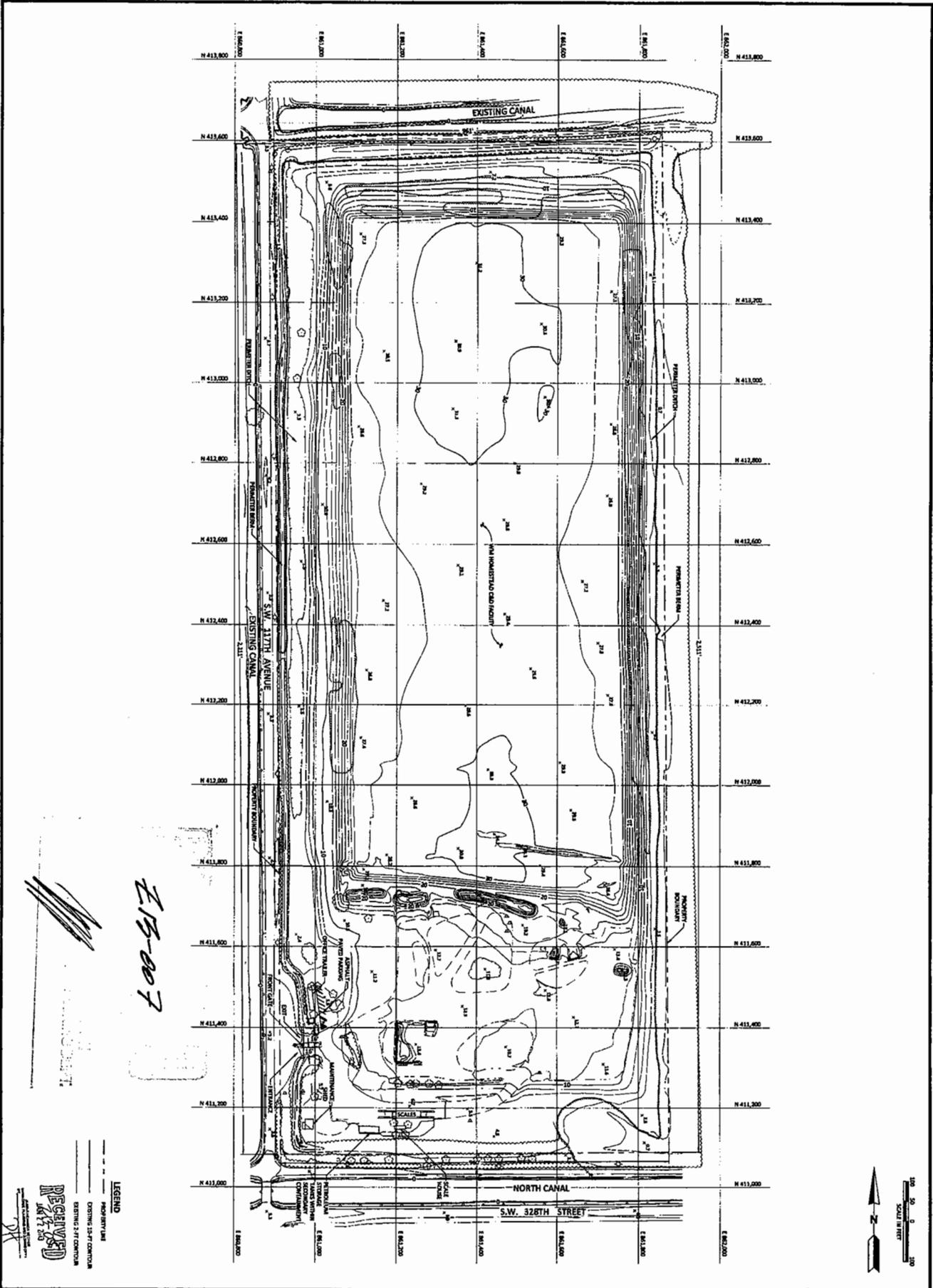
*[Handwritten Signature]*  
(Notary Public)

My commission expires: 3/9/14



Seal

\*Disclosure shall not be required of: 1) any entity, the equity interests in which are regularly traded on an established securities market in the United States or another country; or 2) pension funds or pension trusts of more than five thousand (5,000) ownership interests; or 3) any entity where ownership interests are held in a partnership, corporation or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership and where no one (1) person or entity holds more than a total of five per cent (5%) of the ownership interest in the partnership, corporation or trust. Entities whose ownership interests are held in a partnership, corporation, or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership, shall only be required to disclose those ownership interest which exceed five (5) percent of the ownership interest in the partnership, corporation or trust.

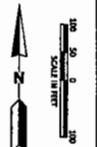


*Handwritten:* 1/13-007

RECEIVED  
JAN 23 2013

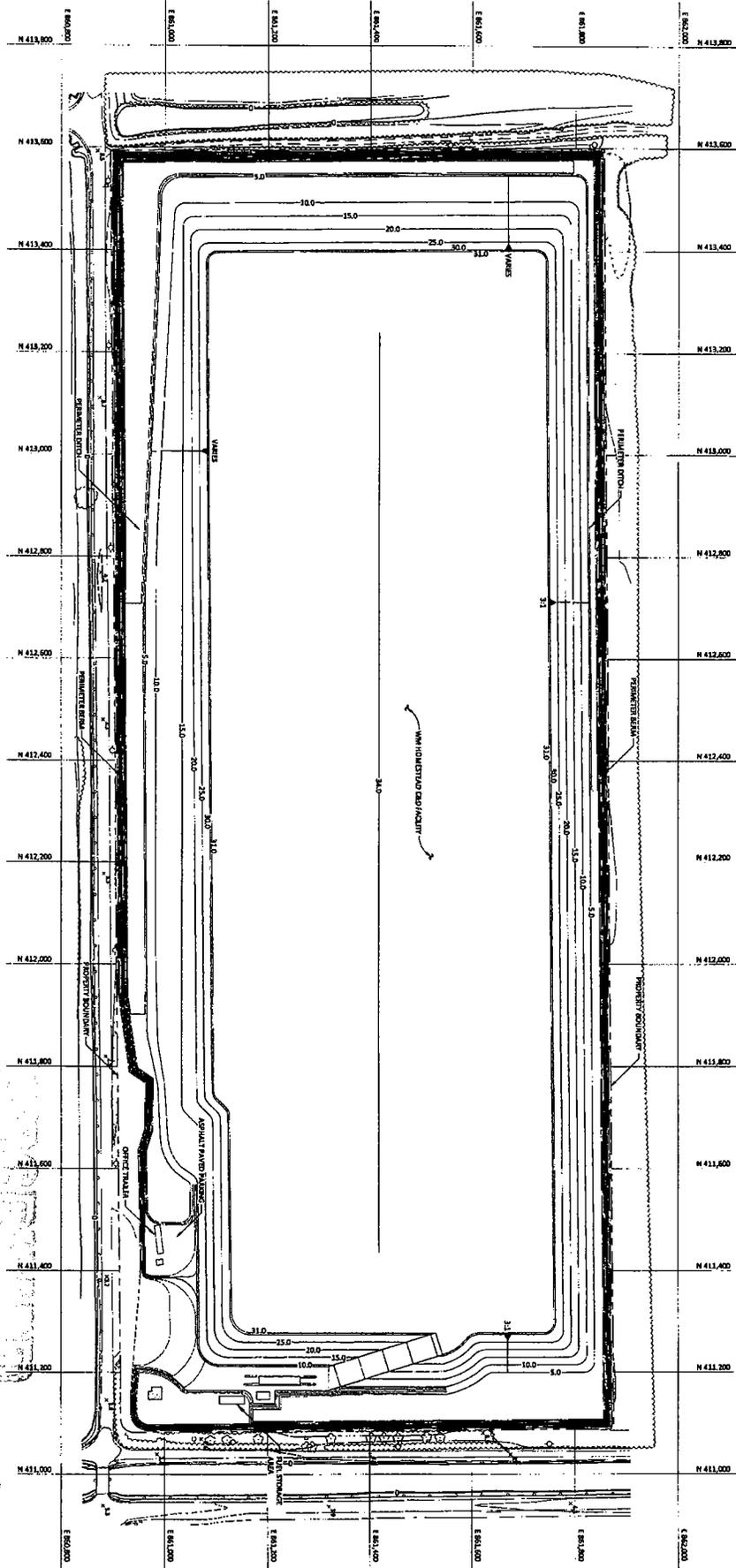
**LEGEND**

- PROPERTY LINE
- EXISTING 3/4\"/>



SHEET NO. <b>2</b> OF 8	DRAWING NO. <b>2</b>	SCALE: AS SHOWN DATE: JANUARY 2013 CADD FILE: 09213005E002 EXISTING 3/4\"/>	<b>SCS GLOBEX ENGINEERING</b> STEARNS, CONRAD AND RICHMONT CONSULTING ENGINEERS, INC. 8114 LYONS ROAD, COCONUT CREEK, FL 33073 PH: (888) 871-6800 FAX: (561) 418-8800 FL CERTIFICATE OF AUTHORIZATION NO. 00004882	CLIENT <b>WASTE MANAGEMENT INC. OF FLORIDA</b> 11695 SW 328TH STREET HOMESTEAD, FLORIDA	SHEET TITLE <b>EXISTING SITE PLAN</b> PROJECT TITLE <b>VERTICAL EXPANSION                  WM HOMESTEAD C&amp;D FACILITY</b>	REV. DATE DESCRIPTION CHK. BY	
						△ △ △ △	





BY: *[Signature]*  
 213-007

**LEGEND**  
 PROPERTY LINE  
 EXISTING LOT COMPARE  
 EXISTING ST/ROADWAY

**SCS GLOBEX ENGINEERING**  
 STEARNS, CONRAD AND SCHMIDT  
 CONSULTING ENGINEERS, INC.  
 8111 LYONS ROAD, COCONUT CREEK, FL 33078  
 PH: (561) 871-8200 FAX: (561) 418-9800  
 FL CERTIFICATE OF AUTHORIZATION NO. 00004882

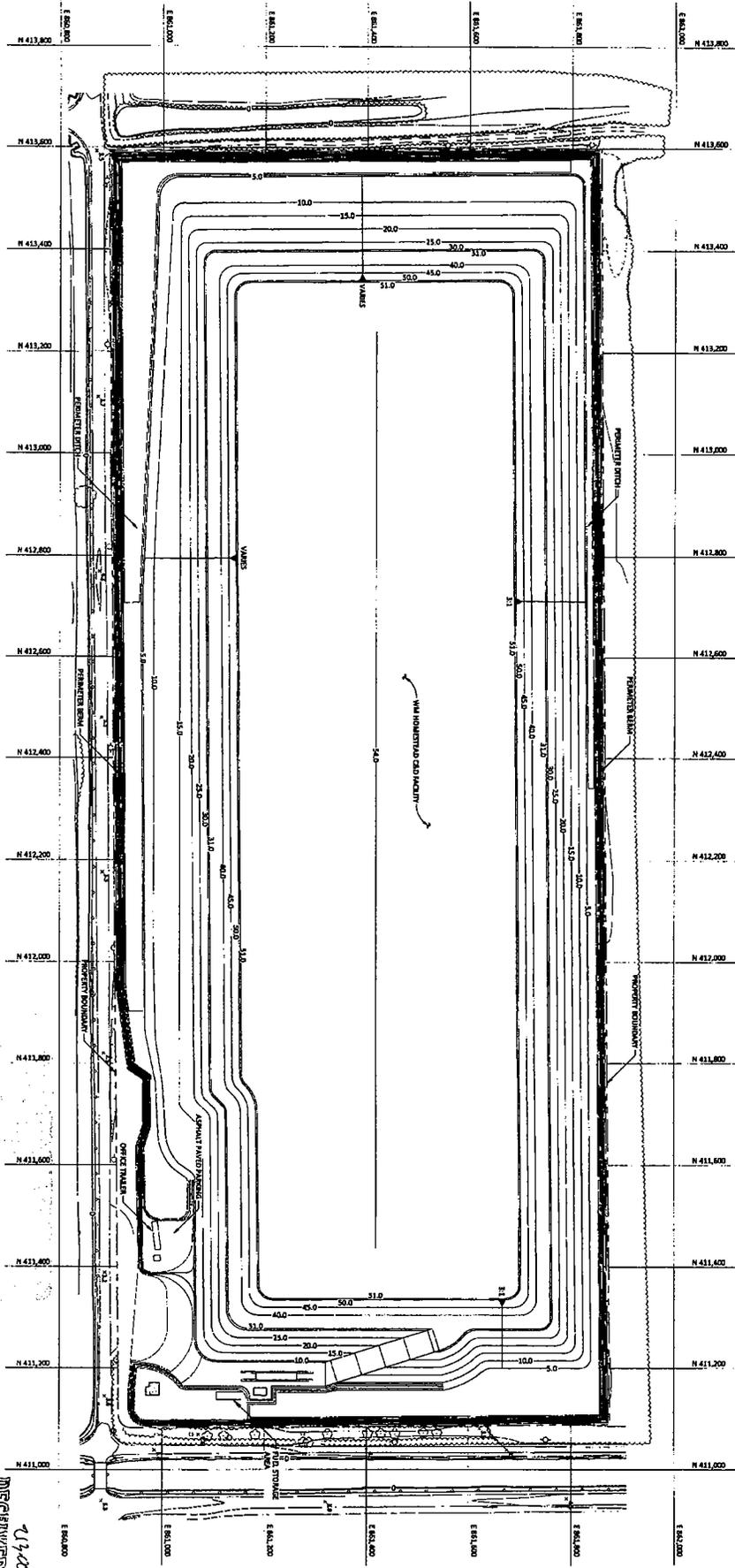
**CLIENT**  
**WASTE MANAGEMENT INC. OF FLORIDA**  
 11695 SW 328TH STREET  
 HOMESTEAD, FLORIDA

**SHEET TITLE**  
**PERMITTED FINAL GRADING PLAN**  
 PROJECT TITLE  
**VERTICAL EXPANSION**  
**WM HOMESTEAD C&D FACILITY**

REV.	DATE	DESCRIPTION	CHK. BY
1			
2			
3			
4			



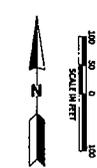
28



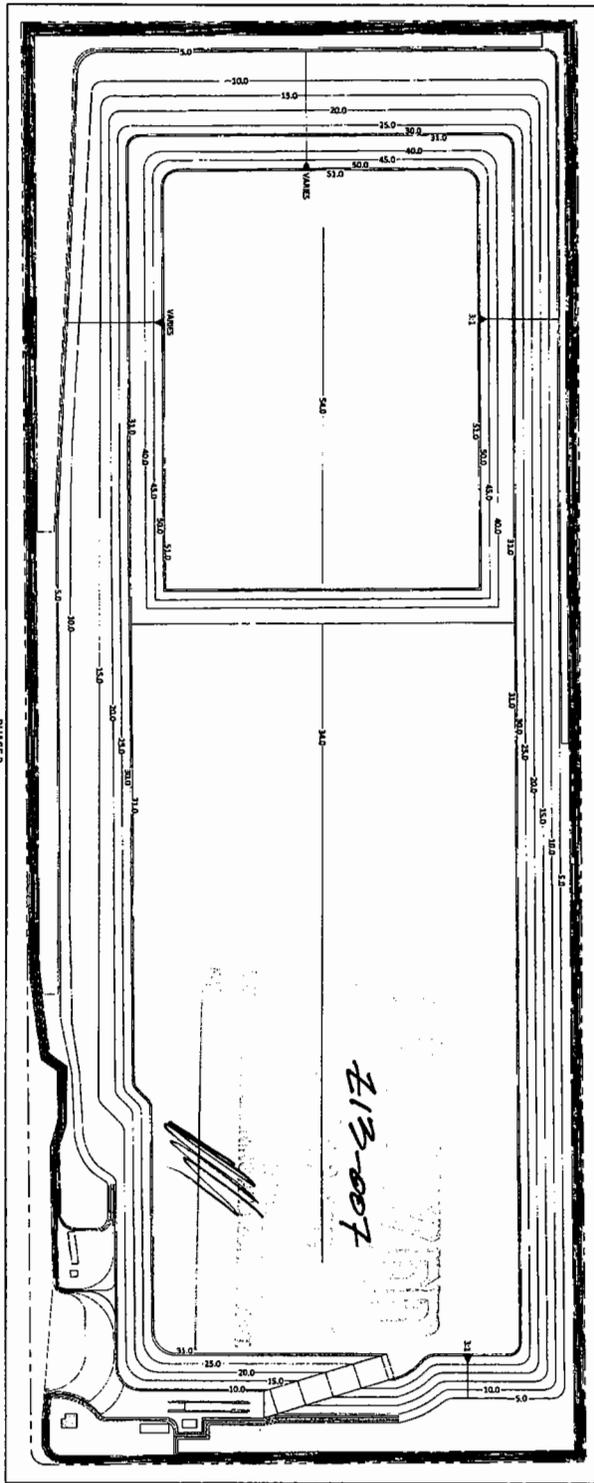
BY: [Signature]  
 RECEIVED  
 213-413  
 01/27/2013

LEGEND  
 PROPOSED LINE  
 EXISTING 1/4" CONTOUR  
 EXISTING 2 1/2" CONTOUR

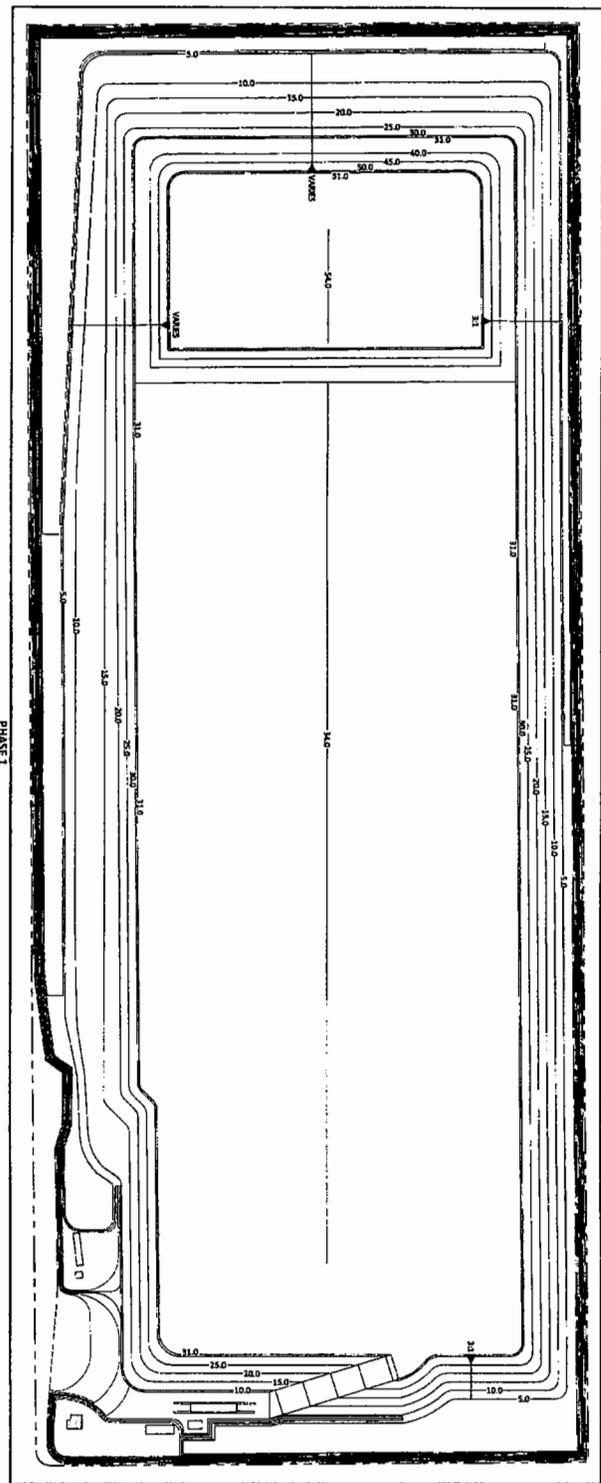
SHEET 5 OF 8	SCS GLOBEX ENGINEERING STEARNS, CONRAD AND SCHMIDT CONSULTING ENGINEERS, INC. 8118 LYONS ROAD, COCONUT CREEK, FL 32973 P.O. BOX 271482, PALM BEACH, FL 33402 FL CERTIFICATE OF REGISTRATION NO. 00004882	CLIENT <b>WASTE MANAGEMENT INC. OF FLORIDA</b> 11695 SW 328TH STREET HOMESTEAD, FLORIDA	SHEET TITLE <b>PROPOSED FINAL GRADING PLAN EL. 54'</b>		REV	DATE	DESCRIPTION	CHK BY
			PROJECT TITLE <b>VERTICAL EXPANSION          WM HOMESTEAD C&amp;D FACILITY</b>		▲			



29

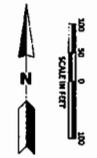


PHASE 2  
 FINISHING EXISTING ASPHALT - STORM CULV.  
 APPROXIMATE DATE: AUGUST 2012



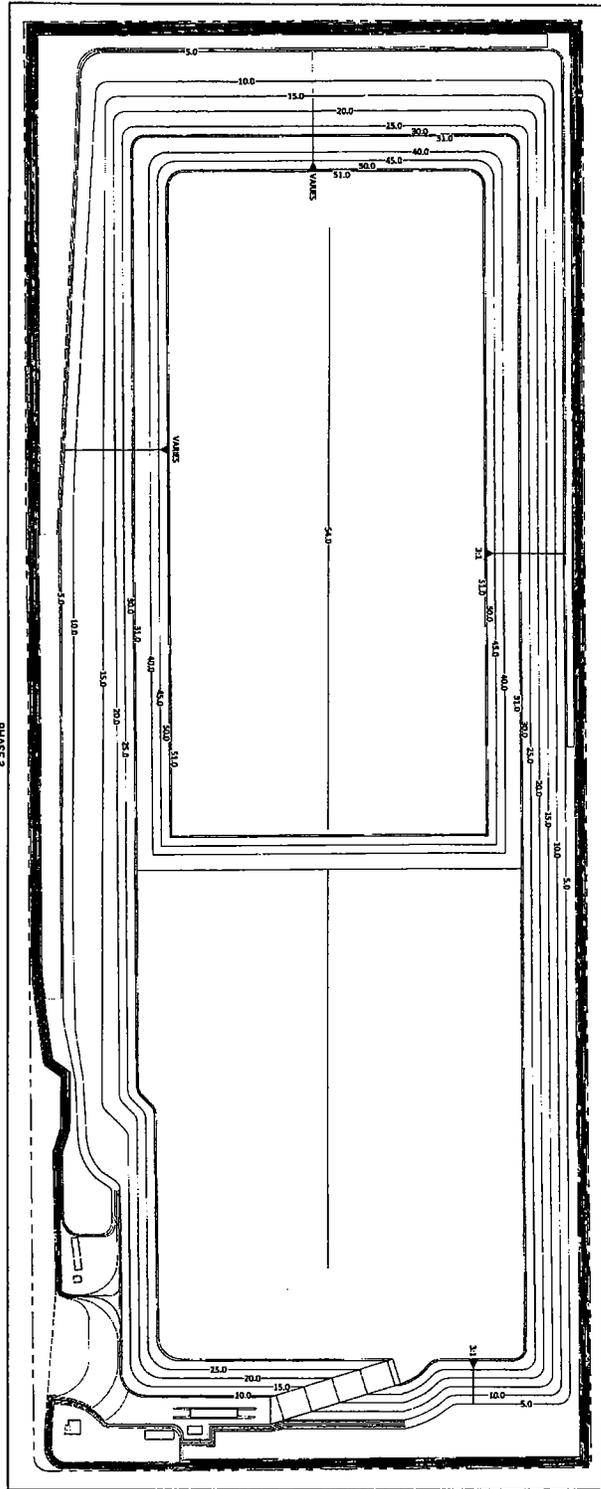
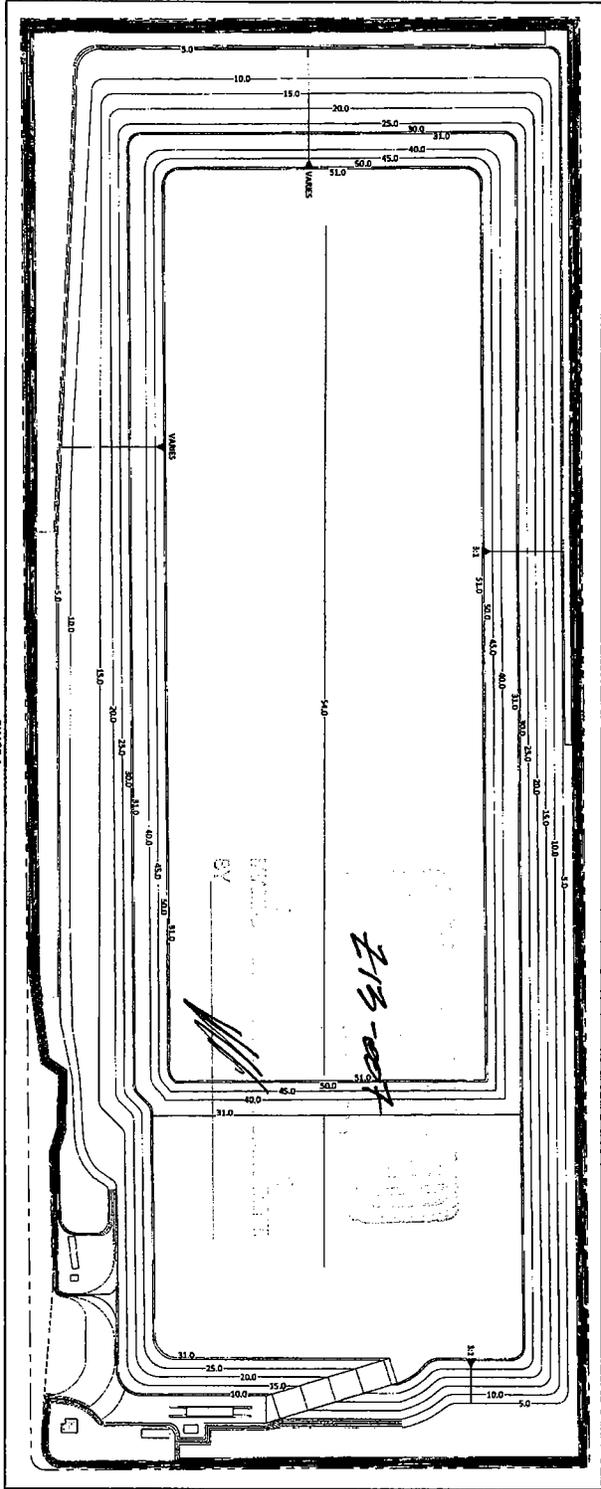
PHASE 1  
 FINISHING EXISTING ASPHALT - STORM CULV.  
 APPROXIMATE DATE: FEBRUARY 2012

RECEIVED  
 JAN 27 2013  
 213-007

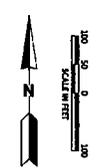


SHEET 6 OF 8 DRAWING NO. A.S. SHOWN SCALE: JANUARY 2013 DATE: 09/21/2009 CADD FILE: SCS GLOBEX ENGINEERING STERNBERG, CONRAD AND SCHMIDT CONSULTING ENGINEERS, INC. 8118 LYONS ROAD, COCONUT CREEK, FL 32973 P.O. BOX 677-8200 PALM BEACH, FL 33408 P.L. CERTIFICATE OF AUTHORIZATION NO. 00024882 09/21/2005.00 RC	CLIENT <b>WASTE MANAGEMENT INC. OF FLORIDA</b> 11695 SW 328TH STREET HOMESTEAD, FLORIDA	SHEET TITLE PHASES 1 THROUGH 2 OF DEVELOPMENT	REV 1 2 3 4 5	DATE	DESCRIPTION	CDR BY
		PROJECT TITLE <b>VERTICAL EXPANSION                  WM HOMESTEAD C&amp;D FACILITY</b>	1/21/13 1/21/13 1/21/13 1/21/13 1/21/13	1 2 3 4 5	1/21/13 1/21/13 1/21/13 1/21/13 1/21/13	3630rc 3630rc 3630rc 3630rc 3630rc

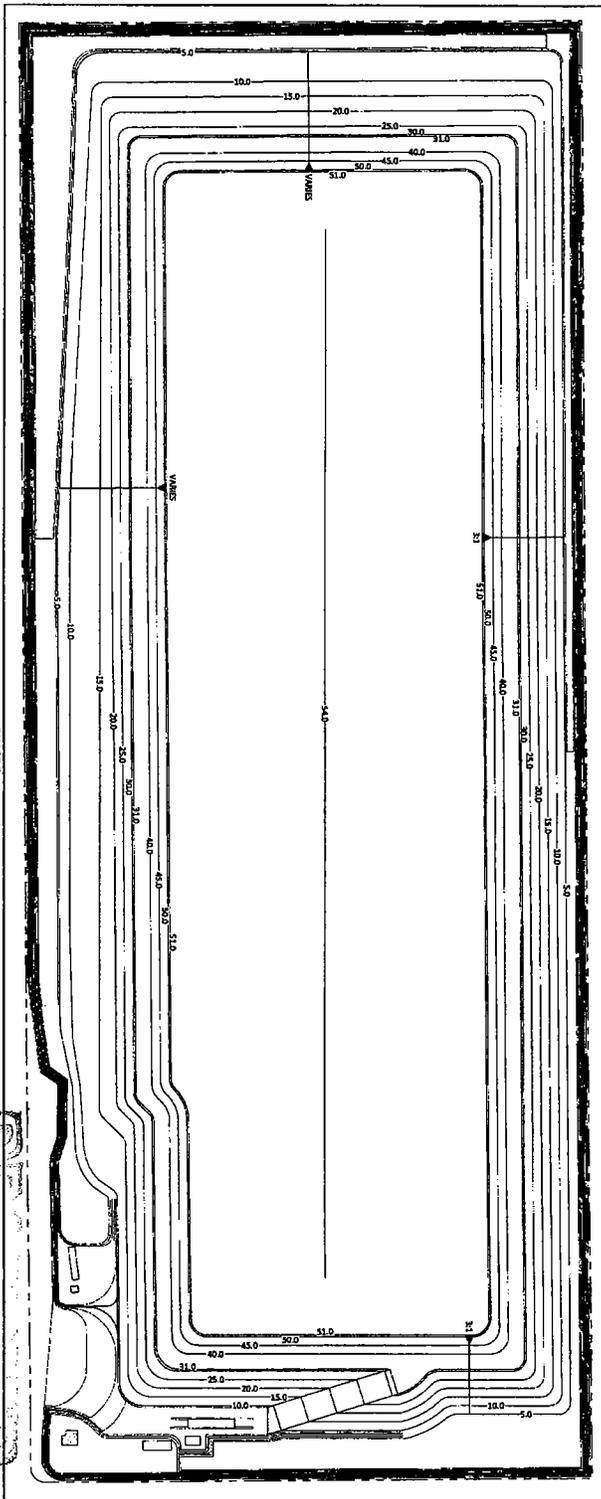
30



RECEIVED  
 JAN 23 2013  
 2/13-021



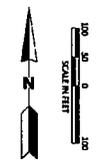
SHEET 7 OF 8 DRAWING NO. AS SHOWN SCALE: AS SHOWN DATE: JANUARY 2013 CADD FILE: 092130056007 SCS GLOBEX ENGINEERING STEARNS, CONRAD AND BUCHHEIT CONSULTING ENGINEERS, INC. 6116 LYONS ROAD, COCCOONUT CREEK, FL 33073 PH: (954) 871-6200 FAX: (954) 418-8600 FL CERTIFICATE OF AUTHORIZATION NO. 00064882	CLIENT WASTE MANAGEMENT INC. OF FLORIDA 11695 SW 326TH STREET HOMESTEAD, FLORIDA	SHEET TITLE PHASES 3 THROUGH 4 OF DEVELOPMENT	REV. DATE DESCRIPTION ▲ ▲ ▲ ▲ ▲	CHK. BY [Signature] 1/21/13 11695 SW 326TH STREET HOMESTEAD, FLORIDA
		PROJECT TITLE VERTICAL EXPANSION WM HOMESTEAD C&D FACILITY		



PHASE 5  
 REMAINING GROSS AREA: 4,000,000 SQ. FT.  
 APPROXIMATE DATE: JANUARY 2013

*213-007*

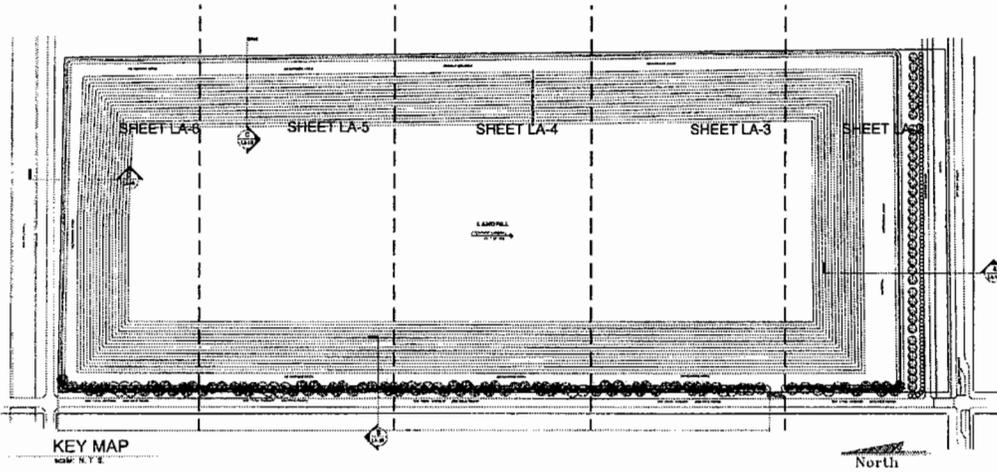
*RECEIVED*  
 JAN 21 2013  
 CIVIL ENGINEERING DEPT.



*RECEIVED*  
 JAN 21 2013  
 CIVIL ENGINEERING DEPT.

SHEET 8 OF 8	DRAWING NO. 8	SCALE: AS SHOWN	DATE: JANUARY 2013	CADD FILE: 09213005E008	CLIENT: WASTE MANAGEMENT INC. OF FLORIDA 11695 SW 328TH STREET HOMESTEAD, FLORIDA	SHEET TITLE: PHASE 5 OF DEVELOPMENT	REV. DATE:	DESCRIPTION:	CHK. BY:
						PROJECT TITLE: VERTICAL EXPANSION WM HOMESTEAD C&D FACILITY	△		
SCS GLOBEX ENGINEERING STEARNS, CONRAD AND SCHMIDT CONSULTING ENGINEERS, INC. 6116 LYONS ROAD, COCONUT CREEK, FL 33073 P.O. BOX 871-8800 PALM BEACH, FL 33418-8800 FL CERTIFICATE OF AUTHORIZATION NO. 00004882					ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED DATE 05/01/2013 BY 60322/UC/BAW/STP				

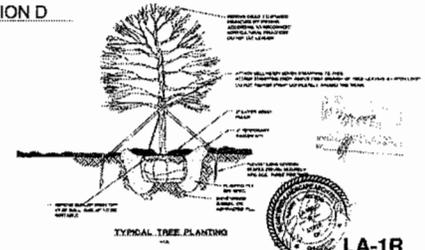
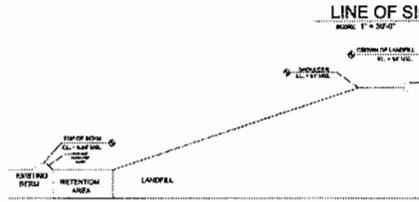
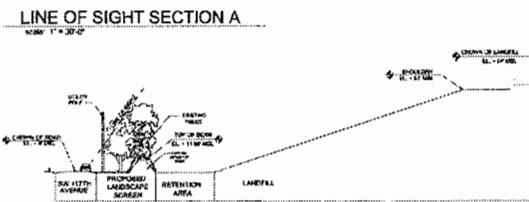
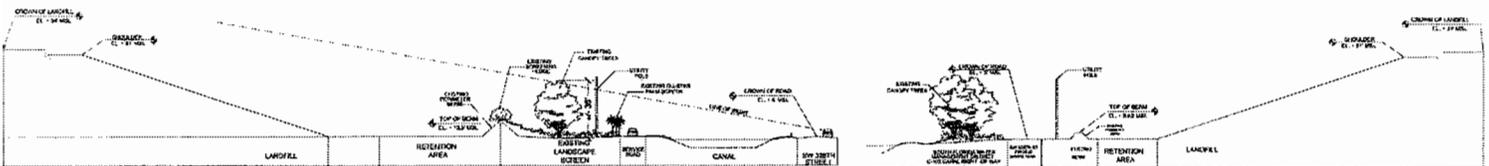
32



PLANT LIST					
SYM.	SCIENTIFIC NAME	COMMON NAME	QTY.	SIZE	REMARKS
●	TIRES				
●	EGGCOLOBA DIVINOROLLA	POISON PLUT	18	14" H. x 1" DIA.	3" CALIPER
●	IGNEOLA VINCIGLONA	LIVE OAK	0	14" H. x 1" DIA.	3" CALIPER
●	BRASSIA BRASIANA	ORPHEO L'POD	42	14" H. x 1" DIA.	3" CALIPER
●	MARTINIA PALMOLAN	POINCIAN	24	14" H. x 1" DIA.	3" CALIPER
●	SHRUBS				
●	CHRYSOCLADUS VAGUS	COGONIA	240	24" H. x 30" DIA.	34" ON CENTER
●	IMBIBACZYI DACTYLOIDES	FALCATAHOICE GRASS	36	30" H. x 3" DIA.	48" ON CENTER
●	EGGCOLOBA VAGERA	BEAUMARIE	180	18" H. x 18" DIA.	18" ON CENTER

ZONING: M1  
NET LOT AREA: 943 ACRES (226102.827)

	ACQUIRED	PROVIDED
OPEN SPACE		
NUMBER OF SQUARE FEET OF OPEN SPACE	24	24
VOLUME FEET OF PLANNING LOT OPEN SPACE	N/A	226102.827
TOTAL SQUARE FEET OF OPEN SPACE	24	226102.827
LAWN AREA		
TOTAL SQUARE FEET OF OPEN SPACE	226102.827	226102.827
TOTAL SQUARE FEET OF LAWN	0	0
TREES		
NET LOT TREES	240	240
PERCENTAGE OF PLANTING	24.0	24.0
PERCENTAGE OF LAWN	N/A	0.0
TREES PER ACRE	24.0	24.0
TOTAL NUMBER OF TREES	240	240
SHRUBS		
TOTAL NUMBER OF SHRUBS	N/A	0.0
PERCENTAGE OF SHRUBS	N/A	0.0
IRRIGATION	N/A	N/A



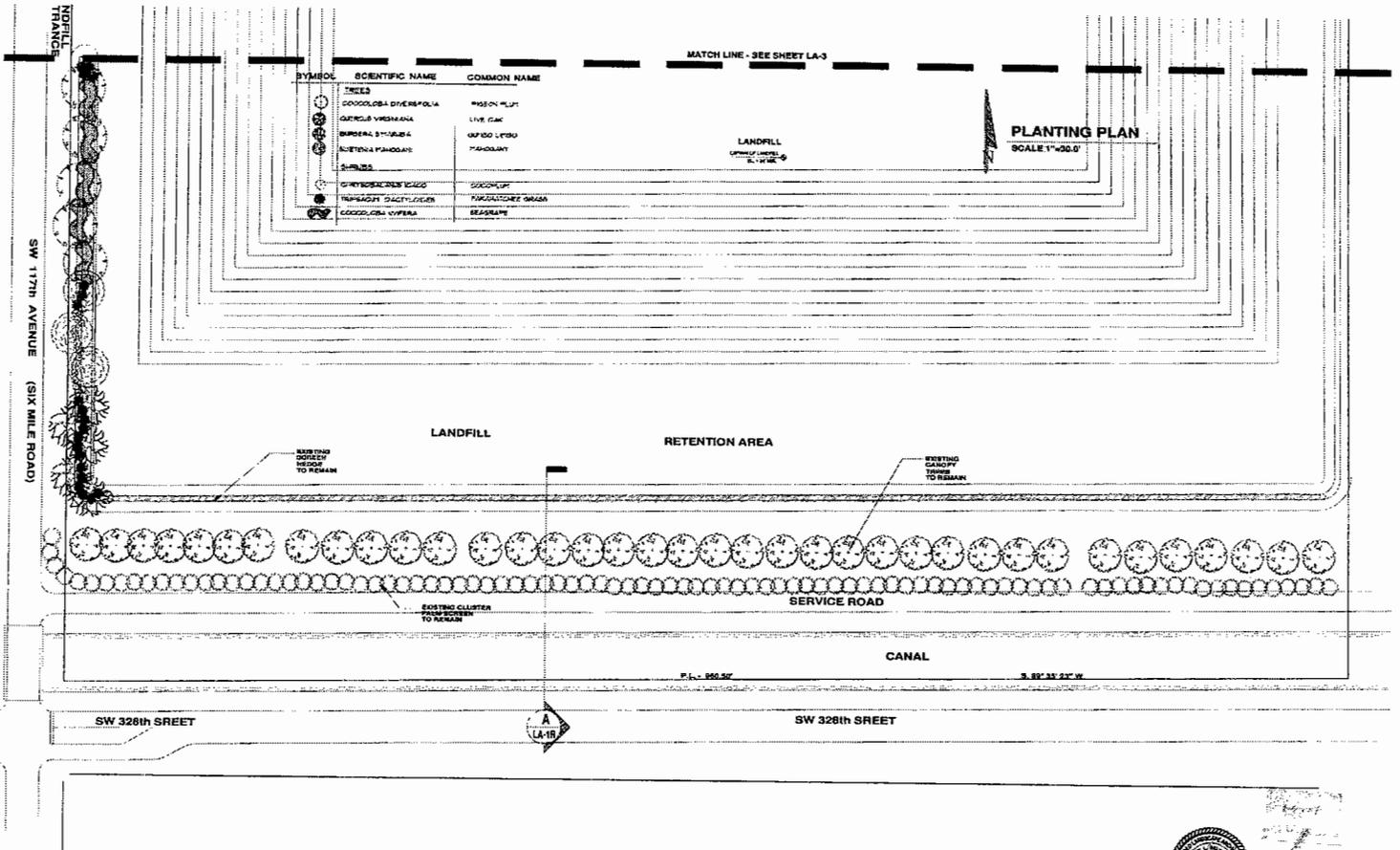
LANDSCAPE PERMIT PLAN  
APRIL 05, 2013

ATLAS HOMESTEAD, INC.  
Operated by WMIF Delta Recycling Homestead

C & D LANDFILL ATKINS

RECEIVED  
213.07  
APR 09 2013

ZONING HEARINGS SECTION  
MIAMI-DADE PLANNING AND ZONING DEPT.  
BY \_\_\_\_\_



**LANDSCAPE PERMIT PLAN**  
**APRIL 05, 2013**

Revision: 7/11/02, 8/28/02, 12/16/02, 1/30/03, 10/28/03, 11/15/04, 5/4/05/13

**ATLAS HOMESTEAD, INC.**  
 Operated by WMIF Delta Recycling Homestead

Sheet: **LA-2**  
**C & D LANDFILL ATKINS**

**RECEIVED**  
 2/3.07  
**APR 09 2013**  
 ZONING HEARINGS SECTION  
 MIAMI-DADE PLANNING AND ZONING DEPT.  
 BY \_\_\_\_\_

MATCH LINE - SEE SHEET LA-4

PLANTING PLAN  
SCALE 1"=30.0'

SYMBOL	SCIENTIFIC NAME	COMMON NAME
<b>TREES</b>		
	COCCOLOBA DIVERSIFOLIA	PISTON PLUM
	QUERCUS VIRGINIANA	LIVE OAK
	QUERCUS BILIARIS	WALNUT OAK
	STRYCHNOS NUXVOMICA	POISONWOOD
<b>SHRUBS</b>		
	CHRYSOTHAMNUS PARRYI	COCCOPLUM
	PENNISETUM POLYSTACHYON	PARAGUAYAN GRASS
	COCCOLOBA UVIFERA	WATERMELON

LANDFILL  
C & D LANDFILL  
11-17-2002

MATCH LINE - SEE SHEET LA-2



Sheet LA-3

**LANDSCAPE PERMIT PLAN**  
APRIL 05, 2013

Revised: 11/15/12, 8/5/12, 10/4/12, 10/22, 10/25/12, 11/12/12, 04/05/13

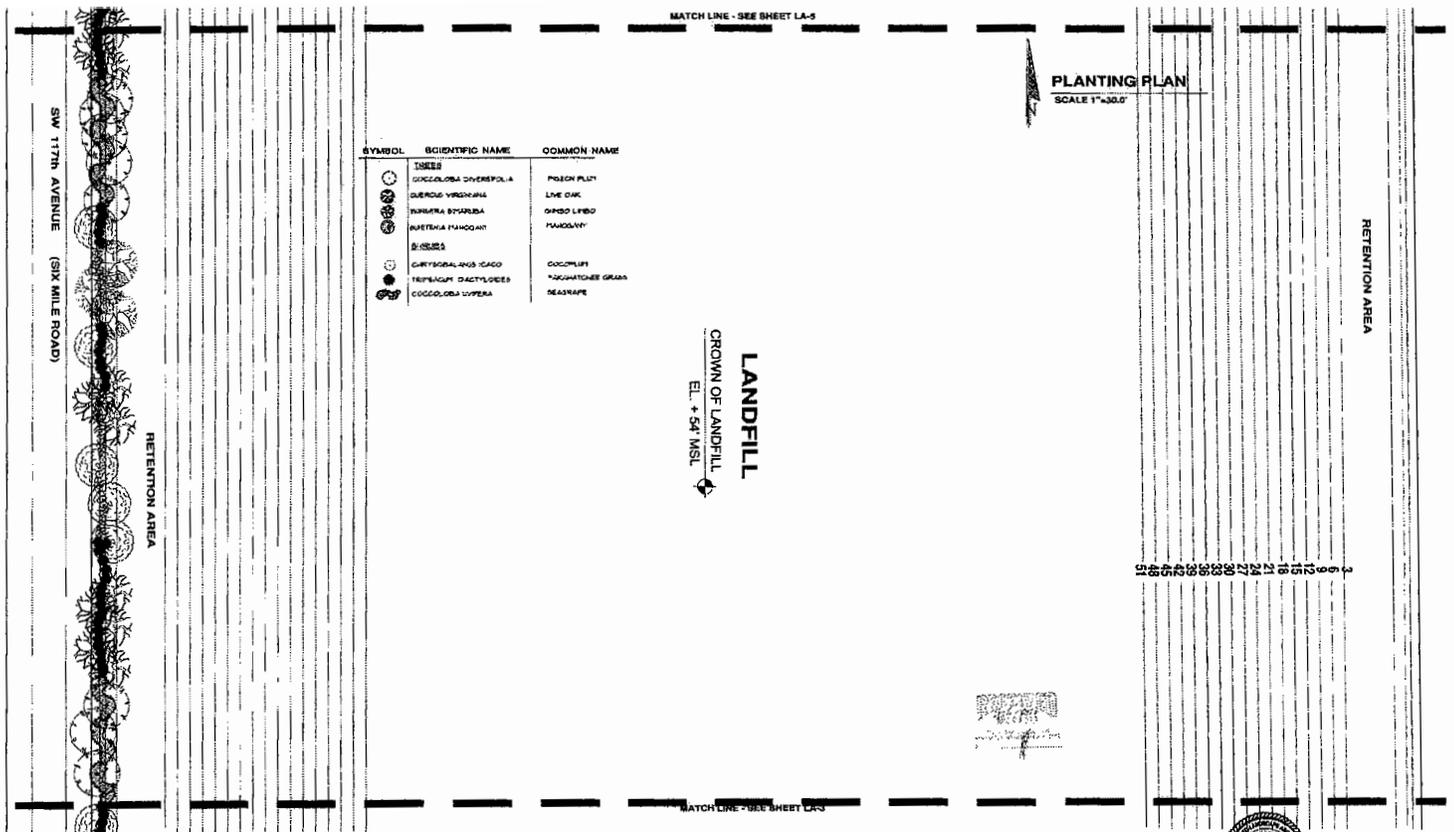
**ATLAS HOMESTEAD, INC.**  
Operated by WMIF Delta Recycling Homestead

**C & D LANDFILL ATKINS**

**RECEIVED**  
4/8/13  
APR 09 2013

ZONING HEARINGS SECTION  
MIAMI-DADE PLANNING AND ZONING DEPT.

BY \_\_\_\_\_



**LANDSCAPE PERMIT PLAN**  
**APRIL 05, 2013**  
 Revision: 7/1/02, 8/26/02, 10/4/02, 12/02, 10/9/03, 1/12/04, 04/05/13

**ATLAS HOMESTEAD, INC.**  
 Operated by WMIF Delta Recycling Homestead

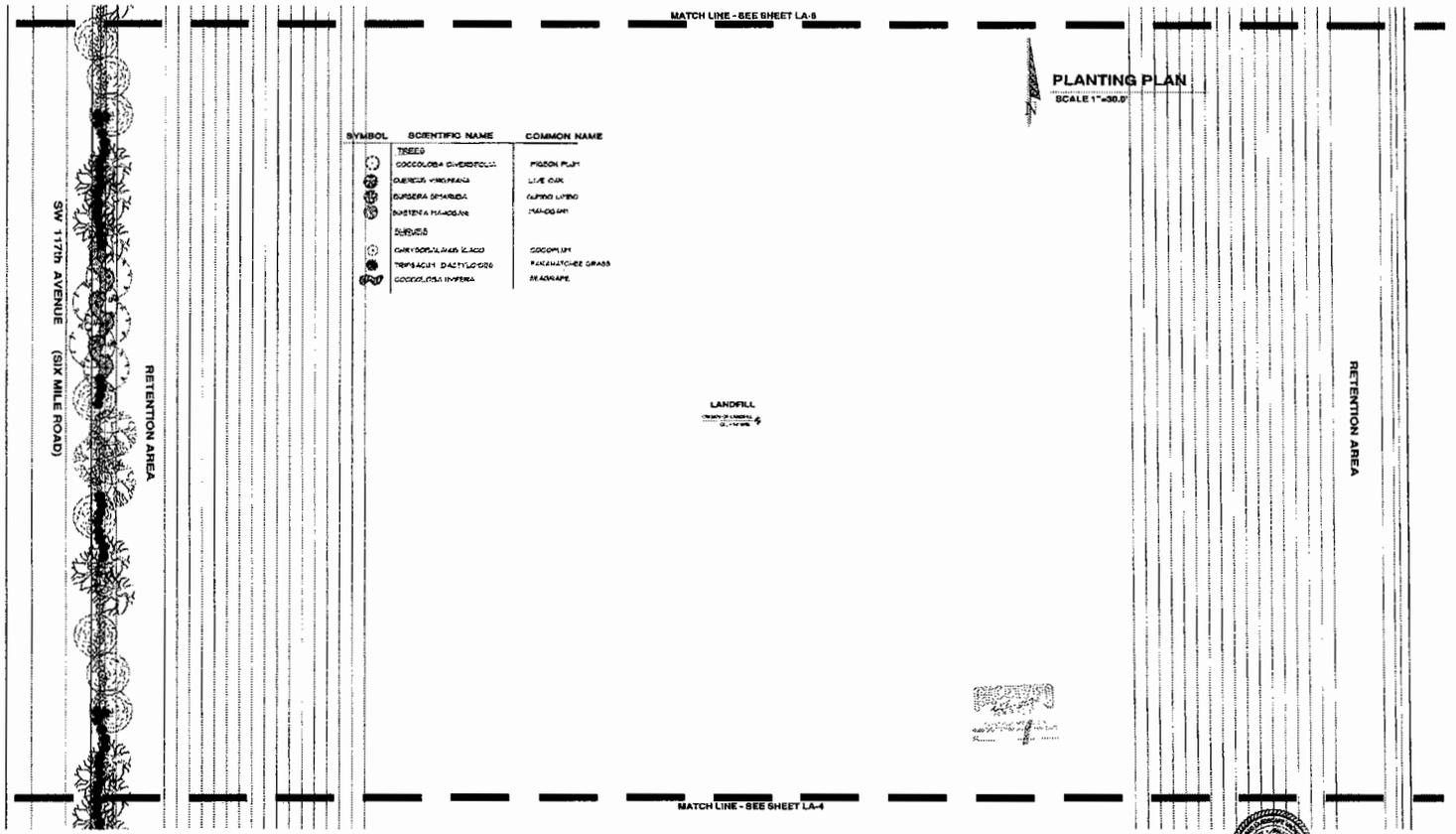
**C & D LANDFILL ATKINS**



Sheet: LA-4

**RECEIVED**  
 2307  
 APR 09 2013

ZONING HEARINGS SECTION  
 MIAMI-DADE PLANNING AND ZONING DEPT.  
 BY \_\_\_\_\_



**LANDSCAPE PERMIT PLAN**  
**APRIL 05, 2013**  
 Rev: 1/11/12, 02/02, 10/02, 1/10, 10/10, 11/10, 04/13

**ATLAS HOMESTEAD, INC.**  
 Operated by WMIF Delta Recycling Homestead

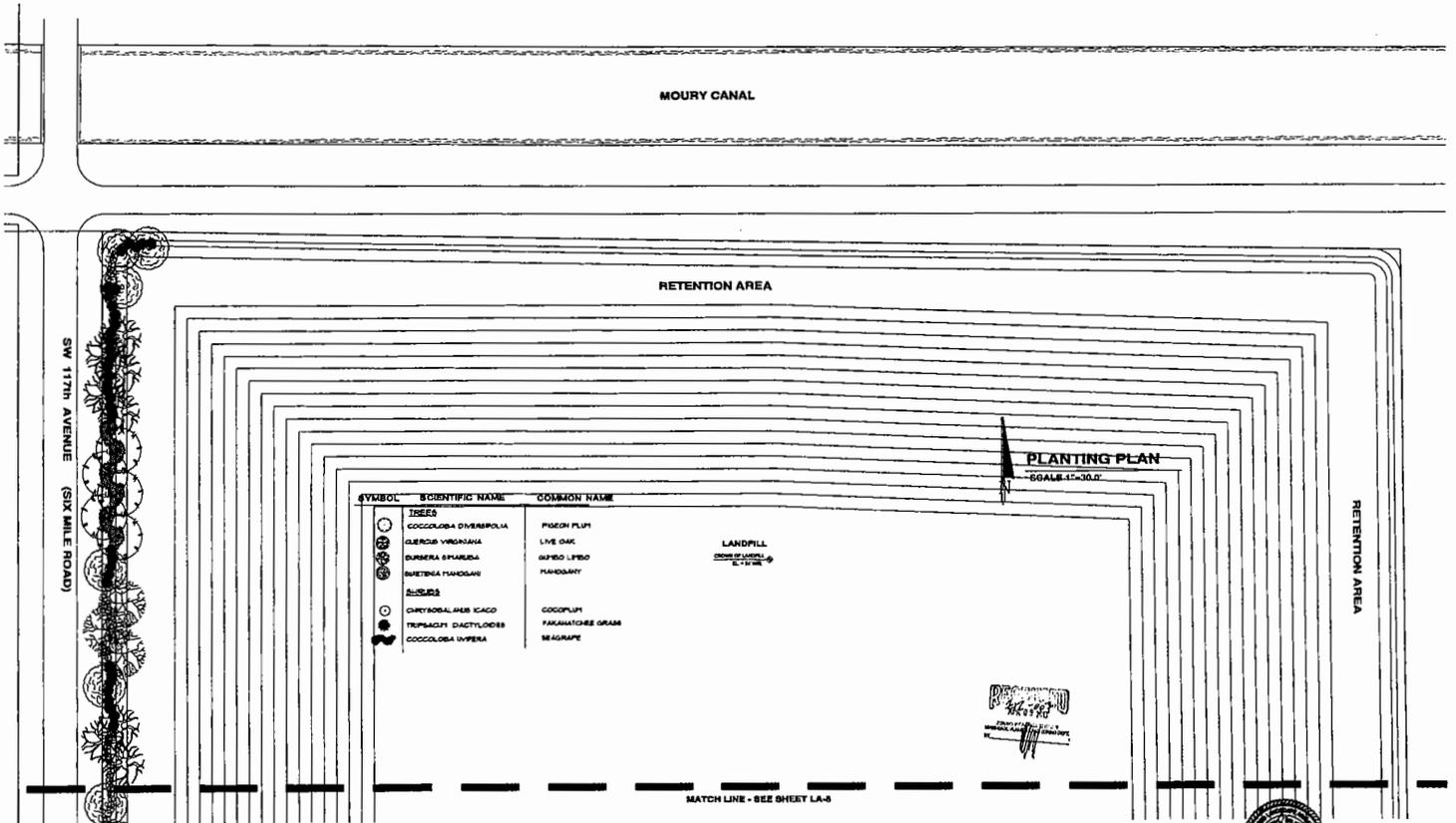
**C & D LANDFILL** **ATKINS**



Sheet: LA-5

**RECEIVED**  
 2/3-07  
 APR 09 2013

ZONING HEARINGS SECTION  
 MIAMI-DADE PLANNING AND ZONING DEPT.  
 BY \_\_\_\_\_



SYMBOL	SCIENTIFIC NAME	COMMON NAME
<b>TREES</b>		
○	COCOSLOBA DIVERSIFOLIA	PIGEON PLUM
○	QUERCUS VIRGINIANA	LIVE OAK
○	BURSERA FLORIDANA	GAFFER LIMEO
○	BURSERA FLORIDANA	FLAMBOYANT
<b>BUSHES</b>		
○	CHRYSOMALANES SCAG	COCOPLUM
○	TRIPLOCHIT DACTYLOIDES	PAKIMATCHEE GRASS
○	COCOSLOBA INFERA	SEAGRAPPE

**PLANTING PLAN**  
SCALE: 1"=30.0'

MATCH LINE - SEE SHEET LA-5



Sheet: LA-6

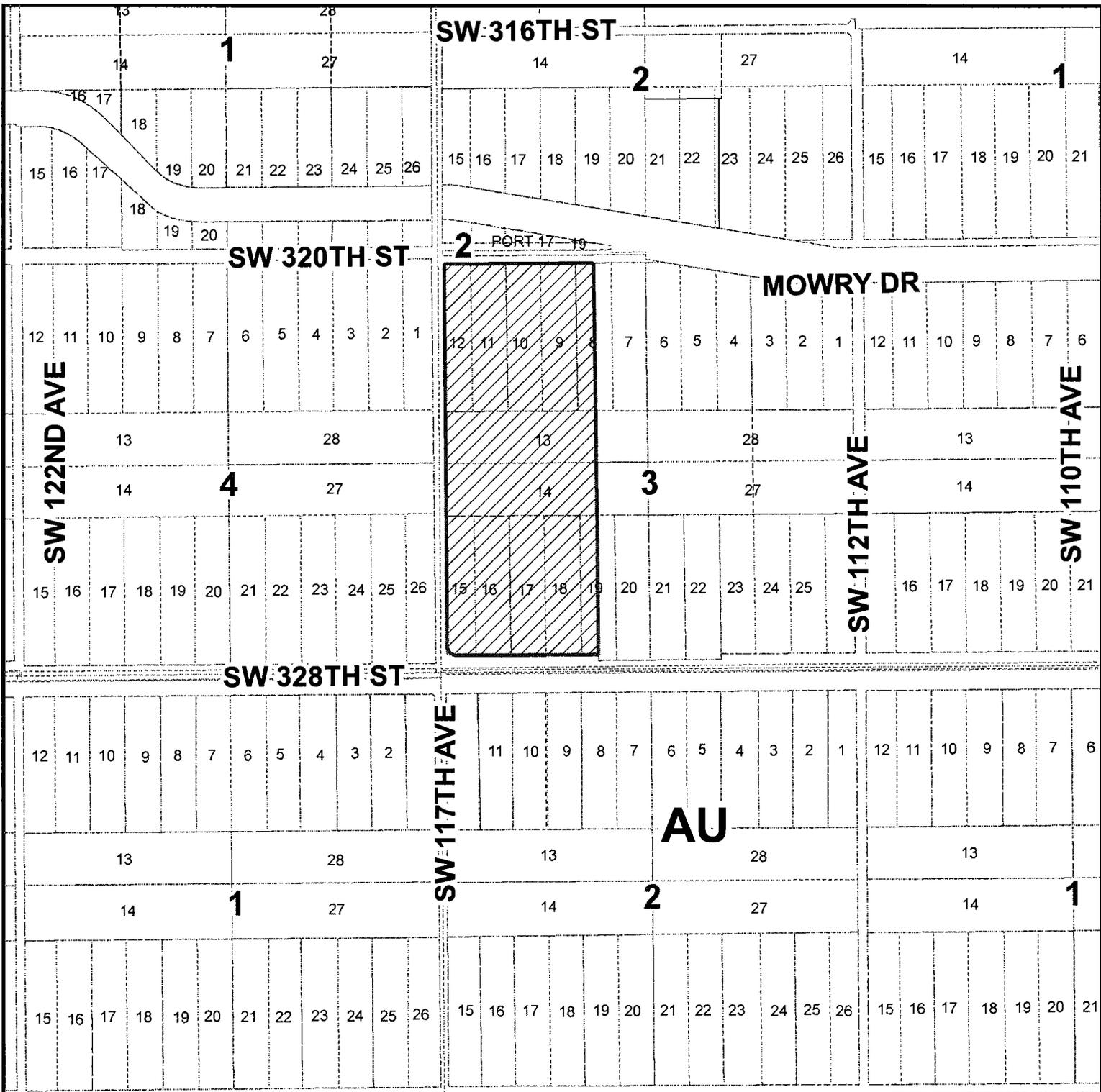
**LANDSCAPE PERMIT PLAN**  
APRIL 05, 2013  
Revisions: 7/11/02, 9/26/02, 10/4/02, 1/6/03, 10/24/03, 11/13/04, 6/4/07/3

**ATLAS HOMESTEAD, INC.**  
Operated by WMIF Delta Recycling Homestead

**C & D LANDFILL ATKINS**

**RECEIVED**  
4307  
APR 09 2013

ZONING HEARINGS SECTION  
MIAMI-DADE PLANNING AND ZONING DEPT.  
BY \_\_\_\_\_



**MIAMI-DADE COUNTY**  
**HEARING MAP**

Process Number  
**Z2013000007**



Section: 18 Township: 57 Range: 40  
 Applicant: WASTE MANAGEMENT, INC. OF FLORIDA  
 Zoning Board: C15  
 Commission District: 9  
 Drafter ID: JEFFER GURDIAN  
 Scale: NTS

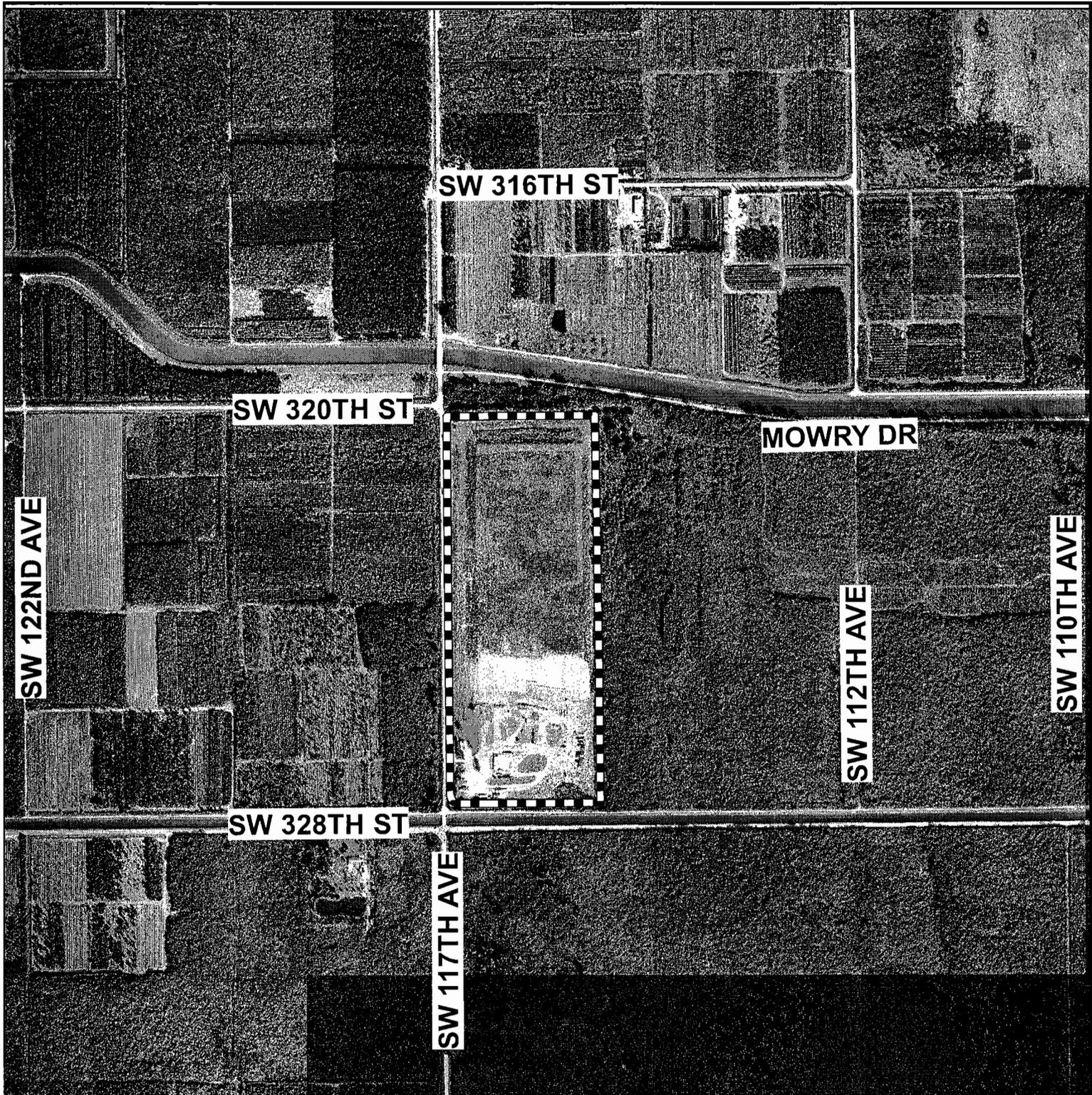
**Legend**

 Subject Property Case



SKETCH CREATED ON: Wednesday, February 20, 2013

REVISION	DATE	BY
		39



**MIAMI-DADE COUNTY**  
**AERIAL YEAR 2012**

Process Number

**Z2013000007**



Section: 18 Township: 57 Range: 40  
 Applicant: WASTE MANAGEMENT, INC. OF FLORIDA  
 Zoning Board: C15  
 Commission District: 9  
 Drafter ID: JEFFER GURDIAN  
 Scale: NTS

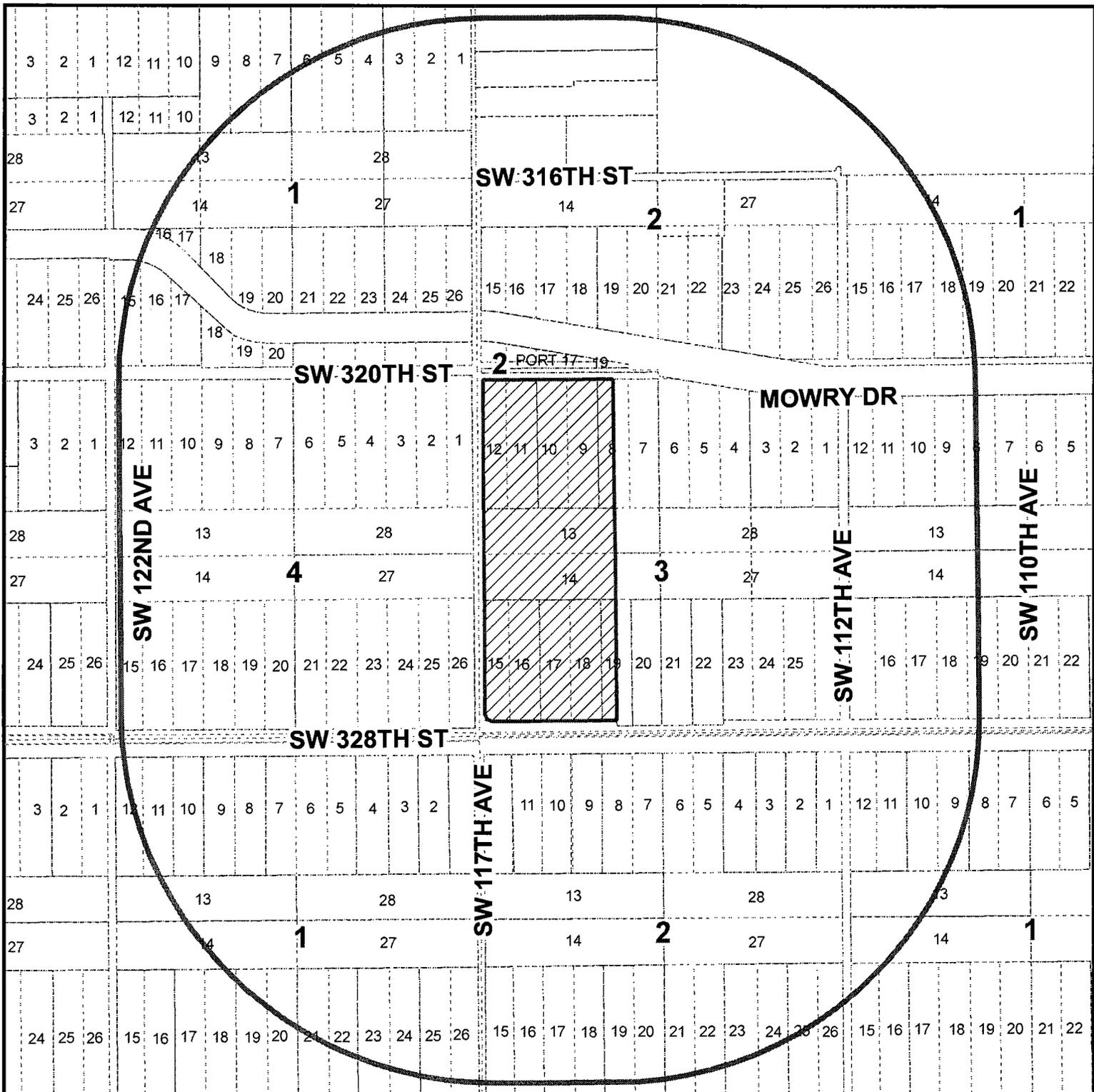
**Legend**

 Subject Property



SKETCH CREATED ON: Wednesday, February 20, 2013

REVISION	DATE	BY
		40



**MIAMI-DADE COUNTY  
RADIUS MAP**

**Process Number  
Z2013000007**

**RADIUS: 2640**

**Section: 18 Township: 57 Range: 40  
Applicant: WASTE MANAGEMENT, INC. OF FLORIDA  
Zoning Board: C15  
Commission District: 9  
Drafter ID: JEFFER GURDIAN  
Scale: NTS**

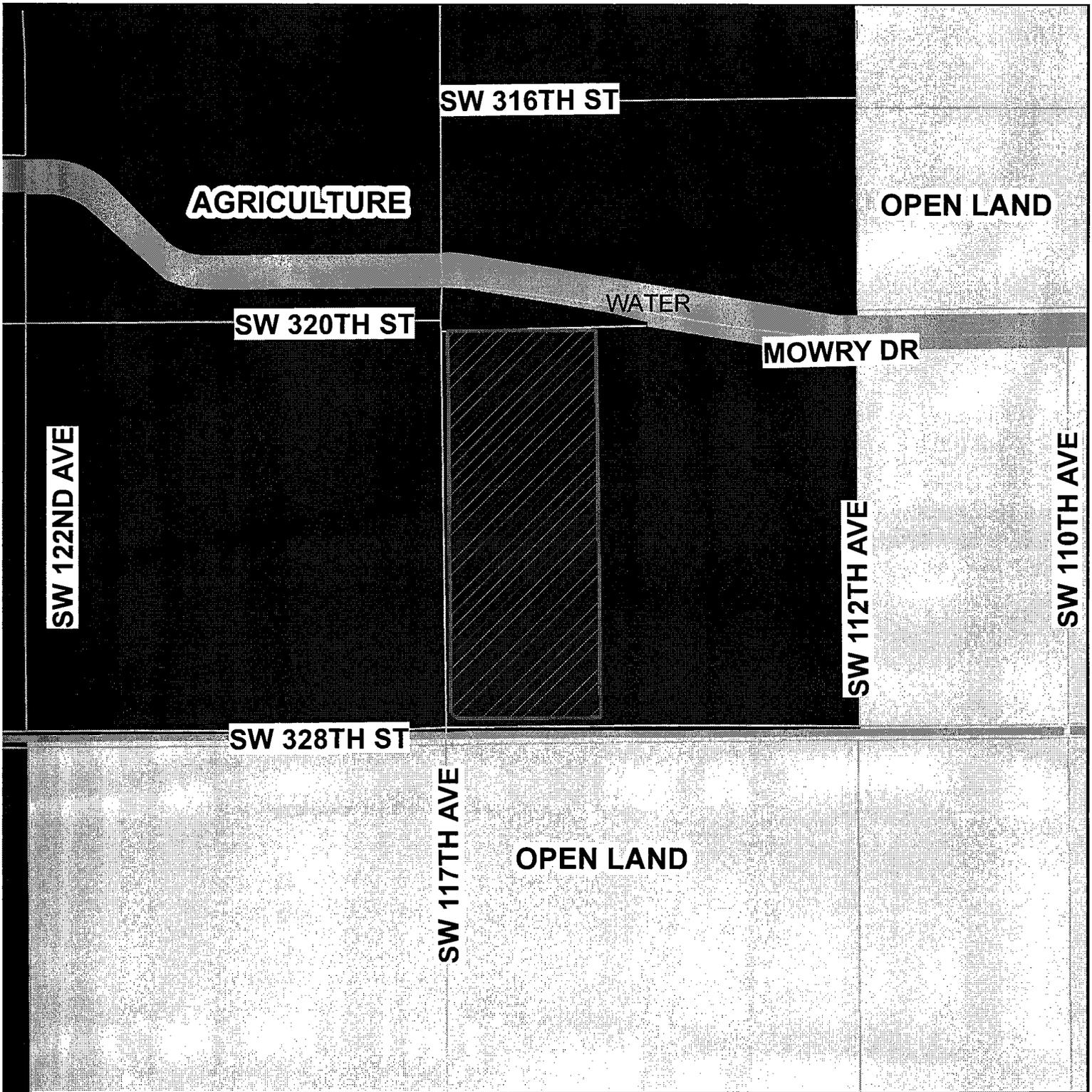


- Legend**
-  Subject Property
  -  Buffer



SKETCH CREATED ON: Wednesday, February 20, 2013

REVISION	DATE	BY
		41



**MIAMI-DADE COUNTY**

**CDMP MAP**

Process Number

**Z2013000007**



Section: 18 Township: 57 Range: 40  
 Applicant: WASTE MANAGEMENT, INC. OF FLORIDA  
 Zoning Board: C15  
 Commission District: 9  
 Drafter ID: JEFFER GURDIAN  
 Scale: NTS

**Legend**

 Subject Property Case



SKETCH CREATED ON: Wednesday, February 20, 2013

REVISION	DATE	BY