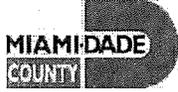


FINAL AGENDA

6-23-2015 Version # 1



COMMUNITY ZONING APPEALS BOARD 8

DR. MARTIN LUTHER KING JR. PLAZA

2525 NW 62 Street, Miami

Thursday, July 30, 2015 at 7:00 p.m.

CURRENT

- | | | | | | |
|----|------------|--|--------|----------|---|
| 1. | 15-7-CZ8-1 | <u>MIAMI COUNTRY DAY SCHOOL, INC.</u> | 14-72 | 31-52-42 | N |
| 2. | 15-7-CZ8-2 | <u>GIRALDO CASTELLON, PRE-APP Z15-P004</u> | 14-141 | 22-53-41 | N |



Official Zoning Agenda

COMMUNITY ZONING APPEALS BOARD

COMMUNITY ZONING APPEALS BOARD - AREA 8

MEETING OF THURSDAY, JULY 30, 2015

DR. MARTIN LUTHER KING JR. PLAZA

2525 NW 62 STREET, MIAMI, FLORIDA

NOTICE: THE FOLLOWING HEARINGS ARE SCHEDULED FOR 7:00 P.M., AND

ALL PARTIES SHOULD BE PRESENT AT THAT TIME

ANY PERSON MAKING IMPERTINENT OR SLANDEROUS REMARKS OR WHO BECOMES BOISTEROUS WHILE ADDRESSING THE COMMUNITY ZONING APPEALS BOARD SHALL BE BARRED FROM FURTHER AUDIENCE BEFORE THE COMMUNITY ZONING APPEALS BOARD BY THE PRESIDING OFFICER, UNLESS PERMISSION TO CONTINUE OR AGAIN ADDRESS THE BOARD BE GRANTED BY THE MAJORITY VOTE OF THE BOARD MEMBERS PRESENT.

NO CLAPPING, APPLAUDING, HECKLING OR VERBAL OUTBURSTS IN SUPPORT OR OPPOSITION TO A SPEAKER OR HIS OR HER REMARKS SHALL BE PERMITTED. NO SIGNS OR PLACARDS SHALL BE ALLOWED IN THE MEETING ROOM. PERSONS EXITING THE MEETING ROOM SHALL DO SO QUIETLY.

THE USE OF CELL PHONES IN THE MEETING ROOM IS NOT PERMITTED. RINGERS MUST BE SET TO SILENT MODE TO AVOID DISRUPTION OF PROCEEDINGS. INDIVIDUALS, INCLUDING THOSE ON THE DAIS, MUST EXIT THE MEETING ROOM TO ANSWER INCOMING CELL PHONE CALLS. COUNTY EMPLOYEES MAY NOT USE CELL PHONE CAMERAS OR TAKE DIGITAL PICTURES FROM THEIR POSITIONS ON THE DAIS.

THE NUMBER OF FILED PROTESTS AND WAIVERS ON EACH APPLICATION WILL BE READ INTO THE RECORD AT THE TIME OF HEARING AS EACH APPLICATION IS READ.

THOSE ITEMS NOT HEARD PRIOR TO THE ENDING TIME FOR THIS MEETING, WILL BE DEFERRED TO THE NEXT AVAILABLE ZONING HEARING MEETING DATE FOR THIS BOARD.

SWEARING IN OF WITNESSES

1. MIAMI COUNTRY DAY SCHOOL, INC. (15-7-CZ8-1/14-072)

**31-52-42
Area 08/District 03**

- (1) SPECIAL EXCEPTION to permit the expansion of a private school onto additional property to the North.
- (2) MODIFICATION of Condition #2 of Resolution 4-ZAB-319-82, passed and adopted by the Zoning Appeals Board and last modified by Resolution CZAB 8-9-14, passed and adopted by the Community Zoning Appeals Board #8, reading as follows:

FROM: "2. That the plan be substantially in accordance with that submitted for the hearing entitled "Site Plan Modification Approval Submission" as prepared by Zyscovich Architects, with sheets A-100A, A-100B, A-001, A-100C, A-150, A-151, A-515, L-000, L-100, L-101 & L-102, consisting of 11 sheets, dated stamped received 2/13/14 and sheets A-211, A-211A, A-211B, A-231 & A-231A dated stamped received 12/18/13 and a sheet A-512 dated stamped received 3/4/14, consisting of 1 sheet and the remaining 31 sheets dated stamped received 10/3/13, with sheet A-511 last handwritten revision dated 4/1/14 for a total of 48 sheets."

TO: "2. That the plan be substantially in accordance with that submitted for the hearing entitled "Site Plan Modification Approval Submission" as prepared by Zyscovich Architects, with sheets A-201 & A-501 dated stamped received 6/18/14, sheet L-103 dated stamped received 10/2/14 and the remaining 4 sheets dated stamped received 12/16/14 and plans entitled "Miami Country Day School for Boys and Girls" as prepared by A.R. Toussaint & Associates, Inc., dated stamped received 10/2/14, consisting of 5 sheets, for a total of 12 sheets."

The purpose of Request #2 is to allow the applicant to submit revised site plans showing an expansion of a previously approved private school onto additional property.

- (3) NON-USE VARIANCE to permit a classroom building setback a minimum of 5.23' (50' required) from the rear (north) property line, setback 33.63' (50' required) from the interior side (east) property line and setback 18.75' (25 required) from the side street (west) property line.

The aforementioned plans are on file and may be examined in the Department of Regulatory and Economic Resources. Plans may be modified at public hearing.

LOCATION: Lying East of NE 6 Avenue, between NE 107 Street & NE 111 Street, A/K/A 601 NE 107 Street, 10725, 10901, 10931, 11001, 11031 NE 6 Avenue, MIAMI-DADE COUNTY, FLORIDA.

SIZE OF PROPERTY: 18.36 Acres

Department of Regulatory and
Economic Resources
Recommendation:

Approval with conditions.

Protests: _____ 0 _____

Waivers: _____ 0 _____

APPROVED: _____

DENIED WITH PREJUDICE: _____

DENIED WITHOUT PREJUDICE: _____

DEFERRED _____

NOTICE

THE FOLLOWING SUMMARY INFORMATION IS PROVIDED AS A COURTESY; IT SHOULD NOT BE TREATED AS LEGAL ADVICE AND IT SHOULD NOT BE RELIED UPON. LEGAL CONSULTATION MAY BE WARRANTED IF AN APPEAL OR OTHER LEGAL CHALLENGE IS BEING CONTEMPLATED.

Decisions of the Community Zoning Appeals Board (CZAB) may be subject to appeal or other challenge. For example, depending upon the nature of the requests and applications addressed by the CZAB, a CZAB decision may be directly appealable to the Board of County Commissioners (BCC) or may be subject to challenge in Circuit Court. Challenges asserted in Circuit Court, where available, must ordinarily be filed within 30 days of the transmittal of the pertinent CZAB resolution to the Clerk of the BCC. Appeals to the BCC, where available, must be filed with the Zoning Hearing Section of the Department of Regulatory and Economic Resources (RER), or its successor Department, within 14 days after RER has posted a short, concise statement (such as that furnished above for the listed items) that sets forth the action that was taken by the CZAB. (RER's posting will be made on a bulletin board located in the office of RER.) All other applicable requirements imposed by rule, ordinance, or other law must also be observed when filing or otherwise pursuing any challenge to a CZAB decision.

Further information regarding options and methods for challenging a CZAB decision may be obtained from sources that include, but are not limited to, the following: Sections 33-312, 33-313, 33-314, 33-316, and 33-317 of the Code of Metropolitan Dade County, Florida; the Florida Rules of Appellate Procedure; and the Municode website (www.municode.com). Miami-Dade County does not provide legal advice regarding potential avenues and methods for appealing or otherwise challenging CZAB decisions; however, a licensed attorney may be able to provide assistance and legal advice regarding any potential challenge or appeal.

**Miami-Dade County Department of Regulatory and Economic Resources
Staff Report to Community Council No. 8**

PH: Z14-072 (15-7-CZ8-1)

July 30, 2014

Item No. 1

Recommendation Summary	
Commission District	3
Applicant	Miami Country Day School, Inc.
Summary of Requests	The applicant is seeking to modify a condition from a prior resolution in order to submit revised plans showing the expansion of a private school use onto additional property. Additionally, the applicant seeks to permit the existing building on the new parcel setback less than required from property lines, and to allow parking within 25' of a right-of-way
Location	Lying east of NE 6 Avenue, between N.E. 107 Street and N.E. 111 Street, aka 601 NE 107 Street, 10725, 10901, 10931, 11001, 11031 N.E. 6 Avenue, Miami-Dade County, Florida.
Property Size	18.36-acres
Existing Zoning	BU-1, Neighborhood Business District BU-1A, Limited Business District RU-1, Single-Family Residential District
Existing Land Use	Private school
2020-2030 CDMP Land Use Designation	Business and Office Low Density Residential (see attached Zoning Recommendation Addendum)
Comprehensive Plan Consistency	Consistent with interpretative text, goals, objectives and policies of the CDMP
Applicable Zoning Code Section(s)	Section 33-311(A)(3) Special Exceptions, Unusual Uses and New Uses Section 33-311(A)(7) Generalized Modification Standards Section 33-311(A)(4)(b) Non-Use Variances From Other Than Airport Regulations (see attached Zoning Recommendation Addendum)
Recommendation	Approval with conditions

REQUESTS:

- (1) SPECIAL EXCEPTION to permit the expansion of a private school onto additional property to the North.
- (2) MODIFICATION of Condition #2 of Resolution 4-ZAB-319-82, passed and adopted by the Zoning Appeals Board and last modified by Resolution CZAB8-9-14, passed and adopted by the Community Zoning Appeals Board #8, reading as follows:

FROM: "2. That the plan be substantially in accordance with that submitted for the hearing entitled "Site Plan Modification Approval Submission" as prepared by Zyscovich Architects, with sheets A-100A, A-100B, A-001, A-100C, A-150, A-151, A-515, L-000, L-100, L-101 & L-102, consisting of 11 sheets, dated stamped received 2/13/14 and sheets A-211, A-211A, A-211B, A-231 & A-231A dated stamped received 12/18/13 and a sheet A-512 dated stamped received 3/4/14, consisting of 1 sheet and the remaining 31 sheets dated

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The purpose of request #2 is to allow the applicant to submit a revised site plan showing an expansion of previously approved private school on to additional property.

- (3) NON-USE VARIANCE to permit a classroom building setback a minimum of 5.23' (50' required) from the rear (north) property line, setback 33.63' (50' required) from the interior side (east) property line and setback 18.75' (25' required) from the side street (west) property line.
- (4) NON-USE VARIANCE to permit parking within 25' of an official right-of-way (not permitted).

Plans are on file and may be examined in the Department of Regulatory and Economic Resources. Plans may be modified at public hearing.

PROJECT DESCRIPTION & PROJECT HISTORY:

The submitted site plan depicts the previously approved private school buildings along with an existing 12,230 sq. ft. office building to be converted into classrooms for the middle and upper school grades on the proposed north lot addition, along with 56 additional parking spaces.

The subject property has been the subject of several zoning approvals from 1950 to 2014. In October 1982, pursuant to Resolution #4-ZAB-319-82, the application was approved for a special exception to permit the expansion of a private school onto adjacent property along with a non-use variance of zoning regulations for parking spaces.

The most recent zoning action on the subject property was in May 2014. Pursuant to Resolution #CZAB8-9-14, the application was approved for a special exception to permit the expansion of a private school; to modify a prior site plan to permit new classroom buildings; to modify conditions from a prior resolution increasing the number of students and teachers and approval of other ancillary non-use variance requests on the subject property.

The applicant now seeks to expand the private school use on to a 65,795 sq. ft. parcel to the north and to permit two additional ancillary non-use variance requests.

NEIGHBORHOOD CHARACTERISTICS		
	Zoning and Existing Use	Land Use Designation
Subject Property	BU-1, BU-1A & RU-1; private school	Business and Office Low Density Residential, (2.5 dua to 6 dua)
North	BU-1A; mixed use commercial and residential lot	Business and Office
South	City of Miami Shores; single-family residences and golf course	Low Density Residential, (2.5 dua to 6 dua) Parks and Recreation
East	City of Biscayne Park; canal and single-family residences	Low Density Residential, (2.5 dua to 6 dua)
West	RU-1, BU-1, BU-1A & BU-2; single-family residences retail outlets, medical office, funeral home, vacant land and auto repair shop,.	Low Density Residential, (2.5 dua to 6 dua) Business and Office

NEIGHBORHOOD COMPATIBILITY:

The subject property is located lying east of NE 6 Avenue, between N.E. 107 Street and N.E. 111 Street. The surrounding area is characterized by commercial uses, single-family residences and a golf course.

SUMMARY OF THE IMPACTS:

The approval of this application will allow the applicant to expand the school use onto additional property. However, the requests could have additional aural impacts on the neighboring properties located to the north.

COMPREHENSIVE DEVELOPMENT MASTER PLAN ANALYSIS:

The eastern portion of the subject property, which is approximately 13.65 acres, is designated as **Low Density Residential** on the Comprehensive Development Master Plan (CDMP) Land Use Plan (LUP) map. The northern portion of the subject property, which is approximately 3.48 acres in size and the western portion of the subject property which is approximately 3.1 acres in size, is designated **Business and Office**, on the CDMP LUP map.

Staff notes that the private school is an existing use on the larger portion of the property and has been the subject of several zoning approvals from 1950 to 2014. The applicant is requesting to expand said private school onto additional property to the north, which is designated Business and Office on the LUP map. As previously mentioned, the private school use is an existing use and approval of the requests will not change the existing private school use on the entire subject property. Further, based on the CDMP LUP interpretative text, the private school use is a permitted use in the Business and Office Land Use category.

Additionally, staff notes that submitted plans for this application depict the proposed buildings with similar architectural elements to the remaining buildings on the subject property. Further, based on the foregoing review of the requested variances in the zoning analysis, staff opines that the existing school and additions are **compatible** with the area based on the criteria

outlined in CDMP Policy LU4-A. Therefore, staff opines that approval of the application would be **consistent** with the CDMP Land Use Element interpretative text for properties designated Business and Office, and Low-Medium Density Residential on the LUP map.

ZONING ANALYSIS:

The subject property is zoned BU-1, Neighborhood Business District, BU-1A, Limited Business District and RU-1, Single-Family Residential District and is occupied by an existing private school, which is located at 601 NE 107 Street & 10901, 10931, & 11001 NE 6 Avenue, which is a well-travelled four lane section line roadway. The 65,795 parcel to the north, which the school seeks to expand, is currently developed with a 1 story, 12,230 sq. ft. office building. The applicant proposes to retain that building, but convert the building to classroom uses. The subject property is in an area characterized by commercial and residential uses to the north, single-family residences and commercial uses to the west, the City of Miami Shores, which consists of single-family residences, a golf course to the south, and a canal and the City of Biscayne Park (single-family residences) to the east of the subject property.

When the request to permit the expansion of the private school onto additional property to the north is analyzed under Section 33-311(A)(3), Special Exceptions, Unusual Uses and New Uses (request #1), along with the requested modification of a prior condition to revise the site plan to show the expansion of the private school on to additional property is analyzed under Section 33-311(A)(7), Generalized Modification Standards (request #2), staff opines that approval of the requests would be **compatible** with the surrounding area.

In October 1982 and May 2014, the subject property was approved for previous expansions of the private school onto additional properties. The current site plan shows the expansion of the school on to additional property to the north, with an existing 12,230 sq. ft. building with eight (8) classrooms and two (2) practice rooms encroaching into the rear (north), interior side (east) and side street (west) setback areas for the public assemblage use (request #3). Additionally, said plans indicate parking within 25 feet of the official right of way (request #4). For reasons that are expanded upon below in staff's analysis of said requests #3 and #4, under the Non-Use Variance Standards, staff opines that approval would not be detrimental or out of character with the surrounding area.

Furthermore, since the school is existing, and there are prior approvals for expansions of the school on to additional properties, staff opines that request #1 would not create any new negative impacts on the area. In regards to the proposed classroom building on the expanded property as indicated on the site plan, staff notes that the building is less than 35' high, and staff opines that said building would not be out of character with the neighboring commercial and residential buildings to the north and west.

Staff notes that the applicant is not seeking to increase the number of students at the private school. Therefore, based on the memoranda from the Division of Environmental Resource Management (DERM) of the Department of Regulatory and Economic Resources (RER), the Miami-Dade Fire Rescue Department (MDFRD) and the Platting and Traffic Review Section of RER, approval of the requests would not have an unfavorable effect on the economy of Miami-Dade County, Florida, would not generate or result in excessive traffic, or cause undue or excessive burden on public facilities in relation to the present and future development of the area concerned. Furthermore, staff notes that the Departments in their memoranda have no objections to the requests.

Therefore, staff recommends approval with conditions of request #1 under Section 33-311(A)(3), Special Exceptions, Unusual Uses and New Uses, and request #2 under Section 33-311(A)(7) Generalized Modification Standards.

When request #3, to permit the new classroom building setback 5.23' (50' required) from the rear (north), 33.63' (50' required) from the interior side (east) and 18.75' (25' required) from the side street (west) property lines, and request #4, to permit parking within 25' of an official right-of-way (not permitted) are analyzed under Section 33-311(A)(4)(b) Non-Use Variances From Other Than Airport Regulations, staff opines that the requests are **compatible** with the surrounding area and will not have a negative impact on the appearance of the community. Staff notes that these variances are caused by the conversion of the existing office building to classroom uses. In May 2014, the subject property was approved to permit setback encroachments and parking within the right-of-way.

To address the requested encroachments and parking within the right-of-way on the subject property, the applicant has submitted a landscape plan, which indicates a row of trees along the rear (north), interior side (east) and side street (west) property lines. Staff opines that said landscaping will help to mitigate the 44.77' encroachment into the rear (north), the 6.25' encroachment into the side street (west), and the 16.37' encroachment into the interior side (east) setback areas from any negative aural or visual impacts on the neighboring RU-1 zoned residences to the east and west, and to the BU-1A zoned mixed use property to the north.

Additionally, staff notes from the Geographic Information System (GIS) that the north lot addition abuts an approximately 100' wide canal to the east, which separates the parcel from the single-family residences to the east. The GIS system also indicates that the proposed lot on which the use will be expanded on, is separated from neighboring residences to the west by NE 6 Avenue, a 4 lane roadway, and that the existing building in which the classrooms will be located is spaced approximately 110' from the neighboring residences to the west. As such, staff opines that the new classroom building will not create any new visual or aural impacts on the neighboring residences to the east and west. Staff further opines that the BU-1A zoned mixed use commercial and residential lot to the north could potentially be developed with more intensive uses than the neighboring residential lots in the area, which would be compatible with the proposed educational uses on the subject property. Furthermore, since there is a prior approval for setback encroachments on the subject property, staff opines that approval of the request would not be out of character with the surrounding area.

In analyzing request #4, staff opines the request to permit parking within 25' of an official right-of-way would not generate any visual impacts and would be buffered by the proposed landscaping located along the property line to the west along NE 6 Avenue. In addition, since there is a prior approval of parking within the right-of-way, staff opines that approval of the request to permit parking within 25' is not out of character with the previous approval and remains **compatible** with the surrounding area.

Therefore staff recommends approval with conditions of Requests #3 and #4 under Section 33-311(A)(4)(b), Non-Use Variances From Other Than Airport Regulations.

ACCESS, CIRCULATION AND PARKING:

The submitted site plan depicts one (1) egress/ingress point located along NE 107 Street, two (2) egress/ingress points along NE 6 Avenue. The Applicant will provide 531 parking spaces for the private school.

NEIGHBORHOOD SERVICES PROVIDER REVIEW: See attached.

OTHER: Not applicable.

RECOMMENDATION:

Approval with conditions.

CONDITIONS FOR APPROVAL:

1. That all the conditions of Resolutions #4-ZAB-319-82 and #CZAB8-9-14 remain in full force and effect except as herein modified.
2. That the applicant comply with all applicable conditions and requirements of the Platting and Traffic Review Section of the Miami-Dade County Department of Regulatory and Economic Resources in their memoranda, June 18, 2015.
3. That the applicant comply with all applicable conditions and requirements, if any from the Division of Environmental Resources Management (DERM) of the Department of Regulatory and Economic Resources as indicated in the memorandum dated January 2, 2015.

NK:MW:NN:CH:EJ



Nathan Kogon, AICP, Assistant Director
Development Services
Miami-Dade County
Department of Regulatory and Economic Resources

MAN

ZONING RECOMMENDATION ADDENDUM

Miami Country Day School, Inc.
Z14-072

NEIGHBORHOOD SERVICES PROVIDER COMMENTS	
<i>Division of Environmental Resource Management (RER)</i>	<i>No objection*</i>
<i>Platting and Traffic Review Section (RER)</i>	<i>No objection*</i>
<i>Parks, Recreation and Open Spaces</i>	<i>No objection</i>
<i>Fire Rescue</i>	<i>No objection</i>
<i>Police</i>	<i>No objection</i>
<i>Schools</i>	<i>No objection</i>
<i>Public Works and Waste Management</i>	<i>No objection</i>
<i>*Subject to conditions in their memorandum.</i>	

COMPREHENSIVE DEVELOPMENT MASTER PLAN (CDMP) OBJECTIVES, POLICIES AND INTERPRETATIVE TEXT

Business and Office (Pg. I-41)	<i>The Adopted 2015 and 2025 Land Use Plan designates the subject property, being within the Urban Development Boundary for Business and Office. This category accommodates the full range of sales and service activities. Included are retail, wholesale, personal and professional services, call centers, commercial and professional offices, hotels, motels, hospitals, medical buildings, nursing homes (also allowed in the institutional category), entertainment and cultural facilities, amusements and commercial recreation establishments such as private commercial marinas. Also allowed are telecommunication facilities (earth stations for satellite communication carriers, satellite terminal stations, communications telemetry facilities and satellite tracking stations). These uses may occur in self-contained centers, high-rise structures, campus parks, municipal central business districts or strips along highways. In reviewing zoning requests or site plans, the specific intensity and range of uses, and dimensions, configuration and design considered to be appropriate will depend on locational factors, particularly compatibility with both adjacent and adjoining uses, and availability of highway capacity, ease of access and availability of other public services and facilities. Uses should be limited when necessary to protect both adjacent and adjoining residential use from such impacts as noise or traffic, and in most wellfield protection areas uses are prohibited that involved the use, handling, storage, generation or disposal of hazardous material or waste, and may have limitations as to the maximum buildable area, as defined in Chapter 24 of the County Code. When the land development regulations are amended pursuant to Land Use Element Policies LU-9P and LU-9Q, live-work and work-live developments shall be permitted on land designated as Business and Office, as transitional uses between commercial and residential areas..</i>
Low –Medium Density Residential (Pg. I-31)	<i>The Adopted 2015 and 2025 Land Use Plan designates the subject property as being within the Urban Development Boundary for Low-Medium Density Residential. This category allows a range in density from a minimum of 6.0 to a maximum of 13 dwelling units per gross acre. The types of housing typically found in areas designated low-medium density include single-family homes, townhouses and low-rise apartments. Zero-lot-line single-family developments in this category shall not exceed a density of 7.0 dwelling units per gross acre.</i>
Residential Communities (Pg. I-26)	<i>The areas designated Residential Communities permit housing types ranging from detached single-family to attached multifamily buildings, as well as different construction systems. Also permitted in Residential Communities are neighborhood and community services including schools, parks, houses of worship, daycare centers, group housing facilities, and utility facilities, only when consistent with other goals, objectives and policies of this Plan and compatible with the neighborhood. The character of the "neighborhood" reflects the intensity and design of developments, mix of land uses and their relationships.</i>
Policy LU-4A (Page I-11)	<i>When evaluating compatibility among proximate land uses, the County shall consider such factors as noise, lighting, shadows, glare, vibration, odor, runoff, access, traffic, parking, height, bulk, scale of architectural elements, landscaping, hours of operation, buffering, and safety, as applicable.</i>

ZONING RECOMMENDATION ADDENDUM

Miami Country Day School, Inc.
Z14-072

PERTINENT ZONING REQUIREMENTS/STANDARDS

<p>Section 33-311(A)(3) Special Exception, Unusual and New Uses</p>	<p><i>Special exceptions (for all applications other than public charter schools), unusual and new uses. Hear application for and grant or deny special exceptions, except applications for public charter schools; that is, those exceptions permitted by the regulations only upon approval after public hearing, new uses and unusual uses which by the regulations are only permitted upon approval after public hearing; provided the applied for exception or use, including exception for site or plot plan approval, in the opinion of the Community Zoning Appeals Board, would not have an unfavorable effect on the economy of Miami-Dade County, Florida, would not generate or result in excessive noise or traffic, cause undue or excessive burden on public facilities, including water, sewer, solid waste disposal, recreation, transportation, streets, roads, highways or other such facilities which have been constructed or which are planned and budgeted for construction, are accessible by private or public roads, streets or highways, tend to create a fire or other equally or greater dangerous hazards, or provoke excessive overcrowding or concentration of people or population, when considering the necessity for and reasonableness of such applied for exception or use in relation to the present and future development of the area concerned and the compatibility of the applied for exception or use with such area and its development.</i></p>
<p>Section 33-311(A)(7) Generalized Modification Standards.</p>	<p><i>The Board shall hear applications to modify or eliminate any condition or part thereof which has been imposed by any final decision adopted by resolution; and to modify or eliminate any provisions of restrictive covenants, or parts thereof, accepted at public hearing, except as otherwise provided in Section 33-314(C)(3); provided, that the appropriate Board finds after public hearing that the modification or elimination, in the opinion of the Community Zoning Appeals Board, would not generate excessive noise or traffic, tend to create a fire or other equally or greater dangerous hazard, or provoke excessive overcrowding of people, or would not tend to provoke a nuisance, or would not be incompatible with the area concerned, when considering the necessity and reasonableness of the modification or elimination in relation to the present and future development of the area concerned, or (b) (i) that the resolution that contains the condition approved a school use that was permitted only as a special exception, (ii) that subsequent law permits that use as of right without the requirement of approval after public hearing, and (iii) that the requested modification or elimination would not result in development exceeding the standards provided for schools authorized as a matter of right without the requirement of approval after public hearing.</i></p>
<p>Section 33-311(A)(4)(b) Non-Use Variances From Other Than Airport Regulations.</p>	<p><i>Upon appeal or direct application in specific cases, the Board shall hear and grant applications for non-use variances from the terms of the zoning and subdivision regulations and may grant a non-use variance upon a showing by the applicant that the non-use variance maintains the basic intent and purpose of the zoning, subdivision and other land use regulations, which is to protect the general welfare of the public, particularly as it affects the stability and appearance of the community and provided that the non-use variance will be otherwise compatible with the surrounding land uses and would not be detrimental to the community. No showing of unnecessary hardship to the land is required.</i></p>
<p>Buildings for public assemblage—In districts other than business or industrial. Sec. 33-17.</p>	<p><i>All building or other structures or any part thereof, intended for public assemblage, wherein provisions are made for fifty (50) or more persons to assemble in one (1) room or such structure as an auditorium, church, club, hospital, sanitarium, school, theater, night club, amusement park structure and similar structures, excluding hotels, motels and apartments shall be located or placed only in business or industrial districts, as herein provided, and shall comply with the following:</i></p> <ul style="list-style-type: none"> <i>(1) No building for public assemblage shall be located closer than twenty-five (25) feet to any property line which abuts on a public highway or alley, or closer than fifty (50) feet of any property line abutting a lot under different ownership than that on which the structure is to be placed, or closer than seventy-five (75) feet to an existing residential building.</i> <i>(3) In EU-1 and EU-2 Districts, where the setback from the front building line is greater than the minimum specified by this section, buildings for public assemblage shall set back at least the minimum distance required, namely, fifty (50) feet from the front property line.</i> <i>(4) No building for public assemblage in EU-M, EU-1 and EU-2 Districts shall be closer than</i>

ZONING RECOMMENDATION ADDENDUM

*Miami Country Day School, Inc.
Z14-072*

	<p><i>seventy-five (75) feet to any property line abutting a lot under ownership other than that on which the structure is to be placed.</i></p> <p><i>(7) Ample parking facilities for buildings for public assemblage shall be provided off the highway right-of-way. Parking facilities for a church, school, or other buildings used for noncommercial purposes in a residential district may be permitted in the same district with said church, school or other buildings used for noncommercial purposes, provided no parking lot or special parking area is closer than twenty-five (25) feet to any property under different ownership which is zoned RU or EU unless the parking area is separated from such lot by a wall or hedge approved by the Director.</i></p>
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1. MIAMI COUNTRY DAY SCHOOL, INC.
(Applicant)

15-7-CZ8-1(14-072)
Area 08/District 03
Hearing Date: 07/30/15

Property Owner (if different from applicant) **Same.**

Is there an option to purchase /lease the property predicated on the approval of the zoning request? Yes No

Disclosure of interest form attached? Yes No

Previous Zoning Hearings on the Property:

<u>Year</u>	<u>Applicant</u>	<u>Request</u>	<u>Board</u>	<u>Decision</u>
1950	Sophia Smith	- Zone change from RU-1B to BU-1A, RU-3.	BCC	Approved with Condition(s)
1950	Ida Jordan	- Zone change from RU-1B to BU-1A.	BCC	Approved
1950	Coman Leonard Jr.	- Zone change from RU-1B to AU. - Special permit for Nursery.	BCC	Recommended for Approval
1951	Coman Leonard Jr.	- Zone change from RU-1B to AU. - Special permit for Nursery.	BCC	Approved
1957	Miami Country Day and Resident School	- Zone change from GU, BU-2, RU-1 to RU-1 and BU-1A. - Special permit to permit expansion of school.	BCC	Approved with Condition(s)
1957	Sophis Smith	- Special permit to permit a Masonic Hall. - Modification of condition of Resolution.	BCC	Approved with Condition(s)
1963	Stanley & Maggie Hiers	- Unusual Use non commercial parking. - Variance of setback.	ZAB	Approved
1963	L.B. Sommers-Miami Country Day and Resident School	- Special Exception expansion of non-conforming day and residential school.	ZAB	Approved with Condition(s)

1970	Joseph B. Cofer	<ul style="list-style-type: none"> - Unusual Use and Special Exception to permit expansion of non-commercial parking. - Use Variance and Special Exception to permit expansion of funeral homes. 	ZAB	Approved with Condition(s)
1971	Village Lodge #315 F & A.M.	<ul style="list-style-type: none"> - Special Exception of Zoning Regulations. - Variance of lot frontage. - Use Variance for drives. 	BCC	Appeal Denied, Application Approved
1971	Village Lodge #315 F & A.M.	<ul style="list-style-type: none"> - Special Exception of Zoning Regulations. - Variance of lot frontage. - Use Variance for drives. 	ZAB	Approved with Condition(s)
1973	Directors, Building & Zoning planning Departments.	<ul style="list-style-type: none"> - Zone change from BU-1A and BU-2 to BU-1. 	BCC	Approved
1973	Directors, Dade-County Building & Zoning planning Departments.	<ul style="list-style-type: none"> - Zone change from GU to RU-1. 	BCC	Approved with Condition(s)
1973	Directors, Building & Zoning planning Departments.	<ul style="list-style-type: none"> - Zone change from RU-3 to RU-1. 	BCC	Approved
1982	Miami Country Day School Inc.	<ul style="list-style-type: none"> - Special Exception to permit expansion of a private school. - Non-Use Variances of Zoning Regulations. 	ZAB	Approved with Condition(s)
1983	Miami Country Day School	<ul style="list-style-type: none"> - Special Exception to permit expansion of a private school. - Non-Use Variances of Zoning Regulations and of Student Count. - Modification of Resolution. 	ZAB	Approved with Condition(s)
1990	Miami Country Day School Inc.	<ul style="list-style-type: none"> - Special Exception expansion of school. - Non-Use Variances of setback and of parking. - Modification of Resolution. 	ZAB	Approved with Condition(s)
1996	Spectrum Programs	<ul style="list-style-type: none"> - Non-Use Variances for zoning regulations, lot frontage and parking. 	ZAB	Approved with Condition(s)

1998	Miami Country Day School	<ul style="list-style-type: none"> - Special Exception to expand school. - Non-Use Variances of setback and Zoning Regulations. - Modification of Resolution. 	C07	Approved with Condition(s)
2003	Miami Country Day School Inc.	<ul style="list-style-type: none"> - Modification of Resolution. 	C08	Approved with Condition(s)
2009	Miami Country Day School Inc.	<ul style="list-style-type: none"> - Modification of Resolution. - Non-Use Variances of setback, signage and zoning regulations. 	C08	Approved with Condition(s)
2014	Miami Country Day School, Inc.	<ul style="list-style-type: none"> - Modification of Resolution. - Special Exception to expand private school to expand onto additional property. - Non-Use Variance's of setback, building height, spacing, outdoor recreation area, parking and signage. 	C08	Approved with Condition(s)

Action taken today does not constitute a final development order, and one or more concurrency determinations will subsequently be required. Provisional determinations or listings of needed facilities made in association with this Initial Development Order shall not be binding with regard to future decisions to approve or deny an Intermediate or Final Development Order on any grounds.

Memorandum



Date: June 22, 2015

To: Jack Osterholt, Deputy Mayor/Director
Department of Regulatory and Economic Resources

From: Jose Gonzalez, P.E.
Department of Regulatory and Economic Resources

Subject: C-08 #Z2014000072-2nd Revision
Miami Country Day School, Inc., a Florida non-profit corporation
11031 NE 6th Avenue
Modification of a previous Resolution to permit a private school to
expand onto additional property to the North.
(BU-1) (18.39 Acres)
31-52-42

A handwritten signature in black ink, appearing to read "Jose Gonzalez", written in a cursive style.

The subject application has been reviewed by the Department of Regulatory and Economic Resources – Division of Environmental Resources Management (DERM) for compliance with the requirements of Chapter 24 of the Miami-Dade County Code (the Code) and meets the minimum requirements of the Code. Accordingly, the application may be scheduled for public hearing.

Potable Water Service and Wastewater Disposal

Public water and public sanitary sewers can be made available to the subject property. Therefore, connection of the proposed development to the public water supply system and sanitary sewer system shall be required in accordance with Code requirements.

Existing public water and sewer facilities and services meet the Level of Service (LOS) standards set forth in the Comprehensive Development Master Plan (CDMP). Furthermore, the proposed development order, if approved, will not result in a reduction in the LOS standards subject to compliance with the conditions required by DERM for this proposed development order.

Notwithstanding the foregoing, and in light of the fact that the County's sanitary sewer system has limited sewer collection, transmission, and treatment capacity, no new sewer service connections can be permitted, unless there is adequate capacity to handle the additional flows that this project would generate. Consequently, final development orders for this site may not be granted if adequate capacity in the system is not available at the point in time when the project will be contributing sewage to the system. Lack of adequate capacity in the system may require the approval of alternate means of sewage disposal. Use of an alternate means of sewage disposal may only be granted in accordance with Code requirements, and shall be an interim measure, with connection to the public sanitary sewer system required upon availability of adequate collection/transmission and treatment capacity.

Stormwater Management

The proposed change will not affect the existing stormwater management system.

Pollution Remediation

The subject site has records of current contamination issues under DERM UT-2561 and UT-2996. The site has petroleum contaminated sites currently in a state administered cleanup program. There are no records of current contaminated sites abutting the subject site.

Tree Preservation

According to the landscape plans submitted with this zoning application, tree resources will not be impacted within the parcel with folio 30-2230-001-0460. Please be advised that the site contains specimen-sized (trunk diameter 18 inches or greater) trees. Section 24-49.2(II) of the Code requires that specimen trees be preserved whenever reasonably possible. A Miami-Dade County Tree Removal/Relocation Permit is required prior to the removal and/or relocation of any tree that is subject to the Tree Preservation and Protection provisions of the Code. Said Tree Removal Permit shall meet the requirements of Sections 24-49.2 and 24-49.4 of the Code.

The site also contains prohibited trees as defined in Section 24-49.9 of the Code. Pursuant to Section 24-49.9 of the Code, all prohibited plant species shall be removed from the property prior to development or redevelopment, and their sale, propagation, planting, importation or transportation is prohibited. In accordance with the previously aforementioned code section, developed sites shall be maintained to prevent the growth or accumulation of prohibited species including grass, weeds and non-native undergrowth.

The applicant is required to comply with the above tree permitting requirements. DERM's approval of the subject application is contingent upon inclusion of said tree permitting requirements in the resolution approving this application.

The applicant is advised to contact the Tree Permitting Program at (305) 372-6574 for additional information regarding tree permitting procedures and requirements prior to site development.

Enforcement History

There are no open and one (1) closed enforcement records for violations of Chapter 24 of the Code for the subject property. Please contact the Enforcement Section if you require additional information.

Concurrency Review Summary

A concurrency review has been conducted for this application and has determined that the same meets all applicable LOS standards for an initial development order, as specified in the adopted CDMP for potable water supply, wastewater disposal, and flood protection. Therefore, the application has been approved for concurrency subject to the comments and conditions contained herein.

This concurrency approval does not constitute a final concurrency statement and is valid only for this initial development order, as provided for in the adopted methodology for concurrency review. Additionally, this approval does not constitute any assurance that the LOS standards would be met by any subsequent development order applications concerning the subject property.

This memorandum shall constitute written approval as required by Chapter 24 of the Code.

If you have any questions concerning the comments or wish to discuss this matter further, please contact Christine Velazquez at (305) 372-6764.

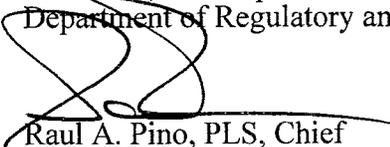
cc: Nathan Kogon, Department of Regulatory and Economic Resources

Memorandum



Date: June 18, 2015

To: Eric Silva, Development Coordinator
Department of Regulatory and Economic Resources

From: 
Raul A. Pino, PLS, Chief
Platting and Traffic Review Section
Department of Regulatory and Economic Resources

Subject: Z2014000072
Name: Miami Country Day School
Location: Lying East of NE 6 Avenue Between NE 107 Street & NE 111 Street
Section 31 Township 52 South Range 42 East

The Department of Regulatory and Economic Resources Platting and Traffic Review Section has reviewed the subject application and has no objections.

Miami-Dade County Public Works and Waste Management Department (PWWM) recommends approval of this application provided the project conditions, as indicated below, are adequately adhered to and implemented in the field. Failure to accept by and implement the project conditions will result in a withdrawal of the project approval and be substituted by a recommendation of denial. Additionally, failure to comply with the project conditions may result in enforcement action by governing authorities.

Project Conditions:

Operational Conditions:

The school shall operate as per all sections of the Traffic Operation Plan, dated 6/16/2015, submitted under this zoning hearing.

Offsite Infrastructure Conditions:

1. The applicant will be required to modify the existing school speed zone, as per the governing standards, for any future uncontrolled school crossings that provide direct access to the school's property, or for any remote school crossings serving the school site that has been warranted as per FDOT Topic No. 750-010-027-h, Section 2. "School Zone Speed Regulations." Additionally, the school will be required to conduct and submit the traffic studies stated in FDOT Topic No. 750-010-027-h, Section 2. "School Zone Speed Regulations," following a request by PWWM. PWWM may request the traffic studies for a time period beginning with the school's opening until two years after the school operates with at least 90% student enrollment capacity. Failure to provide traffic studies and/or school speed zone once the need has been determined by PWWM will be considered a violation of resolution and should prohibit the school from obtaining a future Certificate of Use.

2. The existing posted time intervals for the school speed zone are required to be modified for the new schedule, if applicable.

Standard Conditions:

1. Public sidewalks are required to extend across all school driveways around the site. This will include pedestrian (ADA) ramps where applicable. All pedestrian crosswalks around the school must have emphasis markings.
2. Safe sight distance clearance is required at all driveways; therefore, all tree placements in sight triangles shall meet or exceed FDOT Index 546. No tree foliage or branches shall descend below 7 feet within the public right-of-way. No trees shall remain or be planted in any clear zones.
3. Plans submitted for Permit shall conform to MUTCD, PWWM and other appropriate standards for engineering design in the public right-of-way. Existing and proposed striping, signs, and lane widths must be shown on these plans for all adjacent roadways. Also, plans must indicate any existing or proposed private driveways across the streets adjacent to the school site.
4. All roadway improvements including, but not limited to, traffic signs, markings and signals shall be installed by the applicant adjacent to, or nearby, this facility to ameliorate any adverse vehicular impacts caused by the traffic attracted to this facility. Also, traffic control devices, e.g., crosswalks, may be required at locations remote from this site along safe routes to school to provide for pedestrian student safety. These requirements may be determined at the time of Dry Run submittal of Paving and Drainage Plans.

PWWM reserves the right to add or modify requirements based upon any additional information that may be received during this review process.

This land requires platting in accordance with Chapter 28 of the Miami-Dade County Code. Any right-of-way dedications and/or improvements required will be accomplished thru the recording of a plat.

This project meets the traffic concurrency criteria because it lies within the urban infill area where traffic concurrency does not apply.

Memorandum



Date: July 9, 2015

To: Nathan Kogon, Assistant Director
Regulatory and Economic Resources Department

From: 
Paul Mauriello, Deputy Director, Waste Operations
Public Works and Waste Management Department

Subject: Miami Country Day School (DIC #14_072)

The Public Works and Waste Management Department (PWWM) has no objections to the proposed application.

Miami Country Day School requests a modification of Resolutions CZAB8-9-14 and 5ZAB-103-96 and a special exception to permit the expansion of the school. The applicant also seeks approval of revised site plans and a revised traffic study. Expansion of the existing school on the property meets the County Code definition of a commercial establishment. Per the Code, the following is required of commercial establishments located in unincorporated Miami-Dade County:

"Every commercial and multi-family residential establishment shall utilize the solid waste collection services of either the proper governmental agency able to provide such services, or that of a licensed solid waste hauler authorized to perform such services by the Director of the Department." Therefore, the landlord or property owner is required to contact a private hauler to provide waste and recycling collection service.

Section 15-2.3a of the Code requires commercial establishments to provide for a recycling program, which shall be serviced by a permitted hauler or the appropriate governmental agency. The recycling program for commercial establishments must include a minimum of three (3) materials chosen from the following:

- | | |
|----------------------------------|--|
| 1) High grade office paper | 6) Steel (cans, scrap) |
| 2) Mixed paper | 7) other metals/scrap production materials |
| 3) Corrugated cardboard | 8) Plastics (PETE, HDPE-natural, HDPE-colored) |
| 4) Glass (flint, emerald, amber) | 9) Textiles |
| 5) Aluminum (cans, scrap) | 10) Wood |

Section 15-2.3 of the Code states the failure of a commercial establishment to provide a recycling program or a modified recycling program pursuant to Section 15-2.4 hereof shall constitute a violation of this section for which the property owner and the owner(s) and operator(s) of the commercial establishment shall be jointly and severally liable.

Section 15-4 of the Code requires that plans for storage and collection of solid waste be adequate before a building permit may be issued. Site plans must address location, accessibility, number and adequacy of solid waste collection and storage facilities. The site plan legend must contain the following statement: "Facilities for the collection and storage of solid waste are shown in accordance with Section 15-4 of the Miami-Dade County Code."

It is required that development plans associated with this project incorporate at least one of the following traffic circulation criteria to minimize the reversing of waste vehicles and hence, provide for the safe circulation of service vehicles:

- a. Cul-de-sac with a minimum 49 foot turning radius (no "dead-ends")
- b. "T" shaped turnaround 60 feet long by 10 feet wide
- c. Paved throughway of adequate width (minimum 15 feet)

In addition, any and all alleyways designed with utilities, including waste collection, provided at the rear of the property should be planned in accordance with standard street specifications with sufficient width and turning radii to permit large vehicle access. Additionally, there should be no "dead-end" alleyways developed. Also, a sufficient waste set-out zone should be preserved (between the edge of the pavement and any possible obstructions such as parked cars, fencing, etc.,) that would interrupt or preclude waste collection.

If you should have any questions, please do not hesitate to contact Stacey McDuffie, Manager, Intergovernmental and External Affairs, at 305-375-1354.

Memorandum



Date: June 30, 2015

To: Jack Osterholt, Deputy Mayor
Director, Regulatory and Economic Resources Department

From: Maria I. Nardi, Chief *M.I.*
Planning and Research Division
Parks, Recreation and Open Spaces Department

Subject: Z2014000072: MIAMI COUNTRY DAY SCHOOL, INC.
Revised Plans Submitted Dated Stamped Received Through 6/22/2015

Application Name: MIAMI COUNTRY DAY SCHOOL, INC.

Project Location: The site is located in that area LYING EAST OF NE 6 AVENUE, BETWEEN N.E. 107 STREET & N.E. 111 STREET, AKA 601 NE 107 ST, 10725, 10901, 10931, 11001, 11031 N.E. 6 AVENUE, Miami-Dade County.

Proposed Development: The request is for modification of a previous resolution for expansion of a day school.

Impact and demand: This application does not generate any additional residential population, and therefore the CDMP Open Space Spatial Standards do not apply.

Recommendation: PROS has no pertinent comments for this application concerning impact or demand on existing County parks, proposed or budgeted service expansion, nor do we perform a concurrency review. Based on our findings described herein **PROS HAS NO OBJECTION TO THIS APPLICATION.**

If you need additional information or clarification on this matter, please contact John Bowers at (305) 755-5447.

MN:jb

Cc: John M. Bowers, Parks Planning Section Supervisor

Furney, Susan (RER)

From: Castillo, Guillermo (MDFR)
Sent: Wednesday, February 25, 2015 2:12 PM
To: Henderson, Cassandra (RER)
Cc: Furney, Susan (RER); Connally, Ronald (RER); Gutierrez, Franklin (RER); Heredia, Carlos (MDFR)
Subject: Zoning Hearings Distribution of Revision (Case #Z2014000072)

The Miami-Dade Fire Rescue Department has reviewed the subject application and has the following comments:

- No objections to the site plan with a December 16, 2014 RER received date.

Thank you,

Guillermo E. Castillo, Principal Planner
Planning Section
Miami Dade Fire Rescue Department
9300 NW 41 St., Miami - FL 33178
786-331-4545 Direct Phone
786-331-4540 Main Phone
786-331-5259 Fax Number
Castilo@miamidade.gov
www.miamidade.gov
"Delivering Excellence Every Day"

**Child Care Check List for
Day Nursery, Day Care Center, Kindergarten and Private School**

School Name: Miami Country Day School

School Address: 601 NE 107 Street, Miami FL 33161 Tax Folio # 30 - _____

1. Is this an expansion to an existing school Yes No If yes, indicated the number of students: 980 and age and grade ranges originally approved: Kindergarten-12th Gr.
2. Total size of site: _____ x _____ = 799,653 sf + 43,560 sq. ft. = 18.36 acres
3. Number of children or students requested: 1,250 Ages: Pre-K - 12th Grade
4. Number of teachers: 110 Number of administrative & clerical personnel: 50
5. Number of classrooms: 97 Total square footage of classroom area: 96,000 sf
6. Total square footage of non-classroom area (offices, bathrooms, kitchens, closets):
238,581 sf (Building area only, not including covered walkways.)
7. Amount of outdoor recreation/play area in square footage: 320,634 sf

NOTE: Location requirement for outdoor recreation/play areas must conform to §33-151.18(j)

8. Number & type of vehicle(s) that will be used in conjunction with the operation of the facility:
3 Buses, 2 Vans, 1 Truck and 1 Station Wagon
9. Number of parking spaces provided for staff, visitors and transportation vehicles: parking spaces provided 537 parking spaces required by §33-124(L) 479 (per approved variance)
10. Indicate the number of auto stacking spaces: 5 provided 5 required.
Off-site: 78
On-site: 40
11. Proposed height for the structure(s): 35'-0" See §33-151.18(g).
12. Size of identification sign: _____ x _____ = _____ sq. ft. See §33-151.18(c).
Signage will require a separate permit. Contact the Permit Section at (786) 315-2100.
* No additional sign is required, beyond individual building signs on elevations.
13. Days and hours of operation: M-F 8:00 A.M. to 5:30 P.M.
14. Does the subject facility share the site with other facilities? Yes No. (If yes, the space which will be used solely for the school facility during the hours of operation must be indicated on the plans, pursuant to §33-151.16).
15. If the school will include residential uses, do such uses meet the standards provided in §33-151.17? Yes No (If yes, describe the residential uses and indicate same on the plans).



PHYSICAL STANDARDS: OUTDOOR RECREATION SPACE AND CLASSROOM SPACE MUST BE CALCULATED IN TERMS OF THE MAXIMUM NUMBER OF CHILDREN IN ATTENDANCE AT ANY ONE TIME.

The following information will determine the maximum number of children permitted at the facility. WHEN GRADE LEVELS OVERLAP, THE MORE RESTRICTIVE SHALL BE USED.

CLASSROOM SPACE: Calculated by grade levels.

- a. Day Nursery/Kindergarten, preschool and after-school care

35 sq. ft. x 135 (number of children) = 4,725 sq. ft. of classroom area required.

- b. Elementary Grades 1-6

30 sq. ft. x 475 (number of children) = 14,250 sq. ft. of classroom area required.

- c. Junior High and Senior High Schools (Grades 7-12)

25 sq. ft. x 640 (number of children) = 16,000 sq. ft. of classroom area required.

TOTAL SQUARE FOOTAGE OF CLASSROOM AREA REQUIRED: 34,975 sf.
TOTAL SQUARE FOOTAGE OF CLASSROOM AREA PROVIDED: 96,000 sf.

OUTDOOR RECREATION SPACE:

- a. Day nursery/kindergarten, preschool and after school care

45 sq. ft. x 68 (1/2 of children) = 3,038 sf

- b. Grades 1-6 500 sq. ft. x 30 (first 30 children) = 15,000 sf

300 sq. ft. x 445 (remaining children) = 133,500 sf

- c. Grades 7-12 800 sq. ft. x 30 (first 30 children) = 24,000 sf

300 sq. ft. x 300 (next 300 children) = 90,000 sf

150 sq. ft. x 310 (remaining children) = 46,500 sf

TOTAL SQUARE FOOTAGE OF OUTDOOR RECREATION SPACE REQUIRED: 312,038.
TOTAL SQUARE FOOTAGE OF OUTDOOR RECREATION SPACE PROVIDED: 320,634.

TREES: See §33-151.18(g), and the Planning Division (12th Floor) for additional requirements.

- a. 28 trees are required per net acre. Trees required: 514 Trees provided: 514.

- b. Ten shrubs are required for each tree required. Shrubs required 5,140 Shrubs provided 5,140

- c. Grass area for organized sports/play area in square feet: 123,850 sf.

- d. Lawn area in square feet (exclusive of organized sports/play area): 57,763 sf.



School Address: 601 NE 107 Street, Miami, FL Zip Code: 33161

THE INFORMATION ABOVE IS COMPLETE AND IS CORRECT TO THE BEST OF MY KNOWLEDGE.

Signed, sealed, executed and acknowledged on this 30 day of Sept. 2014 at Miami-Dade County, Florida.

Jerry B. Proctor
Signature

WITNESSES:

Ibis Diaz

STATE OF FLORIDA
COUNTY OF MIAMI-DADE

Ibis Diaz
Notary - State of Florida

I hereby certify that on this 30 day of September, 2014, before me personally appeared Jerry B. Proctor, to me known to be the person described in and who executed the foregoing instrument and he/she acknowledged to me the execution thereof to be his/her free act for the uses and purposes therein mentioned.

MY COMMISSION EXPIRES:



IBIS DIAZ
MY COMMISSION # FF 111262
EXPIRES: May 24, 2018
Bonded Thru Budget Notary Services



Building and Neighborhood Compliance

ENFORCEMENT HISTORY

MIAMI COUNTRY DAY SCHOOL, INC

LYING EAST OF NE 6 AVENUE , BETWEEN NE 107 STREET & NE 111 STREET, AKA 601 NE 107 ST, 10725, 10901, 10931, 11001, 11031 NE 6 AVENUE MIAMI-DADE COUNTY, FLORIDA

APPLICANT

ADDRESS

JULY 30, 2015

Z2014000072

DATE

HEARING NUMBER

REVIEW DATE OF CURRENT ENFORCEMENT HISTORY:

JULY 7, 2015

Folio Numbers: 30-2231-024-0050, 30-2230-001-0410, and 30-2231-028-0010

Neighborhood Regulations:

THERE ARE NO CURRENT OPEN OR CLOSED CASES

BUILDING SUPPORT REGULATIONS:

FOLIO NUMBER: 3022310240050

Building Support Case #F2014115480-U opened on 9/4/14. Case remains open under review.

FOLIO NUMBER: 3022300010410

No Building Support Cases Open/Closed.

FOLIO NUMBER: 3022310280010

No Building Support Cases Open/Closed

VIOLATOR:

MIAMI COUNTRY DAY SCHOOL, INC

OUTSTANDING LIENS AND FINES:

As of July 7, 2015, There are no Outstanding Liens, Fines, or Fees for the Office of Neighborhood Compliance.
As of July 7, 2015, Building Support/Unsafe Structure Case #F2014115480-U [Folio: 30-2231-024-0050] has a pending Processing Fee of \$375.00 and an Enforcement Cost of \$5.72.



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214-072
OCT 02 2014
MIAMI-DADE COUNTY
DEPARTMENT OF REGULATORY AND ECONOMIC
RESOURCES DEVELOPMENT SERVICES
By: *[Signature]*



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204-012
OCT 02 2014
MIAMI-DADE COUNTY
DEPARTMENT OF REGULATORY AND ECONOMIC
RESOURCES
SPECIAL DELIVERY SERVICES
By *SA*



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MIAMI-DADE COUNTY
DEPARTMENT OF REGULATORY AND ECONOMIC
RESOURCES DEVELOPMENT SERVICES
By *[Signature]*



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MIAMI-DADE COUNTY
DEPARTMENT OF REGULATORY AND ECONOMIC
RESOURCES DEVELOPMENT SERVICES
By: *[Signature]*





DISCLOSURE OF INTEREST*

If a **CORPORATION** owns or leases the subject property, list principal stockholders and percent of stock owned by each. [Note: Where principal officers or stockholders consist of other corporation(s), trust(s), partnership(s) or similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

CORPORATION NAME: MIAMI COUNTRY DAY SCHOOL, INC., a Florida non-profit corporation

NAME AND ADDRESS Percentage of Stock

BELLOWS, CHRISTOPHER, PRESIDENT
601 NE 107 ST
MIAMI FL 33161

N/A*

PREMER, HOWARD, VICE PRESIDENT
601 NE 107 ST
MIAMI FL 33161

MOORE, JAMES, VICE PRESIDENT
5905 NORTH BAY ROAD
MIAMI BEACH FL 33140

LAZENBY, MATTHEW, SECRETARY
531 W 51ST STREET
MIAMI BEACH, FL 33140

FARREY, JOHN F, TREASURER
1315 BAY TERR
N BAY VILLAGE FL 33141

BUTTS, GARY CHIEF OPERATING OFFICER
601 NE 107 ST
MIAMI FL 33161



*A Florida non-profit; no percentage of interest required

If a **TRUST** or **ESTATE** owns or leases the subject property, list the trust beneficiaries and percent of interest held by each. [Note: Where beneficiaries are other than natural persons, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

TRUST/ESTATE NAME: Not applicable.

NAME AND ADDRESS Percentage of Stock

If a **PARTNERSHIP** owns or leases the subject property, list the principals including general and limited partners. [Note: Where partner(s) consist of other partnership(s), corporation(s), trust(s) or similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interests].

PARTNERSHIP OR LIMITED PARTNERSHIP NAME: Not applicable.

NAME AND ADDRESS Percentage of Stock

If there is a **CONTRACT FOR PURCHASE** by a Corporation, Trust or Partnership, list purchasers below, including principal officers, stockholders, beneficiaries or partners. [Note: Where principal officers, stockholders, beneficiaries or partners consist of other corporations, trusts, partnerships or similar entities, further disclosure shall be made to identify natural persons having ultimate ownership interests].

NAME OF PURCHASER: Not applicable.

NAME, ADDRESS AND OFFICE (if applicable) _____ Percentage of Stock _____

Date of contract: _____

If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership or trust:

NOTICE: For changes of ownership or changes in purchase contracts after the date of the application, but prior to the date of final public hearing, a supplemental disclosure of interest is required.



EXECUTION PAGE TO FOLLOW

The above is a full disclosure of all parties of interest in this application to the best of my knowledge and belief.

MIAMI COUNTRY DAY SCHOOL, INC.,
a Florida non-profit corporation

BY: [Signature]
Christopher Belows, President

Sworn to and subscribed before me this 17 day of June, 2014. Affiant is personally
known to me or has produced as identification.

[Signature]
(Notary Public)



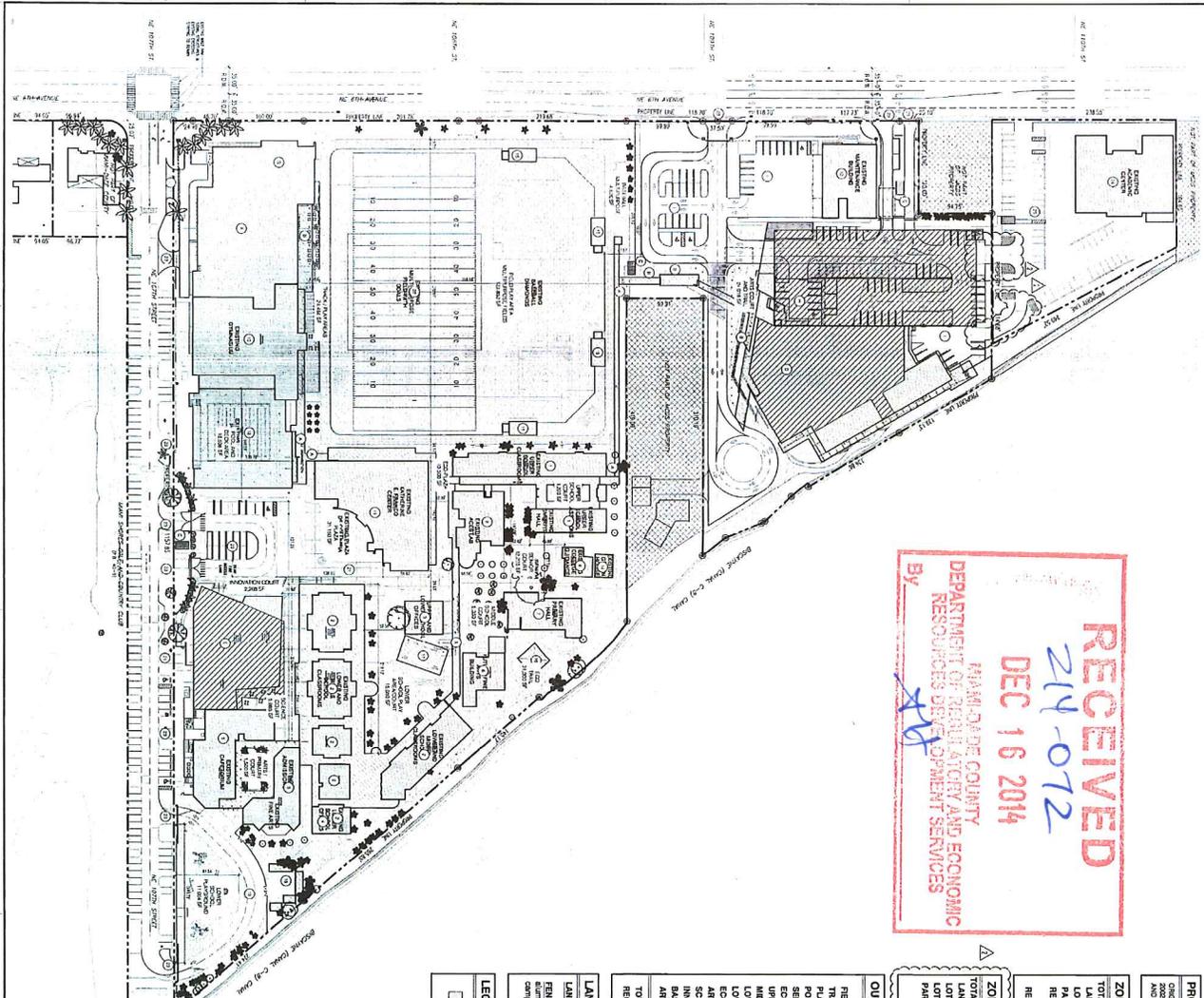
My commission expires _____

* Disclosure shall not be required of: 1) any entity, the equity interests in which are regularly traded on an established securities market in the United States or another country; or 2) pension funds or pension trusts of more than five thousand (5,000) ownership interests; or 3) any entity where ownership interests are held in a partnership, corporation or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership and where no one (1) person or entity holds more than a total of five per cent (5%) of the ownership interest in the partnership, corporation or trust. Entities whose ownership interests are held in a partnership, corporation, or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership, shall only be required to disclose those ownership interest which exceed five (5) percent of the ownership interest in the partnership, corporation or trust.

MIAMI 3603289.1 76946/36987



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 DEC 16 2014
 MIAMI DADE COUNTY
 DEPARTMENT OF HEALTH AND ECONOMIC
 RESOURCES DEVELOPMENT SERVICES
 By *AB*



PROJECT INFORMATION
 ORIGINAL MASTER PLAN PREPARED BY HAN YOUNG STUDIO ARCHITECT INC. (001) 784-4300
 AND IS TO BE MODIFIED AS SHOWN BY THIS SUBMISSION BY ZYSCOVICH ARCHITECTS, INC. (001) 351-2014

ZONING ANALYSIS
 TOTAL LAND AREA 18.14 ACRES
 LAND AREA 760,315 S.F.
 LOT COVERING AREA 440,000 S.F.
 LOT COVERING AREA / LOT COVERING PERCENTAGE (57.9%)
 PARKING AREA 32,000 S.F.
 RECREATION AREA 312,000 S.F.

OUTDOOR RECREATION / PLAYGROUND/PLAY AREAS
 FIELD AREA 192,000 S.F.
 TRACK & PLAY AREA 24,468 S.F.
 PLAZA 31,150 S.F.
 POOL 16,800 S.F.
 SENIOR COURT 12,232 S.F.
 UPPER SCHOOL COURT 5,500 S.F.
 MIDDLE SCHOOL COURT 11,000 S.F.
 LOWER SCHOOL COURT 5,500 S.F.
 LOWER SCHOOL PLAYGROUND 11,000 S.F.
 ARTS COURT & TRAIL 2,000 S.F.
 SCIENCE COURT 4,500 S.F.
 INNOVATION COURT 2,200 S.F.
 BASEBALL MULTI-USE POSE ARTS / FRISBEE COURT 1,500 S.F.
 TOTAL RECREATION AREA PROVIDED 320,000 S.F.
 RECREATION AREA REQUIRED 312,000 S.F.

LANDSCAPE BUFFER & FENCING NOTES
 LANDSCAPE BUFFER: See Landscape Buffer Site Plan.
 FENCING: Perimeter campus fencing is retained to continue the decorative aesthetic pattern existing at the school. West, north and east sides for the campus (6' x 10' high) with decorative masonry panels to remain. Entrance

LEGEND
 RECREATION AREA

EXISTING FACILITIES

EXISTING FACILITIES	EXISTING LOT COVERAGE	EXISTING AREA (SF)
1) UPPER SCHOOL BLDG.	2,000 SF	12,100 SF
2) LOWER SCHOOL BLDG.	15,500 SF	28,834 SF
3) MIDDLE/UPPER SCHOOL OFFICE	801 SF	2,125 SF
4) LOWER SCHOOL OFFICE	3,195 SF	1,025 SF
5) GYMNASIUM	425 SF	2,442 SF
6) PRIMARY LANGUAGE BLDG.	425 SF	4,489 SF
7) PRIMARY TALK BLDG.	97 SF	3,757 SF
8) FISHER SCIENCE BLDG.	1,275 SF	3,189 SF
9) ROSE ATHLETIC CNTR. (GYMNASIUM)	3,732 SF	12,383 SF
10) FRANCO CENTER BLDG.	16,500 SF	6,497 SF
11) AQUATIC CENTER	1,200 SF	697 SF
12) MAINTENANCE BUILDING	2,450 SF	300 SF
13) GREEN HOUSE	800 SF	800 SF
14) FIELD BLDG OUTS.	2,450 SF	2,450 SF
15) GAZON	900 SF	2,000 SF
16) PLATFOM WITH CANOPY	2,000 SF	924 SF
17) COVERED SEATING	924 SF	924 SF
18) LOWER SCHOOL DRIP OFF	1,275 SF	1,275 SF
19) CONC. PARENTS PARKING LOT	1,275 SF	1,275 SF
20) FINE LAKE WITH F-TURN	1,275 SF	1,275 SF
21) ATHLETIC FIELDS	1,275 SF	1,275 SF
22) ENTRY DRIVES	400 SF	12,230 SF
23) EXISTING ACADEMIC CENTER	400 SF	12,230 SF
24) EXISTING NORTH PARKING LOT	400 SF	12,230 SF
25) EXISTING SOUTH PARKING LOT	400 SF	12,230 SF
SUBTOTAL	52,330 SF	108,289 SF
APPROVED FACILITIES	LOT COVERAGE	AREAS (SF)
1) FUTURE COVERED WALKWAY	6,000 SF	6,000 SF
2) FUTURE NEW COVERED WALKWAYS	2,000 SF	2,000 SF
3) FUTURE NEW GUARD HOUSE	616 SF	13,500 SF
4) FUTURE NEW CENTER FOR THE ARTS	300 SF	16,500 SF
5) FUTURE NEW EDUCATION BUILDING	300 SF	16,500 SF
6) FUTURE NEW GYMNASIUM FACILITY	2,500 SF	7,918 SF
7) FUTURE NEW PARKING	300 SF	30,000 SF
8) FUTURE NEW ASPHALT PARKING AREA	300 SF	30,000 SF
9) SERVICE ENTRANCE	300 SF	30,000 SF
SUBTOTAL	17,700 SF	63,000 SF
LOT COVERAGE	LOT COVERAGE	AREAS (SF)
EXISTING	EXISTING	EXISTING
APPROVED	APPROVED	APPROVED
TOTAL	TOTAL	TOTAL
60,030 SF	125,289 SF	171,289 SF
60,030 SF	125,289 SF	171,289 SF
60,030 SF	125,289 SF	171,289 SF

LEGEND

- COVERED BUILDING AREA
- 2 STORY BUILDING AREA
- PROPERTY LINE
- SETBACK LINE

LEGEND

- RECREATION AREA

LEGEND

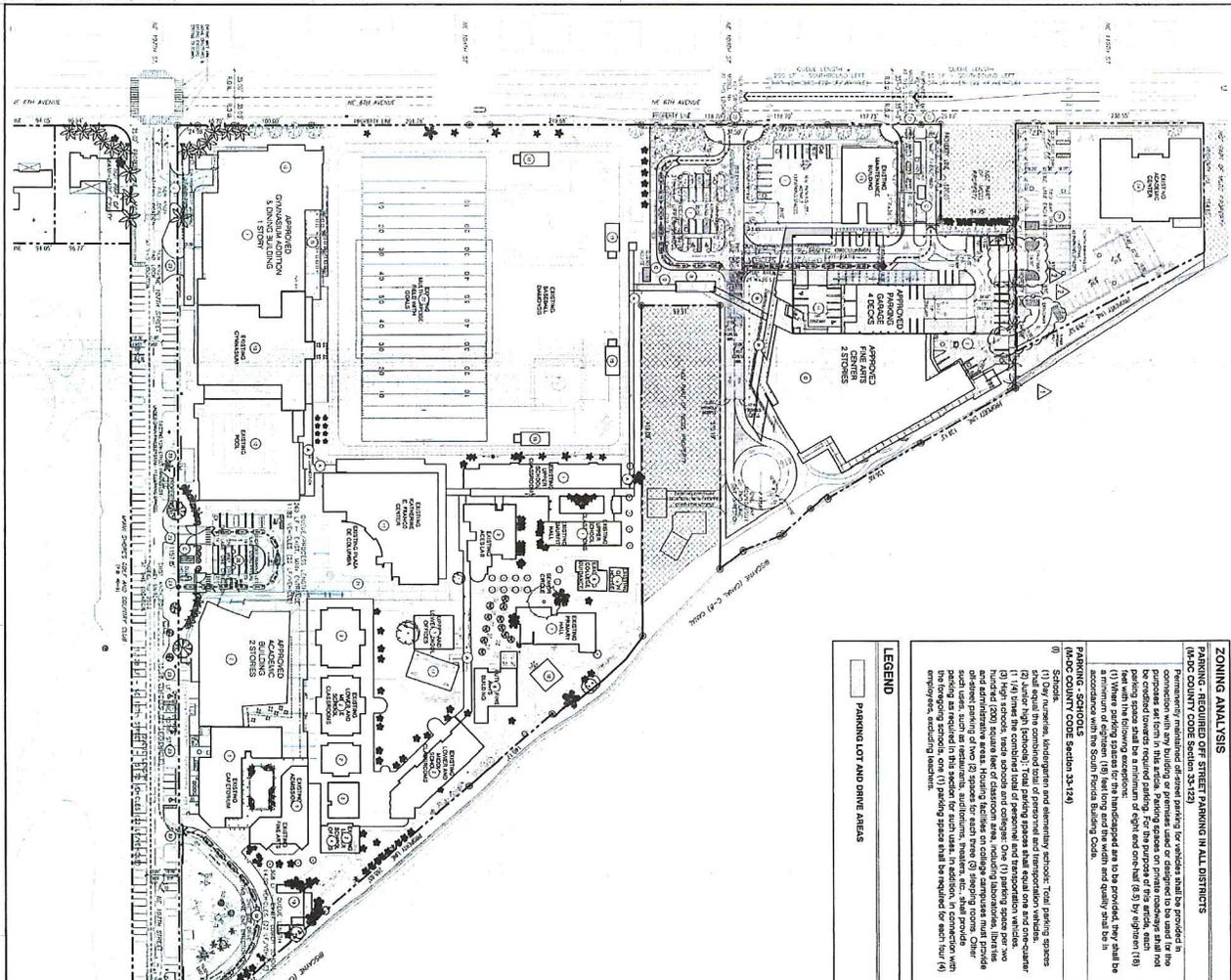
- RECREATION AREA

OVERALL SITE RECREATION PLAN
 Scale: 1"=70'-0"
 214-072
 12/11/14

SITE PLAN MODIFICATION APPROVAL SUBMISSION (JUNE 19, 2014) - REVISION #2 - 12/01/2014

<p>Seal </p>	<p>Architect ZYSCOVICH ARCHITECTS 1001 NE 133rd St., Ft. Lauderdale, FL 33308 Phone: 954.333.1212 Fax: 954.333.1213 www.zyscovich.com</p>	<p>Client Miami Country Day School</p>	<p>Project Site Plan Modification Approval Submission Miami Country Day School 601 NE 107th Street, Miami, FL 33161</p>	<p>Civil Engineers Schreibe-Shakin and Associates, Inc. 2400 NW 12th Street, Suite 201 Fort Lauderdale, FL 33311 Phone: 754.222.2222 Fax: 754.222.2223 www.schreibe-shakin.com</p> <p>Landscape Architecture Curtis + Rogers 300 NE 1st Street, Suite 200 Fort Lauderdale, FL 33301 Phone: 754.434.1234 Fax: 754.434.1235 www.curtisrogers.com</p>
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ZONING ANALYSIS

PARKING - REQUIRED OFF STREET PARKING IN ALL DISTRICTS
 MDC COUNTY CODE SECTION 33-121
 (1) Where parking spaces for the proposed use are to be provided, they shall be in accordance with the South Beach Building Code.

PARKING - SCHOOLS
 MDC COUNTY CODE SECTION 33-124
 (1) Day nurseries, kindergarten and elementary schools: Total parking spaces shall equal the combined total of personnel and transportation vehicles. (2) High schools, trade schools and colleges: One (1) parking space per no. and administrative areas. Housing facilities on college campuses must include off-street parking of two (2) spaces for each three (3) sleeping dorms. Other parking as required in this section for such uses. In addition, in connection with the foregoing schools, one (1) parking space shall be required for each four (4) employees, including teachers.

LEGEND

□ PARKING LOT AND DRIVE AREAS

PROJECT INFORMATION

GENERAL ARCHITECT: MDC COUNTY CODE SECTION 33-121
 ARCHITECT: ZYSCOVICH ARCHITECTS, INC. (007 2014)
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TOTAL PARKING PROVIDED

S.W. ASPHALT PARKING LOT: 2 SPACES
 EXISTING NORTH ASPHALT PARKING LOT: 18 SPACES
 EXISTING SOUTH ASPHALT PARKING LOT: 3 SPACES
 PARKING GARAGE: 300 SPACES
 N.E. ASPHALT PARKING LOT: 9 SPACES
 N.E. NORTH STREET PARKING (PREVIOUSLY APPROVED): 80 SPACES
 N.E. NORTH STREET PARKING (PROPOSED): 35 SPACES
 N.E. NORTH STREET PARKING (PROPOSED): 35 SPACES
 TOTAL PROVIDED: 501 SPACES

TOTAL STACKING PROVIDED

SOILING GARAGE: 308 LF
 LOWER SCHOOL, CIRCLE: 290 LF
 SUB-TOTAL PROVIDED OFF-SITE: 218 SPACES
 N.E. 1ST STREET (EAST): 218 SPACES
 N.E. 1ST STREET (WEST): 336 LF
 SUB-TOTAL PROVIDED OFF-SITE: 1,474 LF
 NORTH GARAGE: 318 LF
 UPPER SCHOOL, DROP OFF (N.W. PARKING LOOP): 182 LF
 UPPER SCHOOL, DROP OFF (GROUND LEVEL GARAGE): 500 LF
 SUB-TOTAL PROVIDED ON-SITE: 227 SPACES
 N.E. 6 AVENUE (SOUTH LEFT TURN): 200 LF
 N.E. 6 AVENUE (SOUTH RIGHT TURN): 220 LF
 SUB-TOTAL PROVIDED OFF-SITE: 114 SPACES

Changes represent the minimum stacking requirement of a reasonable space per Miami Dade County Code Section 33-15.11(6)(1).

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EXISTING FACILITIES

EXISTING FACILITIES	EXISTING LOT COVERAGE	AREAS (SF)
1 UPPER SCHOOL BLDG.	2,596 SF	12,000 SF
2 LOWER/UPPER SCHOOL BLDG.	18,598 SF	28,634 SF
3 MIDDLE/UPPER SCHOOL OFFICE	631 SF	2,123 SF
4 LOWER SCHOOL OFFICE	3,185 SF	2,842 SF
5 GARDNER ACTIVITY CENTER BLDG.	425 SF	2,842 SF
6 PRIMARY HALL BLDG.	97 SF	3,272 SF
7 COLLEGE GUIDANCE BLDG.	1,271 SF	3,189 SF
8 ACADEMIC CENTER	3,272 SF	14,791 SF
9 ACADEMIC CENTER (GYMNASIUM)	1,438 SF	6,407 SF
10 ADVANT CENTER	1,438 SF	6,407 SF
11 MAINTENANCE BUILDING	907 SF	302 SF
12 GREEN HOUSE	2,556 SF	907 SF
13 FIELD OUT OUTS	2,556 SF	302 SF
14 GAZON	2,052 SF	2,052 SF
15 PLATFORM WITH CANOPY	524 SF	524 SF
16 COVERED SEATING	924 SF	924 SF
17 LOWER SCHOOL DROP OFF	4,875 SF	4,875 SF
18 CONC. PAVERS PARKING LOT	1,230 SF	1,230 SF
19 FINE LAINE WITH T-TURN	408 SF	1,230 SF
20 ATHLETIC FIELDS	408 SF	1,230 SF
21 ENTRY DRIVES	408 SF	1,230 SF
22 EXISTING ACADEMIC CENTER	408 SF	1,230 SF
23 EXISTING NORTH PARKING LOT	52,333 SF	108,298 SF
24 EXISTING SOUTH PARKING LOT	52,333 SF	65,233 SF

APPROVED FACILITIES

APPROVED FACILITIES	LOT COVERAGE	AREAS (SF)
1 TITING COVERED WALKWAY	6,031 SF	6,031 SF
2 FUTURE NEW COVERED	2,400 SF	2,400 SF
3 WALKWAYS	528 SF	528 SF
4 FUTURE NEW GUARD HOUSE	3,128 SF	29,230 SF
5 FUTURE NEW CENTER FOR THE ARTS	18,598 SF	18,598 SF
6 FUTURE NEW EDUCATION BUILDING	20,585 SF	20,585 SF
7 FUTURE NEW GYMNASIUM	2,500 SF	7,916 SF
8 FUTURE NEW DINING FACILITY	300 SF	30,000 SF
9 FUTURE NEW PARKING PARKING AREA	300 SF	30,000 SF
10 FUTURE NEW ASPHALT SERVICE ENTRANCE	17,278 SF	107,778 SF
11 SUBTOTAL	107,778 SF	632,000 SF
12 LOT COVERAGE	14 FLOOR COVERED AREAS	14 FLOOR COVERED AREAS
13 TOTAL LOT COVERAGE PROVIDED	61,899 SF	218,077 SF
14 TOTAL LOT COVERAGE ALLOWED	276,610 SF	276,610 SF

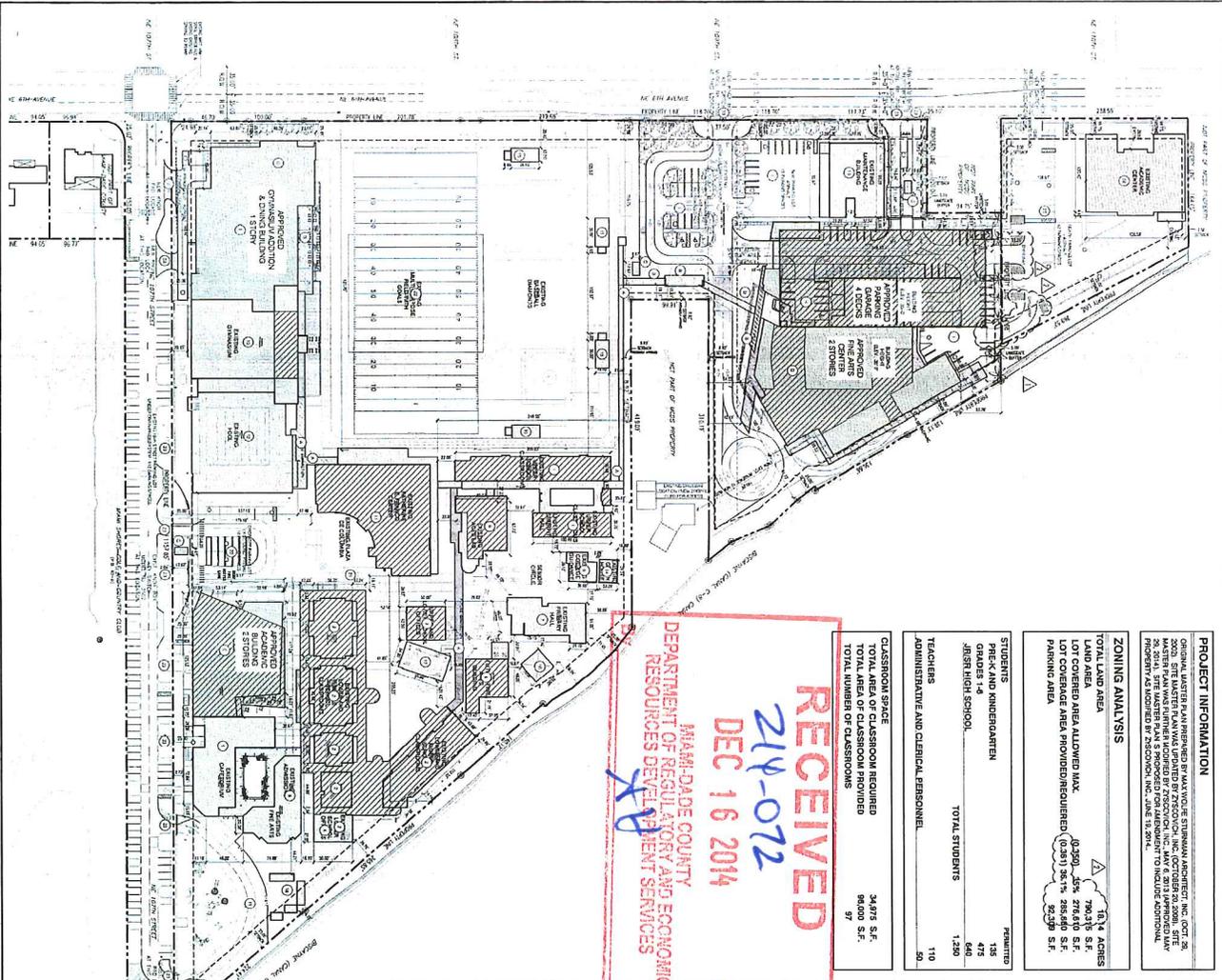
OVERALL SITE PARKING PLAN

Scale: 1"=70'-0"

SITE PLAN MODIFICATION APPROVAL SUBMISSION (JUNE 19, 2014) - REVISION #2 - 12/01/2014

<p>12535MCS 06/19/2014</p> <p>A-1008</p> <p>OVERALL SITE PARKING PLAN</p>	<p>Seal</p> <p>DEC 17 2014</p> <p>Jose L. Murrydo Reg. No. AR0010670</p>	<p>Architect</p> <p>ZYSCOVICH ARCHITECTS</p> <p>100 N. Bayshore Blvd., Suite 1000 Miami, FL 33131 305.372.5222 www.zyscovich.com</p>	<p>Client</p> <p>MIAMI COUNTRY DAY SCHOOL</p>	<p>Project</p> <p>Site Plan Modification Approval Submission</p> <p>Miami Country Day School</p> <p>601 NE 107th Street, Miami, FL 33161</p>	<p>Civil Engineers</p> <p>Schwabko-Shiskin and Associates, Inc.</p> <p>1101 Brickell Avenue, Suite 200 Miami, Florida 33131 305.372.5222</p> <p>Landscapes Architecture</p> <p>Curtis + Rogers</p> <p>1101 Brickell Avenue, Suite 200 Miami, Florida 33131 305.372.5222</p>
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PROJECT INFORMATION

ORIGINAL LAYOUT DRAWING BY: MARY VANCE STEWART ARCHITECT, INC. DATE: 08/11/2014
 MASTER PLAN WAS PREPARED BY ZYSCOVICH ARCHITECTS, INC. DATE: 08/11/2014 APPROVED BY: PROJECT MANAGER: ZYSCOVICH ARCHITECTS, INC. DATE: 12/16/2014

ZONING ANALYSIS

TOTAL LAND AREA: 116.4 ACRES
 LAND AREA: 780,316 S.F.
 LOT COVERAGE AREA PROVIDED/REQUIRED: (0.281) 85% 288,640 S.F.
 PARKING AREA: 2,600 S.F.

STUDENTS

GRADE 1-4: 472
 JHSR HIGH SCHOOL: 664
 TOTAL STUDENTS: 1,136

TEACHERS

ADMINISTRATIVE AND CERCIAL PERSONNEL: 110

CLASSROOM SPACE

TOTAL AREA OF CLASSROOM REQUIRED: 34,975 S.F.
 TOTAL AREA OF CLASSROOM PROVIDED: 86,000 S.F.
 TOTAL NUMBER OF CLASSROOMS: 97

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ZONING ANALYSIS

1. The minimum lot area and dimension of size and setbacks shown by tables in this article shall apply to the districts indicated.

2. The setbacks shown by tables in this article shall apply to the districts indicated.

3. The setbacks shown by tables in this article shall apply to the districts indicated.

SETBACKS (Section 23-50)

Distric	Front ft.	Side ft.	Side ft.	Side ft.
R1-1	25'	5'	5'	5'

LOT COVERAGE (Section 23-49)

Distric	Max. Lot Area	Min. Lot Area	Max. Lot Coverage	Min. Setback
R1-1	5,000 S.F.	500 S.F.	35%	5.00 C.F.

ZONING ANALYSIS

BUILDING HEIGHT - MAXIMUM HEIGHT IN ALL DISTRICTS

MDC COUNTY CODE SECTION 23-52

1. The maximum height of a building shall be limited to the following:

(a) For a building with a height of less than 100 feet, the maximum height shall be limited to 35 feet.

(b) For a building with a height of 100 feet or more, the maximum height shall be limited to 100 feet.

BUILDING HEIGHT REQUIREMENTS

1. Height requirements set forth by Sec. 23-53 of the Miami-Dade County Zoning Code, or of minimum.

2. Existing structures are required to be at or below the maximum height of 35 feet.

3. The maximum height of a building shall be limited to the following:

(a) For a building with a height of less than 100 feet, the maximum height shall be limited to 35 feet.

(b) For a building with a height of 100 feet or more, the maximum height shall be limited to 100 feet.

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(b) For a building with a height of 100 feet or more, the maximum height shall be limited to 100 feet.

EXISTING FACILITIES

Facility	Estimated Lot Coverage	Area (SF)	Floor Area (SF)
UPPER SCHOOL BLDG.	2,000 SF	9,400 SF	12,100 SF
LOWER SCHOOL BLDG.	1,500 SF	17,400 SF	28,800 SF
MIDDLE/UPPER SCHOOL OFFICE	631 SF	5,045 SF	2,125 SF
GARAGE ACTIVITY CHTR. BLDG.	1,166 SF	13,800 SF	2,840 SF
FOREIGN LANGUAGE BLDG.	425 SF	4,400 SF	
PRIMARY LANGUAGE BLDG.			
COLLEGE GUIDANCE BLDG.	97 SF	1,300 SF	
ROSE ATHLETIC CNTR. (GYMNASIUM)	1,278 SF	16,416 SF	3,189 SF
FINANCIO CENTER BLDG.	3,725 SF	14,774 SF	12,383 SF
MAINTENANCE BUILDING	1,200 SF	6,407 SF	
GREEN HOUSE	2,500 SF	697 SF	
FIELD DOME OUTS	800 SF	300 SF	
GAZEBO	2,000 SF	924 SF	
PLATONUM WITH CANOPY			
COVERED SEATING			
LOWER SCHOOL DRPG OFF			
COACH PARENTS PARKING LOT			
PINE LAKE WITH 1-TURN			
ATHLETIC FIELDS			
ENTRY DRIVES			
EXISTING ACADEMIC CENTER	400 SF	12,200 SF	
EXISTING NORTH PARKING LOT			
SUBTOTAL	52,283 SF	108,246 SF	65,220 SF
APPROVED LOT COVERAGE			
LOT COVERAGE	108,246 SF		
LOT COVERAGE	108,246 SF		
LOT COVERAGE	108,246 SF		

APPROVED FACILITIES

Facility	Lot Coverage	Area (SF)	Floor Area (SF)
PUTURE COVERED WALKWAY	6,000 SF		
PUTURE NEW COVERED WALKWAYS	2,000 SF		
PUTURE NEW QUARTER HOUSE	4,166 SF	29,200 SF	13,900 SF
THE ARTS CENTER	300 SF	16,800 SF	18,000 SF
PUTURE NEW EDUCATION BUILDING	2,500 SF	7,915 SF	
PUTURE NEW DINING FACILITY	300 SF	32,000 SF	33,000 SF
PUTURE NEW ASPHALT GARAGE			
PUTURE NEW ASPHALT GARAGE			
PUTURE NEW ASPHALT SERVICE ENTRANCE			
SUBTOTAL	17,271 SF	107,775 SF	65,000 SF
LOT COVERAGE	69,000 SF		
LOT COVERAGE	216,071 SF		
LOT COVERAGE	288,640 SF		
TOTAL LOT COVERAGE PROVIDED			
TOTAL LOT COVERAGE ALLOWED			

LEGEND

- COVERED BUILDING AREA
- 2 STORY BUILDING AREA
- PROPERTY LINE
- SETBACK LINE

LEGEND

- COVERED BUILDING AREA
- 2 STORY BUILDING AREA
- PROPERTY LINE
- SETBACK LINE

LEGEND

- COVERED BUILDING AREA
- 2 STORY BUILDING AREA
- PROPERTY LINE
- SETBACK LINE

LEGEND

- COVERED BUILDING AREA
- 2 STORY BUILDING AREA
- PROPERTY LINE
- SETBACK LINE

LEGEND

- COVERED BUILDING AREA
- 2 STORY BUILDING AREA
- PROPERTY LINE
- SETBACK LINE

LEGEND

- COVERED BUILDING AREA
- 2 STORY BUILDING AREA
- PROPERTY LINE
- SETBACK LINE

LEGEND

- COVERED BUILDING AREA
- 2 STORY BUILDING AREA
- PROPERTY LINE
- SETBACK LINE

SITE PLAN MODIFICATION APPROVAL SUBMISSION (JUNE 10, 2014) - REVISION #2 - 2/10/2014

OVERALL SITE SETBACKS & DIMENSIONS PLAN

A-100A Scale: 1"=70'-0"

ZYSCOVICH ARCHITECTS

Site Plan Modification Approval Submission

Miami Country Day School

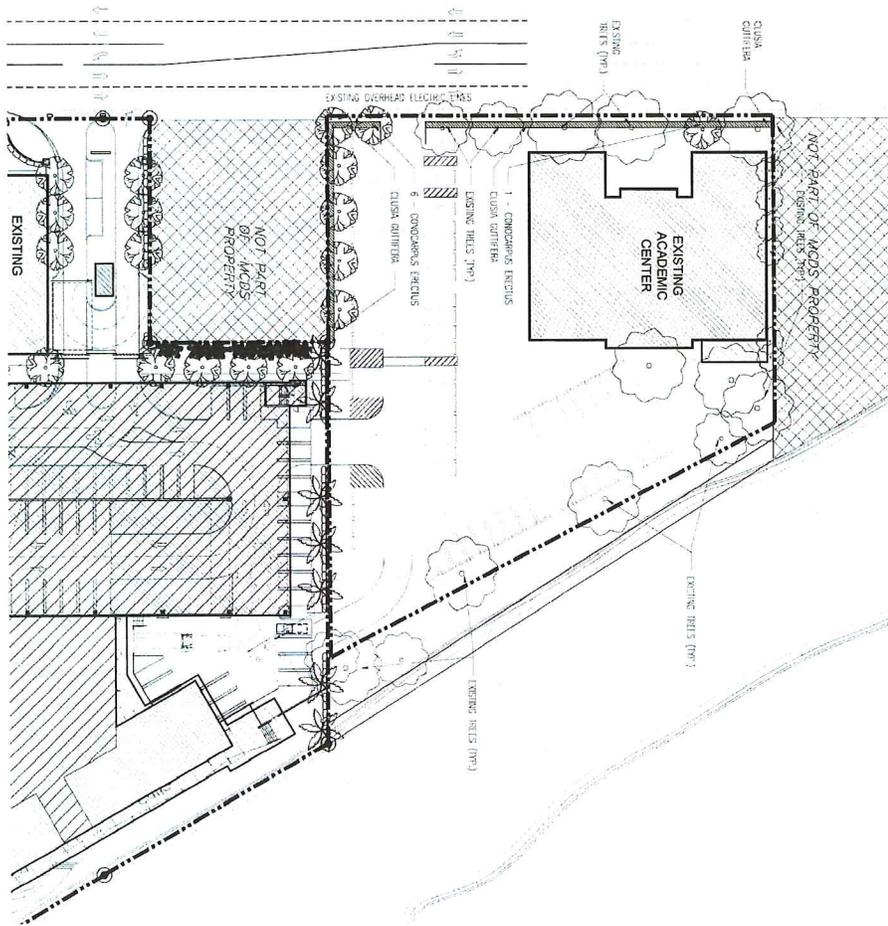
601 NE 107th Street, Miami, FL 33161

Civil Engineers
Schwabe Shickin and Associates, Inc.

Landscape Architecture
Curfs + Rogers

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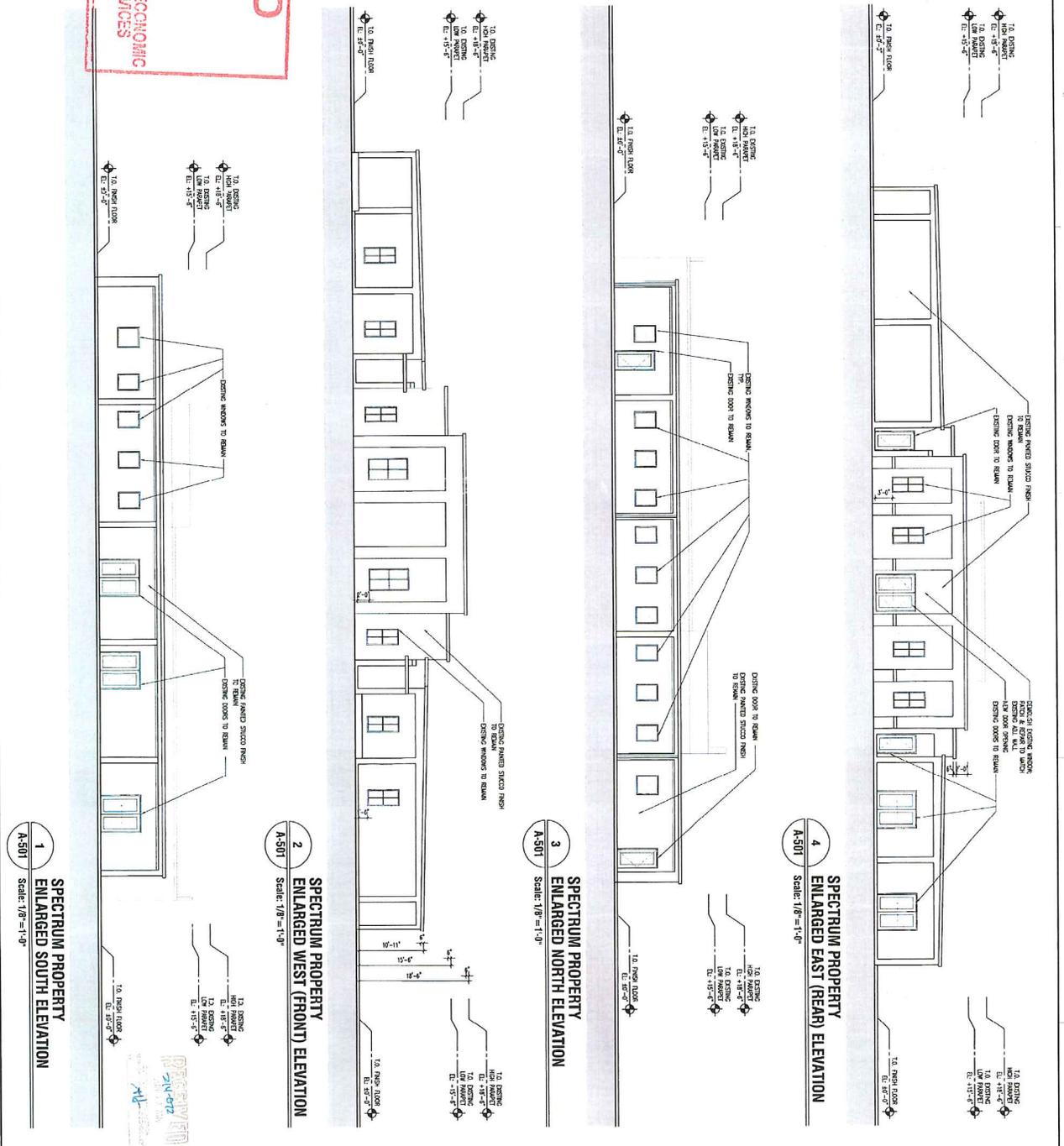
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 A-1000
 PARTIAL LANDSCAPE
 BUFFER PLAN
 Scale: 1" = 30'-0"

SITE PLAN MODIFICATION APPROVAL SUBMISSION (JUNE 19, 2013)

<p>L-103</p> <p>PARTIAL LANDSCAPE BUFFER PLAN</p> <p>1256MDCS 06/19/2014</p>	<p>Seal</p> <p>Jose L. Murgado Reg. No. AR0010670</p>	<p>Architect</p> <p>ZYSCOVICH ARCHITECTS</p> <p>1001 N. Riverside Blvd., 20th Fl. Miami, FL 33132-2504 T 305.372.3232 F 305.372.4818 www.zyscovich.com</p>	<p>Client</p> <p> MIAMI COUNTRY DAY SCHOOL</p>	<p>Project</p> <p>Site Plan Modification Approval Submission</p> <p>Miami Country Day School</p> <p>601 NE 107th Street, Miami, FL 33161</p>	<p>Civil Engineers</p> <p>Schwabke-Shakin and Associates, Inc.</p> <p>2070 Corporate Way Margate, FL 33063 (305) 824-2000 (305) 824-2001 (305) 824-2002</p> <p>Landscape Architecture</p> <p>Curtis + Rogers Design Studio, Inc.</p> <p>3020 W. 15th Street, Suite 301 Coral Gables, Florida 33134 (305) 447-7778 (305) 447-7779 Fax</p>
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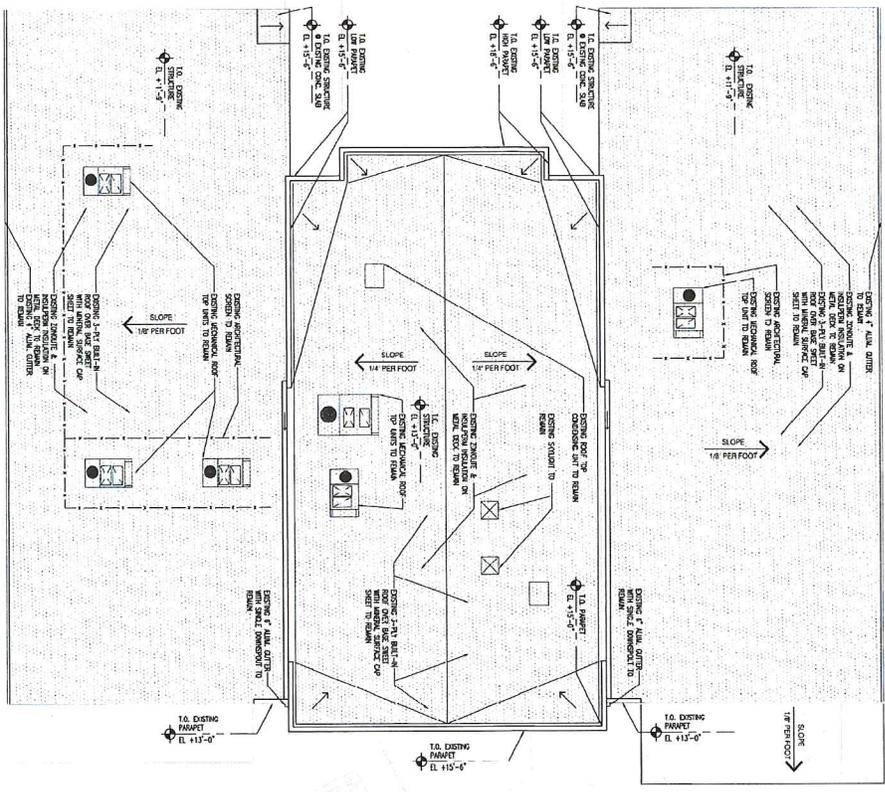


<p>1 SPECTRUM PROPERTY ENLARGED SOUTH ELEVATION Scale: 1/8"=1'-0"</p>	<p>2 SPECTRUM PROPERTY ENLARGED WEST (FRONT) ELEVATION Scale: 1/8"=1'-0"</p>	<p>3 SPECTRUM PROPERTY ENLARGED NORTH ELEVATION Scale: 1/8"=1'-0"</p>	<p>4 SPECTRUM PROPERTY ENLARGED EAST (REAR) ELEVATION Scale: 1/8"=1'-0"</p>
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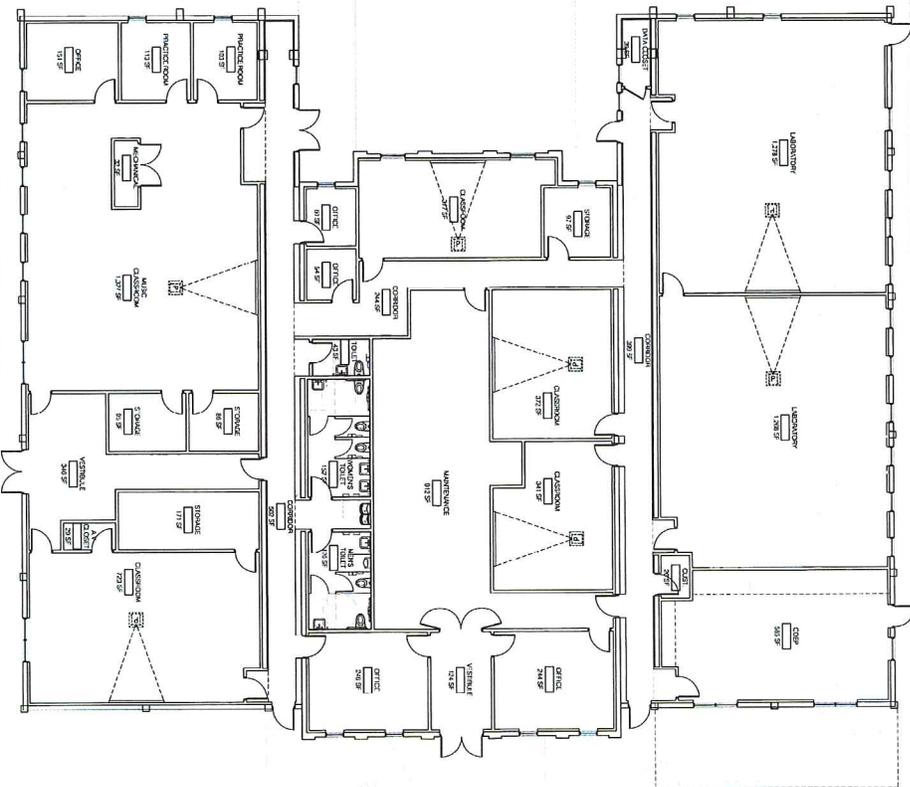
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<p>SPECTRUM PROPERTY ENLARGED ELEVATIONS 125686CDS 06/19/2014 A-501</p>	<p>Seal <i>[Signature]</i> Jose L. Marguido Reg. No. AH0010670</p>	<p>Architect ZYSCOVICH ARCHITECTS 1000 N. W. 10th St., Suite 1000, Ft. Lauderdale, FL 33304 Tel: 954.572.8222 Fax: 954.572.8223 www.zyscovich.com</p>	<p>Client  Miami Country Day School</p>	<p>Project Site Plan Modification Approval Submission Miami Country Day School 601 NE 107th Street, Miami, FL 33161</p>	<p>Civil Engineers Schwabke-Shakin and Associates, Inc. 2501 W. 15th Street, Suite 200 Fort Lauderdale, FL 33311 Tel: 954.572.8222 Fax: 954.572.8223</p> <p>Landscape Architecture Curtis + Rogers Design Studio, Inc. 6600 N.W. 11th Street, Suite 201 Fort Lauderdale, FL 33309 Tel: 954.572.8222 Fax: 954.572.8223</p>
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N
 1
 A-201
 Scale: 1" = 8'-0"
**ACADEMIC CENTER
 OVERALL ROOF PLAN**



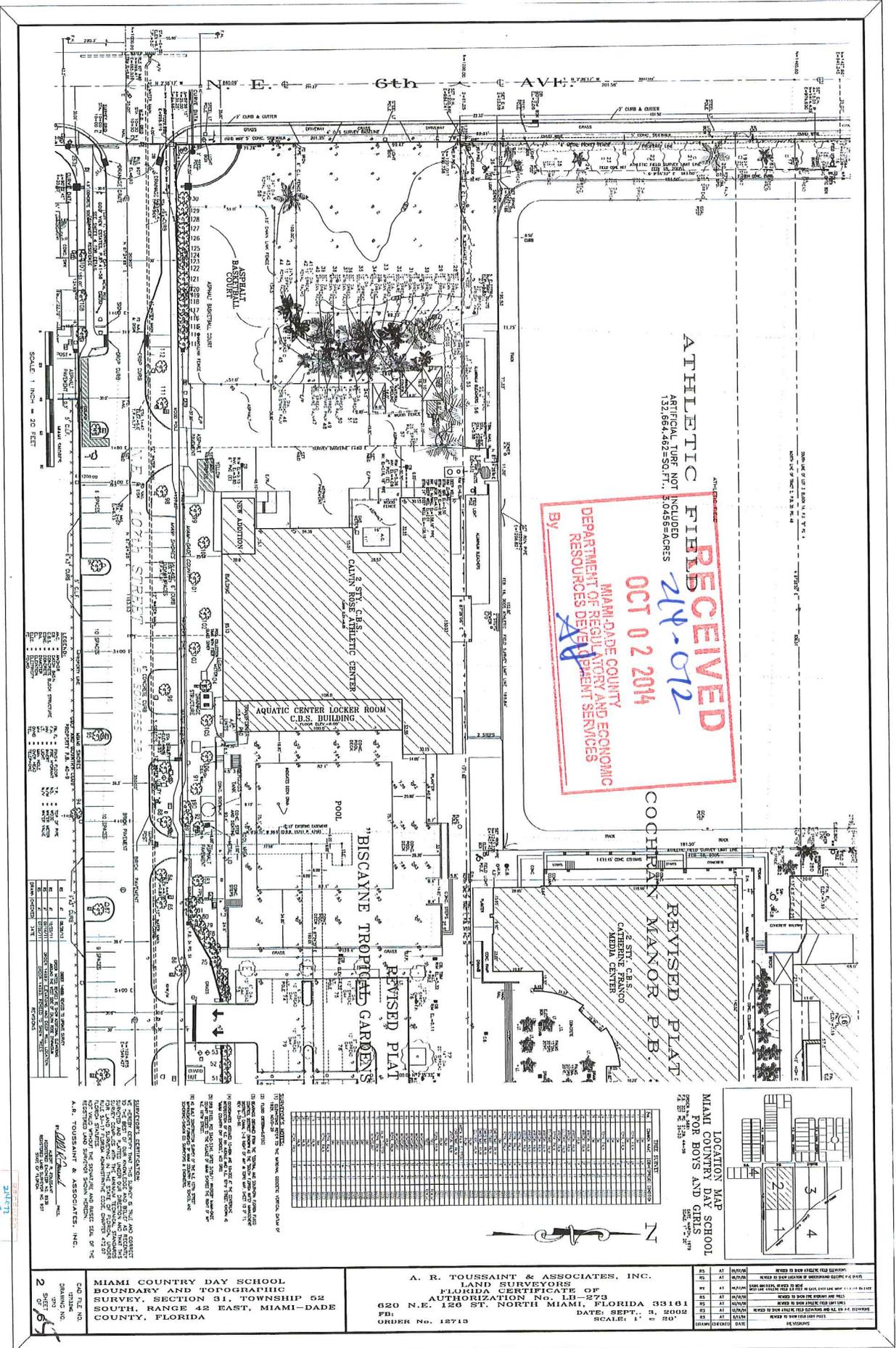
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 A-201
 Scale: 1" = 8'-0"
**ACADEMIC CENTER
 OVERALL FIRST FLOOR PLAN**

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 SERVICES
 By: *[Signature]*

SITE PLAN MODIFICATION APPROVAL SUBMISSION (JUNE 19, 2014)

A-201 1256NDCS 06/19/2014	SPECTRUM PROPERTY 1ST FLOOR & ROOF PLAN	Seal Jose L. Murguido Reg. No. AR0010670	Architect ZYSCOVICH ARCHITECTS 140 N Bayshore Blvd., 20th Fl. Miami, FL 33139 P 305.472.9322 F 305.477.4621 info@zyscovich.com www.zyscovich.com	Client MIAMI COUNTRY DAY SCHOOL	Project Site Plan Modification Approval Submission Miami Country Day School 601 NE 107th Street, Miami, FL 33161	Civil Engineers Schwabbe-Dittalin and Associates, Inc. 12450 SW 10th St. Miami, FL 33185 (305) 442-7920 (305) 442-2244 fax	Landscape Architecture Curtis + Rogers Design Studio, Inc. 2850 Mary Street, Suite 201 Coral Gables, FL 33134 (305) 442-7724 fax (305) 442-9442 fax
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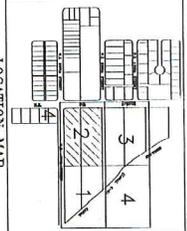
42



RECEIVED
 214-012
 OCT 02 2014
 MIAMI-DADE COUNTY
 DEPARTMENT OF REGULATORY AND ECONOMIC
 RESOURCES
 By

ATHLETIC TURF NOT INCLUDED
 132,864,462=50 FT.
 2,045.8 ACRES

REVISED PLAT
 COCHRAN MANOR P.B.
 2 CITY, O.E.S.
 CATHERINE PENNO
 MEDIA CENTER



LOCATION MAP
 MIAMI COUNTRY DAY SCHOOL
 FOR BOYS AND GIRLS
 2014

NO.	DESCRIPTION	DATE
1	PRELIMINARY PLAT	12/15/11
2	REVISIONS	01/10/12
3	REVISIONS	02/15/12
4	REVISIONS	03/20/12
5	REVISIONS	04/25/12
6	REVISIONS	05/30/12
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100	REVISIONS	03/30/20

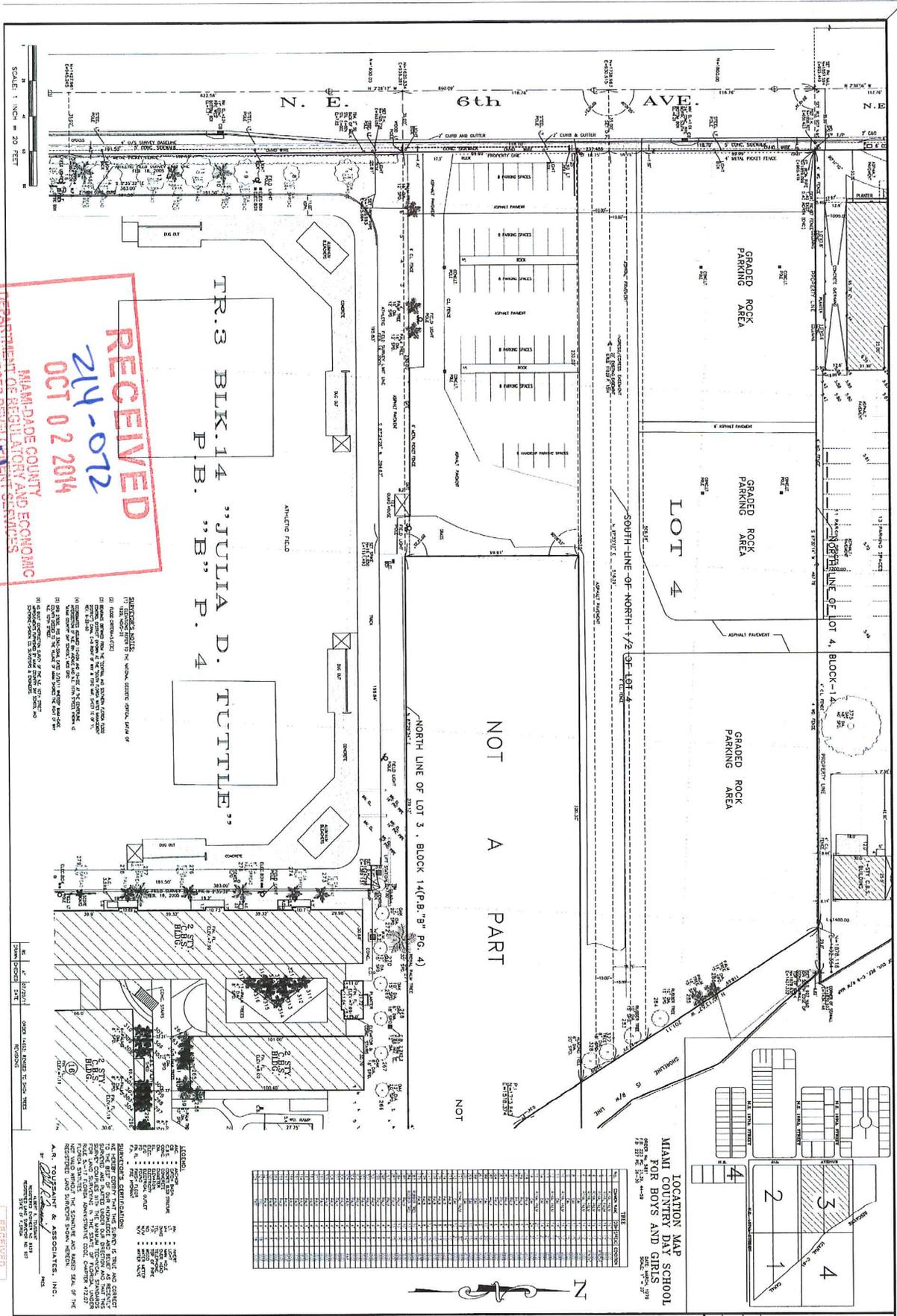
- LEGEND:
- 1. EXISTING IMPROVEMENTS
 - 2. PROPOSED IMPROVEMENTS
 - 3. EXISTING UTILITIES
 - 4. PROPOSED UTILITIES
 - 5. EXISTING EASEMENTS
 - 6. PROPOSED EASEMENTS
 - 7. EXISTING RIGHT-OF-WAY
 - 8. PROPOSED RIGHT-OF-WAY
 - 9. EXISTING CURB & GUTTER
 - 10. PROPOSED CURB & GUTTER
 - 11. EXISTING DRIVEWAYS
 - 12. PROPOSED DRIVEWAYS
 - 13. EXISTING SIDEWALKS
 - 14. PROPOSED SIDEWALKS
 - 15. EXISTING STAIRS
 - 16. PROPOSED STAIRS
 - 17. EXISTING RAMP
 - 18. PROPOSED RAMP
 - 19. EXISTING FENCE
 - 20. PROPOSED FENCE
 - 21. EXISTING SIGN
 - 22. PROPOSED SIGN
 - 23. EXISTING LIGHT
 - 24. PROPOSED LIGHT
 - 25. EXISTING TREE
 - 26. PROPOSED TREE
 - 27. EXISTING PLANT
 - 28. PROPOSED PLANT
 - 29. EXISTING LOT
 - 30. PROPOSED LOT
 - 31. EXISTING BLOCK
 - 32. PROPOSED BLOCK
 - 33. EXISTING TRACT
 - 34. PROPOSED TRACT
 - 35. EXISTING SECTION
 - 36. PROPOSED SECTION
 - 37. EXISTING TOWNSHIP
 - 38. PROPOSED TOWNSHIP
 - 39. EXISTING COUNTY
 - 40. PROPOSED COUNTY
 - 41. EXISTING STATE
 - 42. PROPOSED STATE
 - 43. EXISTING FEDERAL
 - 44. PROPOSED FEDERAL
 - 45. EXISTING INTERNATIONAL
 - 46. PROPOSED INTERNATIONAL

A. R. TOUSSAINT & ASSOCIATES, INC.
 10000 SW 15th St., Suite 100
 Miami, FL 33184
 Phone: 305-556-1111
 Fax: 305-556-1112
 Website: www.artsurveyors.com

MIAMI COUNTRY DAY SCHOOL
 BOUNDARY AND TOPOGRAPHIC
 SURVEY, SECTION 31, TOWNSHIP 52
 SOUTH, RANGE 42 EAST, MIAMI-DADE
 COUNTY, FLORIDA

A. R. TOUSSAINT & ASSOCIATES, INC.
 LAND SURVEYORS
 FLORIDA CERTIFICATE OF
 AUTHORIZATION No. LB-273
 620 N.E. 120 ST., NORTH MIAMI, FL 33161
 DATE: SEPT. 9, 2002
 ORDER No. 12715
 SCALE: 1" = 20'

NO.	DESCRIPTION	DATE
1	PRELIMINARY PLAT	12/15/11
2	REVISIONS	01/10/12
3	REVISIONS	02/15/12
4	REVISIONS	03/20/12
5	REVISIONS	04/25/12
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99	REVISIONS	02/25/20
100	REVISIONS	03/30/20



RECEIVED

214-072

OCT 02 2014

MAMI-DADE COUNTY
DEPARTMENT OF REGULATORY AND ECONOMIC
RESOURCES DEVELOPMENT SERVICES

By *[Signature]*

TR.3 BLK.14 "JULIA D. TUTTLE"
P.B. "B" P. 4

NOT A PART

LEGEND

- 1. CONCRETE
- 2. BRICK
- 3. BLOCK
- 4. STONE
- 5. METAL
- 6. GLASS
- 7. WOOD
- 8. ASPHALT
- 9. GRAVEL
- 10. SAND
- 11. SOIL
- 12. VEGETATION
- 13. FENCE
- 14. DRIVEWAY
- 15. SIDEWALK
- 16. CURB
- 17. UTILITY
- 18. EROSION CONTROL
- 19. LANDSCAPE
- 20. SIGNAGE

NO.	DESCRIPTION	DATE
1	REVISION	
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19	REVISION	
20	REVISION	



LOCATION MAP
MIAMI COUNTRY DAY SCHOOL
FOR BOYS AND GIRLS

A. R. TOUSSAINT & ASSOCIATES, INC.
LAND SURVEYORS
FLORIDA CERTIFICATE OF
AUTHORIZATION No. LB-273
620 N.E. 126 ST. NORTH MIAMI, FLORIDA 33161
DATE: SEPT. 9, 2008
SCALE: 1" = 20'

MIAMI COUNTRY DAY SCHOOL
BOUNDARY AND TOPOGRAPHIC
SURVEY, SECTION 31, TOWNSHIP 52
SOUTH, RANGE 42 EAST, MIAMI-DADE
COUNTY, FLORIDA

NO.	DATE	REVISION	BY	REVISION
1	09/09/08	REVISED TO SHOW EXISTING CONDITIONS	AT	
2	09/09/08	REVISED TO SHOW EXISTING FIELD RECORDS	AT	
3	09/09/08	REVISED TO SHOW EXISTING FIELD RECORDS	AT	
4	09/09/08	REVISED TO SHOW EXISTING FIELD RECORDS	AT	
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 24-072
 OCT 02 2014

MIAMI-DADE COUNTY
 DEPARTMENT OF REGULATORY AND ECONOMIC
 RESOURCES DEVELOPMENT SERVICES

NO.	CONTRACT NO.	CONTRACT DESCRIPTION	DATE
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2	12-000000	CONTRACT NO. 12-000000	12-00-00
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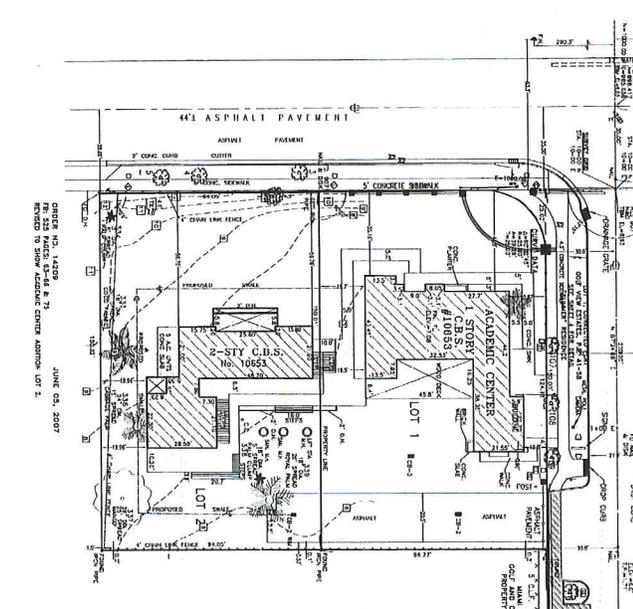
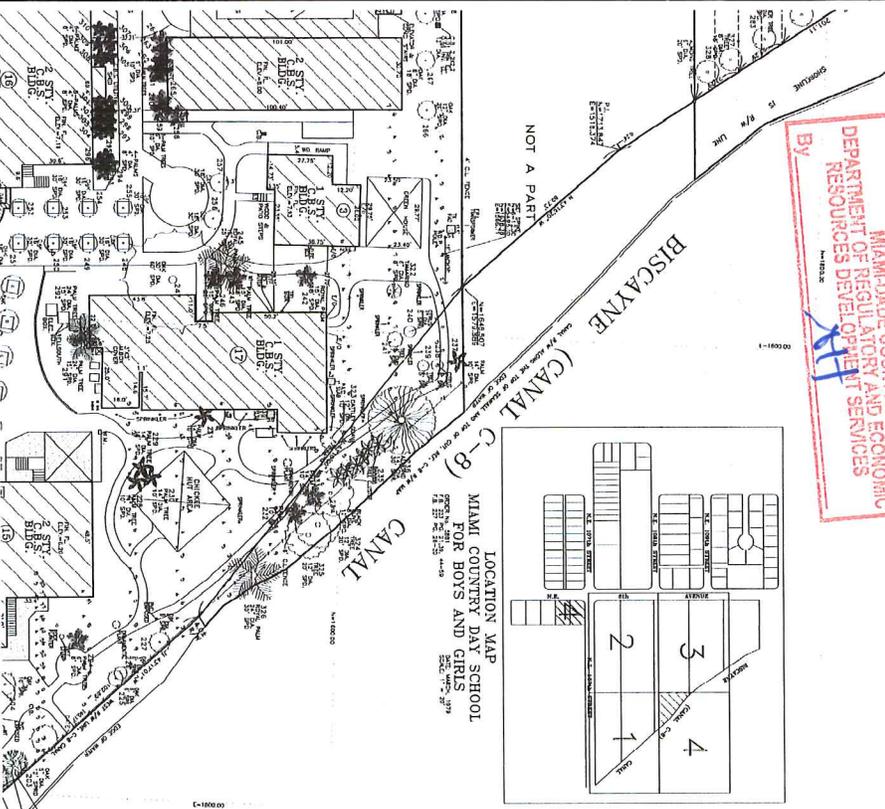
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SUBMITTAL CERTIFICATION

I, the undersigned, certify that the survey is true and correct and that the same was made by me or under my direct supervision and that I am a duly licensed Professional Surveyor in the State of Florida. I further certify that the same was made in accordance with the laws and regulations of the State of Florida and that the same is a true and correct copy of the original survey as shown on the attached plan.

A. R. TOUSSAINT & ASSOCIATES, INC.
 PROFESSIONAL SURVEYOR
 12345 SW 15th Ave., Suite 100, Miami, FL 33185
 TEL: (305) 555-1234 FAX: (305) 555-5678
 www.arto.com



SURVEY WORK TABLE

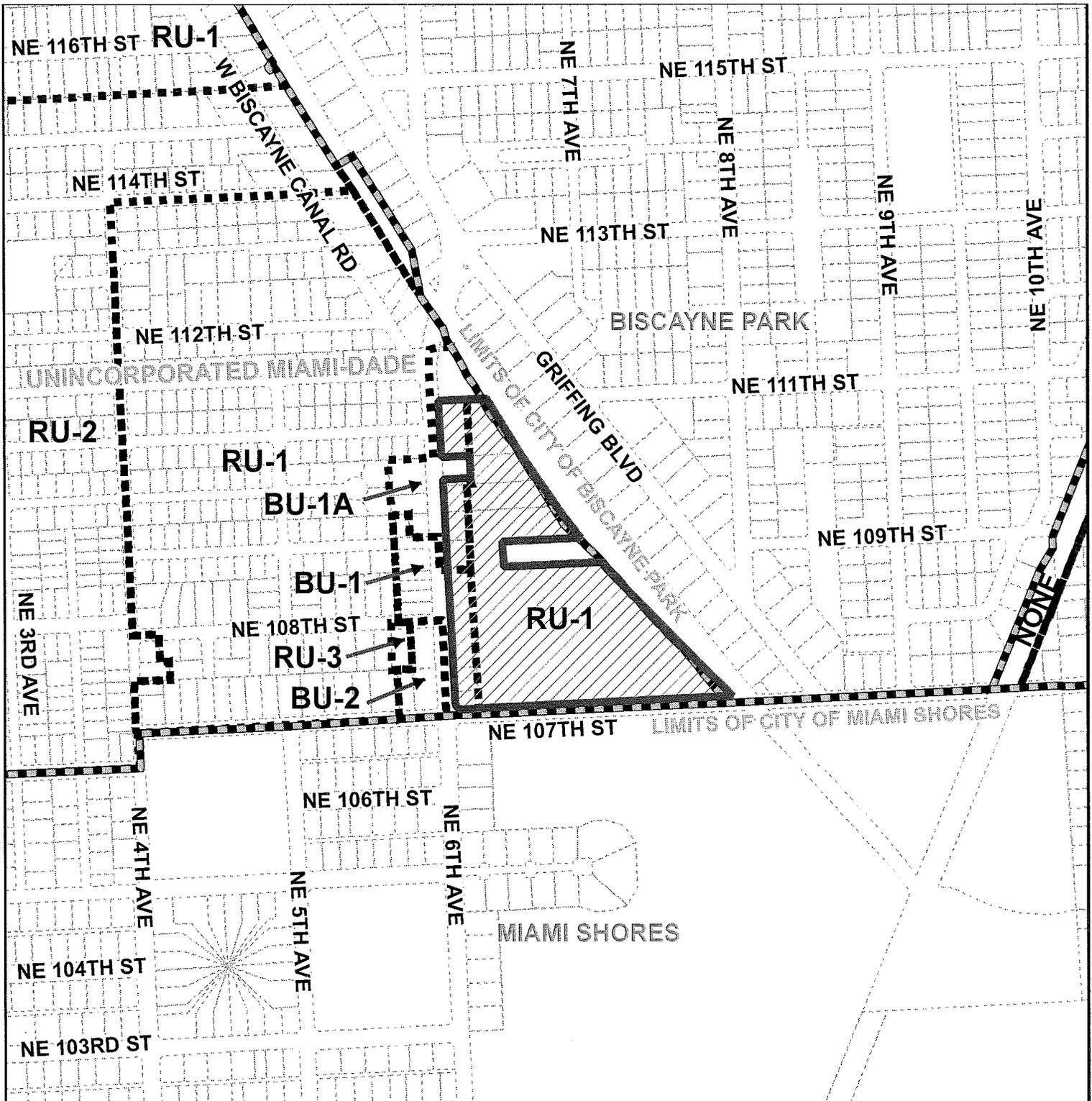
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2	12/02/13	FIELD SURVEY AND DATA COLLECTION
3	12/03/13	FIELD SURVEY AND DATA COLLECTION
4	12/04/13	FIELD SURVEY AND DATA COLLECTION
5	12/05/13	FIELD SURVEY AND DATA COLLECTION
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30	12/30/13	FIELD SURVEY AND DATA COLLECTION
31	12/31/13	FIELD SURVEY AND DATA COLLECTION

MIAMI COUNTRY DAY SCHOOL BOUNDARY AND TOPOGRAPHIC SURVEY, SECTION 31, TOWNSHIP 52 SOUTH, RANGE 42 EAST, MIAMI-DADE COUNTY, FLORIDA

A. R. TOUSSAINT & ASSOCIATES, INC.
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 620 N.E. 126 ST. NORTH MIAMI, FLORIDA 33161
 PH: (305) 555-1234 FAX: (305) 555-5678
 ORDER No. 12713

NO.	DATE	DESCRIPTION
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2	12/02/13	FIELD SURVEY AND DATA COLLECTION
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23	12/23/13	FIELD SURVEY AND DATA COLLECTION
24	12/24/13	FIELD SURVEY AND DATA COLLECTION
25	12/25/13	FIELD SURVEY AND DATA COLLECTION
26	12/26/13	FIELD SURVEY AND DATA COLLECTION
27	12/27/13	FIELD SURVEY AND DATA COLLECTION
28	12/28/13	FIELD SURVEY AND DATA COLLECTION
29	12/29/13	FIELD SURVEY AND DATA COLLECTION
30	12/30/13	FIELD SURVEY AND DATA COLLECTION
31	12/31/13	FIELD SURVEY AND DATA COLLECTION

46



MIAMI-DADE COUNTY

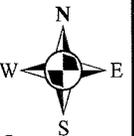
HEARING MAP

Process Number

Z2014000072

Legend

-  Subject Property Case
-  Zoning
-  Municipalities



Section: 31 Township: 52 Range: 42
 Applicant: MIAMI COUNTRY DAY SCHOOL, INC.
 Zoning Board: C8
 Commission District: 3
 Drafter ID: E.CESPEDES
 Scale: NTS



SKETCH CREATED ON: Wednesday, June 10, 2015

REVISION	DATE	BY
		48



MIAMI-DADE COUNTY

AERIAL YEAR 2014

Process Number

Z2014000072

Legend



Subject Property

Municipalities



Section: 31 Township: 52 Range: 42

Applicant: MIAMI COUNTRY DAY SCHOOL, INC.

Zoning Board: C8

Commission District:3

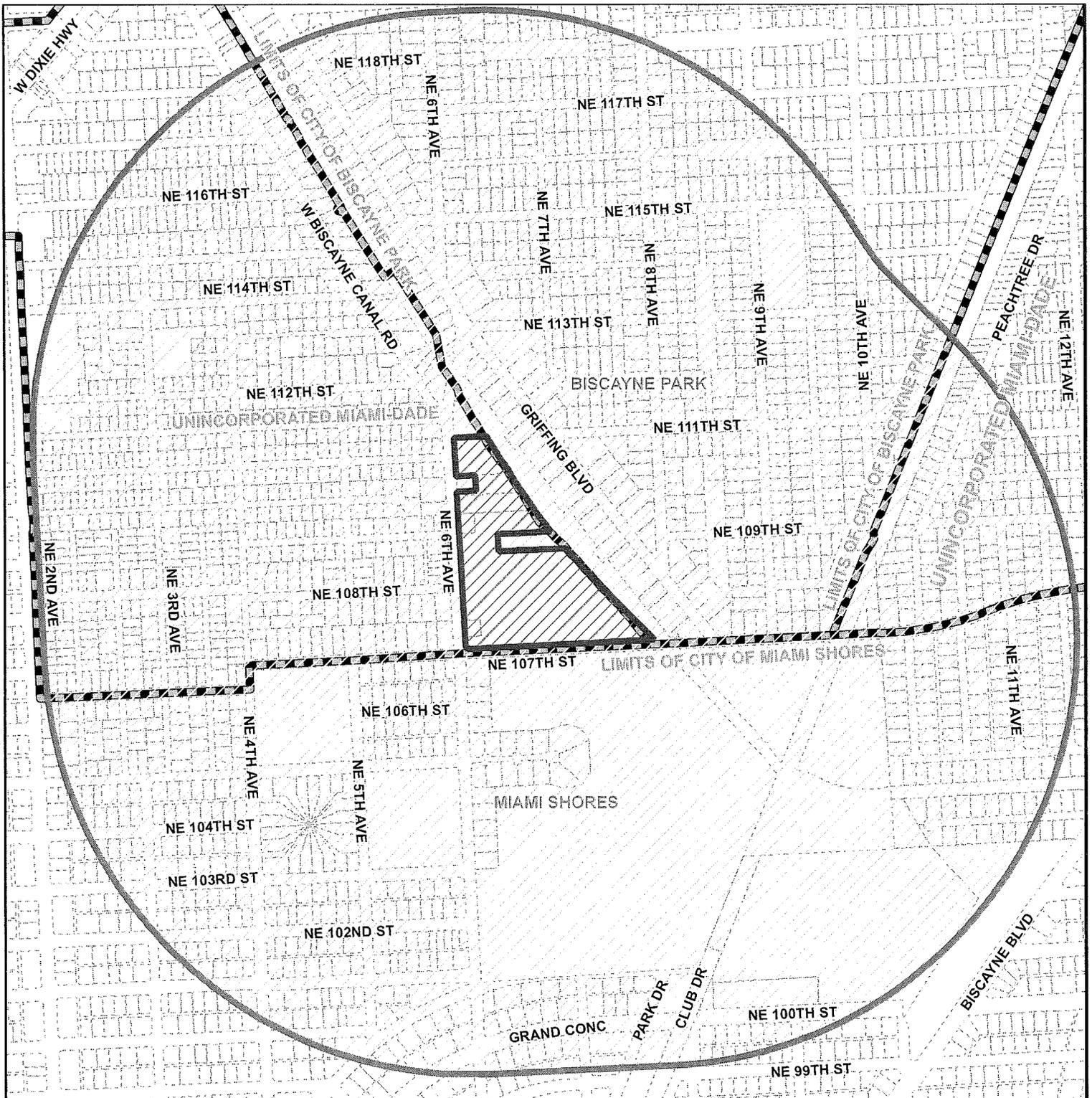
Drafter ID:E.CESPEDES

Scale: NTS



SKETCH CREATED ON: Wednesday, June 10, 2015

REVISION	DATE	BY
		49



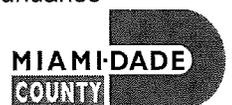
MIAMI-DADE COUNTY
RADIUS MAP

Section: 31 Township: 52 Range: 42
 Applicant: MIAMI COUNTRY DAY SCHOOL, INC.
 Zoning Board: C8
 Commission District: 3
 Drafter ID: E.CESPEDES
 Scale: NTS

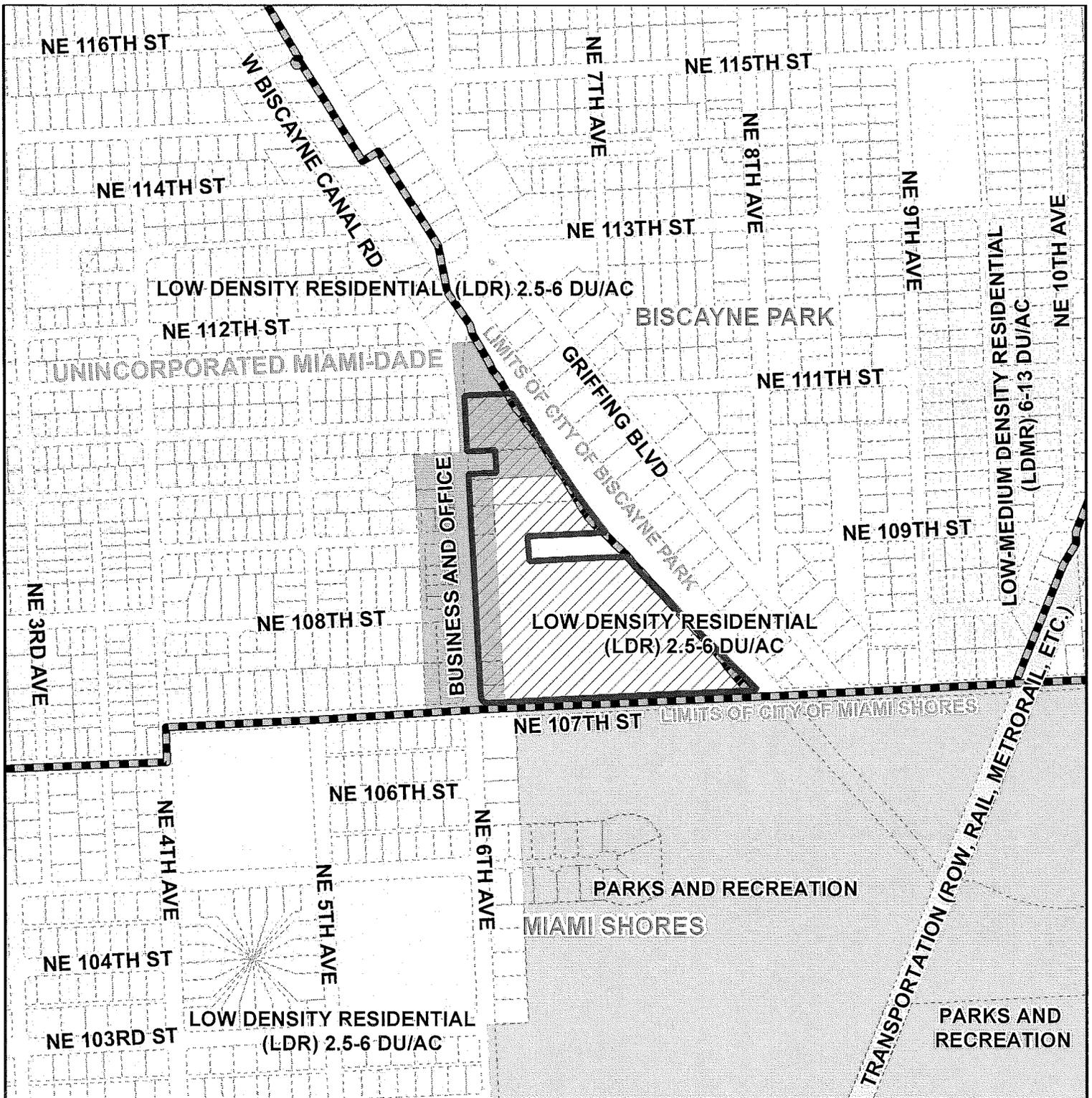
Process Number
Z2014000072
 RADIUS: 2640

Legend

-  Subject Property
-  Buffer
-  Municipalities
-  Property Boundaries



REVISION	DATE	BY
		50



MIAMI-DADE COUNTY

CDMP MAP

Process Number

Z2014000072

Section: 31 Township: 52 Range: 42
 Applicant: MIAMI COUNTRY DAY SCHOOL, INC.
 Zoning Board: C8
 Commission District: 3
 Drafter ID: E.CESPEDES
 Scale: NTS

Legend

-  Subject Property Case
-  Municipalities



SKETCH CREATED ON: Wednesday, June 10, 2015

REVISION	DATE	BY

**Miami-Dade County Department of Regulatory and Economic Resources
Staff Report to Community Council No. 8**

PH: Z14-141 (15-7-CZ8-2)

**July 30, 2015
Item No. 2**

Recommendation Summary	
Commission District	3
Applicant	Giraldo Castellon
Summary of Requests	The applicant is seeking to permit a proposed retail store building within the Model City Urban Center District (MCUCD) with variances to the urban center regulations.
Location	Lying east of NW 27 Avenue, North of NW 46 Street and South of NW 47 Street, AKA as 4635 NW 27 Avenue, 2625 & 2645 NW 46 Street and 2640 NW 47 Street, Miami-Dade County, Florida.
Property Size	0.926-acre
Existing Zoning	MCUCD. Model City Urban Center District
Existing Land Use	Vacant
2020-2030 CDMP Land Use Designation	Community Urban Center <i>(see attached Zoning Recommendation Addendum)</i>
Comprehensive Plan Consistency	Consistent with the LUP map, and the interpretative text and policies of the CDMP
Applicable Zoning Code Section(s)	Section 33-311(A)(4)(b), Non-Use Variance standards <i>(see attached Zoning Recommendation Addendum)</i>
Recommendation	Approval with conditions.

REQUESTS:

- (1) NON-USE VARIANCE of the Model City Urban Center District regulations to permit the proposed building setback 7' (15' required) from the side street (west) property line.
- (2) NON-USE VARIANCE of the Model City Urban Center District regulations requiring an 8' wide continuous landscaped strip along NW 27 Avenue; to waive same.
- (3) NON-USE VARIANCE of the Model City Urban Center District regulations to permit 63% (70% required) of storefront glazing per street frontage.
- (4) NON-USE VARIANCE of the landscape requirements to permit seven (7) street trees (13 street trees required).
- (5) NON-USE VARIANCE to permit a one-way drive with a width of 11' (14' minimum required).

Plans are on file and may be examined in the Department of Regulatory and Economic Resources entitled, "Family Dollar", sheets S1, L1 & L2 prepared by CPH Architects, Engineers, Environment Planners, dated stamped received 4/27/15, Sheets A1.0 and R1.0 prepared by FWH Architects, dated stamped received 1/14/15, for a total of 5 sheets. Plans may be modified at public hearing.

PROJECT DESCRIPTION:

The submitted plans depict the proposed 9,180 sq. ft. retail store on the 0.926 gross acre parcel, which abuts three (3) roadways, NW 27 Avenue and NW 46th and 47th Streets.

<u>NEIGHBORHOOD CHARACTERISTICS</u>		
	Zoning and Existing Use	Land Use Designation
Subject Property	MCUCD; warehouse and office building	Community Urban Center
North	MCUCD; single-family residences, retail	Community Urban Center
South	MCUCD; warehouse	Community Urban Center
East	MCUCD; single-family and duplex residences, vacant	Community Urban Center
West	MCUCD; retail, vacant	Community Urban Center

NEIGHBORHOOD COMPATIBILITY:

The subject property is located at the end of a block, abutting the section line roadway, NW 27 Avenue, between NW 46 Street and NW 47 Street within the Model City Urban Center District (MCUCD). The subject property is surrounded by both existing commercial, industrial and residential uses, as well as some vacant parcels.

SUMMARY OF THE IMPACTS:

The approval of this application will provide the surrounding area with access to an additional retail facility. However, the approval of the requested setback and landscape variances, along with variances to the glazing regulations outlined in the MCUCD Ordinance, within which the subject parcel is located, could have a negative visual impact on the surrounding area.

COMPREHENSIVE DEVELOPMENT MASTER PLAN ANALYSIS:

In October 2011, pursuant to Resolution #Z-12-11, the subject parcel was a part of a larger tract of land that was rezoned to the **Model City Urban Center District (MCUCD)**.

The Comprehensive Development Master Plan (CDMP) Land Use Plan (LUP) map designates the subject property as lying within the **MCUCD**. All of the parcels within the boundaries of the approved **MCUCD** are regulated by plans and standards described in Ordinance #10-013, which are consistent with the Urban Center interpretative text. The applicant seeks to permit a retail store use, which is a permitted use within the MC, Mixed Use Corridor of the MCUCD, with non-use variances of the urban center regulations.

In staff's opinion, approval with conditions of the requests would be **consistent** with the CDMP LUP map Urban Center designation, and the CDMP Land Use Element interpretative text for Urban Centers.

ZONING ANALYSIS:

When requests #1 through #5 are analyzed under the Section 33-311(A)(4)(b), Non-Use Variance Standards, staff opines that the approval of these requests would be **compatible** with the surrounding area, the emerging MCUCD, and will maintain the basic intent and purpose of the zoning district. The submitted plans depict the proposed development and the variances being requested.

The applicant's requests to permit the building setback less than required from the side street (west) property line (request #1), to waive the requirement for a continuous 8' wide landscape strip along NW 27 Avenue (request #2), and to permit 7% less glazing along the street frontage than the 70% required (request #3), pertain to the standards outlined in the MCUCD Ordinance to encourage buildings that would frame the adjacent street to create a public space in the street corridor that is comfortable and interesting, as well as safe for pedestrians.

Although the aforementioned requests do not fully meet the requirement of the MCUCD ordinance, staff opines that the proposed retail development is sufficiently close enough to the requirements of the urban center ordinance and will not result in a departure from the vision outlined in the standards described in Ordinance #10-013, for the MCUCD. Staff opines that approval of the retail building setback less than required in the Edge Sub-District of the MCUCD, enhances the visual framing of the NW 27 Avenue roadway, which is defined as an "A" Street in the MCUCD regulating plans, and therefore, will not create a negative visual impact on the surrounding area. Further, although the applicant is not providing the landscape strip along NW 27 Avenue (request #2), and is seeking a reduction in the required glazing, staff opines that the applicant has for the most part provided sufficient landscaping throughout the parcel along with glazing, which will provide a welcome visual enhancement to the area.

Additionally, staff is not opposed to the applicant's request to permit the facility with less street trees than is required (request #4). Staff notes that the submitted plans indicate that there are three (3) more lot trees within the subject property, which are not able to be allocated towards the number of street trees under the MCUCD regulations. However, staff opines that the additional lot trees contribute to a visual enhancement of the subject property, which mitigates any negative visual impact created by the reduced number of street trees along the three (3) abutting roadways. Further, staff opines that the approval of the request to permit a reduced one-way drive width for one of the three (3) egress drives from the subject property (request #5), will not have a negative impact on traffic flow within the property. In addition, staff notes that neither the Platting and Traffic Review Section of the Department of Regulatory and Economic Resources (RER) or the Miami-Dade Fire Rescue Department (MDFRD) have objected to this request in their comments on the application.

Based on the foregoing analysis, staff opines that approval of the non-use variance requests as outlined, will not have a detrimental impact on the surrounding area and will be **compatible** with same. **Staff therefore, recommends approval with conditions of requests #1 through #5, under the Section 33-311(A)(4)(b), Non-Use Variance standards.**

ACCESS, CIRCULATION AND PARKING: The submitted site plans depicts ingress/egress drives along NW 27 Avenue and NW 47 Street, as well as an egress only drive along NW 46 Street. Additionally, the plans indicate 37 parking spaces on site for the proposed retail store use.

NEIGHBORHOOD SERVICES PROVIDER REVIEW: See attached.

OTHER: Not applicable.

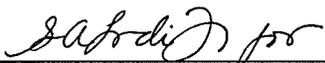
RECOMMENDATION:

Approval with conditions.

CONDITIONS FOR APPROVAL

1. That a site plan be submitted to and meet with the approval of the Department of Regulatory and Economic Resources upon the submittal of an application for a building permit and/or Certificate of Use; said plan must include among other things but not be limited to, location of structure or structures, exits and entrances, drainage, walls, fences, landscaping, etc.
2. That in the approval of the plan, the same be substantially in accordance with that submitted for the hearing entitled "Family Dollar", sheets S1, L1 & L2 prepared by CPH Architects, Engineers, Environment Planners, dated stamped received 4/27/15, Sheets A1.0 and R1.0 prepared by FWH Architects, dated stamped received 1/14/15, for a total of 5 sheets. Except as may be specified by any zoning resolution applicable to the subject property, any future additions on the property which conform to Zoning Code requirements will not require further public hearing action.
3. That the use be established and maintained in accordance with the approved plan.
4. That the applicant obtains a Certificate of Use from and promptly renew the same annually with the Department of Regulatory and Economic Resources, upon compliance with all terms and conditions, the same subject to cancellation upon violation of any of the conditions.

NK:MW:NN:EJ:CH



Nathan Kogon, AICP, Assistant Director
Development Services Division
Miami-Dade County Department
of Regulatory and Economic Resources

NK

ZONING RECOMMENDATION ADDENDUM

Giraldo Castellon
Z14-141

NEIGHBORHOOD SERVICES PROVIDER COMMENTS*	
Division of Environmental Resource Management (RER)	No objection
Platting and Traffic Review Section (RER)	No objection
Parks, Recreation and Open Spaces	No objection
Fire Rescue	No objection
Police	No comment
*Subject to conditions in their memorandum.	

COMPREHENSIVE DEVELOPMENT MASTER PLAN (CDMP) OBJECTIVES, POLICIES AND INTERPRETATIVE TEXT

<p>Urban Centers (Pg. I-45-48)</p>	<p><i>Diversified urban centers are encouraged to become hubs for future urban development intensification in Miami-Dade County, around which a more compact and efficient urban structure will evolve. These Urban Centers are intended to be moderate- to high-intensity design-unified areas which will contain a concentration of different urban functions integrated both horizontally and vertically. Three scales of centers are planned: Regional, the largest, notably the downtown Miami central business district; Metropolitan Centers such as the evolving Dadeland area; and Community Centers which will serve localized areas. Such centers shall be characterized by physical cohesiveness, direct accessibility by mass transit service, and high quality urban design. Regional and Metropolitan Centers, as described below, should also have convenient, preferably direct, connections to a nearby expressway or major roadways to ensure a high level of countywide accessibility.</i></p> <p><i>The locations of urban centers and the mix and configuration of land uses within them are designed to encourage convenient alternatives to travel by automobile, to provide more efficient land use than recent suburban development forms, and to create identifiable "town centers" for Miami-Dade's diverse communities. These centers shall be designed to create an identity and a distinctive sense of place through unity of design and distinctively urban architectural character of new developments within them.</i></p> <p><i>The core of the centers should contain business, employment, civic, and/or high-or moderate-density residential uses, with a variety of moderate-density housing types within walking distance from the centers. Both large and small businesses are encouraged in these centers, but the Community Centers shall contain primarily moderate and smaller sized businesses which serve, and draw from, the nearby community. Design of developments and roadways within the centers will emphasize pedestrian activity, safety and comfort, as well as vehicular movement. Transit and pedestrian mobility will be increased and area wide traffic will be reduced in several ways: proximity of housing and retail uses will allow residents to walk or bike for some daily trips; provision of jobs, personal services and retailing within walking distance of transit will encourage transit use for commuting; and conveniently located retail areas will accommodate necessary shopping during the morning or evening commute or lunch hour.</i></p> <p><i>Urban Centers are identified on the LUP map by circular symbols noting the three scales of planned centers. The Plan map indicates both emerging and proposed centers. The designation of an area as an urban center indicates that governmental agencies encourage and support such development. The County will give special emphasis to providing a high level of public mass transit service to all planned urban centers. Given the high degree of accessibility as well as other urban services, the provisions of this section encourage the intensification of development at these centers over time. In addition to the Urban Center locations depicted on the Land Use Plan Map, all future rapid transit station sites and their surroundings shall, at a minimum, be developed in accordance with the Community Center policies established below.</i></p>
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5

ZONING RECOMMENDATION ADDENDUM

Giraldo Castellon
Z14-141

Following are policies for development of Urban Centers designated on the Land Use Plan (LUP) map. Where the provisions of this section authorize land uses or development intensities or densities different or greater than the underlying land use designation on the LUP map, the more liberal provisions of this section shall govern. All development and redevelopment in Urban Centers shall conform to the guidelines provided below.

Uses and Activities. Regional and Metropolitan Centers shall accommodate a concentration and variety of uses and activities which will attract large numbers of both residents and visitors while **Community-scale Urban Centers** will be planned and designed to serve a more localized community. Uses in Urban Centers may include retail trade, business, professional and financial services, restaurants, hotels, institutional, recreational, cultural and entertainment uses, moderate to high density residential uses, and well planned public spaces. Incorporation of residential uses is encouraged, and may be approved, in all centers, except where incompatible with airport or heavy industrial activities. Residential uses may be required in areas of the County and along rapid transit lines where there exists much more commercial development than residential development, and creation of employment opportunities will be emphasized in areas of the County and along rapid transit lines where there is much more residential development than employment opportunity. Emphasis in design and development of all centers and all of their individual components shall be to create active pedestrian environments through high-quality design of public spaces as well as private buildings; human scale appointments, activities and amenities at street level; and connectivity of places through creation of a system of pedestrian linkages. Existing public water bodies shall also be incorporated by design into the public spaces within the center.

Streets and Public Spaces. Urban Centers shall be developed in an urban form with a street system having open, accessible and continuous qualities of the surrounding grid system, with variation, to create community focal points and termination of vistas. The street system should have frequent connections with surrounding streets and create blocks sized and shaped to facilitate incremental building over time, buildings fronting on streets and pedestrian pathways, and squares, parks and plazas defined by the buildings around them. The street system shall be planned and designed to create public space that knits the site into the surrounding urban fabric, connecting streets and creating rational, efficient pedestrian linkages. Streets shall be designed for pedestrian mobility, interest, safety and comfort as well as vehicular mobility. The size of blocks and network of streets and pedestrian access ways shall be designed so that walking routes through the center and between destinations in the center are direct, and distances are short. Emphasis shall be placed on sidewalks, with width and street-edge landscaping increased where necessary to accommodate pedestrian volumes or to enhance safety or comfort of pedestrians on sidewalks along any high-speed roadways. Crosswalks will be provided, and all multi-lane roadways shall be fitted with protected pedestrian refuges in the center median at all significant pedestrian crossings. In addition, streets shall be provided with desirable street furniture including benches, light fixtures and bus shelters. Open spaces such as public squares and greens shall be established in urban centers to provide visual orientation and a focus of social activity. They should be located next to public streets, residential areas, and commercial uses, and should be established in these places during development and redevelopment of streets and large parcels, particularly parcels 10 acres or larger. The percentage of site area for public open spaces, including squares, greens and pedestrian promenades, shall be a minimum of 15 percent of gross development area. This public area provided outdoor, at grade will be counted toward satisfaction of requirements for other common open space. Some or all of this required open space may be provided off-site but elsewhere within the subject urban center to the extent that it would better serve the quality and functionality of the center.

Buildings. Buildings and their landscapes shall be built to the sidewalk edge in a manner that frames the adjacent street to create a public space in the street corridor that is comfortable and interesting, as well as safe for pedestrians. Architectural elements at street level shall have a human scale, abundant windows and doors, and design variations at short intervals to create interest for the passing pedestrian. Continuous blank walls at street level are prohibited. In areas of significant pedestrian activity, weather protection should be provided by awnings, canopies, arcades and colonnades.

ZONING RECOMMENDATION ADDENDUM

Giraldo Castellon
Z14-141

PERTINENT ZONING REQUIREMENTS/STANDARDS

<p>33-311(A)(4)(b) Non-Use Variations From Other Than Airport Regulations</p>	<p><i>Upon appeal or direct application in specific cases, the Board shall hear and grant applications for non-use variances from the terms of the zoning and subdivision regulations and may grant a non-use variance upon a showing by the applicant that the non-use variance maintains the basic intent and purpose of the zoning, subdivision and other land use regulations, which is to protect the general welfare of the public, particularly as it affects the stability and appearance of the community and provided that the non-use variance will be otherwise compatible with the surrounding land uses and would not be detrimental to the community. No showing of unnecessary hardship to the land is required.</i></p>
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2. GIRALDO CASTELLON
(Applicant)

15-7-CZ8-2(14-141)
Area 08/District 03
Hearing Date: 07/30/15

Property Owner (if different from applicant) **Same.**

Is there an option to purchase /lease the property predicated on the approval of the zoning request? Yes No

If so, who are the interested parties? **Boos Dev. Group**

Disclosure of interest form attached? Yes No

Previous Zoning Hearings on the Property:

<u>Year</u>	<u>Applicant</u>	<u>Request</u>	<u>Board</u>	<u>Decision</u>
2005	Lea Largaespada	- To permit three duplex residential lots with frontages of 49.94', 50' & 54.75' (75' required for each).	C08	Approved with Condition(s)

Action taken today does not constitute a final development order, and one or more concurrency determinations will subsequently be required. Provisional determinations or listings of needed facilities made in association with this Initial Development Order shall not be binding with regard to future decisions to approve or deny an Intermediate or Final Development Order on any grounds.

Memorandum



Date: May 12, 2015

To: Jack Osterholt, Deputy Mayor/Director
Department of Regulatory and Economic Resources

From: Jose Gonzalez, P.E.
Department of Regulatory and Economic Resources

A handwritten signature in black ink, appearing to read "Jose Gonzalez", written over the printed name in the "From:" field.

Subject: #Z2014000141-2nd Revision
Giraldo Castellon
4635 NW 27th Avenue
Non Use Variance 63% Glass on building, driveway access from
NW 46th Street, and continuous landscape strip on NW 27th Avenue
(0.9263 Acres)
22-53-41

The subject application has been reviewed by the Department of Regulatory and Economic Resources – Division of Environmental Resources Management (DERM) for compliance with the requirements of Chapter 24 of the Miami-Dade County Code (the Code) and meets the minimum requirements of the Code. Accordingly, the application may be scheduled for public hearing.

Potable Water Service and Wastewater Disposal

Public water and public sanitary sewers can be made available to the subject property. Therefore, connection of the proposed development to the public water supply system and sanitary sewer system shall be required in accordance with Code requirements.

Existing public water and sewer facilities and services meet the Level of Service (LOS) standards set forth in the Comprehensive Development Master Plan (CDMP). Furthermore, the proposed development order, if approved, will not result in a reduction in the LOS standards subject to compliance with the conditions required by DERM for this proposed development order.

Notwithstanding the foregoing, and in light of the fact that the County's sanitary sewer system has limited sewer collection, transmission, and treatment capacity, no new sewer service connections can be permitted, unless there is adequate capacity to handle the additional flows that this project would generate. Consequently, final development orders for this site may not be granted if adequate capacity in the system is not available at the point in time when the project will be contributing sewage to the system. Lack of adequate capacity in the system may require the approval of alternate means of sewage disposal. Use of an alternate means of sewage disposal may only be granted in accordance with Code requirements, and shall be an interim measure, with connection to the public sanitary sewer system required upon availability of adequate collection/transmission and treatment capacity.

Stormwater Management

Stormwater shall be retained on site utilizing properly designed seepage or infiltration drainage system. Drainage plans shall provide for full on-site retention of the stormwater runoff generated by a 5-year / 1-day storm event.

Site grading and development plans shall comply with the requirements of Chapter 11C of the Code, as well as with all state and federal criteria, and shall not cause flooding of adjacent properties.

Any proposed development shall comply with county and federal flood criteria requirements. The proposed development order, if approved, will not result in a reduction in the LOS standards for flood protection set forth in the CDMP subject to compliance with the conditions required for this proposed development order.

Tree Preservation

DERM has reviewed the revised landscape plan entitled "Family Dollar NW 46 St & NW 27 Ave, Miami-Dade County, FL", prepared by James K. Winter, dated April 23, 2015, stamped received on April 27, 2015 and has determined that the proposed plan is in accordance with Section 24-49.2 of the Code.

DERM notes that according to the plan, the applicant proposes to preserve specimen live oaks #3 and #8A in their present locations and to remove other specimen and regular trees.

DERM has no objection to the approval of this application provided that, as a condition of the ongoing approval, the applicant is required to:

1. Preserve the specimen live oaks pursuant to Section 24-49.2(II)(2) of the Code including to modify the construction plans if necessary to prevent any cutting, pruning or damage to the specimen trees,
2. Execute a specimen tree covenant to preserve the specimen live oaks, and
3. Obtain a Miami-Dade County Tree Removal permit for all trees to be removed.

Additionally, in accordance with the Code and CON8I of the CDMP, all plants prohibited by Miami-Dade County shall be removed from all portions of the property prior to redevelopment and the parcel shall be maintained to prevent the growth or accumulation of prohibited species. DERM also recommends that this requirement be included as a condition of zoning approval.

Enforcement History

There are no open or closed enforcement records for violations of Chapter 24 of the Code for the subject property. Please contact the Enforcement Section if you require additional information. Please contact the Enforcement Section if you require additional information.

Concurrency Review Summary

A concurrency review has been conducted for this application and has determined that the same meets all applicable LOS standards for an initial development order, as specified in the adopted CDMP for potable water supply, wastewater disposal, and flood protection. Therefore, the application has been approved for concurrency subject to the comments and conditions contained herein.

This concurrency approval does not constitute a final concurrency statement and is valid only for this initial development order, as provided for in the adopted methodology for concurrency review. Additionally, this approval does not constitute any assurance that the LOS standards would be met by any subsequent development order applications concerning the subject property.

This memorandum shall constitute written approval as required by Chapter 24 of the Code.

If you have any questions concerning the comments or wish to discuss this matter further, please contact Christine Velazquez at (305) 372-6764.

cc: Nathan Kogon, Department of Regulatory and Economic Resources

Memorandum



Date: January 07, 2014

To: Eric Silva, Development Coordinator
Department of Regulatory and Economic Resources

From:  Raul A. Pino, PLS, Chief
Platting and Traffic Review Section
Department of Regulatory and Economic Resources

Subject: Z2014000141
Name: Boos Development Group, Inc.
Location: Lying 4635 NW 27 Avenue, Miami, FL
Section 22 Township 53 South Range 41

The Department of Regulatory and Economic Resources Platting and Traffic Review Section has reviewed the subject application and has no objection.

This land requires platting in accordance with Chapter 28 of the Miami-Dade County Code. Any right-of-way dedications and/or improvements required will be accomplished thru the recording of a plat.

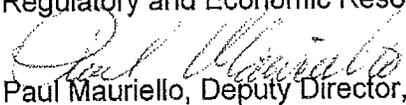
This project meets the traffic concurrency criteria because it lies within the urban infill area where traffic concurrency does not apply.

Memorandum



Date: December 22, 2014

To: Eric Silva, Development Coordinator
Regulatory and Economic Resources Department

From: 
Paul Mauriello, Deputy Director, Waste Operations
Public Works and Waste Management Department

Subject: Boos Development Group, Inc. (DIC #14_141)

The Department's review of the above-referenced item is provided below. Additional comments will be provided as needed. If you should have any questions, please do not hesitate to contact Stacey McDuffie, Manager, Fiscal Management and Planning Division, at 305-375-1354. **The PWWM has no objections to the proposed application.**

Application: *Boos Development Group, Inc.* is requesting a series of non-use variances of site requirements to construct a Family Dollar store on the property.

Size: The subject property is approximately 0.93 acres.

Location: The subject property is located the intersection of NW 46th Street and NW 27th Avenue, in Miami-Dade County, Florida.

Analysis:

1. Solid Waste Disposal

The Miami-Dade County Solid Waste Management System consists of both County facilities and private facilities under contract as follows: three Class I landfills (two owned by Waste Management Inc., of Florida) a Class III landfill, a Resources Recovery Facility waste to energy plant and associated ash monofill, and three regional transfer facilities. The Public Works and Waste Management Department (PWWM) does not assess or adjust estimated capacity requirements based on the impacts of individual developments. Instead, the Department maintains sufficient disposal capacity to accommodate five years of waste flows committed to the system through long-term interlocal agreements or contracts with municipalities and private waste haulers and anticipated non-committed waste flows. The latest Concurrency Status Determination issued on September 18, 2014, which is valid for one year, shows sufficient disposal system capacity to exceed the County's adopted level of service (five years of capacity). This determination, which is on file with the Regulatory and Economic Resources Department (formerly the Department of Planning and Zoning) is contingent upon the continued ability of the County to obtain and renew disposal facility operating permits from the Florida Department of Environmental Protection, as needed.

2. Garbage and Trash Collection Services

Pursuant to Chapter 15 of the Miami-Dade County Code (Code), entitled Solid Waste Management development of a Family Dollar store on the property meets the County Code definition of commercial establishment. Per the Code, the following is required of multi-family residential and commercial establishments located in unincorporated Miami-Dade County:

"Every commercial and multi-family residential establishment shall utilize the solid waste collection services of either the proper governmental agency able to provide such services, or that of a licensed solid waste hauler authorized to perform such services by the Director of the Department." Therefore, the landlord or property owner is required to contact a private hauler to provide waste and recycling collection service.

3. Recycling

The following language from **Section 15-2.3a** of the Code requires commercial establishments "to provide for a recycling program, which shall be serviced by a permitted hauler or the appropriate governmental agency. The recycling program for commercial establishments must include a minimum of three (3) materials chosen from the following:

- | | |
|----------------------------------|--|
| 1) High grade office paper | 6) Steel (cans, scrap) |
| 2) Mixed paper | 7) other metals/scrap production materials |
| 3) Corrugated cardboard | 8) Plastics (PETE, HDPE-natural, HDPE-colored) |
| 4) Glass (flint, emerald, amber) | 9) Textiles |
| 5) Aluminum (cans, scrap) | 10) Wood |

Section 15-2.3 of the Code states the failure of a commercial establishment to provide a recycling program or a modified recycling program pursuant to Section 15-2.4 hereof shall constitute a violation of this section for which the property owner and the owner(s) and operator(s) of the commercial establishment shall be jointly and severally liable.

4. Waste Storage/Setout Considerations

Section 15-4 of the Code requires that plans for storage and collection of solid waste be adequate before a building permit may be issued. Site plans must address location, accessibility, number and adequacy of solid waste collection and storage facilities. The site plan legend must contain the following statement: "Facilities for the collection and storage of solid waste are shown in accordance with Section 15-4 of the Miami-Dade County Code."

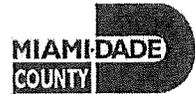
5. Site Circulation Considerations

It is required that development plans associated with this project incorporate at least one of the following traffic circulation criteria to minimize the reversing of waste vehicles and hence, provide for the safe circulation of service vehicles:

- a. Cul-de-sac with a minimum 49 foot turning radius (no "dead-ends")
- b. "T" shaped turnaround 60 feet long by 10 feet wide
- c. Paved throughway of adequate width (minimum 15 feet)

In addition, any and all alleyways designed with utilities, including waste collection, provided at the rear of the property should be planned in accordance with standard street specifications with sufficient width and turning radii to permit large vehicle access. Additionally, there should be no "dead-end" alleyways developed. Also, a sufficient waste set-out zone should be preserved (between the edge of the pavement and any possible obstructions such as parked cars, fencing, etc.,) that would interrupt or preclude waste collection.

Memorandum



Date: May 18, 2015

To: Jack Osterholt, Director
Department of Regulatory and Economic Resources (RER)

From: Maria A. Valdes, CSM, LEED® Green Associate *Maria Valdes*
Chief, Comprehensive Planning & Water Supply Certification Section

Subject: Zoning Application No. 14-141 - Giraldo Castellon (Pre-App Z15-P004 –Family Dollar)
(REVISION # 2)

Below, please find the Miami-Dade Water and Sewer Department's (MDWASD) comments for the subject zoning application. Please note that final points of connection for this project will be issued at the time the applicant request connection to the water and sewer system infrastructure. Therefore, all points of connections provided below might change at the time of development and a capacity modeling evaluation may be required. A MDWASD Letter of Availability No. 13-296501 was issued for this project on November 6, 2013.

Recommendation: Approval based on conditions noted below.

Application Name: Giraldo Castellon

Proposed Development: The applicant is requesting to build a 9,180 square feet Family Dollar Store.

The estimated total water demand in gallons per day (gpd) for the project is described below:

Projected Water Demand				
Uses	Unit	Total	Flow Rate (GPD)	Total GPD
9,180 square feet – Family Dollar Store	Sq.ft.	9,180	10 gpd / 100 sq.ft.	918
Total				918

Project Location: The subject property is currently vacant, and is located at the N,E. corner of N.W. 27th Avenue and N.W. 46th Street with Folio Numbers (30-3122-002-0100, 30-3122-067-0010, 30-3122-067-0020 and 30-3122-067-0030), in unincorporated Miami-Dade County.

Water: The subject project is located within MDWASD's service area. The source of water for the project is the Hialeah Preston Water Treatment Plant. There is an existing 12-inch water main located in N.W. 46th Street, abutting the southern boundary of the proposed property to where the developer may connect to provide service. Any public water main extension within the property shall be 12-inch minimum diameter. If two or more fire hydrants are to be connected to a public water main extension within the property, then the water system shall be looped with 2 points of connection. All comments addressing water service are provided in accordance with CDMP policies WS-1A, WS-1B and WS-2A.

A Water Supply Certification (WSC) from MDWASD will be required for the proposed development. Said Certification will be issued at the time connection to the water infrastructure is requested. The Certification is required to assure adequate water supply is available to all water users of the MDWASD as required by Policy CIE-5D and WS-2C in the County's CDMP and in accordance with the permitted withdrawal capacity in the MDWASD's 20-year Water Use Permit.

For more information on the Water Supply Certification Program, please go to <http://www.miamidade.gov/water/water-supply-certification.asp>

MDWASD will be the utility providing water services subject to the following conditions:

- Adequate transmission and Plant capacity exist at the time of the applicant's request.
- Adequate water supply is available prior to issuance of a building permit or its functional equivalent.
- Approval of all applicable governmental agencies having jurisdiction over these matters is obtained.

Sewer: The subject project is located within MDWASD's service area. There is an existing 8-inch sanitary gravity sewer system in N.W. 46th Street, abutting the southern boundary of the property to where the developer may connect for sewer service.

The sanitary sewer flows from the proposed development will be transmitted to the Pump Station (P.S.) 18. Below is the current status of the Nominal Average Pump Operating Time (NAPOT) for said P.S.

Pump Station: 0018
Yearly NAPOT: 6.69 Hrs
Projected NAPOT: 7.26 Hrs
Projected NAPOT including this project flows: 7.27 Hrs

The Central District Wastewater Treatment Plant (WWTP) is the facility for treatment and disposal of the wastewater. This WWTP is currently operating under a permit from the Florida Department of Environmental Protection. MDWASD will be the utility providing sewer services subject to the following conditions:

- Adequate transmission and plant capacity exist at the time of the owner's request consistent with policy WS-2A(2) of the CDMP. Capacity evaluations of the plant for average flow and peak flows will be required. Connection to the COUNTY'S sewage system will be subject to the terms, covenants and conditions set forth in court orders, judgments, consent orders, consent decrees and the like entered into between the COUNTY and the United States, the State of Florida and/or any other governmental entity, including but not limited to, the Consent Order entered on April 9, 2014 in the United States of America, State of Florida and State of Florida Department of Environmental Protection v. Miami-Dade County, Case No. 1:12-cv-24400-FAM, as well as all other current, subsequent or future enforcement and regulatory actions and proceedings.
- Approval of all applicable governmental agencies having jurisdiction over these matters are obtained.

Water Conservation: All future development for the subject area will be required to comply with water use efficiency techniques for indoor water use in accordance with Section 8-31, 32-84 and 8A-381 of the Code of Miami-Dade County. In addition, the future development will be required to comply with the landscape standards in sections 18-A and 18-B of Miami-Dade County Code.

Any public water or sewer infrastructure must be within a public right-of-way, or within a utility easement.

For more information about our Water Conservation Program please go to
<http://www.miamidade.gov/conservation/home.asp>

For information concerning the Water-Use Efficiency Standards Manual please go to
http://www.miamidade.gov/conservation/library/WUE_standards_manual_final.pdf

Below please find additional links to the Miami-Dade County WASD portal which provides information on the Construction & Development process for water and sewer infrastructure.

<http://www.miamidade.gov/water/construction-development.asp>

<http://www.miamidade.gov/water/construction-service-agreement.asp>

<http://www.miamidade.gov/water/construction-existing-service.asp>

<http://www.miamidade.gov/water/library/forms/service-agreement.pdf>

Should you have any questions, please call me at (786) 552-8198 or Alfredo B. Sanchez at (786) 552-8237.

Memorandum



Date: April 29, 2015

To: Jack Osterholt, Deputy Mayor
Director, Regulatory and Economic Resources Department

From: Maria I. Nardi, Chief *M.I.*
Planning and Research Division
Parks, Recreation and Open Spaces Department

Subject: Z2014000141: GIRALDO CASTELLON, PRE-APP Z15-P004
Revised Plans Submitted Dated Stamped Received 4/27/2015

Application Name: GIRALDO CASTELLON, PRE-APP Z15-P004

Project Location: The site is located in that area LYING East of NW 27 Ave. north of NW 46 ST & SOUTH OF NW 47 ST, A/K/A 4635 NW 27 AV. 2625 & 2645 NW 46 ST & 2640 NW 47 ST. 4635 NW 27 AVE, Miami-Dade County.

Proposed Development: The request is for a development of a Family Dollar Store in the Model City Urban Center District (MOUCD).

Impact and demand: This application does not generate any additional residential population, and therefore the CDMP Open Space Spatial Standards do not apply.

Recommendation: PROS has no pertinent comments for this application concerning impact or demand on existing County parks, proposed or budgeted service expansion, nor do we perform a concurrency review. Based on our findings described herein **PROS HAS NO OBJECTION TO THIS APPLICATION.**

If you need additional information or clarification on this matter, please contact John Bowers at (305) 755-5447.

MN:jb

Cc: John M. Bowers, Parks Property Management Supervisor

Furney, Susan (RER)

From: Castillo, Guillermo (MDFR)
Sent: Wednesday, May 06, 2015 9:58 AM
To: Furney, Susan (RER)
Cc: Connally, Ronald (RER); Gutierrez, Franklin (RER); Acosta, Felix (RER); Gomez, Thomas R. (RER); Thompson, Cleveland (RER); Heredia, Carlos (MDFR)
Subject: Zoning Hearings Distribution of Revision (Case #Z2014000141)

The Miami-Dade Fire Rescue Department has reviewed the subject application and has the following comments:

- No objection to the site plan with a 4/27/15 RER received date. (To include approval related to reduced road width at the North driveway where a tree preservation exists).

Thank you,

Guillermo E. Castillo, Principal Planner
Planning Section
Miami Dade Fire Rescue Department
9300 NW 41 St., Miami - FL 33178
786-331-4545 Direct Phone
786-331-4540 Main Phone
786-331-5259 Fax Number
Castilo@miamidade.gov
www.miamidade.gov
"Delivering Excellence Every Day"

Memorandum



DATE: February 5, 2015

TO: Franklin Gutierrez
Agenda Coordinator
Department of Regulatory and Economic Resources

FROM: Nilia Cartaya 
Principal Planner
Miami-Dade Transit - Engineering, Planning & Development Division

SUBJECT: Review of Zoning Hearing No. Z14-141 (Giraldo Castellon)
MDT Project No. OSP006
FSC No. 41.04

MDT Comments/Recommendations

The subject property is approximately 0.926 acre and is located on the northeast corner of NW 27th Avenue and NW 46th Street. Routes 27 and 297 (27th Avenue Orange MAX) run adjacent to the site along NW 27th Avenue and operate with a 30 minute or better AM/PM peak-hour headway. Therefore, this application meets the adopted mass transit level of service standards as prescribed by Policy MT-1A of the Mass Transit Sub-element of the Comprehensive Development Master Plan (CDMP). This project has been reviewed by MDT for mass transit concurrency and was found to be concurrent with the mass transit level-of-service standards established for Miami-Dade County.

The surrounding area is well served by existing transit services. It should also be noted that the NW 27th Avenue Corridor is one of the County's premium transit corridors as identified in the People's Transportation Plan. Transit service runs adjacent to the application site along NW 27th Avenue and is provided by Routes 27 and 297 (27th Avenue Orange MAX) and along NW 46th Street and is provided by Route 46. Two bus stops are located near the southwest corner of the site; one along NW 27th Avenue and one along NW 46th Street. The existing bus stops along NW 27th Avenue as well as the one along NW 46th Street are both currently lacking bus shelters. Passenger data reveals that the bus stop along NW 27th Avenue currently has approximately 21 passengers boarding and 13 passengers getting off at this stop (daily). Furthermore, passenger data reveals that the bus stop along NW 46th Street currently has approximately 0 passengers boarding and 2 passengers getting off at this stop (daily). It is anticipated that passenger activity at both of these stops will increase with the opening of the proposed retail store. Therefore, in an effort to accommodate public transportation in the area, MDT requests that the applicant provide two 20' long X 15' wide concrete pads along the property's frontage on NW 27th Avenue and NW 46th Street to coincide with the location of the existing bus stops. Coordination with Miami-Dade Transit to allow the installation of bus shelters at both bus stop sites is essential to improving transit amenities at this location. Said concrete bus shelter pads shall be clearly noted on the site plans. **As such, based on the submitted site plans, MDT objects to this application.**

Project Description

14-141 –The applicant is requesting a 10% reduction in the glazing requirement for the project (from 70% to 63% of the façade area), waiver of the required 8' wide landscape strip along NW 27th Avenue and to allow access from NW 46th street in order to allow construction of a proposed 9,180 sq. ft. retail store. The subject property is approximately 0.926 acre and is located on the northeast corner of NW 27th Avenue and NW 46th Street, in Miami-Dade County, Florida.

Current Transit Service

Transit service runs adjacent to the application site along NW 27th Avenue and is provided by Routes 27 and 297 (27th Avenue Orange MAX) and along NW 46th Street and is provided by Route 46. Two bus stops are located near the southwest corner of the site; one along NW 27th Avenue and one along NW 46th Street. The alignment for these routes is illustrated on the attached maps. The service headways for these routes (in minutes) are as follows:

**Metrobus Route Service Summary
 Zoning Hearing No. 14-141 Giraldo Castellon**

Route(s)	Service Headways (in minutes)						Proximity to Bus Route (miles)	Type of Service
	Peak (AM/PM)	Off-Peak (middays)	Evenings (after 8pm)	Overnight	Saturday	Sunday		
27	(15/30) / (15/30)	15/30	24/30	60	20/40	30/60	0	L
297 (27 th Avenue Orange MAX)	15	30	n/a	n/a	n/a	n/a	0	F/E
46	60	n/a	n/a	n/a	n/a	n/a	0	L

Notes: L means Metrobus local route service
 F means Metrobus feeder service to Metrorail
 E means Express or Limited-Stop Metrobus service
 November 2014 Line Up

Future Transportation/Transit Improvements

The 2015 Transportation Improvement Program (TIP) lists the following improvements on the roadways and facilities within the immediate vicinity of the site:

Facility/Project Limits	Type of Work
NW 27 th Avenue Enhanced Bus Service	Transit Improvement
NW 27 th Avenue Enhanced Bus Service	Bus Purchase

The 2040 Long Range Transportation Plan (LRTP) lists the following improvements within the vicinity of this project.

Facility/Project Limits	Type of Work	Priority/Funding Phase
North Corridor (NW 27 th Ave) Enhanced Bus from Miami Intermodal Center (MIC) to NW 215 th Street Terminal	Enhanced Bus Service	Priority I
North Corridor (NW 27 th Ave) Bus Rapid Transit (BRT) with Dedicated Lanes MIC to NW 215 th Street Terminal	Full Bus Rapid Transit	Priority IV
North Corridor (NW 27 th Ave) Metrorail Extension MIC to NW 215 th Street Terminal	Convert full bus rapid transit to heavy rail	Unfunded

The adopted 2014 ten-year Transit Development Plan (TDP) identifies in its 2024 Recommended Service Plan the following improvements/adjustments on the existing routes serving the vicinity of the project:

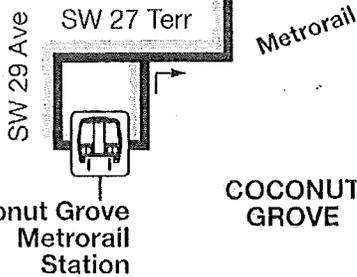
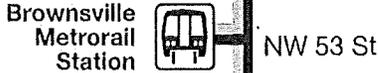
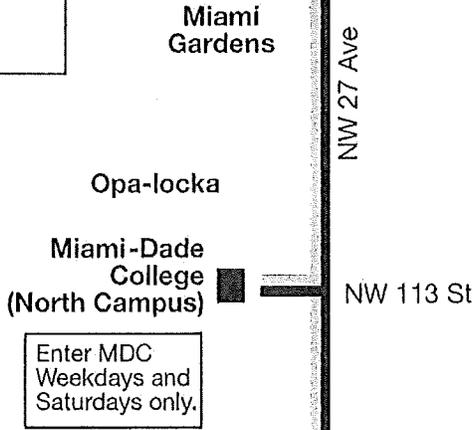
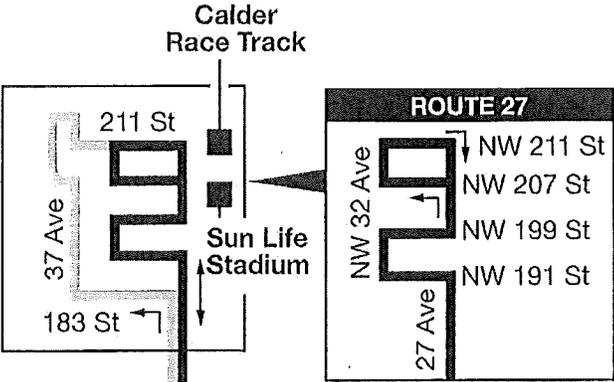
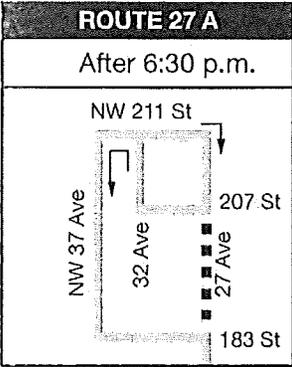
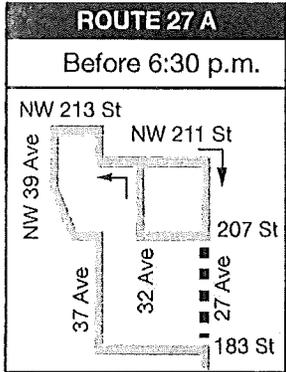
Route	Improvement/Adjustment
27	Extend route to new Park-and-Ride at NW 215 th Street
297 (27 th Avenue Orange MAX)	Route to be transformed to NW 27 th Avenue Enhanced Bus.
46	No planned improvements.

In addition, the adopted 2014 ten-year TDP identifies in its 2024 Recommended Service Plan the following new route that will serve the vicinity of the project:

Route	Description
NW 27 th Avenue Enhanced Bus Service	This route will provide premium limited-stop transit service along NW 27 th Avenue corridor from the Miami-Dade/Broward County Line (NW 215 th Street and NW 27 th Avenue) to the MIC.

- c: Monica D. Cejas, P.E., Senior Professional Engineer
- Gerald Bryan, Section Chief Service Planning and Scheduling
- Eric Zahn, Transit Planning Section Supervisor
- Jacqueline Carranza, Transit Planner 2

Route 27



Legend

Route 27

NW 207 St & 27 Ave/
Coconut Grove
Metrorail Station

Route 27A

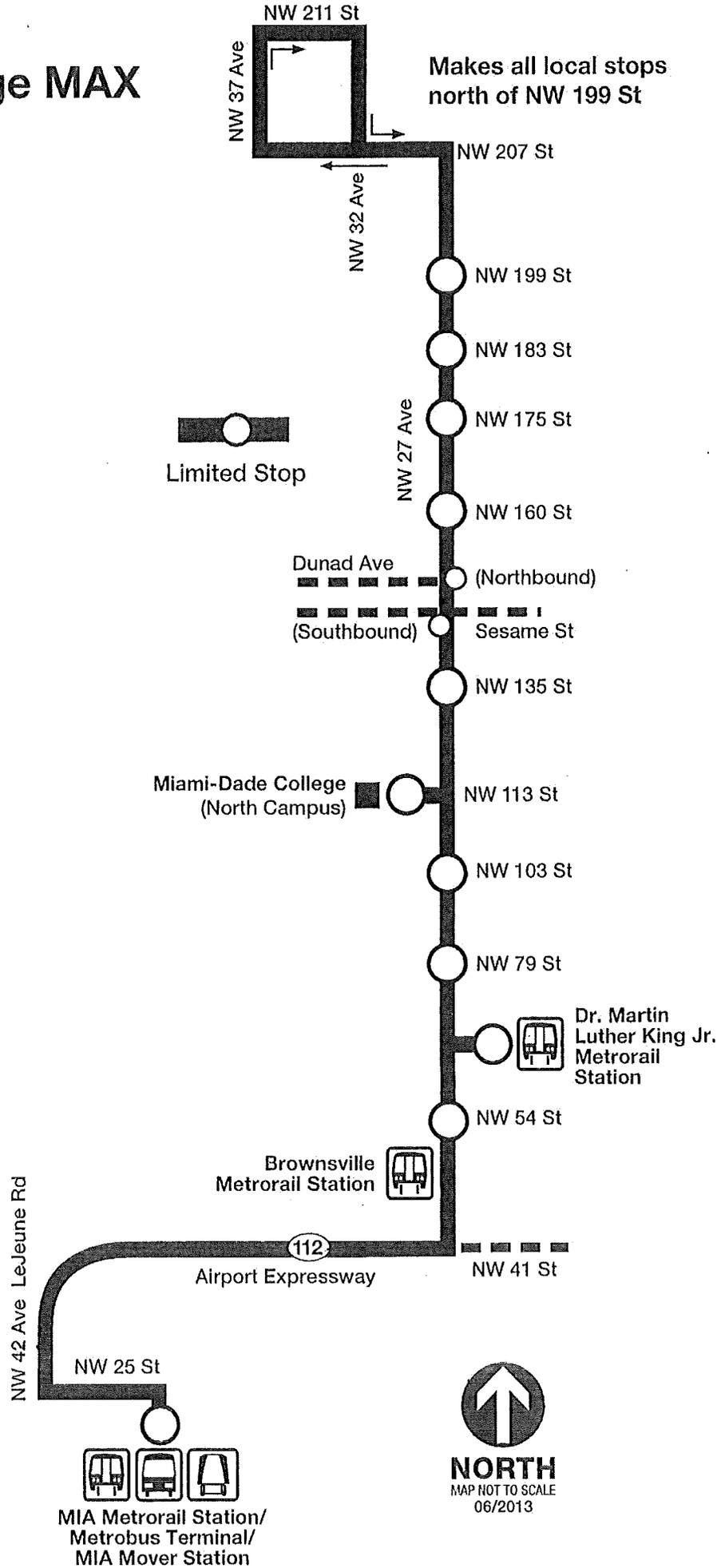
NW 211 St & 37 Ave/
Coconut Grove
Metrorail Station



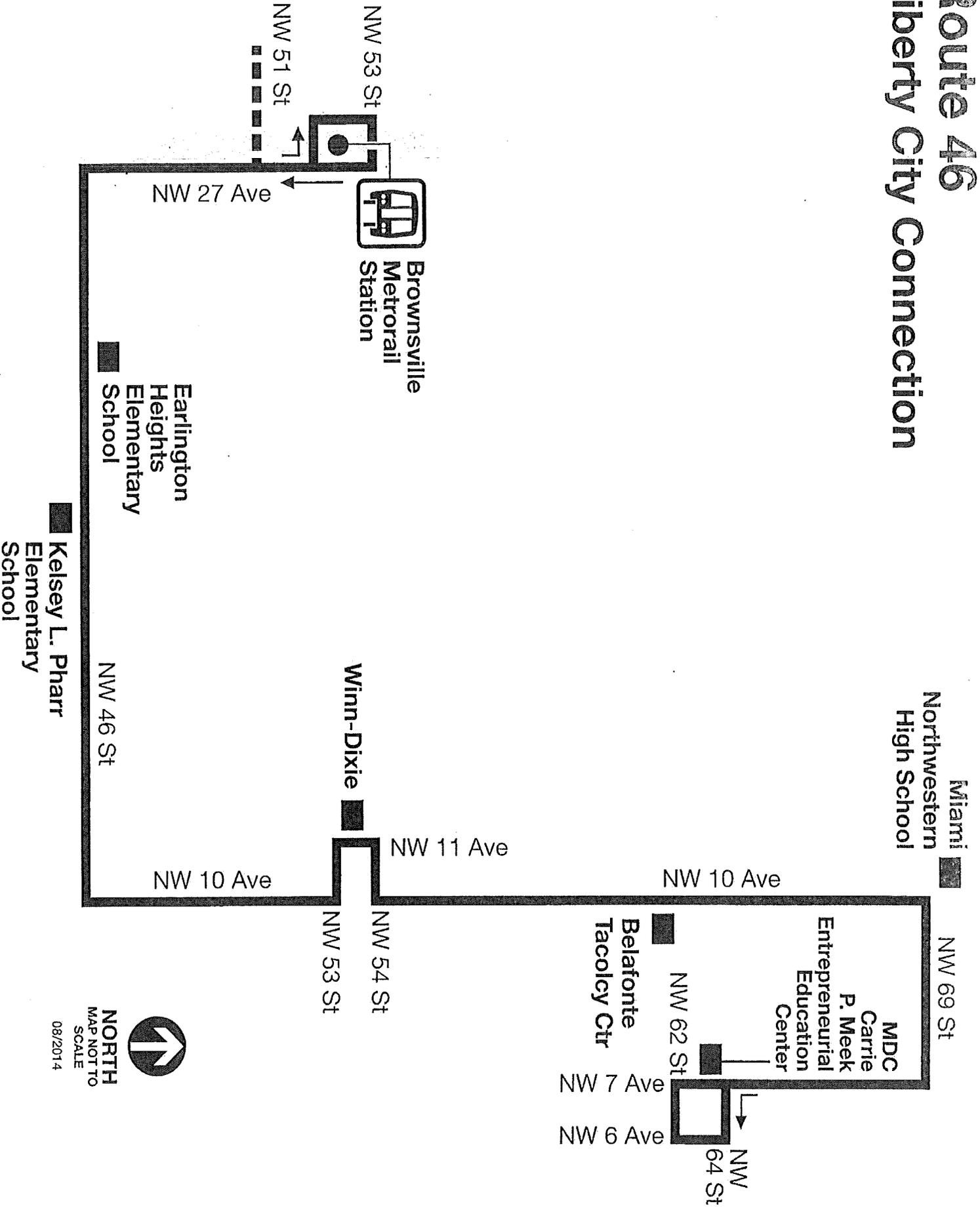
NORTH
MAP NOT TO SCALE
11.2011

Route 297

27th Avenue Orange MAX



Route 46 Liberty City Connection



NORTH
MAP NOT TO
SCALE
08/2014

Building and Neighborhood Compliance

ENFORCEMENT HISTORY

GIRALDO CASTELLON

LYING EAST OF NW 27 VE. NORTH OF NW 46 ST &
SOUTH OF NW 47 ST, AKA 4635 NW 27 AVE, 2625 &
2645 NW 46 ST & 2640 NW 47 ST; 4635 NW 27 AVE.
MIAMI-DADE COUNTY, FLORIDA

APPLICANT

ADDRESS

JULY 30, 2015

Z2014000141

DATE

HEARING NUMBER

REVIEW DATE OF CURRENT ENFORCEMENT HISTORY:

June 18, 2015

Neighborhood Regulations:

THERE ARE NO CURRENT OPEN OR CLOSED CASES

BUILDING SUPPORT REGULATIONS:

THERE ARE NO CURRENT OPEN OR CLOSED CASES

VIOLATOR:

GIRALDO CASTELLON

OUTSTANDING LIENS AND FINES:

As of June 18, 2015, there are no Outstanding Liens, Fees, or Fines



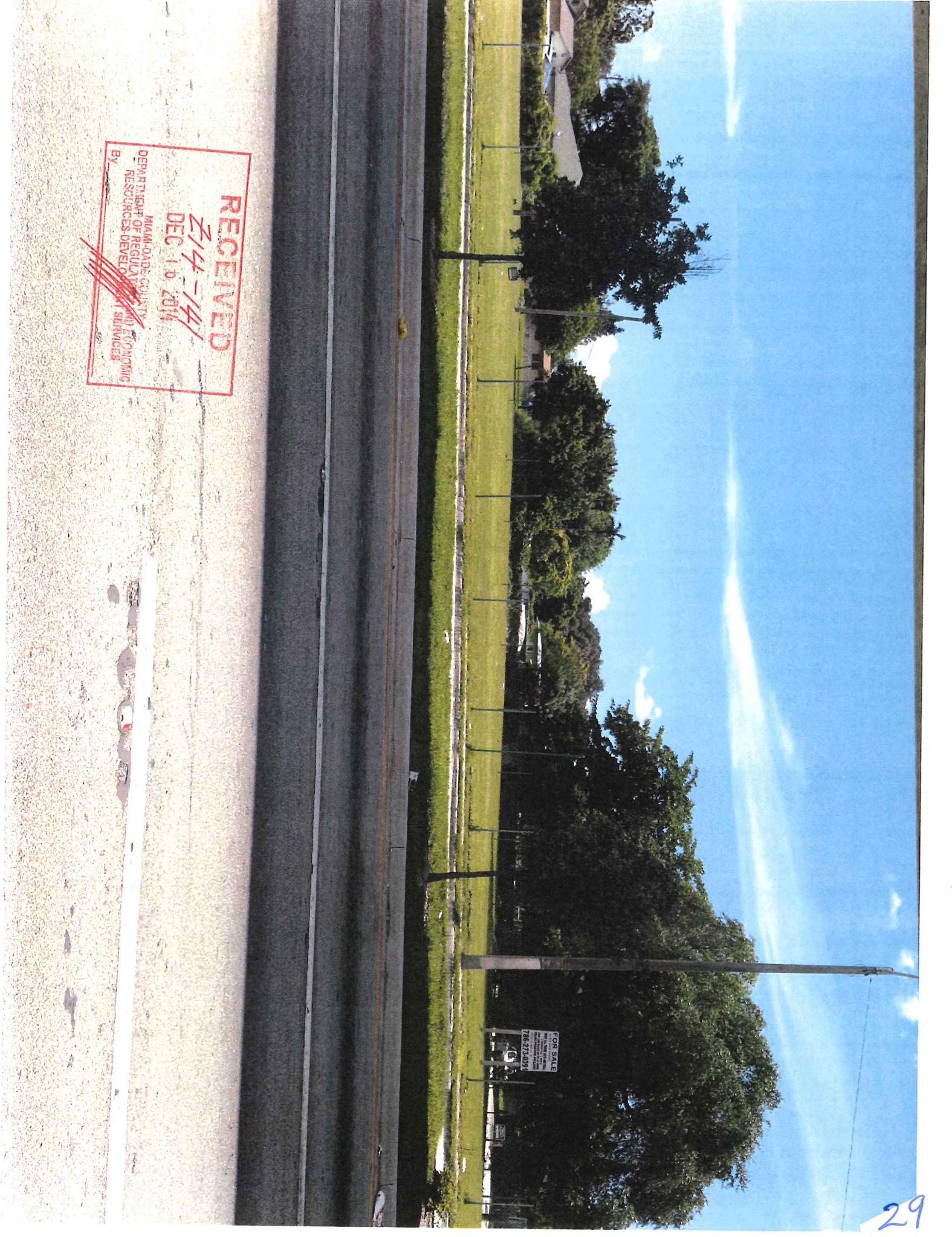
RECEIVED
2/4-14/
DEC 16 2014
MILWAUKEE COUNTY
DEPARTMENT OF REGULATORY AND ECONOMIC
RESOURCES DEVELOPMENT SERVICES
By _____

RECEIVED
2/14-14/
DEC 16 2014
MIAMI-DADE COUNTY
DEPARTMENT OF REGULATORY AND ECONOMIC
RESOURCES DEVELOPMENT SERVICES
BY

Millan

FOR SALE
706-272-4391

RECEIVED
 2/14-14
 DEC 16 2014
 MIAMI-DADE COUNTY
 DEPARTMENT OF REGULATORY AND ECONOMIC
 RESOURCES DEVELOPMENT SERVICES
 By: *[Signature]*



FOR SALE
 Call Bob
 786-373-0893

DISCLOSURE OF INTEREST*

If a CORPORATION owns or leases the subject property, list principal stockholders and percent of stock owned by each. [Note: Where principal officers or stockholders consist of other corporation(s), trust(s), partnership(s) or other similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

CORPORATION NAME: _____

<u>NAME AND ADDRESS</u>	<u>Percentage of Stock</u>
_____	_____
_____	_____
SEE ATTACHED	_____
_____	_____

If a TRUST or ESTATE owns or leases the subject property, list the trust beneficiaries and the percent of interest held by each. [Note: Where beneficiaries are other than natural persons, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

TRUST/ESTATE NAME _____

<u>NAME AND ADDRESS</u>	<u>Percentage of Interest</u>
_____	_____
_____	_____
_____	_____
_____	_____

If a PARTNERSHIP owns or leases the subject property, list the principals including general and limited partners. [Note: Where the partner(s) consist of another partnership(s), corporation(s), trust(s) or other similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

PARTNERSHIP OR LIMITED PARTNERSHIP NAME: _____

<u>NAME AND ADDRESS</u>	<u>Percentage of Ownership</u>
_____	_____
_____	_____
_____	_____
_____	_____



If there is a CONTRACT FOR PURCHASE, by a Corporation, Trust or Partnership list purchasers below, including principal officers, stockholders, beneficiaries or partners. [Note: Where principal officers, stockholders, beneficiaries or partners consist of other corporations, trusts, partnerships or other similar entities, further disclosure shall be made to identify natural persons having the ultimate ownership interests].

NAME OF PURCHASER: Boos Development Group, Inc.

NAME, ADDRESS AND OFFICE (if applicable)

Percentage of Interest

Robert D. Boos
Robert B. Boos
5789 NW 151st St. Ste. B
Miami Lakes, FL 33014

50%
50%

Date of contract: 12/7/2012

If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership or trust.



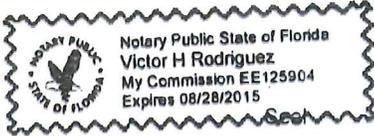
NOTICE: For any changes of ownership or changes in purchase contracts after the date of the application, but prior to the date of final public hearing, a supplemental disclosure of interest is required.

The above is a full disclosure of all parties of interest in this application to the best of my knowledge and belief.

Signature [Signature] Giraldo Castellon
(Applicant) (Print Applicant name)

Sworn to and subscribed before me this 8th day of August, 20 14. Affiant is personally know to me or has produced _____ as identification.

[Signature]
(Notary Public)



My commission expires: 8/28/15

*Disclosure shall not be required of: 1) any entity, the equity interests in which are regularly traded on an established securities market in the United States or another country; or 2) pension funds or pension trusts of more than five thousand (5,000) ownership interests; or 3) any entity where ownership interests are held in a partnership, corporation or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership and where no one (1) person or entity holds more than a total of five per cent (5%) of the ownership interest in the partnership, corporation or trust. Entities whose ownership interests are held in a partnership, corporation, or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership, shall only be required to disclose those ownership interest which exceed five (5) percent of the ownership interest in the partnership, corporation or trust.

RECEIVED
 214-441
 APR 27 2015
 MIAMI-DADE COUNTY
 DEPARTMENT OF REGULATORY AND ECONOMIC
 RESOURCES DEVELOPMENT SERVICES
 By: _____

**NW 47TH STREET
 2 LANES UNDIVIDED**

EXIST. 10' UTILITY EASEMENT
 O.R.B. 167, PAGE 72

**NW 27th AVENUE / S.R. 9
 4 LANES DIVIDED**

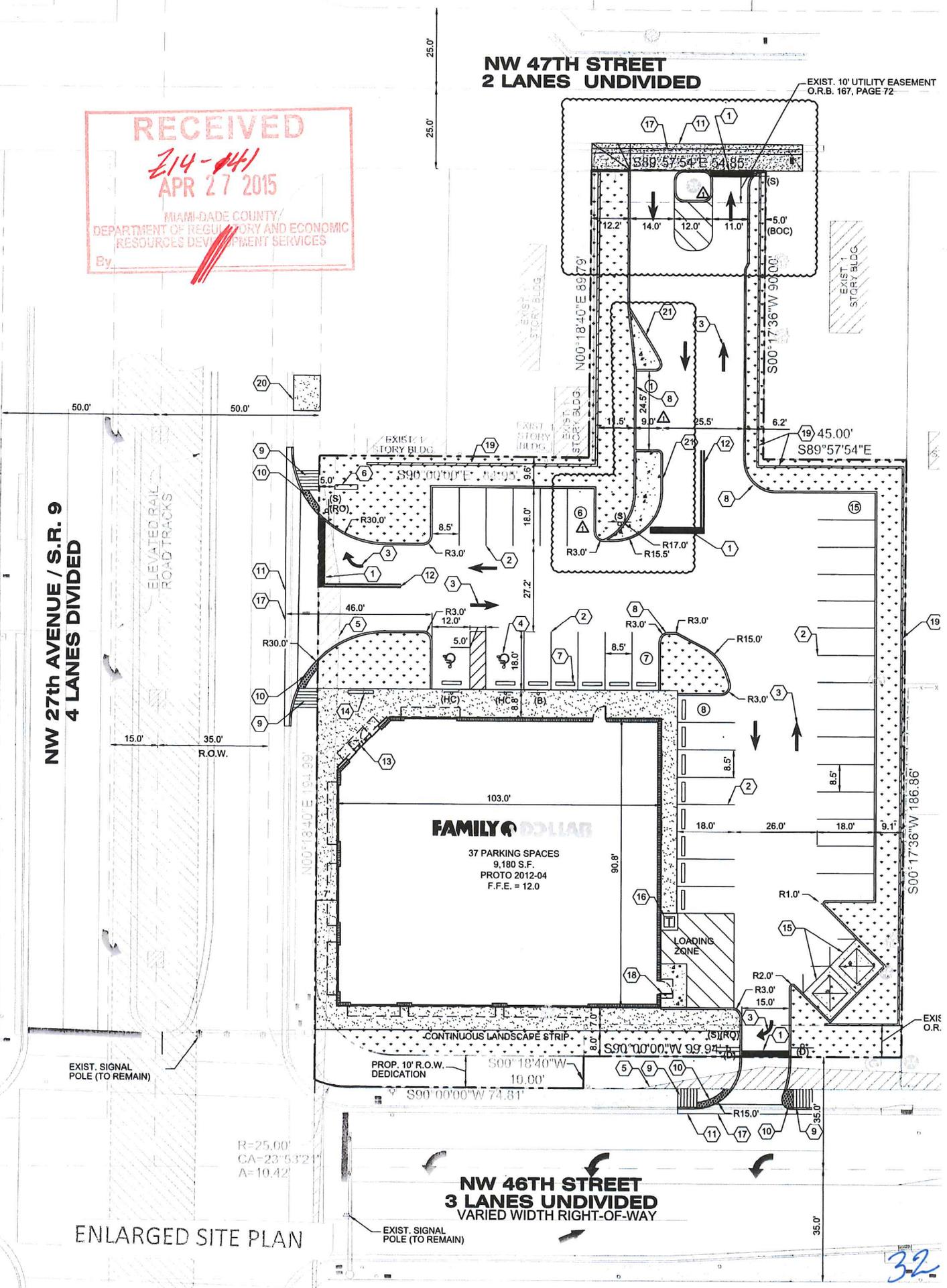
ELEVATED RAIL
 ROAD TRACKS

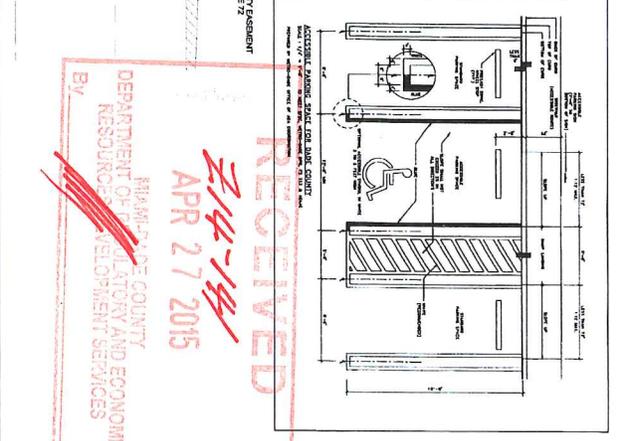
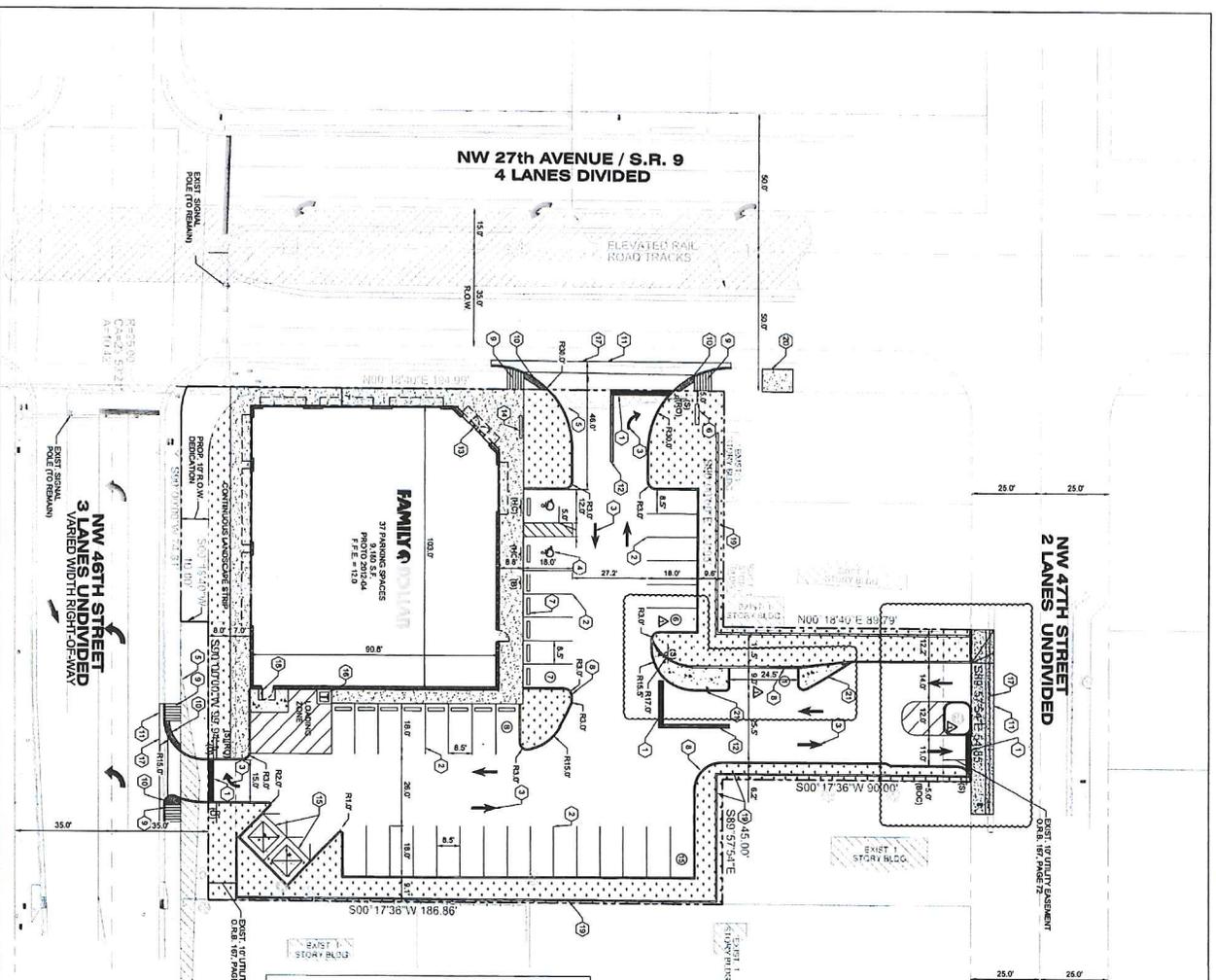
FAMILY DOLLAR
 37 PARKING SPACES
 9,180 S.F.
 PROTO 2012-04
 F.F.E. = 12.0

**NW 46TH STREET
 3 LANES UNDIVIDED
 VARIED WIDTH RIGHT-OF-WAY**

ENLARGED SITE PLAN

32





ITEM	QUANTITY	PROPOSED
PAVING MATERIAL	1,180 SF / 1,231 AC	
CONCRETE	1,180 SF / 1,231 AC	
ASPHALT	1,180 SF / 1,231 AC	
GRASS	1,180 SF / 1,231 AC	
LANDSCAPING	1,180 SF / 1,231 AC	
STAIRS	1,180 SF / 1,231 AC	
RAILINGS	1,180 SF / 1,231 AC	
LANDSCAPING	1,180 SF / 1,231 AC	
PAVING MATERIAL	1,180 SF / 1,231 AC	
CONCRETE	1,180 SF / 1,231 AC	
ASPHALT	1,180 SF / 1,231 AC	
GRASS	1,180 SF / 1,231 AC	
LANDSCAPING	1,180 SF / 1,231 AC	

GENERAL SITE NOTES

1. FOR LOCAL REGULATORY ADOPTION, SEE THE CITY OF MIAMI.
2. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MIAMI.
3. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MIAMI.
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11. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MIAMI.
12. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MIAMI.

LEGAL DESCRIPTION

THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MIAMI.

RECEIVED
 APR 27 2015
 MIAMI-DADE COUNTY
 DEPARTMENT OF PLANNING AND ECONOMIC DEVELOPMENT
 BY

PAVING LEGEND

PROPOSED CONCRETE ASPHALT
 EXISTING CONCRETE ASPHALT
 PROPOSED HEAVY PORT CONCRETE
 PROPOSED LANDSCAPING

GENERAL SITE NOTES

1. FOR LOCAL REGULATORY ADOPTION, SEE THE CITY OF MIAMI.
2. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MIAMI.
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11. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MIAMI.
12. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MIAMI.

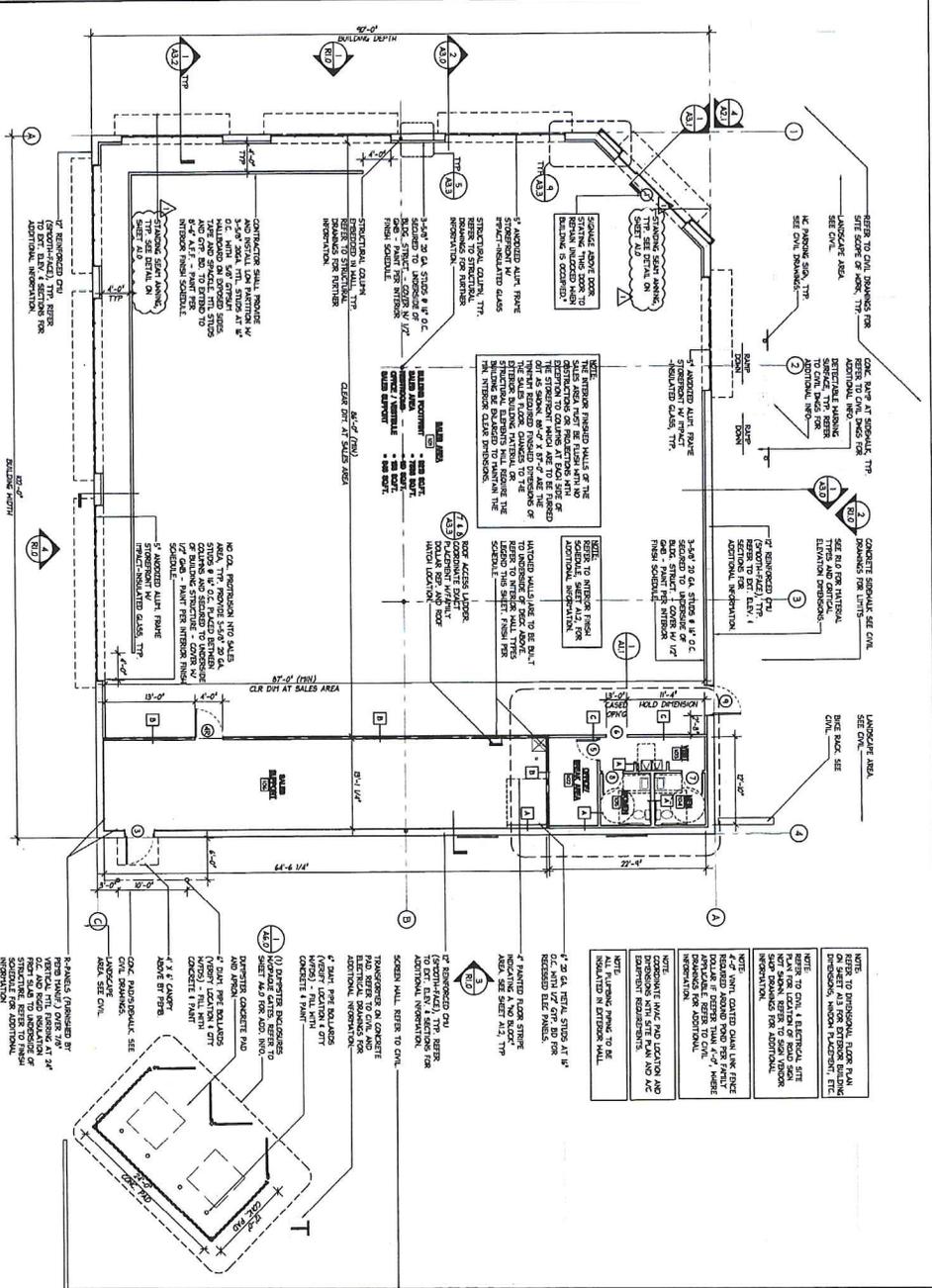
LEGAL DESCRIPTION

THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MIAMI.

DEVELOPER:
 BOOS INC.
 13151 SW 13th Street
 Miami Lakes, FL 33014
 P.O. Box 1000
 P.O. Box 1000
 P.O. Box 1000

CONSULTANT:
 GPH
 10000 SW 15th Street
 Miami, FL 33187
 Phone: 305-555-1234
 Fax: 305-555-1234

DATE: JANUARY 13, 2015
SHEET NUMBER: S1
COMMENTS:



INTERIOR WALL TYPES

- TYPE 1: 1/2" GYP BOARD OVER 1/2" GYP BOARD OVER 1/2" GYP BOARD (FLOORING & FINISHES TO BE SUPPLIED BY CONTRACTOR)
- TYPE 2: 1/2" GYP BOARD OVER 1/2" GYP BOARD OVER 1/2" GYP BOARD (FLOORING & FINISHES TO BE SUPPLIED BY CONTRACTOR)
- TYPE 3: 1/2" GYP BOARD OVER 1/2" GYP BOARD OVER 1/2" GYP BOARD (FLOORING & FINISHES TO BE SUPPLIED BY CONTRACTOR)
- TYPE 4: 1/2" GYP BOARD OVER 1/2" GYP BOARD OVER 1/2" GYP BOARD (FLOORING & FINISHES TO BE SUPPLIED BY CONTRACTOR)
- TYPE 5: 1/2" GYP BOARD OVER 1/2" GYP BOARD OVER 1/2" GYP BOARD (FLOORING & FINISHES TO BE SUPPLIED BY CONTRACTOR)
- TYPE 6: 1/2" GYP BOARD OVER 1/2" GYP BOARD OVER 1/2" GYP BOARD (FLOORING & FINISHES TO BE SUPPLIED BY CONTRACTOR)
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- TYPE 9: 1/2" GYP BOARD OVER 1/2" GYP BOARD OVER 1/2" GYP BOARD (FLOORING & FINISHES TO BE SUPPLIED BY CONTRACTOR)
- TYPE 10: 1/2" GYP BOARD OVER 1/2" GYP BOARD OVER 1/2" GYP BOARD (FLOORING & FINISHES TO BE SUPPLIED BY CONTRACTOR)
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- TYPE 14: 1/2" GYP BOARD OVER 1/2" GYP BOARD OVER 1/2" GYP BOARD (FLOORING & FINISHES TO BE SUPPLIED BY CONTRACTOR)
- TYPE 15: 1/2" GYP BOARD OVER 1/2" GYP BOARD OVER 1/2" GYP BOARD (FLOORING & FINISHES TO BE SUPPLIED BY CONTRACTOR)
- TYPE 16: 1/2" GYP BOARD OVER 1/2" GYP BOARD OVER 1/2" GYP BOARD (FLOORING & FINISHES TO BE SUPPLIED BY CONTRACTOR)
- TYPE 17: 1/2" GYP BOARD OVER 1/2" GYP BOARD OVER 1/2" GYP BOARD (FLOORING & FINISHES TO BE SUPPLIED BY CONTRACTOR)
- TYPE 18: 1/2" GYP BOARD OVER 1/2" GYP BOARD OVER 1/2" GYP BOARD (FLOORING & FINISHES TO BE SUPPLIED BY CONTRACTOR)
- TYPE 19: 1/2" GYP BOARD OVER 1/2" GYP BOARD OVER 1/2" GYP BOARD (FLOORING & FINISHES TO BE SUPPLIED BY CONTRACTOR)
- TYPE 20: 1/2" GYP BOARD OVER 1/2" GYP BOARD OVER 1/2" GYP BOARD (FLOORING & FINISHES TO BE SUPPLIED BY CONTRACTOR)

FLOOR PLAN



SCALE = 1/8" = 1'-0"

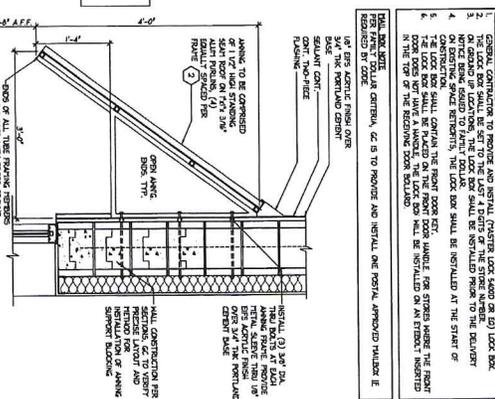


DIMENSIONAL SUBMITTAL TO FAMILY DOLLAR

CONTRACTOR SHALL USE THE DIMENSIONAL SUBMITTAL TO FAMILY DOLLAR SHEET FOR THE PERIODS OF DIMENSIONAL AS-BUILT SUBMITTAL TO FAMILY DOLLAR AS REQUIRED FOR REVISIONS.

CONTRACTOR'S RESPONSIBILITY: CONTRACTOR SHALL BE RESPONSIBLE FOR THE DIMENSIONAL SUBMITTAL TO FAMILY DOLLAR SHEET. THE DIMENSIONAL SUBMITTAL TO FAMILY DOLLAR SHEET SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL. THE DIMENSIONAL SUBMITTAL TO FAMILY DOLLAR SHEET SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL. THE DIMENSIONAL SUBMITTAL TO FAMILY DOLLAR SHEET SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL.

1. CONTRACTOR SHALL BE RESPONSIBLE FOR THE DIMENSIONAL SUBMITTAL TO FAMILY DOLLAR SHEET.
2. THE DIMENSIONAL SUBMITTAL TO FAMILY DOLLAR SHEET SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL.
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AWNING DETAIL

SCALE = 1/8" = 1'-0"

CONTRACTOR SHALL BE RESPONSIBLE FOR THE DIMENSIONAL SUBMITTAL TO FAMILY DOLLAR SHEET.

RECEIVED

DATE: 2/26/15

BY: [Signature]

FAMILY DOLLAR

NW 46TH ST & NW 27TH AVE.
MIAMI, FLORIDA

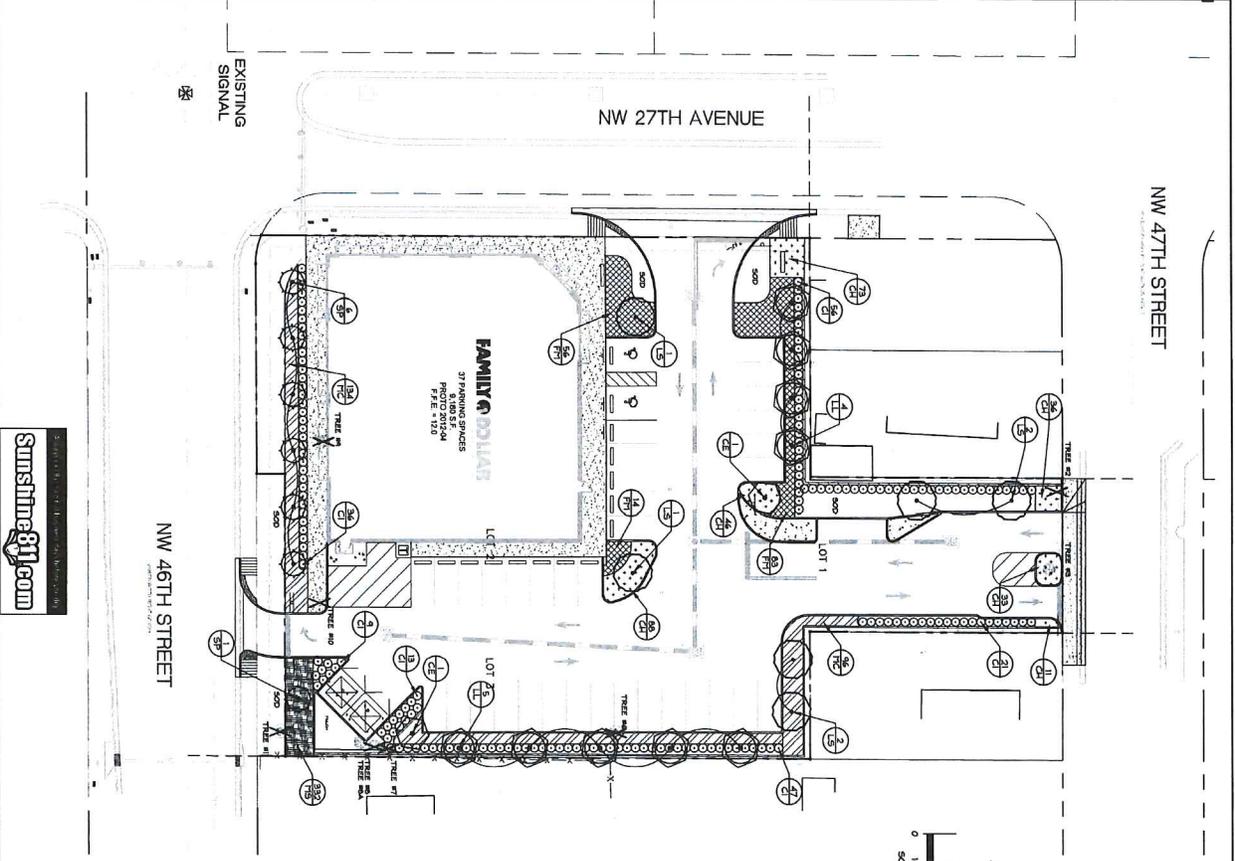
PROJECT: 1BD PROTOTYPE #2014-01

REVISIONS PER DEPARTMENT SERVICES DIVISION

NO.	DATE	REVISION DESCRIPTIONS
1	12.15.14	
2		

BOOS

3336 Grand Blvd, Suite 201
Miami, FL 33133
Tel: 772.815.3337



sunshinestg.com

LANDSCAPE LEGEND

Zone: District: MDCD, Net Lot Area: .96 ac, 40,348 square feet

REQUIRED PROVIDED

OPEN SPACE

A. Square feet of open space required by Chapter 23, as indicated on site plan: 6455.88 6926.54
 Net lot area = 40,348 square feet * .16% = 6455.88 square feet

B. Square feet of landscaped open space required by Chapter 23A, as indicated on site plan: 370
 The number of parking spaces = 37 * 10 square feet per parking space = 370

C. Total square feet of landscaped open space required by Chapter 23 - A + B = 6825.88 7296.54

LAWN AREA CALCULATION

A. Total square feet of landscaped open space required by Chapter 23 = 6455.88
 B. Maximum lawn area (St. Augustine 201) permitted = 20% * 6455.88 square feet = 1291.13 0

TREES

A. The number of trees required per net lot acre has the existing number of trees that meet minimum requirements (min) ()
 = 21 trees per lot to average = one tree per 1920 sq ft

B. 50% plant trees allowed (two plants = one tree) Plants provided = 3
 C. Shortage of trees = 18 trees (21 - 3) = 18 trees
 D. Shortage of trees average spacing of 35' o.c. = 18
 E. Shortage of trees average spacing of 25' o.c. = 23
 F. Pines as street trees (max. average spacing 25' o.c.): 5
 G. Street trees located directly beneath power lines (maximum average spacing of 25' o.c.): n/a
 H. Linear feet along street = 25 * 5 = 125
 I. Total number of trees provided = 5 5

SHRUBS

A. The total number of trees required * 1.0 = the number of shrubs required = 21
 B. The number of shrubs required * 20% = the number of native shrubs required = 4
 C. Total number of shrubs provided = 21 21

Required by Chapter 23 Auto irrigation: x, or none provided

TREE SPECIES	QUANTITY	REMARKS	COMMENTS	DESCRIPTION	
1. Live Oak	20	125'	5'	Good	REMAIN
2. Live Oak	20	125'	5'	Good	REMAIN
3. Live Oak	11	50'	11'	Good	REMAIN
4. Live Oak	12	50'	12'	Good	REMAIN
5. Live Oak	21	50'	21'	Good	REMAIN
6. Live Oak	21	50'	21'	Good	REMAIN
7. Live Oak	17	100'	17'	Good	REMAIN
8. Live Oak	41	100'	41'	Good	REMAIN
9. Live Oak	24	100'	24'	Good	REMAIN
10. Live Oak	30	100'	30'	Good	REMAIN
11. Live Oak	24	100'	24'	Good	REMAIN
TOTAL	623				

*Pending permission to remove by utility agencies

PLANT LIST

TREE	COMMON NAME	BOTANICAL NAME	DESCRIPTION	QTY	NATIVE TREE CATEGORY	AREA
1	SILVER BIRCH	BETULA PULVERULA	48 CAL., 2" DIA., 12' HIN. HT.	2	YES	SHADE TREE 2 1,600 SQ. FT.
2	FLORIDA YACON	DIOSCOREA BATATA-ROSA	24 CAL., 2" DIA., 12' HIN. HT.	2	YES	SHADE TREE 2 1,600 SQ. FT.
3	FLORIDA YACON	DIOSCOREA BATATA-ROSA	24 CAL., 2" DIA., 12' HIN. HT.	2	YES	SHADE TREE 2 1,600 SQ. FT.
4	FLORIDA YACON	DIOSCOREA BATATA-ROSA	24 CAL., 2" DIA., 12' HIN. HT.	2	YES	SHADE TREE 2 1,600 SQ. FT.
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11	FLORIDA YACON	DIOSCOREA BATATA-ROSA	24 CAL., 2" DIA., 12' HIN. HT.	2	YES	SHADE TREE 2 1,600 SQ. FT.
TOTAL CANOPY REPLACEMENT AREA PROVIDED = 4,000 SQ. FT.						

REVISIONS:

DATE: OCTOBER 1, 2014

JOB NUMBER: B1127

LANDSCAPE PLAN

COMMENTS:

DEVELOPER: BOOS

CONSULTANT: gph

1535 15th St. SW, Suite 1100
 Atlanta, GA 30335
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 Fax: 404.525.1101
 www.gph.com

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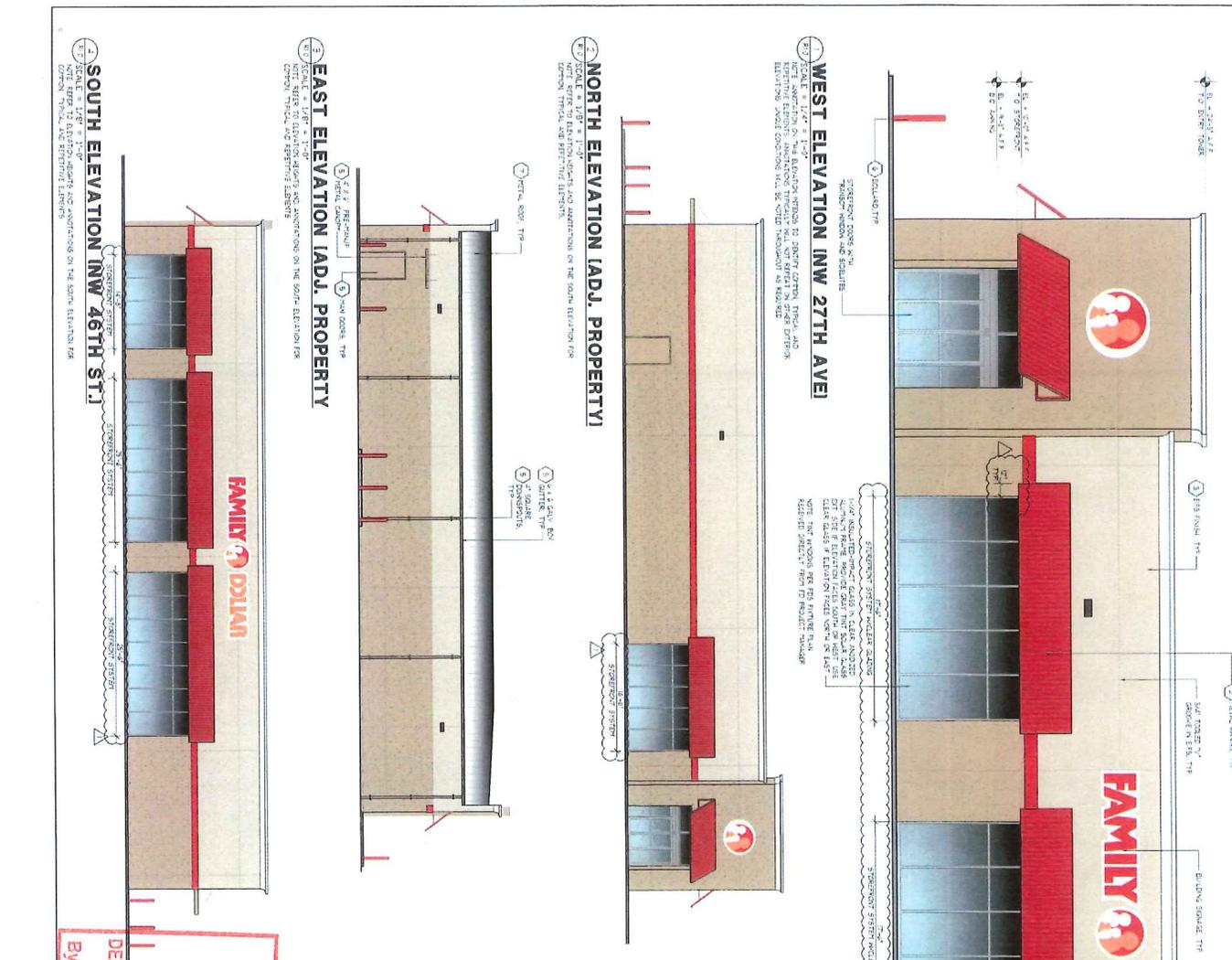
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35

APR 27 2015
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 DEPARTMENT OF PLANNING AND ECONOMIC DEVELOPMENT SERVICES



EXTERIOR FINISH SCHEDULE

NO.	AREA	TYPE	COATS	COLOR
1	FRONT ENTRANCE PORTAL	FRONT ENTRANCE PORTAL	1	WHITE
2	STANDING SEAT BENCH AND WALL	FRONT ENTRANCE PORTAL	1	WHITE
3	FRONT ENTRANCE PORTAL	FRONT ENTRANCE PORTAL	1	WHITE
4	FRONT ENTRANCE PORTAL	FRONT ENTRANCE PORTAL	1	WHITE
5	FRONT ENTRANCE PORTAL	FRONT ENTRANCE PORTAL	1	WHITE
6	FRONT ENTRANCE PORTAL	FRONT ENTRANCE PORTAL	1	WHITE
7	FRONT ENTRANCE PORTAL	FRONT ENTRANCE PORTAL	1	WHITE
8	FRONT ENTRANCE PORTAL	FRONT ENTRANCE PORTAL	1	WHITE

RECEIVED
JAN 14 2015

DEPARTMENT OF REGULATORY AND ECONOMIC RESOURCES DEVELOPMENT SERVICES

RECEIVED
JAN 14 2015

DEPARTMENT OF REGULATORY AND ECONOMIC RESOURCES DEVELOPMENT SERVICES

RECEIVED
JAN 14 2015

FAMILY DOLLAR

NW 46TH ST & NW 27TH AVE.
MIAMI, FLORIDA

PROJECT * TBD PROTOTYPE * 2014-01

RECEIVED
JAN 14 2015

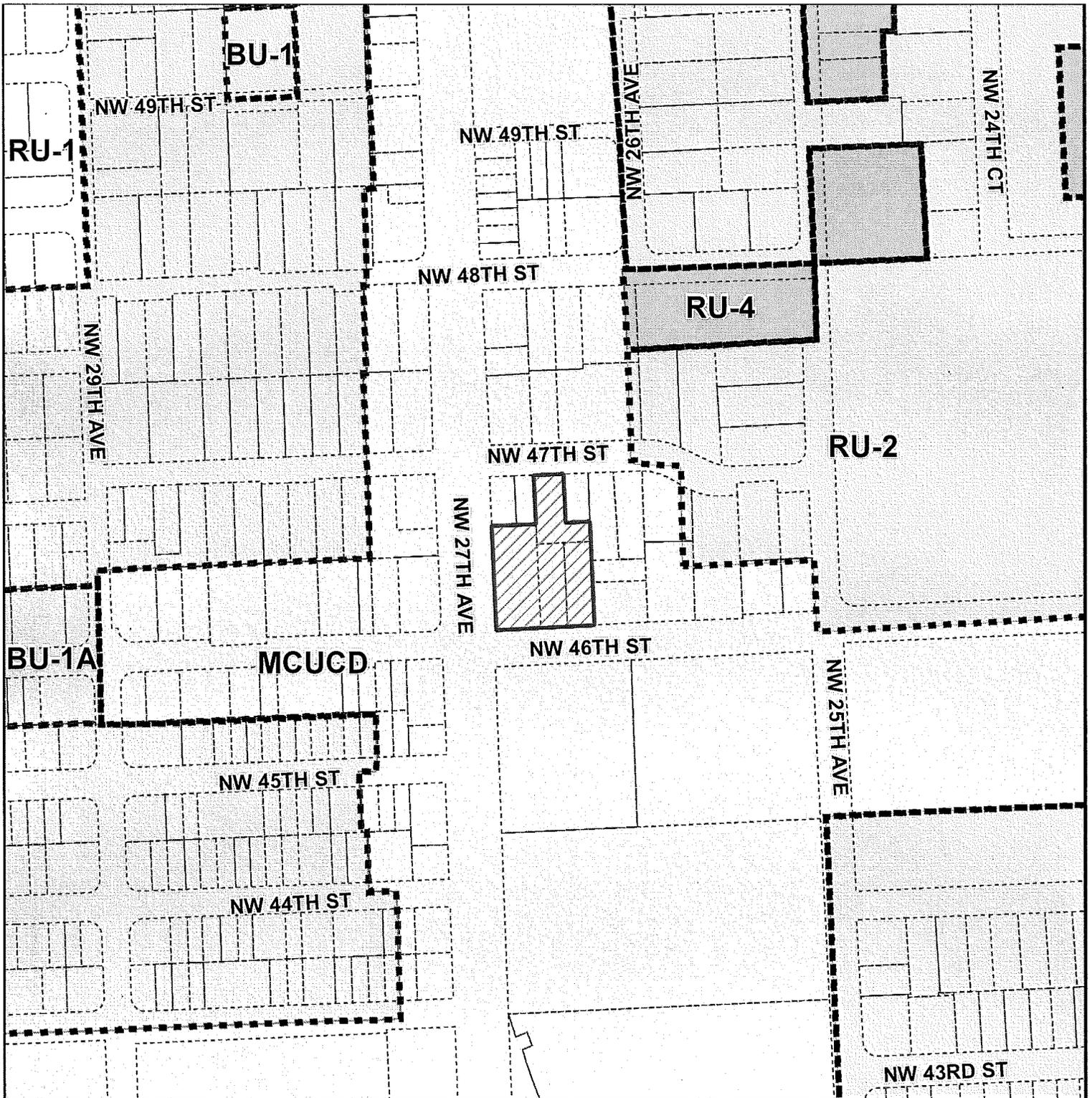
RECEIVED
JAN 14 2015

FAMILY DOLLAR

NW 46TH ST & NW 27TH AVE.
MIAMI, FLORIDA

PROJECT * TBD PROTOTYPE * 2014-01

RECEIVED
JAN 14 2015



MIAMI-DADE COUNTY
HEARING MAP

Process Number

Z2014000141

Legend

-  Subject Property Case
-  Zoning



Section: 22 Township: 53 Range: 41
 Applicant: GIRALDO CASTELLON, PRE-APP Z15-P004
 Zoning Board: C8
 Commission District: 3
 Drafter ID: E.CESPEDES
 Scale: NTS



SKETCH CREATED ON: Wednesday, December 31, 2014

REVISION	DATE	BY
		38



MIAMI-DADE COUNTY
AERIAL YEAR 2014

Process Number
Z2014000141

Legend
 **Subject Property**



Section: 22 Township: 53 Range: 41
Applicant: GIRALDO CASTELLON, PRE-APP Z15-P004
Zoning Board: C8
Commission District: 3
Drafter ID: E.CESPEDES
Scale: NTS



SKETCH CREATED ON: Wednesday, December 31, 2014

REVISION	DATE	BY
		39



MIAMI-DADE COUNTY
RADIUS MAP

Section: 22 Township: 53 Range: 41
 Applicant: GIRALDO CASTELLON, PRE-APP Z15-P004
 Zoning Board: C8
 Commission District: 3
 Drafter ID: E.CESPEDES
 Scale: NTS

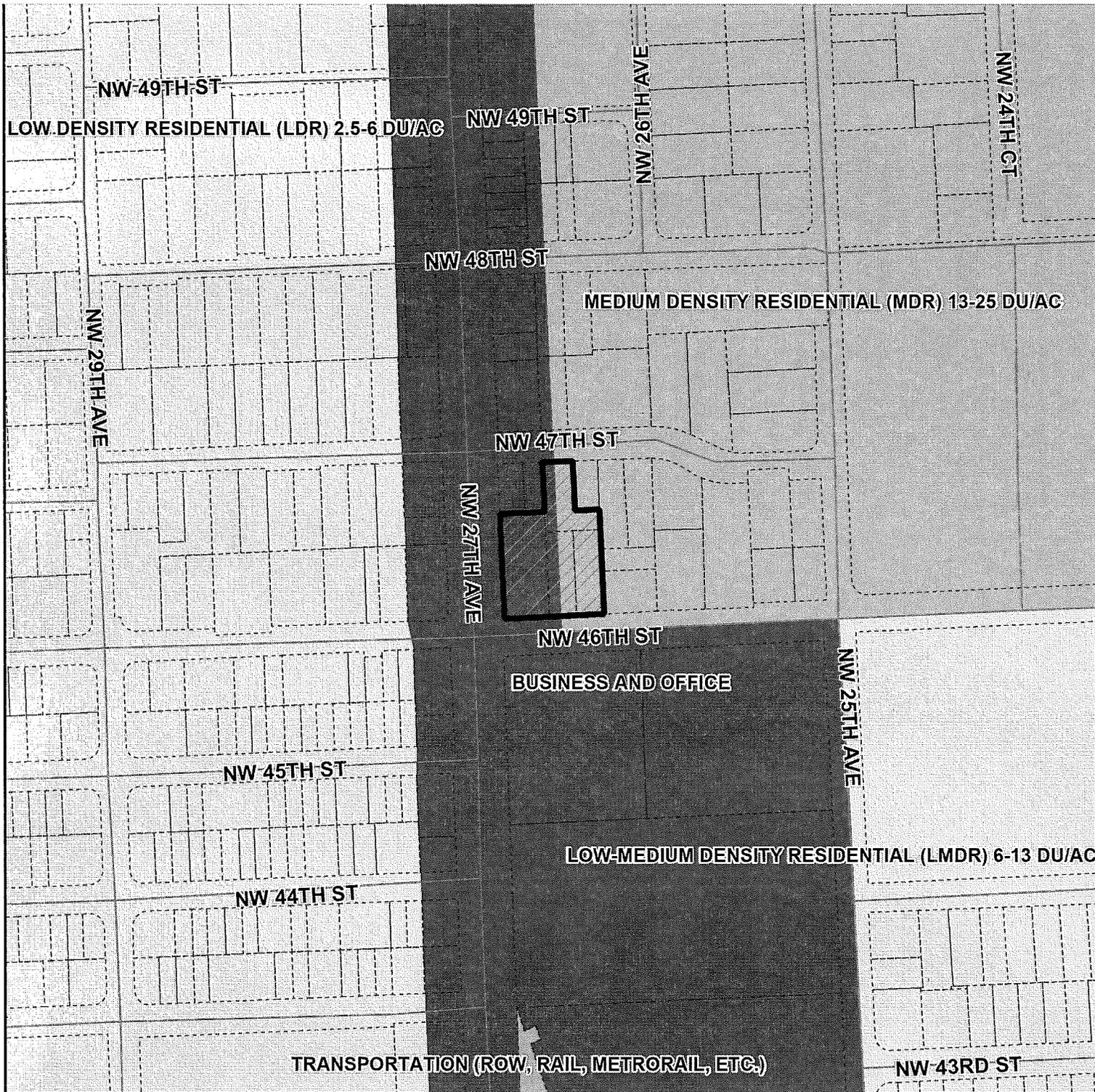
Process Number
Z2014000141
 RADIUS: 500

- Legend**
-  Subject Property
 -  Buffer
 -  Property Boundaries



SKETCH CREATED ON: Thursday, January 22, 2015

REVISION	DATE	BY
		40



MIAMI-DADE COUNTY

CDMP MAP

Process Number

Z2014000141

Legend

 Subject Property Case



Section: 22 Township: 53 Range: 41
 Applicant: GIRALDO CASTELLON, PRE-APP Z15-P004
 Zoning Board: C8
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