

FINAL AGENDA

12-21-2012 Version # 1



COMMUNITY ZONING APPEALS BOARD 14
SOUTH DADE GOVERNMENT CENTER-ROOM 203 (OLD BUILDING)
10710 SW 211 Street, Miami
Tuesday, December 18, 2012 at 6:00 p.m.

CURRENT

1. 12-12-C14-1 TOWER DEVELOPMENT CORP. 12-65 33-56-38 N



Official Zoning Agenda

COMMUNITY ZONING APPEALS BOARD

COMMUNITY ZONING APPEALS BOARD - AREA 14

MEETING OF TUESDAY, DECEMBER 18, 2012

SOUTH DADE GOVERNMENT CENTER – ROOM 203 (OLD BUILDING)

10710 SW 211 STREET, MIAMI, FLORIDA

NOTICE: THE FOLLOWING HEARINGS ARE SCHEDULED FOR 6:00 P.M., AND

ALL PARTIES SHOULD BE PRESENT AT THAT TIME

ANY PERSON MAKING IMPERTINENT OR SLANDEROUS REMARKS OR WHO BECOMES BOISTEROUS WHILE ADDRESSING THE COMMUNITY ZONING APPEALS BOARD SHALL BE BARRED FROM FURTHER AUDIENCE BEFORE THE COMMUNITY ZONING APPEALS BOARD BY THE PRESIDING OFFICER, UNLESS PERMISSION TO CONTINUE OR AGAIN ADDRESS THE BOARD BE GRANTED BY THE MAJORITY VOTE OF THE BOARD MEMBERS PRESENT.

NO CLAPPING, APPLAUDING, HECKLING OR VERBAL OUTBURSTS IN SUPPORT OR OPPOSITION TO A SPEAKER OR HIS OR HER REMARKS SHALL BE PERMITTED. NO SIGNS OR PLACARDS SHALL BE ALLOWED IN THE MEETING ROOM. PERSONS EXITING THE MEETING ROOM SHALL DO SO QUIETLY.

THE USE OF CELL PHONES IN THE MEETING ROOM IS NOT PERMITTED. RINGERS MUST BE SET TO SILENT MODE TO AVOID DISRUPTION OF PROCEEDINGS. INDIVIDUALS, INCLUDING THOSE ON THE DAIS, MUST EXIT THE MEETING ROOM TO ANSWER INCOMING CELL PHONE CALLS. COUNTY EMPLOYEES MAY NOT USE CELL PHONE CAMERAS OR TAKE DIGITAL PICTURES FROM THEIR POSITIONS ON THE DAIS.

THE NUMBER OF FILED PROTESTS AND WAIVERS ON EACH APPLICATION WILL BE READ INTO THE RECORD AT THE TIME OF HEARING AS EACH APPLICATION IS READ.

THOSE ITEMS NOT HEARD PRIOR TO THE ENDING TIME FOR THIS MEETING, WILL BE DEFERRED TO THE NEXT AVAILABLE ZONING HEARING MEETING DATE FOR THIS BOARD.

SWEARING IN OF WITNESSES

by the CZAB, a CZAB decision may be directly appealable to the Board of County Commissioners (BCC) or may be subject to challenge in Circuit Court. Challenges asserted in Circuit Court, where available, must ordinarily be filed within 30 days of the transmittal of the pertinent CZAB resolution to the Clerk of the BCC. Appeals to the BCC, where available, must be filed with the Zoning Hearing Section of the Department of Regulatory and Economic Resources (RER), or its successor Department, within 14 days after RER has posted a short, concise statement (such as that furnished above for the listed items) that sets forth the action that was taken by the CZAB. (RER's posting will be made on a bulletin board located in the office of RER.) All other applicable requirements imposed by rule, ordinance, or other law must also be observed when filing or otherwise pursuing any challenge to a CZAB decision.

Further information regarding options and methods for challenging a CZAB decision may be obtained from sources that include, but are not limited to, the following: Sections 33-312, 33-313, 33-314, 33-316, and 33-317 of the Code of Metropolitan Dade County, Florida; the Florida Rules of Appellate Procedure; and the Municode website (www.municode.com). Miami-Dade County does not provide legal advice regarding potential avenues and methods for appealing or otherwise challenging CZAB decisions; however, a licensed attorney may be able to provide assistance and legal advice regarding any potential challenge or appeal.

**Miami-Dade County Department of Regulatory and Economic Resources
Staff Report to Community Council No. 14**

PH: Z12-065 (12-12-CZ14-1)

December 18, 2012

Item No. 1

Recommendation Summary	
Commission District	8
Applicant	Tower Development Corp.
Summary of Requests	The applicants are seeking to permit a 195' high wireless supported facility and non-use variances of setback and landscape requirements.
Location	SW 264 th Street, 420' E of SW 217 th Ave, Miami-Dade County, Florida.
Property Size	9.89 acres
Existing Zoning	AU
Existing Land Use	Row crops, Agriculture Use
2015-2025 CDMP Land Use Designation	Agriculture (see attached Zoning Recommendation Addendum)
Comprehensive Plan Consistency	Consistent with interpretative text, goals, objectives and policies of the CDMP
Applicable Zoning Code Section(s)	Section 33-311(A)(18), Special Exceptions, Unusual Uses and New uses, Section 33-311(A)(4)(b) Non-Use Variances From Other Than Airport Regulations (<i>see attached Zoning Recommendation Addendum</i>)
Recommendation	Deferral.

REQUESTS:

- (1) UNUSUAL USE to permit a 195' high Wireless Supported Service Facility (cellular tower) and ancillary equipment.
- (2) NON-USE VARIANCE to permit the proposed tower to setback 35'-2" from the interior side (east) property line and setback 136'-0" from the (north) property line (216'-8" required from both property lines).
- (3) NON-USE VARIANCE of landscape requirements to permit 9 lot trees (263 lot trees required).
- (4) NON-USE VARIANCE of landscape requirements to permit 120 shrubs (2630 shrubs required).

Plans are on file and may be examined in the Department of Regulatory and Economic Resources entitled "JFSP Site" as prepared by Morrison Hershfield and dated stamped received 5/7/12 and consisting of 10 sheets. Plans may be modified at public hearing.

PROJECT DESCRIPTION: The site plan submitted by the applicant depicts the proposed 195' high monopole antenna structure and ancillary facilities.

NEIGHBORHOOD CHARACTERISTICS		
	Zoning and Existing Use	Land Use Designation
Subject Property	AU; vacant	Agriculture
North	GU; single-family residence	Agriculture

South	AU; row crops	Agriculture
East	AU; row crops	Agriculture
West	AU; row crops	Agriculture

NEIGHBORHOOD COMPATIBILITY:

The subject property is surrounded on four (4) sides by parcels currently used for agricultural cultivation. Also, the subject property is located east of and outside the Urban Development Boundary (UDB).

SUMMARY OF THE IMPACTS:

The approval of this application will allow the applicant to provide additional wireless coverage in this area of the County. However, approval of the 195' high antenna structure with less setback and less landscaping than required could have a visual impact on the surrounding areas.

COMPREHENSIVE DEVELOPMENT MASTER PLAN ANALYSIS:

The subject property is located 420 feet east of SW 217 Avenue along SW 264 Street, and is designated as **Agriculture** on the Comprehensive Development Master Plan (CDMP) Adopted 2015-2025 Land Use Plan (LUP) map. Additionally, said property is west of and outside the UDB. The CDMP interpretative text for the Agriculture land use category, states that *the principal uses in this area should be agriculture, uses ancillary to and directly supportive of agriculture and farm residences.* The CDMP Land Use Element interpretative text also states *that uses ancillary to, and necessary to support the rural residential community of the agricultural area may also be approved, and that other uses, including utility uses compatible with agriculture and the rural agricultural community may be approved in the Agriculture area only if deemed to be a public necessity, or if deemed to be in the public interest and the applicant demonstrates that no suitable site for the use exists outside the Agriculture area.*

The applicant has submitted documentation to explain why the proposed tower, would serve the needs of the rural agricultural community. The applicant has indicated in the letter of intent that the proposed tower is necessary to provide service providers continuous coverage in an area where capacity is lacking and will enhance emergency 911 services in the area, ensuring calls made in cases of emergency are delivered to the emergency service agencies. Staff notes that functional wireless coverage of agricultural areas is vital for ensuring notification to the appropriate response personnel so that they can arrive in time to adequately address the emergency. As such, staff opines that satisfactory wireless coverage is in the public interest. Furthermore, Section 365.172(12) of the Florida Statutes, expressly identifies "the public need for reliable E911 services through reliable wireless systems" and makes the adequate provision of telecommunication access to emergency services in all locales a statewide priority. Additionally, the applicant has provided coverage maps which indicate that the proposed site addresses a specific coverage gap in this area of the County that could not be served if the proposed tower were located elsewhere.

According to the coverage maps provided, these gaps in coverage represent holes in the network required for the emergency services referenced in the aforementioned State statute. The current network does not provide reliable wireless systems to public safety agencies. Staff

opines that approval of this application would address these gaps in coverage thereby meeting the public need and addressing the public interest. The letter of intent submitted by the applicant also indicates that no suitable site for the use that will serve the applicable coverage gap area exists outside the Agriculture area.

Staff opines that the aforementioned information adequately explains the public need and the public interest for locating the proposed utility outside the UDB in an area designated Agriculture on the CDMP LUP map. Further, in staff's opinion, the applicant has provided staff with sufficient information to indicate that there were no other sites within the UDB, outside of the Agriculture area that would address the coverage gaps indicated in the propagation maps submitted by the applicant. In addition, staff notes that the plans submitted by the applicant indicate that only 4,900 sq. ft. of the 9.89 acre parcel, will be used for the proposed wireless facility and the remaining approximately 98.8% of the parcel will remain available for agricultural uses which will be **compatible** with the agricultural uses allowed on the properties to the south, east and west.

ZONING ANALYSIS:

The applicant has submitted a letter of intent requesting an unusual use to permit the proposed 195' high wireless tower facility. Additionally, the applicant has submitted plans showing the location of the proposed tower facility to setback 136' from the front (north) property line and setback 35'-2" from the interior side (east) property line (216'-8" setback required from all property lines). Additionally, the applicant has provided 9 of the required 263 lot trees, and 120 shrubs (2630 shrubs required).

In order to analyze the applicant's request for an unusual use to permit a 195' high wireless support antenna facility (request #1) under Section 33-311(A)(3)(a) (Wireless Supported Service Facilities, including Antenna Support Structures), the applicant is required to demonstrate that the proposed site will cure interference problems or the lack of wireless service coverage or capacity in the area intended to be served by the proposed Wireless Supported Service Facility. The applicant has provided staff with propagation maps that demonstrate a lack of service coverage or capacity in this area.

When request #2 to permit the proposed wireless support facility setback 136' from the front (north) property line and setback 35'-2" from the interior side (east) property line (216'-8" setback required from all property lines) is analyzed under Section 33-311(A)(4)(b) Non-Use Variances From Other Than Airport Regulations, staff is of the opinion that the applicant has enough land to locate the proposed tower to meet all setback requirements. Furthermore, the proposed tower is substantially taller than any other structure in the vicinity and the proposed 136' setback from the front setback area is directly across from a parcel of land with an agriculture use and a single-family residence.

When requests #3 and #4 pertaining to the lot trees and number of shrubs on the parcel are similarly analyzed under Section 33-311(A)(4)(b) Non-Use Variances, staff notes that the subject property is zoned AU and that approximately 98.8% of the parcel will still remain available for agricultural production. As such, staff opines that the requested reduction of the landscaping requirements will not be out of character with the predominant agricultural production that is proposed on the remainder of the subject parcel as well as ongoing agricultural production on the abutting parcels to the south, north, east and west.

Notwithstanding the forgoing, staff is requesting additional information from the Miami-Dade Aviation Department and the Miami-Dade County's Information Technology Department (ITD),

which is the department that reviews technical data for cellular towers. As such, staff opines this application needs to be deferred with leave to amend to allow for the review and possible request for additional information.

ACCESS, CIRCULATION AND PARKING: The submitted site plans indicate a two (2) way access drive from SW 264 Street for the proposed wireless tower and support facilities located on the northeast corner of the subject property. Additionally, the plans indicate that the site will have adequate parking on site for the service vehicles.

NEIGHBORHOOD SERVICES PROVIDER REVIEW: See attached.

OTHER: Not applicable.

RECOMMENDATION: Deferral.

CONDITIONS FOR APPROVAL: None.

ES:MW:NN:CH:JC



Eric Silva, AICP, Assistant Director
Development Services Division
Miami-Dade County
Regulatory and Economic Resources Department

NDW

ZONING RECOMMENDATION ADDENDUM

Tower Development Corp.
PH: Z12-065

NEIGHBORHOOD SERVICES PROVIDER COMMENTS	
<i>Environmental Division (Regulatory and Economic Resources)</i>	<i>No objection*</i>
<i>Public Works and Waste Management</i>	<i>No objection</i>
<i>Parks</i>	<i>No objection</i>
<i>Fire Rescue</i>	<i>No objection</i>
<i>Aviation</i>	<i>No objection*</i>
<i>Information Technology</i>	<i>No objection</i>
<i>Schools</i>	<i>No objection</i>
<i>*Subject to conditions in their memorandum.</i>	

COMPREHENSIVE DEVELOPMENT MASTER PLAN (CDMP) OBJECTIVES, POLICIES AND INTERPRETATIVE TEXT

<p>Agriculture (Pg. I-58)</p>	<p><i>The area designated as "Agriculture" contains the best agricultural land remaining in Miami-Dade County. As stated in the Miami-Dade County Strategic Plan, approved in 2003 by the Board of County Commissioners, protection of viable agriculture is a priority. The principal uses in this area should be agriculture, uses ancillary to and directly supportive of agriculture and farm residences. Uses ancillary to and directly supportive of agriculture are defined as those uses related to preserving, processing, packaging or selling of agricultural products from Florida, and farm supplies, as well as sales and service of farm machinery and implements, subject to the requirements of Chapter 24 of the County Code. Uses ancillary to, and necessary to support the rural residential community of the agricultural area may also be approved, including houses of worship; however, schools shall not be approved in Agriculture areas but should be located inside the UDB in accordance with Policy EDU-2.A.</i></p> <p><i>In order to protect the agricultural industry, uses incompatible with agriculture, and uses and facilities that support or encourage urban development are not allowed in this area. Residential development that occurs in this area is allowed at a density of no more than one unit per five acres. Creation of new parcels smaller than five acres for residential use may be approved in the Agriculture area only if the immediate area surrounding the subject parcel on three or more contiguous sides is predominately and lawfully parcelized in a similar manner, and if a division of the subject parcel would not precipitate additional land division in the area. No business or industrial use should be approved in the area designated Agriculture unless the use is directly supportive of local agricultural production, and is located on an existing arterial roadway, and has adequate water supply and sewage disposal in accordance with Chapter 24 of the County Code, and the development order specifies the approved use(s); however, packing houses for produce grown in Florida are not restricted to locating on an arterial roadway. Other uses including utility uses compatible with agriculture and with the rural residential character may be approved in the Agriculture area only if deemed to be a public necessity, or if deemed to be in the public interest and the applicant demonstrates that no suitable site for the use exists outside the Agriculture area. Existing quarrying and ancillary uses in the Agriculture area may continue operation and be considered for approval of expansion.</i></p>
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ZONING RECOMMENDATION ADDENDUM

Tower Development Corp.
PH: Z12-065

PERTINENT ZONING REQUIREMENTS/STANDARDS

**Section 33-311(A)(3)(a)
Special Exception,
Unusual and New
Uses.**

*Special exceptions (for all applications other than public charter schools), unusual and new uses. Hear application for and grant or deny special exceptions, except applications for public charter schools; that is, those exceptions permitted by the regulations only upon approval after public hearing, new uses and **unusual uses** which by the regulations are only permitted upon approval after public hearing; provided the applied for exception or use, including exception for site or plot plan approval, in the opinion of the Community Zoning Appeals Board, would not have an unfavorable effect on the economy of Miami-Dade County, Florida, would not generate or result in excessive noise or traffic, cause undue or excessive burden on public facilities, including water, sewer, solid waste disposal, recreation, transportation, streets, roads, highways or other such facilities which have been constructed or which are planned and budgeted for construction, are accessible by private or public roads, streets or highways, tend to create a fire or other equally or greater dangerous hazards, or provoke excessive overcrowding or concentration of people or population, when considering the necessity for and reasonableness of such applied for exception or use in relation to the present and future development of the area concerned and the compatibility of the applied for exception or use with such area and its development.*

*(a) Hear application for and grant or deny **unusual uses for Wireless Supported Service Facilities**, which by the regulations are only permitted upon approval after public hearing; provided the applied for use, in the opinion of the Community Zoning Appeals Board, would not have an unfavorable effect on the economy of Miami-Dade County, Florida, would not generate or result in excessive noise or traffic, cause undue or excessive burden on public facilities, including water, sewer, solid waste disposal, recreation, transportation, streets, roads, highways or other such facilities which have been constructed or which are planned and budgeted for construction, are accessible by private or public roads, streets or highways, tend to create a fire or other equally or greater dangerous hazards, or provoke excessive overcrowding or concentration of people or population, when considering the necessity for and reasonableness of such applied for use in relation to the present and future development of the area concerned and the compatibility of the applied for use with such area and its development, provided that:*

i. The applicant shall demonstrate that the proposed Wireless Supported Service Facility will cure:

- a. signal interference problems; or*
- b. the applicant's lack of wireless service coverage or capacity in the area intended to be served by the proposed Wireless Supported Service Facility*

ii. The applicant shall provide information to permit independent verification of factual data relied upon by the applicant to establish 3(a)(i) above, including, but not limited to the following:

- a. the purpose for the proposed Wireless Supported Service Facility; and*
- b. the following technical data for the proposed Wireless Supported Service Facility and for each existing, authorized, pending and proposed adjacent facility:*

- i. site name or other reference;*
- ii. facility latitude and longitude;*
- iii. site elevation;*
- iv. for each antenna at each of the included facilities:*
 - 1. height of antenna radiation center;*
 - 2. antenna type and manufacturer;*
 - 3. maximum effective radiated output power, including the maximum total power radiated from all channels;*
 - 4. azimuth of main antenna lobe; and*

ZONING RECOMMENDATION ADDENDUM

Tower Development Corp.

PH: Z12-065

	<p><i>5. beam tilt and null-fill of each antenna.</i></p> <p><i>c. a complete up- and down-link power budget for the proposed Wireless Supported Service Facility, including any differences that may exist with the power budgets of the adjacent facilities, to ensure that all of the gain and loss factors used by the applicant are included in a verification analysis.</i></p> <p><i>d. complete descriptions of methodology, formulas, data presented in appropriate parameter data units (e.g., Erlangs, Watts, dBm, ft.), existing traffic studies and trend analyses if the proposed facility is intended to cure a lack of capacity, and any other information necessary for an independent engineer to verify statements concerning signal interference or lack of capacity or coverage; and</i></p> <p><i>e. identification of any equipment that differs from industry standards.</i></p> <p><i>iii. that the applicant shall reimburse the department for fees charged to the department for independent verification of factual data relied upon by the applicant, as required pursuant to paragraph 3 a ii above.</i></p>
<p>Section 33-311(A)(4)(b) Non-Use Variances From Other Than Airport Regulations.</p>	<p><i>Upon appeal or direct application in specific cases, the Board shall hear and grant applications for non-use variances from the terms of the zoning and subdivision regulations and may grant a non-use variance upon a showing by the applicant that the non-use variance maintains the basic intent and purpose of the zoning, subdivision and other land use regulations, which is to protect the general welfare of the public, particularly as it affects the stability and appearance of the community and provided that the non-use variance will be otherwise compatible with the surrounding land uses and would not be detrimental to the community. No showing of unnecessary hardship to the land is required.</i></p>

1. TOWER DEVELOPMENT, CORP.
(Applicant)

12-12-CZ14-1 (12-065)
Area 14/District 08
Hearing Date: 12/18/12

Property Owner (if different from applicant) **VERNA TALARICO**

Is there an option to purchase /lease the property predicated on the approval of the zoning request? Yes No

Disclosure of interest form attached? Yes No

Previous Zoning Hearings on the Property:

<u>Year</u>	<u>Applicant</u>	<u>Request</u>	<u>Board</u>	<u>Decision</u>
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NO HISTORY

Action taken today does not constitute a final development order, and one or more concurrency determinations will subsequently be required. Provisional determinations or listings of needed facilities made in association with this Initial Development Order shall not be binding with regard to future decisions to approve or deny an Intermediate or Final Development Order on any grounds.

Memorandum 

Date: June 1, 2012
To: Jack Osterholt, Director
Department of Regulatory and Economic Resources
From: Jose Gonzalez, P.E., Assistant Director
Department of Regulatory and Economic Resources



Subject: #Z2012000065
Tower Development Corp.
SW 264th Street and East of SW 217th Avenue
Unusual Use and Special Exception to Permit a High Monopole
Antenna
(AU) (9.89 Acres)
33-56-38

The subject application has been reviewed for compliance with the requirements of Chapter 24 of the Miami-Dade County Code (the Code) and meets the minimum requirements of the Code. Accordingly, the application may be scheduled for public hearing.

Stormwater Management

As this time the Department has no objection to the proposed site plan. However applicant is advised that any future development greater than 2.0 acres of impervious area will required a Surface Water Standard General Permit for this site.

Stormwater shall be retained on site utilizing properly designed seepage or infiltration drainage system. Drainage plans shall provide for full on-site retention of the stormwater runoff generated by a 5-year / 1-day storm event.

Site grading and development plans shall comply with the requirements of Chapter 11C of the Code, as well as with all state and federal criteria, and shall not cause flooding of adjacent properties.

Any proposed development shall comply with county and federal flood criteria requirements. The proposed development order, if approved, will not result in a reduction in the LOS standards for flood protection set forth in the CDMP subject to compliance with the conditions required for this proposed development order.

Wetlands

The subject property does not contain wetlands as defined by Section 24-5 of the Code; therefore, a Class IV Wetland Permit will not be required.

Please be advised that the US Fish and Wildlife Service is the lead Federal Agency charged with the protection and conservation of Federal Trust Resources, such as threatened and endangered species and migratory birds, in accordance with Section 7 of the Endangered Species Act of 1973, as amended (ESA) (87 Stat. 884; 16 U.S.C. 1531 et seq.), the Bald and Golden Eagle Protection Act, (16 U.S.C. 668-668d) (Eagle Act), and the Migratory Bird Treaty Act (40 Stat. 755; 16 U.S.C. 701 et seq.). Included

in this mandate is the review of projects involving communication towers, therefore the applicant is advised to contact the United States Fish and Wildlife Services (850-539-1684) for more information.

Also, the applicant is advised that permits from the Army Corps of Engineers (305-526-7181), the Florida Department of Environmental Protection (561-681-6600) and the South Florida Water Management District (1-800-432-2045) may be required for the proposed project. It is the applicant's responsibility to contact these agencies.

Tree Preservation

There are no tree resources issues on the subject property.

Enforcement History

There are no open or closed enforcement records for violations of Chapter 24 of the Code for the subject property.

Concurrency Review Summary

A concurrency review has been conducted for this application and has determined that the same meets all applicable LOS standards for an initial development order, as specified in the adopted CDMP for potable water supply, wastewater disposal, and flood protection. Therefore, the application has been approved for concurrency subject to the comments and conditions contained herein.

This concurrency approval does not constitute a final concurrency statement and is valid only for this initial development order, as provided for in the adopted methodology for concurrency review. Additionally, this approval does not constitute any assurance that the LOS standards would be met by any subsequent development order applications concerning the subject property.

This memorandum shall constitute written approval as required by Chapter 24 of the Code.

If you have any questions concerning the comments or wish to discuss this matter further, please contact Christine Velazquez at (305) 372-6764.

cc: Eric Silva, Department of Regulatory and Economic Resources

PUBLIC WORKS DEPARTMENT COMMENTS

Applicant's Names: TOWER DEVELOPMENT CORP.

This Department has no objections to this application.

This land may require platting in accordance with Chapter 28 of the Miami-Dade County Code. Any and improvements required will be accomplished thru the recording of a plat.

This application does not generate any new additional daily peak hour trips, therefore no vehicle trips have been assigned. This application meets the traffic concurrency criteria set for an Initial Development Order.



Raul A Pino, P.L.S.

03-AUG-12

PUBLIC WORKS AND WASTE MANAGEMENT DEPARTMENT

DIC REVIEW #12-065
Tower Development Corporation

Application: *Tower Development Corporation* is requesting an unusual use variance for the construction of a telecommunications wireless facility, in the form of a one hundred ninety five (195') foot tall Monopole, to accommodate multiple service providers in an Agricultural (AU) zoned district.

Size: The subject property is approximately 9.89 acres. The lease parcel for development is .11 acres.

Location: The subject property is generally located on SW 264th Street/ Bauer Drive in Miami-Dade County, Florida.

Analysis:

1. Solid Waste Disposal

The Miami-Dade County Solid Waste Management System consists of both County facilities and private facilities under contract as follows: three Class I landfills (two owned by Waste Management Inc., of Florida) a Class III landfill, a Resources Recovery Facility waste to energy plant and associated ash monofill, and three regional transfer facilities. The Public Works and Waste Management Department (PWWM) does not assess or adjust estimated capacity requirements based on the impacts of individual developments. Instead, the Department maintains sufficient disposal capacity to accommodate five years of waste flows committed to the system through long-term interlocal agreements or contracts with municipalities and private waste haulers and anticipated non-committed waste flows. The latest Concurrency Status Determination issued on September 12, 2011, which is valid for one year, shows sufficient disposal system capacity to exceed the County's adopted level of service (five years of capacity). This determination, which is on file with the Sustainability, Planning and Economic Enhancement Department (formerly the Department of Planning and Zoning) is contingent upon the continued ability of the County to obtain and renew disposal facility operating permits from the Florida Department of Environmental Protection, as needed.

2. Garbage and Trash Collection Services

The unusual use variance for the construction of a telecommunications wireless facility, in the form of a one hundred ninety five (195') foot tall Monopole), will likely be considered development of a "commercial establishment". It is understood that a tower does not generate waste. However, if there is waste generated on the property, Chapter 15 of the Miami-Dade Code, entitled Solid Waste Management requires the following of commercial developments located in unincorporated Miami-Dade County:

"every commercial and multi-family residential establishment shall utilize the solid waste collection services of either the proper governmental agency able to provide such services, or that of a licensed solid waste hauler authorized to perform such services by the Director of the Department." Therefore, the landlord or property owner is required to contact a private hauler to provide waste and recycling collection service. The collected material will subsequently be disposed of at PWWM facilities.

3. Recycling: Commercial Establishments

The following language from **Section 15-2.3a** requires commercial establishments "to provide for a recycling program, which shall be serviced by a permitted hauler or the appropriate governmental agency. The recycling program for commercial establishments must include a minimum of three (3) materials chosen from the following:

- | | |
|----------------------------------|--|
| 1) High grade office paper | 6) Steel (cans, scrap) |
| 2) Mixed paper | 7) other metals/scrap production materials |
| 3) Corrugated cardboard | 8) Plastics (PETE, HDPE-natural, HDPE-colored) |
| 4) Glass (flint, emerald, amber) | 9) Textiles |
| 5) Aluminum (cans, scrap) | 10) Wood |

Section 15-2.3 states the failure of a commercial establishment to provide a recycling program or a modified recycling program pursuant to Section 15-2.4 hereof shall constitute a violation of this section for which the property owner and the owner(s) and operator(s) of the commercial establishment shall be jointly and severally liable.

4. Waste Storage/Setout Considerations

Section 15-4 of the Code requires that plans for storage and collection of solid waste be adequate before a building permit may be issued. Site plans must address location, accessibility, number and adequacy of solid waste collection and storage facilities. The site plan legend must contain the following statement: "Facilities for the collection and storage of solid waste are shown in accordance with Section 15-4 of the Miami-Dade County Code."

5. Site Circulation Considerations

It is required that development associated with this project ensure that either of the following criteria be present in project design plans and circulation operations to minimize the reversing of waste vehicles and hence, provide for the safe circulation of service vehicles:

- a. Cul-de-sac with a minimum 49 foot turning radius (no "dead-ends").
- b. "T" shaped turnaround 60 feet long by 10 feet wide.
- c. Paved throughway of adequate width (minimum 15 feet).

In addition, any and all alleyways designed with utilities, including waste collection, provided at the rear of the property should be planned in accordance with standard street specifications with sufficient width and turning radii to permit large vehicle access. Additionally, there should be no "dead-end" alleyways developed. Also, a sufficient waste set-out zone should be preserved (between the edge of the pavement and any possible obstructions such as parked cars, fencing, etc.,) that would interrupt or preclude waste collection. **The PWWM has no objections to the proposed application.**

Memorandum



Date: 05-JUL-12
To: Jack Osterholt, Director
 Department of Regulatory and Economic Resources
From: William W. Bryson, Fire Chief.
 Miami-Dade Fire Rescue Department
Subject: Z2012000065

Fire Prevention Unit:

No objection.

Service Impact/Demand

Development for the above Z2012000065 located at Lying South of SW 264 ST & East of Theo SW 217 AV, MIAMI-DADE COUNTY, FLORIDA. in Police Grid 2472 is proposed as the following:

<u>N/A</u> residential	dwelling units	<u>N/A</u> industrial	square feet
<u>370</u> Office	square feet	<u>N/A</u> institutional	square feet
<u>N/A</u> Retail	square feet	<u>N/A</u> nursing home/hospitals	square feet

Based on this development information, estimated service impact is: 0.09 alarms-annually. The estimated average travel time is: 11:02 minutes

Existing services

The Fire station responding to an alarm in the proposed development will be:
Station 60 - Redland - 17605 SW 248 Street
ALS Tanker

Planned Service Expansions:

The following stations/units are planned in the vicinity of this development:
None

Fire Planning Additional Comments

Service impact calculated based on site plan.

For information regarding the aforementioned comments, please contact the Miami-Dade Fire Rescue Department Planning Section at 786-331-4540.

Memorandum



Date: June 17, 2012

To: Jack Osterholt, Director
Regulatory and Economic Resources Department

From: Maria I. Nardi, Chief *M.I.N.*
Planning and Research Division
Parks, Recreation and Open Spaces Department

Subject: Z2012000065: TOWER DEVELOPMENT CORP

Application Name: TOWER DEVELOPMENT CORP

Project Location: The site is located south of SW 264 ST & East of theoretical SW 217 AV, Miami-Dade County.

Proposed Development: The applicant is requesting an unusual use to permit a 195' monopole antenna.

Impact and demand: This application will not generate any new residential population, and therefore the CDMP Open Space Spatial Standards do not apply.

We have no comments concerning impact or demand on existing County parks, proposed or budgeted service expansion, nor do we perform a concurrency review.

If you need additional information or clarification on this matter, please contact John Bowers at (305) 755-5447.

MN:jb

Cc: John M. Bowers

DATE: 18-JUN-12

BUILDING AND NEIGHBORHOOD
COMPLIANCE DEPARTMENT

ENFORCEMENT HISTORY OF VIOLATIONS OF CHAPTER 19 AND
CHAPTER 33 OF THE MIAMI-DADE COUNTY CODE

TOWER DEVELOPMENT CORP.

Lying South of SW 264 ST & East of
Theo SW 217 AV, MIAMI-DADE
COUNTY, FLORIDA.

APPLICANT

ADDRESS

Z2012000065

HEARING NUMBER

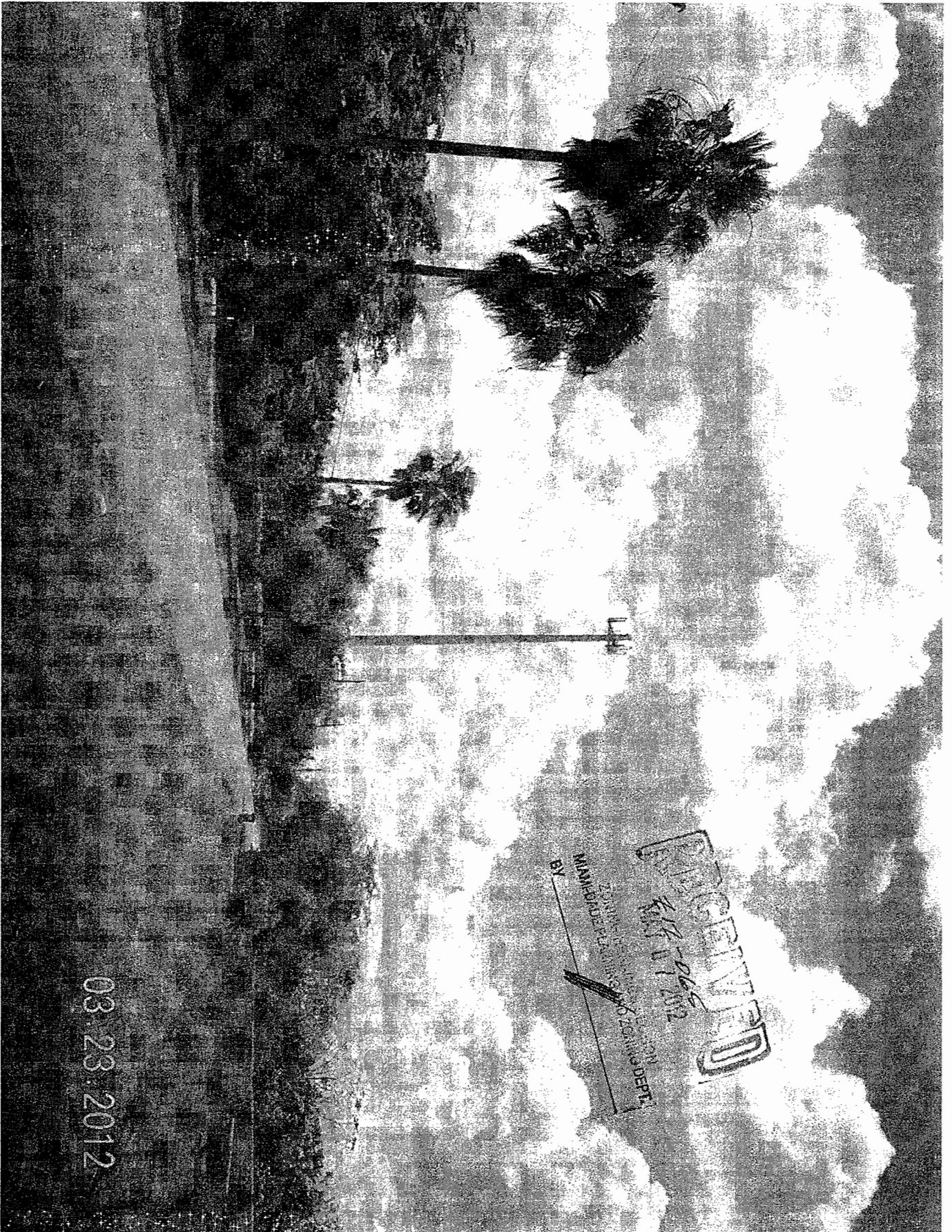
HISTORY:

THERE ARE NO CURRENT OPEN OR CLOSED NEIGHBORHOOD REGULATIONS CASES
OR BULDING SUPPORT CASES.

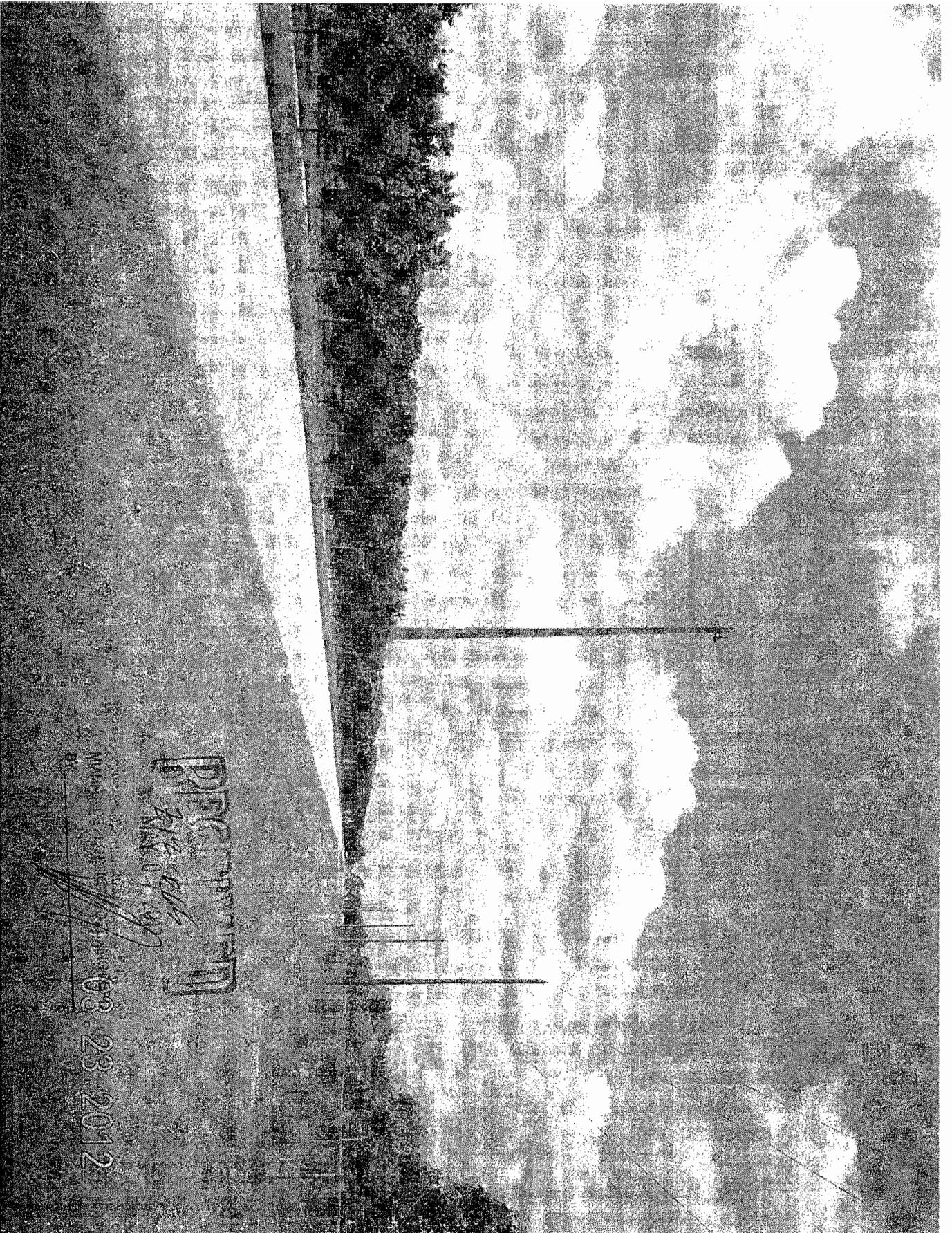
TOWER DEVELOPMENT CORP

**OUTSTANDING FINES, PENALTIES, COST OR LIENS
INCURRED PURSUANT TO CHAPTER 8CC:**

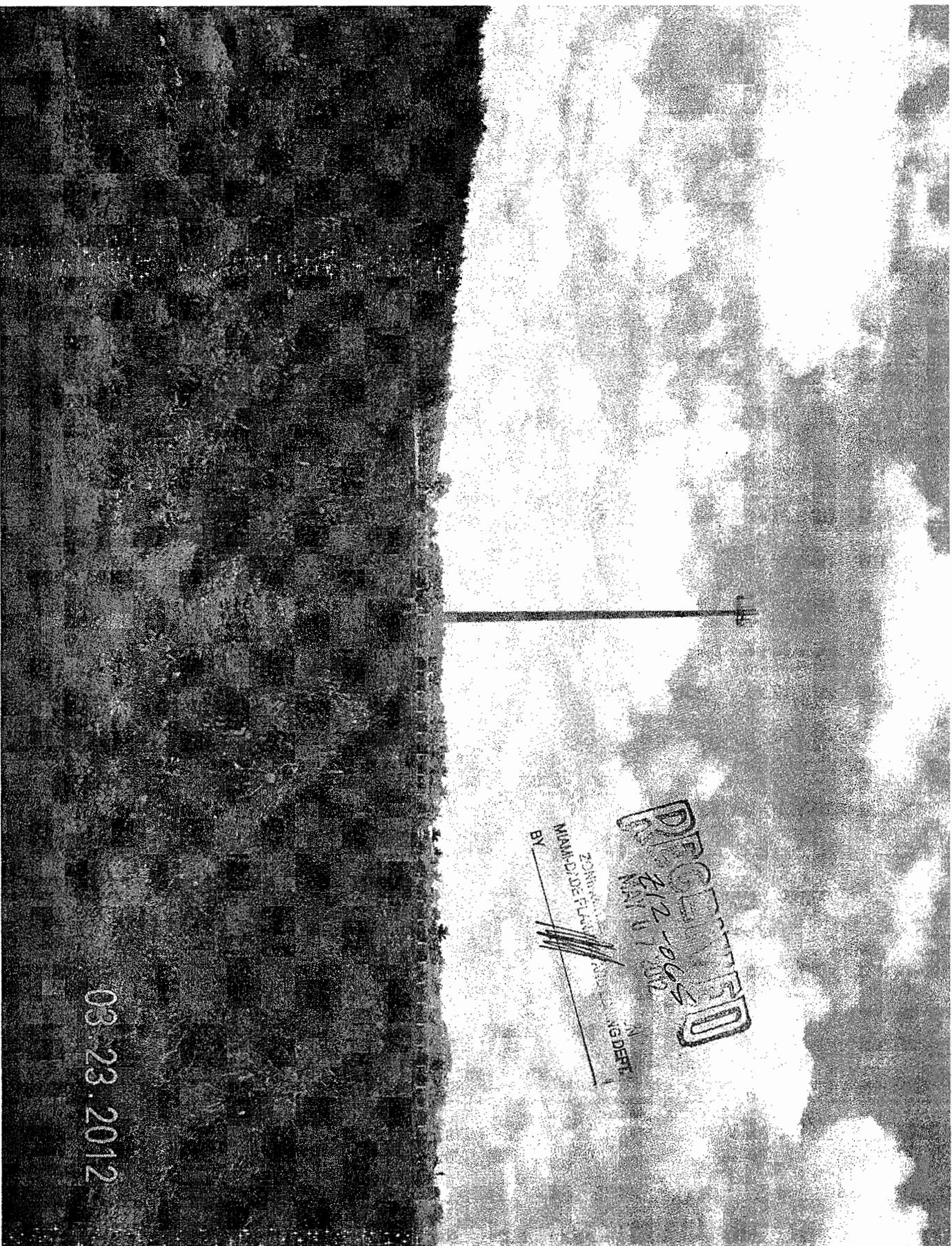
REPORTER NAME:



Picture 1 from North

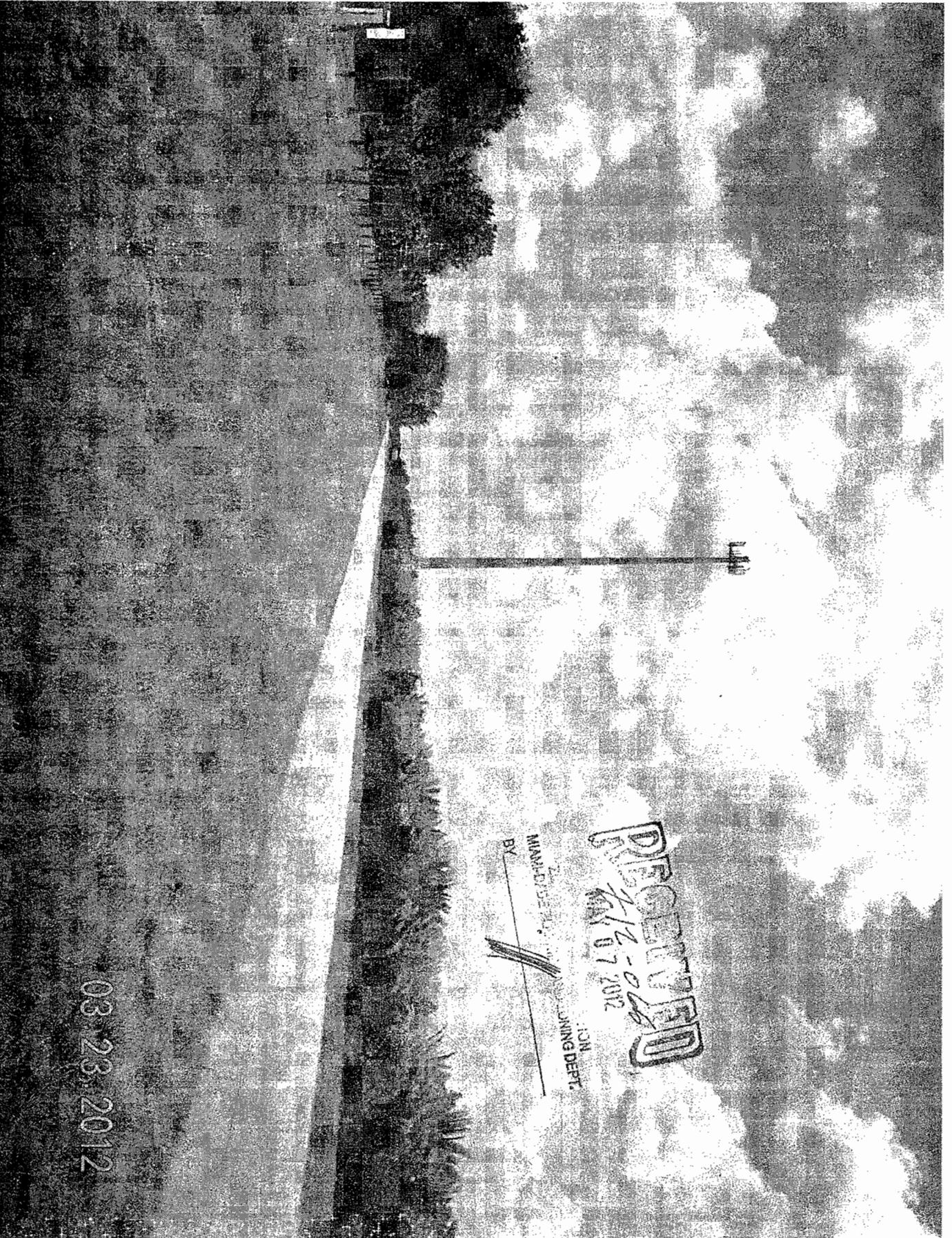


Picture 2 from East



03.23.2012

Picture 3 from South



Picture 4 from West

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212-065
MAY 07 2012

DISCLOSURE OF INTEREST*

If a CORPORATION owns or leases the subject property, list principal stockholders and percent of stock owned by each. [Note: Where principal officers or stockholders consist of other corporation(s), trust(s), partnership(s) or other similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

ZONING DEPT.
MAYORAL OFFICE
BY

CORPORATION NAME: TOWER DEVELOPMENT CORP (TDC)

<u>NAME AND ADDRESS</u>	<u>Percentage of Stock</u>
<u>200 CLARENDON ST. 34TH FL</u> <u>BOSTON, MA. 02116</u>	<u>100%</u> <u>PUBLICLY TRADED</u> <u>ON THE STOCK MARKET</u>
_____	_____
_____	_____

If a TRUST or ESTATE owns or leases the subject property, list the trust beneficiaries and the percent of interest held by each. [Note: Where beneficiaries are other than natural persons, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

TRUST/ESTATE NAME _____

<u>NAME AND ADDRESS</u>	<u>Percentage of Interest</u>
_____	_____
_____	_____
_____	_____
_____	_____

If a PARTNERSHIP owns or leases the subject property, list the principals including general and limited partners. [Note: Where the partner(s) consist of another partnership(s), corporation(s), trust(s) or other similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

PARTNERSHIP OR LIMITED PARTNERSHIP NAME: _____

<u>NAME AND ADDRESS</u>	<u>Percentage of Ownership</u>
_____	_____
_____	_____
_____	_____
_____	_____

If there is a CONTRACT FOR PURCHASE, by a Corporation, Trust or Partnership list purchasers below, including principal officers, stockholders, beneficiaries or partners. [Note: Where principal officers, stockholders, beneficiaries or partners consist of other corporations, trusts, partnerships or other similar

ACRES

AND: 0.09%

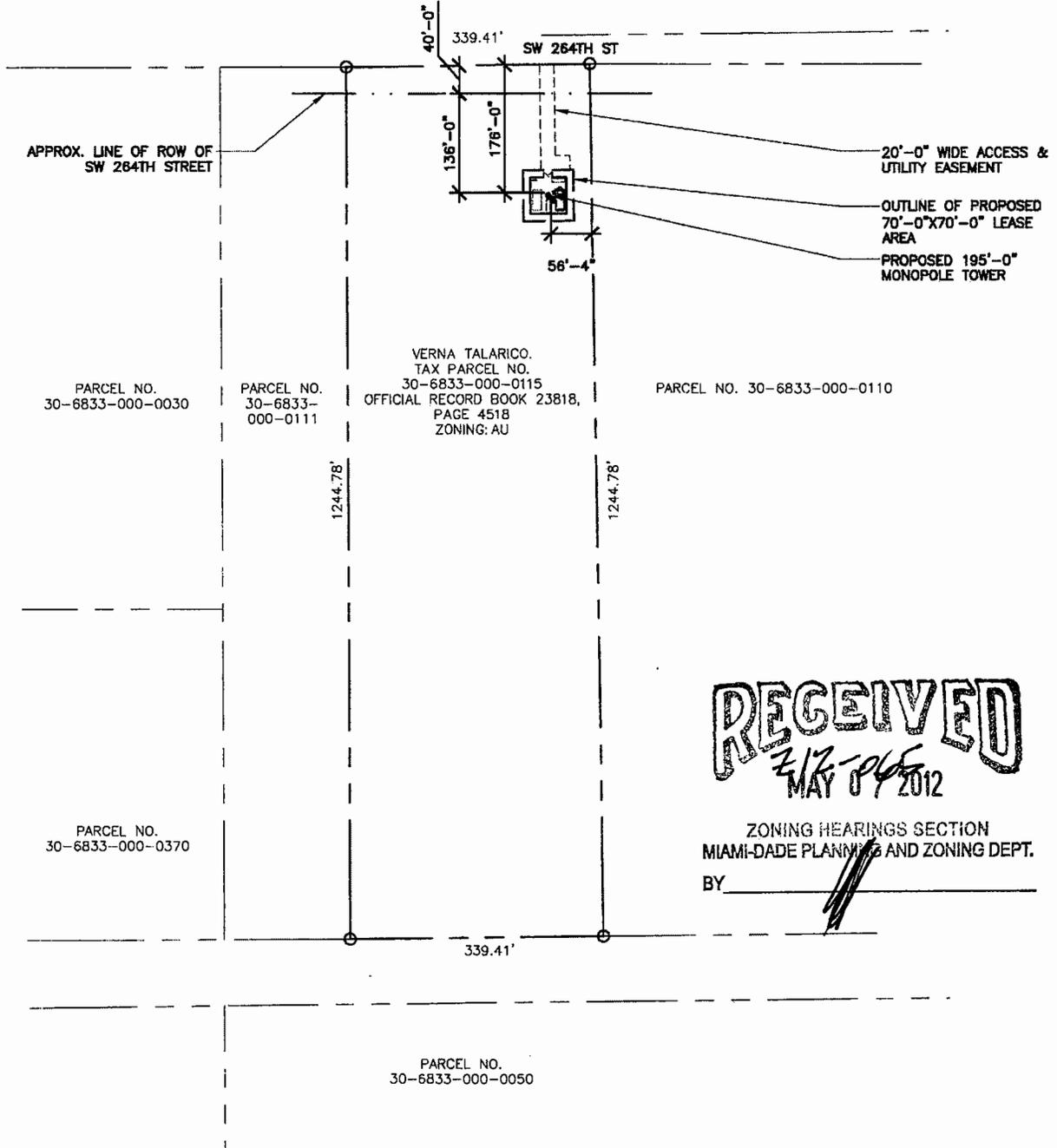
1.9%

1.61%

PROPOSED
EASEMENTS,
STATE THE

PROVIDED: 0

PARCEL NO.
30-6833-000-2350



A
C-1

SITE PLAN

SCALE: 1"=100'-0" (BASED ON 22x34 PAPER SIZE)
SCALE: 1"=200'-0" (BASED ON 11x17 PAPER SIZE)

TRUE
NORTH



SCALE: 3/16"=1'-0" (BASED ON 22x34 PAPER SIZE)
SCALE: 3/32"=1'-0" (BASED ON 11x17 PAPER SIZE)

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3/17-065
MAY 07 2012

ZONING HEARINGS SECTION
MIAMI-DADE PLANNING AND ZONING DEPT.
BY _____

ENLARGED SITE PLAN

TRUE NORTH

SITE PLAN DATA

LEGAL DESCRIPTION: SEE BELOW

ZONING OF PROPERTY: AU

TOTAL NET LAND: 408,914

TOTAL LEASE AREA: 4800

GROSS SHELTER AND MONOPOLE LOT COVERAGE: 370 SQUARE FEET AND: 0.09%

TOTAL LANDSCAPE AREA: 2400

ADDITIONAL % OF LANDSCAPE REQUIRED BY CHAPTER 33:

TREES REQUIRED BY CHAPTER 184: SEE LANDSCAPE LESSON

TREES REQUIRED BY CHAPTER 33: SEE LANDSCAPE LESSON

TOTAL TREES REQUIRED: 11,65

TOTAL TREES PROVIDED: 19

NOTE: SPRINKLER SYSTEM REQUIRED TO ALL UNDISCOVERED AREAS.

TOTAL PARKING AREA: 0

TOTAL WALKS: 0

PARKING (SECTION 33-124): SHOW THE SQUARE FOOTAGE OF EACH PROPOSED TYPE OF USE, SUCH AS OFFICE, WAREHOUSE, SHOWROOM, RETAIL, SALES, RESTAURANT, LOUNGE, OPEN LOT STORAGE AREA, ETC. THEN CALCULATE THE REQUIRED PARKING FOR EACH TYPE OF USE.

TOTAL PARKING SPACES REQUIRED: 0

TOTAL PARKING SPACES PROVIDED: 0

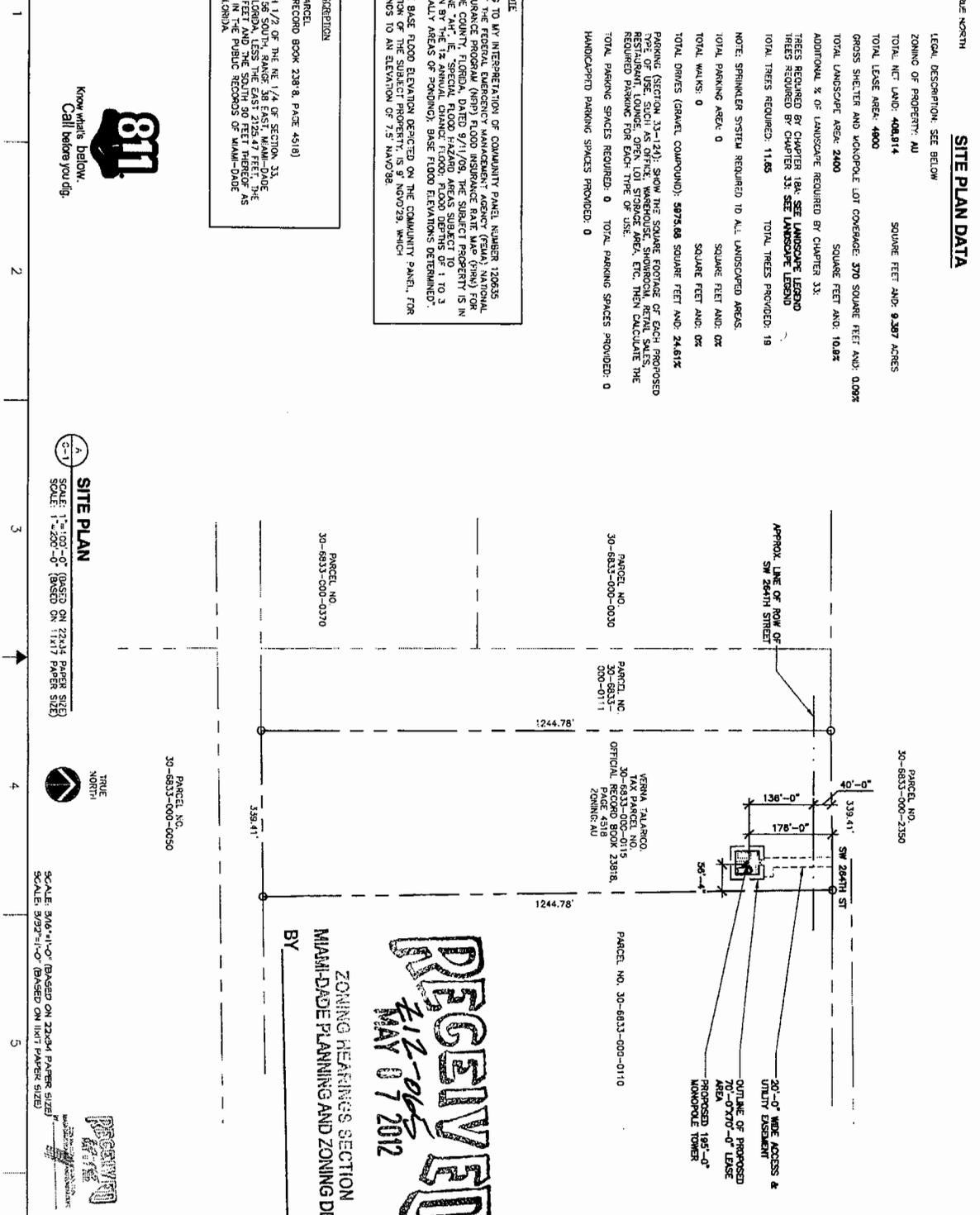
HANDICAPPED PARKING SPACES PROVIDED: 0

FLOOD NOTE

ACCORDING TO MY REPRESENTATION OF COMMUNITY PANEL NUMBER 126835 0520 FOR THE FEDERAL EMERGENCY MANAGEMENT AGENCY NATIONAL FLOOD INSURANCE PROGRAM (NFIP) FLOOD INSURANCE RATE MAP (FIRM) FOR MIAMI-DADE COUNTY, FLORIDA, DATED 9/11/09, THE SUBJECT PROPERTY IS IN FLOOD ZONE "A", I.E. SPECIAL FLOOD HAZARD AREAS SUBJECT TO FLOODING BY THE 1% ANNUAL CHANCE FLOOD. FLOOD DEPTHS OF 1 TO 3 FEET (USUALLY) AREAS OF POONDING. BASE FLOOD ELEVATIONS DETERMINED. NOTE: THE BASE FLOOD ELEVATION DEPICTED ON THE COMMUNITY PANEL, FOR THE LOCATION OF THE SUBJECT PROPERTY, IS 9' NAVD'83, WHICH CORRESPONDS TO AN ELEVATION OF 7.5' NAVD'83.

LEGAL DESCRIPTION

PARENT PARCEL (OFFICIAL RECORD BOOK 238.8, PAGE 4518) THE NORTH 1/2 OF THE NE 1/4 OF SECTION 33, TOWNSHIP 56 SOUTH, RANGE 38 EAST, MIAMI-DADE COUNTY, FLORIDA, LESS THE EAST 2325.47 FEET, THE REMOVED 1/2 OF THE SOUTH 30 FEET INTERIOR AS RECORDED IN THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.



SITE PLAN
SCALE: 1"=100'-0" (BASED ON 11X17 PAPER SIZE)

POSITIVE
SCALE: 3/32"=1'-0" (BASED ON 11X17 PAPER SIZE)

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ZONING HEARINGS SECTION
MIAMI-DADE PLANNING AND ZONING DEPT

<p>DATE: 04/16/2012 11:46 AM</p>	
<p>PROJECT: JFSP SITE SW 294th ST (RAUER DR) HOMESTEAD, FL</p>	
<p>DRAWING TITLE: SITE PLAN</p>	
Project No.	2111022
Designer	11/04/11
Drawn By	MS
Checked By	RE
Per Reviewer	Client Approval
Issue No.	001
Drawing No.	C-1

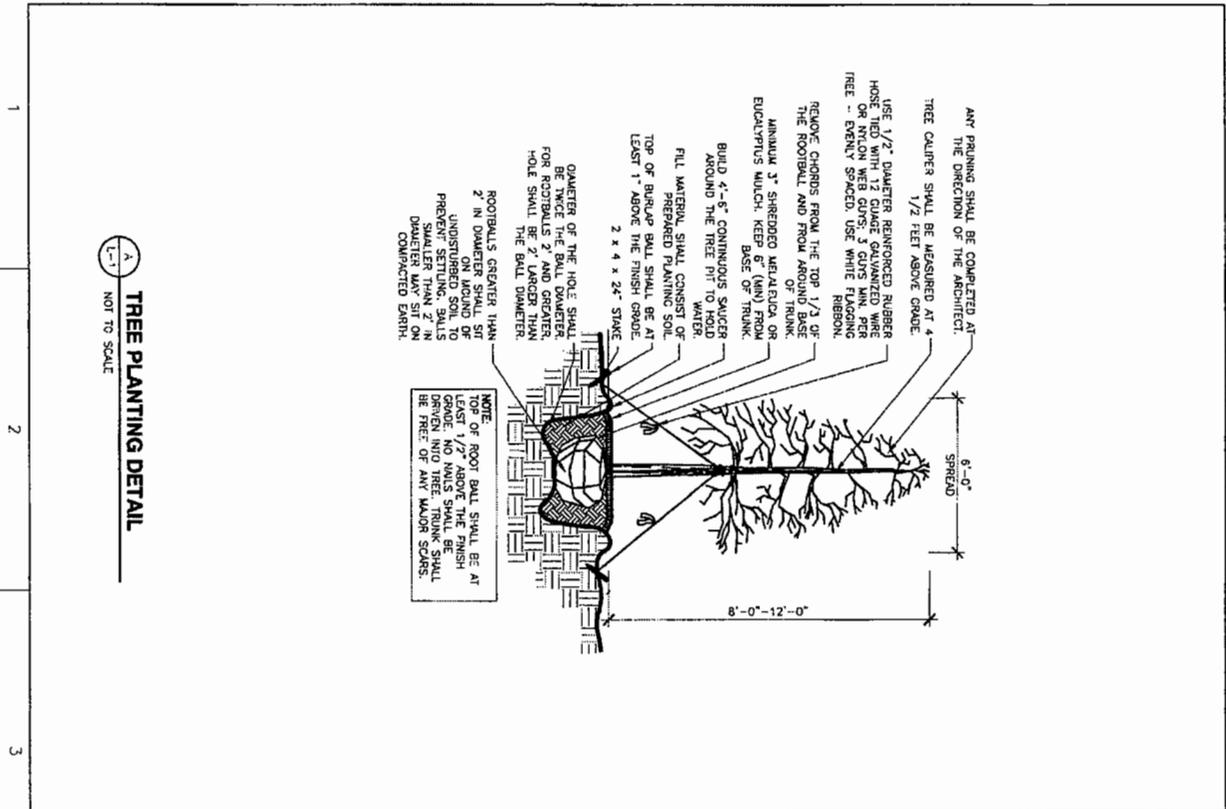
PRINTED
APR 16 2012
MORRISON HERSHFIELD

No.	Date	Action
1	02/28/12	ISSUED FOR ZONING
0	07/17/12	ISSUED FOR ZONING
B	11/28/11	ISSUED FOR ZONING
A	11/28/11	ISSUED FOR CLIENT REVIEW

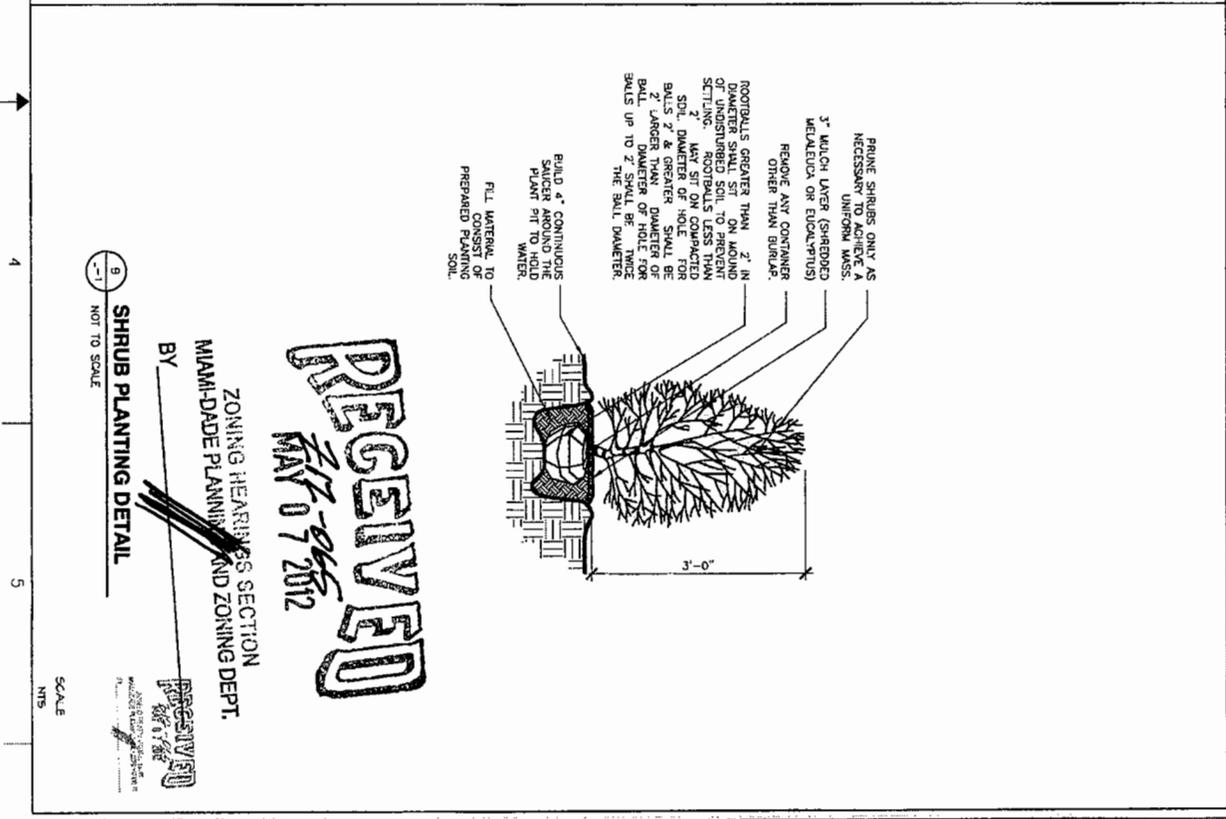
MORRISON HERSHFIELD
23 S. UNIVERSITY DRIVE, SUITE 100
MIAMI, FL 33137
PHONE: (305) 577-0000 FAX: (305) 571-8084
WWW.MORRISONHERSHFIELD.COM

(TDCI)
200 SOUTH MIAMI AVENUE, SUITE 200
MIAMI, FL 33136

at&t



A
1 TREE PLANTING DETAIL
NOT TO SCALE



B
1 SHRUB PLANTING DETAIL
NOT TO SCALE

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MAY 07 2012

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MIAMI-DADE PLANNING AND ZONING DEPT.

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SCALE
N.T.S.

<p>DO NOT SCALE DRAWINGS. CONSULTATION AND REVISIONS ARE THE RESPONSIBILITY OF THE CLIENT. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.</p>		
<p>PRINTED MAY 15 2012</p>		
<p>ROBERT ESHU, INC. REGISTERED ARCHITECT STATE OF FLORIDA</p>		
<p>1 02/28/12 ISSUED FOR ZONING</p>		
<p>0 07/17/12 ISSUED FOR ZONING</p>		
<p>B 11/28/11 ISSUED FOR ZONING</p>		
<p>A 11/28/11 ISSUED FOR CLIENT REVIEW</p>		
No.	Date	Action
<p>MORRISON HERSHFIELD 11 UNIVERSITY PARK DRIVE PLANTATION, FL 33414 Phone: 561-347-4400 www.morrisonhershfield.com</p>		
<p>(TDCC) 202 CLAYTON STREET, 34TH FLOOR DORTCH, MASSACHUSETTS 02122</p>		
<p>Client: at&t</p>		
<p>Project: JFSP SITE SW 284TH ST (BAUER DR) HOMESTEAD, FL</p>		
<p>Drawing Title: LANDSCAPE DETAILS</p>		
Project No.	7113022	Date:
Client:	at&t	11/04/11
Architect:	Robert Eshu, Inc.	11/04/11
Project Manager:	Robert Eshu, Inc.	11/04/11
Project No.	7113022	Project No.
Sheet No.	1	Sheet No.

IRRIGATION NOTES:

THE IRRIGATION CONTRACTOR IS RESPONSIBLE FOR ALL MATERIAL REQUIRED TO MAKE THE SYSTEM FUNCTION PROPERLY. ALL IRRIGATION SHALL BE INSTALLED BY A LICENSED CONTRACTOR IN ACCORDANCE WITH ALL MANUFACTURERS' SPECIFICATIONS AND ALSO STATE AND/OR LOCAL CODES.

IRRIGATION PUMPS ARE SCHEMATIC AND DRAWN FOR GRAPHIC CLARITY. ALL PUMPING BELOW PAVEMENT SHALL BE SLEEVED. LAYOUT OF IRRIGATION SYSTEM SHALL BE COORDINATED WITH CONSTRUCTING CROSSWALK PAVEMENT.

THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING LOCAL UNDERGROUND UTILITIES TO VERIFY LOCATIONS PRIOR TO TRENCHING. THE CONTRACTOR SHOULD VISIT THE SITE PRIOR TO INSTALLATION AND BECOME FAMILIAR WITH EXISTING CONDITIONS.

VALVE LOCATIONS ARE SCHEMATIC ONLY AND WILL BE ADJUSTED FOR SITE CONDITIONS. EACH SHALL BE INSTALLED IN A ACCESSIBLE LOCATION. THE FLOW ADJUSTMENT FLOWING SHALL BE SIZED TO MINIMIZE FRICTION LOSS AND MAINTAIN FLOW VELOCITY BELOW 5 FPS.

THE IRRIGATION CONTRACTOR SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODES AND MANUFACTURER'S RECOMMENDATIONS. PROPER GROUNDING EQUIPMENT AND SURGE PROTECTION SHALL BE PROVIDED BY THE IRRIGATION CONTRACTOR. OPEN SENSORS SHALL BE INSTALLED AT THE HEIGHT OF THE SENSING ELEMENT. THE HEIGHT OF THE SENSING ELEMENT SHALL BE THE HEIGHT OF ADJACENT PLANT MATERIAL. COORDINATE EXACT LOCATION WITH DESIGN PROFESSIONAL.

SPRINKLER LOCATIONS ADJACENT TO PAVEMENT STRUCTURES, STENCES, ETC. SHALL BE OFFSET AS FOLLOWS: 12" MIN FOR POP-UP LIST HEADS, AND TYPICALLY 5 FEET FOR ROTORS ALONG UNCURVED ROADWAYS.

ALL SIZING SHALL BE SCH 40 PIG TO SIZE INDICATED ON PLAN, OR IF NOT INDICATED, A MIN. OF 2 PIPES LARGER THAN SUPPLY LINE COMMAND. ALL SIZES SHALL BE INSTALLED TO MIN. OF 24" BELOW FINISH GRADE.

CONTROL WIRE SHALL BE 14 AWG COPPER UNTERMINATED IRRIGATION CONTROL WIRE. USE 14 AWG COPPER WIRE AND 1/2" GALVANIZED IRON PIPE SHALL BE PROVIDED FOR ALL SIZES. CROSSING 24" BELOW FIN GRADE. ALL SPICES SHALL BE MADE WITH WATERPROOF BURIED-BURNL SERVICE FITS AND CONTAINED IN VALVE BOXES. TWO EXTRA CONTROL WIRE SHALL BE INSTALLED TO THE FURTHEST VALVES IN EACH DIRECTION FROM THE CONTROLLER.

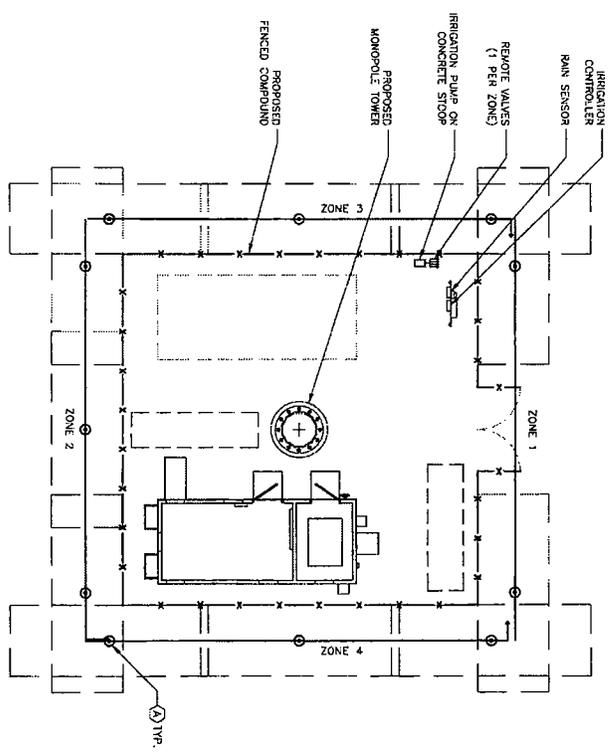
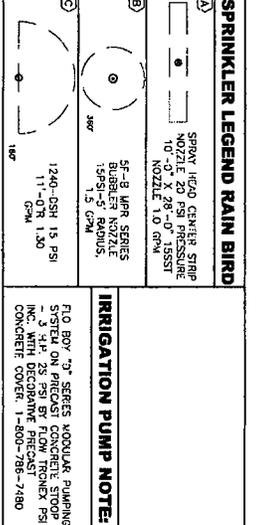
PUMPING IN NEARBY PLANNING AREAS, PARKING ISLANDS AND PATIERS SHALL BE SET TO OPERATE TO ALLOW FOR FUTURE EXPANSION. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL FIELD CONDITIONS. ALL CUT JOINTS SHALL BE CLEANED, SMOOTHED, AND TREATED WITH COLORED HIGH ETCH PRIMER AND JOINED USING A SOLVENT CONFORMING WITH ASTM D22394.

SYSTEM PIPE SIZE SHALL BE CLASS 200 PVC. SYSTEM PIPE SIZE: 1" OR GREATER SHALL BE CLASS 160 PVC. SYSTEM MAIN WILL BE SCH. 40 PVC TO SIZE INDICATED ON PLAN. ALL FITTINGS WILL BE SOLVENT WELD SCH. 40 PVC. MAIN LINE SHALL HAVE 24" MINIMUM COVER BE CLEAN AND FREE OF FOREIGN DEBRIS AND SHARP OBJECTS. ALL FITTINGS SHALL BE PROPERLY COMPACTED. ALL MAIN LINES WILL BE INSTALLED A MIN. OF 3' FROM ANY TREE OR PALM.

COMPLETE SHOP DRAWINGS AND AS-BUILT DRAWINGS SHALL BE PREPARED BY THE IRRIGATION CONTRACTOR AND GIVEN TO MORRISON HERSHFIELD FOR APPROVAL.

WATERING TIME PER STATION WILL BE DETERMINED IN THE FIELD AND PER LOCAL REQUIREMENTS. REFER TO MANUFACTURER'S INSTRUCTIONS FOR PREPARATION NOTES OF SPRINKLERS SPECIFIED.

IRRIGATION SYSTEM TO PROVIDE 100% COVERAGE WITH 100% OVERLAP. NEW IRRIGATION SYSTEM SHALL HAVE A RUST INHIBITOR SYSTEM. PROVIDING RUST FREE WATER TO ALL OF SYSTEM.



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MIAMI-DADE PLANNING AND ZONING DEPT.
BY [Signature]
APR 19 2012

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APR 19 2012

SCALE: 1/8"=1'-0" (GRID OR 20X4 PAPER SIZE)
SCALE: 1/16"=1'-0" (GRID OR 1417 PAPER SIZE)

SCALE: NTS

PRINTED
APR 12 2012

ROBERT JERRY LEE
REGISTERED ARCHITECT
STATE OF FLORIDA
NO. 12345

MORRISON HERSHFIELD
711 S.W. 24th St., Suite 200
Miami, FL 33135
Phone: (305) 371-1111
Fax: (305) 371-1112

(TDC)
200 CLAMROCK STREET, SUITE 1100
DORSET, MASSACHUSETTS 01928

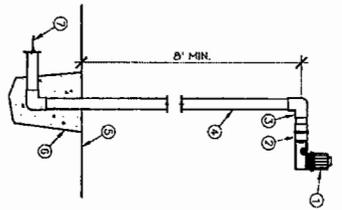
at&t

JFSP SITE
SW 24th St. (GUBER DR)
CORRECTION, FL

IRRIGATION PLAN

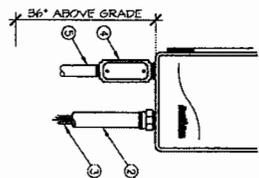
Rev.	Date	By	Check	Description
1	02/28/12	ISSUED FOR ZONING		
0	07/17/12	ISSUED FOR ZONING		
8	11/29/11	ISSUED FOR ZONING		
4	11/29/11	ISSUED FOR CLEAR REVIEW		

Project No. 7113022
Drawing No. 1
Scale: L-3



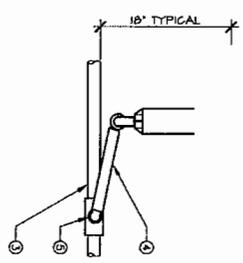
- 1 RAIN SENSOR AS130D
- 2 FEMALE ADAPTER (SLIP X FIT)
- 3 GALVANIZED 90° EL. (1 OF 2)
- 4 3/4-INCH GALVANIZED PIPE INSIDE OF CMU WALL
- 5 RAINFED SPRINKLER CONSOLE
- 6 CONCRETE BASE
- 7 WIRE TO IRRIGATION CONTROLLER

A
RAIN SENSOR MOUNTED ON POLE
NOT TO SCALE



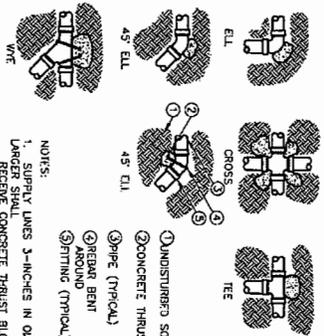
- 1 1.5-INCH PVC SCH 40 CONDUIT AND FITTINGS TO REMOTE CONTROL VALVES
- 2 1-INCH PVC SCH 40 CONDUIT TO POWER SUPPLY
- 3 JUNCTION BOX
- 4 REMOTE CONTROL VALVE
- 5 1.5-INCH PVC SCH 40 CONDUIT AND FITTINGS TO REMOTE CONTROL VALVES

C
HYBRID CONTROLLER
NOT TO SCALE



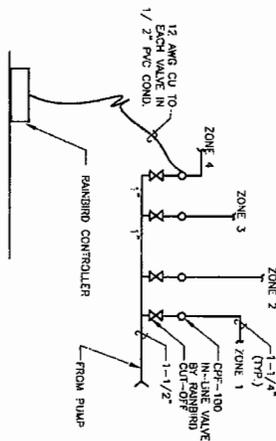
- 1 POP-UP SPRAY SPRINKLER W/ W-SERIES NOZZLE
- 2 PVC LATERAL PIPE
- 3 SPRING ASSEMBLY, RAIN BRND MODEL SA 6050
- 4 PNC SCH 40 TEE OR EL
- 5 1.5-INCH PVC SCH 40 CONDUIT AND FITTINGS TO REMOTE CONTROL VALVE

E
POP-UP SPRAY SPRINKLER
NOT TO SCALE



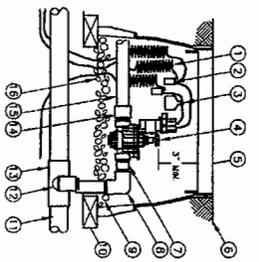
- 1 SANDSTRENGTH SOIL (TYPICAL)
- 2 CONCRETE THRUST BLOCK
- 3 PIPE (TYPICAL)
- 4 REBAR BENT FITTING (TYPICAL)
- 5 FITTING (TYPICAL)

B
THRUST BLOCK
NOT TO SCALE



D
VALVE MANIFOLD DETAIL
NOT TO SCALE

- 1 30-INCH LINEAR LENGTH OF WIRE, COILED
- 2 WATER PROOF CONNECTION (1 OF 2)
- 3 1/2" DIA. TUBING
- 4 REMOTE CONTROL VALVE, RAIN BRND-FRS P&A
- 5 VALVE BOX WITH COVER, 12-INCH SIZE
- 6 FINISH GRADE/TOP OF MULCH
- 7 PNC SCH 80 NIPPLE (CLOSE)
- 8 PNC SCH 40 EL
- 9 PNC SCH 80 NIPPLE (LENGTH AS REQUIRED)
- 10 BRICK (1 OF 4)
- 11 PNC MANLINE PIPE
- 12 SCH 80 NIPPLE (2-INCH SCH 40 EL)
- 13 PNC SCH 40 TEE OR EL
- 14 PNC SCH 40 MALE ADAPTER
- 15 PNC LATERAL PIPE
- 16 3.0-INCH MINIMUM DEPTH OF 3/4-INCH WIDEN CHANNEL



F
REMOTE CONTROL VALVE
NOT TO SCALE

1	02/28/12	ISSUED PER ZONING
2	07/11/12	ISSUED PER ZONING
3	11/26/11	ISSUED PER ZONING
4	11/26/11	ISSUED PER CLERK REVIEW
5		
6		
7		
8		
9		
10		

MORRISON HERSHFIELD
21 LINDSEY DRIVE, SUITE 100
MIAMI, FL 33136
PH: 305.441.1111
WWW.MORRISONHERSHFIELD.COM

at&t
Project: JFSP SITE
SN 282TH ST (BAUER DR)
NORLANDIA, FL

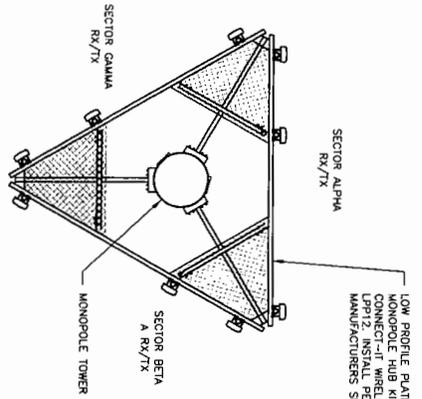
Drawn By:	11/04/11	Checked By:	
Design By:		Design Appr:	
Rev:		Rev:	
Issue No:	1	Issue No:	1

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MAY 07 2012

ZONING HEARING SECTION
MIAMI-DADE PLANNING AND ZONING DEPT.
BY _____

LINE/ANTENNA NOTES

- SEE DRAWING A-2 FOR SITE LAYOUT.
- ALL THROUGH STRUCTURAL FASTENERS FOR ANTENNA SUPPORT ASSEMBLIES SHALL CONFORM TO ASTM A307 OR ASTM A36. ALL STRUCTURAL FASTENERS FOR STRUCTURAL STEEL FRAMING SHALL CONFORM TO ASTM A325. FASTENERS SHALL BE 5/8" MIN. DIA. BEARING TYPE. ALL THROUGH STRUCTURAL FASTENERS SHALL BE GALVANIZED UNLESS OTHERWISE NOTED. CONCRETE EXPANSION ANCHORS SHALL BE HELIX KWIK BOLTS UNLESS OTHERWISE NOTED. ALL ANCHORS INTO CONCRETE SHALL BE STAINLESS STEEL.
- THE CONTRACTOR SHALL FURNISH ALL CONNECTION HARDWARE REQUIRED TO SECURE THE CABLES. CONNECTION HARDWARE SHALL BE STAINLESS STEEL. NORTH ARROW SHOWN ON PLANS REFERS TO TRUE NORTH. CONTRACTOR SHALL VERIFY NORTH AND NOTIFY CONSULTANT OF ANY DISCREPANCY BEFORE STARTING CONSTRUCTION.
- PROVIDE ANCHORS FOR ALL MECHANICAL CONNECTIONS FOR HARDWARE. USE STAINLESS STEEL HARDWARE THROUGHOUT.
- THOROUGHLY REMOVE ALL PAINT AND CLEAN ALL DIRT FROM SURFACES REQUIRING GROUND CONNECTIONS. AS POSSIBLE, AVOID SHARP BENDS. ALL BENDS TO BE A MIN. OF 8" RADIUS.
- FOR GROUNDING TO BUILDING FRAME & HATCH PLATE GROUND BARS, USE A TWO-BOLT HOLE NEVA DRILLED CONNECTOR SUCH AS TAB 32007 OR APPROVED EQUAL. FOR ALL EXTERNAL GROUND CONNECTIONS, CLAMPS & COWDRIES, APPLY A LIBERAL PROTECTIVE COATING OR AN ANTI-OXIDE COMPOUND SUCH AS "NO-OXIDE A" BY PROTECTANT COMPANY.
- REPAIR ALL GALVANIZED SURFACES THAT HAVE BEEN DAMAGED BY THERMOWELDING WITH COLD GALV. PAINT.
- SEAL ALL CONDUIT PENETRATIONS INTO MODULAR BUILDING AND ALL CONDUIT OPENINGS WITH A SILICONE SEALANT.
- THE COAXIAL ANTENNA CABLE INSTALLER SHALL BE RESPONSIBLE FOR PERFORMING AND SUPPLYING THREE (3) TYPEWRITTEN SWEEP TESTS (ANTENNA RETURN LOSS TEST) THIS TEST SHALL BE PERFORMED TO THE ANTENNA FEED POINT AND SHALL BE PERFORMED AT THE AT&T RADIO FREQUENCY ENGINEER. THIS TEST SHALL BE PERFORMED PRIOR TO FINAL ACCEPTANCE OF THE SITE.
- THE COAXIAL ANTENNA CABLE INSTALLER SHALL BE RESPONSIBLE FOR PERFORMING AND SUPPLYING AT&T WITH THREE TYPE-WRITTEN TIME-DOMAIN SWEEP TESTS PERFORMED AT THE ANTENNA FEED POINT TO CHECK FOR SWEEP DAMAGE.
- VAPOR WRAP WILL BE USED TO SEAL ALL CONNECTIONS.
- ALL JUMPEES TO THE ANTENNAS FROM THE MAIN TRANSMISSION LINE WILL BE 1/2" O.D. AND SHALL NOT EXCEED 6'-0".
- ALL COAXIAL CABLES WILL BE GROUNDING PRIOR TO ATTACHMENT TO EQUIPMENT SHELTERS AND AS SPECIFIED IN THE ELECTRICAL DRAWINGS.
- ALL MAIN TRANSMISSION CABLE WILL BE TERMINATED AT AN AT&T POLY-PHASER PROTECTOR LOCATED WITHIN:
 - 1.-0" OF THE EQUIPMENT SHELTER.
- ALL COAXIAL CABLES WILL BE SECURED TO THE DESIGNED SUPPORT STRUCTURE AT DISTANCES NOT TO EXCEED 4'-0" WITH HARDWARE SPECIFIED IN THE COAXIAL CABLE ROUTING DETAILS.
- ANTENNA CABLE LENGTHS HAVE BEEN DETERMINED AND APPROXIMATED. CONTRACTOR SHALL VERIFY AND APPROXIMATE. (QUE TO FIELD CONDITIONS. CONTRACTOR MUST FIELD VERIFY CABLE LENGTHS PRIOR TO ORDERING.)
- ALL MAIN CABLES WILL BE COLOR CODED AT FOUR (4) POINTS: (A) AT LOWER TOWER PORT TO ENGINEERING WAREHOUSE ENTRY PORT (AT EQUIP. SHELTER WALL) (B) AT LOWER TOWER PORT TO ENGINEERING WAREHOUSE ENTRY PORT (AT EQUIP. SHELTER WALL) (C) INTERIOR SIDE OF WAREHOUSE ENTRY PORT (AT EQUIP. SHELTER WALL) (D) INTERIOR SIDE OF SHELTER.
- ALL MAIN CABLES WILL BE GROUNDING AT: (A) AT LOWER TOWER PORT TO ENGINEERING WAREHOUSE ENTRY PORT (AT EQUIP. SHELTER WALL) (B) AT LOWER TOWER PORT TO ENGINEERING WAREHOUSE ENTRY PORT (AT EQUIP. SHELTER WALL) (C) INTERIOR SIDE OF SHELTER (D) INSIDE SHELTER.



ANTENNA MOUNT DETAIL
SCALE: NOT TO SCALE

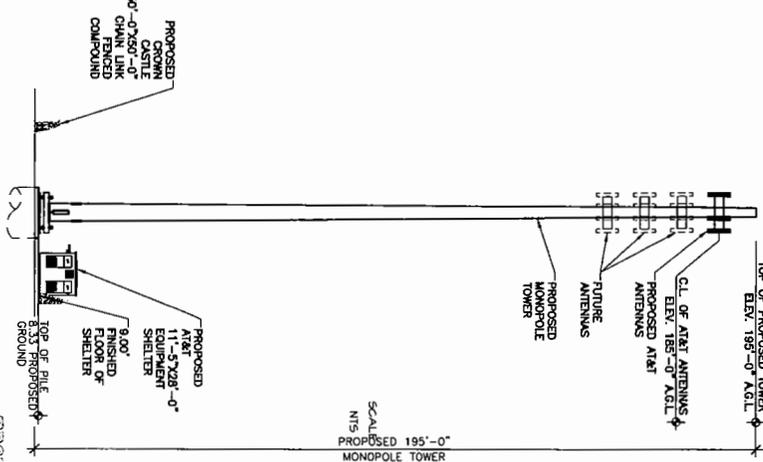
ANTENNAS SPECIFICATIONS

ANTENNA SECTOR	ANTENNA MODEL	QTY.	ROTATION CENTER	LENGTH	SIZE	QTY.
SECTOR ALPHA	800-10723 K	3	185'-0"	3200' 1 5/8"	4	
SECTOR BETA	800-10723 K	3	185'-0"	3200' 1 5/8"	4	
SECTOR GAMMA	800-10723 K	3	185'-0"	3200' 1 5/8"	4	

D-TILT: MAKE
E OR U OR T OR WAKE
KATHREIN
KATHREIN
KATHREIN

SCALE: NOT TO SCALE

RECEIVED
212-065
MAY 07 2012
ZONING HEARINGS SECTION
MIAMI-DADE PLANNING AND ZONING DEPT.
BY *Per D.A.*



TOWER PROFILE
SCALE: 3/64"=1'-0" (BASED ON 11x17 PAPER SIZE)

NOTE: NO WORK SHALL COMMENCE WITHOUT THE APPROVED STRUCTURAL TOWER / ANTENNA ATTACHMENT REPORT, CONTRACTOR SHALL REVIEW THE APPROVED TOWER STRUCTURAL ANALYSIS REPORT AND NOTIFY, IF REQUIRED, ALL APPLICABLE MEMBERS AS INDICATED IN THE APPROVED REPORT PRIOR TO INSTALLATION OF ANTENNAS AND COAXIAL CABLES. ALL ATTACHMENT PLATES AND BOLTS REQUIRED FOR PROPER AND COMPLETE INSTALLATION-SUBMIT SHOP DRAWINGS FOR APPROVAL-COORD ANTENNA ATTACHMENT W/ TOWER ANALYSIS REPORT REPRESENATIVE PRIOR TO ANTENNA INSTALLATION.

SCALE: NOT TO SCALE

PROJECT: JFSP SITE
SW 264TH ST (BAYLOR DR) HOMESTEAD, FL

CLIENT: (TDC)

DESIGNER: MORRISON HERSHFIELD
23 UNIVERSITY DRIVE, SUITE 245
MIAMI, FL 33137
PHONE: (305) 577-4600 FAX: (305) 571-4488
WWW.MORRISONHERSFIELD.COM

DATE: 11/04/11

PROJECT NO.: 7113022

DRAWING NO.: A-3

DATE: 11/04/11

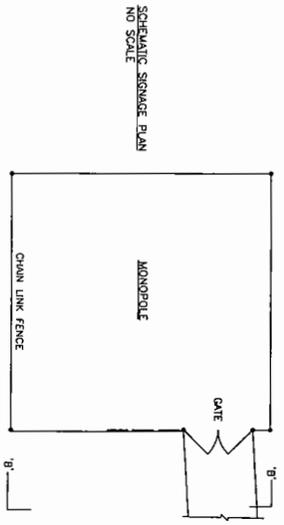
DESIGNED BY: [Signature]

CHECKED BY: [Signature]

DATE: 11/04/11

PROJECT NO.: 7113022

DRAWING NO.: A-3



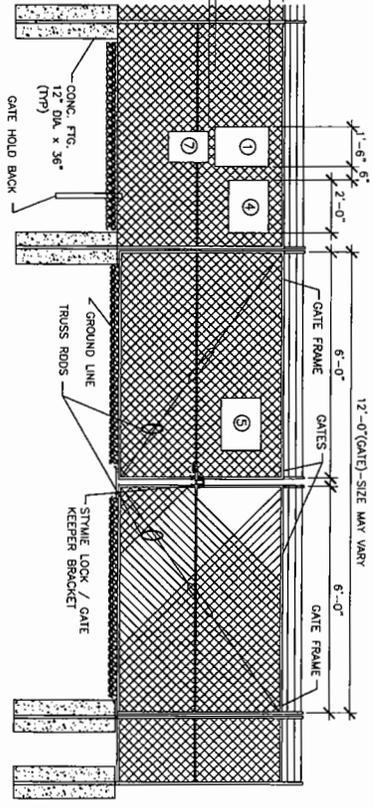
SCHMATIC SIGNAGE PLAN
NO SCALE

- NOTE:
- ① CAUTION - FREE SIGN (BLACK, YELLOW, WHITE) TO BE MOUNTED NEAR TOWER LEG DO NOT RESTRICT CLIMBING ACCESS.
 - ② ASR SIGN TO BE MOUNTED AT TOWER BASE DURING CONSTRUCTION. (INCLUDES SITE ADDRESS) (CROSS MARKETING SIGN: 1'4" x 20" (BMI SITES))
 - ③ CCUSA MARKETING / ID SIGN 18" x 24"
 - ④ CCUSA MARKETING SIGN: 1'4" x 20" (BMI SITES)

TOWER SITE COMPOUND
SIGN PLACEMENT
SCALE: NOT TO SCALE

RECEIVED
MAY 07 2012

ZONING HEARINGS SECTION
MIAMI-DADE PLANNING AND ZONING DEPT.
BY *Per D.F.*



SITE SIGNAGE SECTION "A-A"
SCALE: NOT TO SCALE

1 2 3 4 5 6
SCALE NTS

PRIVATE PROPERTY
NO TRESPASSING VIOLATORS WILL BE PROSECUTED

RED BACKGROUND W/WHITE LETTERING
WHITE BACKGROUND W/RED LETTERING
RED BACKGROUND W/WHITE LETTERING
WHITE BACKGROUND W/RED LETTERING

18" WIDE X 24" HIGH

NOTICE
GREEN BACKGROUND W/WHITE LETTERING

NOTICE
WHITE BACKGROUND W/BLACK LETTERING

12" WIDE X 18" HIGH

CAUTION
YELLOW BACKGROUND W/BLACK LETTERING

WHITE BACKGROUND W/BLACK LETTERING AND YELLOW SYMBOL

SCALE NTS

No.	Date	Action
1	02/28/12	ISSUED FOR ZONING
0	01/11/12	ISSUED FOR ZONING
B	11/29/11	ISSUED FOR ZONING
A	11/29/11	ISSUED FOR GATE REVIEW

WARNING
RED BACKGROUND W/WHITE LETTERING
WHITE BACKGROUND W/BLACK LETTERING

4" WIDE X 18" HIGH

④ CAUTION-HARD HAT
CONSTRUCTION AREA AND TRIPPING HAZARDS
24" WIDE X 18" HIGH

ASR SIGN
WHITE W/BLACK LETTERING

10" WIDE X 4" HIGH

NOTE:
ALL SIGNS TO BE INSTALLED ACCORDING TO DMG SITE SIGNAGE ADAPTIVE TO GATES (LEFT OR RIGHT SIDE OF GATE IS ACCEPTABLE, BUT MUST BE MOUNTED ON READABLE SIDE OF GATE OPEN OR CLOSED).

TYPICAL SIGNS AND SPECIFICATIONS
SCALE: NOT TO SCALE

4 5 6
SCALE NTS

NOTE:
COORDINATE SIGN PLACEMENT WITH CONSTRUCTION MANAGER

Project No.	7113022
Designer	11/04/11
Check By	MS
Rev. No.	01
Rev. Description	Client Approval
Rev. Date	
Drawing No.	1
Project	JRSP SITE
Location	SW 254th ST (GARDEN DR) HOMESTEAD, FL
Client	at&t

Implementation Team:

MORRISON HERSHFIELD
23 UNIVERSITY DRIVE, SUITE 205
MIAMI, FL 33136
PH: 305.441.1100
WWW.MORRISONHERSFIELD.COM

(TDC)
200 CLAMORON STREET, 5TH FLOOR
BOSTON, MASSACHUSETTS 02116

Project: JRSP SITE
Location: SW 254th ST (GARDEN DR) HOMESTEAD, FL

Client: at&t

Implementation Team: MORRISON HERSHFIELD

Project: JRSP SITE
Location: SW 254th ST (GARDEN DR) HOMESTEAD, FL

Client: at&t

Implementation Team: MORRISON HERSHFIELD

Project: JRSP SITE
Location: SW 254th ST (GARDEN DR) HOMESTEAD, FL

Client: at&t

Implementation Team: MORRISON HERSHFIELD

Project: JRSP SITE
Location: SW 254th ST (GARDEN DR) HOMESTEAD, FL

Client: at&t

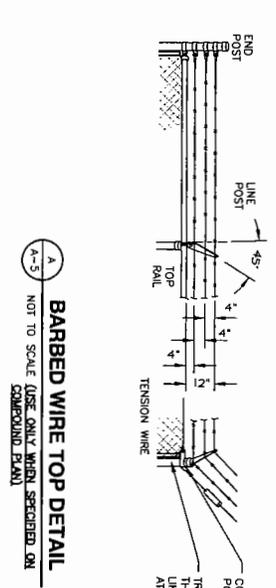
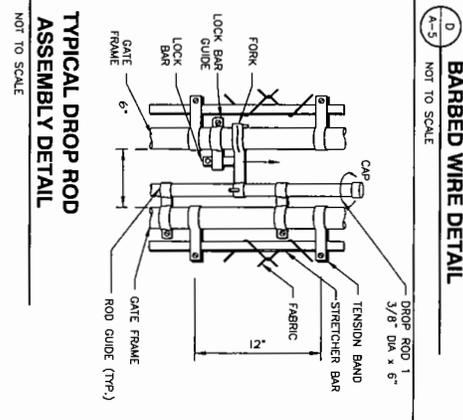
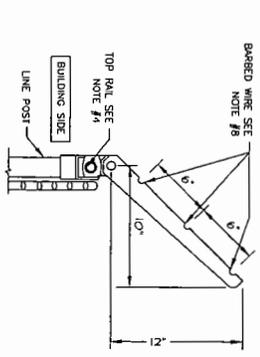
Implementation Team: MORRISON HERSHFIELD

Project: JRSP SITE
Location: SW 254th ST (GARDEN DR) HOMESTEAD, FL

Client: at&t

Implementation Team: MORRISON HERSHFIELD

- FENCE NOTES:**
(INSTALL FENCING PER BUILDING CODE)
1. GATE POST SHALL BE 4" x 4" CORNER TERMINAL OR PULL POST SHALL BE 4" x 4" SCHEDULE 40 PIPE THROUGH 6 FEET OR 12 FEET FOR DOUBLE SWING GATE PER ASTM-F1083.
 2. LINE POST: 2"-3/8" SCHEDULE 40 PIPE PER ASTM-F1083.
 3. GATE FRAME: 1 1/2" SCHEDULE 40 PIPE PER ASTM-F1083, & ASTM F900.
 4. TOP RAIL & BRACE RAIL: 1 3/8" SCHEDULE 40 PIPE PER ASTM-F1083.
 5. FABRIC: 2" MESH NO. 9 GA. GALVANIZED WIRE SECURELY FASTENED TO TENSION WIRE. UNDERST. BARS CONFORMING TO ASTM-A392, & AASHTO M 181.
 6. THE WIRE: MINIMUM 11 GA. GALVANIZED STEEL. INSTALL A SINGLE WRAP TIE WIRE AT POSTS AND RAILS AT MAX. 12" INTERVALS VERT & 20" HORZ. INSTALL HOC RINGS ON TENSION WIRE AT 20" INTERVALS.
 7. TENSION WIRE: 7 GA. GALVANIZED STEEL.
 8. BARBED WIRE: 3 STRANDS OF DOUBLE STRANDED 12-1/2 GA. TWISTED WIRE, 4 FT. BARBS SPACED ON APPROXIMATELY 5" CENTERS CONFORMING TO AASHTO M 280.
 9. GATE LATCH: SEE DETAIL B/A-5.
 10. LOCAL ORDINANCE FOR BARBED WIRE PERMIT SHALL GOVERN INSTALLATION.



- NOTE:** TOP OUT OF COMPOUND 45°
1. SLOPE TOP OUT OF COMPOUND 45°
 2. BARBED WIRE OVER GATES SHALL NOT BE SLOPED.

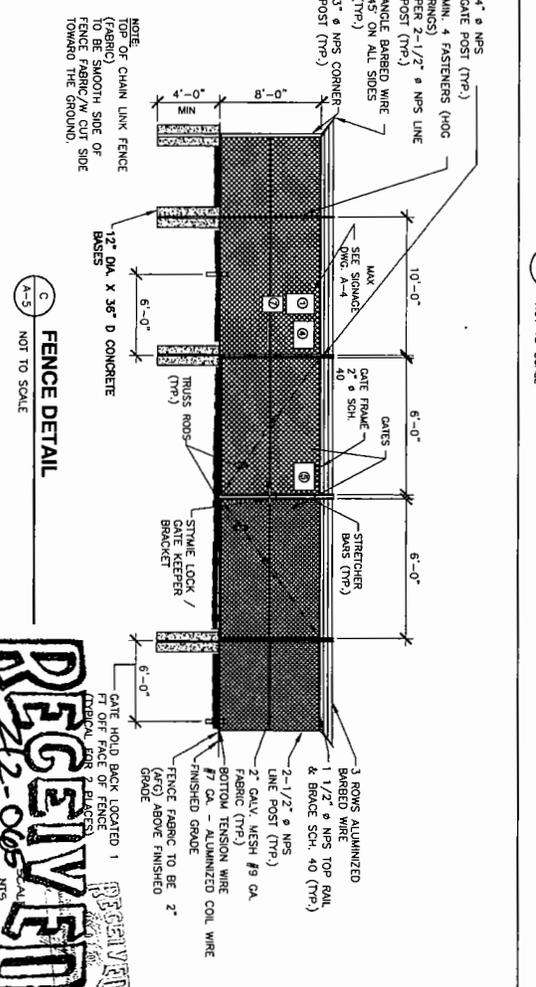
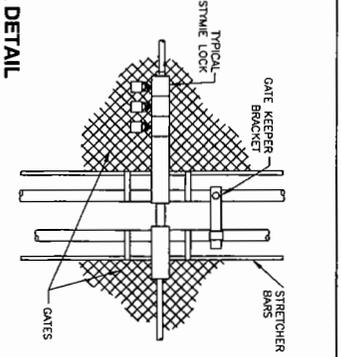
STANDARD COMBINATION LOCK SPEC

ALL LOCKS SHOULD BE MARINE GRADE BRASS LOCK WITH STAINLESS STEEL SHACKLE. SOLID BRASS BODY PROVIDES STRENGTH AND STAINLESS STEEL SHACKLES RESIST HACKSAW CORROSION RESISTANCE. ALL LOCKS SHOULD BE A PROGRAMMABLE COMBINATION LOCK THAT IS STRONG, DURABLE AND HIGHLY WEATHER RESISTANT

THE FOLLOWING LOCKS ARE APPROVED BY GROWN TO BE USED ON SITES OR APPROVED EQUAL PART NUMBERS:

ABUS 180/HB 50-63 WITH 2-1/4" MARINE GRADE WITH 4 DIALS.

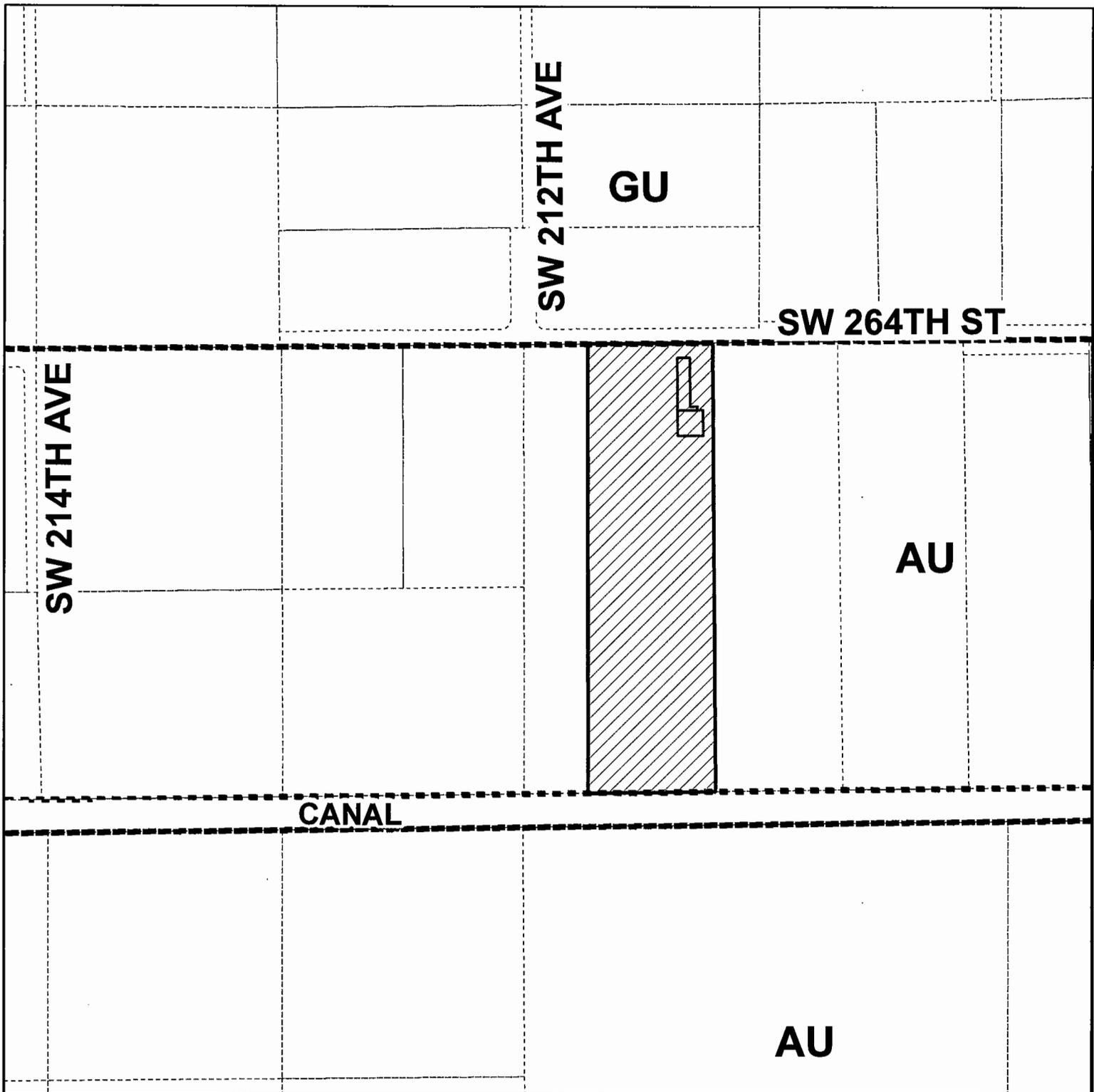
ABUS 180 COMBINATION 1" MARINE GRADE WITH 4 DIALS.



<p>DO NOT SCALE DIMENSIONS. CONSTRUCTION SHALL BE PER ALL APPLICABLE CODES. NO DIMENSIONS OR LOCATIONS SHALL BE TO SCALE UNLESS SPECIFICALLY NOTED OTHERWISE. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.</p>	
<p>ROBERT EBBERTS REGISTERED ARCHITECT ARCHITECT</p>	
<p>DATE: 02/26/12 ISSUED FOR ZONING</p> <p>DATE: 01/11/12 ISSUED FOR ZONING</p> <p>DATE: 11/26/11 ISSUED FOR ZONING</p> <p>DATE: 11/26/11 ISSUED FOR GATE REVIEW</p>	
<p>Hypermedia Team</p> <p>(TDC)</p> <p>300 CLAYTON STREET 3RD FLOOR CORONA, CALIFORNIA 92626</p>	
<p>MORRISON HERSHFIELD</p> <p>33 UNIVERSITY DRIVE, SUITE 345 MIAMI, FL 33134 PHONE: (305) 371-4651 FAX: (305) 371-4444 WWW.MORRISONHERSHFIELD.COM</p>	
<p>Project: JFSP SITE</p> <p>SW 264TH ST (BAUER DR) HOMESTEAD, FL</p>	
<p>Client: at&t</p>	
<p>Project: FENCE DETAILS</p>	
<p>Project No: 7113022</p> <p>Drawn By: 11/08/11</p> <p>Check By: 11/08/11</p> <p>Print Function: RW</p> <p>Issue No: 1</p>	

ZONING HEARINGS SECTION
MIAMI-DADE PLANNING AND ZONING DEPT.
BY: D.H.

REGISTERED
MAY 07 2012



MIAMI-DADE COUNTY
HEARING MAP

Process Number
Z2012000065



Section: 33/28 Township: 56 Range: 38
 Applicant: TOWER DEVELOPMENT CORP.
 Zoning Board: C14
 Commission District: 8
 Drafter ID: JEFFER GURDIAN
 Scale: NTS

Legend

 Subject Property Case



SKETCH CREATED ON: Wednesday, May 16, 2012

REVISION	DATE	BY
		33



MIAMI-DADE COUNTY
AERIAL YEAR 2009

Process Number

Z2012000065



Section: 33/28 Township: 56 Range: 38
 Applicant: TOWER DEVELOPMENT CORP.
 Zoning Board: C14
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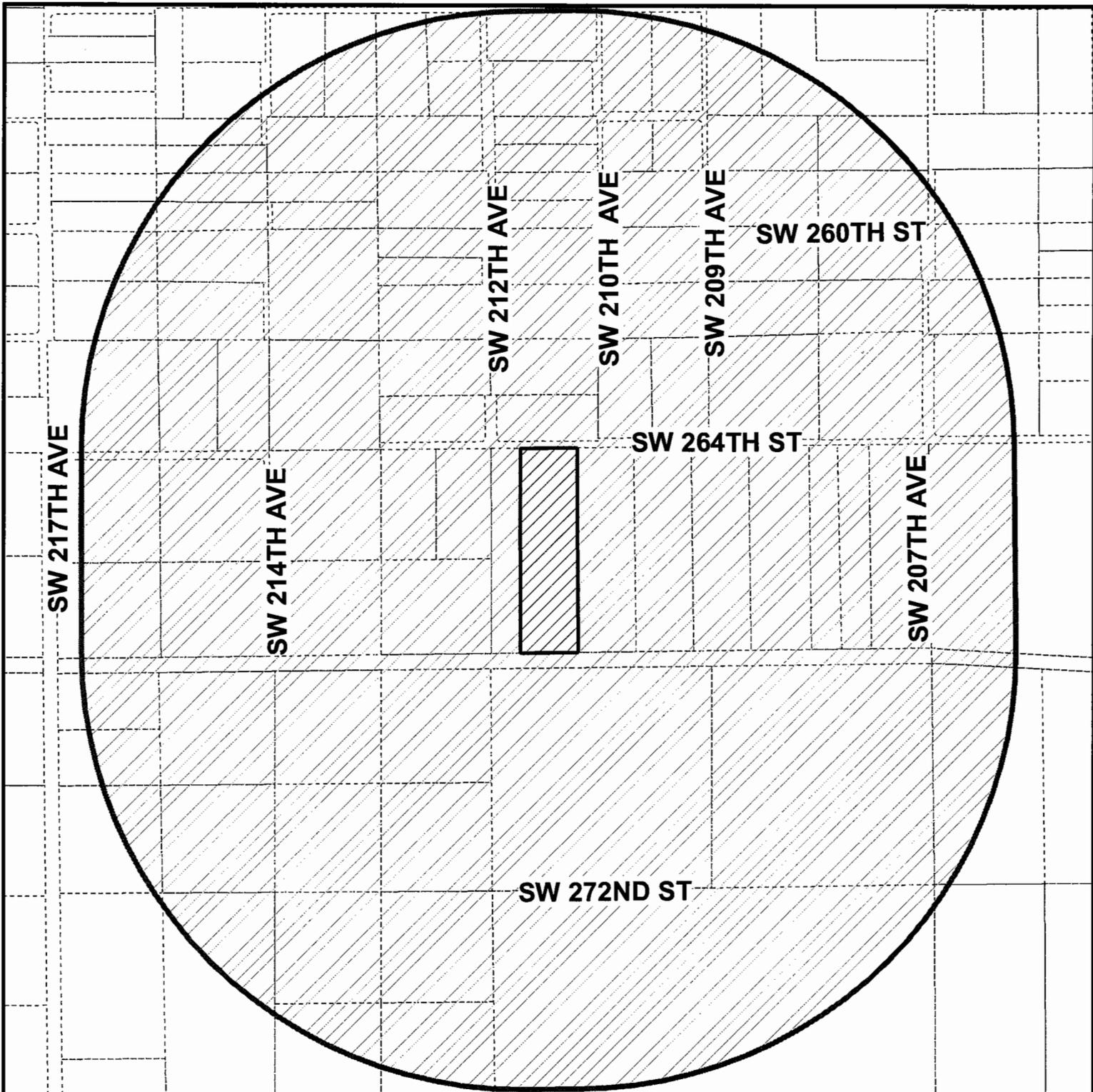
Legend

 Subject Property



SKETCH CREATED ON: Wednesday, May 16, 2012

REVISION	DATE	BY
		34



MIAMI-DADE COUNTY
RADIUS MAP

Process Number

Z2012000065

RADIUS: 2640



Section: 33/28 Township: 56 Range: 38
 Applicant: TOWER DEVELOPMENT CORP.
 Zoning Board: C14
 Commission District: 8
 Drafter ID: JEFFER GURDIAN
 Scale: NTS

Legend

-  Subject Property
-  Buffer



SKETCH CREATED ON: Wednesday, May 16, 2012

REVISION	DATE	BY
		35

SW 214TH AVE

SW 212TH AVE

SW 264TH ST

AGRICULTURE

CANAL

WATER

AGRICULTURE

MIAMI-DADE COUNTY
CDMP MAP

Process Number
Z2012000065



Section: 33/28 Township: 56 Range: 38
Applicant: TOWER DEVELOPMENT CORP.
Zoning Board: C14
Commission District: 8
Drafter ID: JEFFER GURDIAN
Scale: NTS

Legend

 Subject Property Case



SKETCH CREATED ON: Wednesday, May 16, 2012

REVISION	DATE	BY