

**DEPARTMENT OF REGULATORY
AND ECONOMIC RESOURCES**

APPLICATION FOR ENTRANCE FEATURE

DEVELOPMENT SERVICES DIVISION

111 N.W. 1ST STREET, 11TH FLOOR

MIAMI, FL 33128

PH. (305) 375-2141

E2024000013

Entrance Feature No.: _____ Tentative No.: _____

Plat Name FOUR: 30-7903-016-0520

Sec. _____ Twp. _____ Rge. _____

Property Location: 280'x SW 141ST PLACE, HOMESTEAD, FL 33032

Zoning: RJ-TH (TOWNHOUSE) District: TOWNHOUSE

Owner: WATERSIDE TOWNHOMES COMM HOUSE ASSOC INC

Owner's Email: LMARTIN@LPMSEMIAMI.COM

Owner's Address: 18901 SW 106TH AVE, SUITE 210, CUTLER BAY, FL 33157

Owner's Phone: 305-242-7174

Contact person: ANA MARIA BEEBE

Contact's Email: ambecbe@Interlinesbuilders.com

Contact's Address: 10773 NW 58TH ST, UNIT 115, DORAL FL 33178

Contact's Phone: 786-3671371

Please note that this application must be submitted to the Department of Regulatory and Economic Resources on the 11TH floor with the processing check made payable to the "Miami-Dade County".

FOR OFFICIAL USE ONLY

Check No: _____

Bank: _____

Date received: _____

**ZONING APPLICATION FOR ADMINISTRATIVE
APPROVAL OF ENTRANCE FEATURE**

MIAMI-DADE COUNTY

Sec. _____ Twp. _____ Rge. _____

E2024000013

Fee: _____

FOLIO# 30- 7903-016-0520

Date Received Stamp

This application with all required supplemental data, information and fee must be completed in accordance with the attached "INSTRUCTIONS FOR FILING APPLICATION FOR ENTRANCE FEATURE" and returned to the MIAMI-DADE COUNTY DEPARTMENT OF REGULATORY AND ECONOMIC RESOURCES, the Zoning Hearings Section.

TYPE OR PRINT LEGIBLY ALL INFORMATION ON APPLICATION:

1) Applicant ANA MARIA BEEBE Phone 786-3671371
Mailing Address 10773 NW 58th St #115 City DORAL State FL Zip 33178
Email Address ambeebe@interlinesbuilders.com

2) Owner of Property WATERSIDE TOWNHOMES COMM HOUSE ASSOC INC Phone 305-2427174
Mailing Address 18901 SW 106th Ave Suite 210 City CUTLER BAY State FL Zip 33157
Email Address LMARTIN@LPM3MIAMI.COM

3) Contact Person ANA MARIA BEEBE Phone 786-3671371
Mailing Address 10773 NW 58th St #115 City DORAL State FL Zip 33178
Email Address ambeebe@interlinesbuilders.com

4) LEGAL DESCRIPTION OF THE PROPERTY COVERED BY THE APPLICATION:

TRACK "A" OF "WATERSIDE TOWNHOMES -SECTION ONE"
ACCORDING TO THE PLAT THEREOF, AS RECORDED AT IN
PLAT BOOK 125, PAGE 24 OF THE PUBLIC RECORDS
OF MIAMI-DADE COUNTY, FLORIDA

5) SIZE OF PROPERTY: _____ x _____

6) Address or location of subject property 280xx SW 141st PL, HOMESTEAD, FL 33032

7) Present Zoning Classification(s) RU-TM

8) Is this Entrance Feature being requested as a result of a violation notice or summons? NO

DANIA S. FERNANDEZ
AND ASSOCIATES, P.A.



305-254-4492

info@dsfpa.com

13500 Kendall Drive, Ste. 265
Miami, FL 33186

August 27, 2024

Sent Via email to LMartin@Ipmsmiami.com

Lliliam Martin
Property Manager
18901 SW 106th Avenue, Suite 210
Miami, FL 33157
Tel: (305) 242-7174
Email: Lmartin@Ipmsmiami.com

RE: Waterside Townhomes Community – Entrance Feature hearing comments and status

To whom it may concern:

The undersigned hereby represents the Board of Directors of Mandarin Lakes Neighborhood Homeowners' Association, Inc. (herein "Association"). We are in receipt of your request regarding the Association's intentions with the portion of property highlighted in red in the attached Survey digitally signed by Gabriel Salazar, Dated: 2024.03.29 10:59:42 04'00"

In reference to this request the Board of Directors for the Association have met and discussed the matter. Upon review by the Board, they have authorized me to express that the Association does not have any plans to develop the described portion of property. Accordingly, any concerns from Miami Dade County's engineering department regarding the building of a security gate on the road that crosses through the described property should be satisfied.

Sincerely,

Roberto Ace Fernandez, Esq.
cc. Board of Directors



RECEIVED MIAMI-DADE COUNTY PROCESS NO.: E24-013 DATE: JUL 8 2025 BY: ISA

1983 JUN 29 PM 12:19

83R172819

RECORDED

JUN 15 1977

RICHARD P. BRINKER
CLERKOFF
REC 11832 PG 1700IN THE CIRCUIT COURT OF THE 11TH
JUDICIAL CIRCUIT IN AND FOR DADE
COUNTY, FLORIDA

GENERAL JURISDICTION DIVISION

CASE NO. 75-5572 (DIVISION 27)

EDWARD A. THOMPSON, et al.,

Plaintiffs,

-VS-

EVAN STAN LIPSON, et al.,

Defendants.

CORRECTED FINAL JUDGMENT

THIS CAUSE came on to be heard before me upon the Plaintiffs' Motion to Correct Final Judgment, and the Court being fully advised in the premises, the Final Judgment entered in this cause is hereby corrected to read as follows:

This is an action to establish an easement through a portion of the common elements in NARANJA LAKES CONDOMINIUM NUMBER FOUR, INC. according to the Declaration of Condominium thereof, recorded in ORB 7690, at Page 242 of the Public Records of Dade County, Florida. There are over five hundred named Defendants in this cause, each of whom own an undivided interest in said common elements. Therefore, the issues presented herein are common and general to each Defendant.

Almost all of the named Defendants have been served with the Summons and Amended Complaint, personally or by substituted service or by publication, or have filed an Answer to the Amended Complaint.

The law firm of Krause and Reinhard, P.A., represents over one hundred of the Defendants who have filed Answers to the Amended Complaint and also represent Naranja Lakes Condominium No. 4, Inc. Only three (3) other Defendants have filed any response to the Amended Complaint and said Defendants do not object to the entry of this Corrected Final Judgment.

-1-

9711 PG 680

21⁰⁰
W

RECEIVED MIAMI-DADE COUNTY PROCESS NO.: E24-013 DATE: JUL 8 2025 BY: ISAOFF
REC 11832 PG 1701

The law firm of Krause and Reinhard, P.A. has filed a Counterclaim in this action in behalf of the specific parties whom they represent and in behalf of the remaining Defendants who have not filed any responsive pleadings herein.

The parties represented by Krause and Reinhard, P.A. are representative of the class consisting of all of the owners of condominium units at Naranja Lakes Condominium and that they may act in behalf of all Defendants in this cause who have not filed a responsive pleading herein.

This Court has been advised that the Plaintiffs and the Defendants, through the office of Krause and Reinhard, P.A., have entered into an amicable settlement of this cause, which is as follows:

1) That Plaintiffs, and their heirs, successors and assigns in and to any portion of the following described real property shall have a perpetual easement in and to that portion of the common element described in the Survey prepared by C. W. Ladd, dated March 25, 1977, a copy of which is attached hereto and incorporated herein, for the purpose of constructing, maintaining and using an asphalt type road to be constructed in conformity to county regulations as to same, and to be used for ingress and egress to the Plaintiffs' property described below.

NW 1/4 of NE 1/4 less triangular part
lying in S. W. corner for C-103N-1
Canal R/W and less land on East taken
for Expressway R/W, Sec. 3-57-39, Dade
County, Florida.

2) Plaintiffs will provide landscaping on said property in accordance with the landscaping plans offered into evidence as Exhibit A.

3) Plaintiffs have delivered to Krause and Reinhard, P.A. a Declaration of Restrictions, admitted into evidence as Exhibit B, which Krause and Reinhard, P.A. are authorized to record among the Public Records of Dade County, Florida.

-2-

REC 9711 PG 681

RECEIVED MIAMI-DADE COUNTY PROCESS NO.: ~~E24-014~~ DATE: JUL 8 2025 BY: ISA

RECEIVED MIAMI-DADE COUNTY PROCESS NO.: E24-013 DATE: JUL 8 2025 BY: ISA

OFF 11832 EC 1702

4) The road referred to above shall be constructed when development of Plaintiffs' property commences. The landscaping referred to herein shall be installed before the improvements are occupied.

5) Plaintiffs shall pay to Krause and Reinhard, P.A. Trust Account the sum of \$8,000.00, and to Krause and Reinhard, P.A., any costs and reasonable attorneys fees for their services in behalf of Defendants, which shall constitute full payment for the above described perpetual easement. Krause and Reinhard are hereby instructed to retain said \$8,000.00 in escrow until such time as they have filed with this Court a statement certifying that all property owners of Naranja Lakes Condominium Number 4 have been notified of the entry of this Corrected Final Judgment.

6) A fence consisting of shrubbery or plants shall be installed on the boundary line dividing Plaintiffs' property from the property known as Naranja Lakes Condominium Number 4, and shall be perpetually maintained by the owners of the property described in paragraph 1 hereof.

The Plaintiffs are entitled to an easement for ingress and egress pursuant to Chapter 704, Florida Statutes (1975) as a matter of law, and that the foregoing settlement terms and conditions are reasonable and fair, and in the best interests of all parties hereto. Accordingly, it is

ORDERED and ADJUDGED as follows:

A) That Final Judgment be entered in favor of Plaintiffs and against Defendants, granting to Plaintiffs and all other persons claiming by, through or under Plaintiffs, or either of them, their predecessors in title, or heirs, assigns or legal representatives by virtue of any deeds of conveyance to any portion of the following described property:

NW 1/4 of NE 1/4 less triangular part
lying in S. W. corner of C-103N-1
Canal R/W and less land on East taken
for Expressway R/W, Sec. 3-57-39, Dade
County, Florida

a perpetual easement and right of way over the land described in

RE 9711 RE 682

RECEIVED MIAMI-DADE COUNTY PROCESS NO.: E24-013 DATE: JUL 8 2025 BY: ISA

MIAMI-DADE COUNTY PROCESS NO.: E24-013 DATE: JUL 8 2025 BY: ISA

OFF
REC 11832 PG 1703

the Survey of C. W. Ladd dated March 25, 1977 and being attached hereto.

B) That Plaintiffs are ordered to pay unto Krause and Reinhard, P.A. Trust Account, within ten (10) days from date hereof, the sum of Eight Thousand (\$8,000.00) Dollars, plus a reasonable attorneys fee to Krause and Reinhard, P.A., and court costs.

C) The parties hereto are further ordered to comply with the provisions of paragraphs 1 through 6 set forth above.

DONE and ORDERED in Chambers, at Miami, Dade County, Florida, this 14th day of June, 1977.


CIRCUIT COURT JUDGE

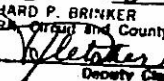
Copies furnished to: Reiseman, Buchbinder & Elegant, P.A.
Krause and Reinhard, P.A.
Jeffrey Feuer, Esquire

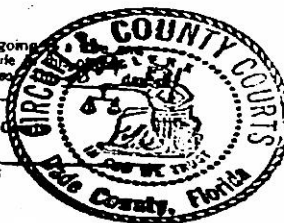


STATE OF FLORIDA)
COUNTY OF DADE)

I HEREBY CERTIFY that the foregoing is a correct copy of the original on file.
WITNESS my hand and official Seal
A.D. 19 77

RICHARD P. BRINKER
CLERK, Circuit and County

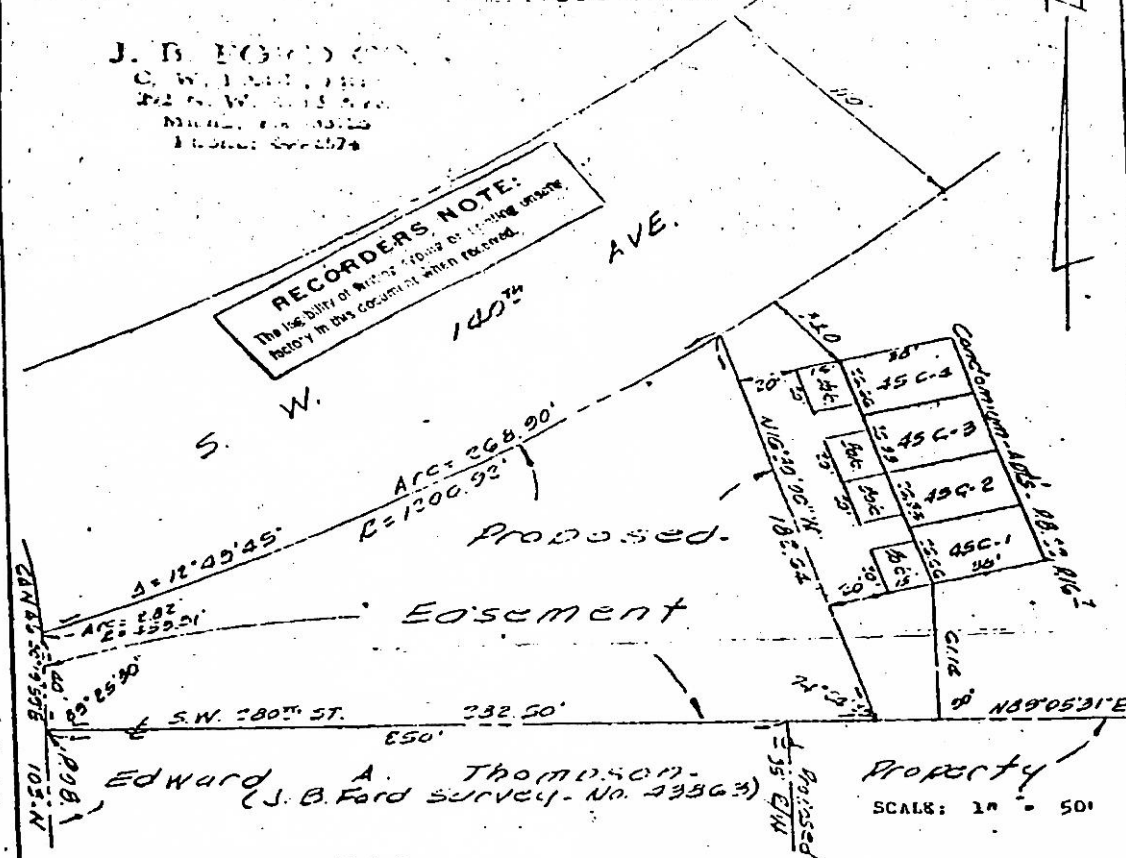
By 
Deputy Clerk



-4-

REC 9711 PG 683

RECEIVED

MIAMI-DADE COUNTY PROCESS NO. E24-013 DATE: JUL 8 2025 BY: ISA
MIAMI-DADE COUNTY PROCESS NO. E24-013 DATE: JUL 8 2025 BY: ISA**LEGAL DESCRIPTION OF EASEMENT:**

A portion of Tract 23, NARANJA LAKES SECTION TWO, according to the Plat thereof as recorded in Plat Book 92, at Page 64 of the Public Records of Dade County, Florida; lying adjacent to Property known as the Edward A. Thompson property, situated within the NW 1/4 of the NE 1/4 of Section 3, Township 57 South, Range 39 East, Dade County, Florida; said portion of Tract 23 being more particularly described as follows: Beginning at the SW corner of said Tract 23, said point also being the NW corner of said Edward A. Thompson Property; thence run N 89°05'31\" E, along the South line of said Tract 23, said line also being the North line of said Edward A. Thompson Property, for a distance of 282.50 feet to a point; thence run N 16°30'40\" W, along a line lying 20 feet Southwesterly of and parallel to the Southwesterly edge of four balconies being a part of four Condominium Apartments, as recorded in the Public Records of Dade County, in Plat Book 22, at Page 16 (Condominium Section), for a distance of 182.41 feet to a point on the Southeastly Right-of-Way line of S.W. 140th Avenue, as shown on said Plat of NARANJA LAKES SECTION TWO; thence run in a Southwesterly direction along the arc of a circular curve to the right, concave to the Northwest, said curve having a radius of 1200.92 feet and a central angle of 12°49'45\", for an arc distance of 268.90 feet to the most Westerly corner of said Tract 23, said corner also being on a circular curve, concave to the Southwest; thence run Southeastly, along the arc of said curve, having a radius of 1200.92 feet and a central angle of 0°21'21\", for an arc distance of 2.82 feet to a point of tangency lying on the West line of the SE 1/4 of Section 34, Township 56 South, Range 39 East; thence run S 0°19'49\" E, along the said West line of the SE 1/4 of Section 34, for a distance of 140.00 feet to the Point-of-Beginning.

RECORDED IN OFFICIAL RECORDS BOOK
OF DADE COUNTY, FLORIDA
RECORD VERIFIED

RICHARD P. BRINKER
CLERK CIRCUIT COURT

SEE 9711 PG 684
REC

FILED: MARCUS J. DUCHOTIN

ORDER NO. 14879

DATE: March 22, 1977

PREPARED BY: W.M. Lloyd

FIELD BOOK: S-42863

PROFESSIONAL PREPARER'S STATEMENT OF LANDSCAPING COMPLIANCE

PROCESS NUMBER _____

FOLIO: 30-7903-016-0520

SEC-TWP-RGE: _____

Legal Description: Lot _____ Block _____ Subdivision **WATERSIDE TOWNHOMES**

P.B. 125 Page 24 Development Name **WATERSIDE TOWNHOMES**

Located at (address) **S.W. 280th St., and S.W. 141st Place, MIAMI-DADE COUNTY, FL. 33033**

I/We hereby certify that the landscaping/irrigation plan being submitted for the above captioned complies with the requirements of Ordinance 98-13 (Landscape Ordinance) as to species, height, trunk width and location at time of planting, and that the species as shown are in accordance with the accepted species approved by Miami-Dade County and that none of the species were selected from the "Prohibited Species" list.

Additionally, automatic sprinkler system (if applicable) complies with requirement of said ordinance as to type of heads, spray system, location, etc.

I/We further certify that I/we am/are authorized under Chapter 481, Florida Statutes to prepare and submit this landscaping/irrigation plan.

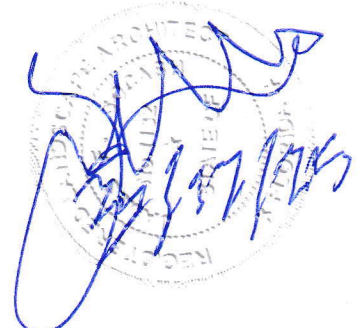
Professional Preparer's Signature

Seal:

JAMES F. SOCASH

Print Name

STATE OF FLORIDA
COUNTY OF MIAMI-DADE



The foregoing instrument was acknowledged before me this 17 day of MARCH

2025, By JAMES F. SOCASH of JFS DESIGN INC.

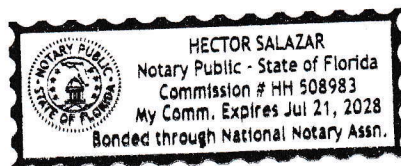
A FLORIDA corporation, on behalf of the corporation.

He/she is personally known to me or has produced FL DR LIC. # S220-446-49-417-0

as identification and did not take an oath.

Witness my signature and official seal this 17 day of MARCH

2025, in the County and State aforesaid, the date and year last aforesaid.



Notary Public

Hector Salazar

Print Name

My Commission Expires: 6/21, 2028

WATERSIDE RESIDENTIAL CONDOMINIUM VEHICULAR/PEDESTRIAN ACCESS GATES

LOCATED AT:
280xx SW 141 Place, HOMESTEAD, FL 33032
FOR:
WATERSIDE TOWNHOMES COMM HOUSE ASSOC INC

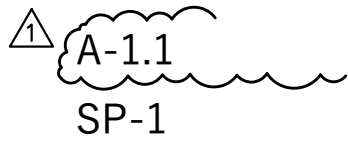


SAG GROUP INC.
5001 SW 74th Court, suite 206
MIAMI, FLORIDA 33155
PH. 305-322-8991
AA26001605

MECHANICAL/ ELECTRICAL/
PLUMBING ENGINEERING:
INGEMEL S.A., LLC
20871 JOHNSON STREET, SUITE 115
PEMBROKE PINES, FLORIDA 33029
PH # (954) 318.2264

INDEX OF DRAWINGS

ARCHITECTURAL

SHEET NO.	DESCRIPTION
A-1.0	COVER SHEET/INDEX LOCATION MAP, GENERAL NOTES, SCOPE OF WORK AND CODE SEARCH
 A-1.1 SP-1	VEHICULAR AND PEDESTRIAN GATES AND FENCE ELEVATION AND DETAILS EXISTING PARTIAL SITE PLAN AND PROPOSED ENLARGED FLOOR PLAN

ELECTRICAL

SHEET NO.	DESCRIPTION
E-1	ELECTRICAL PLAN, LOCATION MAP AND NOTES
E-2	ELECTRICAL RISERS, PANELS, SCHEDULE AND DETAIL
E-3	LOW VOLTAGE PLAN
E-4	MOTORS SPECIFICATIONS

LANDSCAPE

SHEET NO.	DESCRIPTION
TD-1	TREE DISPOSITION PLAN AND DETAILS
L-1	PROPOSED LANDSCAPE PLAN, PLANT LIST AND TREE IMAGES
L-2	LANDSCAPE DETAILS AND NOTES

CIVIL

SEE THEIR COVER SHEET FOR THE LIST OF PLANS

GENERAL NOTES

1. THE CONTRACT DOCUMENTS INCLUDE THE WORKING DRAWINGS, ADDENDA, MODIFICATIONS, THE CONDITIONS OF THE CONSTRUCTION CONTRACT, AND OWNER'S SPECIFICATIONS.

2. THE CONTRACT DOCUMENTS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT FOR WHICH THEY ARE PREPARED IS EXECUTED OR NOT. THE CONTRACT DOCUMENTS ARE NOT TO BE USED BY THE OWNER FOR OTHER PROJECTS OR EXTENSIONS TO THE PROJECT NOR ARE THEY TO BE MODIFIED IN ANY MANNER WHATSOEVER EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

3. THE WORK WILL CONFORM WITH THE REQUIREMENTS OF ALL AGENCIES HAVING JURISDICTION.

4. "FURNISH" MEANS SUPPLY ONLY FOR OTHERS TO PUT IN PLACE.

5. "PROVIDE" MEANS FURNISH AND INSTALL, COMPLETE IN PLACE.

6. "SIMILAR" MEANS COMPATIBLE CHARACTERISTICS FOR CONDITIONS NOTED. CONTRACTOR TO VERIFY DIMENSIONS AND ORIENTATION.

7. "TYPICAL" MEANS IDENTICAL FOR CONDITIONS NOTED.

8. DO NOT SCALE DRAWINGS; DIMENSIONS GOVERN. VERIFY DIMENSIONS WITH FIELD CONDITIONS. IF DISCREPANCIES ARE DISCOVERED BETWEEN FIELD CONDITIONS AND DRAWINGS OR BETWEEN DRAWINGS, CONTACT ARCHITECT FOR RESOLUTION BEFORE PROCEEDING.

9. HORIZONTAL DIMENSIONS INDICATED ARE TO/FROM FACE OF STRUCTURE, EXCEPT AS NOTED.

10. VERTICAL DIMENSIONS ARE FROM TOP OF FINISH FLOOR. (A.F.F.)

11. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT APPROVAL OF ARCHITECT UNLESS NOTED (+/-).

13. ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE, AND IN PROPER ALIGNMENT.

13. CUT AND FIT COMPONENTS FOR ALTERATIONS OF EXISTING WORK AND INSTALLATION OF NEW WORK. PATCH DISTURBED AREAS TO MATCH ADJACENT MATERIALS AND FINISHES.

14. PATCH AND REPAIR ALL FIREPROOFING DAMAGED OR REMOVED DURING PERFORMANCE OF THE WORK. FIREPROOF ALL NEW PENETRATIONS REQUIRED BY THE WORK.

15. COORDINATE AND PROVIDE BLOCKING/BACKING IN PARTITIONS BEHIND ALL WALL MOUNTED ITEMS. ALL CONCEALED WOOD TO BE FIRE TREATED.

16. MAKE ALL NECESSARY PROVISIONS FOR ITEMS TO BE FURNISHED OR INSTALLED BY TENANT. PROVIDE PROTECTION FOR THESE PROVISIONS UNTIL COMPLETION OF THE PROJECT. GENERAL CONTRACTOR TO COORDINATE N.I.C. ITEMS WITH APPROPRIATE TRADES.

17. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS, AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. CLARIFICATIONS REGARDING ANY CONFLICTS SHALL BE ACHIEVED PRIOR TO RELATED WORK BEING STARTED.

18. GENERAL CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ANY AND ALL MECHANICAL, TELEPHONE, ELECTRICAL, PLUMBING, AND EQUIPMENT (TO INCLUDE ALL PIPING, DUCTWORK, AND CONDUIT) AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ABOVE EQUIPMENT ARE PROVIDED. ELEMENTS TO BE EXPOSED OR CONCEALED SHALL BE DETERMINED AND REVIEWED WITH ARCHITECT IN THE FIELD PRIOR TO CONSTRUCTION PROCEEDING.

19. GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL COORDINATE THE LAYOUT AND EXACT LOCATION OF PARTITIONS, DOORS, ELECTRICAL/TELEPHONE OUTLETS AND LIGHT SWITCHES WITH ARCHITECT IN THE FIELD BEFORE PROCEEDING WITH CONSTRUCTION.

20. GENERAL CONTRACTOR IS RESPONSIBLE FOR AND SHALL PROVIDE PROTECTION FOR ANY EXISTING FINISHES INCLUDING ELEVATORS, LOBBIES AND CORRIDORS OF THE BASE BUILDING. ANY DAMAGE TO EXISTING AREAS CAUSED BY THE GENERAL CONTRACTOR OR HIS SUBCONTRACTORS SHALL BE REPAIRED BY THE GENERAL CONTRACTOR. THE REPAIRS ARE NOT PART OF THIS PROJECT OR CONTRACT AND WILL BE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

21. CONTRACTOR SHALL PROVIDE MANUFACTURER'S SPECIFICATIONS INSTALLATION INSTRUCTIONS, SHOP DRAWINGS AND SAMPLES FOR REVIEW AND APPROVAL OF ALL MATERIALS AND METHODS TO BE USED PRIOR TO ORDERING OR PROCEEDING WITH THE WORK.

22. CONTRACTOR TO FOLLOW MANUFACTURER'S RECOMMENDED SPECIFICATIONS AND INSTALLATION PROCEDURES. IF THESE ARE CONTRARY TO THE CONTRACT DOCUMENTS, CONTRACTOR SHALL NOTIFY ARCHITECT, IN WRITING, IMMEDIATELY, TO RESOLVE DISCREPANCIES PRIOR TO PROCEEDING.

23. THE CONTRACT DOCUMENTS CONSIST OF THE FOLLOWING:

- OWNER-CONTRACTOR AGREEMENT.
- GENERAL CONDITIONS.
- DRAWINGS AS DATED IN AGREEMENT.

24. EXERCISE EXTREME CARE AND PRECAUTION DURING CONSTRUCTION OF THE WORK TO MINIMIZE DISTURBANCES TO ADJACENT STRUCTURES AND THEIR OCCUPANTS. PROPERTY, PUBLIC THOROUGHFARES, ETC. CONTRACTOR SHALL TAKE PRECAUTIONS AND BE RESPONSIBLE FOR THE SAFETY OF ALL BUILDING OCCUPANTS FROM CONSTRUCTION PROCEDURES.

25. WITHIN FIVE (5) DAYS FROM CONTRACT DATE, PREPARE AND SUBMIT AN ESTIMATED PROGRESS SCHEDULE FOR THE WORK, WITH SUB SCHEDULES OF RELATED ACTIVITIES SUCH AS DATA/TELEPHONE CABLING AND FURNITURE INSTALLATION.

26. ALL WORK SHALL COMPLY WITH APPLICABLE CODES, AMENDMENTS, RULES, REGULATIONS, ORDINANCES, LAWS, ORDERS, APPROVALS, ETC., THAT ARE REQUIRED BY PUBLIC AUTHORITIES. IN THE EVENT OF CONFLICT, THE MOST STRINGENT REQUIREMENTS SHALL GOVERN. REQUIREMENTS INCLUDE, BUT ARE NOT NECESSARILY LIMITED TO, THE CURRENT APPLICABLE EDITIONS OF PUBLICATIONS OF THE FOLLOWING:

- FLORIDA BUILDING CODE, 2017
- NATIONAL FIRE PROTECTION ASSOCIATION
- AMERICAN NATIONAL STANDARDS INSTITUTE

27. ABBREVIATIONS USED IN REFERRING TO STANDARDS THAT APPLY TO THE WORK INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

- AMERICAN SOCIETY OF TESTING MATERIALS (ASTM)
- AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC)
- AMERICAN WELDING SOCIETY (AWS)
- AMERICAN CONCRETE INSTITUTE
- AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI)
- ARCHITECTURAL ALUMINUM MANUFACTURER'S ASSOCIATION (AAMA)
- ALUMINUM ASSOCIATION, INC. (AA)
- CONCRETE REINFORCING STEEL INSTITUTE (CRSI)

- NATIONAL ASSOCIATION OF ARCHITECTURAL METAL MANUFACTURER'S (NAAMM).
- NATIONAL FIRE PROTECTION ASSOCIATION (NFPA)
- NATIONAL WOODWORK MANUFACTURER'S ASSOCIATION (NWWA)
- AMERICAN WOODWORK INSTITUTE (AWI)

28. IN THE EVENT OF CONFLICT BETWEEN DATA SHOWN ON DRAWINGS AND DATA SHOWN ON THE SPECIFICATIONS, THE SPECIFICATIONS SHALL GOVERN. DIMENSIONS NOTED ON DRAWINGS SHALL TAKE PRECEDENCE OVER DRAWINGS OF SMALLER SCALE. SHOULD THE CONTRACTOR, AT ANY TIME DISCOVER AN ERROR IN A DRAWING OR SPECIFICATION, OR A DISCREPANCY OR VARIATION BETWEEN DIMENSIONS OR DRAWINGS AND MEASUREMENTS AT SITE, OR LACK OF DIMENSIONS OR OTHER INFORMATION, HE SHALL NOT PROCEED WITH THE WORK AFFECTED UNTIL CLARIFICATION HAS BEEN MADE.

29. ONLY NEW ITEMS OF RECENT MANUFACTURER, OF STANDARD QUALITY, FREE FROM DEFECTS, WILL BE PERMITTED ON THE WORK AND REPLACED WITH ITEMS OF THE QUALITY SPECIFIED. FAILURE TO REMOVE REJECTED MATERIALS AND EQUIPMENT SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY FOR QUALITY AND CHARACTER OF ITEMS USED NOR FROM ANY OTHER OBLIGATION IMPOSED ON HIM/ HER BY THE CONTRACT.

30. THE FINISHED WORK SHALL BE FIRM, WELL ANCHORED, IN TRUE ALIGNMENT, PLUMB, LEVEL, WITH SMOOTH, CLEAN, UNIFORM APPEARANCE WITHOUT WAVES, DISTORTIONS, HOLES, MARKS, CRACKS, STAINS, OR DISCOLORATION. JOINTS SHALL BE CLOSE FITTING, NEAT AND WELL SCRIBED. THE FINISH WORK SHALL HAVE NO EXPOSED UNSIGHTLY ANCHORS OR FASTENERS AND SHALL NOT PRESENT HAZARDOUS, UNSAFE CORNERS. ALL WORK SHALL HAVE THE PROVISION FOR EXPANSION, CONTRACTION, AND SHRINKAGE AS NECESSARY TO PREVENT CRACKS, BUCKLING AND WARPING DUE TO TEMPERATURE AND HUMIDITY CONDITIONS.

31. ATTACHMENTS, CONNECTIONS, OR FASTENINGS OF ANY NATURE ARE TO BE PROPERLY AND PERMANENTLY SECURED IN CONFORMANCE WITH BEST PRACTICE AND THE CONTRACTOR IS RESPONSIBLE FOR IMPROVING THEM ACCORDINGLY AND TO THESE CONDITIONS. THE DRAWINGS SHOW ONLY SPECIAL CONDITIONS TO ASSIST CONTRACTOR; THEY DO NOT ILLUSTRATE EVERY SUCH DETAIL.

32. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE DIMENSIONS AND ELEVATIONS AT THE SITE. THE CONTRACTOR AND SUB-CONTRACTOR SHALL COORDINATE THE LAYOUT AND EXACT LOCATION OF ALL PARTITIONING, DOORS, ELECTRICAL/TELEPHONE OUTLETS, LIGHT SWITCHES AND THERMOSTATS WITH THE ARCHITECT IN THE FIELD BEFORE PROCEEDING WITH CONSTRUCTION.

33. NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY OR DEFICIENT IN ANY REQUIREMENTS OF DRAWINGS AND SPECIFICATIONS WILL BE ACCEPTABLE IN CONSEQUENCE OF OWNER'S OR ARCHITECT'S FAILURE TO DISCOVER OR TO POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION; NOR WILL PRESENCE OF INSPECTORS ON WORK RELIEVE CONTRACTOR FROM RESPONSIBILITY FOR SECURING QUALITY AND PROGRESS OF WORK AS REQUIRED BY CONTRACT. DEFECTIVE WORK REVEALED WITHIN REQUIRED TIME GUARANTEES SHALL BE REPLACED BY WORK CONFORMING WITH INTENT OF CONTRACT. NO YEMMENT WHETHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.

34. MATERIALS AND WORKMANSHIP SPECIFIED BY REFERENCE TO NUMBER, SYMBOL, TO INCLUDE A SPECIFICATION SUCH AS COMMERCIAL STANDARDS, FEDERAL SPECIFICATION, TRADE ASSOCIATION STANDARD, OR OTHER SIMILAR STANDARD, SHALL COMPLY WITH REQUIREMENTS IN LATEST EDITION OR REVISION THEREOF AND WITH ANY AMENDMENT OR SUPPLEMENT THERETO IN EFFECT ON DATE OF ORIGIN OF THIS PROJECT'S CONTRACT DOCUMENTS. SUCH STANDARD, EXCEPT AS MODIFIED HEREIN, SHALL HAVE FULL FORCE EFFECTS AS THOUGH PRINTED IN CONTRACT DOCUMENTS.

35. CONTRACTOR SHALL WAIVE "COMMON PRACTICE" AND "COMMON USAGE" AS CONSTRUCTION CRITERIA WHEREVER DETAILS AND CONTRACT DOCUMENTS OR GOVERNING CODES, ORDINANCES, ETC., REQUIRE GREATER QUANTITY OR BETTER QUALITY THAN COMMON PRACTICE OR COMMON USAGE WOULD REQUIRE.

36. CONTRACTOR SHALL ORDER AND SCHEDULE DELIVERY OF MATERIALS IN AMPLE TIME TO AVOID DELAYS IN CONSTRUCTION. IF AN ITEM IS FOUND TO BE UNAVAILABLE, CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY TO ALLOW ARCHITECT A REASONABLE AMOUNT OF TIME TO SELECT A SUITABLE SUBSTITUTE.

37. IF AT ANY TIME BEFORE COMMENCEMENT OF WORK, OR DURING PROGRESS THEREOF, CONTRACTOR'S METHODS, EQUIPMENT OR APPLIANCES ARE INEFFICIENT OR INAPPROPRIATE FOR SECURING QUALITY OF WORK, OR RATE OF PROGRESS INTENDED BY CONTRACT DOCUMENTS, OWNER MAY ORDER CONTRACTOR TO IMPROVE THEIR QUALITY OR INCREASE EFFICIENCY. THIS WILL NOT RELIEVE CONTRACTOR OF HIS SURETIES FROM THEIR OBLIGATIONS TO SECURE QUALITY OF WORK AND RATE OF PROGRESS SPECIFIED IN CONTRACT.

38. WITH REFERENCES TO CEILINGS, CONTRACTOR SHALL COORDINATE WITH ALL TRADES INVOLVED TO INSURE THAT CONFLICTS DO NOT OCCUR BETWEEN LIGHT FIXTURES, DUCTWORK, DIFFUSERS, SPRINKLERS ETC., AND THAT CEILING HEIGHTS INDICATED ON DRAWINGS ARE ACHIEVED. CLARIFY CONFLICTS WITH ARCHITECT.

39. ALL TELEPHONE AND COMMUNICATIONS WORK SHALL BE COORDINATED BY THE CONTRACTOR WITH TENANT'S REPRESENTATIVES. TENANT WILL PROCURE CABLING SUB-CONTRACTOR.

40. REFERENCES TO MAKES, BRANDS, MODELS, ETC., IS TO ESTABLISH TYPE AND QUALITY DESIRED; SUBSTITUTION OF ACCEPTABLE EQUALS WILL NOT BE PERMITTED UNLESS SPECIFICALLY NOTED OTHERWISE WHEN MADE ACCORDINGLY TO PROCEDURES FOR SUBSTITUTIONS.

41. THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF ANY DEFICIENCIES IN BASE BUILDING WORK PRIOR TO THE COMMENCEMENT OF HIS WORK. ANY UNREPORTED DEFICIENCIES WILL BECOME THE RESPONSIBILITY OF THE CONTRACTOR TO CORRECT.

42. CORING, DRILLING, OR OTHER SUCH WORK IN OR ADJACENT TO OCCUPIED AREAS SHALL BE PERFORMED AT OTHER THAN NORMAL WORKING AREAS FOR THE AFFECTED OCCUPANCY UNLESS OTHERWISE INDICATED.

43. UTILITY OUTAGES SHALL BE SCHEDULED OUTSIDE NORMAL WORKING HOURS FOR THE AFFECTED OCCUPANCY UNLESS OTHERWISE INDICATED.

44. THE CONTRACTOR SHALL TAKE ALL REASONABLE CONTROL AND PRECAUTION TO CONTROL/ ELIMINATE DUST, NOISE, ODOR NUISANCE AND THE LIKE TO THE PREMISES AND OCCUPANCY.

45. CONTRACTOR SHALL APPLY FOR PAY FOR AND OBTAIN ALL REQUIRED PERMITS FOR DEMOLITION, CONSTRUCTION AND OCCUPANCY.

CODE SEARCH AND TABULATION:

EXISTING RESIDENTIAL TOWNHOMES COMPLEX TO ADD A PEDESTRIAN AND VEHICULAR GATES WITH ARM GATES

OCCUPANCY GROUPS : (R3) RESIDENTIAL

(U) UTILITY & MISCELLANEOUS

TYPE OF CONSTRUCTION: II-B

- FLORIDA BUILDING CODE 2023-8th EDITION
- FLORIDA BUILDING CODE 2023-8th EDITION-EXISTING BUILDING
- FLORIDA BUILDING CODE 2023-8th EDITION-FLORIDA ACCESSIBILITY CODE
- NFPA 101 LIFE SAFETY CODE 2024 EDITION
- FLORIDA FIRE PREVENTION CODE 8TH EDITION

CLASSIFICATION OF WORK:

ALTERATION- LEVEL 2

603.1 SCOPE: LEVEL 2 ALTERATIONS INCLUDE THE RECONFIGURATION OF SPACE, THE ADDITION OR ELIMINATION OF ANY DOOR OR WINDOW, THE RECONFIGURATION OR EXTENSION OF ANY SYSTEM, OR THE INSTALLATION OF ANY ADDITION EQUIPMENT. 603.2 APPLICATION: LEVEL 2 ALTERATIONS SHALL COMPLY WITH THE PROVISIONS OF CHAPTER 7 FOR LEVEL 1 ALTERATIONS AS WELL AS THE PROVISIONS OF CHAPTER 8.

TYPE OF REHABILITATION

MODIFICATION: (43.2.2.1.3)

THE RECONFIGURATION OF ANY SPACE; THE ADDITION, RELOCATION OR ELIMINATION OF ANY DOOR OR WINDOW, THE ADDITION OR ELIMINATION OF LOAD-BEARING ELEMENTS; THE RECONFIGURATION OR EXTENSION OF ANY SYSTEM; OR THE INSTALLATION OF ANY ADDITIONAL EQUIPMENT

SITE INFORMATION

LEGAL DESCRIPTION:
TRACK "A" OF "Waterside Townhomes Section 1", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 125, PAGE 24 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

FOLIO NUMBER: 30-7903-016-0520

FLOOD ZONE: "X"

CURRENT ZONING DISTRICT: TOWNHOUSE DISTRICT (RU-TH)

DENSITY: 8.5 UNITS/NET ACRE

BUILDING DISPOSITION:

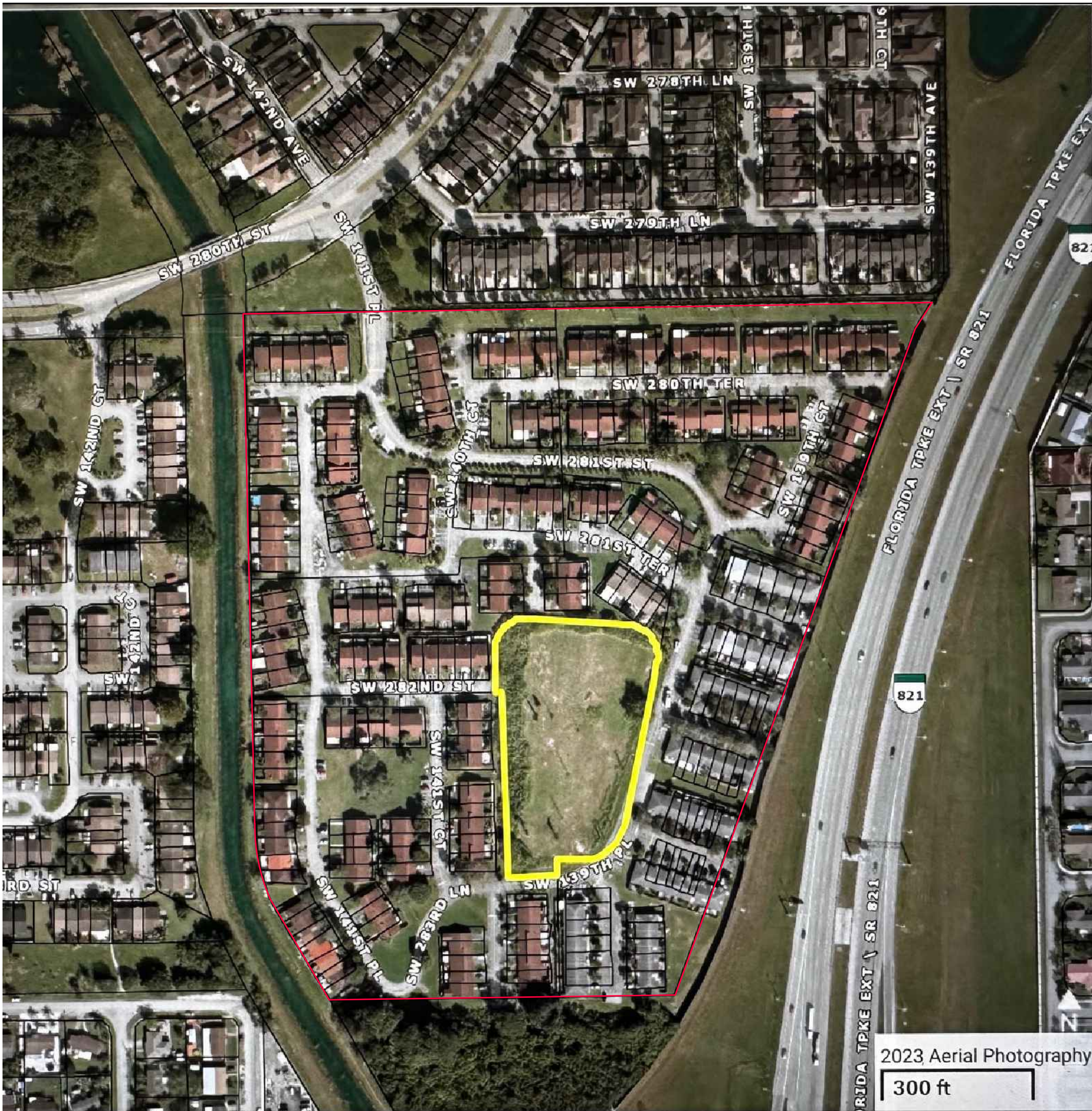
TOWNHOMES BUILDINGS MIX PER LOT SECTIONS			
	NUMBER OF BUILDINGS	# OF TOWNHOMES/ BUILDING	NUMBER OF TOWNHOMES
PARCEL-SECTION 1 (Where vehicular entrance is located)			
	1	3	3
	1	4	4
	5	5	25
	3	6	18
SUB-TOTAL	10 BLDGS		50 UNITS
PARCEL-SECTION 2 (FOLIO: 30-7903-017-0460)			
	1	3	3
	4	4	16
	4	5	20
	1	6	6
SUB-TOTAL	10 BLDGS		45 UNITS
PARCEL-SECTION 3 (FOLIO: 30-7903-018-0410)			
	3	3	9
	5	4	20
	1	5	5
	1	6	6
SUB-TOTAL	10 BLDGS		40 UNITS
PARCEL-SECTION 4 (FOLIO: 30-7903-020-0540)			
	1	2	2
	1	3	3
	3	4	12
	3	5	15
	3	6	18
SUB-TOTAL	11 BLDGS		50 UNITS
PARCEL-SECTION 5 (FOLIO: 30-7903-022-0480)			
	2	5	10
	6	6	36
SUB-TOTAL	8 BLDGS		46 UNITS
TOTAL	49 BLDGS		231 UNITS

SCOPE OF WORK:

EXISTING RESIDENTIAL TOWNHOMES COMMUNITY TO INSTALL NEW VEHICULAR AND PEDESTRIAN GATES AND FENCE. THE LOCATION WILL BE THE SAME WERE PREVIOUSLY THEY HAD SOME OLD GATES. THE INTENT IS TO INSTALL DOUBLE SET OF ARM GATES AT THE ACCESS LANES FOR SECURITY PURPOSES, THE FIRST ROW WILL OPEN, ONCE THE VEHICLE ACCESS, IT CLOSES AND THEN THE 2nd ROW OPENS AT THE SAME TIME OF THE SWING GATES. WHEN THE FIRE DEPARTMENT USES THE KNOX KEY, ALL ARM GATES AND SWING GATES, WILL REMAIN OPEN SIMULTANEOUSLY.

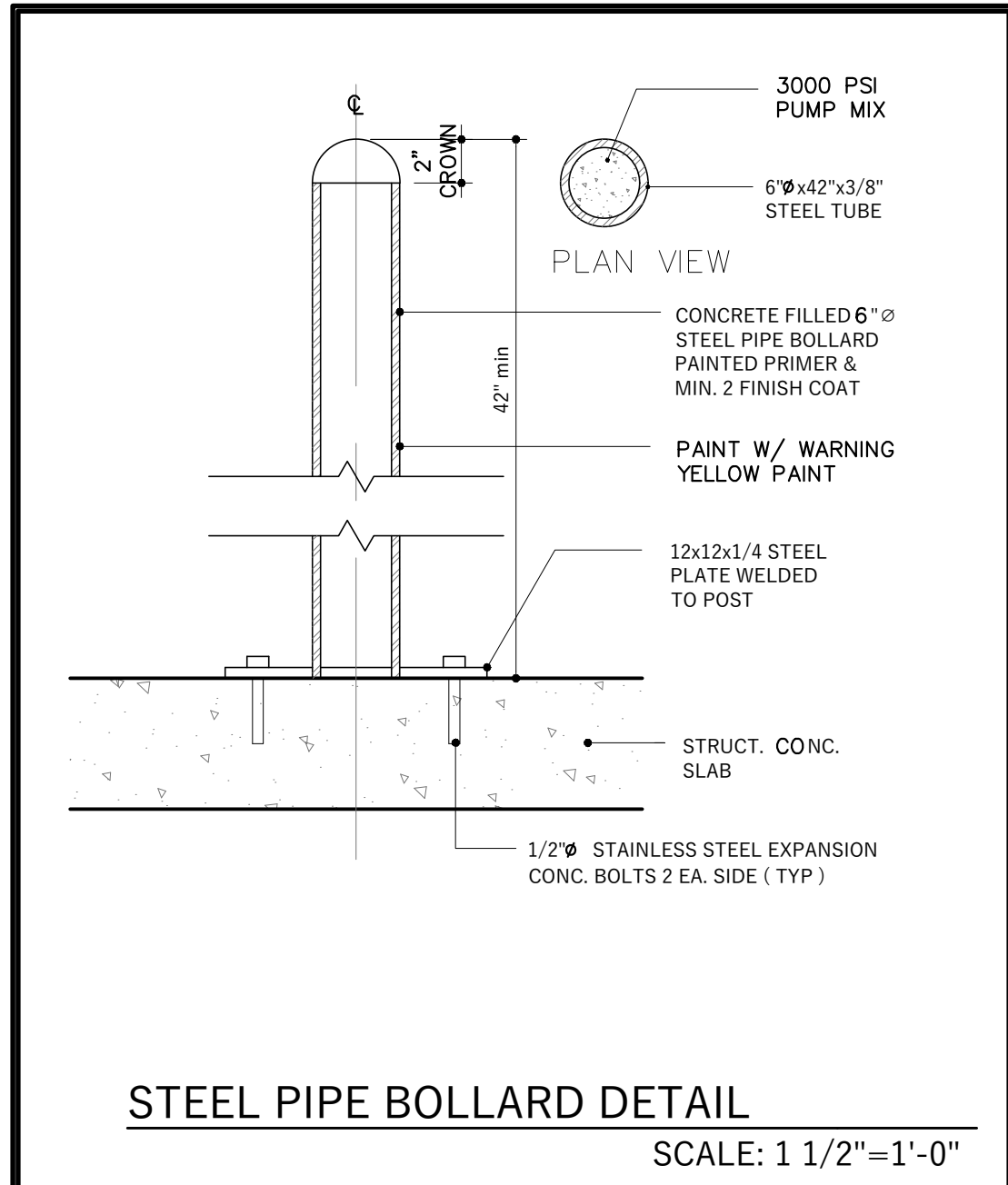
SCOPE OF WORK:

- *TO PROVIDE NEW VEHICULAR AND PEDESTRIAN ELECTRICAL GATES
- *TO PROVIDE ARM GATES AND MOTORS
- *TO PROVIDE INTERCOM FOR ACCESS CONTROL
- *TO PROVIDE NEW ELECTRICAL SUB-PANEL
- *TO PROVIDE CONCRETE ISLAND AND PADS FOR THE EQUIPMENT.
- *TO REDESIGN THE ENTRANCE DRIVEWAY TO ACCOMMODATE A PORTION FOR "U" TURN, TO REMOVE AND REPLACE ASPHALT, SPEED HUMPS AND AFFECTED SIGNS (SEE CIVIL PLANS)
- *TO REMOVE AND REPLACE EXISTING CONCRETE SIDEWALK ALONG THE ENTRY DRIVEWAY, TO ADD ACCESSIBLE CURB CUT AND RAMP WITH DETECTABLE WARNING PADS AT EACH SIDE OF THE SIDEWALK
- *TO ADD A COUPLE OF BOLLARDS TO PROTECT EXISTING POST.
- *TO PROVIDE NEW LANDSCAPE AFFECTED WITH THE CHANGES IN THE AREA OF SCOPE (SEE LANDSCAPE PLANS)
- *TO RELOCATE THE WATER LINE IN THE PROXIMITY OF THE GATE POST FOOTING (SEE SITE PLAN)
- EQUIPMENT INFORMATION:
 - *SWING DOOR MOTOR: CSW2QUIL BY LIFT MASTER
 - *ARM GATE MOTOR: MA/MAT BARRIER GATE OPERATOR BY LIFT MASTER
 - *INTERCOM WITH KNOX KEY BY



LOCATION MAP-AERIAL VIEW

FOR REFERENCE ONLY



STEEL PIPE BOLLARD DETAIL

SCALE: 1 1/2"=1'-0"

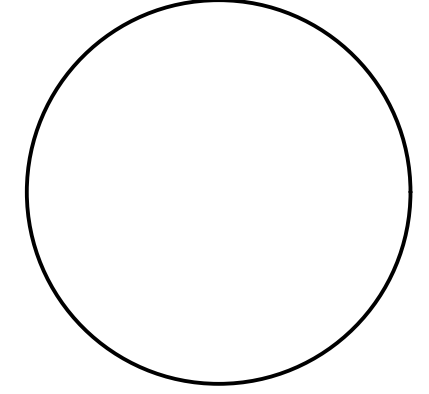
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RESIDENTIAL CONDOMINIUM VEHICULAR/PEDESTRIAN ACCESS GATES

WATERSIDE TOWNHOMES COMM HOUSE ASSOC INC
280xx SW 141 Place, HOMESTEAD, FL 33032



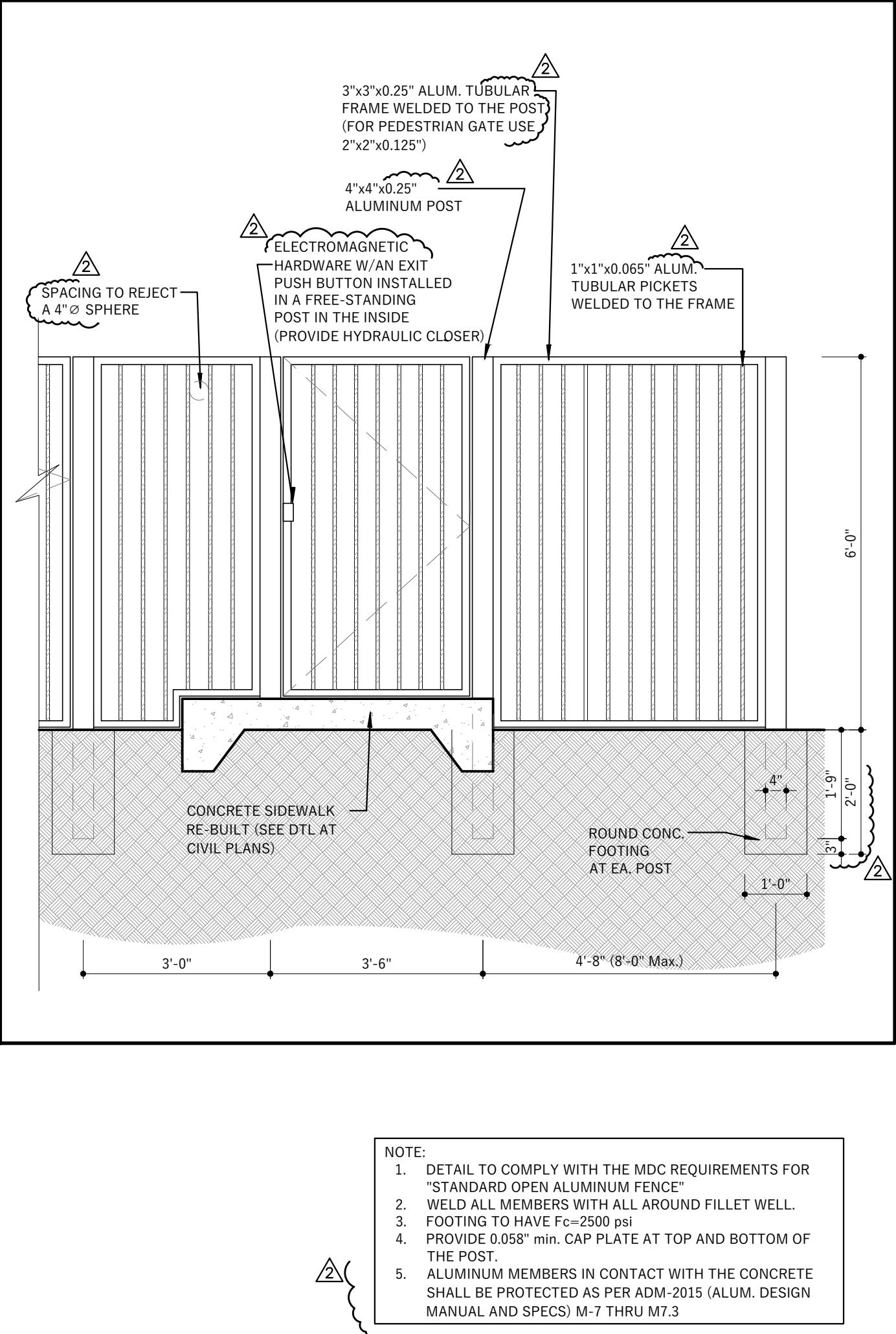
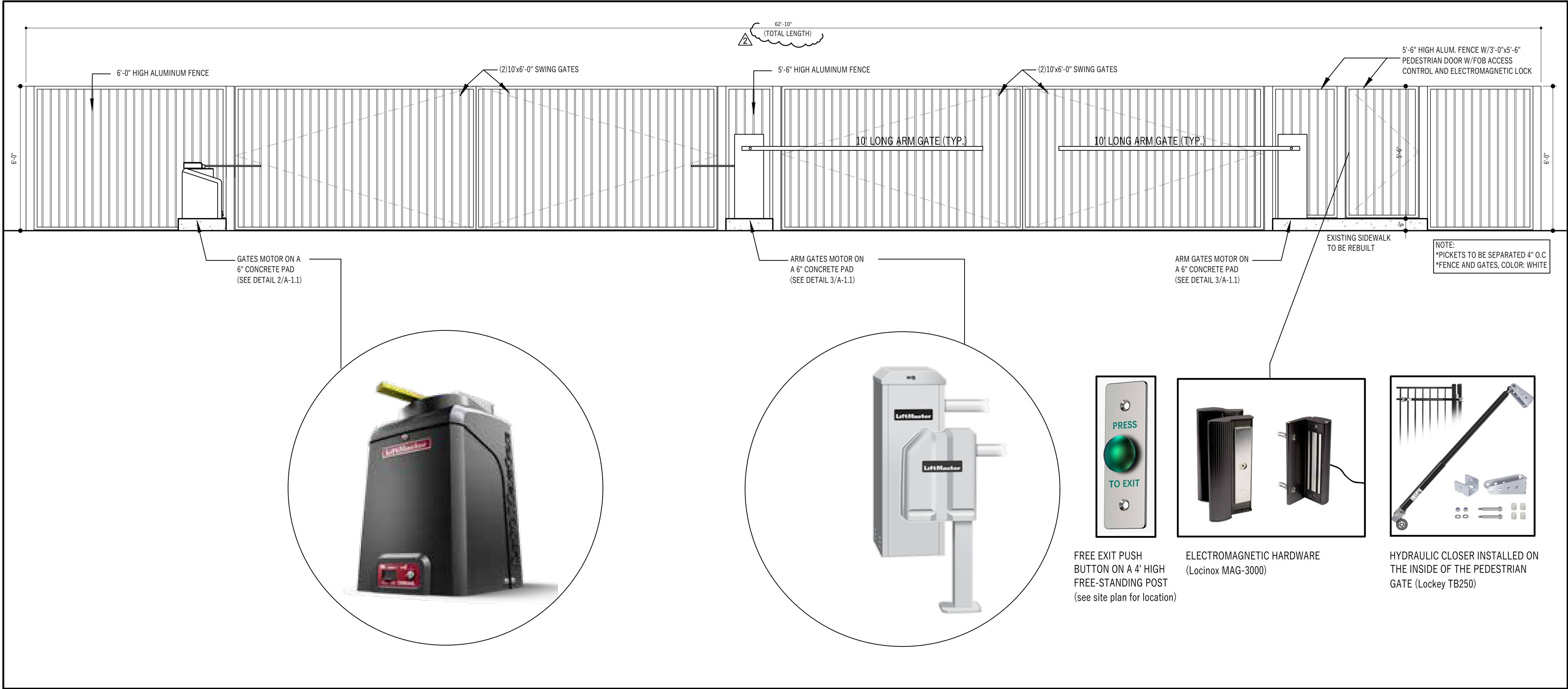
Signed and Sealed by:
GABRIEL SALAZAR
AR # 0009297



Job No 23-039
Project Manager AMB
Drawn by AMB
Scale AS INDICATED
Date MAR 2024

SHEET No.

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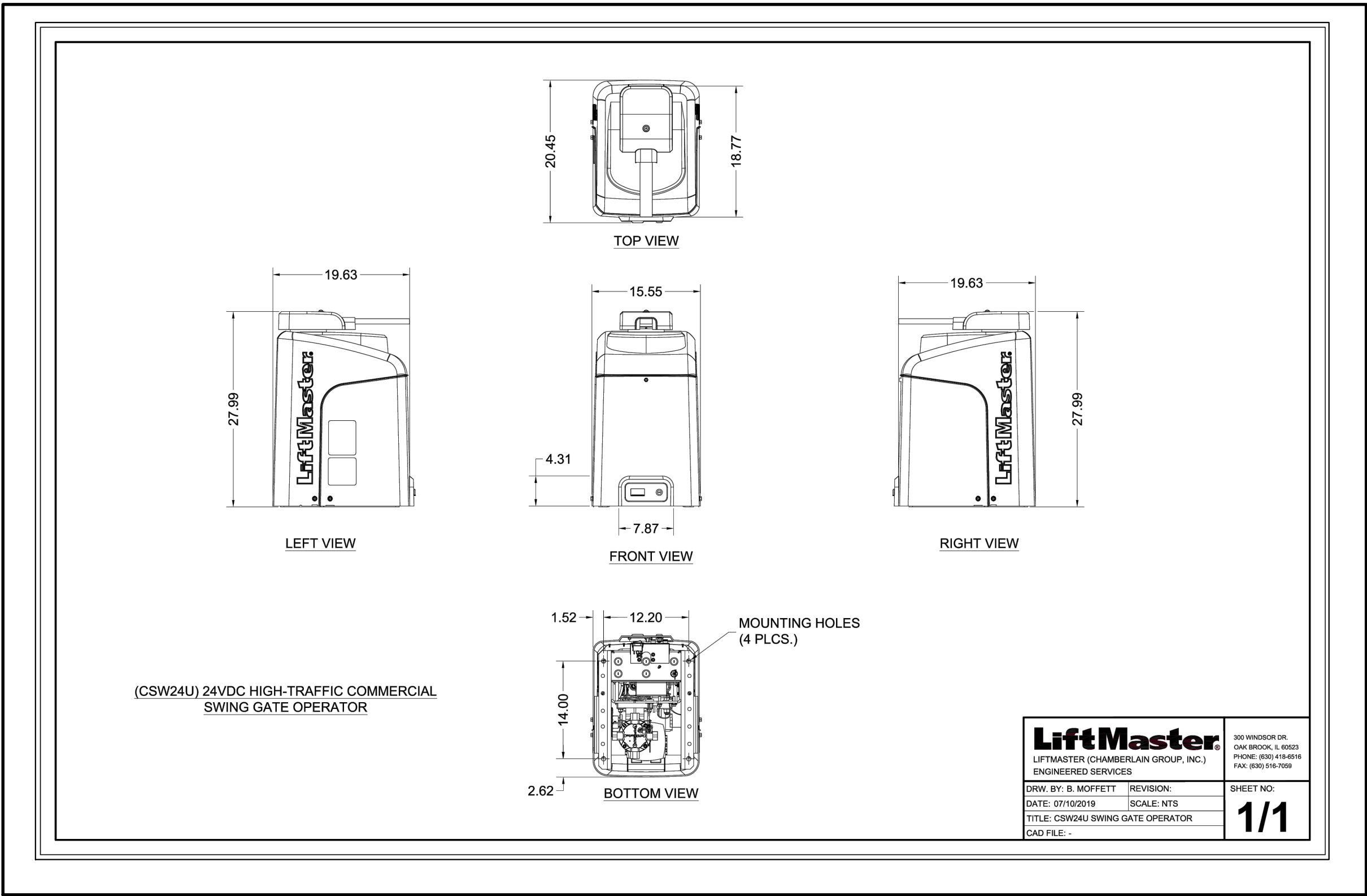
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PROPOSED VEHICULAR AND PEDESTRIAN GATES AND FENCE ELEVATION

3/8":1'-0"

PROPOSED FENCE DETAIL

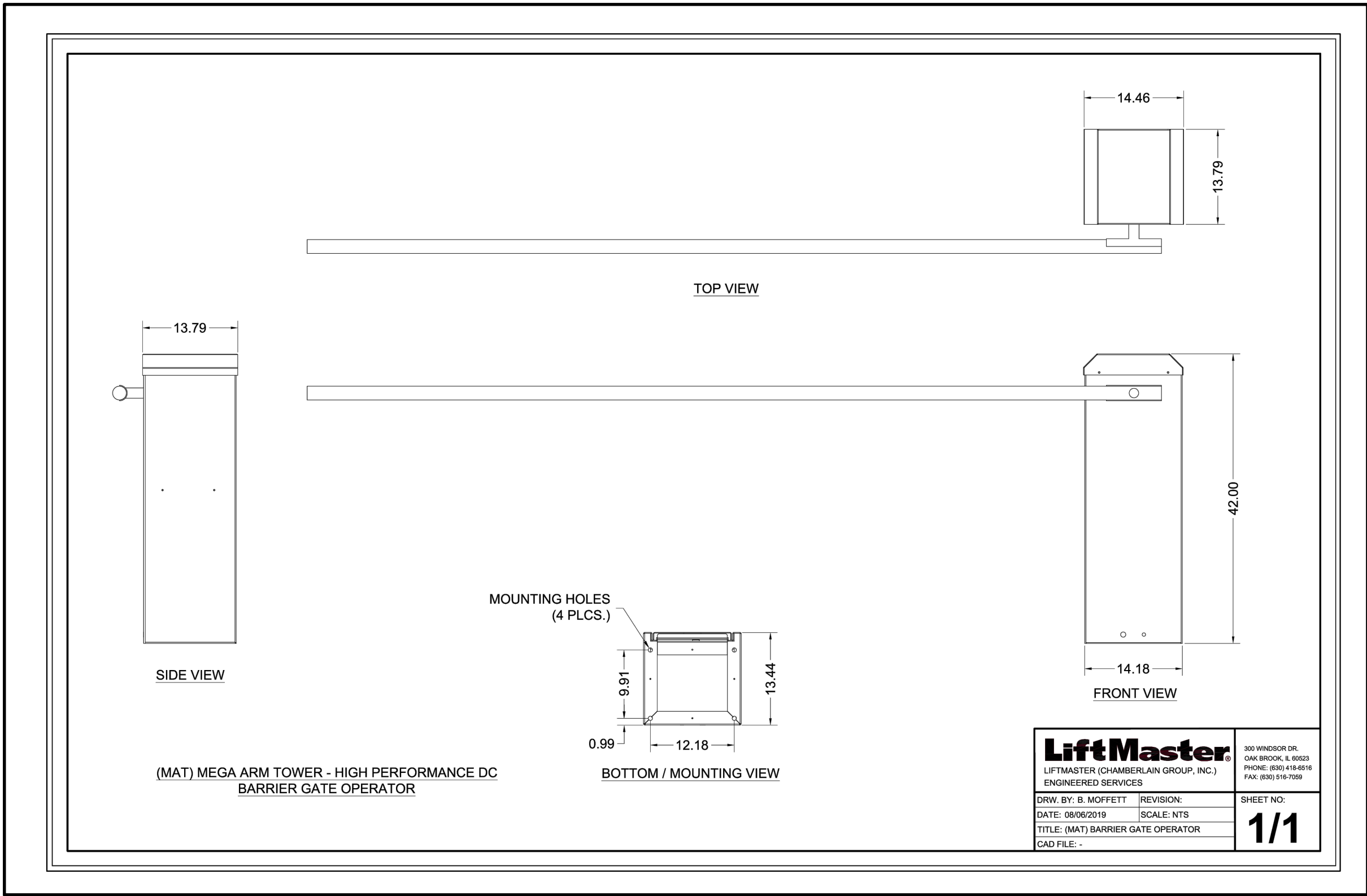
1/2":1'-0"



2
A-1.1

SWING GATE OPERATOR

N.T.S



3
A-1.1

BARRIER GATE OPERATOR

N.T.S

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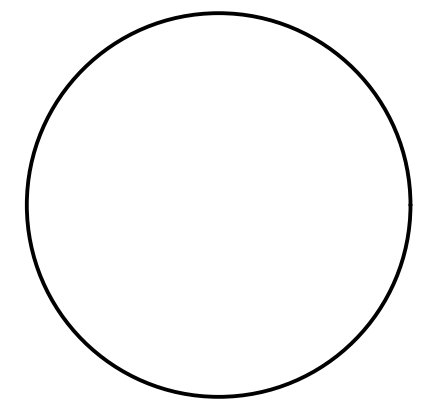
salazararchitectural
group

ARCHITECTS

URBAN PLANNING

SALAZAR ARCHITECTURAL GROUP
SAG GROUP INC.
MIAMI, FLORIDA
305.860.1605

Signed and Sealed by:
GABRIEL SALAZAR
AR # 0009297



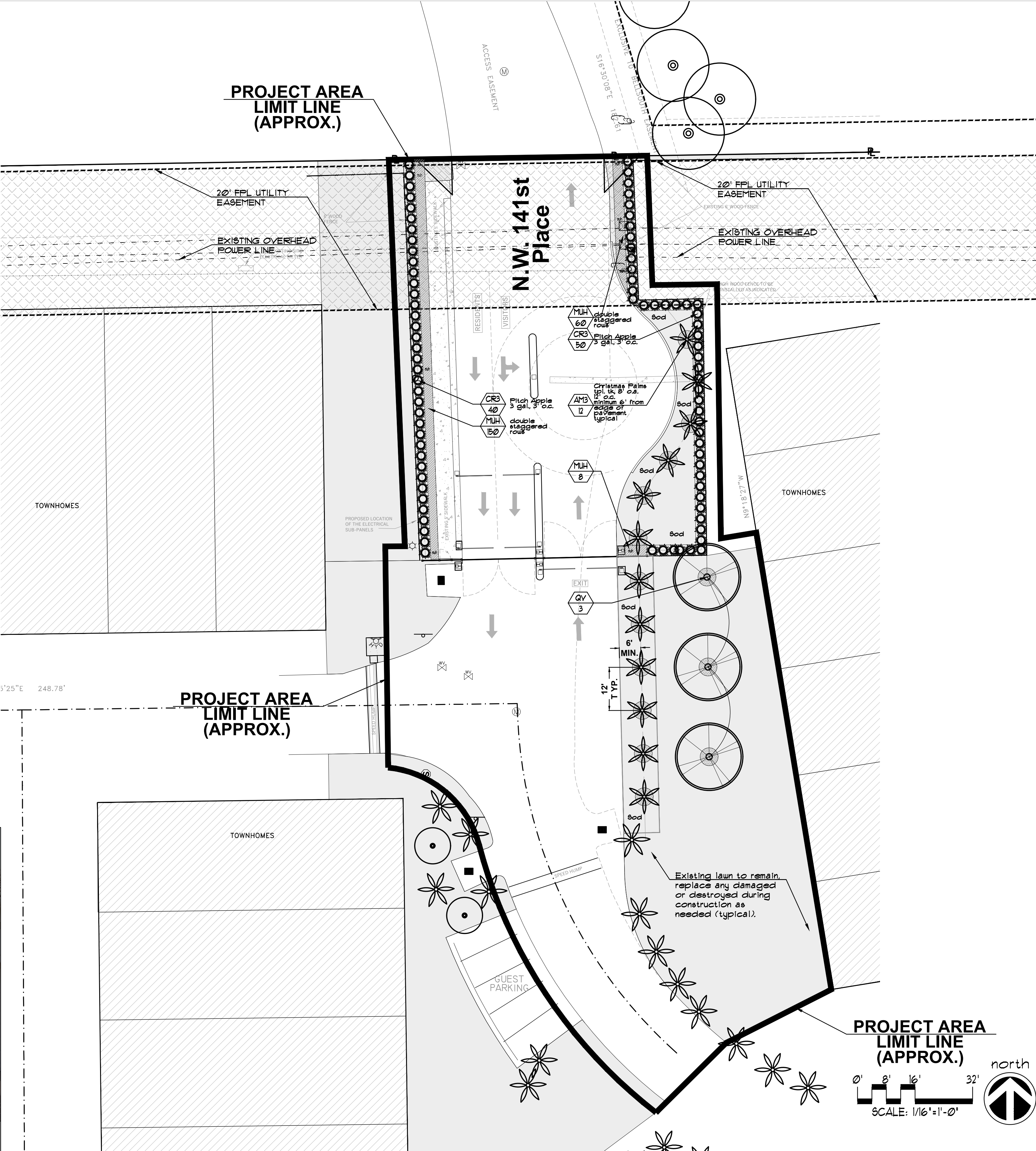
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CHRISTMAS PALM
ENHANCEMENT PALM



PROJECT AREA - PROPOSED LANDSCAPE PLAN



LIVE OAK
NATIVE TREE

CLUSIA / PITCH APPLE
NATIVE SHRUB

MUHLY GRASS
NATIVE ORNAMENTAL GRASS

PLANTLIST					
SYM.	NATIVE	*	NAME	BOTANICAL NAME	SPECIFICATION
* SINGLE ASTERISK = PROVIDE PHOTOS FOR OWNER APPROVAL PRIOR TO PURCHASE					
** "AT TIME OF PLANTING" FOR ALL PLANTINGS.					
EXISTING TREES TO REMAIN					
**PROPOSED TREES					
QV	YES	3	LIVE OAKS	Quercus virginiana	12' x 6" spr., 2 1/2" cal.
** PALMS					
AM3		12	CHRISTMAS PALM	Adonidia merrillii	FG, 8' o.c., TPL, full head
** SHRUBS					
CR3	YES	30	CLUSIA/PITCH APPLE	Clusia rosea	3 gal, 24' x 24', 36' o.c, full
GRASSES AND GROUNDCOVERS					
MUH	YES	218	MUHLY GRASS	Muhlenbergia capillaris	12' x 12', 18" o.c., full, 1 gal.
SOD					
600-L07		1,374 s.f.	"FLORATAM" ST. AUGUSTINE	Stenotaphrum secundatum	SOLID SOD, price per s.f.
TOPSOIL:					
		TOPSOIL:SAND MIX		50:50 TOPSOIL:SAND MIX, SPREAD IN PLACE	
		8 c.y.	TREES, PALMS, SHRUBS AND GROUNDCOVERS		
MULCHING:					
		14 c.y.	DIRK BRUN RECYCLED MULCH		3' DEPTH, SPREAD IN PLACE, ATLAS FEAT AND SOIL
PROVIDE SAMPLE FOR APPROVAL PRIOR TO INSTALLATION					
		---	TOPSOIL, SOD AND MULCH QUANTITIES SHOWN ARE APPROXIMATE, CONTRACTOR		
TO PROVIDE A UNIT PRICE PER UNIT AND WILL BE PAID ON THAT UNIT PRICE BASIS					
UPON FINAL INSPECTION AND APPROVAL.					
INSTALLATION WATERING:					
CONTRACTOR SHALL THOROUGHLY WATER-IN ALL PLANTINGS WHEN PLANTED,					
AND SHALL CONTINUE WATERING UNTIL FINAL INSPECTION AND APPROVAL BY					
THE LOCAL GOVERNING AGENCY AND THE OWNER.					
POST-INSTALLATION WATERING:					
CONTRACTOR SHALL PROVIDE A SEPARATE ITEM FOR POST-INSTALLATION WATERING,					
WHICH WILL BE EFFECTIVE FROM THE DATE OF FINAL APPROVAL BY MIAMI-DADE COUNTY.					
FOR A PERIOD OF 3 MONTHS.					
WATERING SHALL BE AS FOLLOWS:					
WATERING SHALL BE TO PROVIDE A MINIMUM OF 10 INCHES RAINFALL EQUIVALENT					
PER WEEK.					
WATERING SCHEDULE:					
WATERING SCHEDULE SHALL BE 2 TIMES PER WEEK FOR THE PERIOD OF THREE MONTHS					
3 X 12 WEEKS = 36 WATERING OCCASIONS. PROVIDE UNIT PRICE PER OCCASION.					
NO WATERING TO OCCUR ON CONSECUTIVE DAYS.					
CONTRACTOR SHALL DOCUMENT ALL WATERING, DATE, TIME, COMPLETION, ETC.					
TO PROVIDE THIS DOCUMENTATION TO THE OWNER ON A MONTHLY BASIS.					
REPLACEMENT PLANTING NOTE: ANY PLANT MATERIAL THAT IS DEAD, DYING OR LESS THAN					
FLORIDA GRADE #1 WILL BE REPLACED BY THE OWNER WITH THE SAME OR SIMILAR SPECIES					
AND SIZED WITHIN 60 DAYS OF PROBLEM IDENTIFICATION.					

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RESIDENTIAL CONDOMINIUM
VEHICULAR/PEDESTRIAN
ACCESS GATES

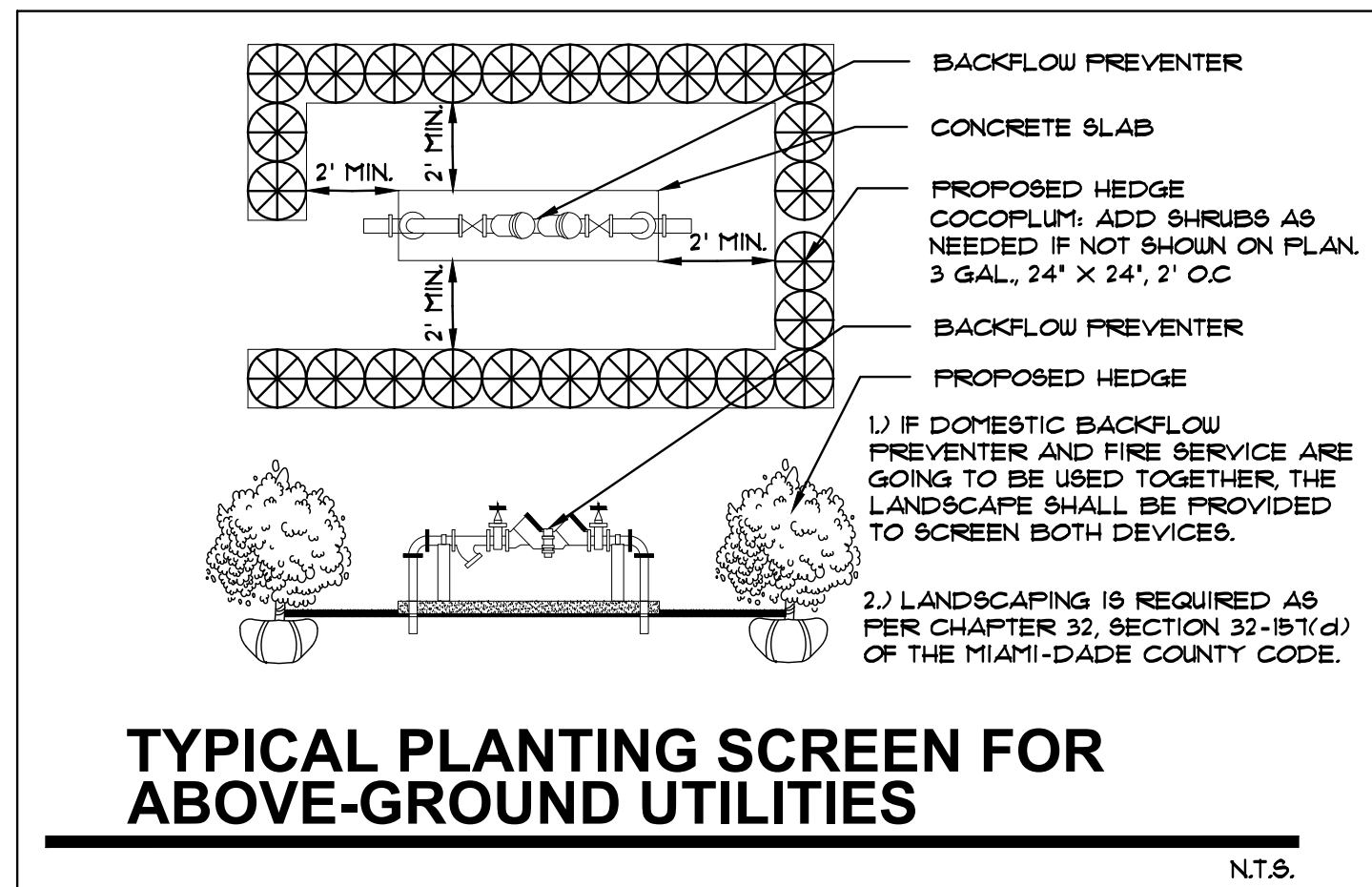
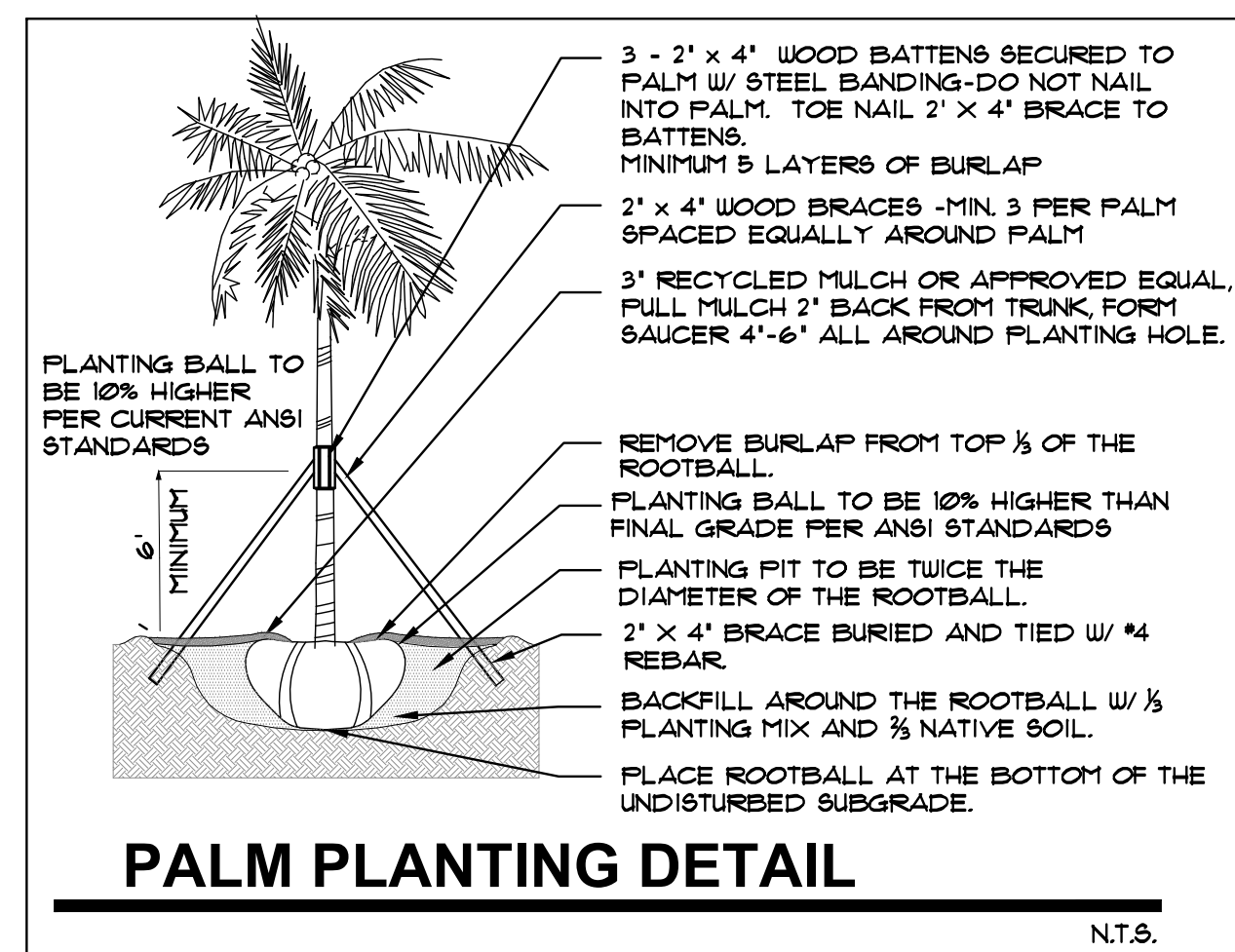
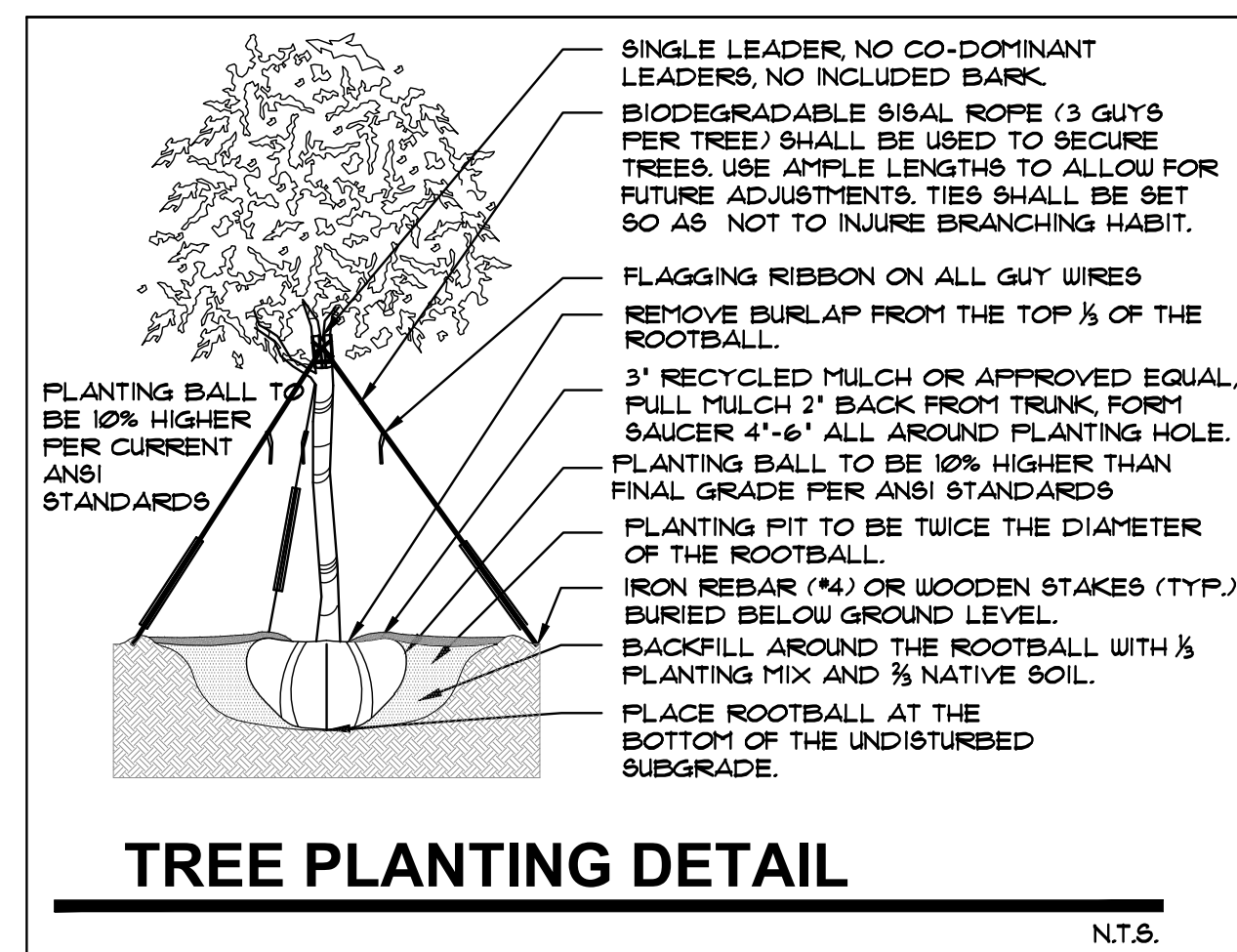
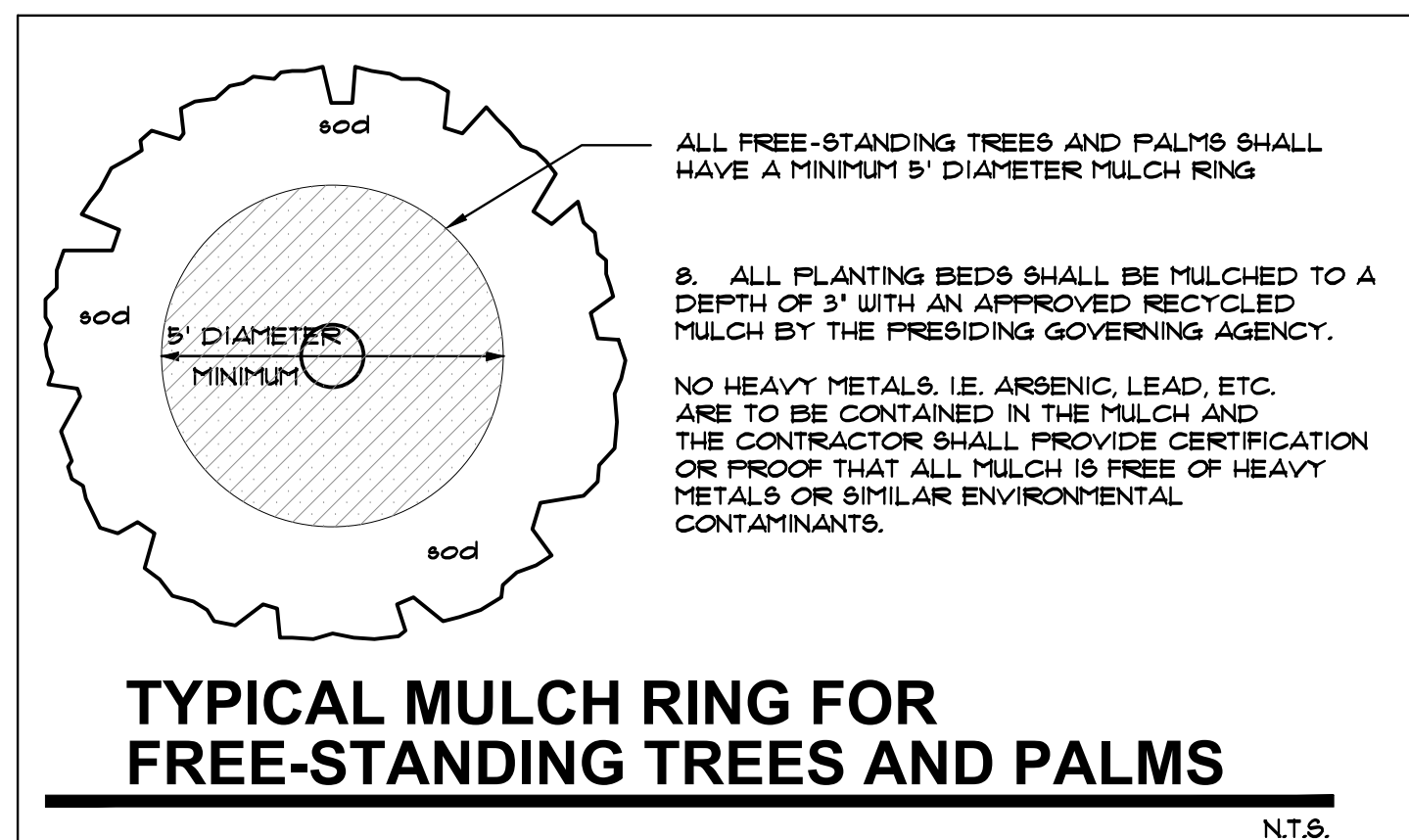
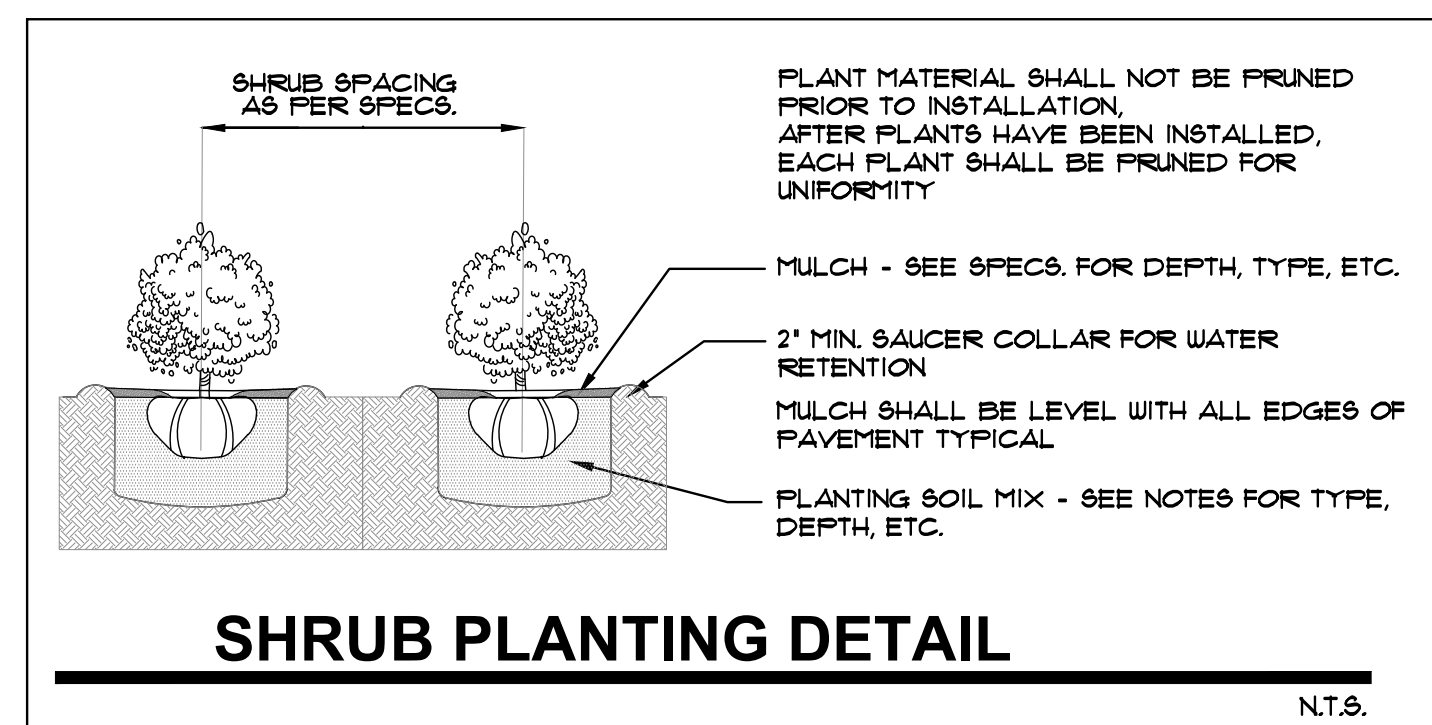
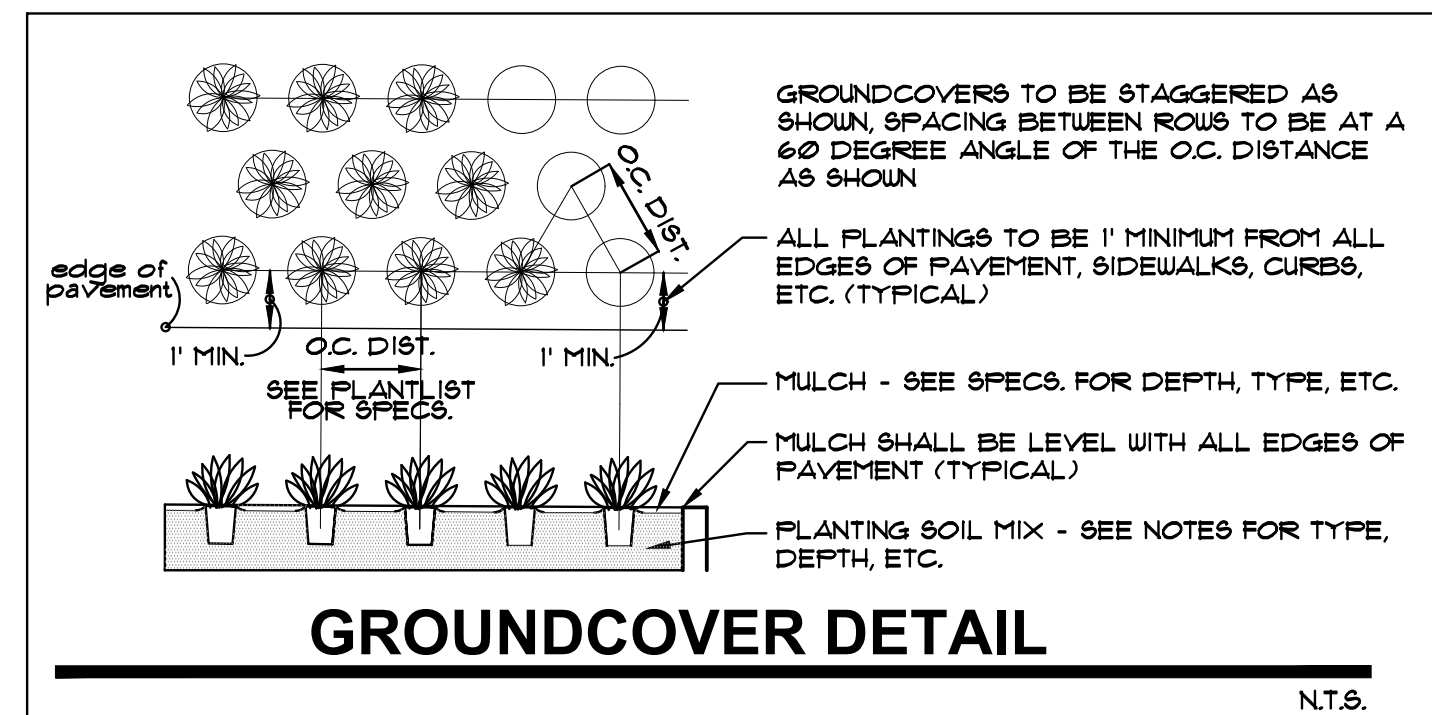
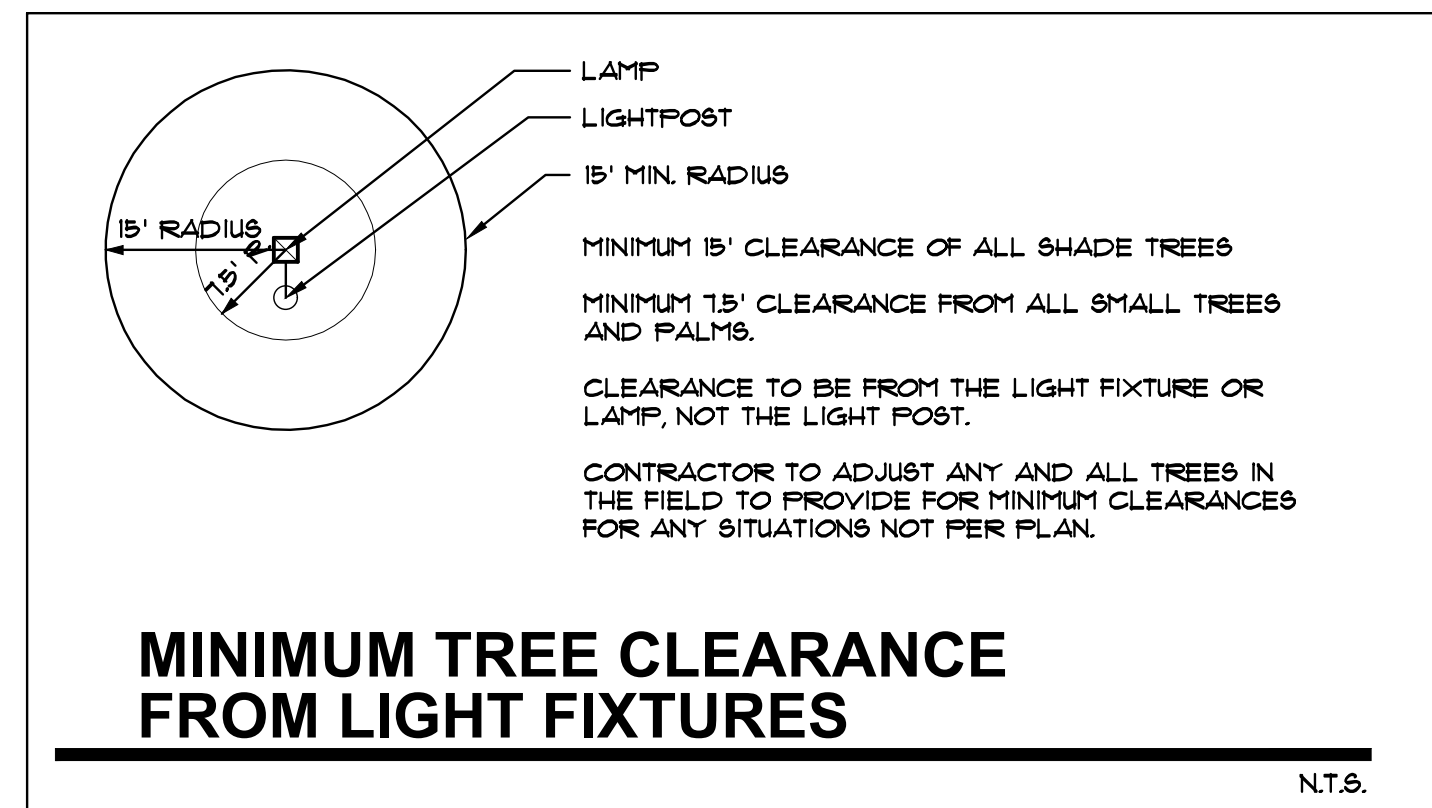
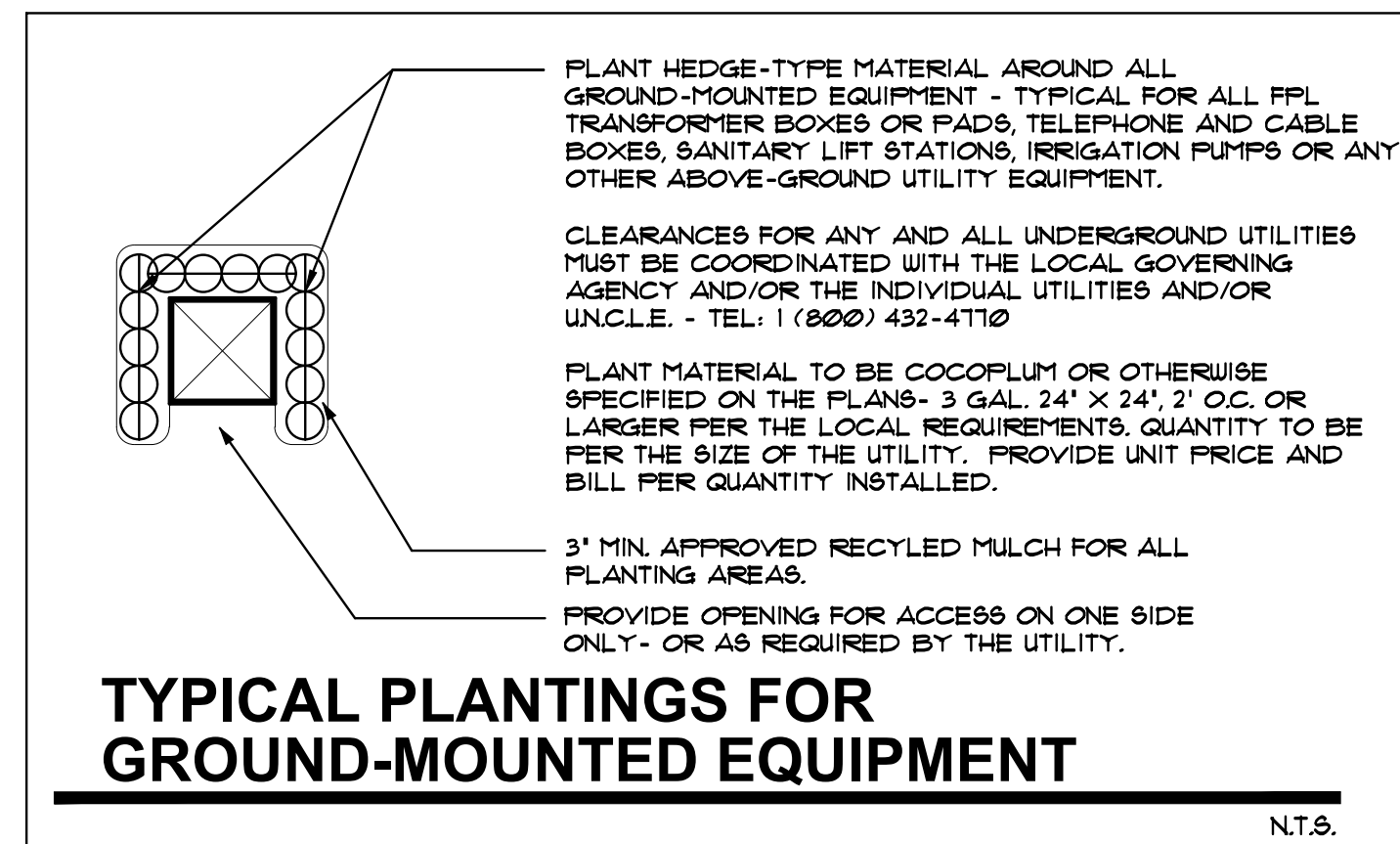
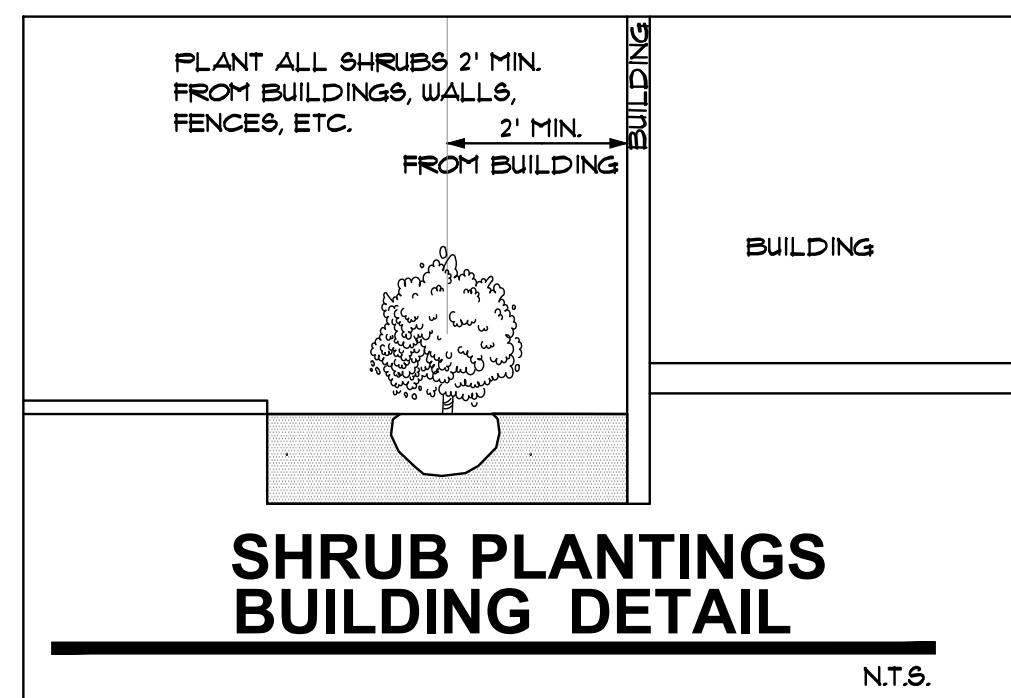
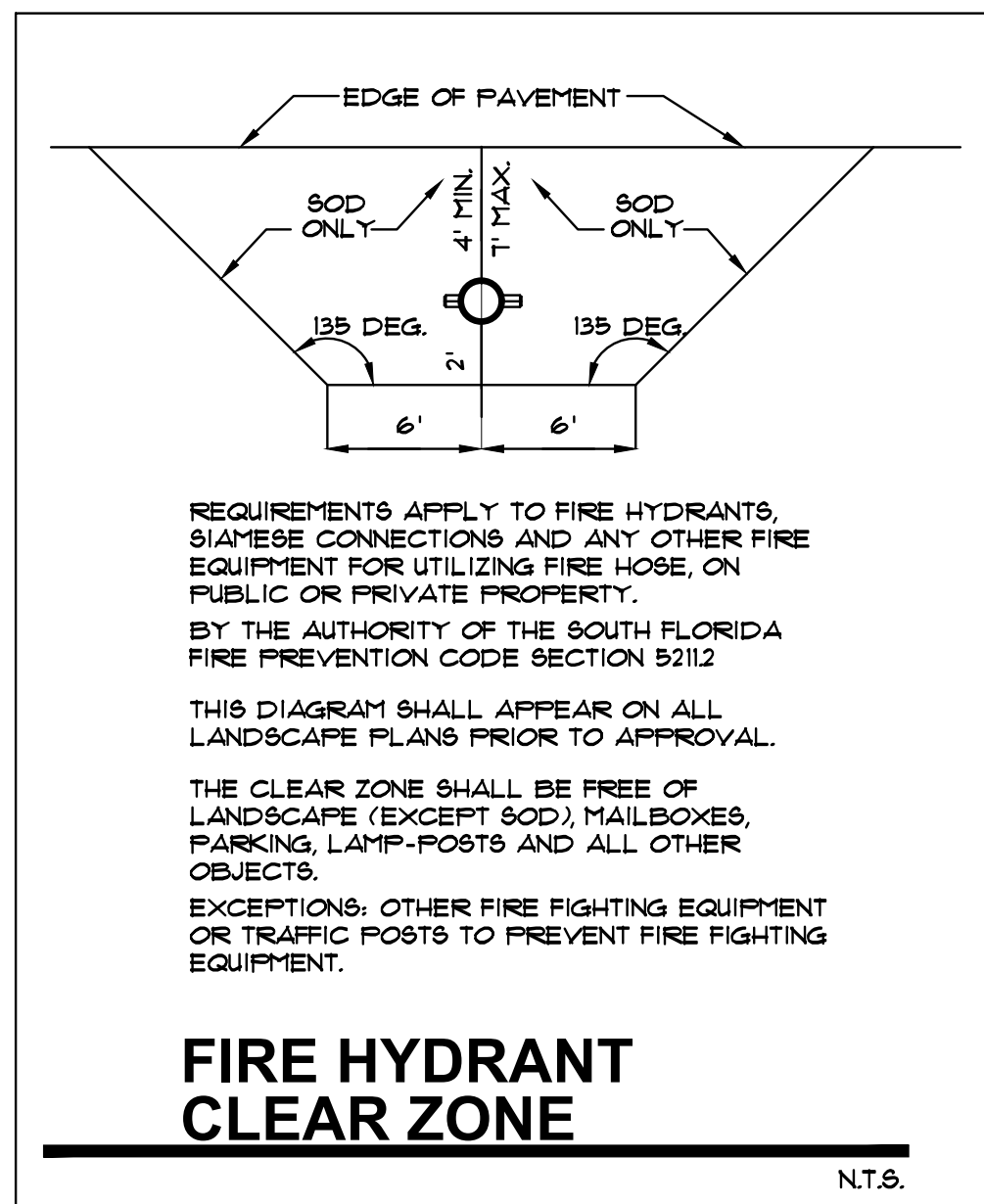
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MIAMI, FLORIDA
3052001005

Signed and Sealed by:
GABRIEL SALAZAR
AR # 0009297

Job No 23-039
Project Manager AMB
Drawn by AMB
Scale AS INDICATED
Date MAR 2024

REVISIONS	BY
1. MDC DPT COMMENTS 02/24	AMB



LANDSCAPE NOTES

- ALL PLANT MATERIAL SHALL BE FLORIDA NO. 1 GRADE OR BETTER.
- CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE LOCATION OF AND AVOID AND PROTECT UTILITY LINES, BURIED CABLES, AND OTHER UTILITIES.
- TREE, PALM, ACCENT AND BED LINES ARE TO BE LOCATED IN THE FIELD AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL PLANTING SOIL SHALL BE 50:50 TOPSOIL:SAND MIX, FREE OF CLAY, STONES, ROCKS, OR OTHER FOREIGN MATTER. THIS SPECIFICATION INCLUDES ALL BACKFILL FOR BERTS AND OTHER LANDSCAPE AREAS.

SODDED-LAWN AREAS
2' DEPTH PLANTING SOIL SPREAD IN PLACE- THROUGHOUT.
GROUNDCOVER PLANTING BEDS:
6' DEPTH PLANTING SOIL SPREAD IN PLACE- THROUGHOUT.
SHRUB AND HEDGE PLANTING AREAS:
12' DEPTH PLANTING SOIL SPREAD IN PLACE- THROUGHOUT.
TREES, PALMS, SPECIMEN PLANT MATERIAL:
24' DEPTH PLANTING SOIL SPREAD IN PLACE OR TO THE DEPTH OF THE ROOTBALL OR CONTAINER WHICHEVER IS GREATEST.
LANDSCAPE ISLANDS AND BUILDING FOUNDATIONS:
EXCAVATE AND REMOVE ALL LIMEROCK, ROCKS, DEBRIS, ETC. TO A DEPTH OF 18" AND BACKFILL W/ 50:50 TOPSOIL:SAND MIX.
BUILDING FOUNDATIONS SHALL BE THE SAME DEPTH TO A WIDTH OF 36" FROM THE BUILDING BASE.

- THE SITE CONTRACTOR SHALL BE RESPONSIBLE TO BRING ALL GRADES TO WITHIN 2" OF FINAL GRADES. THIS SHALL INCLUDE A 2" APPLICATION OF 50:50 TOPSOIL:SAND MIX FOR ALL LANDSCAPE AND AREAS TO BE SODDED.

6. THE LANDSCAPE CONTRACTOR SHALL CALCULATE AND SUBMIT AN ITEMIZED PRICE FOR THE 2" APPLICATION OF 50:50 MIX FOR ALL SOD AREAS AS A REFERENCE IN THE CASE THAT THERE WOULD BE A DISCREPANCY BETWEEN SITE AND LANDSCAPE CONTRACTORS AND NOTIFY THE SITE CONTRACTOR OR PROJECT SUPERINTENDENT AS TO THIS DISCREPANCY. IT WILL THEN BE DETERMINED WHICH PARTY WILL PROVIDE THIS 2" TOPSOIL:SAND APPLICATION AND SUBSEQUENT PAYMENT.

OTHER PLANTING SOIL MIXES TO BE ADDED, I.E. FOR TREES, PALMS, SPECIMEN PLANTS, SHRUBS AND GROUNDCOVERS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR AND BE INCLUSIVE WITH THE LANDSCAPE BID.

- CONTRACTOR SHALL COORDINATE WITH THE IRRIGATION CONTRACTOR AND LEAVE PROVISIONS FOR ALL, INCLUDING UNDERGROUND UTILITY LINE LOCATIONS DIAL 811 NO CUTS AS REQUIRED BY LAW.

8. ALL PLANTING BEDS SHALL BE MULCHED TO A DEPTH OF 3" WITH AN APPROVED RECYCLED MULCH BY THE PRESIDING GOVERNING AGENCY. NO HEAVY METALS, I.E. ARSENIC, LEAD, ETC. ARE TO BE CONTAINED IN THE MULCH AND THE CONTRACTOR SHALL PROVIDE CERTIFICATION OR PROOF THAT ALL MULCH IS FREE OF HEAVY METALS OR SIMILAR ENVIRONMENTAL CONTAMINANTS.

- SOD SHALL BE ARGENTINE 'BAHIA' OR ST. AUGUSTINE 'FLORATAM' AS SHOWN ON THE PLANS, STRONGLY ROOTED, FREE FROM WEED, FUNGUS, INSECTS AND DISEASE. CONTRACTOR SHALL SOD ALL AREAS AS INDICATED ON THE PLAN OR AS DIRECTED. PAYMENT SHALL BE DETERMINED BY THE TOTAL MEASURED SODDED AREAS X THE UNIT PRICE SUBMITTED AND FIELD VERIFIED.

- SOD SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS AS DEFINED BY FDOT. SOD SHALL CARRY A 5-MONTH WARRANTY.

- ALL TREES, PALMS, SHRUBS AND GROUNDCOVERS SHALL CARRY A ONE-YEAR WARRANTY FROM THE DATE OF FINAL ACCEPTANCE.

12. ALL TREES AND PALMS SHALL BE STAKED PER ACCEPTED STANDARDS BY THE FLORIDA NURSERYMEN & GROVERS LANDSCAPE ASSOCIATION (FNLGA). THERE SHALL BE ONE FINAL INSPECTION FOR APPROVAL BY THE PRESIDING GOVERNING AGENCY. CONTRACTOR SHALL INSURE THAT THE PLANS, DETAILS, SPECIFICATIONS AND ADHERED TO AND THAT THE LANDSCAPE AND IRRIGATION INSTALLATION IS COMPLIANT TO ALL ITEMS AS DIRECTED ON THE PLANS PRIOR TO SCHEDULING OF THE FINAL INSPECTION.

- THE PLANT LIST IS INTENDED ONLY AS AN AID TO BIDDING. ANY DISCREPANCIES FOUND BETWEEN THE QUANTITIES ON THE PLAN AND PLANT LIST, THE QUANTITIES ON THE PLAN SHALL BE HELD VALID.

14. IRRIGATION SHALL PROVIDE FOR A 100% COVERAGE WITH A 100% OVERLAP. AUTOMATIC SYSTEM W/ RAIN MOISTURE SENSOR ATTACHED TO CONTROLLER. ALL FLORIDA BUILDING CODE APPENDIX 'I' IRRIGATION REQUIREMENTS SHALL BE STRICTLY ADHERED TO FOR INSTALLATION AND PREVAILING WATER MANAGEMENT DISTRICT RESTRICTIONS AND REGULATIONS SHALL BE IN COMPLIANCE FOR POST-INSTALLATION WATERING SCHEDULES.

- EXISTING IRRIGATION SYSTEM (IF APPLICABLE) SHALL BE RETROFITTED TO COMPLY WITH THOSE SPECIFICATIONS AS OUTLINED ABOVE.

16. CONTRACTOR SHALL PROVIDE A WATER TRUCK DURING PLANTING TO INSURE PROPER WATERING IN DURING INSTALLATION AND WILL BE RESPONSIBLE FOR CONTINUAL WATERING UNTIL FINAL ACCEPTANCE BY THE OWNER.

- ALL EXISTING TREES, PALMS AND PLANT MATERIAL TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION. CONTRACTOR SHALL INSTALL PROTECTIVE BARRIERS SUCH AS 'TENAX' PROTECTIVE FENCING OR AS SHOWN ON THE DETAILS TO BE INSTALLED AT THE BEGINNING OF THE PROJECT. BARRIERS SHALL BE LOCATED TO INCLUDE THE DRIPLINE OF THE TREES, PALMS AND PLANT MATERIAL WHERE POSSIBLE. THE CONTRACTOR SHALL TAKE EXTRA CAUTION TO PREVENT ANY DAMAGE TO THE TRUNK, BRANCHES, ROOTS, ROOT ZONE AREAS AND ADJACENT GRADES.

- EXISTING TREES AND PALMS TO REMAIN SHALL BE TRIMMED PER ANSI-300 STANDARDS. SUPERVISION OF THE TRIMMING SHALL BE PERFORMED BY AN ISA-CERTIFIED ARBORIST.

19. ALL EXISTING TREES AND PALMS SHALL BE 'LIFTED AND THINNED' TO PROVIDE FOR AN 8' MINIMUM CLEARANCE FOR SIDEWALKS AND PEDESTRIAN WALKWAYS AND A 14' MINIMUM CLEARANCE FOR ROADWAYS, DRIVEWAYS, AND ALL VEHICULAR USE AREAS.

- REMOVAL OF ANY TREES OR PALMS WILL REQUIRE A WRITTEN 'TREE REMOVAL PERMIT' FROM THE LOCAL GOVERNING AGENCY PRIOR TO REMOVAL.

21. ALL PLANTINGS IN NON-IRRIGATED AREAS, I.E. RIGHTS OF WAYS, SWALES, ETC. SHALL BE WATERED-IN THOROUGHLY AND CONTINUED TO BE WATERED THROUGHOUT UNTIL CO. ACCEPTANCE. COORDINATE WITH OWNER AND PROJECT MANAGER TO PROVIDE POST CO. WATERING TO INSURE PLANT ESTABLISHMENT FOR A MINIMUM OF ONE YEAR AFTER CERTIFICATE OF OCCUPANCY ACCEPTANCE.

- THE LANDSCAPE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION CONFERENCE WITH THE LOCAL GOVERNING AGENCY, GENERAL CONTRACTOR, LANDSCAPE ARCHITECT, AND IRRIGATION CONTRACTOR PRIOR TO COMMENCEMENT OF WORK.

Job No. 23-039
Project Manager: AMB
Drawn by: AMB
Scale: AS INDICATED
Date: MAR 2024

WATERSIDE TOWNHOUSE CONDOMINIUM

VEHICULAR AND PEDESTRIAN ACCESS IMPROVEMENTS

280xx SW 141 PLACE, HOMESTEAD, FL 33032

FOLIO No. 30-7903-016-0520

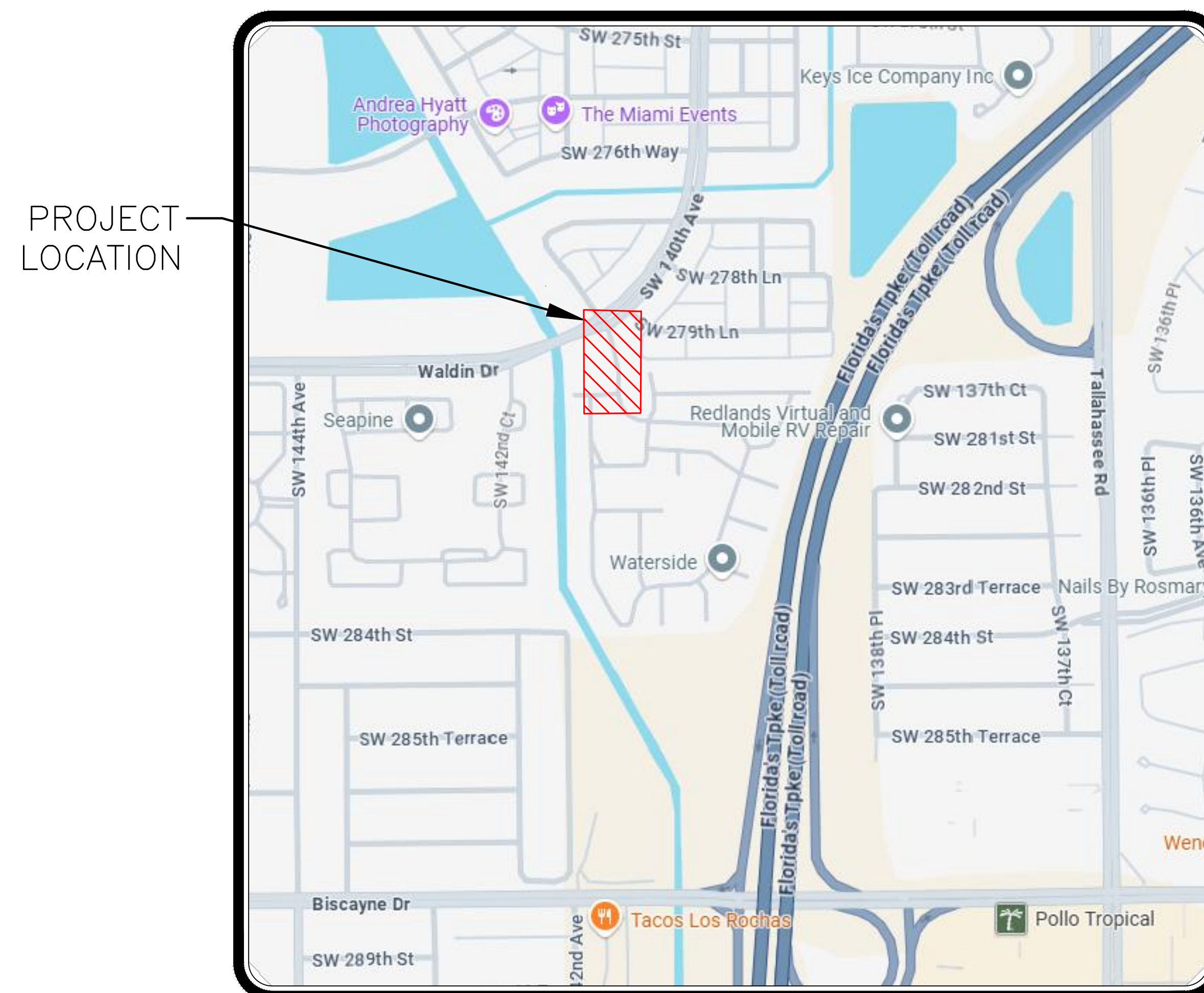
LEGAL DESCRIPTION

TRACT A, OF "WATERSIDE TOWNHOMES-SECTION ONE", ACCORDING TO THE PLAT THEREOF,
AS RECORDED IN PLAT BOOK 125, PAGE 24 OF THE PUBLIC RECORDS OF MIAMI-DADE
COUNTY, FLORIDA..

SHEET INDEX

Sheet List Table

Sheet Number	Sheet Title
C0.0	COVER SHEET
C1.0	SITE DEMOLITION PLAN
C2.0	SITE GEOMETRY PLAN
C2.1	GENERAL CONSTRUCTION DETAILS
C3.0	PAVEMENT, GRADING & DRAINAGE PLAN
C3.1	DRAINAGE DETAILS
C4.0	STORMWATER POLLUTION PREENTION PLAN
C4.1	STORMWATER POLLUTION PREENTION DETAILS



TOWNSHIP 57S — RANGE 39E — SECTION 03

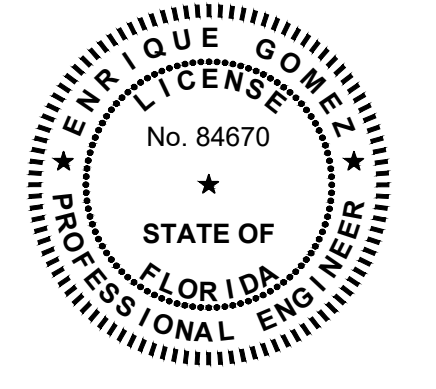
LOCATION MAP

N.T.S.

	8/6/2025	DERM PAVING & DRAINAGE COMMENTS
NO.	DATE	D E S C R I P T I O N

This item has been digitally signed and sealed by Enrique Gomez, P.E. on the date adjacent to the seal.

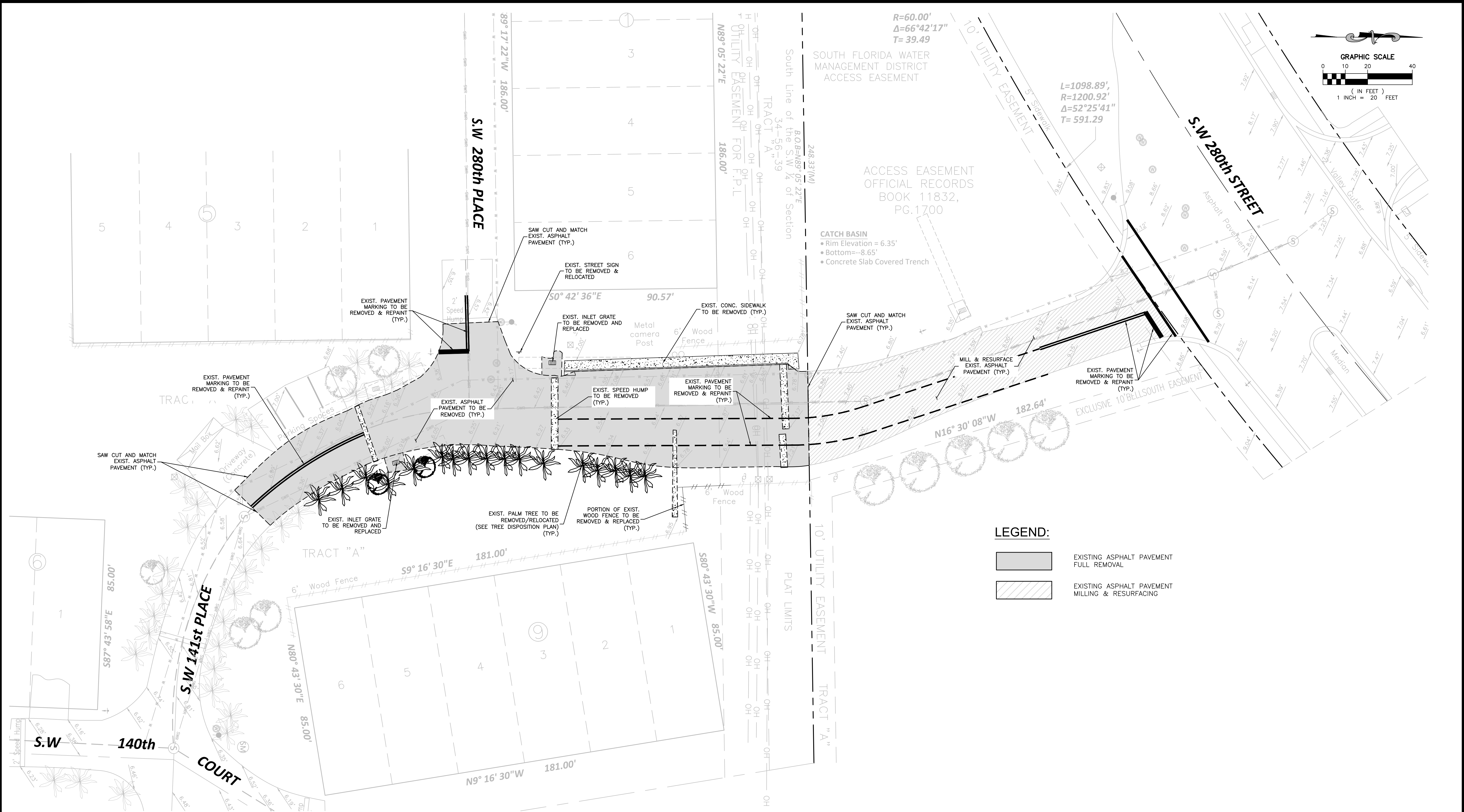
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APPROVED : ENRIQUE GOMEZ, P.E.
EIA REGISTRATION NO. 84670 DATE 8/6/2025

COVER SHEET

25-00005



CLEARING & DEMOLITION NOTES:

1. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES.

2. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO TAKE THE NECESSARY PRECAUTIONS TO ENSURE PROPER SAFETY AND WORKMANSHIP WHEN WORKING IN THE VICINITY OF EXISTING UTILITY LINES.

3. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH FPL ON ANY WORK IN THE VICINITY OF OVERHEAD OR UNDERGROUND POWER LINES.

4. CONTRACTOR SHALL VERIFY PROPER CLEARANCE BELOW EXISTING OVERHEAD POWER LINES PRIOR TO WORKING WITHIN THE VICINITY OF POWER LINES.

5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO IDENTIFY, REMOVE AND/OR RELOCATE ANY ABOVE OR BELOW GROUND STRUCTURES OR SERVICES THAT IMPACT THIS PROJECT. THIS MAY REQUIRE NEW SERVICE TIE-INS TO EXISTING SOURCES.

6. PRIOR TO COMMENCEMENT OF DEMOLITION THE CONTRACTOR WILL COORDINATE HIS ACTIVITIES WITH ALL THE UTILITY COMPANIES SERVING THIS AREA. CONTRACTOR IS TO COORDINATE FULLY WITH UTILITY COMPANIES ON EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION.

7. THE CONTRACTOR IS TO COMPLETELY REMOVE AND DISPOSE OF ALL STRUCTURES AND BUILDINGS THAT IS SO INDICATED INCLUDING FOUNDATIONS, TIMBER AND BRUSH, EXCEPT AS OTHERWISE INDICATED; STUMPS AND ROOTS; EXISTING PAVEMENT; OTHER STRUCTURES AS SHOWN OR REASONABLY IMPLIED IN THE DRAWINGS.

8. EXCEPT IN AREAS WHERE EXISTING TREES SHALL BE PRESERVED, A MINIMUM DEPTH OF REMOVAL SHALL BE (2) FOOT BELOW SUBGRADE IN ROADWAY AREAS AND TO ORIGINAL SOILS ELSEWHERE. WHERE EXISTING BUILDINGS ARE TO BE DEMOLISHED, ALL TRACES OF FOUNDATIONS AND UNDERGROUND UTILITIES ARE TO BE REMOVED (UNLESS OTHERWISE NOTED ON PLANS). THE CONTRACTOR IS RESPONSIBLE FOR PROPER DISPOSAL OF ALL WASTE MATERIAL.
9. WHERE PAVING OR STRUCTURES ARE TO BE REMOVED WHICH ABUT OR ARE A PART OF CONNECTED FACILITIES (THAT ARE OFF-SITE), RESTORATION OF ANY DAMAGE THAT MIGHT RESULT FROM DEMOLITION IS TO BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. THE COST FOR SUCH RESTORATION SHALL BE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.

10. THE LOCATION OF ALL EXISTING UTILITIES, STORM DRAINAGE AND TREES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER OR ENGINEER ASSUMES NO RESPONSIBILITY FOR ACCURACY. PRIOR TO THE START OF DEMOLITION THE CONTRACTOR SHALL VISIT THE SITE AND DETERMINE THE EXISTANCE & LOCATION OF ALL STRUCTURES, UTILITIES & TREES SHOWN OR NOT ON THE PLANS, WHICH WOULD NEED TO BE REMOVED OR PRESERVED.

11. THE CONTRACTOR IS TO COORDINATE THE RELOCATION OR REMOVAL OF IMPACTED OVERHEAD/UNDERGROUND UTILITIES, UTILITY POLES, LIGHTS AND LINES IN THE RIGHT-OF-WAY AND ON THE PROPERTY WITH THE APPROPRIATE SERVICE PROVIDER.

12. THE CONTRACTOR SHALL REFERENCE AND RESTORE PROPERTY CORNERS AND LAND MARKERS DISTURBED DURING CONSTRUCTION. (UNDER THE DIRECTION OF AN FLORIDA REGISTERED LAND SURVEYOR).

13. ALL DISTURBED AREAS OUTSIDE THE PROJECT AREA MUST BE RESTORED PRIOR TO FINAL ACCEPTANCE.

14. CONTRACTOR TO PROVIDE A CLEAN SAWCUT LINE AT ALL EDGES OF REMOVAL FOR PAVEMENT, SIDEWALKS, GUTTER AND/OR OTHER CONCRETE SURFACES.

15. CONTRACTOR SHALL OBTAIN A COPY OF THE SITE GEOTECHNICAL REPORT AND ADHERE TO ALL REQUIREMENTS CONTAINED THEREIN.

16. CONTRACTOR SHALL OBTAIN A COPY OF THE GEOTECHNICAL REPORT AND INCLUDE ALL

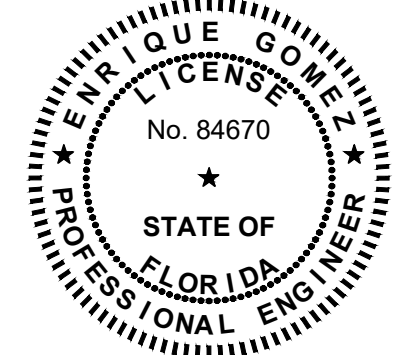
- NECESSARY SOIL WORK IN THE PROJECT BID.
17. ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM WITH LOCAL CITY/COUNTY/STATE SPECIFICATIONS, SUBJECT TO AUTHORIZED AND APPROVED VARIANCES, WAIVERS AND/OR CONDITIONS OF SITE PERMITS.
18. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PLACED PRIOR TO OR AS THE FIRST STEP IN, CONSTRUCTION. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTATION OF SILT OFF THE SITE.
19. ALL AREAS AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITION, UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. THE COST FOR SUCH RESTORATION SHALL BE INCIDENTAL TO OTHER CONSTRUCTION AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
20. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THESE PLANS AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.
21. CONTRACTOR SHALL KEEP ANY AND ALL SAND, SILT OR OTHER DEBRIS FROM MOVING OFF-SITE.
22. CONTRACTOR SHALL BLOCK INTRUSION OF SAND, SILT OR OTHER DEBRIS INTO ANY DRAINAGE OR SANITARY SEWER STRUCTURE OR PIPING ON OR ADJACENT TO SITE.
23. FILTER FABRIC MUST BE INSTALLED UNDER ALL INLET GRATES, AT ALL TIMES WHEN INLETS ARE NOT PROTECTED BY SILT FENCE OR SYNTHETIC BALES, UNTIL THE LIMEROCK BASE IS FINISHED AND PRIMED.
24. NON STORMWATER DISCHARGES SUCH AS FIRE HYDRANT FLUSHING, ETC SHALL BE DISCHARGED TO EXISTING UNDERGROUND STORMWATER FACILITY.
25. ANY POTENTIALLY HAZARDOUS CHEMICALS BROUGHT ONTO THE JOB SITE WILL BE LIMITED AND KEPT IN ORIGINAL CONTAINER WITH MSDS LABEL.
26. NO SILT SHALL BE TRACKED ONTO PUBLIC ROADWAYS. ANY SILT DEPOSITED ON PUBLIC ROADWAYS SHALL BE REMOVED BY THE END OF THE WORK DAY.
27. TREES AND NON-CIVIL UTILITY LINES SUCH AS CATV, COMMUNICATIONS, ELECTRICAL, AND GAS ARE SHOWN BASED ON BEST AVAILABLE INFORMATION FOR THE CONVENIENCE OF THE CONTRACTOR. INFORMATION REGARDING THE SPECIFIC LIMITS AND PROCEDURES FOR REMOVAL AND/OR RELOCATION OF TREES AND NON-CIVIL UTILITIES SHALL BE COORDINATED BY THE CONTRACTOR, THE DESIGN CONSULTANT FOR THAT SCOPE OF WORK, AND THE APPLICABLE UTILITY COMPANY. DEMOLITION, REMOVAL/RELOCATION PLANS PRODUCED BY OTHER CONSULTANTS FOR THOSE SPECIFIC ITEMS SHALL SUPERSEDE THE INFORMATION SHOWN ON THESE PLANS.
28. THE CONTRACTOR IS ADVISED THAT PROPERTIES ADJACENT TO THE PROJECT HAVE ELECTRIC, TELEPHONE, GAS, WATER, AND/OR SEWER SERVICE LATERALS WHICH MAY NOT BE SHOWN IN PLANS. THE CONTRACTOR MUST REQUEST THE LOCATION OF THESE LATERAL SERVICES FROM THE UTILITY COMPANIES. THE ADDITIONAL COST OF EXCAVATING, INSTALLING, BACKFILLING, AND COMPACTING AROUND THESE LATERAL SERVICES MUST BE INCLUDED IN THE BID RELATED ITEM FOR THE WORK BEING DONE.
29. CLEARING AND GRUBBING, GRADING AND OTHER INCIDENTAL WORK NECESSARY FOR HARMONIZATION OUTSIDE R/W SHALL BE INCLUDED IN RELATED BID ITEMS.
30. ALL DISPOSAL OF MATERIALS, RUBBISH, AND DEBRIS SHALL BE MADE AT A LEGAL DISPOSAL SITE OR BY OTHER PRIOR APPROVED MANNER. MATERIAL CLEARED FROM THE SITE AND DEPOSITED ON ADJACENT OR NEARBY PROPERTY WILL NOT BE CONSIDERED AS HAVING BEEN DISPOSED OF SATISFACTORILY.
31. CONTRACTOR TO RELOCATE TREES AS DIRECTED BY THE LANDSCAPE ARCHITECT. CONTRACTOR SHALL AVOID DAMAGE TO ANY EXISTING TREES TO REMAIN. EXISTING TREES SHALL BE REMOVED ONLY IF REQUIRED FOR CONSTRUCTION. THOSE TREES NOT INTERFERING WITH CONSTRUCTION SHALL BE PROTECTED IN PLACE.

32. CONTRACTOR SHALL ENSURE APPROPRIATE EROSION CONTROL DEVICES ARE IN PLACE BEFORE ANY CONSTRUCTION BEGINS AND ARE USED THROUGHOUT THE DURATION OF CONSTRUCTION.
33. CONTRACTOR SHALL ALWAYS PROVIDE AND MAINTAIN SAFE ACCESS TO ALL ADJACENT PROPERTIES AND SHALL MAINTAIN ACCOMMODATIONS FOR INTERSECTING & CROSSING TRAFFIC WITHIN THE CONSTRUCTION ZONE.
34. PEDESTRIAN CONTROL FOR SIDEWALK CLOSURES SHALL BE IN ACCORDANCE WITH THE FDOT ROADWAY AND TRAFFIC STANDARD INDEX 102-660.

SURVEY DATUM NOTE:

ELEVATIONS SHOWN ON PLANS ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 29) OBTAINED FROM THE SURVEY PERFORMED BY COUNTY-WIDE LAND SURVEYORS INC. (PROJECT No.240060), LAST UPDATE DATED 03/06/2025.

This item has been digitally signed and sealed by Enrique Gomez, P.E. on the date adjacent to the seal.
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ENRIQUE GOMEZ, P.E.
FL. REG. No. 84670
DATE: 8/6/2025

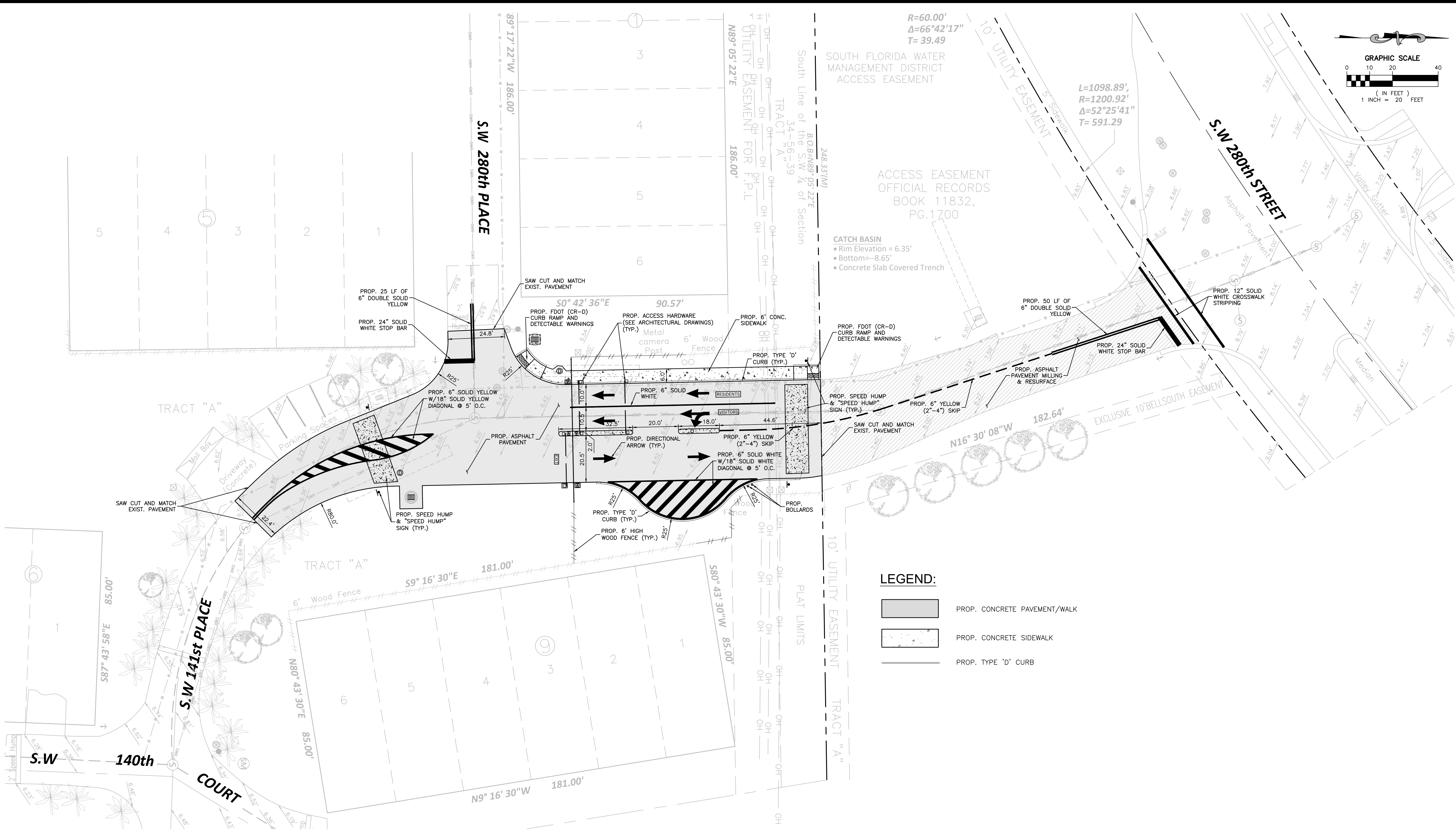


CONSULTING ENGINEER:
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7305 SW 142 CT.
MIAMI, FL 33183
PHONE : (786) 877-0019

REVISION NO.	DATE	DESCRIPTION
1	8/6/2025	DERM PAVING & DRAINAGE COMMENTS
2		
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RESIDENTIAL CONDOMINIUM
VEHICULAR/PEDESTRIAN
ACCESS GATES
WATERSIDE TOWNHOMES COMM HOUSE ASSOC INC
280xx SW 141 Place, HOMESTEAD, FL 33032

DRAWN BY: C.V
CHECKED BY: E.G
DATE: 04/04/2025
SCALE: AS SHOWN
PROJECT #:25-00005
SHEET:
SITE DEMOLITION
PLAN
C1.0



SIGNAGE AND MARKING NOTES:

- ALL STOP BARS AND TRAFFIC CONTROL STRIPING SHALL BE THERMOPLASTIC. ALL OTHER STRIPING SHALL BE PAINTED UNLESS OTHERWISE SPECIFIED.
- ALL PAINT USED FOR PAVEMENT MARKINGS SHALL CONFORM TO SECTION 971-13 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION (SSRBC). ALL PAINTED MARKINGS SHALL BE APPLIED IN ACCORDANCE WITH SECTION 710 OF THE FDOT SSRBC AND THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). PAINT MAY ONLY BE USED FOR PRIVATE DEVELOPMENT IMPROVEMENTS OR AS TEMPORARY MARKINGS.
- THERMOPLASTIC TRAFFIC MARKINGS SHALL CONFORM TO SECTION 711-2 OF THE FDOT SSRBC. ONLY ALKYD BASED MATERIALS SHALL BE USED. THERMOPLASTIC TRAFFIC MARKINGS SHALL BE APPLIED IN ACCORDANCE WITH SECTION 711 OF THE FDOT SSRBC AND THE MUTCD.
- ALL REFLECTIVE PAVEMENT MARKINGS SHALL BE INSTALLED IN CONFORMANCE WITH SECTION 706 OF THE FDOT SSRBC.
- ALL TRAFFIC SIGNS SHALL USE TYPE XI SHEETING AND BE "STANDARD" SIZE AS ESTABLISHED IN THE MUTCD.
- BLUE REFLECTIVE PAVEMENT MARKERS SHALL BE PLACED OPPOSITE FIRE HYDRANTS IN THE CENTER OF THE NEAREST TRAVELED LANE TO MARK THEIR LOCATIONS.
- STOP BARS TO BE A MINIMUM OF 4 FEET CLEAR BEHIND CROSSWALKS EDGE OF INTERSECTING TRAVEL LANE OR DRIVE AISLE.
- HANDICAP PARKING SPACES SHALL BE DESIGNATED BY APPROPRIATE PAVEMENT

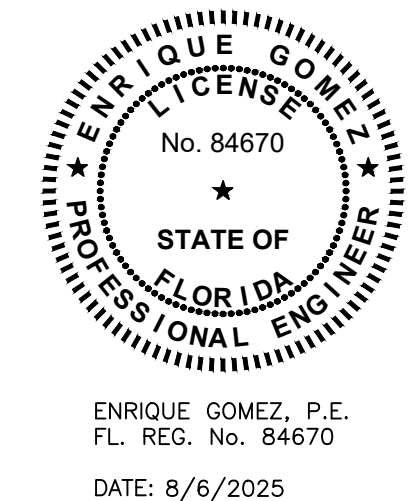
MARKINGS AND SIGNS:

- ALL PAVEMENT MARKINGS, REFLECTIVE PAVEMENT MARKERS, THERMOPLASTIC AND GEOMETRICS SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL SERVICES, THE ROADWAY & TRAFFIC DESIGN STANDARDS, (F.D.O.T.).
- ALL SIGNAGE AND PAVEMENT MARKINGS AND THEIR CONSTRUCTION SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND MIAMI DADE COUNTY TRAFFIC ENGINEERING STANDARDS (LATEST EDITION).
- THE CONTRACTOR SHALL TAKE PRECAUTION NOT TO DAMAGE EXISTING LANDSCAPING. IF EXISTING LANDSCAPING IS IN CONFLICT WITH PROPOSED WORK THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER OF SAID CONFLICT.
- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE MIAMI DADE COUNTY PUBLIC WORKS DEPARTMENT, AND ANY OTHER STATE OR LOCAL AGENCY WITH JURISDICTION. IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
- CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE EPA AND THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES).

SURVEY DATUM NOTE:

ELEVATIONS SHOWN ON PLANS ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 29) OBTAINED FROM THE SURVEY PERFORMED BY COUNTY-WIDE LAND SURVEYORS, INC. (PROJECT No.240060), LAST UPDATE DATED 03/06/2025.

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RESIDENTIAL CONDOMINIUM VEHICULAR/PEDESTRIAN ACCESS GATES

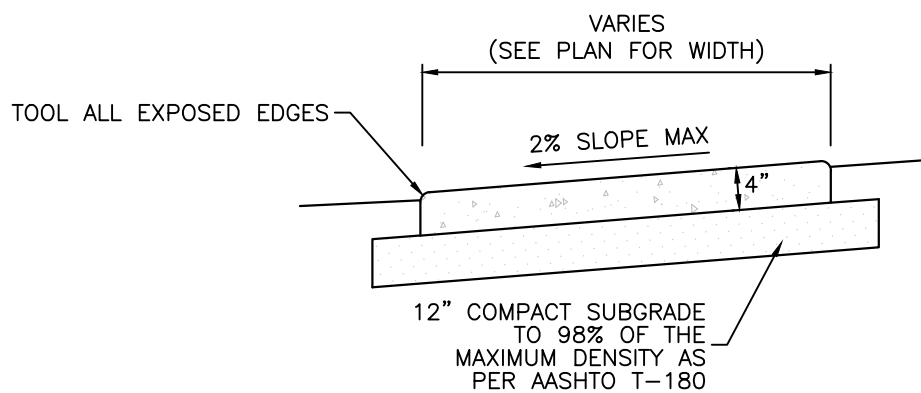
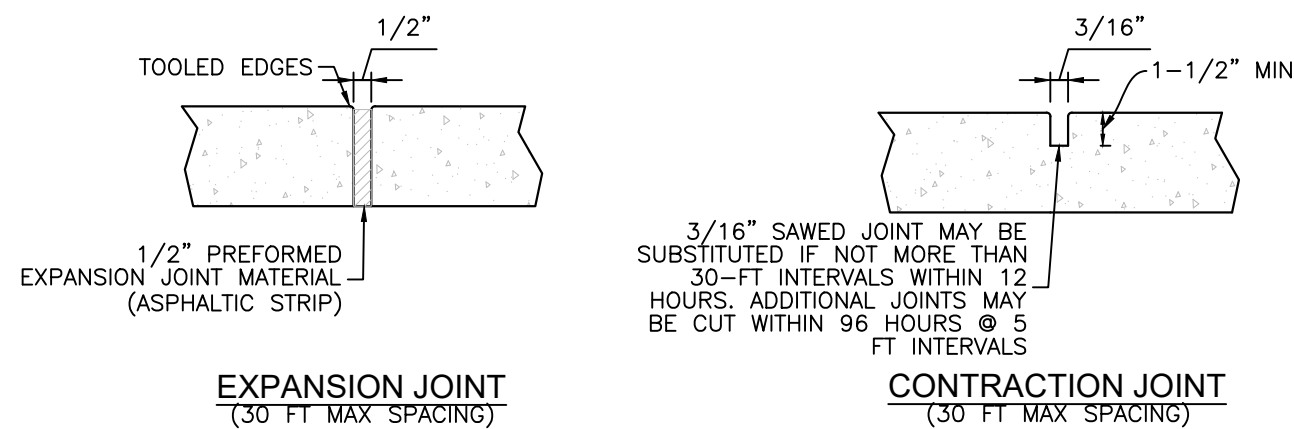
WATERSIDE TOWNHOMES COMM HOUSE ASSOC INC
280xx SW 141 Place, HOMESTEAD, FL 33032

DRAWN BY: C.V
CHECKED BY: E.G
DATE: 04/04/2025
SCALE: AS SHOWN
PROJECT #:25-00005
SHEET:
SITE GEOMETRY,
MARKING &
SIGNAGE PLAN

C2.0

CONSULTING ENGINEER:
ENRIQUE GOMEZ, P.E.
FL. LIC. No. 84670
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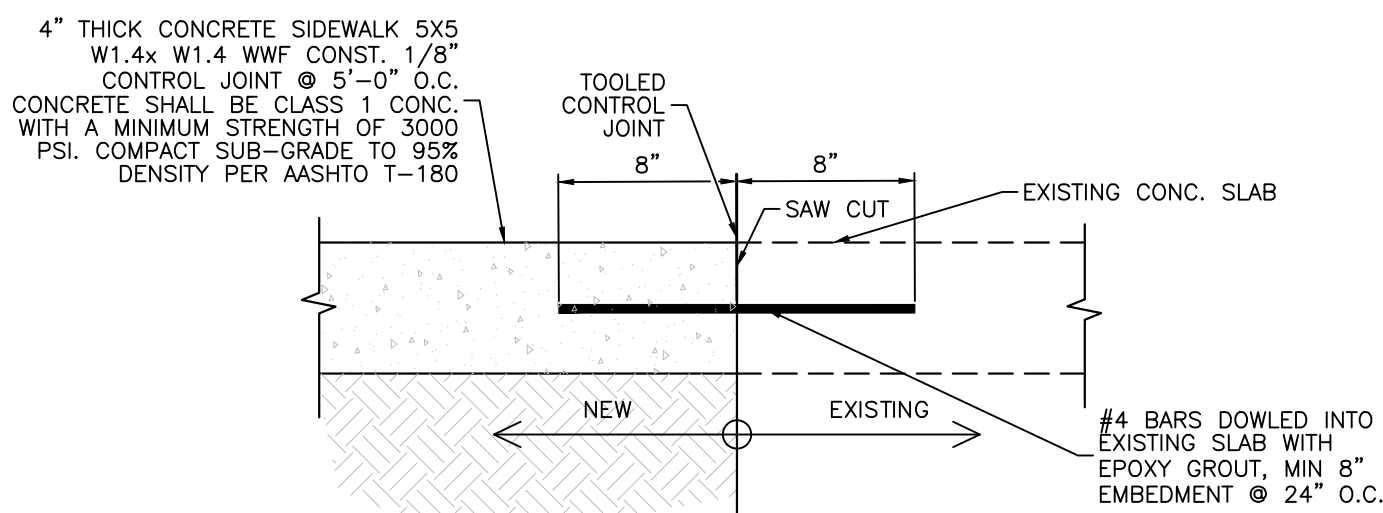
REVISION NO.	DATE	DESCRIPTION
1	8/6/2025	DERM PAVING & DRAINAGE COMMENTS
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- NOTES:
1. PROVIDE EXPANSION JOINTS BETWEEN SIDEWALK AND CURB OR AT ANY OTHER RIGID STRUCTURE/MATERIAL.
 2. EXPANSION JOINTS SHALL BE PROVIDED AT 30 FT MAX SPACING. SIDEWALK JOINTS PLACEMENT SHALL BE IN ACCORDANCE WITH F.D.O.T. STANDARDS OR AS APPROVED BY ENGINEER.
 3. ULTIMATE COMPRESSIVE STRENGTH OF CONCRETE SHALL BE 3,000 PSI @ 28 DAYS FOR SIDEWALKS/WALKWAYS.
 4. FOR SIDEWALKS COMPACT SUBGRADE TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.
 5. TOOLED CONTRACTION JOINT SHALL BE PROVIDED AT 5 FT MAXIMUM SPACING. SAWED CONTRACTION JOINT MAY BE SUBSTITUTED IF CUT AT NO MORE THAN 30 FT INTERVALS WITHIN 12 HOURS AFTER CONCRETE HAS SET. ADDITIONAL CUTS AT 5 FT INTERVALS MUST BE CUT WITHIN 96 HOURS. SIDEWALK JOINTS PLACEMENT SHALL BE IN ACCORDANCE WITH F.D.O.T. STANDARDS OR AS APPROVED BY ENGINEER.
 6. ALL CONCRETE SIDEWALKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH F.D.O.T. STANDARDS, INCLUDING ANY REQUIRED 'CURB RAMPS'.
 7. SIDEWALK SHALL BE 6" THICK AT DRIVEWAY LOCATIONS.

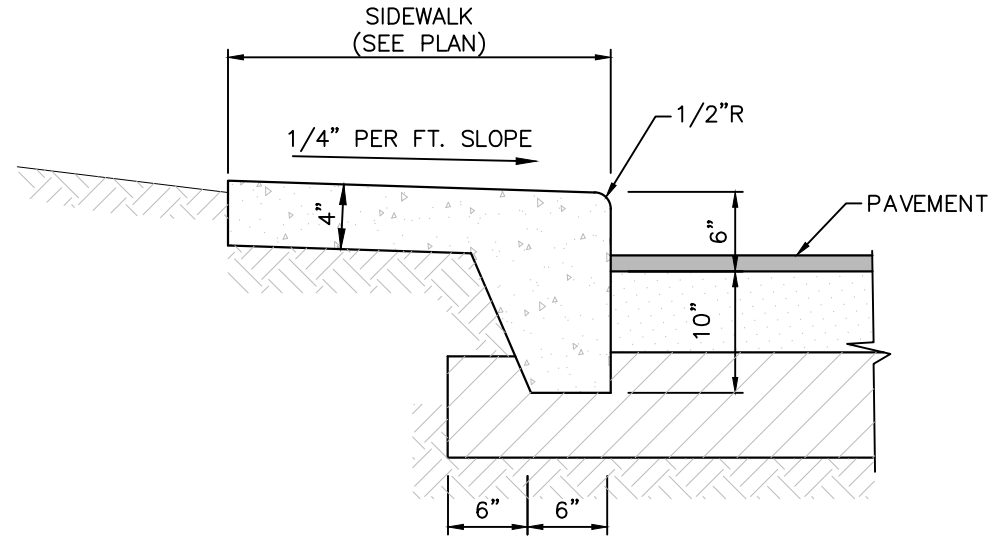
CONCRETE WALKWAY/SIDEWALK

N.T.S.



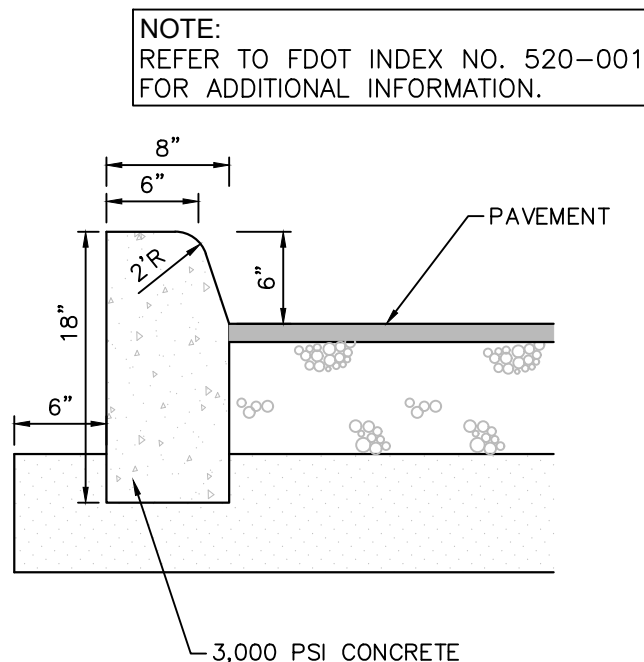
NEW SIDEWALK TO EXISTING CONNECTION DETAIL

N.T.S.



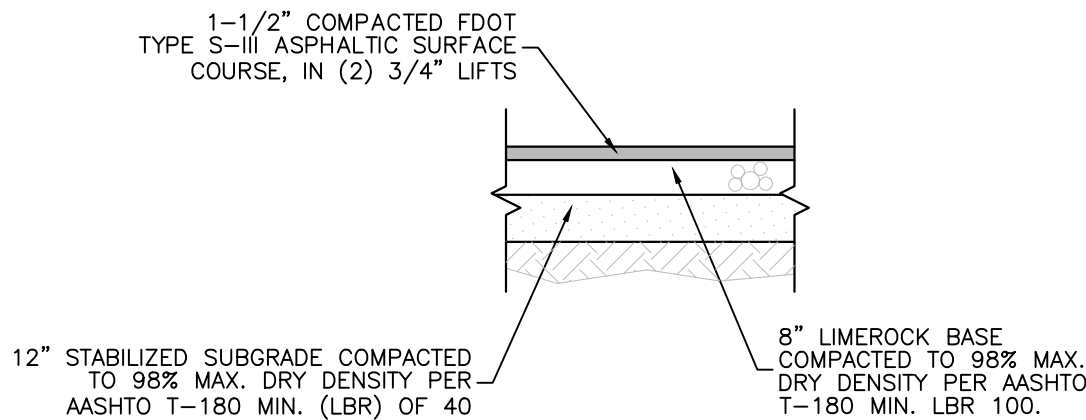
MONOLITHIC CURB AND SIDEWALK DETAIL

N.T.S.
(3,500 PSI (MIN))



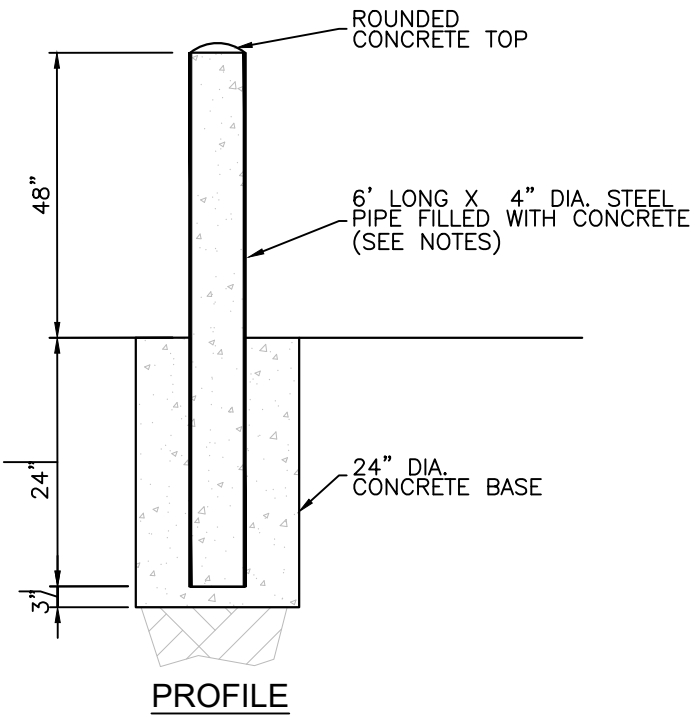
TYPE 'D' CURB

N.T.S.



ASPHALT PAVEMENT TYPICAL CROSS-SECTION

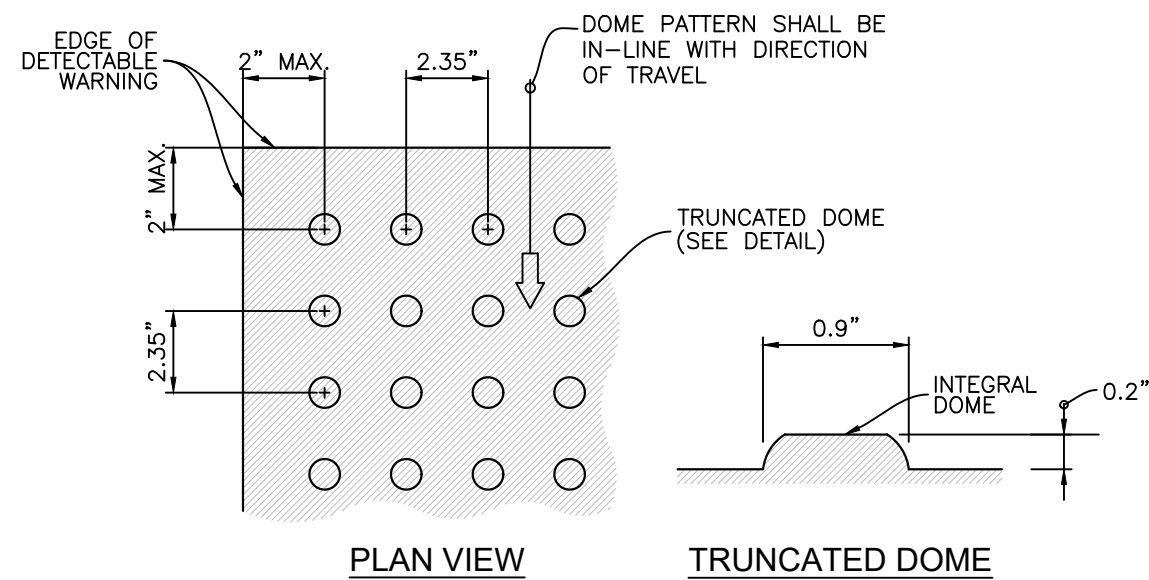
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- NOTES:
1. THE MINIMUM WALL THICKNESS OF THE STEEL PIPE SHALL BE 0.188".
 2. ALL FINISHED BOLLARD SHALL HAVE 2 COATS OF PRIMER AND 2 COATS OF YELLOW REFLECTORIZED PAINT, UNLESS OTHERWISE APPROVED.
 3. THE PRIMER COAT AND YELLOW PAINT SHALL MEET THE REQUIREMENTS OF FDOT 971-5. YELLOW PAINT SHALL BE REFLECTORIZED PAINT
 4. ALL CONCRETE SHALL BE FDOT CLASS 1 HAVING A COMPRESSIVE STRENGTH OF 3,500 PSI (MIN.) IN 28 DAYS.

BOLLARD DETAIL

N.T.S.

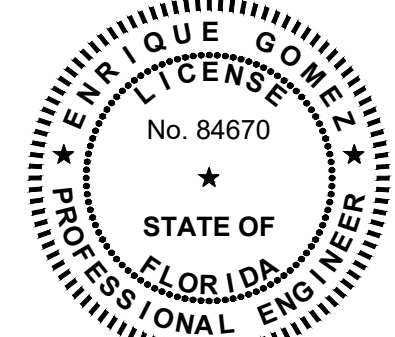


DETECTABLE WARNING DETAIL

N.T.S.

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ENRIQUE GOMEZ, P.E.
FL. REG. No. 84670
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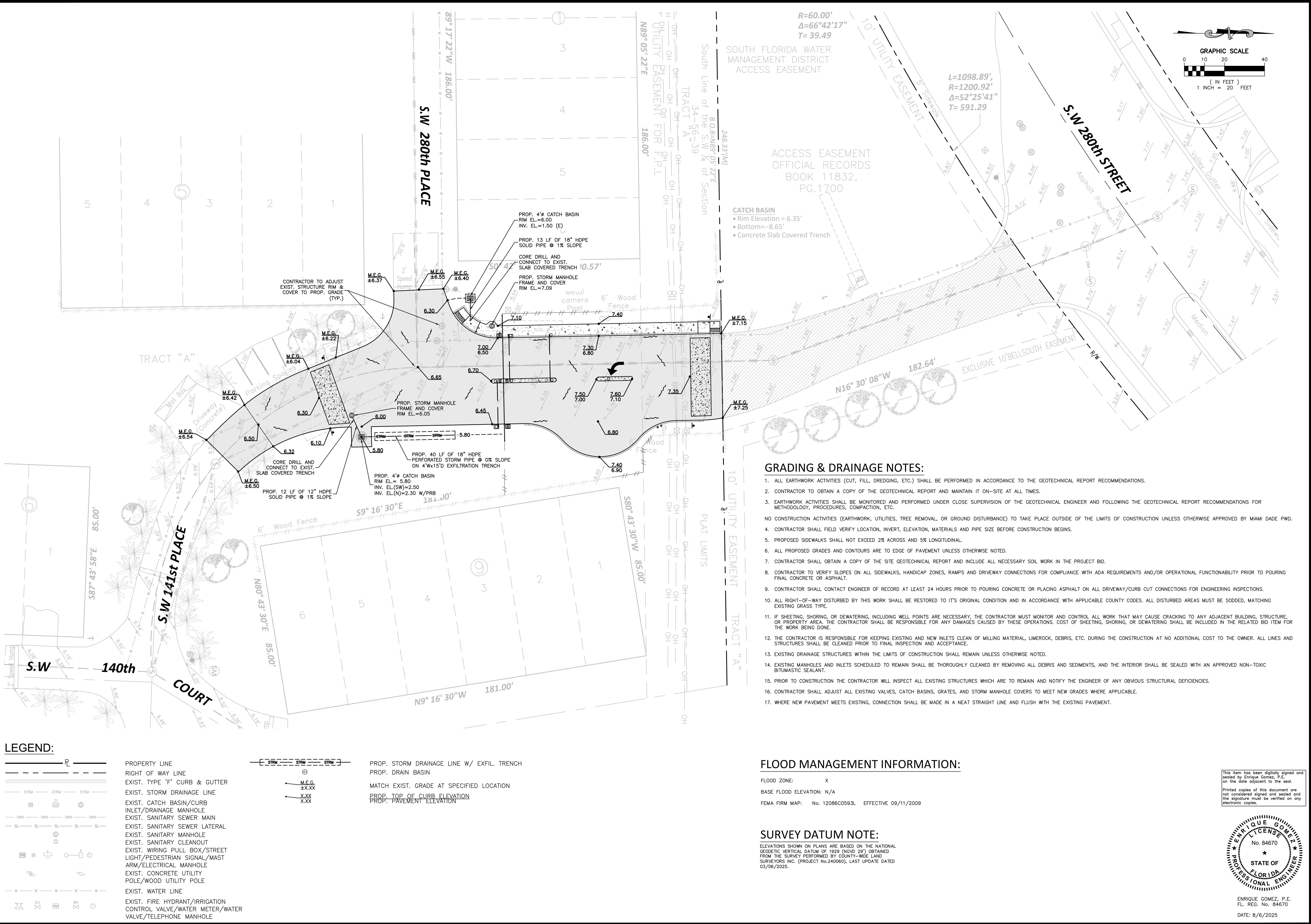
CONSULTING ENGINEER:
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3		
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RESIDENTIAL CONDOMINIUM
VEHICULAR/PEDESTRIAN
ACCESS GATES
WATERSIDE TOWNHOMES COMM HOUSE ASSOC INC
280xx SW 141 Place, HOMESTEAD, FL 33032

DRAWN BY: C.V
CHECKED BY: E.G
DATE: 04/04/2025
SCALE: AS SHOWN
PROJECT #:25-00005
SHEET:
GENERAL
CONSTRUCTION
DETAILS

C2.1

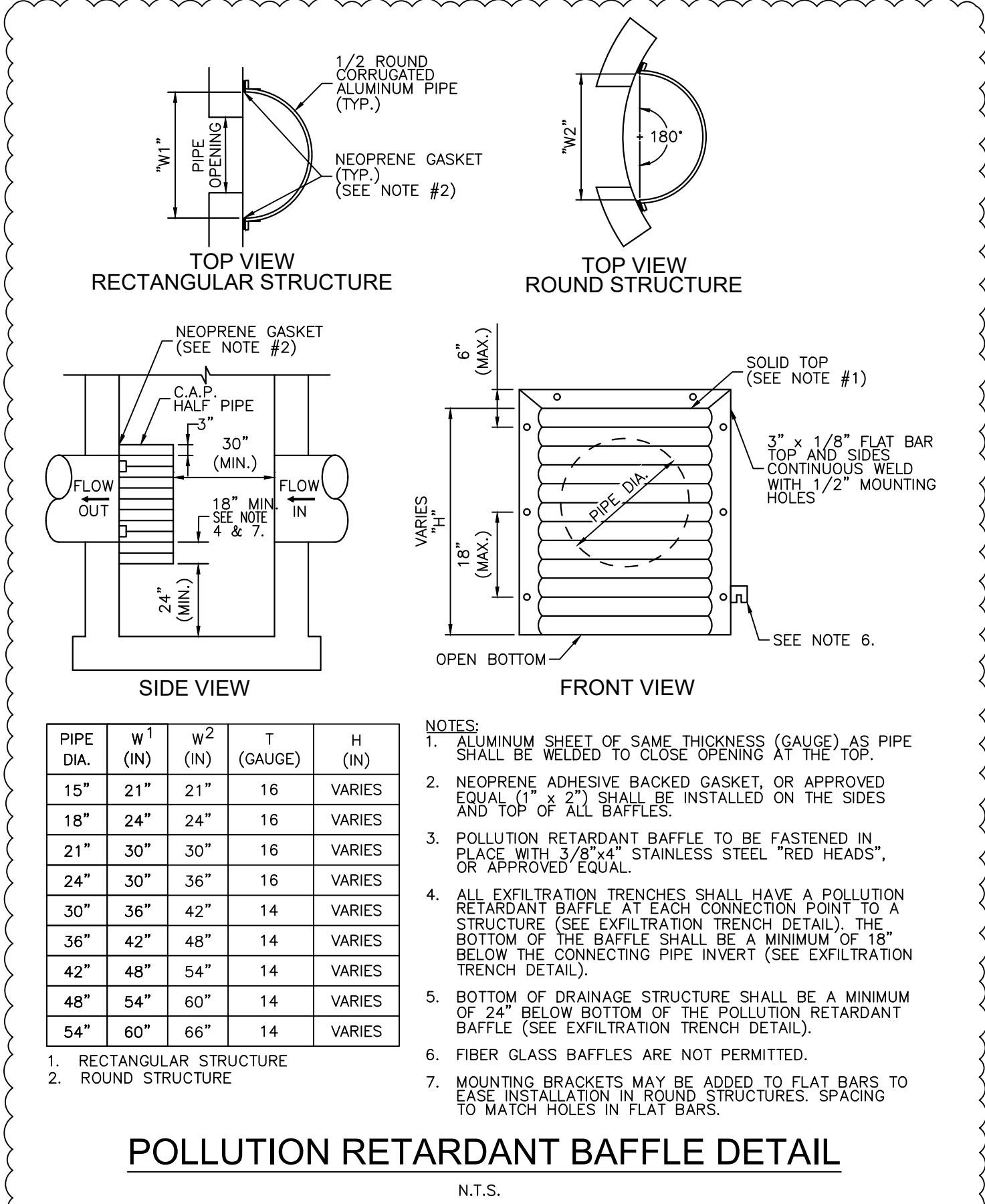




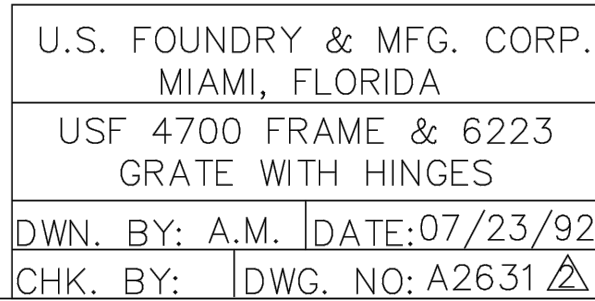
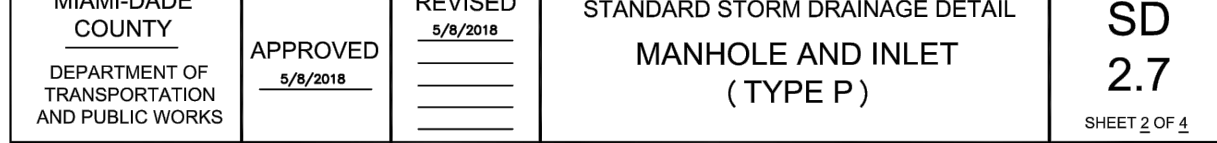
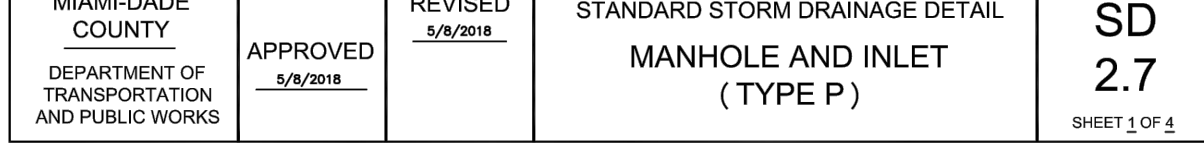
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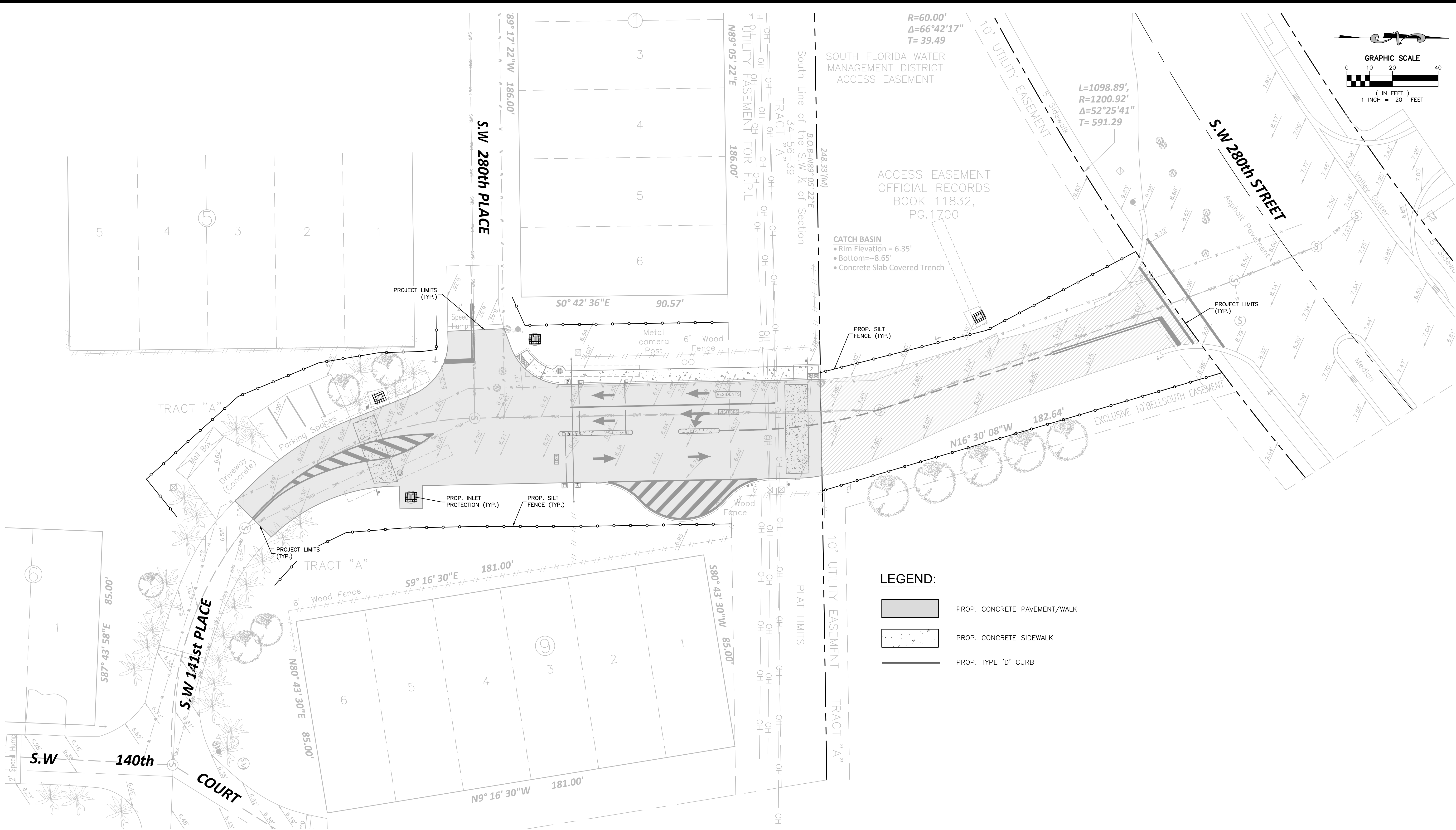
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DRAWN BY: C.V
CHECKED BY: E.G
DATE: 04/04/2025
SCALE: AS SHOWN
PROJECT #:25-00005
SHEET:
PAVEMENT, GRADING AND DRAINAGE PLAN
C3.0



PIPE DIA.	W ¹ (IN)	W ² (IN)	T (GAUGE)	H (IN)
15"	21"	21"	16	VARIABLE
18"	24"	24"	16	VARIABLE
21"	30"	30"	16	VARIABLE
24"	30"	36"	16	VARIABLE
30"	36"	42"	14	VARIABLE
36"	42"	48"	14	VARIABLE
42"	48"	54"	14	VARIABLE
48"	54"	60"	14	VARIABLE
54"	60"	66"	14	VARIABLE





EROSION CONTROL & CONSTRUCTION ENTRANCE NOTES:

- SILT FENCES ARE TO BE REMOVED ONLY AFTER EARTHWORK ACTIVITIES ARE COMPLETED AND SEEDING AND MULCHING HAS TAKEN PLACE.
- SILT FENCES ALONG WETLAND BUFFERS ARE TO REMAIN IN PLACE FOR AT LEAST 120 DAYS AFTER CONSTRUCTION ACTIVITIES HAVE SEIZED.
- SOD ALL DISTURBED OR NEWLY CREATED LAKE BANKS AS PER LANDSCAPE AND IRRIGATION SPECIFICATIONS.
- TURBIDITY CONTROL BARRIERS SHALL BE INSTALLED WITHIN EXISTING LAKES, EXISTING CANALS, ALONG ALL DISTURBED SHORELINES AND WHERE EARTHWORK,(FILL/CUT AND/OR DREDGING) ACTIVITIES ARE TO TAKE PLACE.
- SILT FENCE ARE TO BE SETBACK AS FOLLOWS:
 - 5' FROM FACES OF WALLS/FOOTINGS
 - 5' FROM PROPERTY LINES
 - 5' FROM WETLAND BUFFERS (EXCEPT WHERE A PROPOSED BUFFER OR WETLAND ENCROACHMENT IS SPECIFIED)
 - 5' BEYOND LIMITS OF EARTHWORK (FILL/CUT) OR GRADING ACTIVITIES.
- ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM WITH LOCAL CITY/COUNTY AND WATER MANAGEMENT DISTRICT SPECIFICATIONS, SUBJECT TO AUTHORIZED AND APPROVED VARIANCES, WAIVERS AND/OR CONDITIONAL CHANGES.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PLACED PRIOR TO OR AS THE FIRST STEP IN, CONSTRUCTION. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTATION OF SILT OFF THE SITE.
- CONTRACTOR SHALL KEEP ANY AND ALL SAND, SILT OR OTHER DEBRIS FROM MOVING OFF-SITE. USE AND MAINTAIN SILT FENCE JUST INSIDE OF PROPERTY LINE.
- CONTRACTOR SHALL BLOCK INTRUSION OF SAND, SILT OR OTHER DEBRIS INTO ANY DRAINAGE OR SANITARY SEWER STRUCTURE OR PIPING ON OR ADJACENT TO SITE.
- ALL CLEARED AREAS FOR IMPROVEMENT AND/OR CONSTRUCTION SHALL BE WATERED TO PREVENT WIND EROSION.
- ALL AREAS AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITION, UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. THE COST FOR SUCH RESTORATION SHALL BE INCIDENTAL TO OTHER CONSTRUCTION AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THESE PLANS AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL PROVIDE TREE PROTECTION BARRIERS TO MEET THE REQUIREMENTS OF LOCAL SPECIFICATIONS.
- THE CONTRACTOR SHALL SELECTIVELY CLEAR ONLY THE AREAS REQUIRED FOR CONSTRUCTION AND STABILIZE ANY POTENTIAL EROSION AREAS IMMEDIATELY FOLLOWING COMPLETION OF CONSTRUCTION.
- CONTRACTOR IS REQUIRED BY NPDES TO KEEP A LOG ON SITE FOR THE SOIL EROSION AND SEDIMENT CONTROL MEASURES INDICATED ON THE PLAN. THE LOG SHALL CONTAIN DATES FOR: INSTALLATION OF CONTROL MEASURES, MAJOR SITE CONSTRUCTION ACTIVITIES, INSPECTION ON AT LEAST A WEEKLY BASIS AND INSPECTION AFTER ANY RAINFALL EVENT THAT IS 1/2" OR GREATER.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT.
- WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
- ALL EROSION CONTROL MATERIALS, CONSTRUCTION & MAINTENANCE TO BE PER APPLICABLE SECTIONS OF FDOT STANDARD SPECIFICATION #104.
- USE SANDBAGS, SYNTHETIC BALES OR OTHER APPROVED METHODS TO CHANNELIZE RUNOFF TO BASIN REQUIRED.
- COURSE AGGREGATE & FILTER FABRIC TO PER SECTIONS OF FDOT STANDARD SPECIFICATION #901 & #985 RESPECTIVELY.
- CONTRACTOR TO FOLLOW SILT FENCE INSTALLATION PHASING PER SWPPP.

SURVEY DATUM NOTE:

ELEVATIONS SHOWN ON PLANS ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 29) OBTAINED FROM THE SURVEY PERFORMED BY COUNTY-WIDE LAND SURVEYORS INC. (PROJECT No.240060), LAST UPDATE DATED 03/06/2025.

This item has been digitally signed and sealed by Enrique Gomez, P.E. on the date adjacent to the seal.
Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

ENRIQUE GOMEZ, P.E.
No. 84670
STATE OF FLORIDA
PROFESSIONAL ENGINEER
ENRIQUE GOMEZ, P.E.
FL. REG. No. 84670
DATE: 8/6/2025

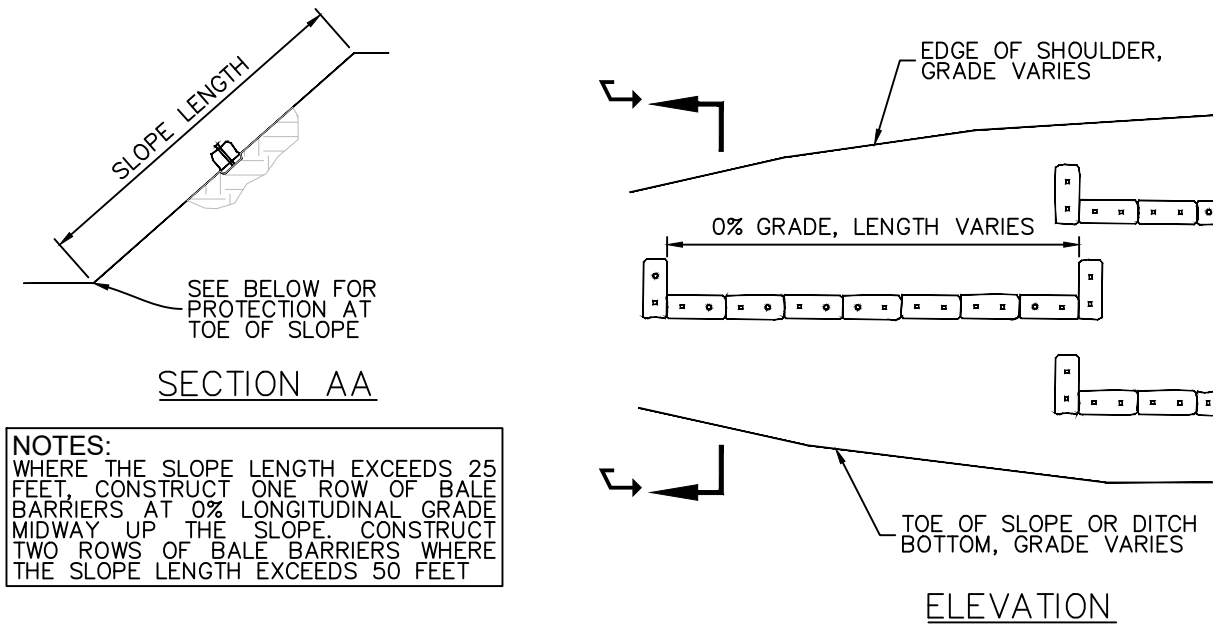
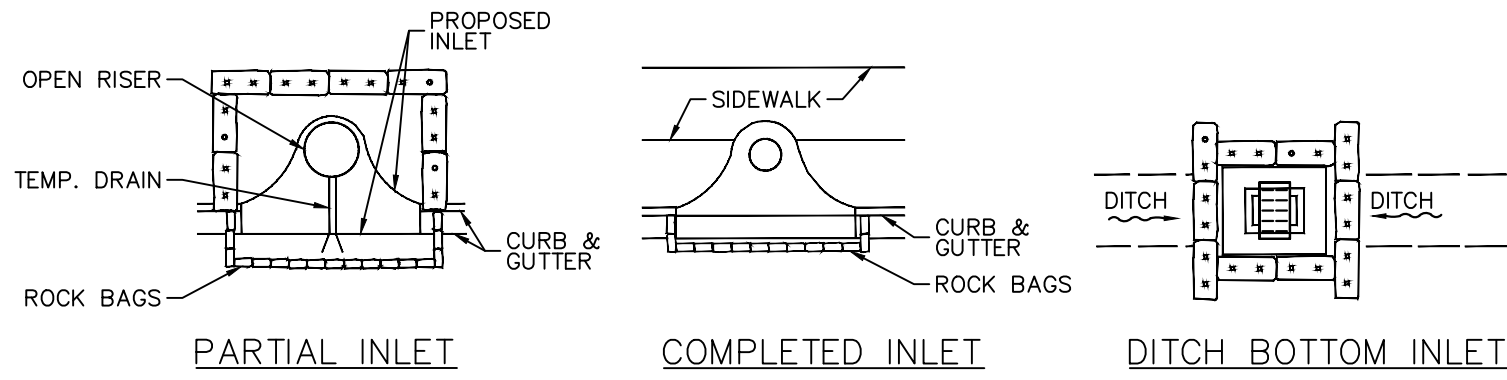


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FL. LIC. No. 84670
7305 SW 142 CT.
MIAMI, FL 33183
PHONE : (786) 877-0019

REVISION NO.	DATE	DESCRIPTION
1	8/6/2025	DERM PAVING & DRAINAGE COMMENTS
2		
3		
4		
5		

RESIDENTIAL CONDOMINIUM
VEHICULAR/PEDESTRIAN
ACCESS GATES
WATERSIDE TOWNHOMES COMM HOUSE ASSOC INC
280xx SW 141 Place, HOMESTEAD, FL 33032

DRAWN BY: C.V
CHECKED BY: E.G
DATE: 04/04/2025
SCALE: AS SHOWN
PROJECT #:25-00005
SHEET:
STORMWATER
POLLUTION
PREVENTION PLAN
C4.0

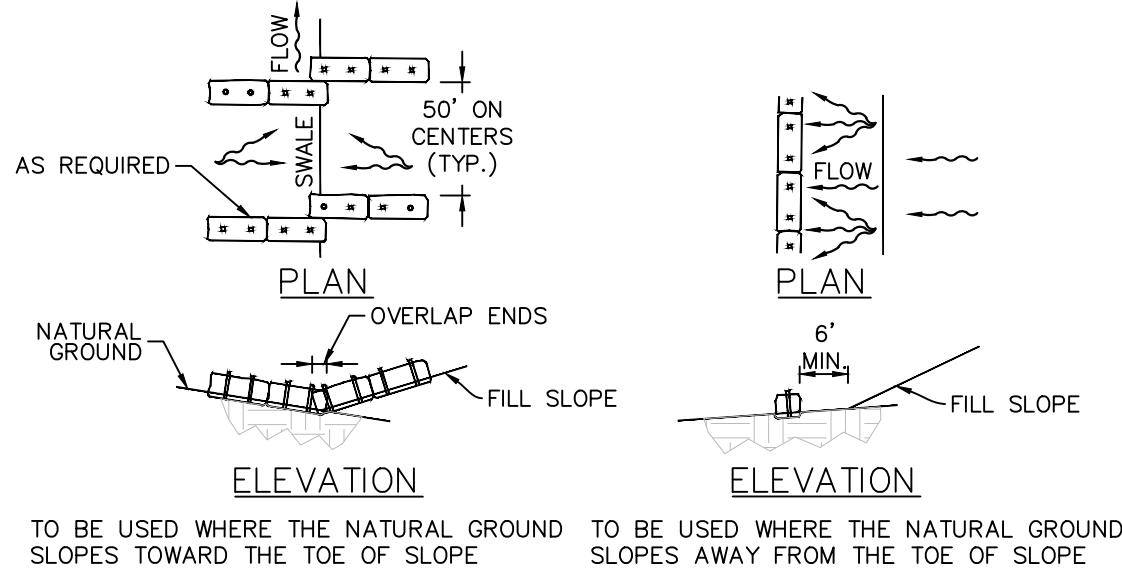


ALONG FILL SLOPE

PROTECTION AROUND INLETS OR SIMILAR STRUCTURES

N.T.S.

- NOTES FOR BAILED HAY OR STRAW BARRIERS
1. TYPE I AND II SYNTHETIC BARRIER SHOULD BE SPACED IN CORACLE WITH CHART I, SHEET I PER INDEX 102 OF THE 2010 FDOT DESIGN STANDARDS.
 2. BALES SHALL BE ANCHORED WITH 2-1" x 2" (OR 1" DIA.) x 4' WOOD STAKES. STAKES OF OTHER MATERIAL OR SHAPE PROVIDING EQUIVALENT STRENGTH MAY BE USED IF APPROVED BY THE ENGINEER. STAKES OTHER THAN WOOD SHALL BE REMOVED UPON COMPLETION OF THE PROJECT.
 3. RAILS AND POSTS SHALL BE 2"x4" WOOD. OTHER MATERIALS PROVIDING EQUIVALENT STRENGTH MAY BE USED IF APPROVED BY THE ENGINEER.
 4. ADJACENT BALES SHALL BE BUTTED FIRMLY TOGETHER.
 5. WHERE USED IN CONJUNCTION WITH SILT FENCE, BALES SHALL BE PLACED ON THE UPSTREAM SIDE OF THE FENCE.



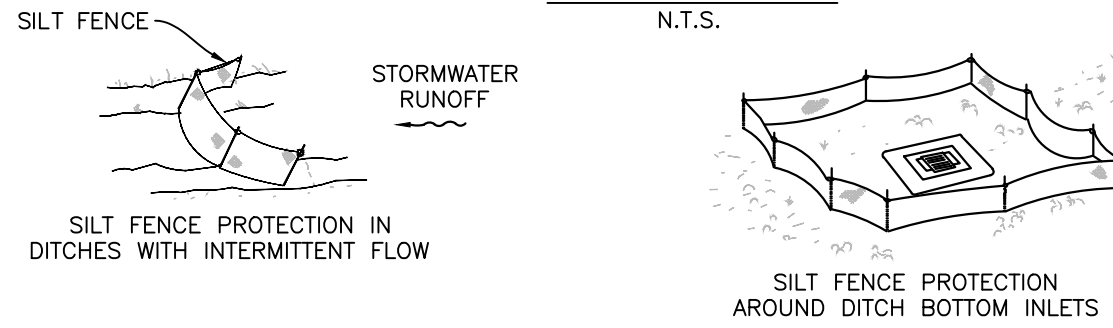
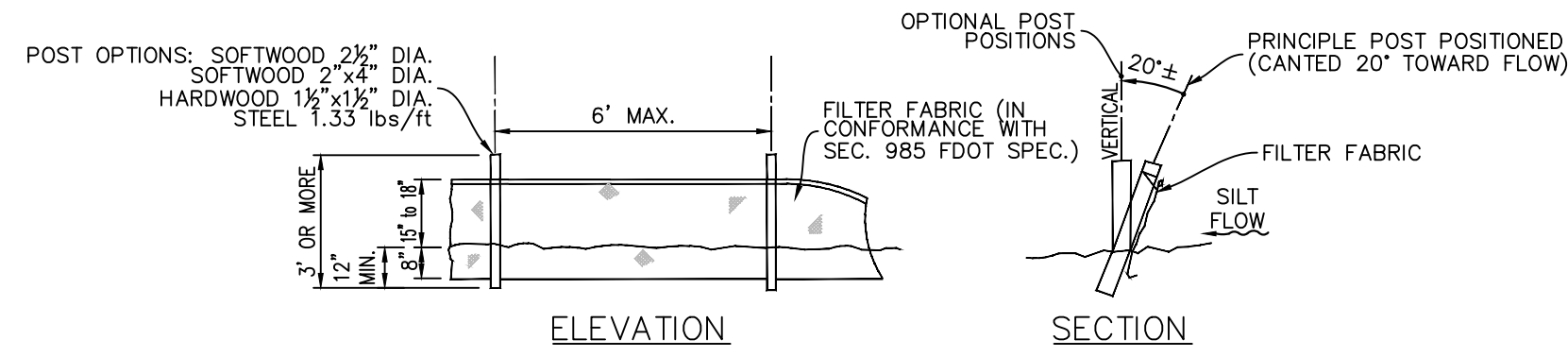
TO BE USED WHERE THE NATURAL GROUND SLOPES TOWARD THE TOE OF SLOPE

TO BE USED WHERE THE NATURAL GROUND SLOPES AWAY FROM THE TOE OF SLOPE

AT TOE OF SLOPE

BARRIERS FOR FILL SLOPES

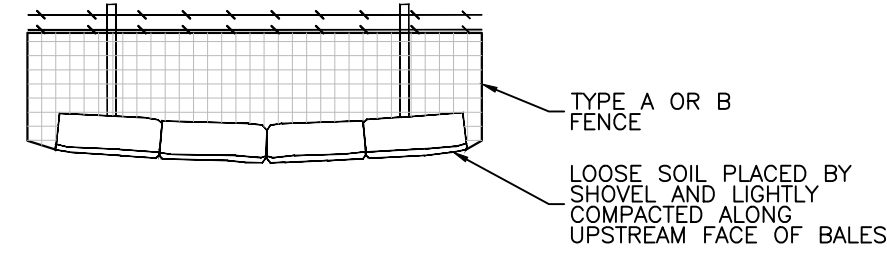
N.T.S.



- NOTES
1. SPACING FOR TYP III FENCE TO BE IN ACCORDANCE WITH CHART 1, SHEET 1 OF 3 AND DITCH INSTALLATIONS OF DRAINAGE STRUCTURES SHEET 2 OF 3 PER 2010 FDOT DESIGN STANDARDS INDEX 102.
 2. DO NOT DEPLOY IN A MANNER THAT SILT FENCES WILL ACT AS A DAM ACROSS PERMANENT FLOWING WATERCOURSES. SILT FENCES ARE TO BE USED AT UPLAND LOCATIONS AND TURBIDITY BARRIERS USED AT PERMANENT BODIES OF WATER

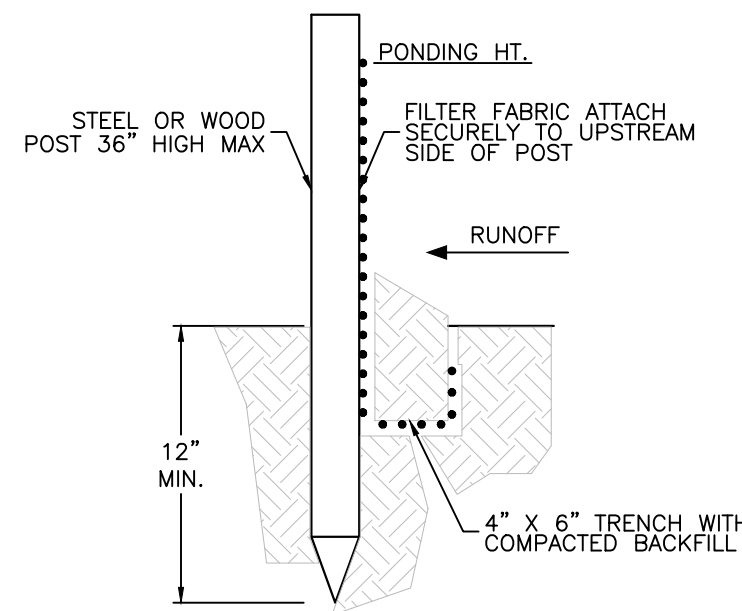
SILT FENCE DETAILS

N.T.S.



BALES BACKED BY FENCE

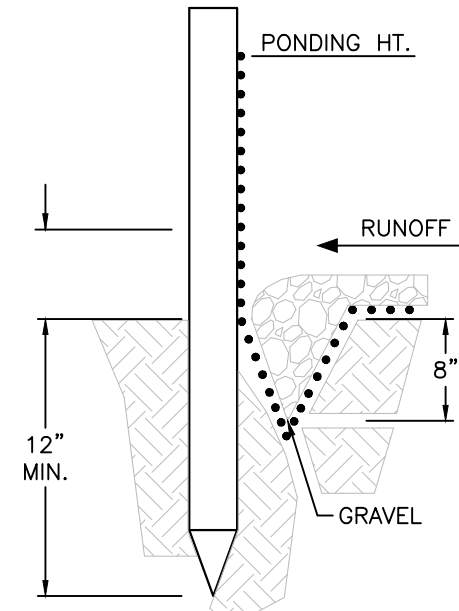
N.T.S.



STANDARD DETAIL

N.T.S.

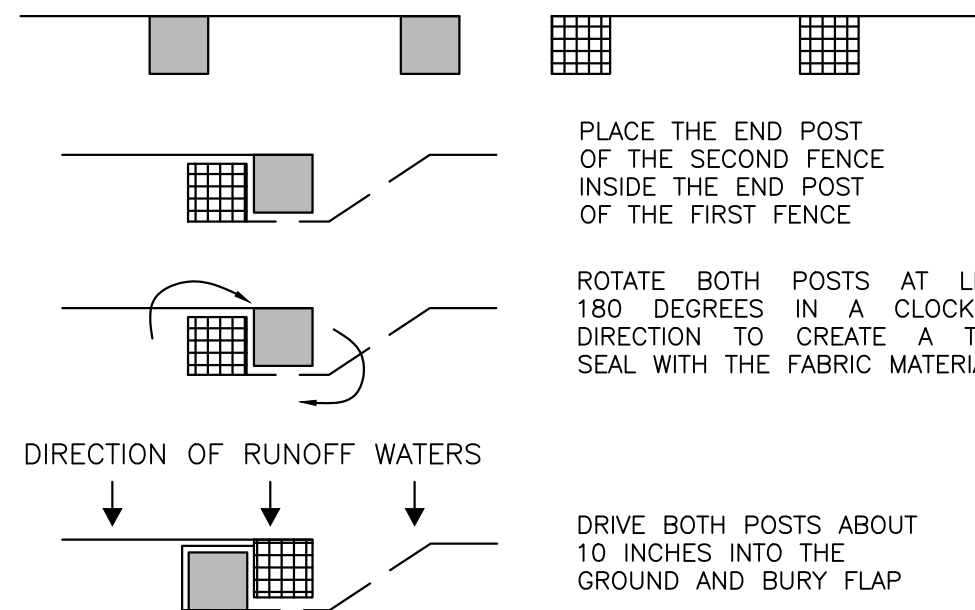
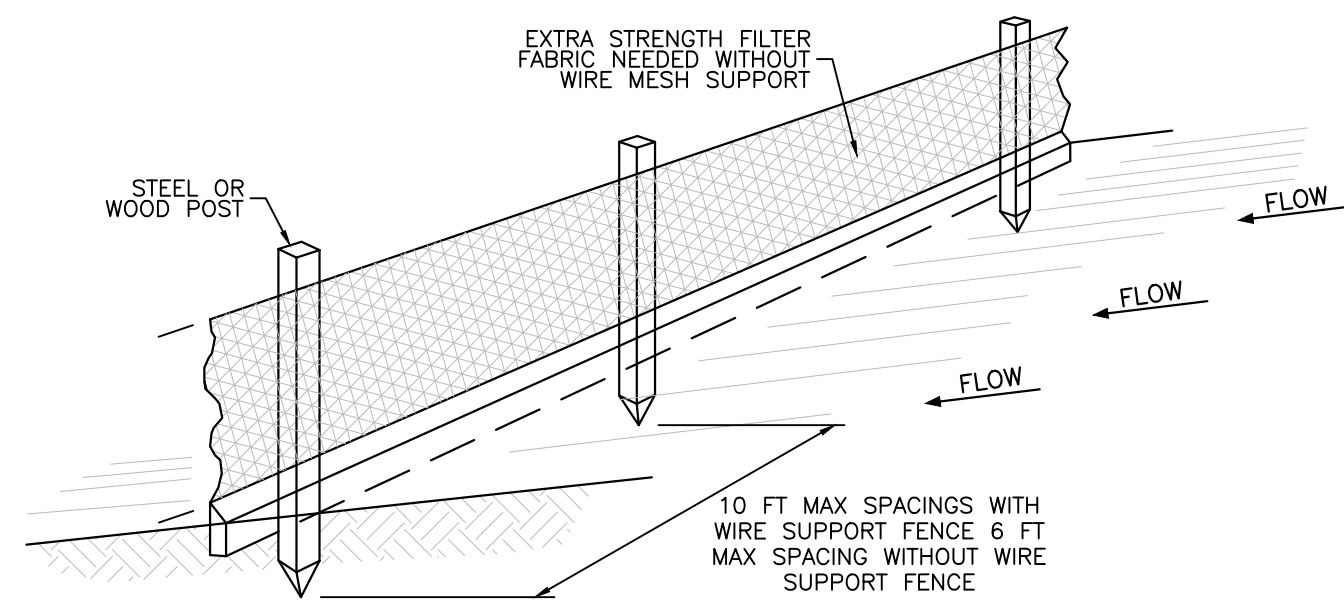
TRENCH WITH NATIVE BACKFILL



ALTERNATE DETAIL

N.T.S.

TRENCH WITH GRAVEL



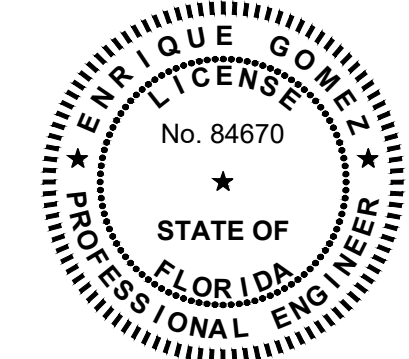
SILT FENCE ATTACHMENT DETAIL

N.T.S.

- NOTES:
1. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
 2. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
 3. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MINIMIZE PONDING EFFICIENCY.

This item has been digitally signed and sealed by Enrique Gomez, P.E. on the date adjacent to the seal.

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ENRIQUE GOMEZ, P.E.
FL. REG. No. 84670
DATE: 8/6/2025



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STORMWATER
POLLUTION
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DETAILS
C4.1