

Memorandum



Date: October 5, 2021

To: Honorable Chairman Jose “Pepe” Diaz
and Members, Board of County Commissioners

From: Lourdes M. Gomez, Director 
Department of Regulatory and Economic Resources

Agenda Item No. 5(U)

Subject: Class I Permit Application by Miami-Dade County, through its Parks, Recreation and Open Spaces Department

Recommendation

I have reviewed the attached application for a Class I permit by Miami-Dade County, through its Parks, Recreation and Open Spaces Department and based upon the applicable evaluation factors set forth in Section 24-48.3 of the Code of Miami-Dade County (Code), I recommend that the Board of County Commissioners (Board) approve the issuance of a Class I permit for the reasons set forth below.

Pursuant to Ordinance No. 16-73, this quasi-judicial matter may be submitted directly for placement on the Board’s meeting agenda by the Director of the Department of Regulatory and Economic Resources.

Scope

The project site is within Haulover Park located at 10800 Collins Avenue, unincorporated Miami-Dade County, Florida, in Commission District 4, which is represented by Commissioner Sally Heyman.

Delegation of Authority

This item has no delegation of authority. Upon approval of this item, Section 24-48.2(C)(2) of the Code authorizes the Department to issue the permit, provided that other Code requirements are satisfied, such as submittal of final plans and bonds, and to require additional conditions, limitations, and restrictions if consistent with this Board’s approval.

Fiscal Impact/Funding Source

This resolution is a regulatory approval and does not have a fiscal impact.

Track Record/Monitor

The Coastal Resources Section Manager, McKee Gray, in the Department of Regulatory and Economic Resources, Division of Environmental Resources Management (DERM), will be responsible for monitoring the proposed permit.

Background

The subject Class I permit application requests authorization for the redevelopment of the existing County-owned Haulover Park boat ramp to include the filling of 7,810 square feet of tidal waters and the filling of approximately 12,808 square feet of wetlands supporting halophytic (salt tolerant) vegetation in order to elevate and expand the associated parking lot. The proposed scope of work also includes the installation of a footer and riprap along the perimeter of the new ramp and the replacement of six fixed and floating piers to facilitate the loading and unloading of vessels launched at the facility. To be approved, this application must be reviewed and decided by the Board after a

public hearing because the filling of tidal waters and wetlands supporting halophytic vegetation are specifically referenced in Section 24-48.2 of the Code as work that shall be processed with a standard form application, including a public hearing.

The subject County-owned park is located adjacent to Biscayne Bay and contains a boat ramp and associated parking lot both of which consistently flood due to their low elevation. Furthermore, the existing paved parking lot is not adequately meeting the needs of the facility and as a result, a nearby unpaved area is being used for overflow parking. In order to address the flooding and to make the facility more functional and resilient the County is proposing to replace the boat ramp through the filling of tidal waters and to expand and elevate the existing parking lot which includes the filling of adjacent, isolated pockets of wetlands supporting halophytic vegetation including mangroves.

According to Section 24-48.3(2) of the Code, dredging and filling work proposed in a Class I permit application shall comply with at least one of the criteria listed in that section of the Code. In order to accommodate the appropriate pitch and slope necessary for the new ramp, the substrate would need to be leveled through the filling of the existing boat ramp footprint. The proposed filling is the minimum necessary to maintain the ramp and access to the ramp, specifically to adequately and safely facilitate the launching and retrieval of vessels and therefore complies with the criteria listed in Section 24-48.3(2)(c) of the Code because it is the minimum necessary for the creation and maintenance of marinas, piers, docks and attendant navigational channels.

In addition to the above proposed filling, the County is also proposing to replace six fixed and floating piers that would be used to facilitate the loading and unloading of vessels to be launched at the facility. Furthermore, in order to stabilize the toe of the new ramp the County is proposing to install a sheetpile footer and riprap around the perimeter of the new ramp. The proposed piers, footer, and placement of riprap are identified by the Code as work that can be processed administratively and are only coming before the Board because the proposed dredging and filling work is included in the subject application.

The proposed parking lot improvements would impact mangroves that have been designated by the Miami-Dade County Comprehensive Development Master Plan (CDMP) as part of a Mangrove Protection Area. Cutting, trimming, pruning or other alteration including dredging or filling of mangroves within a Mangrove Protection Area must be consistent with the criteria outlined in the Coastal Management Element of the CDMP. Furthermore, the project must also be consistent with the criteria outlined in the Conservation, Aquifer Recharge, and Drainage Element of the CDMP. As stated in the Project Report and in this memorandum the proposed work is water dependent and meets the applicable requirements of the CDMP.

The proposed work would improve public access to the boat ramp by providing a stable and resilient parking area that meets applicable Code requirements while also more efficiently managing the launching and retrieval of vessels at the facility. The majority of the expanded parking lot would be within the same footprint as the existing lot or within an unpaved area currently used for overflow parking that does not contain wetlands. In the areas where impacts to wetlands could not be avoided, the footprint of the expanded parking lot has been designed to only result in the filling of two isolated pockets of wetland adjacent to the existing parking areas that are not connected to the larger wetland system. Therefore, the proposed boat ramp and parking lot improvements are consistent with the

CDMP as the work is water dependent and is in a location where no reasonable upland alternative exists.

The proposed project has been evaluated for consistency with the Miami-Dade County Manatee Protection Plan. The project is not located within an area designated as essential habitat for the Florida manatee and the Miami-Dade County Manatee Protection Plan recommends the site be utilized for commercial marinas, dry storage, boat ramps, transitory docks, or boatyards. The proposed boat ramp renovations are consistent with the historic use of the facility and with the marine facility siting recommendations of the Manatee Protection Plan. Furthermore, the Class I permit would require that all standard construction permit conditions regarding manatee protection be followed during all in-water operations.

Pursuant to Section 24-48.4 of the Code, potential adverse environmental impacts and cumulative adverse environmental impacts for a proposed project must be avoided and minimized. Section 24-48.4 of the Code also requires mitigation for permissible projects that otherwise result in unavoidable environmental impacts. In an effort to avoid and minimize impacts to benthic resources, the majority of the proposed ramp and piers would be installed within the footprint of the existing ramp and piers. Furthermore, no federally or State-designated threatened or endangered species of seagrasses or corals were documented within the footprint of the proposed ramp work and the submerged bottom does not provide significant habitat. The majority of the expanded parking lot would be within the same footprint as the existing or within an unpaved area currently used for overflow parking that does not contain wetlands. As discussed above, in the areas where impacts to wetlands could not be avoided, the footprint of the expanded parking lot has been designed to only result in the filling of two isolated pockets of wetlands adjacent to the existing parking areas that are not connected to the larger wetland system. In order to ensure that the remaining adjacent wetlands would not be impacted by the parking lot improvements or the use of the parking lot, the County proposes to install a concrete retaining wall between the parking area and the larger wetland system. No temporary impacts to wetlands are expected as a result of the proposed work.

Furthermore, the proposed work is not reasonably expected to result in cumulative environmental impacts to water quality. Currently, the existing unpaved overflow parking area does not contain any erosion controls or drainage features to prevent runoff in to the adjacent surface waters. The direct runoff associated with both the paved and unpaved parking areas would be eliminated through the installation of retaining walls along the edges of the newly constructed parking lot and the construction of a drainage system thereby eliminating direct water runoff. While the construction phase of the proposed project may result in temporary water quality impacts, the Class I permit would require that turbidity controls be utilized during all phases of construction to ensure compliance with State and County water quality standards. Mitigation for unavoidable temporary impacts to water quality associated with the filling of tidal waters would be satisfied through the placement of riprap. Any portion of the required mitigation that cannot be accommodated on-site would be satisfied through a contribution to the Biscayne Bay Environmental Enhancement Trust Fund. To mitigate for otherwise permissible impacts to wetlands associated with the parking lot improvements, the County has proposed the purchase of saltwater mitigation bank credits from the Florida Power and Light Company’s Everglades Mitigation Bank (FPL EMB).

Please note that there are no riparian owners within 300 feet of the proposed project. Therefore, no courtesy notices were sent out for this application.

Based on the reasons herein and in the Project Report, DERM recommends approval for the filling of tidal waters and wetlands in association with improvements to the boat ramp and parking lot, and the installation of the piers, footer, and riprap.

The project has been designed in accordance with all relevant Miami-Dade County coastal construction criteria and is consistent with all other Miami-Dade County coastal protection provisions. Please find attached a DERM Project Report which also sets forth the reasons the proposed project is recommended for approval by DERM pursuant to the applicable evaluation factors and criteria as set forth in Section 24-48.3 of the Code. The conditions, limitations, and restrictions set forth in the Project Report attached hereto are incorporated herein by references hereto.

Attachments

Attachment A: Class I Permit Application

Attachment B: Owner/Agent Letter, Engineer Letter and Project Sketches

Attachment C: DERM Project Report

Attachment A
Class I Permit Application



Class I Permit Application

FOR DEPARTMENTAL USE ONLY	
Date Received:	Application Number:
	Application Fee:

Application must be filled out in its entirety. Please indicate N/A for non-applicable fields.

1. Applicant Information: Name: <u>Miami-Dade Co. Parks, Rec. & Open Spaces Dept</u> Address: <u>275 NW 2nd Street</u> <u>Miami, FL</u> Zip Code: <u>33128</u> Phone #: <u>305-755-7912</u> Fax#: _____ Email: <u>Joe.Cornely@miamidade.gov</u> <small>* This should be the applicant's information for contact purposes.</small>	2. Applicant's Authorized Permit Agent: <small>Agent is allowed to process the application, furnish supplemental information relating to the application and bind the applicant to all requirements of the application.</small> Name: <u>Karen D. Brandon, P.E.</u> Address: <u>2090 Palm Beach Lakes Blvd. Suite 600</u> <u>West Palm Beach</u> Zip Code: <u>33409</u> Phone #: _____ Fax #: <u>N/A</u> Email: <u>karen.brandon@aecom.com</u> <u>561-684-3375</u>
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3. Location where proposed activity exists or will occur (latitude and longitude are only necessary for properties without address or folio #):				
Folio #(s): <u>30-2214-008-0010</u>	Latitude: <u>25 55'00.88"N</u>	Longitude: <u>80 07'25.11" W</u>		
Street Address: <u>10800 Collins Avenue</u>	Section: <u>14,23</u>	Township: <u>52S</u>	Range: <u>42E</u>	
In City or Town: <u>Miami-Dade County</u>	Near City or Town: <u>North Miami Beach</u>			
Name of waterway at location of the activity: <u>Biscayne Bay</u>				

4. Describe the proposed activity (check all that apply):				
<input type="checkbox"/> Seawall <input type="checkbox"/> New/Replacement Seawall <input type="checkbox"/> Seawall Cap <input type="checkbox"/> Batter Piles <input type="checkbox"/> King Piles <input type="checkbox"/> Footer/Toe Wall <input checked="" type="checkbox"/> Riprap	<input checked="" type="checkbox"/> Dock(s) <input type="checkbox"/> Pier(s) <input type="checkbox"/> Viewing Platform	<input type="checkbox"/> Boatlift <input type="checkbox"/> Mooring Piles <input type="checkbox"/> Fender Piles <input type="checkbox"/> Davits	<input type="checkbox"/> Dredging <input type="checkbox"/> Maintenance <input type="checkbox"/> New <input checked="" type="checkbox"/> Filling	<input type="checkbox"/> Mangrove Trimming <input type="checkbox"/> Mangrove Removal
<input checked="" type="checkbox"/> Other: <u>renovate boat ramp</u>				
Estimated project cost = \$ <u>2,794,071</u>				
Are you seeking an after-the-fact approval (ATF)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If "Yes", describe the ATF work: _____				

5. Proposed Use (check all that apply): <input type="checkbox"/> Single Family <input type="checkbox"/> Multi-Family <input type="checkbox"/> Private <input checked="" type="checkbox"/> Public <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Utility	6. If the proposed work relates to the mooring of vessels provide the following information (please also indicate if the applicant does not have a vessel): Proposed Vessel Type (s): <u>Public Recreational</u> Vessel Make/Model (If known): <u>Varies</u> Draft (s)(range in inches.): <u>12-36</u> Length (s)(range in feet.): <u>12- 40</u> Total Number of Slips: <u>12</u>
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7. List all permits or certifications that have been applied for or obtained for the above referenced work:				
Issuing Agency	Type of Approval	Identification Number	Application Date	Approval Date
FDEP - ERP,	USACE -NWP	TBD		N/A

Attachment B

Owner/Agent Letter, Engineer Letter and Project Sketch

PERMIT APPLICANT / AUTHORIZED AGENT STATEMENT

March 10, 2021

Miami Dade County Department of Regulatory and Economic Resources
Class I Permitting Program
701 NW 1st Court
Miami, FL 33136

Re: Class I Standard Form Permit Application Number CLI-2020-0149

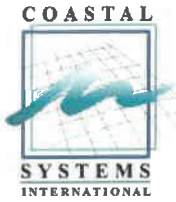
By the attached Class I Standard Form permit application with supporting documents, I, Karen Brandon, am the authorized permit agent and hereby request permission to perform the work associated with Class I Permit Application CLI-2020-0149. I understand that a Miami-Dade County Class I Standard Form Permit is required to perform this work.

If approval is granted for the proposed work by the Board of County Commissioners, complete and detailed plans and calculations of the proposed work shall be prepared by an engineer licensed in the State of Florida in accordance with the minimum requirements of Chapter 24 of the Code of Miami-Dade County, Florida. Said plans and calculations shall be subject to the review and approval of the Department. The permit applicant will secure the services of an engineer licensed in the State of Florida to conduct inspections throughout the construction period, and said engineer shall prepare all required drawings of record. In the event that the proposed work which is the subject of this Class I Permit application involves the cutting or trimming of a mangrove tree(s), a detailed plan of the proposed cutting or trimming shall be prepared by a licensed landscape architect and submitted to the Department for review and approval, and the permit applicant will secure the services of a licensed landscape architect to supervise the trimming or cutting.

Respectfully submitted,



Karen D. Brandon, PE
Associate Vice President



COASTAL SYSTEMS INTERNATIONAL, INC.
464 South Dixie Highway • Coral Gables, Florida 33146
Tel: 305-661-3655 • Fax: 305-661-1914
www.coastalsystemsint.com

March 18, 2021

ENGINEER LETTER OF CERTIFICATION

Miami Dade County Department of Regulatory and Economic Resources
Class I Permitting Program
701 NW 1st Court
Miami, FL 33136

RE: Class I Permit Application Number CLI-2020-0149

Ladies and Gentlemen:

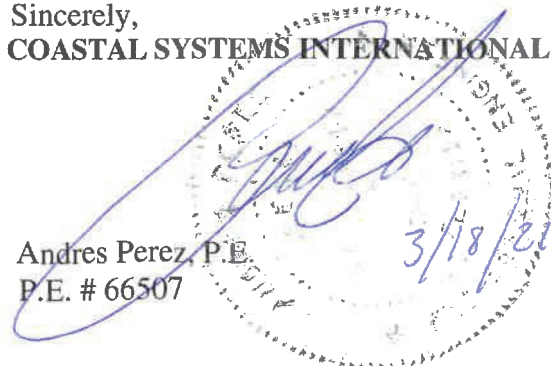
This letter will certify that I am an engineer licensed in the State of Florida, qualified by education and experience in the area of engineering design and inspection, and that to the best of my knowledge and belief, the proposed work does not violate any laws, rules, or regulations of the State of Florida or any provisions of the Code of Miami-Dade County which may be applicable; that diligence and recognized standard practices of the engineering profession have been exercised in the engineer's design of the proposed work; and in my opinion based upon my knowledge and belief, the following will not occur:

- a. Harmful obstruction or undesirable alteration of the natural flow of the water within the area of the proposed work.
- b. Harmful or increased erosion, shoaling of channels or stagnant areas of water. (Not applicable to class IV permits)
- c. Material injury to adjacent property.
- d. Adverse environmental impacts from changes in water quality or quantity. (Applicable to class IV permits only)

Further, I have been retained by the applicant to provide inspections throughout the construction period and to prepare a set of reproducible record prints of drawings showing changes made during the construction process based upon the marked-up prints, certified surveys, drawings, and other data furnished by the contractor to me.

Sincerely,
COASTAL SYSTEMS INTERNATIONAL, INC.

Andres Perez, P.E.
P.E. # 66507



HAULOVER PARK BOAT RAMP CONSTRUCTION PLANS

10800 Collins Avenue, Miami, FL
MIAMI - DADE COUNTY, FLORIDA

PROS PROJECT NUMBER 222302-17-005
AUGUST 2020



Honorable Carlos A. Gimenez
Mayor

BOARD OF COUNTY COMMISSIONERS

Honorable Audrey M. Edmonson, Chairwoman

Rebecca Sosa, Vice-Chairwoman

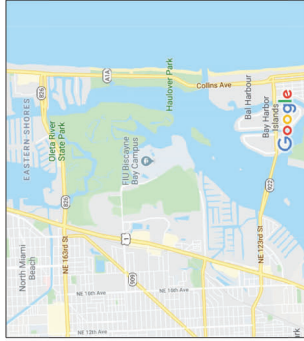
- Honorable Barbara J. Jordan District 1
- Honorable Jean Moneslime District 2
- Honorable Sally A. Heyman District 4
- Honorable Eileen Higgins District 6
- Honorable Xavier L. Suarez District 7
- Honorable Daniella Levine Cava District 8
- Honorable Dennis C. Moss District 9
- Honorable Javier D. Souto District 10
- Honorable Joe A. Martinez District 11
- Honorable José "Pepe" Diaz District 12

Harvey Ruvin
Clerk of Courts
Pedro J. Garcia
Property Appraiser
Abigail Price-Williams
County Attorney

MIAMI-DADE COUNTY provides equal access and equal opportunity in employment and services and does not discriminate on the basis of disability.

PARKS, RECREATION AND OPEN SPACES

Maria I. Nardi, Director



LOCATION MAP
SCALE: N.T.S.



GENERAL
CONSTRUCTION SERVICES, INC.
1000 N. W. 107th Ave., Suite 100
Miami, FL 33158
Phone: (305) 551-1000



SRS
SPECIALIZED RECREATION SERVICES, INC.
1000 N. W. 107th Ave., Suite 100
Miami, FL 33158
Phone: (305) 551-1000

STRUCTURAL
CONCRETE SYSTEMS INTERNATIONAL, INC.
1000 N. W. 107th Ave., Suite 100
Miami, FL 33158
Phone: (305) 551-1000

GEOTECHNICAL
GEOTECHNICAL, INC.
1000 N. W. 107th Ave., Suite 100
Miami, FL 33158
Phone: (305) 551-1000

SUBVEY
SUBVEY, INC.
1000 N. W. 107th Ave., Suite 100
Miami, FL 33158
Phone: (305) 551-1000

DRAWING NAME SHEET NUMBER	INDEX OF DRAWINGS	DRAWING TITLE
G-1	1	COVER
G-2	2	GENERAL NOTES
G-3	3	GENERAL NOTES
G-4	4	GENERAL NOTES
G-5	5	EXISTING BOAT RAMP CONDITIONS
G-6	6	PROPOSED BOAT RAMP PLAN
G-7	7	PROPOSED BOAT RAMP PLAN
G-8	8	PROPOSED BOAT RAMP PLAN
G-9	9	PROPOSED BOAT RAMP PLAN
G-10	10	PROPOSED BOAT RAMP PLAN
G-11	11	PROPOSED DOCK DETAILS
G-12	12	PROPOSED DOCK DETAILS
G-13	13	PROPOSED DOCK DETAILS
G-14	14	PROPOSED DOCK DETAILS
G-15	15	PROPOSED DOCK DETAILS
G-16	16	PROPOSED DOCK DETAILS
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G-70	70	PROPOSED DOCK DETAILS
G-71	71	PROPOSED DOCK DETAILS

MIAMI-DADE COUNTY
Parks, Recreation and Open Spaces Department

ADA REVIEW

Per Miami-Dade County Administrative Order No. 10-10:
These construction documents are compliant with the ADA Accessibility Guidelines (ADAAG) and Uniform Standards (UFAS) where applicable.

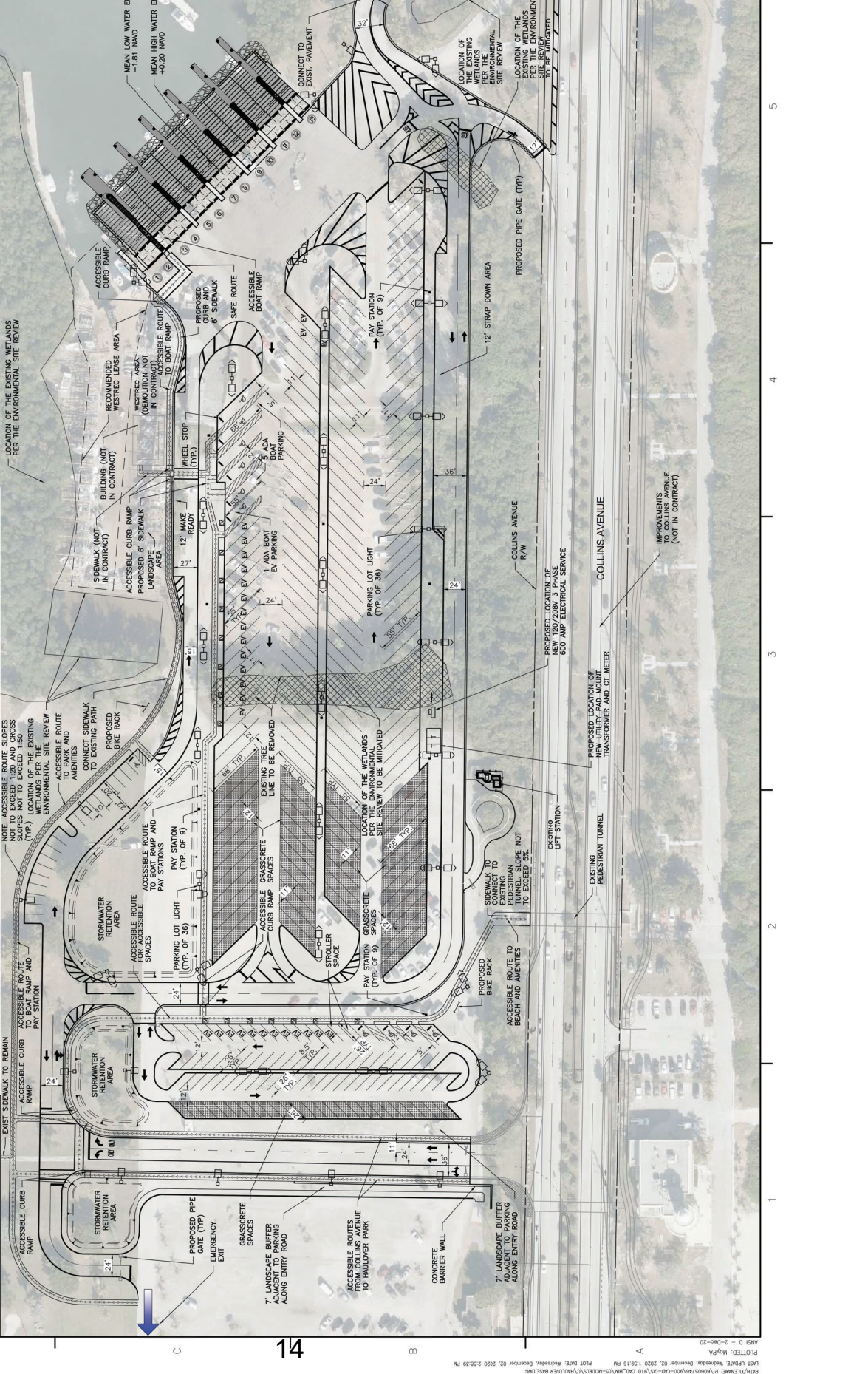
QUALIFIER SIGNATURE: _____ DATE: _____
TITLE: _____
DATE: _____

PARKS, RECREATION AND OPEN SPACES

- Department Director
- Assistant Director of Planning, Design and Construction Excellence
- Assistant Director of Operations Management Division
- Chief Design and Construction Excellence

1 2 3 4 5

MISCELLANEOUS		PARKING DIMENSIONS		LANDSCAPE REQUIREMENT		TREE REQUIREMENT		PARKING SPACE REQUIREMENTS	
BIKE RACKS	12	45' VEHICLE	10'x18.5'	REQUIREMENT	291 SPACES AT 10' SPACING	ONE (1) TREE PER 80 SF OF REQUIRED LANDSCAPED AREA	37 TREES	MINIMUM REQUIRED SPACES	SPACES PROVIDED
STROLLER SPACES	2	80' VEHICLE	10'x20'	291 SPACES AT 10' SPACING	40,200 SF		37 TREES	CODE REFERENCE: 36-443	151 TO 200 TOTAL SPACES REQUIRES 6
VEHICLE PARKING (EV)	12	80' OVERSIZE VEHICLE	12'x18.5'	291 SPACES AT 10' SPACING	40,200 SF		37 TREES	MD CODE SEC. 30-443	101 TO 150 TOTAL SPACES REQUIRES 5
VEHICLE PARKING (ACCESSIBLE)	2	80' ACCESSIBLE VEHICLE	12'x18.5'	ONE (1) TREE PER 80 SF OF REQUIRED LANDSCAPED AREA	37 TREES		37 TREES	MD CODE SEC. 33-122.2	101 TO 500 TOTAL SPACES REQUIRES 2
VEHICLE PARKING (ACCESSIBLE-EV)	3	80' ACCESSIBLE VEHICLE	12'x18.5'					MD CODE SEC. 33-122.3	101 TO 500 TOTAL SPACES REQUIRES 12
VEHICLE PARKING (ACCESSIBLE-EV)	3	80' ACCESSIBLE VEHICLE	12'x18.5'					MD CODE SEC. 33-122.5	10% OF TOTAL SPACES=79
REGULAR BOAT PARKING (GRASSCRETE)	109								
REGULAR BOAT PARKING (ACCESSIBLE)	1								
REGULAR BOAT PARKING (ACCESSIBLE-EV)	2								
OVERSIZE BOAT PARKING (ACCESSIBLE)	16								
OVERSIZE BOAT PARKING (ACCESSIBLE-EV)	3								
OVERSIZE BOAT PARKING (GRASSCRETE)	13								
TOTAL BOAT PARKING	128								
TOTAL PARKING	291								



CRITICAL NOTES:

1. THE WORK CONSISTS OF FURNISHING ALL CONSTRUCTION, LABOR, EQUIPMENT AND MATERIALS AND PERFORMING CONSTRUCTION WITH MARINE CONSTRUCTION AS SHOWN ON THESE DRAWINGS AND SPECIFIED IN THE CONTRACT DOCUMENTS.
2. THE CONTRACTOR SHALL ABIDE BY ALL NOTES AND CONDITIONS INDICATED ON THE CONSTRUCTION PLANS AND PERMITS. IF THE CONTRACTOR VIOLATES ANY CONDITION OF THE PERMIT AND WORK IS STOPPED BY A PUBLIC ENTITY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL LOCAL PERMITS NECESSARY FOR THIS WORK. A PRECONSTRUCTION MEETING WILL BE HELD ON SITE TO VERIFY DETAILS AND METHODS OF CONSTRUCTION.
3. UNDERGROUND AND SUBAQUEOUS IMPROVEMENTS AND/OR UTILITIES WERE NOT LOCATED AS PART OF THIS SURVEY AND SHOULD BE FIELD VERIFIED PRIOR TO ANY MARINE CONSTRUCTION.
4. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL PERMITS NECESSARY FOR THIS WORK. A PRECONSTRUCTION MEETING WILL BE HELD ON SITE TO VERIFY DETAILS AND METHODS OF CONSTRUCTION.
5. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH OTHER UPLAND CONTRACTORS ON SITE.
6. OWNER IS RESPONSIBLE FOR OBTAINING ENVIRONMENTAL PERMITS FOR THE PROJECT. A COPY WILL BE PROVIDED TO THE CONTRACTOR, AND THE CONTRACTOR SHALL ABIDE BY ALL REGULATIONS AND PERMIT CONDITIONS.
7. ANY DISCREPANCIES IN THE PLANS WITH FIELD CONDITIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER. CONSTRUCTION SHALL NOT CONTINUE UNTIL THE ENGINEER HAS ADDRESSED THE DISCREPANCIES.
8. CONTRACTOR SHALL COORDINATE WITH OWNER FOR UPLAND STAGING AREA.
9. CONSTRUCTION SHALL ADHERE TO THE DOCK CONSTRUCTION GUIDELINES, THE "2011 STANDARD MARAETEE CONDITIONS" AND THE "SEA TURTLE & SMALLTOOTH SAWFISH CONSTRUCTION CONDITIONS" WILL BE ADHERED TO DURING ALL INWATER WORK.

TOPOGRAPHIC AND HYDROGRAPHIC SURVEY NOTES:

1. TOPOGRAPHIC SURVEY PROVIDED BY F.R. ALEMAN & ASSOCIATES, INC. DATED SEPTEMBER 24, 2019.
2. HORIZONTAL COORDINATES ARE IN FEET AND REFERENCED TO FLORIDA STATE PLANE EAST ZONE (NAD 83).
3. ELEVATIONS ARE IN FEET AND REFERENCED TO THE NATIONAL AMERICAN VERTICAL DATUM (NAVD 89).
4. THE INFORMATION REPORTED IN THIS CHART REPRESENTS THE RESULTS OF THE SURVEY ON THE DATE INDICATED AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITIONS EXISTING AT THAT TIME.

DESIGN CRITERIA

1. DESIGN CRITERIA BASED ON FBC 2017, FOOT S02020, ADJ 318-14, ASEE 7-10.
2. DESIGN LIVE LOAD ON FLOATING DOCKS & GANWAY = 40 psf
3. DESIGN WIND LOAD IS AS FOLLOWS:
RISK CATEGORY I
EXPOSURE CATEGORY C
Vult = 165 mph
Vead = 128 mph

TURBIDITY NOTES

- CONTRACTOR SHALL SUBMIT TURBIDITY CONTROL PLAN TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION IN ACCORDANCE WITH TECHNICAL SPECIFICATIONS AND REGULATORY PERMITS.
1. PRIOR TO THE INITIATION OF ANY WORK AUTHORIZED BY THIS PERMIT, FLOATING TURBIDITY CURTAINS WITH WEIGHTED SKIRTS THAT EXTEND TO WITHIN ONE FOOT OF THE BOTTOM SHALL BE PLACED AROUND THE PROJECT SITE, AND SHALL BE MAINTAINED AND REMAIN IN PLACE FOR THE DURATION OF THE PROJECT CONSTRUCTION TO ENSURE THAT TURBID DISCHARGES DO NOT OCCUR OUTSIDE THE BOUNDARIES OF THE FLOATING TURBIDITY CURTAINS. THE CONTRACTOR SHALL MAINTAIN AND MONITOR THE TURBIDITY CURTAINS DURING CONSTRUCTION AND SHALL BE INSPECTED DAILY AND MAINTAINED IN GOOD WORKING ORDER DURING ALL PHASES OF CONSTRUCTION AUTHORIZED BY THIS PERMIT UNTIL ALL AREAS THAT WERE DISTURBED DURING CONSTRUCTION ARE SUFFICIENTLY STABILIZED TO PREVENT TURBID DISCHARGES.
 2. TURBIDITY CONTROLS SHALL BE DEPLOYED AND MAINTAINED IN THE MOST EFFECTIVE MANNER POSSIBLE TO PREVENT TURBIDITY FROM EXTENDING BEYOND ANY TURBIDITY CONTROL MECHANISM IN PLACE.
 3. WATERS BEYOND THE MOUTH OF THE MARINA ARE PART OF THE BISCAYNE BAY AQUATIC PRESERVE AND OUTSTANDING FLORIDA WATERS. WATER QUALITY SHOULD NOT BE DEGRADED. TURBIDITY LEVELS SHOULD NOT EXCEED BACKGROUND LEVELS BEYOND THE MOUTH OF THE MARINA.
 4. TURBIDITY CURTAINS SHALL NOT BE RELOCATED/REMOVED FROM DREDGING AREA UNTIL TURBIDITY LEVELS WITHIN THE ENCLOSED AREA RETURN TO BACKGROUND LEVELS OUTSIDE THE CURTAINS.
 5. WATERS TURBIDITY LEVELS SHALL BE MONITORED IF A TURBIDITY PLUME IS OBSERVED OUTSIDE THE LIMITS OF THE TURBIDITY CURTAINS. MONITORING STATIONS SHALL BE LOCATED AT THE MOUTH OF THE MARINA AND MONITORING STATIONS LOCATED AS FOLLOWS:
 - a. APPROXIMATELY 100 FEET UP-CURRENT OF THE WORK SITES AND CLEARLY OUTSIDE THE INFLUENCE OF CONSTRUCTION ACTIVITIES. (THIS SHALL SERVE AS THE NATURAL BACKGROUND SAMPLE AGAINST WHICH OTHER

TURBIDITY READINGS SHALL BE COMPARED.)

- b. DIRECTLY OUTSIDE THE TURBIDITY CURTAINS SURROUNDING THE WORK SITES AND WITHIN THE DENSEST PORTION OF ANY VISIBLE TURBIDITY PLUME. (THIS SAMPLE SHALL SERVE AS THE COMPLIANCE SAMPLE)
5. TURBIDITY LEVELS OUTSIDE THE CONSTRUCTION ARE SHALL NOT EXCEED 29 NTU'S ABOVE BACKGROUND LEVELS. THE FOLLOWING MEASURES SHALL BE TAKEN IMMEDIATELY BY THE PERMITTEE WHENEVER TURBIDITY LEVELS WITHIN WATERS OF THE SITE SURROUNDING THE PROJECT SITE EXCEED 29 NTU'S ABOVE BACKGROUND:
 - a. NOTIFY THE EDEP SOUTHEAST DISTRICT DEPARTMENT AT (861) 681-6600 AT THE TIME THE VIOLATION IS FIRST DETECTED.
 - b. IMMEDIATELY CEASE ALL WORK CONTRIBUTING TO THE WATER QUALITY VIOLATION.
 - c. STABILIZE ALL EXPOSED SOILS CONTRIBUTING TO THE VIOLATION. MODIFY THE WORK PROCEDURES THAT WERE RESPONSIBLE FOR THE VIOLATION, INSTALL MORE TURBIDITY CONTAINMENT DEVICES, AND REPAIR ANY NON-FUNCTIONAL TURBIDITY CONTAINMENT DEVICES.
 - d. AS REQUIRED, PERFORM TURBIDITY MONITORING PER SPECIFIC CONDITIONS.
 - e. RESUME CONSTRUCTION ACTIVITIES ONCE TURBIDITY LEVELS OUTSIDE TURBIDITY CURTAINS FALL BELOW 29 NTU'S.

LAYOUT AND TESTING

1. ALL CONSTRUCTION STAKEOUT SHALL BE PERFORMED BY AND PAID FOR BY THE CONTRACTOR.
2. ALL TESTING AND INSPECTION FOR CONCRETE MATERIALS, PREVIOUSLY SCHEDULED BY THE CONTRACTOR, SHALL BE IN ACCORDANCE WITH THE PERMITS, AND SHALL BE PERFORMED BY AN INDEPENDENT TESTING LABORATORY RETAINED BY THE OWNER.
3. CONTRACTOR SHALL PROVIDE THE ENGINEER WITH A SET OF SIGNED & SEALED AS-BUILT DRAWINGS IN SUFFICIENT DETAILS TO ILLUSTRATE THE HORIZONTAL AND VERTICAL COMPONENTS OF ABOVE AND BELOW GROUND STRUCTURES AND WALLS RELATIVE TO THE CONSTRUCTION BASELINE.

CONCRETE NOTES

1. ALL CONCRETE MATERIALS AND CONSTRUCTION WILL BE IN ACCORDANCE WITH FOOT SPECIFICATION 346, 400, AND 415 EXCEPT AS NOTED.
2. PROVIDE CHAMBERS ON ALL EXPOSED EDGES AND CORNERS EXCEPT AS OTHERWISE NOTED.
3. CONSTRUCTION JOINTS WILL BE PERMITTED ONLY AT THE LOCATIONS INDICATED ON THE PLANS. ADDITIONAL CONSTRUCTION JOINTS OR ALTERATIONS TO THOSE SHOWN WILL REQUIRE APPROVAL BY THE ENGINEER OF RECORD.
4. MINIMUM CONCRETE COVER WILL BE 4" TO OUTSIDE OF REINFORCING BAR UNLESS OTHERWISE NOTED.
5. ALL CAST-IN-PLACE CONCRETE TO BE A MINIMUM OF 5,500 PSI COMPRESSIVE STRENGTH AT 28 DAYS.
6. PROVIDE AN FOOT-APPROVED MIX DESIGN FOR A CLASS IV CONCRETE FOR AN EXTREMELY AGGRESSIVE (MARINE) ENVIRONMENT. THE MAXIMUM W/C RATIO SHALL BE 0.46 OR SLAG TO THE CEMENT CONTENT TO INCREASE IMPERMEABILITY OF CONCRETE. W/C RATIO WILL BE 0.40 MAX.
7. ALL CURE PLACED CONCRETE WILL BE IN ACCORDANCE WITH FOOT SPECIFICATION 400-16.1.
8. PROVIDE ADHESIVE BONDED DOWELS IN ACCORDANCE WITH FOOT SECTION 416, AS REQUIRED.
9. THE SURFACE OF EXISTING HARDENED CONCRETE WILL BE INTENTIONALLY ROUGHENED BEFORE PLACING THE NEW CONCRETE.
10. ALL TESTING AND INSPECTION FOR CONCRETE MATERIALS, PREVIOUSLY SCHEDULED BY THE CONTRACTOR, SHALL BE IN ACCORDANCE WITH THE PERMITS, AND SHALL BE PERFORMED BY AN INDEPENDENT TESTING LABORATORY RETAINED BY THE OWNER.

PRESTRESSED CONCRETE PILING

1. CONTRACTOR WILL RETAIN SPECIALTY REGISTERED ENGINEER TO DESIGN PRE-STRESSED PILING.
2. PROVIDE AND INSTALL CONCRETE PILING IN ACCORDANCE WITH FOOT SPECIFICATION 455.
3. PILES WILL BE MANUFACTURED BY AN FOOT-APPROVED FACILITY.
4. CONCRETE WILL BE FOOT CLASS V (SPECIAL) FOR AN EXTREMELY AGGRESSIVE (MARINE) ENVIRONMENT. PROVIDE SUFFICIENT FLY ASH, MICRO SILICA OR SLAG TO THE CEMENT CONTENT TO INCREASE IMPERMEABILITY OF CONCRETE.
5. CONCRETE WILL HAVE A MINIMUM OF 6,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS.
6. PILES TO BE DRIVEN TO ACHIEVE THE ALLOWABLE CAPACITY DETERMINED BY THE FLOATING DOCK MANUFACTURER.
7. PILE DRIVING WILL BE INSPECTED BY AN INDEPENDENT THIRD PARTY GEOTECHNICAL ENGINEER APPROVED BY THE OWNER.

8. ALL TESTING AND INSPECTIONS FOR PRE-STRESSED CONCRETE PILES, PREVIOUSLY SCHEDULED BY THE CONTRACTOR, SHALL BE IN ACCORDANCE WITH FOOT SPECIFICATIONS, AND SHALL BE PERFORMED BY AN INDEPENDENT THIRD PARTY TESTING LABORATORY RETAINED BY THE OWNER.

CONCRETE FLOATING DOCK NOTES

1. CONCRETE & REINFORCEMENT STEEL FOR FLOATING DOCKS TO BE AS SPECIFIED IN GENERAL NOTES.
2. WALKER SYSTEM SHALL BE FRP.
3. WALKER SHALL BE ATTACHED TO CONCRETE USING FRP RODS WITH NYLON NUTS.
4. CONCRETE FLOATING DOCKS SHALL BE MARINETEX OR APPROVED EQUAL.
5. THE REQUIRED DESIGN CAPACITY OF GUIDE PILES TO BE SUBMITTED TO THE E.R. TIP ELEVATION OF GUIDE PILES WILL BE SPECIFIED ACCORDINGLY.
6. GUIDE PILES TO BE 14" SQUARE FOOT PRESTRESSED PRECAST CONCRETE PILES INSTALLED ON THE INNER SIDE OF THE FLOATING DOCKS (INTERNAL GUIDE PILES).

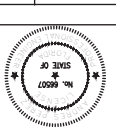
REINFORCING STEEL:

1. ALL CONCRETE BEAMS, SLABS, PILE CAPS AND CLOSURE POURS TO USE ASTM A767 GRADE 60 STEEL REBAR, UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS PERTAINING TO LOCATION OF REINFORCING ARE TO CENTER LINE OF BARS EXCEPT WHERE THE CLEAR DIMENSION IS SHOWN TO FACE OF CONCRETE.
3. NO METAL CHAIRS OR OTHER METAL OBJECTS SHALL BE USED TO SUPPORT REINFORCING CAGES. PLASTIC CHAIRS OR MASONRY BLOCKS ARE ACCEPTABLE.
4. MINIMUM CONCRETE COVER SHALL BE 4" TO THE OUTSIDE OF REINFORCING BARS.
5. PLASTIC ZIP-TIES MAY BE SUBSTITUTED FOR WIRE TIES.
6. EPOXY FOR ANCHORING REINFORCEMENT DOWELS SHALL BE HLTI HIT-HY 150 OR APPROVED EQUAL.

STEEL SHEET PILING NOTES

1. STEEL SHEET PILING WILL BE SZC-20 OR APPROVED EQUAL, AND WILL BE ASTM A572, GRADE 50.
2. SHEET PILING WILL BE COATED WITH THEME TAR (48H-413) COAL TAR EPOXY; TOP 15' BOTH SIDES.
3. COATING WILL BE 16 MILS DRY FILM THICKNESS, AND APPLIED IN STRICT ACCORDANCE WITH MANUFACTURER INSTRUCTIONS.
4. SHEET PILE LENGTH WERE DETERMINED BASED ON AVERAGE SOIL CONDITIONS ARE TO BE USED FOR BIDDING PURPOSES ONLY. CONTRACTOR TO COORDINATE AND PERFORM GEOTECHNICAL INVESTIGATIONS TO ESTABLISH FINAL TIP ELEVATION.
5. DRIVE SHEET PILING IN ACCORDANCE WITH FOOT 455-9.
6. ALL TESTING AND INSPECTIONS FOR PILE DRIVING WILL BE IN ACCORDANCE WITH FOOT SPECIFICATIONS, AND WILL BE PERFORMED BY AN INDEPENDENT THIRD PARTY TESTING LABORATORY APPROVED BY THE OWNER.
7. PILE DRIVING WILL BE INSPECTED BY AN INDEPENDENT THIRD PARTY GEOTECHNICAL ENGINEER APPROVED BY THE OWNER.
8. VIBRATIONS AND SETTLEMENT DURING PILE DRIVING IN ACCORDANCE WITH FOOT SPECIFICATION 455-1.1.

REVISIONS	NO.	DESCRIPTION



GENERAL NOTES
HAULOVER PARK
MIAMI, FLORIDA

PROJECT NO:	60002746
CDL DWG. TELEPHONE AT-CD-0404	
DESIGNED BY:	AP
DRAWN BY:	EP
DEPT. CHECK:	
PROJ. CHECK:	
DATE:	DEC 2020
SCALE:	AS NOTED

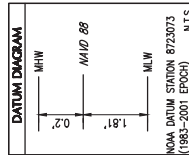
G-3

INSTALLATION OF GEOTEXTILE AND RIPRAP:

1. INSTALL GEOTEXTILE AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
2. CONSULTANT SHALL STATE LIMITS OF SEPARASS, IF APPLICABLE, PRIOR TO PLACEMENT OF RIPRAP IN ACCORDANCE WITH ENVIRONMENTAL PERMIT CONDITIONS.
3. PLACE GEOTEXTILE ON A SMOOTH GRADED SURFACE APPROVED BY THE OWNER. PLACE GEOTEXTILE IN IMMEDIATE CONTACT WITH THE PREPARED SLOPE SUCH THAT THERE ARE NO VOIDS AND IN SUCH A MANNER THAT IT WILL NOT BE EXCESSIVELY STRETCHED OR TORN UPON PLACEMENT OF OVERLYING MATERIALS.
4. ANCHOR THE GEOTEXTILE USING ANCHOR PINS RECOMMENDED BY THE MANUFACTURER.
5. JOIN GEOTEXTILE SHEETS BY OVERLAPPING A MINIMUM OF 3 FEET.
6. PLACE EACH TYPE OF RIPRAP IN THE LOCATIONS AND TO THE ELEVATIONS, THICKNESS, AND DETAILS INDICATED ON THE DRAWINGS AND AS DIRECTED BY THE OWNER. USE METHODS TO ENSURE THAT THE FINER ONE-THIRD OF THE GRADATION IS EVENLY DISTRIBUTED THROUGHOUT THE LAYER AND OVER THE SURFACE BEING COVERED.
7. BEGIN PLACEMENT OF RIPRAP AT THE TOE OF THE SLOPE AND CONTINUE PLACEMENT WORKING UP THE SLOPE. PLACE THE ROCK IN SUCH A MANNER AS TO CREATE FIRM BEDDING AND INTERLOCKING OF INDIVIDUAL PIECES TO PREVENT SLIDING. REMOVE ALL WEEDS AND BRUSH FROM THE SURFACE TO BE COVERED. WELL-SORTED, AND UNIFORM, IN SIZE AND SHAPE, STONES SHOULD BE USED. STONES SHOULD BE PROPERLY SPREAD TO OBTAIN SATISFACTION OF THE OWNER. REMOVE AND REPLACE THE PORTION OF ANY LAYER IN WHICH MATERIAL BECOMES SEGREGATED DURING SPREADING.
8. DO NOT DROP THE ROCK WHEN PLACING OVER GEOTEXTILE.

SUBMITTALS

1. CONTRACTOR TO SUBMIT MATERIAL CUT SHEETS, SHOP DRAWINGS OR SPECIFICATIONS OF THE FOLLOWING ITEMS FOR ENGINEER'S APPROVAL, PRIOR TO PROCUREMENT OR INSTALLATION:
 - A. SCHEDULE FOR COMPLETION OF WORK
 - B. RAMP DURATIONS DEFINED
 - C. RAMP COMPONENTS
 - D. CONCRETE MIX DESIGN FOR CAST IN
 - E. CONCRETE MIX FOR DESIGN FOR PRECAST
 - F. CURING COMPOUND
 - G. REINFORCING STEEL
 - H. PILE DRIVING MEANS AND METHODS
 - I. ANCHOR PINS AND WORK
 - J. REBAR SUPPORT CHAIRS
 - K. TIES
 - L. CONCRETE FLOATING DOCKS
 - M. ALUMINUM GANGWAYS
 - N. STEEL BRACKET PLATE
 - P. BIVALVA GEOROD



NOA DATUM STATION 8722073
(1983-2001 EPOCH)
N.T.S.

SECTION DETAIL LABEL



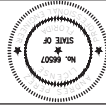
LETTER INDICATES SECTION
NUMBER INDICATES DETAIL

SHEET NUMBER WHERE
DETAIL OR SECTION
IS DRAWN

ABBREVIATIONS

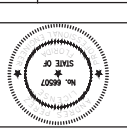
- | | | | |
|-----------------|----------------------------|--------------|-------------------------------|
| ALUM. _____ | ALUMINUM | HKS. _____ | HOOKS |
| APPROX. _____ | APPROXIMATE | I.I. _____ | ISOLATION JOINT |
| C/P _____ | COMPLETE JOINT PENETRATION | M.A. _____ | MIDDLE |
| C.J. _____ | CONTROL JOINT | MIN. _____ | MINIMUM |
| CLR. _____ | CLEAR | MHW _____ | MEAN HIGH WATER |
| CONC. _____ | CONCRETE | M/LW _____ | MEAN LOW WATER |
| CONT. _____ | CONTINUOUS | NAVD _____ | NAT'L AMERICAN VERTICAL DATUM |
| CTD _____ | CENTERED | NGVD _____ | NAT'L GEODETIC VERTICAL DATUM |
| DA. _____ | DIAMETER | O.C. _____ | ON CENTER |
| EA. _____ | EACH | P.E. _____ | PROFESSIONAL ENGINEER |
| E.F. _____ | EACH FACE | PSF _____ | POUNDS PER SQUARE FOOT |
| E.J. _____ | EXPANSION JOINT | PSI _____ | POUNDS PER SQUARE INCH |
| EOR _____ | ENGINEER OF RECORD | SS _____ | STAINLESS STEEL |
| ELEV. _____ | ELEVATION | T _____ | TOP |
| EW _____ | EACH WAY | T&B _____ | TOP & BOTTOM |
| EXST./EX. _____ | EXISTING | TYP. _____ | TYPICAL |
| GALV. _____ | GALVANIZED | U.N.O. _____ | UNLESS NOTED OTHERWISE |
| HDC. _____ | HOT DIPPED GALVANIZED | VERT. _____ | VERTICAL |

HAULOVER PARK
MIAMI FLORIDA
GENERAL NOTES



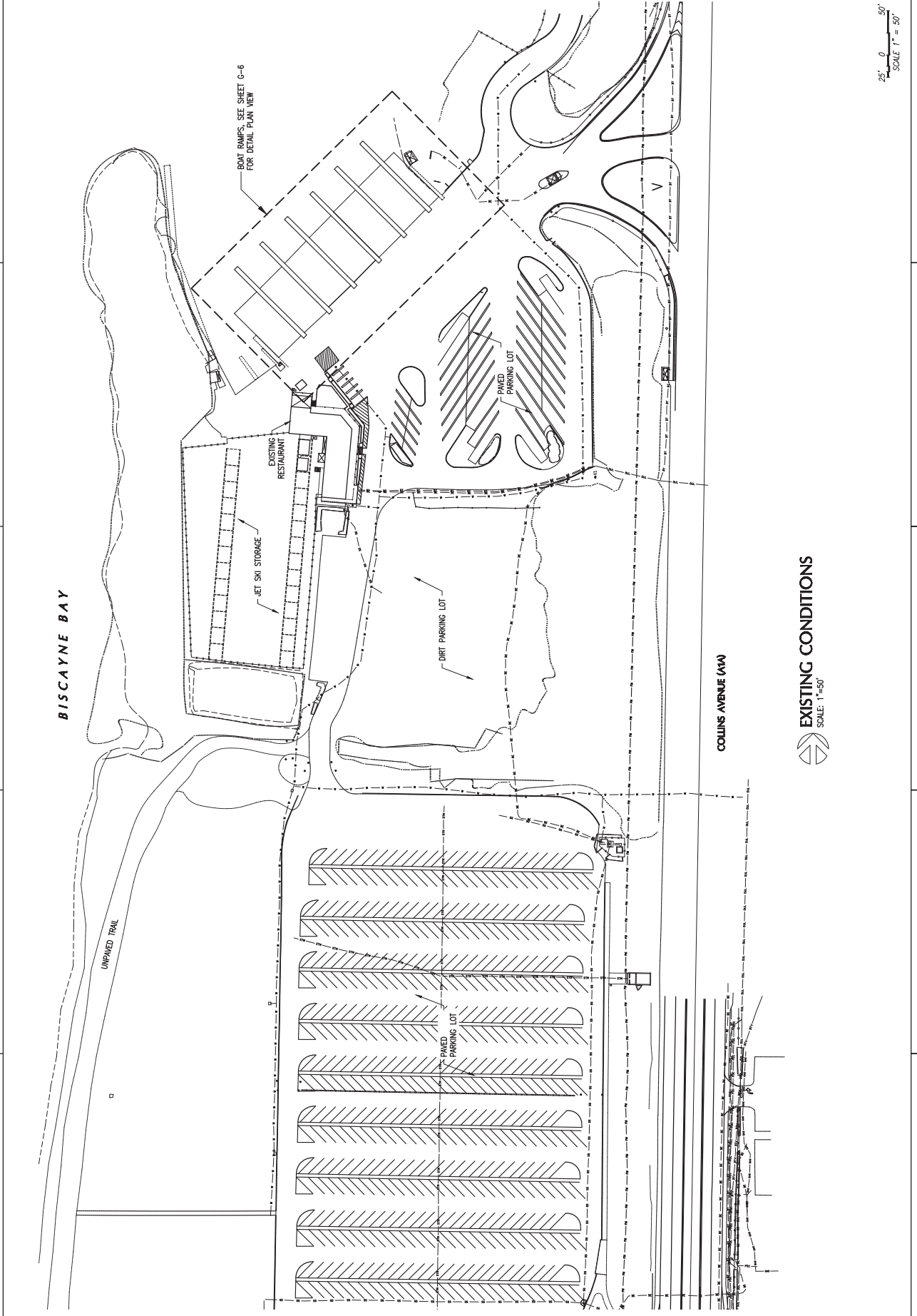
REVISIONS	DATE	BY	DESCRIPTION

REVISIONS	DESCRIPTION	DATE	MADE BY	CHECKED



EXISTING SITE CONDITIONS
 HAULOVER PARK
 MIAMI, FLORIDA

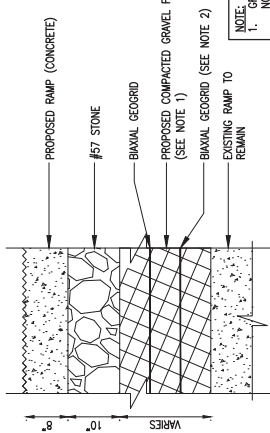
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PROJ. CHECK:	
DATE:	DEC 2010
SCALE:	AS NOTED



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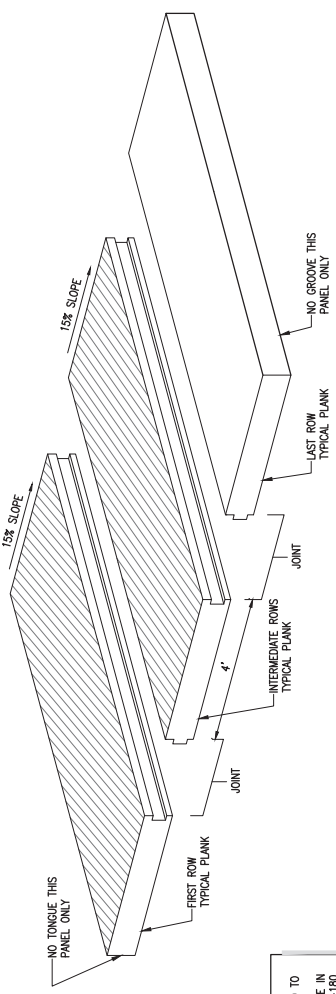
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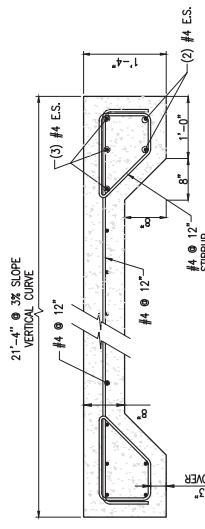


1 FILL DETAIL
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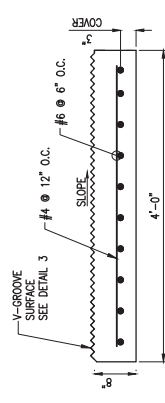
NOTE:
1. GRAVEL SHALL BE COMPACTED TO NO LESS THAN 95% MAXIMUM DENSITY AT OPTIMUM MOISTURE IN DESIGN. ALL GRANULAR MATERIALS SHALL BE COMPACTED TO 95% MAXIMUM DENSITY. SEE GEOTECHNICAL REPORT FOR SPECIFICATIONS OF TWO LAYERS OF BAXIAL GEOGRID.



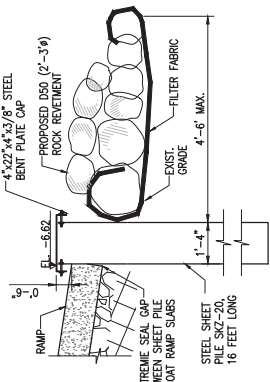
5 BOAT RAMP PRECAST CONCRETE PANEL ISOMETRIC VIEW, TYP.
SCALE: N.T.S.



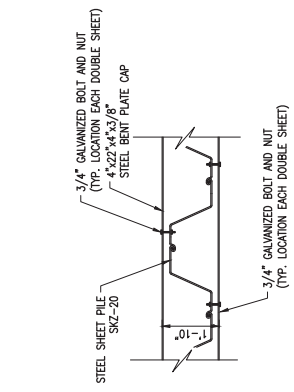
2 BOAT RAMP CAST IN PLACE CONC. SECTION, TYP.
SCALE: 1"=1'



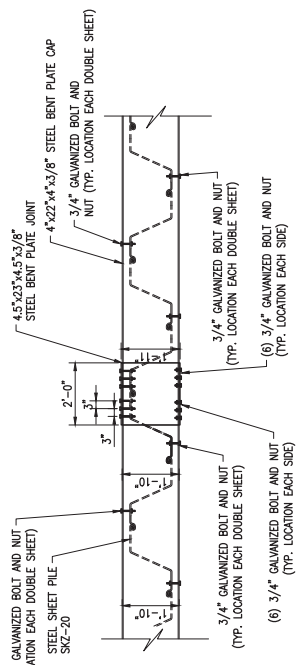
3 BOAT RAMP PRECAST PANEL SECTION, TYP.
SCALE: N.T.S.



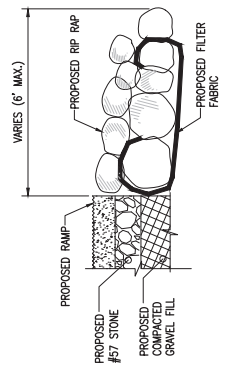
6 TOE OF RAMP DETAIL
SCALE: 1"=2'



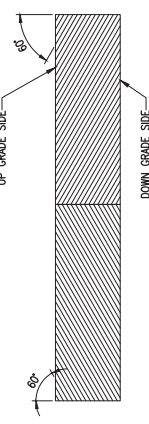
7 STEEL SHEET PILE WALL PARTIAL PLAN, TYP.
SCALE: 1"=2'



8 STEEL BENT PLATE CAP DETAIL, TYP.
SCALE: 1"=2'

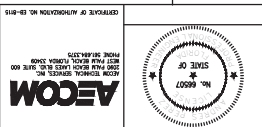


D RIP RAP ON SIDES OF RAMPS
SCALE: N.T.S.



4 V-GROOVE FINISH ON BOAT RAMP PLANKS
SCALE: N.T.S.

REVISIONS	DATE	BY	DESCRIPTION



HAULOVER PARK
MIAMI, FLORIDA
PROPOSED RAMP DETAILS

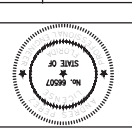
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DATE:	DEC 2020
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DATE:	DEC 2020
SCALE:	AS NOTED

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 AECOM
 10000 W. BOULEVARD
 SUITE 1000
 MIAMI, FLORIDA 33155
 TEL: 305.440.0000
 FAX: 305.440.0001
 WWW.AECOM.COM

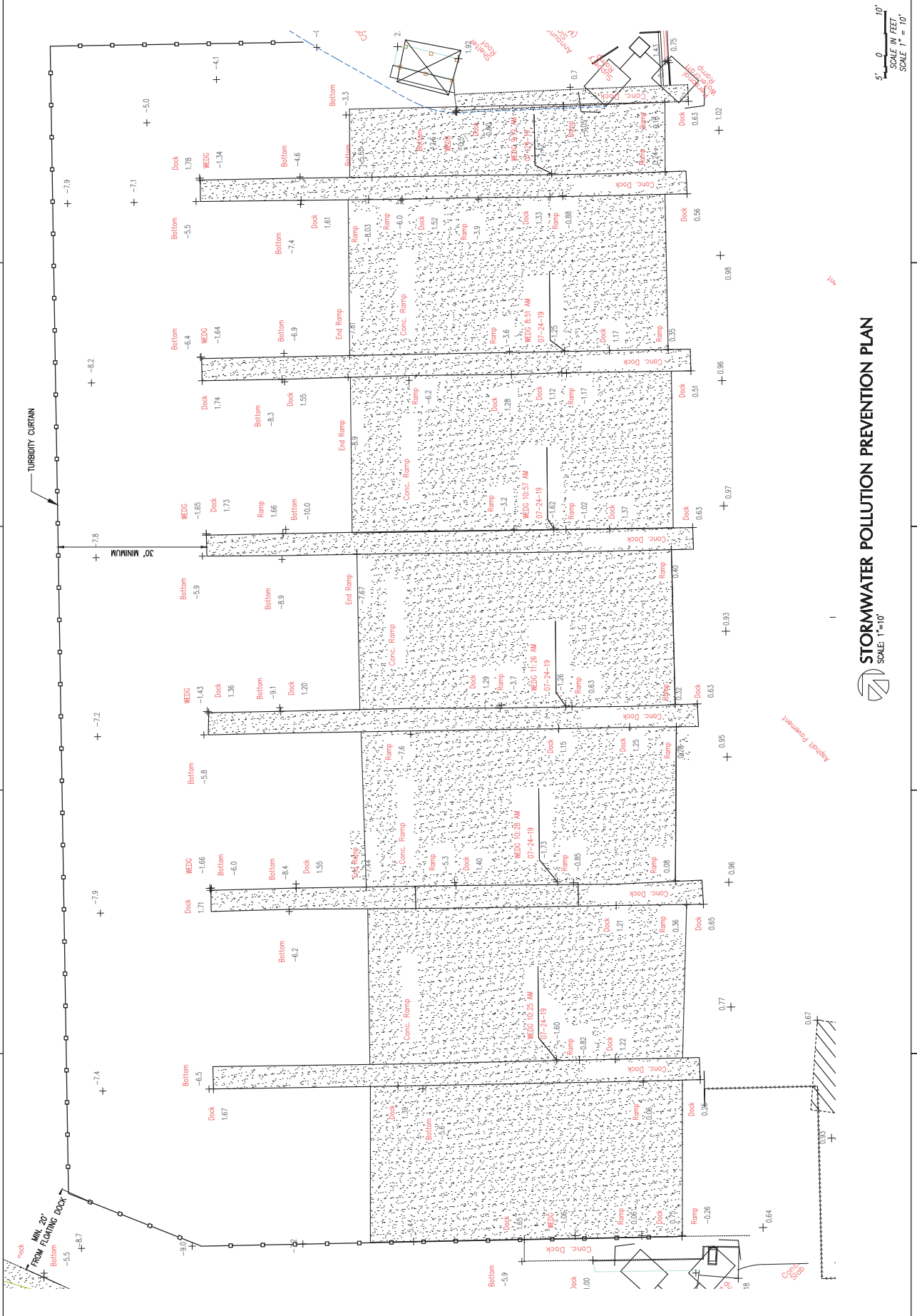
GENERAL OF ALPHONSO NO. 19-B-15
 STATE OF FLORIDA
 DEPARTMENT OF TRANSPORTATION
 DIVISION OF HIGHWAYS
 MIAMI DISTRICT



HAULOVER PARK
 MIAMI, FLORIDA
 STORMWATER POLLUTION PREVENTION PLAN

PROJECT NO:	60005746
CAD LINK FILE/NUMBER/DATE:	00-54.mxd
DESIGNED BY:	AP
DRAWN BY:	EP
DEPT. CHECK:	
PROJ. CHECK:	
DATE:	DEC 2010
SCALE:	AS NOTED
SHEET:	S-6

13 12 11 10 9 8 7 6 5 4 3 2 1
 SCALE IN FEET
 SCALE 1" = 10'
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REVISIONS	NO.	DATE	BY	DESCRIPTION



 AECOM CONSULTING GROUP, INC.

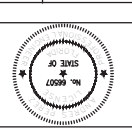
 1000 PINE JUNCTION ROAD, SUITE 1000

 MIAMI, FLORIDA 33155

 TEL: 305.460.2000

 FAX: 305.460.2001

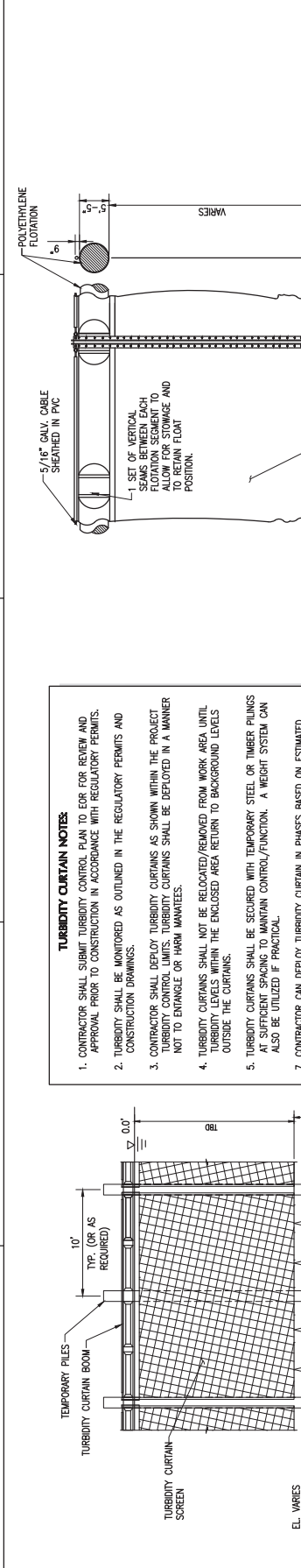
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HAULOVER PARK
 MIAMI, FLORIDA
 STORMWATER POLLUTION PREVENTION PLAN DETAILS

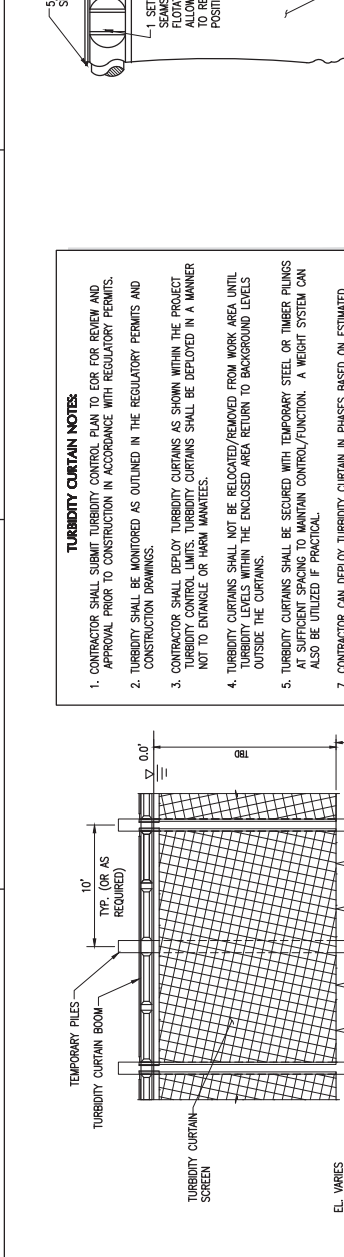
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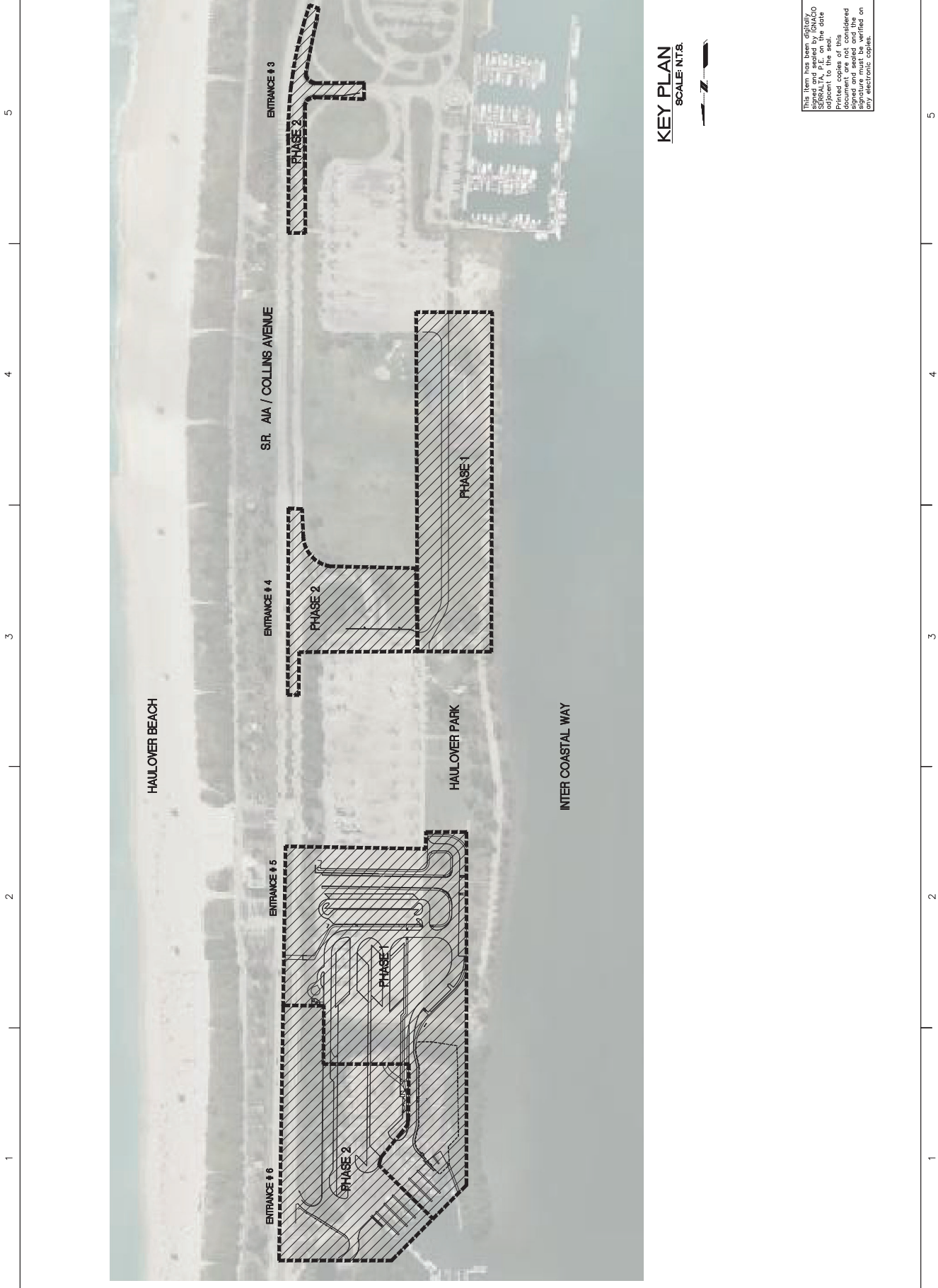
- TURBIDITY CURTAIN NOTES:**
1. CONTRACTOR SHALL SUBMIT TURBIDITY CONTROL PLAN TO EOR FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION IN ACCORDANCE WITH REGULATORY PERMITS. CONSTRUCTION DRAWINGS.
 2. TURBIDITY SHALL BE MONITORED AS OUTLINED IN THE REGULATORY PERMITS AND CONSTRUCTION DRAWINGS.
 3. CONTRACTOR SHALL DEPLOY TURBIDITY CURTAINS AS SHOWN WITHIN THE PROJECT TURBIDITY CONTROL LIMITS. TURBIDITY CURTAINS SHALL BE DEPLOYED IN A MANNER NOT TO ENTANGLE OR HARM MANATEES.
 4. TURBIDITY CURTAINS SHALL NOT BE RELOCATED/REMOVED FROM WORK AREA UNTIL TURBIDITY LEVELS WITHIN THE ENCLOSED AREA RETURN TO BACKGROUND LEVELS OUTSIDE THE CURTAINS.
 5. TURBIDITY CURTAINS SHALL BE SECURED WITH TEMPORARY STEEL OR TIMBER PILING AT SUFFICIENT SPACING TO MAINTAIN CONTROL/FUNCTION. A WEIGHT SYSTEM CAN ALSO BE UTILIZED IF PRACTICAL.
 7. CONTRACTOR CAN DEPLOY TURBIDITY CURTAIN IN PHASES BASED ON ESTIMATED PRODUCTION SCHEDULES.
 8. TURBIDITY CURTAINS SHALL BE OF SUFFICIENT LENGTH TO CONTROL TURBIDITY.

1 TYPICAL CURTAIN ELEVATION
 SCALE: N.T.S.



- TURBIDITY CURTAIN DETAIL**
- 2** SCALE: N.T.S.

2 TURBIDITY CURTAIN DETAIL
 SCALE: N.T.S.



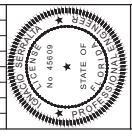
KEY PLAN
SCALE: 1"=200'

This item has been digitally signed and applied by: JH/MCO
The signature date is: 06/01/2020
Printed copies of this document are not considered valid for legal purposes. The signature must be verified on any electronic copies.

PROJECT NO: 222302-17-005
CADD FILE:
DESIGNED BY: A.F.
DRAWN BY: Y.A.
DEPT CHECK: J.C.
PROJ CHECK:
DATE: JUNE 2020
SCALE: AS NOTED

C-2
17 OF 70

REVISIONS	DESCRIPTION	DATE	BY	CHECKED

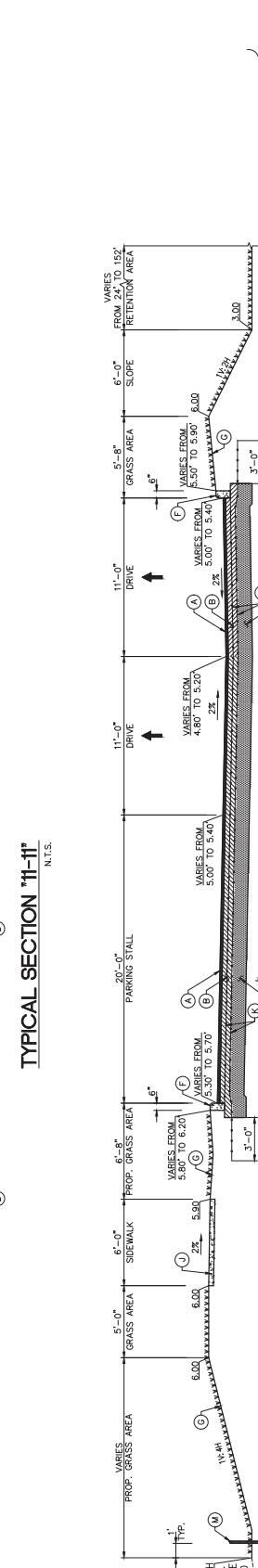
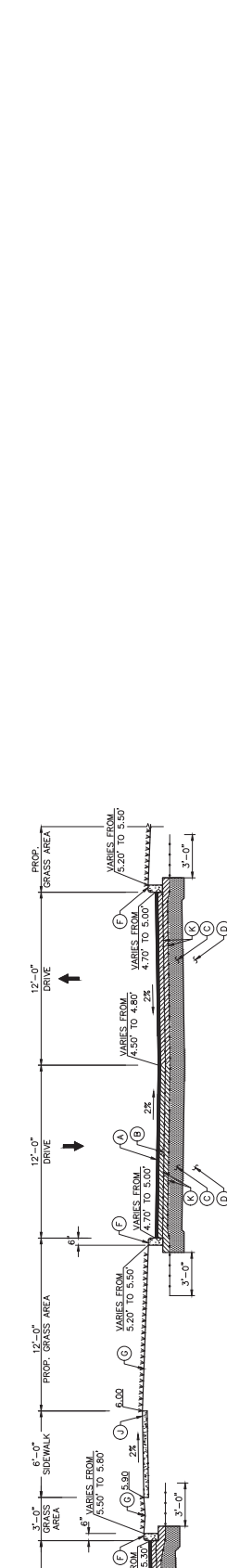
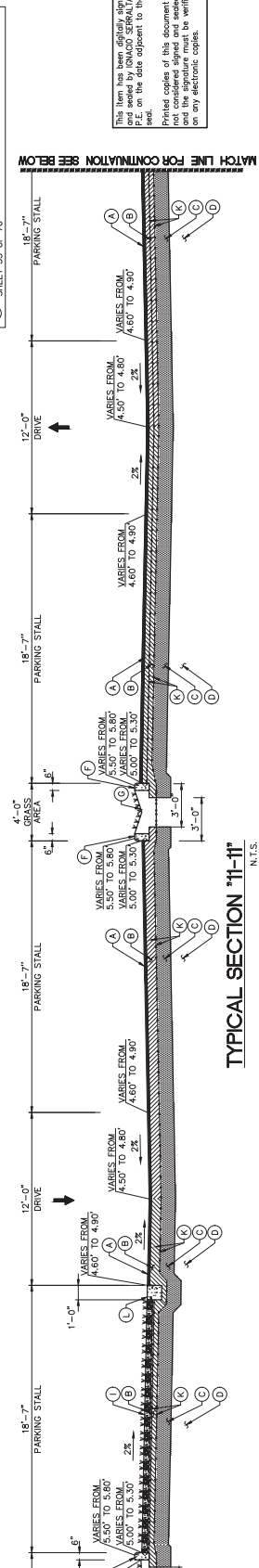
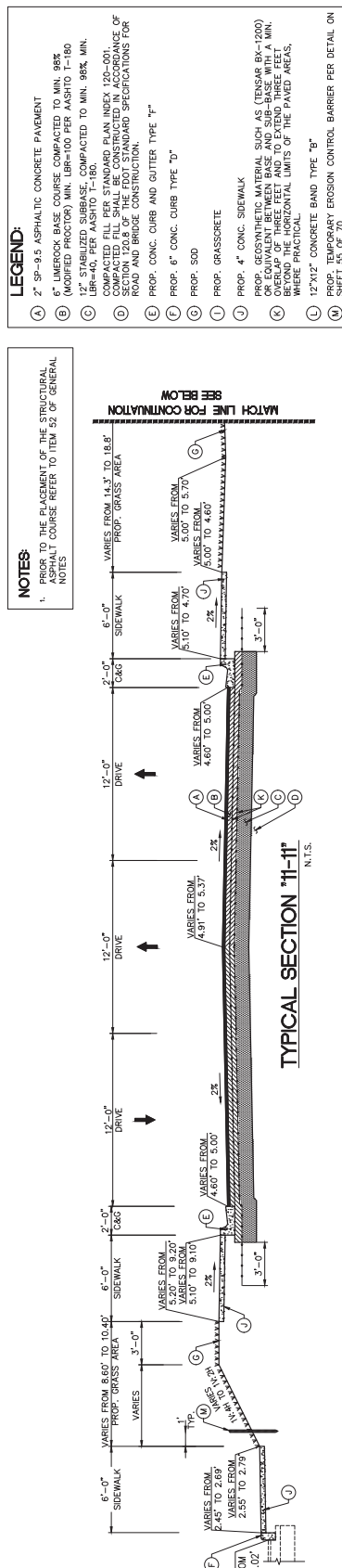


AECOM
CORPORATE OFFICE: 100 EAST WASHINGTON AVENUE, SUITE 2000, MIAMI, FL 33131
TEL: 305.460.8000 FAX: 305.460.8080
WWW.AECOM.COM

URS
CORPORATE OFFICE: 100 EAST WASHINGTON AVENUE, SUITE 2000, MIAMI, FL 33131
TEL: 305.460.8000 FAX: 305.460.8080
WWW.URS.COM

CIVIL

1 2 3 4 5



NOTES:
1. PRIOR TO THE PLACEMENT OF THE STRUCTURAL ASPHALT COURSE REFER TO ITEM 52 OF GENERAL NOTES.

LEGEND:
A 2" 5P-9.5 ASPHALTIC CONCRETE PAVEMENT
B 6" LIMEROCK BASE COURSE COMPACTED TO MIN. 98% (MODIFIED PROCTOR) MIN. LBR=100 PER AASHTO T-180
C STABILIZED SUBGRADE, COMPACTED TO MIN. 98% MIN. LBR=100 PER AASHTO T-180
D COMPACTED FILL PER STANDARD PLAN INDEX 120-001.
E PROP. CONC. CURB AND GUTTER TYPE "F"
F PROP. 6" CONC. CURB TYPE "D"
G PROP. 500
H PROP. GRASSCRETE
I PROP. 4" CONC. SIDEWALK
J PROP. GEOTEXTILE MATERIAL SUCH AS (TENSAR GRS-1000) OR EQUIVALENT BETWEEN BASE AND SUB-BASE WITH A MIN. OVERLAP OF THREE FEET AND TO EXTEND THREE FEET WHERE PRACTICAL.
K 12"x12" CONCRETE BAND TYPE "B"
L PROP. TEMPORARY EROSION CONTROL BARRIER PER DETAIL ON SHEET 55 OF 70.
M

MATCH LINE FOR CONTINUATION SEE BELOW

MATCH LINE FOR CONTINUATION SEE ABOVE

ENTIRE PAGE

HAULOVER PARK
MIAMI FLORIDA
TYPICAL
CROSS-SECTIONS
(PHASE 1)

PROJECT NO: 22282-17-005
DATE: JUNE 2020
SCALE: AS NOTED

C-18
33 OF 70

DATE: JUNE 2020
SCALE: AS NOTED

DESIGNED BY: A.F.
DRAWN BY: Y.A.
CHECKED BY: J.C.
PROJECT: HAULOVER PARK
DATE: JUNE 2020

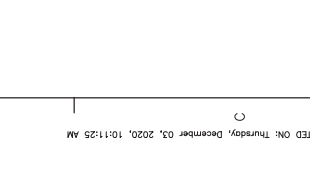
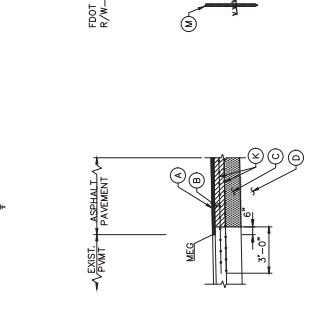
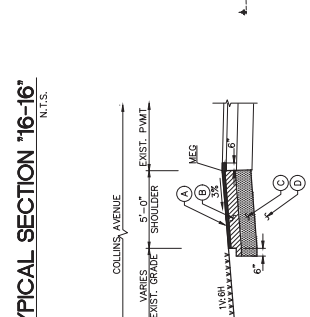
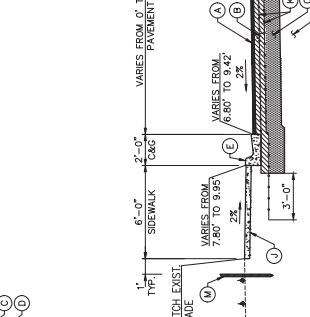
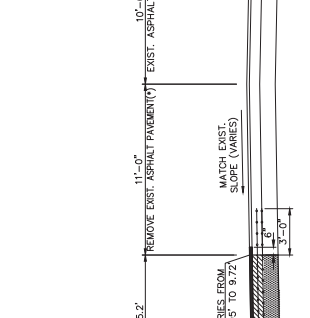
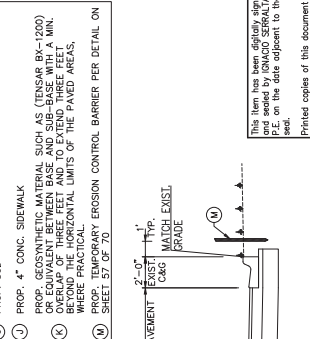
STATE OF FLORIDA
DEPARTMENT OF TRANSPORTATION
CONTRACT NO. 12-10-159 AM
DATE: 03/20/2020

CONSULTING ENGINEER: 88-0002317
SRS
REGISTERED PROFESSIONAL ENGINEER
NO. 12450
FLORIDA
100 S.W. 4TH AVENUE, SUITE 201
MIAMI, FLORIDA 33134
TEL: 305.375.8800 FAX: 305.375.8858
WWW.SRSINC.COM

1 2 3 4 5

NOTES:
 (1) REMOVE EXISTING ASPHALT AS INDICATED
 INSTALL 2" SP-9.5 ASPHALTIC CONCRETE PAVEMENT AT THE SAME
 SLOPE AND RESURFACING TO THE CENTER LINE OF THE
 ROADWAY.

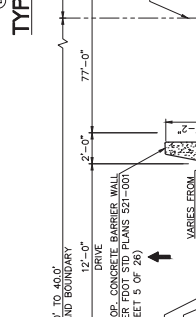
LEGEND:
 (A) 2" SP-9.5 ASPHALTIC CONCRETE PAVEMENT
 (B) 6" LIMEROCK BASE COURSE COMPACTED TO MIN. 98%
 (MODIFIED PROCTOR) MIN. LER=100 PER AASHTO T-180
 (C) 12" STABILIZED SUBBASE, COMPACTED TO MIN. 98% MIN.
 LER=40, PER AASHTO T-180.
 (D) COMPACTED FILL PER STANDARD PLAN INDEX 120-001,
 SECTION 120.8 OF THE FOOT STANDARD SPECIFICATIONS FOR
 ROAD AND BRIDGE CONSTRUCTION.
 (E) PROP. CONC. CURB AND OUTER TYPE "1"
 (F) PROP. 6" CONC. CURB TYPE "D"
 (G) PROP. 50D
 (H) PROP. 4" CONC. SIDEWALK
 (I) PROP. GEOSYNTHETIC MATERIAL SUCH AS (TENSAR BX-1200)
 OR EQUIVALENT BETWEEN BASE AND SUB-BASE WITH A MIN.
 DRAINAGE CAPABILITY AND TO EXTEND THREE FEET
 BEYOND THE HORIZONTAL LIMITS OF THE PAVED AREA,
 WHERE PRACTICAL.
 (J) PROP. TEMPORARY EROSION CONTROL BARRIER PER DETAIL ON
 SHEET 57 OF 70



This item has been digitally signed
 and certified by the State of Florida
 on the date adjacent to the
 seal.
 Printed copies of this document are
 not considered signed and sealed
 unless they are accompanied by the original
 on any electronic copies.

REVISIONS

NO.	DATE	BY	DESCRIPTION
1	11/9/20	P.W.	
2	10/21/20	D.E.M.	



CIVIL
 PROJECT NO. 222302-17-005
 QAD DWG FILE
 DESIGNED BY: A.F.
 DRAWN BY: Y.A.
 DEPT CHECK: J.C.
 PROJ CHECK:
 DATE: JUNE 2020
 SCALE: AS NOTED

C-21
 OF 70

Attachment C
DERM Project Report

CLASS I PERMIT APPLICATION NO. CLI-2020-0149

Class I Permit Application by Miami-Dade County, through its Parks, Recreation and Open Spaces for the Filling of Tidal Waters in Association with the Redevelopment of an Existing Boat Ramp, the Filling of Wetlands Supporting Halophytic Vegetation in Association with Improvements to a Parking Lot and the Installation of Finger Piers, a Footer, and Riprap within Haulover Park located at 10800 Collins Avenue, in Unincorporated Miami-Dade County, Florida.

DATE: June 9, 2021

Staff's recommendation of approval for the above-referenced permit application is based on the applicable evaluation factors under Section 24-48.3 of the Code of Miami-Dade County, Florida (Code). The following is a summary of the proposed project and staff's opinion to its conformance with respect to each applicable evaluation factor:

1. **Potential Adverse Environmental Impact** –Pursuant to Section 24-48.4 of the Code, potential adverse environmental impacts and cumulative adverse environmental impacts for a proposed project must be avoided and minimized. Section 24-48.4 of the Code also requires mitigation for permissible projects that otherwise result in unavoidable environmental impacts. In an effort to avoid and minimize impacts to benthic resources, the majority of the proposed ramp and piers would be installed within the footprint of the existing ramp and piers. Furthermore, no federally or State-designated threatened or endangered species of seagrasses or corals were documented within the footprint of the proposed ramp work and the submerged bottom does not provide significant habitat.

The majority of the expanded parking lot would be within the same footprint as the existing or within an unpaved area currently used for overflow parking that does not contain wetlands. In the areas where impacts to wetlands could not be avoided the footprint of the expanded parking lot has been designed to only result in the filling of two isolated pockets of wetlands adjacent to the existing parking areas that are not connected to the larger wetland system. In order to ensure that the remaining adjacent wetlands would not be impacted by the parking lot improvements or the use of the parking lot, the County proposes to install a concrete retaining wall between the parking area and the larger wetland system. No temporary impacts to wetlands are expected as a result of the proposed work.

Furthermore, the proposed work is not reasonably expected to result in cumulative environmental impacts to water quality. Currently, the existing unpaved overflow parking area does not contain any erosion controls or drainage features to prevent runoff in to the adjacent surface waters. The direct runoff associated with both the paved and unpaved parking areas would be eliminated through the installation of retaining walls along the edges of the newly constructed parking lot and the construction of a drainage system thereby eliminating direct water runoff. While the construction phase of the proposed project may result in temporary water quality impacts, the Class I permit would require that turbidity controls be utilized during all phases of construction to ensure compliance with State and County water quality standards.

Mitigation for unavoidable temporary impacts to water quality associated with the filling of tidal waters would be satisfied through the placement of riprap. Any portion of the required mitigation that cannot be accommodated on-site would be satisfied through a contribution to the Biscayne Bay Environmental Enhancement Trust Fund. To mitigate for otherwise permissible impacts to wetlands associated with the parking lot improvements, the County has proposed the purchase of saltwater mitigation bank credits from the Florida Power and Light Company's Everglades Mitigation Bank (FPL EMB), which would restore, enhance and preserve coastal wetlands in accordance with federal, State and local regulations.

The proposed project has been evaluated for consistency with the Miami-Dade County Manatee Protection Plan. The project is not located within an area designated as essential habitat for the Florida manatee and the Manatee Protection Plan recommends the site be utilized for commercial marinas, dry storage, boat ramps, transitory docks, or boatyards. The proposed boat ramp renovations are consistent with the historic use of the facility and with the marine facility siting recommendations of the Manatee Protection Plan. Furthermore, the Class I permit would require

that all standard construction permit conditions regarding manatee protection be followed during all in-water operations.

2. **Potential Cumulative Adverse Environmental Impact** – The proposed project is not reasonably expected to result in cumulative adverse environmental impacts as set forth in Number 1 above.
3. **Hydrology** - The proposed project is not reasonably expected to adversely affect surface water drainage or retention of stormwater.
4. **Water Quality** – The proposed project may affect surface water quality on a temporary basis during construction operations as set forth in Number 1 above.
5. **Wellfields** – The proposed project is not reasonably expected to adversely affect wellfields.
6. **Water Supply** – The proposed project is not reasonably expected to adversely affect water supply.
7. **Aquifer Recharge** – The proposed project is not reasonably expected to adversely affect aquifer recharge.
8. **Aesthetics** – The proposed project is not reasonably expected to adversely affect aesthetics.
9. **Navigation** – The proposed project is not reasonably expected to adversely affect navigation.
10. **Public Health** - The proposed project is not reasonably expected to adversely affect public health.
11. **Historic Values** - The proposed project is not reasonably expected to adversely affect historic values.
12. **Archaeological Values** - The proposed project is not reasonably expected to adversely affect archaeological values.
13. **Air Quality** – The proposed project is not reasonably expected to adversely affect air quality.
14. **Marine and Wildlife Habitats** – The proposed project is not reasonably expected to adversely affect marine and wildlife habitats as set forth in Number 1 above.
15. **Wetland Soils Suitable for Habitat** –The proposed project involves the filling of wetlands which would be mitigated as set forth in Number 1 above.
16. **Floral Values** – The proposed project involves the filling of wetlands which would be mitigated as set forth in Number 1 above.
17. **Fauna Values** - The proposed project involves the filling of wetlands which would be mitigated as set forth in Number 1 above.
18. **Rare, Threatened and Endangered Species** – The proposed project is not reasonably expected to adversely affect rare, threatened and endangered species.
19. **Natural Flood Damage Protection** - The proposed project is not reasonably expected to adversely affect surface water drainage or retention of stormwater.

20. **Wetland Values** – The project involves the filling of wetland habitat which would be mitigated as set forth in Number 1 above.
21. **Land Use Classification** – Pursuant to Section 24-48.2(II)(B)(7) of the Code of Miami-Dade County, Florida, applications by the County within its own jurisdiction shall not be required to submit a substantiating letter or plan approval from the local zoning authority.
22. **Recreation** - The proposed project does not conflict with the recreation element of the Miami-Dade County Comprehensive Development Master Plan.
23. **Other Environmental Values Affecting the Public Interest** – The proposed project is not reasonably expected to adversely affect other environmental values affecting the public interest. The proposed project would occur on lands owned by the applicant.
24. **Conformance with Standard Construction Procedures and Practices and Design and Performance Standards** – The proposed project complies with the standard construction procedures and practices and design and performance standards of the applicable portions of the Code of Miami-Dade County and the Miami-Dade County Public Works Manual.
25. **Comprehensive Environmental Impact Statement (CEIS)** - In the opinion of the Director, the proposed project is not reasonably expected to result in significant adverse environmental impacts or cumulative adverse environmental impacts. Therefore, a CEIS was not required by DERM to evaluate the project.
26. **Conformance with All Applicable Federal, State and Local Laws and Regulations** - The proposed project is in conformance with applicable State, Federal and local laws and regulations:
 - a) Chapter 24 of the Code of Miami-Dade County
 - b) United States Clean Water Act (US Army Corps of Engineers permit is required and must be obtained prior to performing work)
 - c) Florida Department of Environmental Protection (regulatory permit is required and must be obtained prior to performing work)
27. **Conformance with the Miami-Dade County Comprehensive Development Master Plan (CDMP)**
- In the opinion of the Director, the proposed project is consistent as required by CDMP policy LU-3A, with the goals, objectives and policies contained in the Conservation, Aquifer Recharge and Drainage and Coastal Management Elements of this Plan, and with all applicable environmental regulations, as well as other elements of the CDMP. The following is a summary of the proposed project as it relates to the CDMP:

LAND USE ELEMENT I:

Objective 3/Policies 3A, 3B, 3C - Protection of natural resources and systems. – The proposed project is consistent with all applicable environmental regulations, is compatible with surrounding land uses in Biscayne Bay and does not involve development in the Big Cypress area of Critical State Concern or the East Everglades.

TRANSPORTATION ELEMENT II

Aviation Subelement/Objective AV-5A - Aviation System Expansion - There is no aviation element to the proposed project.

Port of Miami River Subelement/Objective 3 - Minimization of impacts to estuarine water quality and marine resources. The project is not located within the Miami River.

CONSERVATION, AQUIFER RECHARGES AND DRAINAGE ELEMENT IV:

Objective 3/Policies 3A, 3B, 3D - Wellfield protection area protection. - The proposed project is not located within a wellfield protection area.

Objective 3/Policy 3E - Limestone mining within the area bounded by the Florida Turnpike, the Miami-Dade/ Broward Levee, N.W. 12 Street and Okeechobee Road. - The proposed project is not located within this area.

Objective 4/Policies 4A, 4B, 4C - Water storage, aquifer recharge potential and maintenance of natural surface water drainage. - The proposed project is not reasonably expected to adversely affect water storage, aquifer recharge potential or natural surface water drainage.

Objective 5/Policies 5A, 5B, 5F - Flood protection and cut and fill criteria – The proposed project would not compromise flood protection.

Objective 6/Policy 6A - Areas of highest suitability for mineral extraction. - The proposed project is not located in an area proposed or suitable for mineral extraction.

Objective 6/Policy 6B - Guidelines for rock quarries for the re-establishment of native flora and fauna. – The proposed project is not located in a rock quarry.

Objective 7/Policy 7A – Wetland protection and restoration – The proposed parking lot improvements are water dependent because the proposed work is necessary to more efficiently manage the launching and retrieval of vessels at the facility. No reasonable upland alternative exists as the facility is confined by Collins Avenue to the east and higher quality mangrove wetlands and Biscayne Bay to the west. To mitigate for otherwise permissible impacts to wetlands, the Applicant has proposed the purchase of saltwater mitigation bank credits from the Florida Power and Light Company’s Everglades Mitigation Bank (FPL EMB), which would restore, enhance, and preserve coastal wetlands in accordance with federal, State and local regulations.

Objective 7/Policy 7C, 7D, 7J - Wetland protection and restoration. – Not applicable to this project.

Objective 9/Policies 9A, 9B, 9C - Protection of habitat critical to Federal or State-designated threatened or endangered species. – The proposed project is not reasonably expected to adversely affect habitat critical to Federal or State-designated threatened or endangered species.

COASTAL MANAGEMENT ELEMENT VII:

Objective 1/Policy 1A – Mangrove wetlands within Mangrove Protection Areas – The proposed parking lot improvements would impact mangroves that have been designated by the Miami-Dade County Comprehensive Development Master Plan (CDMP) as a part of a Mangrove Protection Area. Cutting, trimming, pruning or other alteration including dredging or filling of mangroves within a Mangrove Protection Area must be consistent with the criteria outlined in the Coastal Management Element of the CDMP. The proposed work would improve public access to the boat ramp by providing a stable and resilient parking area that meets applicable Code requirements while also more efficiently managing the launching and retrieval of vessels at the facility. The majority

of the expanded parking lot would be within the same footprint as the existing or within an unpaved area currently used for overflow parking that does not contain wetlands. In the areas where impacts to wetlands could not be avoided the footprint of the expanded parking lot has been designed to only result in the filling of two isolated wetland pockets adjacent to the existing parking areas that are not connected to the larger wetland system. Therefore, the proposed boat ramp and parking lot improvements are consistent with the CDMP as the work is water dependent and is in a location where no reasonable upland alternative exists.

Objective 1/ Policy 1B - Natural surface flow into and through coastal wetlands. – The proposed project would not affect natural surface flow into and through coastal wetlands.

Objective 1/ Policy 1C - Elevated boardwalk access through mangroves. – The proposed project does not involve the construction of an elevated walkway through mangroves.

Objective 1/Policy 1D - Protection and maintenance of mangrove forests and related natural vegetational communities. - The project involves the removal of mangroves, which are not part of a Coastal Band Community, and would be mitigated as set forth in Number 1 above.

Objective 1/Policy 1E - Mitigation for the degradation and destruction of coastal wetlands. Monitoring and maintenance of mitigation areas. – The project involves the filling of wetlands which would be mitigated as set forth in Number 1 above.

Objective 1/Policy 1G - Prohibition on dredging or filling of grass/algal flats, hard bottom or other viable benthic communities, except as provided for in Chapter 24 of the Code of Miami-Dade County, Florida. – The proposed project does not involve the dredging or filling of grass/algal flats, hard bottom, or other viable benthic communities.

Objective 2/Policies 2A, 2B - Beach restoration and renourishment objectives. - The proposed project does not involve beach restoration or renourishment.

Objective 3/Policies 3E, 3F - Location of new cut and spoil areas for proper stabilization and minimization of damages. - The proposed project does not involve the development or identification of new cut or spoil areas.

Objective 4/Policy 4A, 4C, 4E, 4F – Protection of endangered or threatened animal species. – The proposed project is not reasonably expected to result in impacts to endangered or threatened species.

Objective 5/Policy 5B - Existing and new areas for water-dependent uses. - The proposed project would enhance the existing water-dependent use as set forth in Number 1.

Objective 5/Policy 5D - Consistency with Chapter 33D, Miami-Dade County Code. (shoreline access, environmental compatibility of shoreline development) – The thresholds for review under the Shoreline Ordinance do not apply and the proposed project is not subject to shoreline development review.

Objective 5/Policy 5F - The siting of water dependent facilities. - The proposed project does not involve the creation of new water dependent facilities.

28. **Conformance with Chapter 33B, Code of Miami-Dade County** (East Everglades Zoning Overlay Ordinance) – The proposed project is not located within the East Everglades Area.

29. **Conformance with Miami-Dade County Ordinance 81-19** (Biscayne Bay Management Plan Sections 33D-1 through 33D-4 of the Code of Miami-Dade County) - The proposed project is in conformance with the Biscayne Bay Management Plan.
30. **Conformance with the Miami-Dade County Manatee Protection Plan (MPP)** - The proposed project is consistent with the MPP as set forth in Number 1 above.
31. **Consistency with Miami-Dade County Criteria for Lake Excavation** – The proposed project does not involve lake excavation.
32. **Zoning Recommendation** – Pursuant to Section 24-48.2(II)(B)(7) of the Code of Miami-Dade County, Florida, applications by the County within its own jurisdiction shall not be required to submit a substantiating letter or plan approval from the local zoning authority.
33. **Coastal Resources Management Line** - A coastal resources management line was not required for the proposed project, pursuant to Section 24-48.2(II)(B)(10)(b) of the Code of Miami-Dade County.
34. **Maximum Protection of a Wetland’s Hydrological and Biological Functions** – The project involves the filling of wetlands which would be mitigated as set forth in Number 1 above.
35. **Class I Permit Applications Proposing to Exceed the Boundaries Described in Section D-5.03(2)(a) of the Miami-Dade County Public Works Manual** – Not applicable.

The proposed project was also evaluated for compliance with the standards contained in Sections 2448.3(2), (3), and (4) of the Code of Miami-Dade County, Florida. The following is a summary of how the standards relate to the proposed project:

24-48.3 (2) Dredging and Filling for Class I Permit – The proposed project complies with the following criteria:

- (c) The work is the minimum necessary for the creation and maintenance of marinas, piers, docks and attendant navigational channels.

24-48.3 (3) Minimum Water Depth Required for Boat Slips Created by the Construction or Placement of Fixed or Floating Docks and Piers, Piles and Other Structures Requiring a Permit Under Article IV, Division 1 of Chapter 24 of the Code of Miami-Dade County – The proposed project complies with the Code-required water depth criteria.

24-48.3 (4) Clean Fill in Wetlands – The project involves the filling of wetlands; all fill would meet the definition of clean fill as defined in Section 24-5 of the Code of Miami-Dade County.

BASED ON THE FOREGOING, IT IS RECOMMENDED THAT A CLASS I PERMIT BE APPROVED.



McKee Gray, Manager
Coastal Resources Section



Tammy Burton, Biologist II
Coastal Resources Section



MEMORANDUM
(Revised)

TO: Honorable Chairman Jose "Pepe" Diaz
and Members, Board of County Commissioners

DATE: October 5, 2021

FROM: 
Gen Bonzon-Keenan
County Attorney

SUBJECT: Agenda Item No. 5(U)

Please note any items checked.

- "3-Day Rule" for committees applicable if raised
- 6 weeks required between first reading and public hearing
- 4 weeks notification to municipal officials required prior to public hearing
- Decreases revenues or increases expenditures without balancing budget
- Budget required
- Statement of fiscal impact required
- Statement of social equity required
- Ordinance creating a new board requires detailed County Mayor's report for public hearing
- No committee review
- Applicable legislation requires more than a majority vote (i.e., 2/3's present ____, 2/3 membership ____, 3/5's ____, unanimous ____, CDMP 7 vote requirement per 2-116.1(3)(h) or (4)(c) ____, CDMP 2/3 vote requirement per 2-116.1(3)(h) or (4)(c) ____, or CDMP 9 vote requirement per 2-116.1(4)(c)(2) ____) to approve
- Current information regarding funding source, index code and available balance, and available capacity (if debt is contemplated) required

Approved _____ Mayor
Veto _____
Override _____

Agenda Item No. 5(U)
10-5-21

RESOLUTION NO. _____

RESOLUTION TAKING ACTION ON A CLASS I PERMIT APPLICATION BY MIAMI-DADE COUNTY, THROUGH ITS PARKS, RECREATION AND OPEN SPACES DEPARTMENT FOR THE FILLING OF TIDAL WATERS IN ASSOCIATION WITH THE REDEVELOPMENT OF AN EXISTING BOAT RAMP, THE FILLING OF WETLANDS SUPPORTING HALOPHYTIC VEGETATION IN ASSOCIATION WITH IMPROVEMENTS TO A PARKING LOT AND THE INSTALLATION OF FINGER PIERS, A FOOTER, AND RIPRAP WITHIN HAULOVER PARK, LOCATED AT 10800 COLLINS AVENUE, UNINCORPORATED MIAMI-DADE COUNTY, FLORIDA

WHEREAS, this Board desires to accomplish the purposes outlined in the accompanying memorandum, a copy of which is incorporated herein by reference,

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF COUNTY COMMISSIONERS OF MIAMI-DADE COUNTY, FLORIDA, that this Board having considered all the applicable factors contained within section 24-48.3 of the Code of Miami-Dade County, hereby approves the application by Miami-Dade County, through its Parks, Recreation and Open Spaces Department for the filling of tidal waters in association with the redevelopment of an existing boat ramp, the filling of wetlands supporting halophytic vegetation in association with improvements to a parking lot and the installation of finger piers, a footer, and riprap within Haulover Park, located at 10800 Collins Avenue, unincorporated Miami-Dade County, Florida, subject to the conditions set forth in the memorandum from the Miami-Dade County Department of Regulatory and Economic Resources, a copy of which is attached hereto and made a part hereof. The issuance of this approval does not relieve the applicant from obtaining all applicable Federal, State, and local permits.

The foregoing resolution was offered by Commissioner _____, who moved its adoption. The motion was seconded by Commissioner _____ and upon being put to a vote, the vote was as follows:

- | | |
|---------------------------------------|------------------------|
| Jose "Pepe" Diaz, Chairman | |
| Oliver G. Gilbert, III, Vice-Chairman | |
| Sen. René García | Keon Hardemon |
| Sally A. Heyman | Danielle Cohen Higgins |
| Eileen Higgins | Joe A. Martinez |
| Kionne L. McGhee | Jean Monestime |
| Raquel A. Regalado | Rebeca Sosa |
| Sen. Javier D. Souto | |

The Chairperson thereupon declared the resolution duly passed and adopted this 5th day of October, 2021. This resolution shall become effective upon the earlier of (1) 10 days after the date of its adoption unless vetoed by the County Mayor, and if vetoed, shall become effective only upon an override by this Board, or (2) approval by the County Mayor of this resolution and the filing of this approval with the Clerk of the Board.

MIAMI-DADE COUNTY, FLORIDA
BY ITS BOARD OF
COUNTY COMMISSIONERS

HARVEY RUVIN, CLERK

By: _____
Deputy Clerk

Approved by County Attorney as to form and legal sufficiency. 

Christopher J. Wahl
Abbie Schwaderer-Raurell