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CLERK OF THE BOARD
OF COUNTY COMMISSIONERS
MIAMI-DADE COUNTY, FLORIDA

MEMORANDUM

Agenda Item No. 14(A)(1)

TO: Honorable Chairman Oliver G. Gilbert, III
and Members, Board of County Commissioners

DATE: May 16, 2023

FROM: Geri Bonzon-Keenan
County Attorney

SUBJECT: Resolution accepting the conveyance of a perpetual easement from HTA-Miami Dade Land, LLC, for establishment of a low-speed vehicular crossing and pedestrian connector bridge located adjacent to Jackson South Medical Center; authorizing the County Mayor as well as the Public Health Trust, to execute the easement agreement; authorizing the Public Health Trust to construct, operate and maintain the connector bridge, and to act as agent of the County for purposes of administering the terms of the easement; authorizing the County Mayor and the Public Health Trust to further take all actions necessary to effectuate the conveyance of the easement and to exercise the rights and duties conferred thereunder; and directing the County Mayor to record in the public records of Miami-Dade County the easement as required by Resolution No. R-974-09

Resolution No. R-479-23

The accompanying resolution was prepared and placed on the agenda at the request of Prime Sponsor Commissioner Danielle Cohen Higgins.

Geri Bonzon-Keenan
County Attorney

GBK/gh

MEMORANDUM
(Revised)

TO: Honorable Chairman Oliver G. Gilbert, III
and Members, Board of County Commissioners

DATE: May 16, 2023

FROM: Geri Bonzon-Keenan
County Attorney

SUBJECT: Agenda Item No. 14(A)(1)

Please note any items checked.

_____ **"3-Day Rule" for committees applicable if raised**

_____ **6 weeks required between first reading and public hearing**

_____ **4 weeks notification to municipal officials required prior to public hearing**

_____ **Decreases revenues or increases expenditures without balancing budget**

_____ **Budget required**

_____ **Statement of fiscal impact required**

_____ **Statement of social equity required**

_____ **Ordinance creating a new board requires detailed County Mayor's report for public hearing**

_____ **No committee review**

_____ **Applicable legislation requires more than a majority vote (i.e., 2/3's present ____, 2/3 membership ____, 3/5's ____, unanimous ____, CDMP 7 vote requirement per 2-116.1(3)(h) or (4)(c) ____, CDMP 2/3 vote requirement per 2-116.1(3)(h) or (4)(c) ____, or CDMP 9 vote requirement per 2-116.1(4)(c)(2) ____) to approve**

_____ **Current information regarding funding source, index code and available balance, and available capacity (if debt is contemplated) required**

Approved _____ Mayor
Veto _____
Override _____

Agenda Item No. 14(A)(1)
5-16-23

RESOLUTION NO. R-479-23

RESOLUTION ACCEPTING THE CONVEYANCE OF A PERPETUAL EASEMENT FROM HTA-MIAMI DADE LAND, LLC, FOR ESTABLISHMENT OF A LOW-SPEED VEHICULAR CROSSING AND PEDESTRIAN CONNECTOR BRIDGE LOCATED ADJACENT TO JACKSON SOUTH MEDICAL CENTER; AUTHORIZING THE COUNTY MAYOR OR COUNTY MAYOR'S DESIGNEE, AS WELL AS THE PUBLIC HEALTH TRUST, TO EXECUTE THE EASEMENT AGREEMENT; AUTHORIZING THE PUBLIC HEALTH TRUST TO CONSTRUCT, OPERATE AND MAINTAIN THE CONNECTOR BRIDGE, AND TO ACT AS AGENT OF THE COUNTY FOR PURPOSES OF ADMINISTERING THE TERMS OF THE EASEMENT; AUTHORIZING THE COUNTY MAYOR OR COUNTY MAYOR'S DESIGNEE AND THE PUBLIC HEALTH TRUST TO FURTHER TAKE ALL ACTIONS NECESSARY TO EFFECTUATE THE CONVEYANCE OF THE EASEMENT AND TO EXERCISE THE RIGHTS AND DUTIES CONFERRED THEREUNDER; AND DIRECTING THE COUNTY MAYOR OR COUNTY MAYOR'S DESIGNEE TO RECORD IN THE PUBLIC RECORDS OF MIAMI-DADE COUNTY THE EASEMENT AS REQUIRED BY RESOLUTION NO. R-974-09

WHEREAS, the Public Health Trust ("Trust") is an agency and instrumentality of Miami-Dade County, which is responsible for the operation, maintenance and governance of its "designated facilities" as such term is defined in chapter 154, part II, Florida Statutes, and chapter 25A of the Code of Miami-Dade County ("Code"); and

WHEREAS, section 25A-4(d) of the Code provides that title to real property must be vested in Miami-Dade County, and as such, the Trust does not have authority to obtain easements on its designated facilities; and

WHEREAS, Jackson South Medical Center, located at 9333 SW 152nd Street, Miami, Florida, is a designated facility of the Trust ("Hospital Parcel"); and

WHEREAS, HTA-Miami Dade Land, LLC, a Delaware limited liability company ("HTA"), is the owner in fee simple of the real property located at 15155 SW 97th Avenue, Miami, Florida, on folio number 30-5021-050-0010, upon which HTA has caused to be constructed a three-story medical office building ("MOB Parcel"); and

WHEREAS, the Trust leases office suites within the medical office building, pursuant to a lease agreement entered between HTA and the Trust; and

WHEREAS, the MOB Parcel and the Hospital Parcel are separated by the C-100 canal, which is owned and managed by the South Florida Water Management District ("SFWMD"); and

WHEREAS, the Trust seeks to erect a low-speed vehicular and pedestrian crossing bridge ("Connector Bridge") over the canal to facilitate safe ingress and egress between the Hospital Parcel and the MOB Parcel by Trust staff and visitors; and

WHEREAS, HTA has agreed to grant, for nominal consideration, an exclusive perpetual easement to the County, attached as Exhibit 1 (the "Connector Bridge Easement"), for the establishment of a low-speed vehicular crossing and pedestrian walk bridge, and improvements related to the use thereof; and

WHEREAS, development, construction, operation, and maintenance of the Connector Bridge and the costs associated therewith will be the responsibility of the Trust; and

WHEREAS, establishment of the Connector Bridge will also require a permit from the SFWMD; and

WHEREAS, on October 26, 2022, the Board of Trustees of the Trust adopted Resolution Number PHT 10/2022-050, attached hereto as Exhibit 2 and incorporated herein, seeking authority to receive a perpetual easement over a portion of the MOB Parcel in order to establish the Connector Bridge,

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF COUNTY COMMISSIONERS OF MIAMI-DADE COUNTY, FLORIDA, that:

Section 1. This Board adopts the foregoing recitals as though fully set forth herein.

Section 2. This Board approves the conveyance of the Connector Bridge Easement to the County in substantially the form attached hereto as Exhibit 1, for nominal consideration, and authorizes the County Mayor or County Mayor's designee and the Board of Trustees of the Public Health Trust or its designee to co-execute the Connector Bridge Easement.

Section 3. This Board authorizes the County Mayor or County Mayor's designee and the Board of Trustees of the Public Health Trust or its designee to complete all acts necessary to effectuate the conveyance of the Connector Bridge Easement, including obtaining any permits necessary to proceed with establishing and operating the Connector Bridge, modifying the Connector Bridge or the Connector Bridge Easement as needed to obtain any and all such permits and to effectuate the conveyance, and to exercise the rights and duties contained in the Connector Bridge Easement.

Section 4. This Board authorizes the Trust to construct, operate, maintain, and, if appropriate, to remove the Connector Bridge, and to act as agent of the County in managing the Connector Bridge and administering, performing, and enforcing the terms of the Connector Bridge Easement.

Section 5. This Board directs, pursuant to Resolution No. R-974-09, the County Mayor or County Mayor's designee to record the easement conveyances accepted herein in the public records of the County and provide a recorded copy to the Clerk of the Board within 30 days of execution, and further directs the Clerk of the Board to permanently store the recorded copy with this resolution.

The Prime Sponsor of the foregoing resolution is Commissioner Danielle Cohen Higgins. It was offered by Commissioner **Marleine Bastein**, who moved its adoption. The motion was seconded by Commissioner **Roberto J. Gonzalez** and upon being put to a vote, the vote was as follows:

Oliver G. Gilbert, III, Chairman **aye**
Anthony Rodríguez, Vice Chairman **aye**

Marleine Bastien	**aye**	Juan Carlos Bermudez	**aye**
Kevin Marino Cabrera	**aye**	Sen. René García	**aye**
Roberto J. Gonzalez	**aye**	Keon Hardemon	**aye**
Danielle Cohen Higgins	**aye**	Eileen Higgins	**absent**
Kionne L. McGhee	**aye**	Raquel A. Regalado	**aye**
Micky Steinberg	**absent**		

The Chairperson thereupon declared this resolution duly passed and adopted this 16th day of May, 2023. This resolution shall become effective upon the earlier of (1) 10 days after the date of its adoption unless vetoed by the County Mayor, and if vetoed, shall become effective only upon an override by this Board, or (2) approval by the County Mayor of this resolution and the filing of this approval with the Clerk of the Board.

MIAMI-DADE COUNTY, FLORIDA
BY ITS BOARD OF
COUNTY COMMISSIONERS

LUIS G. MONTALDO, CLERK AD INTERIM

By: **Basia Pruna**
Deputy Clerk

Approved by County Attorney as
to form and legal sufficiency. KMM

Kevin Marker
Andrea Gonzalez Mateo

This instrument prepared by, and to be returned to:
Public Health Trust of Miami-Dade County, Florida
1500 Northwest 12th Avenue, Suite 816
Miami, FL 33136-1037
Attention: Frederick Villari, Real Estate Advisor, Real Estate Services

Under the direction of:
Kevin Marker, Assistant County Attorney

Folio Number: 30-5021-050-0010
User Department: PUBLIC HEALTH TRUST

Space Above This Line For Recording Data

EASEMENT AGREEMENT FOR CONNECTOR BRIDGE

THIS EASEMENT AGREEMENT FOR CONNECTOR BRIDGE (this "Agreement") is made and entered into this ___ day of _____, _____ (the "Effective Date"), by and between **HTA-Miami Dade Land, LLC,** a Delaware limited liability company, ("Grantor"), **MIAMI-DADE COUNTY, FLORIDA,** a political subdivision of the State of Florida ("County" or "Grantee"), and the **PUBLIC HEALTH TRUST OF MIAMI-DADE COUNTY, FLORIDA**, an agency and instrumentality of the County ("PHT" or "the Trust"). Grantor, County and PHT may be referred to collectively as the "Parties" and each of the Parties is sometimes singularly referred to as a "Party."

RECITALS

A. Whereas, Grantor is the fee simple owner of certain real property located at 15155 SW 97 Ave, Miami, Florida, as more particularly described in Exhibit "A" attached hereto and made a part hereof (the "MOB Parcel"), upon which Grantor has caused to be constructed a three-story medical office building (the "MOB"); and

B. Whereas, County is the fee simple owner of certain real property located at 9333 SW 152nd Street, Miami, Florida (the "Hospital Parcel"), as more particularly described in Exhibit "B" attached hereto and made a part hereof, upon which PHT operates, governs and maintains a 192-bed hospital and medical office building (the "Hospital"), which PHT operates as a designated facility, as such term is defined in Section 154.08, Florida Statutes, as amended, and Section 25A-2 of the Code of Miami-Dade County, Florida (the "Code"); and

C. Whereas, PHT is an agency and instrumentality of the County and maintains possession and operating control of Trust-designated facilities, but PHT is not authorized to obtain an easement interest in real property, which powers are vested in the County pursuant to Section 25A-4 of the Code; and

D. Whereas, Grantor and PHT have entered into that certain Medical Office Lease Agreement, dated the 12th day of April 2018 (the "Lease"); whereby PHT leases certain office suites within the MOB on the terms and conditions more particularly set forth in the Lease; and

E. Whereas, as contemplated by the Lease, the Parties hereto desire to enter into this Agreement to permit PHT to construct, operate and maintain a low-speed vehicular crossing and pedestrian walk bridge, and improvements related to the use thereof (the "Connector Bridge") substantially as depicted on the plans and specifications set forth in Exhibit "D", for the purpose of facilitating a canal crossing for vehicular and pedestrian ingress and egress between the Hospital Parcel and the MOB Parcel, which will serve the public interest and welfare; and

F. Whereas, Grantor has agreed to grant an easement to Grantee, upon the terms and conditions set forth in this Agreement, over that certain portion of the MOB Parcel more specifically described in Exhibit "C-1" attached hereto and made a part hereof (the "Bridge Easement Area") for the sole purpose of construction, operation and maintenance of the Connector Bridge; and

G. Whereas, PHT joins in this Agreement to acknowledge its obligations hereunder,

NOW, THEREFORE, in consideration of the sum of Ten Dollars ($10.00) and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Parties hereto agree as follows:

1. **Recitals.** The recitals set forth above are binding on the Parties and are made a part of this Agreement as if fully set forth herein.

2. **Grant of Easements.**

2.1. Grant of Connector Bridge Easement. Grantor hereby grants to Grantee, for the benefit of the Hospital Parcel, an exclusive, appurtenant and commercial easement on, over, under, across and through the Bridge Easement Area (the "Bridge Easement"), for the sole purpose of construction, maintenance, operation, use, repair, replacement and removal of the Connector Bridge and for low-speed vehicular and pedestrian ingress and egress across and through the Connector Bridge by Grantee, Trust, Grantor, and their respective employees, contractors, agents, physicians, tenants, occupants, users, clinical staff, patients, licensees and invitees as provided for in this Agreement, as well as the installation, maintenance and replacement of any improvements the Trust deems appropriate for the use and operation of the Connector Bridge, including but not limited to pavement markings, lighting, and signage. The Connector Bridge and the foregoing improvements will at all times be owned by Trust. Subject to the remaining terms and provisions of this Agreement, the Grantee and Trust shall at all times during the term of this Agreement have access to the Bridge Easement Area, free from interference or restriction by Grantor, in order to operate the Connector Bridge and to maintain, repair, and replace portions of the Connector Bridge on or over the Bridge Easement Area as reasonably necessary in the Grantee or Trust's discretion. Notwithstanding anything herein to the contrary, any use of the Connector Bridge and the Bridge Easement Area for low-speed vehicular ingress and egress to or from the MOB Parcel shall be limited exclusively to neighborhood electric vehicles (NEV), low speed vehicles (LSV), and golf carts, and all vehicular and pedestrian use of the Bridge Easement Area shall be subject to the Grantee and PHT's discretion consistent with County policy. All vehicular use of the Bridge Easement Area shall be subject to applicable federal, state, county and local regulations and ordinances. Each party shall endeavor in good faith to cause its employees, contractors and agents to comply with all such regulations and ordinances applicable to vehicular use of the Bridge Easement Area. Further notwithstanding anything herein, Grantee and Trust have the right but not the obligation to construct the Connector Bridge, as the ability to do so is subject to Grantee and PHT obtaining the requisite funding, legislative approvals, and other approvals and contingencies for the construction of the Connector Bridge.

2.2. Construction, Maintenance, Repair and Replacement of Connector Bridge. Trust shall be solely responsible, at Trust's sole cost and expense, for the construction, maintenance, repair and replacement of the Connector Bridge in accordance with the Grantor Approved Plans and Specifications attached hereto as Exhibit "D," including obtaining all required governmental authorizations and approvals, including, without limitation, public right-of-way crossing permits or other required approvals from the South Florida Water Management District (the "Crossing Approvals") necessary therefor, as well as Grantor's approval of any proposed modifications to the Grantor Approved Plans and Specifications (such approval not to be unreasonably withheld, conditioned, or delayed). Grantor shall use commercially

reasonable efforts to cooperate with Trust and any governing authority in connection with Trust obtaining the Crossing Approvals, provided that Grantor shall not be obligated to incur any material expense in connection with such cooperation.

2.2.1. Commencement of Construction. Prior to initial commencement of construction in the Bridge Easement Area, PHT shall provide notice to Grantor, such notice to include plans for any construction to be made in the Bridge Easement Area. For purposes of this Agreement, "Commencement of Construction" shall mean the date that the Trust has received all permits and Crossing Approvals, including, without limitation, the Parking Permits, required to commence construction activities for the Connector Bridge and the Parking Area Modifications, and the Trust determines to proceed with constructing the Connector Bridge.

2.2.2. Temporary Construction Easement. Grantor hereby grants to Grantee, for its use and use by PHT and their employees, agents, licensees, and contractors: (i) a temporary, non-exclusive easement on, in, under, over, across, and through the areas of the MOB Parcel shown on Exhibit "C-2" attached hereto and made a part hereof (the "Temporary Construction Easement Area") for a period of eight (8) months from the Commencement of Construction for the purposes of constructing the Connector Bridge and any improvements permitted under Section 2.2, (ii) the non-exclusive right to temporarily store materials and equipment and vehicles on and in the Temporary Construction Easement Area in connection with the foregoing; (iii) a temporary access easement for ingress, egress and access in connection with the foregoing; and (iv) temporary access to, on, and over the Temporary Construction Easement Area for the purpose of constructing the additional parking spaces contemplated in Section 2.2.3 herein (collectively, the "Temporary Construction Easement"), provided the Trust shall provide Grantor notice at least five business days in advance of any access. Once constructed, Grantor additionally grants to Grantee, for its use and use by PHT, their employees, agents, licensees, and contractors a temporary license for use of areas on the MOB Parcel adjacent to the Bridge Easement Area that the Trust deems reasonably necessary to fulfill its obligation to maintain and repair the Connector Bridge as required in this Agreement. Any such temporary license shall require advance written approval by the Grantor, whose approval shall not be unreasonably withheld or delayed, except that advance approval shall not be required for access required for emergency repairs, replacement or removal. Grantee and Trust shall exercise their rights under the Temporary Construction Easement in a manner that minimizes interference with the business operations being conducted by Grantor and its tenants on the MOB Parcel, to the extent reasonably possible, and in a manner consistent with applicable codes, ordinances and governmental requirements.

2.2.3. Standards for Construction, Maintenance, Repair and Replacement Work. Any act of construction, maintenance, repair or replacement pursuant to this Agreement shall be done and completed in a good and workmanlike manner, free from material faults and material defects and in compliance with all applicable governmental requirements. Once any such work is commenced, the work shall be diligently and continually pursued and completed within a commercially reasonable time after commencement. All such work shall be performed by reputable, licensed contractors pursuant to contracts which contain such warranties and guaranties and insurance and indemnification provisions as may be reasonable and consistent with then-standard construction practice in Miami-Dade County, Florida. Prior to commencing any such work, Trust shall have obtained all required permits and other approvals for such work from the applicable authority, including, if necessary, any Crossing Approvals. The Parties acknowledge that the Connector Bridge, and any improvements related thereto, shall be owned by PHT. If, in performing any work pursuant to its rights or obligations hereunder, the Trust, its employees, agents, or contractors, causes any damage to the MOB Parcel, or any of the improvements located thereon (including without limitation buildings, other structures, pavement and landscaping), then Trust shall, at its sole cost and expense, repair such damage and restore the damaged site and/or improvements thereon to the condition existing immediately prior to such damage. In the event that the Connector Bridge or the Bridge Easement Area is damaged as a result of the negligent acts or negligent omissions of Grantor or its employees,

contractors, or agents, then Grantor shall promptly repair and restore the damaged site to the condition existing immediately prior to such damage, at Grantor's sole expense. Grantor must provide reasonable notice to Trust of any and all such repairs in advance of their performance, coordinate all repairs with the Trust, and perform all such repairs in a manner consistent and in accordance with all applicable laws, codes, rules and regulations. Alternatively, Trust may elect to repair and restore the damaged site to the condition existing immediately prior to such damage, and in such case Grantor will reimburse Trust for all demonstrative costs incurred and paid by Trust in making and completing such repair and restoration.

2.2.4. Modification of Existing Parking Area. Concurrently with Trust's Commencement of Construction of the Connector Bridge, and only if the Connector Bridge is constructed, the Trust agrees to modify the existing parking area at the south east corner of the MOB Parcel, substantially as shown on Exhibit "D" attached hereto (the "Parking Area Modifications"), to provide three (3) additional paved and striped parking spaces to replace existing parking spaces being eliminated in connection with Trust's construction of the Connector Bridge. Such modification shall be subject to and conditioned upon PHT obtaining all necessary permits and approvals from any governmental or other governing authority with jurisdiction (the "Parking Permits"), which PHT shall be obligated to obtain, at PHT's sole cost and expense, prior to, and as a condition to, Commencement of Construction. PHT shall cause the Parking Area Modifications to be performed in a good and workmanlike manner, free from material faults and material defects and in accordance with all applicable regulations, codes, and zoning requirements. Upon completion of the Parking Area Modifications, Grantee and the Trust shall have no further obligation to repair, maintain, reconstruct, or inspect the existing parking area or the Parking Area Modifications.

2.2.5. Future Utility /Drainage Easements/Facilities. The Bridge Easement is an exclusive easement, and Grantor may not grant any additional easements or place any improvements therein without Trust's consent, which may be granted or withheld in Trust's sole discretion. However, if, after the Connector Bridge is constructed, (a) Grantor desires to grant an easement for, or otherwise install, utilities and/or drainage facilities through the Bridge Easement Area, and (b) Trust does not consent in writing to such easement(s) and/or facilities, and (c) Grantor will incur additional, demonstrative costs to re-route such easement(s) and/or facilities as a result of Trust's refusal to consent, then Grantor may present evidence of such additional costs to Trust, and Trust will then either grant its consent to the easement(s) and/or facilities or reimburse Grantor for all such additional demonstrative costs incurred and paid by Grantor as a result of Trust's refusal.

3. **Maintenance.** Beginning with the Commencement of Construction and at all times thereafter, the Trust shall maintain, install, repair and replace (as necessary) the Connector Bridge, or necessary portions thereof, so that the same is at all times in good working order and condition and free of material defects, subject only to occasional interruption of service due to (i) ordinary wear and tear and use thereof; (ii) routine or extraordinary maintenance, repair or replacement; or (iii) events beyond Grantee's or Trust's reasonable control. Trust shall have the right to select the contractor(s) of its choice in connection with all aspects of installation, maintenance, repair, and replacement of the Connector Bridge.

4. **Condition; No Warranty.** Grantee and Trust accept the use of the Bridge Easement Area in its "as-is/where-is" condition without any representation, warranty or inducement relating to the Easement Area's condition or fitness for any particular purpose. Grantor shall not be obligated to alter any portion of the Bridge Easement Area to accommodate the use set forth herein.

5. **Payment Covenants.** Trust shall be solely responsible for all costs of construction, maintenance, repair, replacement, operation and insurance of the Connector Bridge, except as otherwise provided herein.

6. **Liens.** Neither Grantee nor Trust shall permit or cause any construction, mechanics', laborers', materialmen's or other similar liens to attach to the MOB Parcel that arise by, through or by virtue of any activities of Grantee or Trust, their employees, agents, contractors, or invitees, thereon. If, despite the foregoing, Grantee or Trust permit or cause any such liens to attach to the MOB Parcel (or are alleged by the lienor to have caused such lien or liens to attach), Grantee or Trust shall promptly cause such lien or liens to be discharged or bonded over in compliance with the laws of the State of Florida so as to remove the lien from the MOB Parcel. Grantor shall not permit or cause any construction, mechanics', laborers', materialmen's or other similar liens to attach to the Connector Bridge and related improvements themselves that arise by, through or by virtue of any activities of Grantor, its employees, agents, contractors, or invitees, thereon. If, despite the foregoing, Grantor permits or causes any such liens to attach to the Connector Bridge and/or such improvements, Grantor shall promptly cause such lien or liens to be discharged or bonded over in compliance with the laws of the State of Florida so as to remove the lien from the Connector Bridge and/or such improvements. Grantee and Trust acknowledge and agree that the fee interest in the MOB Parcel, including the Bridge Easement Area, may be encumbered by Grantor or may be subject to future construction, mechanics', laborers', materialmen's or other similar liens, and Grantor acknowledges and agrees that nothing obligates Grantee to subordinate its interest in the Bridge Easement Area to any such lien. Nothing herein shall be construed to prohibit any party from contesting the validity of any such construction, mechanics', laborers', materialmen's or other similar liens, provided that the party causing the lien (or whose activities are alleged to have caused the imposition of the lien) promptly bonds the lien over in compliance with the laws of the State of Florida.

7. **Term.** The term of this Agreement shall be perpetual, subject to the termination provisions set forth in section 7.1 below. The Agreement shall commence on the Effective Date and shall be a perpetual easement, unless terminated by agreement of the Parties or otherwise pursuant to Section 7.1 herein. As stated herein, certain rights and obligations of Grantee and PHT are not applicable or enforceable until the Commencement of Construction of Connector Bridge.

7.1. Termination of Easement. This Agreement may be terminated: (i) by the Parties in a written instrument signed by the Parties (or their successors-in-interest) and recorded in the Public Records of Miami-Dade County, Florida, or, (ii) by the Trust, upon notification of termination by Trust to the Grantor, should the use, need, or purpose of the Connector Bridge, in the sole discretion of the Trust, be abandoned, discontinued, or otherwise ended. Upon the termination of this Agreement, PHT shall, at its sole cost, remove the Connector Bridge and all improvements related thereto from the MOB Parcel and restore the Bridge Easement Area to a condition substantially similar to its original condition prior to the construction of the Connector Bridge, reasonable wear and tear excepted.

8. **Recording.** This Agreement will be recorded in accordance with the procedures dictated in County Commission Resolution No. 974-09.

9. **No Mortgages.** Grantor represents and warrants to Grantee and Trust that, as of the Effective Date, Grantor has not mortgaged, pledged, or otherwise granted a security interest in the MOB Parcel (and therefore, the Bridge Easement Area) which would affect the easement and rights granted herein by Grantor.

10. **Limitations.** It is the intention of the parties hereto that this Easement shall be limited to and utilized solely for the purposes expressed herein. Grantor retains all rights not specifically conveyed herein and no use or improvements, other than those set forth herein, will be permitted without the express written consent of the Grantor. Except as specifically represented and warranted otherwise in Section 9 above, the easements and rights granted herein by Grantor are granted subject to all matters of record

existing as of the Effective Date and any matters existing as of the Effective Date that would be shown on a complete and accurate survey of the Bridge Easement Area.

11. **Indemnification and Insurance.**

11.1. Indemnity. PHT shall indemnify, assume, defend and hold harmless Grantor from and against any and all liability, claims, actions, liens, demands, expenses, and judgments, including reasonable attorneys' fees, which may be imposed upon or incurred by or asserted against Grantor by reason of any of the following occurrences during the term of this Agreement but only those occurrences that take place after the Commencement of Construction: (i) any work done in or about the Connector Bridge, the Bridge Easement Area, or any part thereof, by Grantee or PHT or any party acting on Grantee or PHT's behalf; (ii) any use, non-use, possession, occupation, condition, operation, maintenance or management of the Connector Bridge or any part thereof by Grantee or PHT or any party acting on Grantee or PHT's behalf; (iii) any negligence on the part of Grantee or PHT or any of their respective agents, contractors, employees; (iv) any accident, injury or damages to any person or property occurring in, on or about the Connector Bridge or any part thereof due to any intentional or negligent action or omission by Grantee or PHT or any party acting on or failing to act on Grantee or PHT's behalf; or (v) any breach by Grantee or PHT of this Agreement. Nothing contained in this paragraph or elsewhere in this Agreement is intended to be a waiver of sovereign immunity or of the provisions or limitations set forth in Section 768.28, Florida Statutes, as amended. Further, Grantor shall indemnify, assume, defend and hold harmless the Trust and/or the Grantee from and against any and all liability, claims, actions, liens, demands, expenses, and judgments, including reasonable attorneys' fees, which may be imposed upon or incurred by or asserted against Trust and/or Grantee by reason of any of (x) any negligence, gross negligence, or intentional misconduct on the part of Grantor or any of its agents, contractors, or employees, or (y) Grantor's breach of this Agreement.

11.2. Insurance. PHT shall procure and keep in effect at all times during the term of this Agreement insurance coverage on the Connector Bridge and the Bridge Easement Area in an amount not less than the full replacement value thereof. Grantee shall also procure and maintain during the term of this Agreement a policy or policies of commercial general liability insurance, which may be a combination of primary and excess liability policies, insuring both Grantor and Grantee against claims for bodily injury, personal and advertising injury and property damage with limits of not less than One Million Dollars ($1,000,000) per occurrence and Two Million Dollars ($2,000,000) general aggregate arising from use of the Connector Bridge and the Bridge Easement Area and, upon written request from Grantor, shall furnish Grantor certificates evidencing the existence thereof. The insurance policies required to be carried by PHT pursuant to the terms of this Agreement may be in the form of blanket policies covering property in locations other than the Connector Bridge and Bridge Easement Area so long as such blanket policies provide for the insurance coverages required hereunder. As long as PHT is as an agency and instrumentality of Miami-Dade County, Florida, PHT may self-insure to satisfy the requirements under this Section, and/or maintain such deductibles as Grantee shall determine in its sole discretion.

12. **Default; Remedies.** The Parties agree that the provisions of this Agreement will be enforced as follows:

12.1. Notice of Default. A Party will not be in default under this Agreement unless the Party has received written notice specifying the nature of such default and has failed to cure such default within thirty (30) days following receipt of such notice (or such longer or shorter time as may be necessary and reasonable, provided such Party shall have commenced a cure within said 30-day period and is diligently and continuously prosecuting same).

12.2. Force Majeure. If performance of any action by any Party is prevented or delayed by an act of God, war, terrorism, labor disputes, shortage of materials or supplies or other causes beyond the reasonable control of such Party (it being agreed that the financial inability of any Party to perform any obligation shall never be deemed an event beyond its reasonable control), the time for performance of such action will extended for period that such action is delayed or prevented by such cause.

13. **Estoppels**. Each Party hereby covenants and agrees to provide, within thirty (30) days following the written request of any other Party, an estoppel certifying that no defaults exist under this Agreement, that all payments any Party is obligated to make hereunder have been made, and such other matters regarding compliance under this Agreement as may be reasonably requested.

14. **Waiver.** No delay in exercising any right or remedy shall constitute a waiver thereof, and no waiver of the breach of any provision of this Easement shall be construed as a waiver of any preceding or succeeding breach of the same or any other provision of this Easement. Except as otherwise expressly set forth in this Agreement, all rights, powers and privileges conferred hereunder upon the parties are cumulative but not restricted to those given by law.

15. **Headings.** Headings in this Agreement are for convenience only and shall not be used to interpret or construe its provisions.

16. **Choice of Law and Venue.** This Agreement shall be governed and construed in all respects in accordance with the laws of the State of Florida, without regard to its conflict of laws provisions. The Parties forever stipulate that exclusive venue for litigation arising out of or relating to the subject matter of this Agreement shall be within Miami-Dade County, Florida.

17. **Amendments.** This Agreement may only be amended or modified by written instrument lawfully executed by the Parties (or their successors-in-interest) and recorded in the Public Records of Miami-Dade County, Florida.

18. **Duration; Running with the Land.** Except as otherwise expressly set forth herein, the provisions of this Agreement shall run with the land and shall run with and bind title to the MOB Parcel and the Hospital Parcel, and bind upon and inure to the benefit of all Parties hereto, and their respective heirs, executors, legal representatives, successors, assigns and successors-in-title.

19. **Interpretation.** No provision of this Agreement will be interpreted in favor of, or against, any of the Parties hereto by reason of the extent to which any such party or its counsel participated in the drafting hereof, or by reason of the extent to which any such provision is inconsistent with any prior draft hereof.

20. **Counterparts.** This Agreement may be executed in any number of counterparts, each of which shall be deemed an original and all of which, taken together, shall constitute a single version of this Agreement.

21. **Notices.** All notices, demands, requests or other communications required or permitted to be given hereunder must be given in writing and shall be deemed effective (i) immediately upon hand delivery to the address set forth below for the intended recipient, with a receipt issued by the party receiving such delivery; (ii) three (3) business days after having been sent by certified mail, return receipt requested addressed to the intended recipient at the address specified below, or (iii) at noon of the business day next following after having been deposited into the custody of a nationally recognized overnight delivery service which provides delivery confirmation addressed to such party at the address specified below. Notice will be deemed to have been given upon actual receipt or refusal to receive same by one of the foregoing

methods. Any notice sent as required by this Section and refused by the recipient shall be deemed delivered as of the date of such refusal. A Party may change its address for purposes of this section by serving notice as provided herein and setting forth the new address. Notices shall be sent as follows:

To County and PHT:

Public Health Trust of Miami-Dade County, Florida
1500 Northwest 12 Avenue, Suite 816-E
Miami, Florida 33136
Attention: Real Estate Services

To Grantor:

HTA-Miami Dade Land, LLC
c/o Healthcare Realty Trust
3310 West End Avenue, Suite 700
Nashville, Tennessee 37203
Attention: Office of General Counsel

With a Copy to

Healthcare Realty Services
3310 West End Avenue, Suite 700
Nashville, Tennessee 37203
Attention: Senior Vice President, Operations

22. **Entire Agreement.** This Agreement constitutes the entire agreement between the Parties hereto with respect to the specific subject matter hereof and supersedes all prior negotiations, agreements, understandings and arrangements, both oral and written, between the parties with respect to such specific subject matter.

23. **Severability.** If any clause or provision of this Agreement is deemed illegal, invalid or unenforceable under present or future laws effective during the term hereof, then the validity of the remainder of this Easement shall not be affected thereby and shall be legal, valid and enforceable.

24. **Further Assurances.** As reasonably requested by any Party, each Party will promptly execute and deliver or cause to be executed and delivered all such other and further instruments, documents or assurances, and promptly do or cause to be done all such other and further things as may be necessary and reasonably required in order to further and more fully vest in each Party, all rights, interests, powers or benefits intended to be conferred upon it by this Agreement.

25. **No Partnership or Joint Venture**. This Agreement does not create an association, partnership, joint venture or a principal and agency relationship among any of the Parties hereto.

26. **Easement Rights.** The easement rights and agreements hereby established are for the benefit of the Parties and for the Grantee's public purposes, Grantee and PHT having full and complete discretion to exercise the rights granted hereunder in a manner consistent with the County's public policy. This Agreement is not intended to make any person which is not a Party a third party beneficiary hereunder or to give any such person any rights hereunder.

27. **Sovereign Rights.** Notwithstanding any other provision herein, Grantee retains its sovereign status hereunder and further retains all sovereign prerogatives and rights, and shall not be estopped from withholding or refusing to issue any approvals of and applications for building, zoning, planning or development under present or future laws and regulations of whatever nature applicable to the improvements provided for herein.

28. **Trust Benefits.**

28.1. While this Agreement grants the Bridge Easement to Grantee, as the fee owner of the dominant estate, this Agreement also confers certain rights to Trust, and creates certain obligations of Trust, as the operator of the hospital located on the Hospital Parcel. The rights, remedies, covenants, duties and obligations of Trust under this Agreement are referred to herein as the "**Trust Benefits**".

28.2. If, in the future, fee simple title to the Hospital Parcel is conveyed by Grantee, then the Trust Benefits will merge and become the rights, remedies, covenants, duties and obligations of the successor fee owner of the Hospital Parcel ("**Successor Grantee**"), and this Agreement will be interpreted such that "Grantee", "Trust" and "PHT" shall refer to Successor Grantee.

29. **Exhibits A and B**. Either Grantor or Grantee may request that this Agreement be amended to replace the depictions contained in Exhibit A and Exhibit B with metes and bounds descriptions of the MOB Parcel and the Hospital Parcel, respectively. The party making such request (the "**Requesting Party**") will have a boundary survey or surveys prepared by a licensed Florida land surveyor, together with metes and bounds descriptions, of the Hospital Parcel and the MOB Parcel, and will submit the same to the non-Requesting Party for its review and approval, which approval may not be unreasonably withheld, conditioned or delayed. The Requesting Party will pay all actual costs and expenses incurred by both parties in connection with such amendment, included the costs of the surveys, the costs incurred by the non-Requesting Party in reviewing the surveys and the metes and bounds descriptions, the costs of preparing the applicable amendment document, the non-Requesting Party's attorneys' fees in reviewing such amendment document, and the costs of recording such amendment document.

[SIGNATURES APPEAR ON FOLLOWING PAGES]

[REMAINDER OF PAGE INTENTIONALLY LEFT BLANK]

IN WITNESS WHEREOF, the duly authorized representatives of County, PHT and Grantor, have executed this Agreement on the dates set forth below.

ATTEST:

LUIS G. MONTALDO,
CLERK OF SAID BOARD

BY: _____
Deputy Clerk

Approved by County Attorney as to form and legal sufficiency. _____

COUNTY:

MIAMI-DADE COUNTY, FLORIDA
BY ITS BOARD OF COUNTY COMMISSIONERS

BY: _____
County Mayor

Date: _____

The foregoing was authorized and approved by Resolution No. _____ of the Board of County Commissioners of Miami-Dade County, Florida on the ____ day of _____, 2023.

[SIGNATURES CONTINUE ON FOLLOWING PAGE]

WITNESSES:

Signature:_____

Print Name:_____

Signature:_____

Print Name:_____

PUBLIC HEALTH TRUST OF MIAMI-DADE COUNTY, FLORIDA, an agency and instrumentality of Miami-Dade County

BY: _____
Carlos A. Migoya
Chief Executive Officer

Date: _____

STATE OF FLORIDA
COUNTY OF MIAMI-DADE

The foregoing instrument was acknowledge before me on _____ by Carlos A. Migoya, as Chief Executive Officer of the Public Health Trust of Miami-Dade County, Florida, an agency and instrumentality of Miami-Dade County, on behalf of the Trust. He is personally known to me or has produced _____ as identification.

[SEAL]

_____
Notary Public, State of Florida
My commission expires:_____

[SIGNATURES CONTINUE ON FOLLOWING PAGE]

GRANTOR:

HTA-MIAMI DADE LAND, LLC,
a Delaware limited liability company

By: Stephen Cox

Name: Stephen E. Cox, Jr.

Title: Senior Vice President

Signed, sealed and delivered in the presence of:

WITNESS #1: Deidre Hogan
PRINTED NAME: Deidre Hogan

WITNESS #2: Kay Ziegin
PRINTED NAME: KAY ZIEGIN

STATE OF TENNESSEE

COUNTY OF DAVIDSON

The foregoing instrument was acknowledge before me on 04/17/2023, 2023 by STEPHEN E. COX, JR, as SENIOR VICE PRESIDENT of HTA-MIAMI DADE LAND, LLC, a Delware limited liability company, on behalf of the company. He/She is personally known to me or has produced _____ as identification.

[SEAL]

DOUGLAS CAMPBELL
STATE OF TENNESSEE NOTARY PUBLIC
RUTHERFORD COUNTY
MY COMMISSION EXPIRES 10-5-2026

Douglas Campbell
Notary Public, State of TENNESSEE
My commission expires: 10/05/2026

EXHIBIT A

Description of the MOB Parcel

EXHIBIT A

OFFICE OF THE PROPERTY APPRAISER

Summary Report

Generated On : 12/29/2022

Property Information	
Folio:	30-5021-050-0010
Property Address:	15155 SW 97 AVE Miami, FL 33176-7016
Owner	HTA MIAMI DADE LAND LLC
Mailing Address	16435 NORTH SCOTTSDALE RD STE 320 SCOTTSDALE, AZ 85254 USA
PA Primary Zone	9500 OFFICE PARK DISTRICT
Primary Land Use	1813 OFFICE BUILDING - MULTISTORY : OFFICE BUILDING
Beds / Baths / Half	0 / 0 / 0
Floors	0
Living Units	0
Actual Area	56,876 Sq.Ft
Living Area	56,876 Sq.Ft
Adjusted Area	56,585 Sq.Ft
Lot Size	143,733 Sq.Ft
Year Built	2021

Assessment Information			
Year	2022	2021	2020
Land Value	$1,437,330		
Building Value	$6,206,280		
XF Value	$647,031		
Market Value	$8,290,641		
Assessed Value	$8,290,641		

Taxable Value Information			
	2022	2021	2020
County			
Exemption Value	$0		
Taxable Value	$8,290,641		
School Board			
Exemption Value	$0		
Taxable Value	$8,290,641		
City			
Exemption Value	$0		
Taxable Value	$0		
Regional			
Exemption Value	$0		
Taxable Value	$8,290,641		

Benefits Information				
Benefit	Type	2022	2021	2020

Note: Not all benefits are applicable to all Taxable Values (i.e. County, School Board, City, Regional).

Sales Information			
Previous Sale	Price	OR Book-Page	Qualification Description

Short Legal Description
CORAL REEF WELLNESS CENTER
PB 175-068 T-24232
PORT OF TR A BEG SE COR OF TR A
TH S 88 DEG W 304.14FT N 79 DEG W
51.19FT S 88 DEG W 78.74FT NWLY

The Office of the Property Appraiser is continually editing and updating the tax roll. This website may not reflect the most current information on record. The Property Appraiser and Miami-Dade County assumes no liability, see full disclaimer and User Agreement at http://www.miamidade.gov/info/disclaimer.asp

Version:

EXHIBIT B

Description of the Hospital Parcel

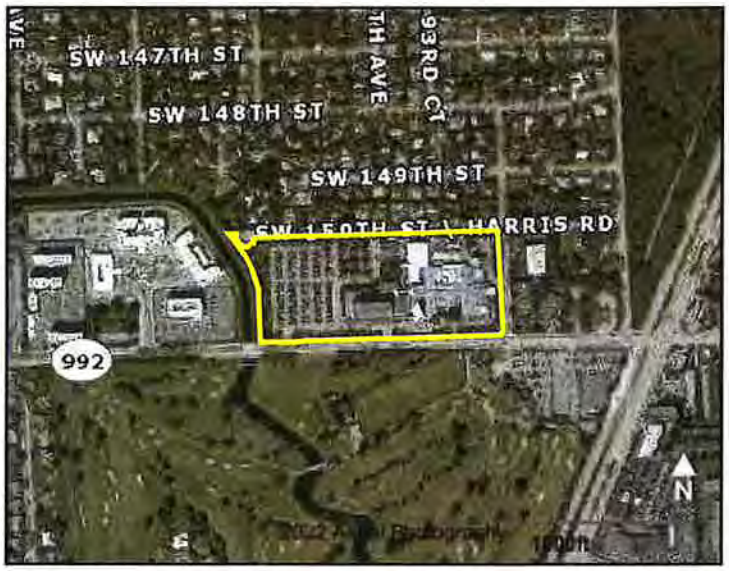
EXHIBIT B

OFFICE OF THE PROPERTY APPRAISER

Summary Report

Generated On : 12/29/2022

Property Information	
Folio:	30-5021-049-0010
Property Address:	9333 SW 152 ST Miami, FL 33157-1209
Owner	MIAMI-DADE COUNTY PUBLIC HEALTH TRUST
Mailing Address	1611 NW 12 AVE WEST WING 108 MIAMI, FL 33136-1096
PA Primary Zone	2300 ESTATES - 1 ACRE
Primary Land Use	8543 HOSPITAL - GOVERNMENTAL : HEALTH CARE
Beds / Baths / Half	0 / 0 / 0
Floors	2
Living Units	0
Actual Area	360,424 Sq.Ft
Living Area	Sq.Ft
Adjusted Area	349,713 Sq.Ft
Lot Size	806,189 Sq.Ft
Year Built	Multiple (See Building Info.)



Assessment Information			
Year	2022	2021	2020
Land Value	$16,123,780	$16,123,780	$16,123,780
Building Value	$34,242,535	$33,976,151	$33,999,407
XF Value	$410,447	$414,963	$419,477
Market Value	$50,776,762	$50,514,894	$50,542,664
Assessed Value	$50,776,762	$50,514,894	$50,542,664

Taxable Value Information			
	2022	2021	2020
County			
Exemption Value	$50,776,762	$50,514,894	$50,542,664
Taxable Value	$0	$0	$0
School Board			
Exemption Value	$50,776,762	$50,514,894	$50,542,664
Taxable Value	$0	$0	$0
City			
Exemption Value	$0	$0	$0
Taxable Value	$0	$0	$0
Regional			
Exemption Value	$50,776,762	$50,514,894	$50,542,664
Taxable Value	$0	$0	$0

Benefits Information				
Benefit	Type	2022	2021	2020
County	Exemption	$50,776,762	$50,514,894	$50,542,664

Note: Not all benefits are applicable to all Taxable Values (i.e. County, School Board, City, Regional).

Sales Information			
Previous Sale	Price	OR Book-Page	Qualification Description

Short Legal Description
JACKSON SOUTH COMMUNITY HOSPITAL
PB 169 - 015 T - 23021
TRACT A
LOT SIZE 806189 SF ML
FAU 30 5021 000 0240 & 0261 &

The Office of the Property Appraiser is continually editing and updating the tax roll. This website may not reflect the most current information on record. The Property Appraiser and Miami-Dade County assumes no liability, see full disclaimer and User Agreement at http://www.miamidade.gov/info/disclaimer.asp

Version:

EXHIBIT C-1

Description of Bridge Easement Area

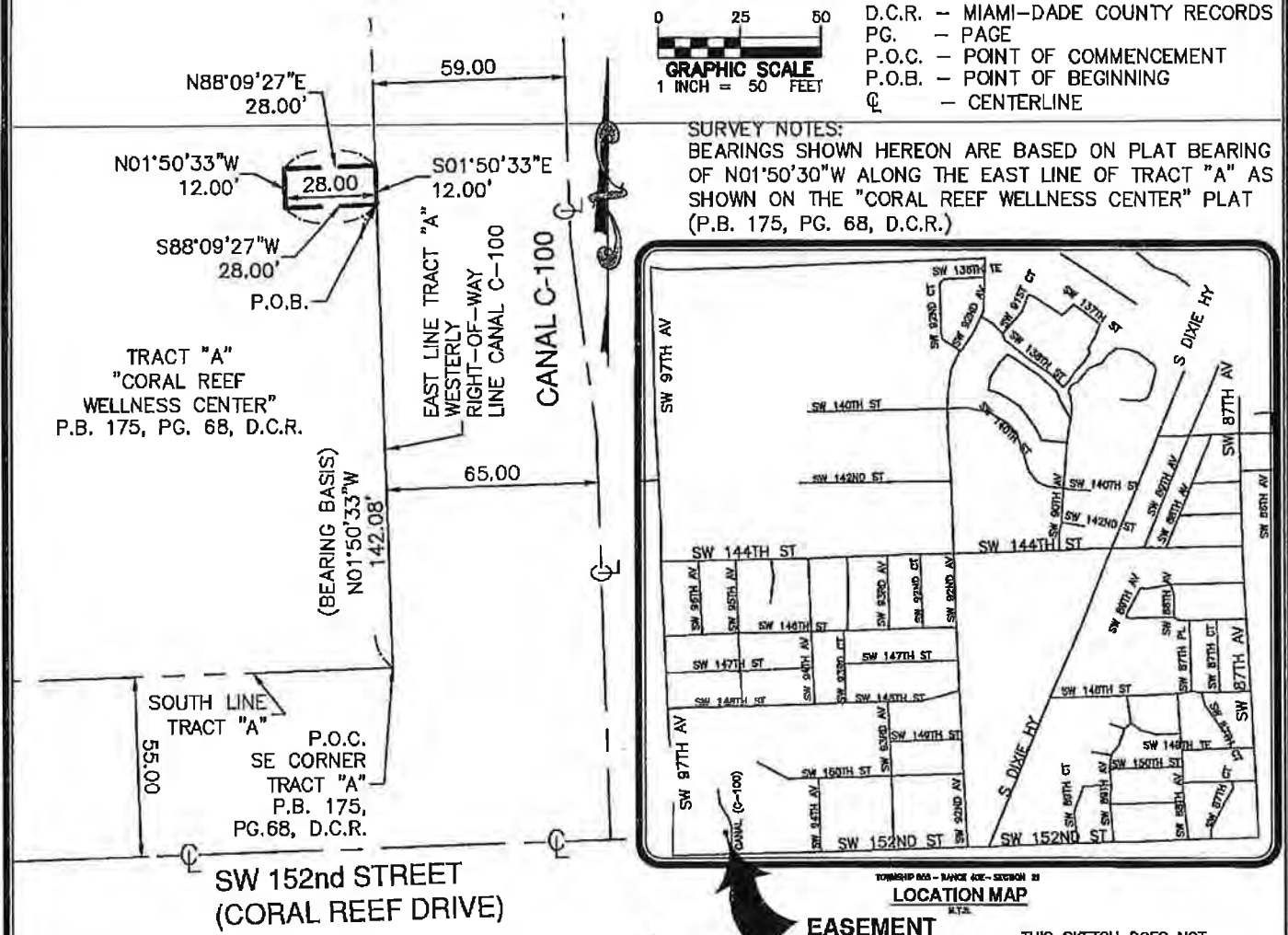
SHEET 1 OF 1

DESCRIPTION: (CONNECTOR BRIDGE EASEMENT)

A PORTION OF TRACT "A" OF "CORAL REEF WELLNESS CENTER" ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 175, PAGE 68 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT THE SOUTHEAST CORNER OF SAID TRACT "A"; THENCE ALONG THE EAST LINE OF SAID TRACT "A" ALSO BEING A WESTERLY RIGHT-OF-WAY LINE OF CANAL C-100, N50°33"W 142.08 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED LAND; THENCE SOUTH 88°09'27" WEST 28.00 FEET; THENCE PARALLEL WITH AND 28 FEET WEST OF THE EAST LINE OF TRACT "A", NORTH 01°50'33" WEST 12.00 FEET; THENCE NORTH 88°09'27" EAST 28.00 FEET; THENCE ALONG THE EAST LINE OF SAID TRACT "A", SOUTH 01°50'33" EAST 12.00 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE, LYING AND BEING IN MIAMI-DADE COUNTY, FLORIDA AND CONTAINS 336 SQUARE FEET (0.008 ACRES) MORE OR LESS.

ABBREVIATIONS:
P.B. – PLAT BOOK
D.C.R. – MIAMI-DADE COUNTY RECORDS
PG. – PAGE
P.O.C. – POINT OF COMMENCEMENT
P.O.B. – POINT OF BEGINNING
℄ – CENTERLINE



SKETCH & DESCRIPTION

THIS SKETCH DOES NOT REPRESENT A BOUNDARY SURVEY

DATE	REVISIONS	DWN.	CHK.

DRAWN BY: LP CHECKED BY: MR

CERTIFIED TO:

JACKSON SOUTH MEDICAL CENTER

Martin P Rossi — Digitally signed by Martin P Rossi Date: 2022.12.12 09:52:55 -05'00'

MARTIN P. ROSSI No. 5857 STATE OF FLORIDA Professional Surveyor & Mapper

I HEREBY CERTIFY THAT THIS SKETCH MEETS STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027, FLORIDA STATUTES.
DATED THIS 12th DAY OF DECEMBER 2022 A.D.

Martin P. Rossi
MARTIN P. ROSSI
PROFESSIONAL SURVEYOR AND MAPPER
STATE OF FLORIDA REGISTRATION No. 5857
IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER
CERTIFICATE OF AUTHORIZATION: LB6680

MILLER LEGG
South Florida Office: 5747 N. Andrews Rd
Ft. Lauderdale, Florida · 33309-2364
954-436-7000 · Fax: 954-436-8664
www.millerlegg.com

PROJECT NO. 22-00022 FILE NO. SD-1

V:\PROJECTS\2022\22-00022 – JACKSON SOUTH MEDICAL CTR DCP\SURVEY\DRAWINGS\22-00022_SD2.DWG 12/12/22 by LPODOLSK

EXHIBIT C-2

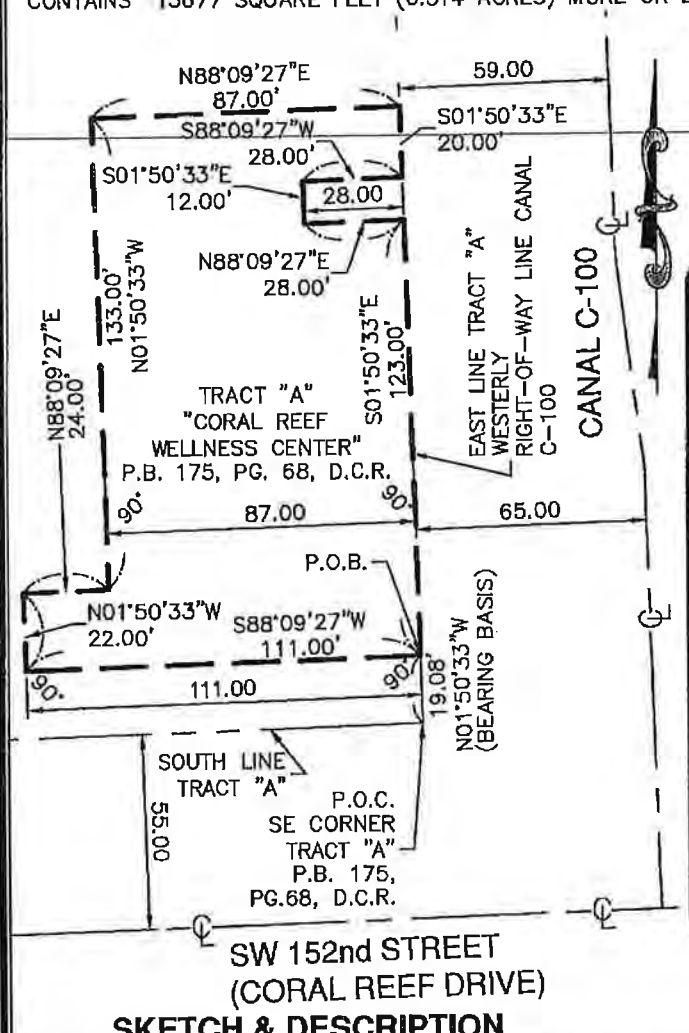
Description of Temporary Construction Easement Area

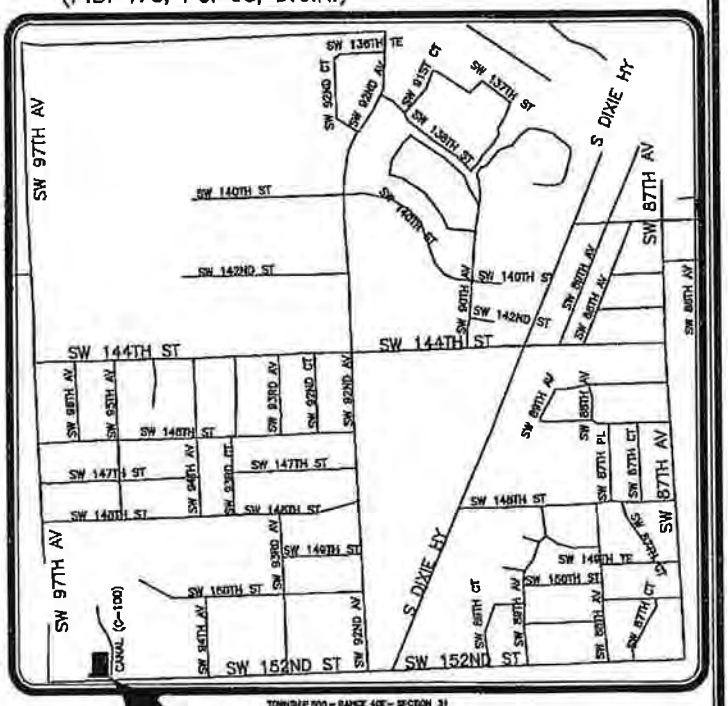
SHEET 1 OF 1

DESCRIPTION: (TEMPORARY CONSTRUCTION EASEMENT)
A PORTION OF TRACT "A" OF "CORAL REEF WELLNESS CENTER" ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 175, PAGE 68 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT THE SOUTHEAST CORNER OF SAID TRACT "A"; THENCE ALONG THE EAST LINE OF SAID TRACT "A" ALSO BEING A WESTERLY RIGHT-OF-WAY LINE OF CANAL C-100, N50°33"W 19.08 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED LAND; THENCE SOUTH 88°09'27" WEST 111.00 FEET; THENCE PARALLEL WITH AND 111 FEET WEST OF THE EAST LINE OF SAID TRACT "A", NORTH 01°50'33" WEST 22.00 FEET; THENCE NORTH 88°09'27" EAST 24.00 FEET; THENCE PARALLEL WITH AND 87 FEET WEST WITH THE EAST LINE OF SAID TRACT "A", NORTH 01°50'33" WEST 133.00 FEET; THENCE NORTH 88°09'27" EAST 87.00 FEET; THENCE ALONG THE EAST LINE OF SAID TRACT "A", SOUTH 01°50'33" EAST 20.00 FEET; THENCE SOUTH 88°09'27" WEST 28.00 FEET; THENCE PARALLEL WITH AND 28 FEET WEST OF SAID EAST LINE OF TRACT "A", SOUTH 01°50'33" EAST 12.00 FEET; THENCE NORTH 88°09'27" EAST 28.00 FEET; THENCE ALONG SAID EAST LINE OF TRACT "A", SOUTH 01°50'33" EAST 123.00 FEET TO THE POINT OF BEGINNING.
SAID LANDS SITUATE, LYING AND BEING IN MIAMI-DADE COUNTY, FLORIDA AND CONTAINS 13677 SQUARE FEET (0.314 ACRES) MORE OR LESS.

ABBREVIATIONS:
P.B. – PLAT BOOK
D.C.R. – MIAMI-DADE COUNTY RECORDS
PG. – PAGE
P.O.C. – POINT OF COMMENCEMENT
P.O.B. – POINT OF BEGINNING
℄ – CENTERLINE

SURVEY NOTES:
BEARINGS SHOWN HEREON ARE BASED ON PLAT BEARING OF N01°50'30"W ALONG THE EAST LINE OF TRACT "A" AS SHOWN ON THE "CORAL REEF WELLNESS CENTER" PLAT (P.B. 175, PG. 68, D.C.R.)





LOCATION MAP
N.T.S.

SITE LOCATION

THIS SKETCH DOES NOT REPRESENT A BOUNDARY SURVEY

SKETCH & DESCRIPTION

DATE	REVISIONS	DWN	CHK.

DRAWN BY: LP CHECKED BY: MR

CERTIFIED TO:
JACKSON SOUTH MEDICAL CENTER

Martin P Rossi
Digitally signed by Martin P Rossi
Date: 2022.12.12 09:51:25 -05'00'

MARTIN P. ROSSI
No. 5857
STATE OF FLORIDA
Professional Surveyor & Mapper

MILLER LEGG
South Florida Office: 5747 N. Andrews Rd
Ft. Lauderdale, Florida 33309-2368
954-436-7000 · Fax: 954-436-8664
www.millerlegg.com

I HEREBY CERTIFY THAT THIS SKETCH MEETS STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027, FLORIDA STATUTES, DATED THIS 12th DAY OF DECEMBER 2022 A.D.

Martin P. Rossi
MARTIN P. ROSSI
PROFESSIONAL SURVEYOR AND MAPPER
STATE OF FLORIDA REGISTRATION No. 5857
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER
CERTIFICATE OF AUTHORIZATION: LB6680

PROJECT NO. 22-00022
FILE NO. SD-1

V:\PROJECTS\2022\22-00022 – JACKSON SOUTH MEDICAL CTR DCP\SURVEY\DRAWINGS\22-00022_SD1.DWG 12/12/22 by LPODOLSK

EXHIBIT D

Grantor Approved Plans and Specifications

EXHIBIT D

Jackson HEALTH SYSTEM

PUBLIC HEALTH TRUST

Miracles made daily.

JACKSON SOUTH MEDICAL CENTER - GOLF CART BRIDGE
PERMIT SUBMITTAL - FEBRUARY 28, 2023

JACKSON SOUTH MEDICAL CENTER
9333 S.W. 152ND STREET,
MIAMI, FLORIDA 33157

OWNER/CLIENT CONTACT:
JACKSON HEALTH SYSTEM - MARI C. LOPEZ (DIRECTOR FACILITIES DESIGN AND CONSTRUCTION)
P. 305.298.1998

MOBIO

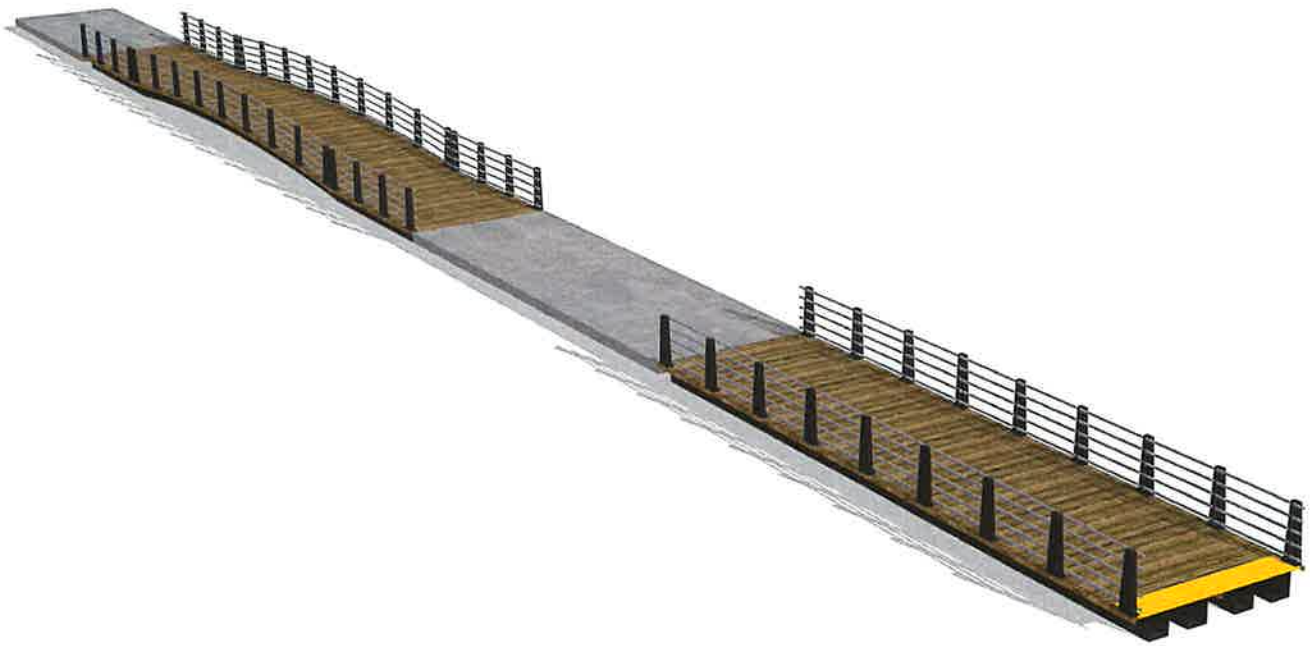
PROJECT MANAGEMENT, PLANNING, INTERIOR DESIGN & ARCHITECTURE:
MOBIO ARCHITECTURE, INC
6303 Blue Lagoon Drive, Suite 310
Miami, Florida 33126
Project Representative : Eddie A. Alvarado
P:786.376.1232 E:contact@mobioarchitecture.com
MOBIO Project No. 19-007-120
www.mobioarchitecture.com

STRUCTURAL:
DOUGLAS WOOD AND ASSOCIATES, INC
5040 N.W. 7th Street, Suite 820
Miami, Florida 33126
Project Representative: Kamran Shahrokhinasab
P: 305.461.3450

ELECTRICAL :
LOUIS J. AGUIRRE AND ASSOCIATES P.A.
9150 Dadeland Boulevard, Suite 900
Miami, Florida 33156
Project Representative: Anthony Gonzalez
P: 305.670.0144

CIVIL ENGINEERING AND LANDSCAPE ARCHITECTURE:
MILLER LEGG & ASSOCIATES, INC.
7743 N.W. 48 Street, Suite 140
Doral, Florida 33166
Project Representative: Joaquin Mojica, P.E.
P: 954.628.3608

BRIDGE DESIGN:
LINKS BRIDGE USA, INC.
1 S.E. Ocean Blvd.
Stuart, Florida 34994
Project Representative: Donald G. Ferrar
P: 561.344.7720



Project Location

LOCATION MAP

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY EDDIE A. ALVARADO, R.A. ON THE DATE ADJACENT TO THE SEAL USING AN SHA AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

TO THE BEST OF MY KNOWLEDGE AND ABILITY THESE PLANS COMPLY WITH THE MINIMUM STANDARDS OF THE FLORIDA BUILDING CODE 2010 (7TH EDITION)

MDC029

ARCHITECTURE/ INTERIORS ABBREVIATIONS

Abbreviation	Description
A/E	[illegible]
AB	[illegible]
ACOUS	[illegible]
AC, A/C	[illegible]
ACP	[illegible]
ACT	[illegible]
AD	[illegible]
ADA	[illegible]
ADBL	[illegible]
ADDL	[illegible]
ADH	[illegible]
ADJ	[illegible]
ADJC	[illegible]
AF	[illegible]
AFF	[illegible]
AGGR	[illegible]
AL	[illegible]
ALUM	[illegible]
ALT	[illegible]
ANSI	[illegible]
ANOD	[illegible]
APPROX	[illegible]
AP	[illegible]
ARCH	[illegible]
ASC	[illegible]
ASPH	[illegible]
AHU	[illegible]
BD	[illegible]
BRD	[illegible]
BITUM	[illegible]
BLDG	[illegible]
BLKG	[illegible]
BM	[illegible]
B.O.	[illegible]
BOT	[illegible]
BR	[illegible]
BUR	[illegible]
BLKHD	[illegible]
CAB	[illegible]
CAM	[illegible]
CR	[illegible]
CARP	[illegible]
CD	[illegible]
CSMT	[illegible]
CSWK	[illegible]
CI	[illegible]
CIP	[illegible]
CS	[illegible]
CB	[illegible]
CTR	[illegible]
CL	[illegible]
C/C	[illegible]
CNTFG	[illegible]
CER	[illegible]
C.T.	[illegible]
CH	[illegible]
CEM	[illegible]
CEMT	[illegible]
CLG or CEIL	[illegible]
CHAN	[illegible]
CHBD	[illegible]
CHFR	[illegible]
C.O.	[illegible]
CLO	[illegible]
CLR	[illegible]
CLRM	[illegible]
CRS	[illegible]
COL	[illegible]
CMPST	[illegible]
COMP	[illegible]
COMPO	[illegible]
CPRS	[illegible]
CFCI	[illegible]
CONSTR	[illegible]
CJ	[illegible]
CONC	[illegible]
CMU	[illegible]
CSB	[illegible]
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CG	[illegible]
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CSK	[illegible]
CTRSK	[illegible]
CU	[illegible]
CYL	[illegible]
DMPF	[illegible]
DT	[illegible]
DEL	[illegible]
DEMO	[illegible]
DEPT	[illegible]
DET	[illegible]
DIA	[illegible]
DIAG	[illegible]
DIM	[illegible]
DIR	[illegible]
DIS	[illegible]
DISP	[illegible]
DO	[illegible]
DIV	[illegible]
DBL	[illegible]
DF	[illegible]
DN	[illegible]
DR	[illegible]
DOP	[illegible]
DST	[illegible]
DS	[illegible]
DWG or DRWG	[illegible]
DWR	[illegible]
DF	[illegible]
DMBD	[illegible]
DSP	[illegible]
ESMT	[illegible]
E	[illegible]
EA	[illegible]
EW	[illegible]
EIFS	[illegible]
ELAST	[illegible]
ELEC	[illegible]
EP	[illegible]
EWC	[illegible]
EL	[illegible]
ELEV	[illegible]
EMER	[illegible]
ES	[illegible]
ENCL	[illegible]
ENGR	[illegible]
ENTR	[illegible]
EPRF	[illegible]
EQ	[illegible]
EQUIP	[illegible]
ESCAL	[illegible]
EW	[illegible]
EXIST or (E)	[illegible]
EXC	[illegible]
EXH	[illegible]
EXP	[illegible]
EJ	[illegible]
EXP	[illegible]
EXT	[illegible]
FOC	[illegible]
FOF	[illegible]
FOM	[illegible]
FOS	[illegible]
FOW	[illegible]
F/F	[illegible]
FRP	[illegible]
FBL	[illegible]
FV	[illegible]
FA	[illegible]
FACP	[illegible]
FDC	[illegible]
FE	[illegible]
FEC	[illegible]
FHP	[illegible]
FHC	[illegible]
FHY	[illegible]
FPRF	[illegible]
FSH	[illegible]
FSTP	[illegible]
FVC	[illegible]
FN	[illegible]
F.F.E.	FINISHED FLOOR ELEVATION
FO	FINISHED OPENING
F.R.E.	FINISHED ROOF ELEVATION
FL	FLASHING
FB	FLAT BAR
FL / FLR	FLOOR
FLOUR	FLUORESCENT
FCO	FLOOR CLEAN OUT
FD	FLOOR DRAIN
FS	FLOOR SINK
FT	FOOT OR FEET
FTG	FOOTING
FOUND	FOUNDATION
FS	FULL SIZE
FSD	FULL SIZE DETAIL
FH	FULL HEIGHT
FURN	FURNITURE
FURR	FURRING
FUT	FUTURE
G	GAS
GALV or GV	GALVANIZE
GSKT	GASKET
GA	GAUGE
GB	GRAB BAR
GC	GENERAL CONTRACTOR
GEN	GENERATOR
GL	GLASS
GFRC	GLASS FIBER REINFORCED CONCRETE
GFRG	GLASS FIBER REINFORCED GYPSUM
GLMU	GLASS MASONRY UNIT
GMMU	GLASS MESH MORTAR UNIT
GR	GRADE
GRTG	GRATING
GVL	GRAVEL
GRL	GRILLE
GND	GROUND
GT	GROUT
GYP	GYPSUM
GWB	GYPSUM WALLBOARD
HC	HANDICAPPED
HNDRL	HANDRAIL
HGR	HANGER
HDBD	HARDBOARD
HRDW	HARDWARE
HDWD	HARDWOOD
HT	HEIGHT
H	HIGH
HP	HIGH POINT
HVHZ	HIGH VELOCITY HURRICANE ZONE
HO	HOLD OPEN
HM	HOLLOW METAL
HMD	HOLLOW METAL DOOR
HORIZ	HORIZONTAL
HC	HOLLOW CORE
HB	HOSE BIBB
HR	HOUR
HVAC	HEATING, VENTILATION, AIR CONDITIONING
HYDR	HYDRAULIC
INCAND	INCANDESCENT
IN	INCH
ID	INSIDE DIAMETER
IF	INSIDE FACE
IWH	INSTANTANEOUS WATER HEATER
INSUL	INSULATION
INT	INTERIOR
INV	INVERT
JAN	JANITOR
JC	JANITOR'S CLOSET
JT	JOINT
JST	JOIST
KIT	KITCHEN
KB	KNOX BOX
KO	KNOCKOUT
KOP	KNOCKOUT PANEL
KPL	KICK PLATE
L	LEFT
LB	LABEL
LAB	LABORATORY
LAD	LADDER
LAM	LAMINATE
LAV	LAVATORY
LB	POUND
LH	LEFT HAND
LHR	LEFT HAND REVERSE
LG	LENGTH
LEV	LEVEL
LVR	LEVER OR LOUVER
LIB	LIBRARY
LT	LIGHT
LTG	LIGHTING
LTWT	LIGHT WEIGHT
LOS	LINE OF SIGHT
LN	LINEAR
LF / LIN FT	LINEAR FEET
LNTL	LINTEL
LKR	LOCKER
LLH	LONG LEG HORIZONTAL
LLV	LONG LEG VERTICAL
LONG	LONGITUDINAL
LO	LOW POINT
MACH	MACHINE
MB	MACHINE BOLT
MAINT	MAINTENANCE
MH	MANHOLE
MFR / MANUF	MANUFACTURER
MAS	MASONRY
MO	MASONRY OPENING
ML	MATCH LINE
MATL	MATERIAL
MAX	MAXIMUM
MECH	MECHANICAL
MC	MEDICINE CABINET
MED	MEDIUM
MEMB	MEMBRANE
MTL	METAL
MEZZ	MEZZANINE
MLWK	MILLWORK
MIN	MINIMUM
MISC	MISCELLANEOUS
MIR	MIRROR
MPS	MOTORIZED PROJECTION SCREEN
MLDG	MOULDING
MTD	MOUNTED
MULL	MULLION
MVBL	MOVABLE
NAT	NATURAL
NGVD	NATIONAL GEODETIC VERTICAL DATUM
(N)	NEW
ND	NEW NUMBER
NOM	NOMINAL
NR	NON-RATED
N	NORTH OR NITROGEN
NA	NOT APPLICABLE
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
NO	NUMBER
OBS	OBSCURE
OFF	OFFICE
OC	ON CENTER
OPNG	OPENING
OCC	OPPERATOR CONTROL CENT.
OPP	OPPOSITE
OH	OPPOSITE HAND
OD	OUTSIDE DIAMETER
OF	OUTSIDE FACE
OA	OVERALL
OFD	OVERFLOW DRAIN
ORD	OVERFLOW ROOF DRAIN
OFI	OWNER FURNISH ITEM
OFCI	OWNER FURNISHED CONTRACTOR INSTALLED
OFOI	OWNER FURNISHED OWNER INSTALLED
OXY	OXYGEN
PNL	PANEL
PJ	PANEL JOINT
PNT	PAINT
PTD	PAINTED
PR	PAIR
PB	PANIC BAR
PTD	PAPER TOWEL DISPENSER
PTR	PAPER TOWEL RECEPTACLE
PTN	PARTITION
PASS	PASSENGER
PLS	PASSENGER LOADING
PVG	PAVING
PGBD	PEG BOARD
PENT	PENTHOUSE
PERF	PERFORATED
PERIM	PERIMETER
PERP	PERPENDICULAR
PL	PLATE
PLAM	PLASTIC LAMINATE
PLAS	PLASTER
PLBG	PLUMBING
PLYWD	PLYWOOD
PNEU	PNEUMATIC
PT	POINT
PC	PORTLAND CEMENT
POL	POLISHED
POLY	POLYETHYLENE
PVC	POLYVINYL CHLORIDE
PDF	POWDER DRIVEN FASTENERS
PRCST	PRECAST
PREFAB	PREFABRICATED
PREFIN	PREFINISHED
PMLD	PREMOLDED
PREP	PREPARATION
PT	PRESURE TREATED
PROJ	PROJECTION
PS	PROJECTION SCREEN
QUAL	QUALITY
QTY	QUANTITY
QT	QUARRY TILE
RAD	RADIUS
RLG	RAILING
RWL	RAIN WATER LEADER
REC	RECESSED
REDWD	REDWOOD
REF	REFERENCE
REFL	REFLECTED
R.C.P.	REFLECTED CEILING PLAN
REFR	REFRIGERATOR
REG	REGISTER
REINF	REINFORCED
REM	REMOVABLE
REQD	REQUIRED
RESIL	RESILIENT
RJ	REVEAL JOINT
RH	RIGHT HAND
RHR	RIGHT HAND REVERSE
R.O.W.	RIGHT OF WAY
R	RISER
RF	ROOF
RFG	ROOFING
RD	ROOF DRAIN
REP	ROOF EQUIPMENT PAD
REJ	ROOF EXPANSION JOINT
RG	ROOF GUTTER
RV	ROOF VENT
RM	ROOM
RO	ROUGH OPENING
RBR	RUBBER
SG	SAFETY GOGGLES
SCHED	SCHEDULE
SCU	SCUPPER
SCRN	SCREEN
SECT	SECTION
SSK	SERVICE SINK
SHTHG	SHEATHING
SHT	SHEET
SHT MTL	SHEET METAL
SHV	SHELVING
SHR	SHOWER
SIM.	SIMILAR
SIM	SIMULATOR
SIMUL	SIMULATED
SGL	SINGLE
SK	SINK
SLV	SLEEVE
SL	SLOPE
S.D.	SMOKE DETECTOR
SD	SOAP DISPENSER
SC	SOLID CORE
STC	SOUND TRANSMISSION CLASS
S	SOUTH
SP	SPEAKER
SPECS	SPECIFICATIONS
SB	SPLASH BLOCK
SQ	SQUARE
SS	STAINLESS STEEL
STAG	STAGGER
STA	STATION
STD	STANDARD
ST	STREET
STL	STEEL
STOR	STORAGE
STRUCT	STRUCTURAL
SUSP	SUSPENDED
SYM	SYMBOL
SYMM	SYMMETRICAL
SYS	SYSTEM
TKBD	TACKBOARD
TCP	TEMPERATURE CONTROL PANEL
TMPD	TEMPERED
TEMP	TEMPORARY
TEL	TELEPHONE
TV	TELEVISION
TERR	TERRAZO
T.H.	THRESHOLD
THK	THICK
TOL	TOLERANCE
T & B	TOP AND BOTTOM
T & G	TONGUE & GROOVE
T.O.	TOP OF
T.O.B.	TOP OF BEAM
T.O.C.	TOP OF CONCRETE
	TOP OF CURB
T.O.E.S.	TOP OF EXISTING SLAB
T.O.F.F.	TOP OF FINISH FLOOR
T.O.F.	TOP OF FOOTING
T.O.P.	TOP OF PARAPET
T.O.PA.	TOP OF PAVEMENT
T.O.S.	TOP OF SLAB
T.O.SL.	TOP OF STEEL
TOW	TOP OF WALL
TB	TOWEL BAR
TDC	TRAFFIC DECK COVERING
T	TREAD
TD	TRENCH DRAIN
TYP	TYPICAL
UL	UNDERWRITERS LAB
UNEX	UNEXCAVATED
UNF	UNFINISHED
UPS	UNINTERRUPTIBLE POWER SOURCE
UON	UNLESS OTHERWISE NOTED
UV	ULTRAVIOLET
UR	URINAL
VAC	VACUUM
VB	VAPOR BARRIER
VR	VAPOR RETARDER
V.B.	VALVE BOX
VNR	VENEER
VIF	VERIFY IN FIELD
VERT	VERTICAL
VEST	VESTIBULE
VCT	VINYL COMPOSITION TILE
VWC	VINYL WALL COVERING
WSCT	WAINSCOT
WC-GYP	WALL COVERING (GYPSUM)
WC-PLAS	WALL COVERING (PLASTER)
WC	WATER CLOSET
WL	WATER LEVEL
WP	WATERPROOFING
WT	WEIGHT
WLD	WELDED
WWF	WELDED WIRE FABRIC
W	WEST
WCOL	WET COLUMN
WO	WHERE OCCURS
W	WIDE
WDW	WINDOW
W/	WITH
W/O	WITHOUT
WD	WOOD
WP	WORKING POINT
WI	WROUGHT IRON
YD	YARD
&	AND
∠	ANGLE
@	AT
CL	CENTERLINE
PL	PROPERTY LINE
#	POUND
%	PERCENTAGE

ANNOTATION SYMBOLS AND REFERENCES

NOT ALL SYMBOLS AND ABBREVIATIONS LISTED APPLY TO THIS PROJECT. REFER TO CONSTRUCTION DOCUMENTS FOR SCOPE OF WORK

- DRAWING IDENTIFICATION — A1 VIEW NAME
- NORTH ARROW
- EXISTING GRID LINE — GRIDLINE NAME
- NEW GRID LINE
- MATCH LINE — ZONE 1 / ZONE 2 — MATCHLINE
- PROJECT LIMIT LINE
- INTERIOR ELEVATIONS
- BUILDING ELEVATION
- BUILDING SECTION SECTION DETAIL
- WALL SECTION
- DETAIL
- ENLARGED DETAIL
- SPOT ELEVATION — 10' - 10" — A.F.F. — ELEVATION
- LEVEL LINE — LEVEL NAME — 100'-0" — ELEVATION
- CENTER LINE — ℄
- LEVEL CHANGE — CHANGE IN PLANE OR DOOR LEVEL
- ROOM NAME — 101
- DOOR SYMBOL — 101A
- EXTERIOR WINDOW TYPE — EXTERIOR OPENING
- INTERIOR WINDOW TYPE — INTERIOR OPENING
- WALL TYPES — PARTITION TYPE
- KEY NOTES
- FINISH TAG
- FIXTURES/ ACCESSORIES/ EQUIPMENT
- DRAWING REVISION

MATERIAL LEGEND

- POROUS FILL, STONE, GRAVEL, ETC
- EARTH, BACKFILL
- CAST IN PLACE CONCRETE
- PRE-CAST CONCRETE
- CONCRETE MASONRY UNITS
- NATURAL OR CAST STONE
- TERRAZO
- PLASTER SAND, GROUT
- GYPSUM BOARD
- METAL
- ROUGH WOOD FRAMING
- SHIM: WOOD OR METAL
- FINISH WOOD
- PLYWOOD
- RIGID INSULATION
- BATT INSULATION
- GLASS

PROJECT LOCATION:

GOLF CART BRIDGE IS LOCATED ON THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT (SFWMD) RIGHT-OF WAY (R.O.W.) CANAL C 100 [illegible]

THE GOLF CART BRIDGE WOULD [illegible] AT JACKSON SOUTH MEDICAL CENTER (JSMC): 9333 S.W. 152nd STREET MIAMI FLORIDA 33157 | FOLIO NO 30 5021-049-0010

[illegible]

SCOPE OF WORK:

[illegible] TWO (2) CONCRETE WALKWAYS TO PROVIDE A CONNECTING PATH BETWEEN THE EXISTING JACKSON SOUTH MEDICAL CENTER AND THE EXISTING MEDICAL OFFICE BUILDING. THE CONNECTING PATH IS INTENDED TO BE USED BY JACKSON SOUTH MEDICAL CENTER STAFF WITH GOLF CARTS TO CROSS OVER FROM PROPERTY TO PROPERTY. BRIDGES AND BOARDWALKES ARE FOR GOLF CART ONLY. ON FOOT [illegible]

GENERAL NOTES:

[illegible]

INDEX OF DRAWINGS

SHEET NUMBER	DESCRIPTION
SURVEYING	
[illegible]	[illegible]
CIVIL ENGINEERING	
[illegible]	[illegible]
LANDSCAPE	
[illegible]	[illegible]
BRIDGE DESIGN	
[illegible]	[illegible]
STRUCTURAL	
[illegible]	[illegible]
ARCHITECTURE	
[illegible]	[illegible]
ELECTRICAL	
[illegible]	[illegible]

SPECIFICATION

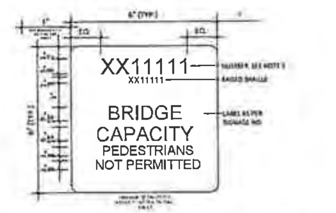
1. [illegible]
   A. [illegible] JHS APPROVED EQUAL. SIGN IS ACRYLIC PLAQUE WITH SURFACE APPLIED EXTERIOR GRADE PHOTOPOLYMER SIGN FACE. SIGN BACKGROUND AND EDGES ARE SURFACE [illegible]
   B. PHOTOPOLYMER: .040 INCH ACRYLIC PHOTOPOLYMER, 1/20 INCH PHENOLIC BASE OR JHS APPROVED EQUAL.
   C. [illegible]
   D. SIGN COLOR (BACKGROUND): LOW SHEEN BLACK
   E. TEXT: TACTILE TEXT COPY 5/8 INCH MIN HEIGHT OR AS SPECIFIED, UPPERCASE HELVETICA MEDIUM, RAISED 1/32 INCH WITH SURFACE PAINTED IN LOW-SHEEN [illegible]
   F. [illegible]
2. FINISH AND CONTRAST: CHARACTERS AND THEIR BACKGROUND SHALL HAVE A NON-GLARE FINISH. CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND WITH EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND.
3. CASE: [illegible]
4. STYLE: [illegible]
5. CHARACTERS OF PROPORTIONS: CHARACTERS SHALL BE SELECTED FROM [illegible]

SIGNAGE NOTES

1. POSITION: BRAILLE SHALL BE POSITIONED BELOW THE CORRESPONDING TEXT. IF TEXT IS MULTI-LINED, BRAILLE SHALL BE PLACED BELOW THE ENTIRE TEXT. BRAILLE SHALL BE SEPARATED 3/8" MIN. FROM ANY OTHER TACTILE CHARACTERS AND 3/8 INCH MIN. FROM RAISED BORDERS AND DECORATIVE ELEMENTS.
2. LOCATION: WHERE A TACTILE SIGN IS PROVIDED AT LIGHT POST, THE SIGN SHALL BE LOCATED NO HIGHER THAN 48" TO THE LOWEST TACTILE CHARACTER.

GENERAL NOTE

1. INCREASE SIGN WIDTH IN 3 INCH INCREMENTS WHEN SPACE NAME EXCEEDS 10 CHARACTERS, MAXIMUM SIGN WIDTH OF 12 INCHES.
2. SIGNAGE IS PROVIDED AS BASIS OF DESIGN TO SHOW SIGN SIZE. FONT SIZE. THE CONTRACTOR IS TO COORDINATE FINAL SIGNAGE WITH BRIDGE MANUFACTURER AND JHS's PROJECT MANAGER.
3. CONTRACTOR TO COORDINATE BRIDGE CAPACITY TO BE SHOWN ON SIGNAGE WITH BRIDGE MANUFACTURER AND JHS's PROJECT MANAGER.



SIGNAGE (TYP.) DETAIL — 1 — SCALE: 6" = 1'-0"

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY THE PROFESSIONAL OF RECORD ON THE DATE ADJACENT TO THE SEAL USING AN SHA AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Jackson South MEDICAL CENTER — *Miracles made daily.*

JACKSON SOUTH MEDICAL CENTER
NEW GOLF CART BRIDGE

MOBIO

ARCHITECTURE: MOBIO ARCHITECTURE, INC.

MILLER LEGG

LOUIS J AGUIRRE & ASSOCIATES, P.A. 9150 South [illegible] Suite 900 Miami, Florida [illegible]

BRIDGE MANUFACTURER: UNIS BRIDGES USA, INC 1 SE Ocean Boulevard Stuart, Florida 34994

EDDIE A. ALVARADO, R.A. AR95663

PERMIT SET
Project Number: 19-007-120
Date: FEBRUARY 28, 2023

FOR PERMIT

NOTES, SYMBOLS, LEGENDS, MATERIALS AND ANNOTATIONS

A0.0.01

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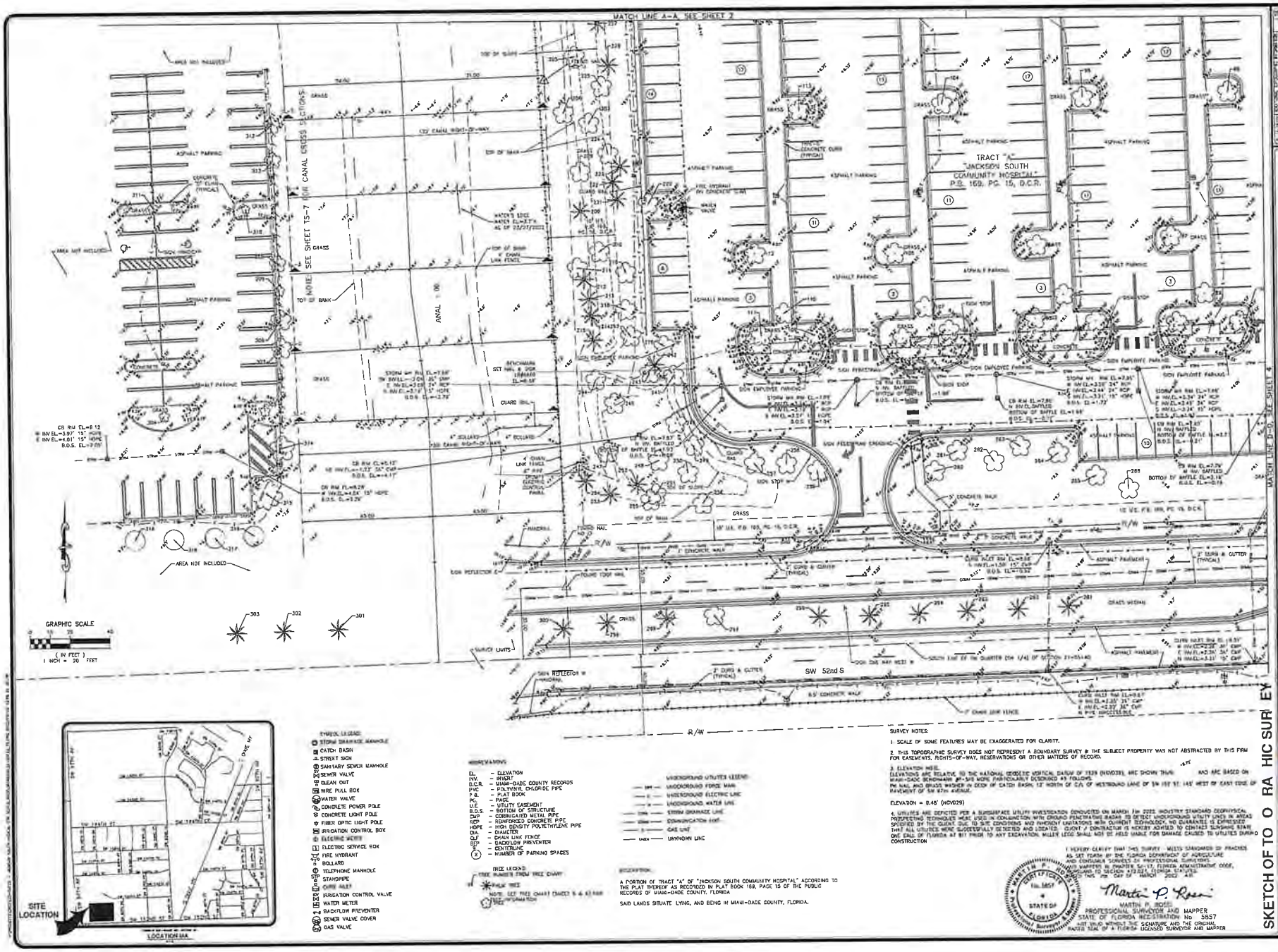
TO THE BEST OF MY KNOWLEDGE AND ABILITY THESE DRAWINGS COMPLY WITH THE MINIMUM STANDARDS OF THE FLORIDA BUILDING CODE 7TH EDITION (2020)

Moving on from building ordinary.



SYMBOL LEGEND:

- STORM DRAINAGE MANHOLE
- CATCH BASIN
- STREET SIGN
- SANITARY SEWER MANHOLE
- SEWER VALVE
- CLEAN OUT
- WRE PULL BOX
- WATER VALVE
- CONCRETE POWER POLE
- CONCRETE LIGHT POLE
- FIBER OPTIC LIGHT POLE
- IRRIGATION CONTROL BOX
- ELECTRIC METER
- ELECTRIC SERVICE BOX
- FIRE HYDRANT
- BOLLARD
- TELEPHONE MANHOLE
- STANDPIPE
- CURB INLET
- IRRIGATION CONTROL VALVE
- WATER METER
- BACKFLOW PREVENTER
- SEWER VALVE COVER
- GAS VALVE

ABBREVIATIONS

EL.	- ELEVATION
INV.	- INVERT
D.C.R.	- MIAMI-DADE COUNTY RECORDS
PVC	- POLYVINYL CHLORIDE PIPE
P.B.	- PLAT BOOK
PG.	- PAGE
U.E.	- UTILITY EASEMENT
B.O.S.	- BOTTOM OF STRUCTURE
CMP	- CORRUGATED METAL PIPE
RCP	- REINFORCED CONCRETE PIPE
HDPE	- HIGH DENSITY POLYETHYLENE PIPE
DIA.	- DIAMETER
C.L.F.	- CHAIN LINK FENCE
B.P.	- BACKFLOW PREVENTER
℄	- CENTERLINE
(X)	- NUMBER OF PARKING SPACES

TREE LEGEND

TREE NUMBER FROM TREE CHART

PALM TREE

NOTE: SEE TREE CHART CHARGES 5 & 6 FOR INFORMATION

UNDERGROUND UTILITIES LEGEND:

- UNDERGROUND FORCE MAIN
- UNDERGROUND ELECTRIC LINE
- UNDERGROUND WATER LINE
- STORM DRAINAGE LINE
- COMMUNICATION LINE
- GAS LINE
- UNKNOWN LINE

DESCRIPTION:

A PORTION OF TRACT "A" OF "JACKSON SOUTH COMMUNITY HOSPITAL" ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 169, PAGE 15 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA

SAID LANDS SITUATE LYING, AND BEING IN MIAMI-DADE COUNTY, FLORIDA.

SURVEY NOTES:

1. SCALE OF SOME FEATURES MAY BE EXAGGERATED FOR CLARITY.

2. THIS TOPOGRAPHIC SURVEY DOES NOT REPRESENT A BOUNDARY SURVEY & THE SUBJECT PROPERTY WAS NOT ABSTRACTED BY THIS FIRM FOR EASEMENTS, RIGHTS-OF-WAY, RESERVATIONS OR OTHER MATTERS OF RECORD.

3. ELEVATION NOTE:
ELEVATIONS ARE RELATIVE TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29), ARE SHOWN THUS: 8.48' AND ARE BASED ON MIAMI-DADE BENCHMARK #P-549 MORE PARTICULARLY DESCRIBED AS FOLLOWS
PK NAIL AND BRASS WASHER IN DECK OF CATCH BASIN, 12' NORTH OF C/L OF WESTBOUND LANE OF SW 152 ST. 145' WEST OF EAST EDGE OF PAVEMENT OF SW 67TH AVENUE.

ELEVATION = 8.48' (NGVD29)

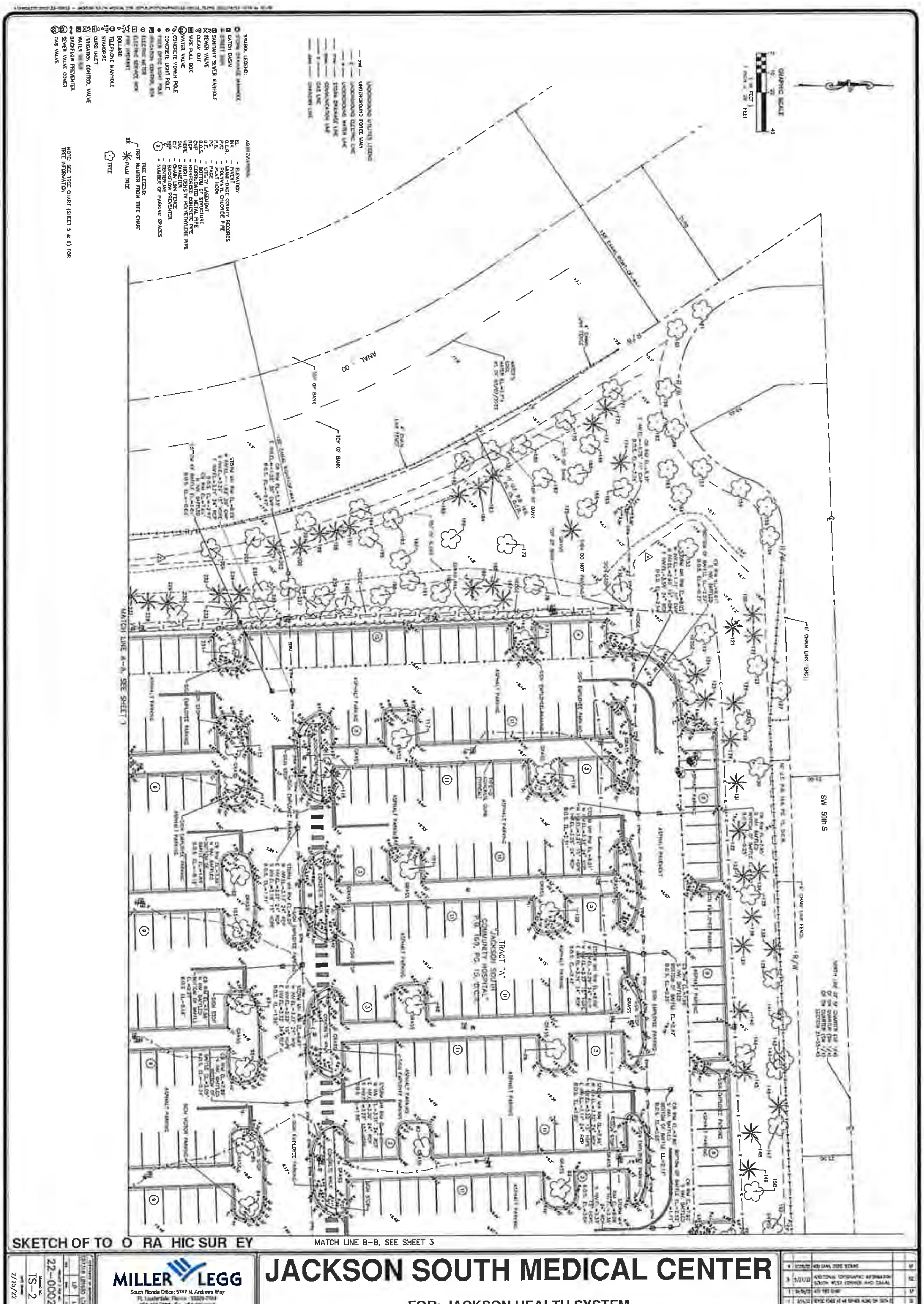
4. UTILITIES ARE DEPICTED PER A SUBSURFACE UTILITY INVESTIGATION CONDUCTED ON MARCH 7TH 2022. INDUSTRY STANDARD GEOPHYSICAL PROSPECTING TECHNIQUES WERE USED IN CONJUNCTION WITH GROUND PENETRATING RADAR TO DETECT UNDERGROUND UTILITY LINES IN AREAS SPECIFIED BY THE CLIENT DUE TO SITE CONDITIONS AND INHERENT LIMITATIONS WITH CURRENT TECHNOLOGY, NO GUARANTEE IS EXPRESSED THAT ALL UTILITIES WERE SUCCESSFULLY DETECTED AND LOCATED. CLIENT / CONTRACTOR IS HEREBY ADVISED TO CONTACT SUNSHINE STATE ONE CALL OF FLORIDA AT 811 PRIOR TO ANY EXCAVATION. MILLER LEGG SHALL NOT BE HELD LIABLE FOR DAMAGE CAUSED TO UTILITIES DURING CONSTRUCTION

I HEREBY CERTIFY THAT THIS SURVEY MEETS STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES IN PROFESSIONAL SURVEYING, AND MAPPING IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.
THIS 7TH DAY OF MARCH 2022 A.D.

Martin P. Rossi

MARTIN P. ROSSI
PROFESSIONAL SURVEYOR AND MAPPER
STATE OF FLORIDA REGISTRATION No 5857
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

MDC030


SKETCH OF TO O RA HIC SUR EY
MATCH LINE B–B, SEE SHEET 3
JACKSON SOUTH MEDICAL CENTER
FOR: JACKSON HEALTH SYSTEM
MILLER LEGG
22–00022
TS–2
2/25/22
SW 50th S
TRACT "A"
"JACKSON SOUTH COMMUNITY HOSPITAL"
P.B. 169, PG. 15, D.C.R.
MATCH LINE A–A, SEE SHEET 1
ASPHALT PARKING
GRAPHIC SCALE
SYMBOL LEGEND:
UNDERGROUND UTILITIES LEGEND
ABBREVIATIONS
TREE LEGEND:
NOTE: SEE TREE CHART (SHEET 5 & 6) FOR TREE INFORMATION

MDC031

Tree_ID	Common_Name	Species	DBH	Multi_trunk	Height	Spread	Trunks	General_Co	Condition_1	Condition2	Condition3
1	Mahogany	*Swietenia mahagoni*	22	No	42	30	1	Fair	Co-Dominant Leaders	Limb Damage - Minor	Apical Dieback
2	Mahogany	*Swietenia mahagoni*	16	No	36	30	1	Fair	Co-Dominant Leaders	Limb Damage - Minor	Apical Dieback
3	Mahogany	*Swietenia mahagoni*	10	No	30	24	1	Fair	Lopsided	Limb Damage - Minor	
4	Gumbo Limbo	*Bursera simaruba*	20	No	32	36	1	Fair	Co-Dominant Leaders	Bent Leader	Limb Damage - Minor
5	Gumbo Limbo	*Bursera simaruba*	20	No	30	36	1	Fair	Co-Dominant Leaders	Bent Leader	Limb Damage - Minor
6	Mahogany	*Swietenia mahagoni*	14	No	38	34	1	Fair	Co-Dominant Leaders	Bent Leader	Limb Damage - Minor
7	Mahogany	*Swietenia mahagoni*	15	No	42	40	1	Fair	Co-Dominant Leaders	Lopsided	Limb Damage - Minor
8	Mahogany	*Swietenia mahagoni*	15	No	42	34	1	Fair	Bent Leader	Limb Damage - Minor	
9	Mahogany	*Swietenia mahagoni*	10	No	40	30	1	Poor	Co-Dominant Leaders	Apical Dieback	Poor Structure
10	Mahogany	*Swietenia mahagoni*	12	No	38	30	1	Poor	Co-Dominant Leaders	Apical Dieback	Poor Structure
11	Mahogany	*Swietenia mahagoni*	18	No	42	38	1	Fair	Co-Dominant Leaders	Slight Lean	Apical Dieback
12	Mahogany	*Swietenia mahagoni*	17	No	44	34	1	Fair	Co-Dominant Leaders	Slight Lean	Apical Dieback
13	Mahogany	*Swietenia mahagoni*	14	No	40	36	1	Fair	Co-Dominant Leaders	Bent Leader	Lopsided
14	Cabbage Palm	*Sabal palmetto*	18	No	14	14	1	Good			
15	Mahogany	*Swietenia mahagoni*	14	No	34	36	1	Fair	Co-Dominant Leaders	Bent Leader	Lopsided
16	Gumbo Limbo	*Bursera simaruba*	23	No	36	40	1	Fair	Co-Dominant Leaders	Bent Leader	Apical Dieback
17	Gumbo Limbo	*Bursera simaruba*	17	No	32	36	1	Fair	Co-Dominant Leaders	Limb Damage - Minor	Apical Dieback
18	Mahogany	*Swietenia mahagoni*	14	No	48	44	1	Fair	Co-Dominant Leaders	Apical Dieback	Strangler Fig Trunk
19	Mahogany	*Swietenia mahagoni*	22	No	42	38	1	Fair	Co-Dominant Leaders	Apical Dieback	Limb Damage - Minor
20	Mahogany	*Swietenia mahagoni*	20	No	44	36	1	Fair	Co-Dominant Leaders	Limb Damage - Minor	Slight Lean
21	Mahogany	*Swietenia mahagoni*	23	No	40	44	1	Fair	Co-Dominant Leaders	Limb Damage - Minor	Constricted Roots
22	Mahogany	*Swietenia mahagoni*	20	No	40	44	1	Fair	Co-Dominant Leaders	Limb Damage - Minor	Apical Dieback
23	Mahogany	*Swietenia mahagoni*	24	No	38	40	1	Fair	Co-Dominant Leaders	Limb Damage - Minor	Constricted Roots
24	Mahogany	*Swietenia mahagoni*	19	No	38	36	1	Fair	Co-Dominant Leaders	Limb Damage - Minor	Constricted Roots
25	Mahogany	*Swietenia mahagoni*	22	No	44	40	1	Fair	Co-Dominant Leaders	Limb Damage - Minor	Constricted Roots
26	Mahogany	*Swietenia mahagoni*	20	No	42	34	1	Fair	Co-Dominant Leaders	Limb Damage - Minor	Constricted Roots
27	Mahogany	*Swietenia mahagoni*	24	No	44	38	1	Fair	Co-Dominant Leaders	Limb Damage - Minor	Lopsided
28	Mahogany	*Swietenia mahagoni*	22	No	42	38	1	Fair	Co-Dominant Leaders	Limb Damage - Minor	Lopsided
29	Mahogany	*Swietenia mahagoni*	22	No	40	42	1	Good	Co-Dominant Leaders	Limb Damage - Minor	
30	Mahogany	*Swietenia mahagoni*	16	No	34	36	1	Good	Co-Dominant Leaders	Limb Damage - Minor	Slight Lean
31	Mahogany	*Swietenia mahagoni*	21	No	38	40	1	Fair	Co-Dominant Leaders	Limb Damage - Minor	Apical Dieback
32	Mahogany	*Swietenia mahagoni*	24	No	40	40	1	Poor	Co Dominant Leaders	Included Bark	Trunk Damage - Minor
33	Mahogany	*Swietenia mahagoni*	20	No	38	34	1	Fair	Co-Dominant Leaders	Limb Damage - Minor	Trunk Damage - Minor
34	Mahogany	*Swietenia mahagoni*	19	No	42	40	1	Fair	Co Dominant Leaders	Limb Damage - Minor	Trunk Damage - Minor
35	Green Buttonwood	*Conocarpus erectus*	18	No	36	30	1	Fair	Co-Dominant Leaders		
36	Green Buttonwood	*Conocarpus erectus*	14	No	30	24	1	Fair	Bent Leader	Lopsided	Slight Lean
37	Green Buttonwood	*Conocarpus erectus*	16	No	34	30	1	Fair	Co-Dominant Leaders	Bent Leader	Lopsided
38	Cabbage Palm	*Sabal palmetto*	13	No	20	14	1	Good			
39	Cabbage Palm	*Sabal palmetto*	12	No	20	14	1	Good			
40	Cabbage Palm	*Sabal palmetto*	12	No	20	14	1	Good			
41	Cabbage Palm	*Sabal palmetto*	12	No	20	14	1	Good			
42	Cabbage Palm	*Sabal palmetto*	10	No	20	14	1	Good	Bent Trunk		
43	Cabbage Palm	*Sabal palmetto*	10	No	22	14	1	Good			
44	Cabbage Palm	*Sabal palmetto*	12	No	20	14	1	Good	Leaning		
45	Live Oak	*Quercus virginiana*	6	No	24	20	1	Good			
46	Green Buttonwood	*Conocarpus erectus*	14	No	28	30	1	Good	Co-Dominant Leaders	Bent Leader	
47	Green Buttonwood	*Conocarpus erectus*	14	No	28	30	1	Good	Co Dominant Leaders	Bent Leader	
48	Cabbage Palm	*Sabal palmetto*	14	No	20	14	1	Good			
49	Cabbage Palm	*Sabal palmetto*	14	No	20	14	1	Good			
50	Cabbage Palm	*Sabal palmetto*	15	No	18	14	1	Good			
51	Cabbage Palm	*Sabal palmetto*	14	No	18	15	1	Good			
52	Cabbage Palm	*Sabal palmetto*	16	No	14	15	1	Good			
53	Cabbage Palm	*Sabal palmetto*	14	No	20	16	1	Good			
54	Live Oak	*Quercus virginiana*	8	No	20	20	1	Good	Slight Lean	Sprouting	
55	Live Oak	*Quercus virginiana*	8	No	20	20	1	Good	Slight Lean	Sprouting	
56	Live Oak	*Quercus virginiana*	8	No	22	20	1	Good	Slight Lean	Sprouting	
57	Live Oak	*Quercus virginiana*	8	No	22	20	1	Good	Leaning - Minor	Sprouting	
58	Cabbage Palm	*Sabal palmetto*	12	No	22	14	1	Good			
59	Cabbage Palm	*Sabal palmetto*	13	No	18	14	1	Good	Bent Trunk		
60	Cabbage Palm	*Sabal palmetto*	12	No	24	16	1	Good	Bent Trunk		
61	Cabbage Palm	*Sabal palmetto*	10	No	20	14	1	Good	Bent Trunk		
62	Cabbage Palm	*Sabal palmetto*	14	No	18	14	1	Good			
63	Live Oak	*Quercus virginiana*	8	No	26	24	1	Good	Leaning - Minor	Sprouting	
64	Live Oak	*Quercus virginiana*	10	No	26	30	1	Good	Leaning - Minor	Sprouting	
65	Paurotis Palm	*Acoelorrhaphe Wrightii*	14	Yes	6	18	1	Good			
66	Bald Cypress	*Taxodium distichum*	3	No	8	8	1	Fair	Limb Damage - Minor		
67	Bald Cypress	*Taxodium distichum*	10	No	28	20	1	Good	Slight Lean		
68	Bald Cypress	*Taxodium distichum*	13	No	35	24	1	Good			
69	Bald Cypress	*Taxodium distichum*	14	No	36	24	1	Good			
70	Bald Cypress	*Taxodium distichum*	10	No	24	16	1	Good			
71	Bald Cypress	*Taxodium distichum*	6	No	18	14	1	Good			
72	Bald Cypress	*Taxodium distichum*	4	No	18	14	1	Good			
73	Bald Cypress	*Taxodium distichum*	3	No	18	14	1	Fair	Apical Dieback		
74	Live Oak	*Quercus virginiana*	8	No	24	26	1	Good	Limb Damage - Minor		
75	Live Oak	*Quercus virginiana*	8	No	24	26	1	Good	Limb Damage - Minor		
76	Live Oak	*Quercus virginiana*	10	No	32	26	1	Fair	Co-Dominant Leaders	Included Bark	
77	Live Oak	*Quercus virginiana*	6	No	18	20	1	Good			
78	Live Oak	*Quercus virginiana*	7	No	24	22	1	Good			
79	Live Oak	*Quercus virginiana*	10	No	22	22	1	Good			
80	Live Oak	*Quercus virginiana*	8	No	18	20	1	Good			
81	Live Oak	*Quercus virginiana*	16	No	38	40	1	Good	Limb Damage - Minor		
82	Live Oak	*Quercus virginiana*	10	No	20	24	1	Good			

Tree_ID	Common_Name	Species	DBH	Multi_trunk	Height	Spread	Trunks	General_Co	Condition_1	Condition2	Condition3
83	Live Oak	*Quercus virginiana*	12	No	30	28	1	Good			
84	Live Oak	*Quercus virginiana*	5	No	18	12	1	Fair	Apical Dieback		
85	Live Oak	*Quercus virginiana*	8	No	20	22	1	Good	Slight Lean		
86	Live Oak	*Quercus virginiana*	4	No	16	12	1	Good			
87	Live Oak	*Quercus virginiana*	5	No	18	14	1	Good	Slight Lean		
88	Bald Cypress	*Taxodium distichum*	10	No	24	16	1	Good			
89	Bald Cypress	*Taxodium distichum*	6	No	16	12	1	Fair	Trunk Damage - Minor	Slight Lean	
90	Bald Cypress	*Taxodium distichum*	8	No	28	16	1	Good	Slight Lean		
91	Bald Cypress	*Taxodium distichum*	10	No	24	20	1	Good			
92	Bald Cypress	*Taxodium distichum*	3	No	14	10	1	Good			
93	Bald Cypress	*Taxodium distichum*	8	No	20	18	1	Good			
94	Live Oak	*Quercus virginiana*	5	No	18	20	1	Good			
95	Live Oak	*Quercus virginiana*	6	No	18	20	1	Good			
96	Live Oak	*Quercus virginiana*	8	No	24	22	1	Good			
97	Live Oak	*Quercus virginiana*	7	No	24	22	1	Good			
98	Live Oak	*Quercus virginiana*	10	No	20	34	1	Good	Slight Lean		
99	Live Oak	*Quercus virginiana*	12	No	18	30	1	Good			
100	Live Oak	*Quercus virginiana*	11	No	28	30	1	Good			
101	Live Oak	*Quercus virginiana*	13	No	20	24	1	Fair	Apical Dieback		
102	Live Oak	*Quercus virginiana*	12	No	22	24	1	Fair	Apical Dieback		
103	Live Oak	*Quercus virginiana*	10	No	20	24	1	Fair	Apical Dieback		
104	Live Oak	*Quercus virginiana*	6	No	18	20	1	Good			
105	Live Oak	*Quercus virginiana*	8	No	12	24	1	Good			
106	Bald Cypress	*Taxodium distichum*	6	No	22	16	1	Good	Co-Dominant Leaders		
107	Bald Cypress	*Taxodium distichum*	8	No	24	18	1	Good			
108	Bald Cypress	*Taxodium distichum*	10	No	30	24	1	Good			
109	Bald Cypress	*Taxodium distichum*	10	No	30	24	1	Good			
110	Bald Cypress	*Taxodium distichum*	14	No	32	28	1	Good			
111	Bald Cypress	*Taxodium distichum*	12	No	30	20	1	Good			
112	Live Oak	*Quercus virginiana*	8	No	26	24	1	Good			
113	Live Oak	*Quercus virginiana*	6	No	18	20	1	Good			
114	Live Oak	*Quercus virginiana*	8	No	24	26	1	Good			
115	Live Oak	*Quercus virginiana*	12	No	28	30	1	Good	Co-Dominant Leaders		
116	Pigeon Plum	*Coccoloba diversifolia*	5	No	16	14	1	Fair	Yellow Foliage	Limb Damage - Minor	
117	Live Oak	*Quercus virginiana*	10	No	24	30	1	Good			
118	Live Oak	*Quercus virginiana*	12	No	26	30	1	Good			
119	Golden Rain Tree	*Koelreuteria paniculata*	2	No	6	6	1	Very Poor	Apical Dieback	Limb Damage - Major	Bent Leader
120	Cabbage Palm	*Sabal palmetto*	12	No	24	14	1	Good			
121	Cabbage Palm	*Sabal palmetto*	12	No	24	14	1	Good			
122	Cabbage Palm	*Sabal palmetto*	12	No	30	14	1	Good			
123	Pigeon Plum	*Coccoloba diversifolia*	3	No	18	14	1	Very Poor	Apical Dieback	Limb Damage - Major	
124	Washingtonia Palm	*Washingtonia robusta*	12	No	24	14	1	Good	Bent Trunk		
125	Washingtonia Palm	*Washingtonia robusta*	12	No	32	14	1	Good	Bent Trunk		
126	Washingtonia Palm	*Washingtonia robusta*	12	No	30	14	1	Good	Bent Trunk		
127	Mahogany	*Swietenia mahagoni*	12	No	32	28	1	Fair	Lopsided	Limb Damage - Minor	
128	Golden Rain Tree	*Koelreuteria paniculata*	6	No	24	28	1	Very Poor	Apical Dieback	Limb Damage - Major	Leaning - Minor
129	Cabbage Palm	*Sabal palmetto*	14	No	20	16	1	Good			
130	Mahogany	*Swietenia mahagoni*	10	No	28	30	1	Fair	Bent Leader	Limb Damage - Minor	
131	Cabbage Palm	*Sabal palmetto*	14	No	18	16	1	Good	Tapered Trunk		
132	Cabbage Palm	*Sabal palmetto*	14	No	22	16	1	Good	Tapered Trunk		
133	Cabbage Palm	*Sabal palmetto*	14	No	20	16	1	Fair	Bent Trunk	Tapered Trunk	
134	Washingtonia Palm	*Washingtonia robusta*	16	No	4	12	1	Fair	Tapered Trunk	Trunk Damage	
135	Mahogany	*Swietenia mahagoni*	12	No	38	30	1	Fair	Lopsided	Yellow Foliage	Limb Damage - Minor
136	Cabbage Palm	*Sabal palmetto*	14	No	20	14	1	Good	Bent Trunk		
137	Cabbage Palm	*Sabal palmetto*	12	No	18	14	1	Fair	Bent Trunk	Tapered Trunk	
138	Coconut Palm	*Cocos nucifera*	6	No	8	14	1	Good			
139	Mahogany	*Swietenia mahagoni*	14	No	42	26	1	Fair	Co-Dominant Leaders	Limb Damage - Minor	Lopsided
140	Cabbage Palm	*Sabal palmetto*	11	No	22	14	1	Fair	Bent Trunk		
141	Gumbo Limbo	*Bursera simaruba*	4	No	20	12	1	Poor	Mostly Defoliated	Limb Damage - Minor	Yellow Foliage
142	Gumbo Limbo	*Bursera simaruba*	10	No	24	20	1	Poor	Mostly Defoliated	Limb Damage - Minor	Yellow Foliage
143	Mahogany	*Swietenia mahagoni*	8	No	28	20	1	Poor	Mostly Defoliated	Brown Foliage	Apical Dieback
144	Mahogany	*Swietenia mahagoni*	18	No	30	36	1	Fair	Lopsided	Co-Dominant Leaders	Apical Dieback
145	Cabbage Palm	*Sabal palmetto*	12	No	18	14	1	Good	Tapered Trunk		
146	Washingtonia Palm	*Washingtonia robusta*	14	No	36	16	1	Good			
147	Mahogany	*Swietenia mahagoni*	16	No	44	40	1	Good	Limb Damage - Minor		
148	Cabbage Palm	*Sabal palmetto*	14	No	20	14	1	Fair	Bent Trunk	Tapered Trunk	
149	Cabbage Palm	*Sabal palmetto*	14	No	20	14	1	Fair	Bent Trunk	Tapered Trunk	
150	Mahogany	*Swietenia mahagoni*	14	No	26	24	1	Poor	Lopsided	Bent Leader	Limb Damage - Major
151	Live Oak	*Quercus virginiana*	8	No	24	20	1	Poor	Lopsided	Bent Leader	Limb Damage Major
152	Mahogany	*Swietenia mahagoni*	12	No	36	38	1	Fair	Yellow Foliage	Slight Lean	Limb Damage - Minor
153	NA	#N/A									
154	Green Buttonwood	*Conocarpus erectus*	16	No	28	26	1	Fair	Limb Damage - Minor	Co-Dominant Leaders	
155	Paradise Tree	*Simarouba glauca*	18	No	24	22	1	Fair	Slight Lean	Limb Damage - Minor	
156	Bald Cypress	*Taxodium distichum*	4	No	20	16	1	Good			
157	Bald Cypress	*Taxodium distichum*	4	No	18	16	1	Good			
158	Silk Floss Tree	*Ceiba speciosa*	20	No	36	50	1	Good			
159	Live Oak	*Quercus virginiana*	12	No	24	20	1	Fair	Slight Lean	Sprouting	
160	Mahogany	*Swietenia mahagoni*	14	No	18	24	1	Poor	Trunk Damage - Major	Hat Racked	
161	Green Buttonwood	*Conocarpus erectus*	18	No	28	30	1	Good	Co Dominant Leaders		
162	Pink Tabebuia	*Tabebuia heterophylla*	5	No	16	24	1	Good			
163	Pink Tabebuia	*Tabebuia heterophylla*	5	No	18	24	1	Good			
164	Bald Cypress	*Taxodium distichum*	2	No	16	8	1	Good			
165	Bald Cypress	*Taxodium distichum*	4	No	20	14	1	Good			

NOTE: SEE SHEETS 1 THROUGH 4 FOR TOPOGRAPHIC SURVEY

SKETCH OF TO O RA HIC SUR EY

JACKSON SOUTH MEDICAL CENTER

FOR: JACKSON HEALTH SYSTEM

MILLER LEGG
South Florida Office 5747 N Andrews Way
Ft. Lauderdale, Florida 33309-2364

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TS-5

MDC032

Tree_ID	Common_Name	Species	DBH	Multi_trunk	Height	Spread	Trunks	General_Co	Condition_1	Condition2	Condition3
166	Bald Cypress	*Taxodium distichum*	4	No	20	14	1	Good			
167	Bald Cypress	*Taxodium distichum*	4	No	20	14	1	Good			
168	Green Buttonwood	*Conocarpus erectus*	12	No	24	18	1	Good			
169	Green Buttonwood	*Conocarpus erectus*	10	No	28	18	1	Poor	Partially Uprooted	Apical Dieback	Limb Damage - Minor
170	Live Oak	*Quercus virginiana*	12	No	30	30	1	Good			
171	Gumbo Limbo	*Bursera simaruba*	16	No	24	18	1	Fair	Co-Dominant Leaders	Partially Defoliated	Apical Dieback
172	Cabbage Palm	*Sabal palmetto*	14	No	22	14	1	Good	Bent Trunk	Tapered Trunk	
173	Cabbage Palm	*Sabal palmetto*	14	No	22	14	1	Good			
174	Cabbage Palm	*Sabal palmetto*	14	No	22	14	1	Good			
175	Cabbage Palm	*Sabal palmetto*	14	No	22	14	1	Good			
176	Golden Rain Tree	*Koelreuteria paniculata*	8	No	24	20	1	Fair	Partially Defoliated	Limb Damage - Minor	Apical Dieback
177	Live Oak	*Quercus virginiana*	6	No	20	24	1	Good			
178	Pink Tabebuia	*Tabebuia heterophylla*	12	No	28	30	1	Fair	Co-Dominant Leaders	Limb Damage - Minor	
179	Pink Tabebuia	*Tabebuia heterophylla*	5	No	18	16	1	Fair	Slight Lean	Limb Damage - Minor	
180	Gumbo Limbo	*Bursera simaruba*	6	Yes	12	12	7	Very Poor	Co-Dominant Leaders	Limb Damage - Major	Poor Structure
181	Live Oak	*Quercus virginiana*	14	No	24	24	1	Good			
182	Live Oak	*Quercus virginiana*	12	No	20	24	1	Good			
183	Cabbage Palm	*Sabal palmetto*	14	No	22	14	1	Good			
184	Cabbage Palm	*Sabal palmetto*	14	No	26	14	1	Good	Bent Trunk		
185	Cabbage Palm	*Sabal palmetto*	14	No	18	14	1	Good	Bent Trunk		
186	Pink Tabebuia	*Tabebuia heterophylla*	7	No	16	18	1	Good			
187	Washingtonia Palm	*Washingtonia robusta*	12	No	40	12	1	Good	Bent Trunk		
188	Washingtonia Palm	*Washingtonia robusta*	16	No	40	12	1	Good	Bent Trunk		
189	Washingtonia Palm	*Washingtonia robusta*	16	No	40	12	1	Good	Bent Trunk		
190	Sea Grape	*Coccoloba uvifera*	5	No	18	16	1	Good	Bent Leader	Remove Brace	
191	Bald Cypress	*Taxodium distichum*	5	No	16	16	1	Good			
192	Bald Cypress	*Taxodium distichum*	5	No	16	16	1	Good			
193	Black Olive	*Bucida buceras*	18	No	40	38	1	Fair	Bent Leader	Slight Lean	
194	Live Oak	*Quercus virginiana*	8	No	38	34	1	Fair	Lopsided	Limb Damage - Minor	
195	Bald Cypress	*Taxodium distichum*	4	No	20	18	1	Good			
196	Tropical Almond	*Terminalia catappa*	8	No	18	26	1	Good			
197	Cabbage Palm	*Sabal palmetto*	12	No	20	12	1	Good			
198	Cabbage Palm	*Sabal palmetto*	12	No	20	12	1	Good			
199	Cabbage Palm	*Sabal palmetto*	12	No	20	12	1	Good			
200	Cabbage Palm	*Sabal palmetto*	12	No	20	12	1	Good			
201	Live Oak	*Quercus virginiana*	10	No	28	24	1	Good			
202	Royal Palm	*Roystonea elata*	18	No	42	16	1	Fair	Tapered Trunk		
203	Live Oak	*Quercus virginiana*	14	No	30	28	1	Good			
204	Live Oak	*Quercus virginiana*	12	No	30	28	1	Good			
205	Black Olive	*Bucida buceras*	24	No	36	48	1	Good	Co-Dominant Leaders	Limb Damage - Minor	
206	Live Oak	*Quercus virginiana*	8	No	30	28	1	Good	Lopsided	Limb Damage - Minor	
207	Bald Cypress	*Taxodium distichum*	5	No	28	24	1	Good			
208	Live Oak	*Quercus virginiana*	12	No	30	26	1	Good			
209	Senegal Date Palm	*Phoenix roebelinii*	18	Yes	24	20	10	Fair	Trunk Damage		
210	Bald Cypress	*Taxodium distichum*	5	No	20	18	1	Good			
211	Bald Cypress	*Taxodium distichum*	5	No	20	18	1	Good			
212	Royal Palm	*Roystonea elata*	16	No	36	16	1	Good			
213	Royal Palm	*Roystonea elata*	16	No	36	16	1	Good			
214	Royal Palm	*Roystonea elata*	16	No	36	16	1	Good			
215	Royal Palm	*Roystonea elata*	16	No	36	16	1	Good			
216	Bald Cypress	*Taxodium distichum*	10	No	20	18	1	Good			
217	Bald Cypress	*Taxodium distichum*	10	No	30	18	1	Good			
218	Bald Cypress	*Taxodium distichum*	10	No	20	18	1	Good			
219	Pigeon Plum	*Coccoloba diversifolia*	4	No	16	16	1	Very Poor	Mostly Defoliated	Apical Dieback	Yellow Foliage
220	Live Oak	*Quercus virginiana*	10	No	24	24	1	Good	Slight Lean		
221	Cabbage Palm	*Sabal palmetto*	12	No	20	14	1	Good			
222	Cabbage Palm	*Sabal palmetto*	12	No	30	14	1	Good			
223	Cabbage Palm	*Sabal palmetto*	12	No	20	14	1	Good			
224	Pink Tabebuia	*Tabebuia heterophylla*	6	Yes	18	16	2	Fair	Co-Dominant Leaders	Slight Lean	
225	Bald Cypress	*Taxodium distichum*	5	No	18	18	1	Good			
226	Cabbage Palm	*Sabal palmetto*	12	No	28	14	1	Good			
227	Cabbage Palm	*Sabal palmetto*	11	No	24	14	1	Good	Bent Trunk		
228	Cabbage Palm	*Sabal palmetto*	12	No	24	14	1	Good	Bent Trunk		
229	Cabbage Palm	*Sabal palmetto*	10	No	18	14	1	Good	Bent Trunk		
230	Pink Tabebuia	*Tabebuia heterophylla*	10	No	30	24	1	Fair	Slight Lean	Remove Brace	Partially Uprooted
231	Live Oak	*Quercus virginiana*	8	No	24	20	1	Good			
232	Cabbage Palm	*Sabal palmetto*	10	No	22	14	1	Good			
233	Cabbage Palm	*Sabal palmetto*	10	No	22	14	1	Good			
234	Cabbage Palm	*Sabal palmetto*	12	No	16	14	1	Good	Bent Trunk		
235	Pigeon Plum	*Coccoloba diversifolia*	3	No	18	14	1	Very Poor	Apical Dieback	Mostly Defoliated	Yellow Foliage
236	Pink Tabebuia	*Tabebuia heterophylla*	4	No	24	20	1	Fair	Slight Lean		
237	Pink Tabebuia	*Tabebuia heterophylla*	3	No	16	12	1	Fair	Slight Lean		
238	Orange Geiger	*Cordia sebestena*	4	No	12	16	1	Poor	Leaning - Major	Needs Support	
239	Silk Floss Tree	*Ceiba speciosa*	14	No	18	20	1	Fair	Apical Dieback	Partially Defoliated	
240	Orange Geiger	*Cordia sebestena*	3	No	10	16	1	Poor	Leaning - Minor	Needs Support	
241	Bald Cypress	*Taxodium distichum*	8	No	20	16	1	Good			
242	Washingtonia Palm	*Washingtonia robusta*	14	No	36	12	1	Good			
243	Bald Cypress	*Taxodium distichum*	9	No	22	16	1	Good			
244	Bald Cypress	*Taxodium distichum*	9	No	22	16	1	Good			
245	Bald Cypress	*Taxodium distichum*	5	No	18	12	1	Good			
246	Bald Cypress	*Taxodium distichum*	8	No	20	14	1	Good			
247	Bald Cypress	*Taxodium distichum*	10	No	24	18	1	Good			
248	Bald Cypress	*Taxodium distichum*	6	No	18	14	1	Good	Slight Lean		
249	Bald Cypress	*Taxodium distichum*	4	No	16	12	1	Good			
250	Bald Cypress	*Taxodium distichum*	5	No	14	10	1	Good	Bent Leader		

Tree_ID	Common_Name	Species	DBH	Multi_trunk	Height	Spread	Trunks	General_Co	Condition_1	Condition2	Condition3
251	Hong Kong Orchid	*Bauhinia blakeana*	14	No	30	34	1	Fair	Co-Dominant Leaders	Limb Damage - Major	
252	Royal Palm	*Roystonea elata*	16	No	38	16	1	Good			
253	Royal Palm	*Roystonea elata*	14	No	38	16	1	Good	Tapered Trunk		
254	Royal Palm	*Roystonea elata*	16	No	38	16	1	Fair	Tapered Trunk		
255	Pigeon Plum	*Coccoloba diversifolia*	6	No	18	20	1	Fair	Co-Dominant Leaders	Limb Damage - Minor	
256	Orange Geiger	*Cordia sebestena*	2	No	8	6	1	Fair	Slight Lean	Apical Dieback	
257	Royal Poinciana	*Delonix regia*	15	No	24	40	1	Fair	Co-Dominant Leaders	Bent Leader	
258	Live Oak	*Quercus virginiana*	10	No	24	28	1	Good	Slight Lean	Limb Damage - Minor	
259	Pink Tabebuia	*Tabebuia heterophylla*	4	No	18	12	1	Fair	Slight Lean	Apical Dieback	Partially Defoliated
260	Mahogany	*Swietenia mahagoni*	10	No	30	30	1	Fair	Limb Damage - Minor	Apical Dieback	Partially Defoliated
261	Mahogany	*Swietenia mahagoni*	16	No	34	32	1	Good	Limb Damage - Minor		
262	Mahogany	*Swietenia mahagoni*	12	No	32	30	1	Good	Limb Damage - Minor		
263	Live Oak	*Quercus virginiana*	8	No	26	24	1	Good	Slight Lean		
264	Live Oak	*Quercus virginiana*	8	No	26	24	1	Good	Slight Lean		
265	Live Oak	*Quercus virginiana*	11	No	28	32	1	Good	Slight Lean		
266	Pigeon Plum	*Coccoloba diversifolia*	4	No	16	12	1	Good	Brown Foliage		
267	Live Oak	*Quercus virginiana*	8	No	24	18	1	Fair	Slight Lean	Lopsided	Sprouting
268	Live Oak	*Quercus virginiana*	10	No	28	24	1	Fair	Slight Lean	Lopsided	Sprouting
269	Live Oak	*Quercus virginiana*	9	No	26	30	1	Fair	Slight Lean	Lopsided	Sprouting
270	Royal Palm	*Roystonea elata*	30	No	40	16	1	Good	Tapered Trunk		
271	Pigeon Plum	*Coccoloba diversifolia*	6	No	18	14	1	Fair	Co-Dominant Leaders	Trunk Damage - Minor	Apical Dieback
272	Royal Palm	*Roystonea elata*	20	No	40	16	1	Good	Tapered Trunk		
273	Royal Palm	*Roystonea elata*	18	No	40	16	1	Good	Tapered Trunk		
274	Royal Palm	*Roystonea elata*	20	No	44	16	1	Good	Tapered Trunk		
275	Royal Palm	*Roystonea elata*	20	No	36	16	1	Good	Tapered Trunk		
276	Royal Palm	*Roystonea elata*	16	No	30	16	1	Good	Tapered Trunk		
277	Pigeon Plum	*Coccoloba diversifolia*	6	No	16	16	1	Fair	Co-Dominant Leaders		
278	Royal Palm	*Roystonea elata*	18	No	40	20	1	Good	Tapered Trunk		
279	Royal Palm	*Roystonea elata*	15	No	40	18	1	Good	Tapered Trunk		
280	Royal Palm	*Roystonea elata*	16	No	36	18	1	Good	Tapered Trunk		
281	Royal Palm	*Roystonea elata*	17	No	40	18	1	Good			
282	Royal Palm	*Roystonea elata*	14	No	24	18	1	Good			
283	Bald Cypress	*Taxodium distichum*	7	No	18	16	1	Good			
284	Bald Cypress	*Taxodium distichum*	7	No	18	16	1	Good			
285	Silver Buttonwood	*Conocarpus erectus var. sericeus*	8	Yes	20	20	2	Fair	Co Dominant Leaders	Bent Leader	Limb Damage - Minor
286	Bald Cypress	*Taxodium distichum*	6	No	20	16	1	Good	Limb Damage - Minor		
287	Bald Cypress	*Taxodium distichum*	8	No	20	16	1	Good	Limb Damage - Minor		
288	Bald Cypress	*Taxodium distichum*	4	No	20	16	1	Good	Limb Damage - Minor		
289	Bald Cypress	*Taxodium distichum*	8	No	20	16	1	Fair	Co-Dominant Leaders		
290	Bald Cypress	*Taxodium distichum*	4	No	20	16	1	Fair	Remove Brace		
291	Canary Date Palm	*Phoenix canariensis*	22	No	18	22	1	Good			
292	Canary Date Palm	*Phoenix canariensis*	20	No	18	22	1	Good			
293	Canary Date Palm	*Phoenix canariensis*	20	No	18	22	1	Good			
294	Canary Date Palm	*Phoenix canariensis*	20	No	18	20	1	Good			
295	Canary Date Palm	*Phoenix canariensis*	24	No	18	20	1	Good			
296	Canary Date Palm	*Phoenix canariensis*	22	No	18	20	1	Good			
297	Mahogany	*Swietenia mahagoni*	30	No	40	38	1	Poor	Co-Dominant Leaders	Adj Power Lines	Included Bark
298	Canary Date Palm	*Phoenix canariensis*	22	No	18	20	1	Good			
299	Canary Date Palm	*Phoenix canariensis*	20	No	22	18	1	Good			
300	Canary Date Palm	*Phoenix canariensis*	6	No	6	18	1	Fair	Yellow Fronds		
301	Canary Date Palm	*Phoenix canariensis*	24	No	16	20	1	Good			
302	Canary Date Palm	*Phoenix canariensis*	24	No	16	20	1	Good			
303	Canary Date Palm	*Phoenix canariensis*	24	No	16	20	1	Good			
304	Pigeon Plum	*Coccoloba diversifolia*	3	No	14	8	1	Good			
305	Pigeon Plum	*Coccoloba diversifolia*	3	No	14	8	1	Good			
306	Pitch Apple	*Clusia rosea*	4	No	16	10	1	Good			
307	Pitch Apple	*Clusia rosea*	4	No	16	10	1	Good			
308	Pitch Apple	*Clusia rosea*	4	No	16	10	1	Good			
309	Pitch Apple	*Clusia rosea*	4	No	16	10	1	Good			
310	Pigeon Plum	*Coccoloba diversifolia*	3	No	14	8	1	Good			
311	Pigeon Plum	*Coccoloba diversifolia*	3	No	14	8	1	Good			
312	Pitch Apple	*Clusia rosea*	4	No	16	10	1	Good			
313	Pitch Apple	*Clusia rosea*	4	No	16	10	1	Good			
314	Pitch Apple	*Clusia rosea*	3	No	14	10	1	Good	Remove Brace		
315	Live Oak	*Quercus virginiana*	3	No	14	6	1	Good			
316	Crepe Myrtle	*Lagerstroemia indica*	4	Yes	8	12	3	Good	Co-dominant Leaders		
316	Crepe Myrtle	*Lagerstroemia indica*	4	Yes	10	14	4	Good	Co-dominant Leaders		
316	Crepe Myrtle	*Lagerstroemia indica*	4	Yes	12	8	5	Good	Co-dominant Leaders		
319	Crepe Myrtle	*Lagerstroemia indica*	4	Yes	10	10	4	Good	Co-dominant Leaders		

NOTE: SEE SHEETS 1 THROUGH 4 FOR TOPOGRAPHIC SURVEY

SKETCH OF TO O RA HIC SUR EY

JACKSON SOUTH MEDICAL CENTER

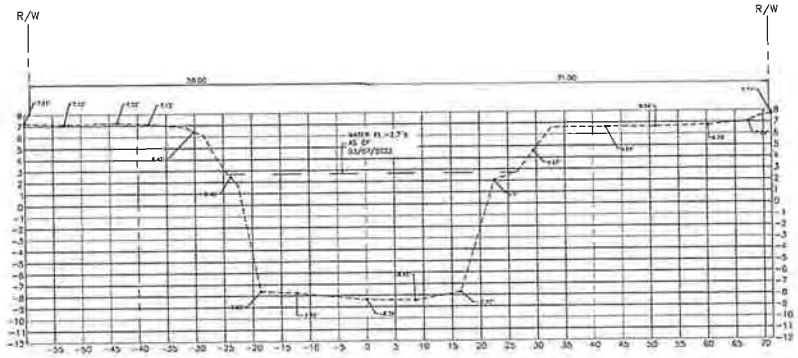
FOR: JACKSON HEALTH SYSTEM

MILLER LEGG

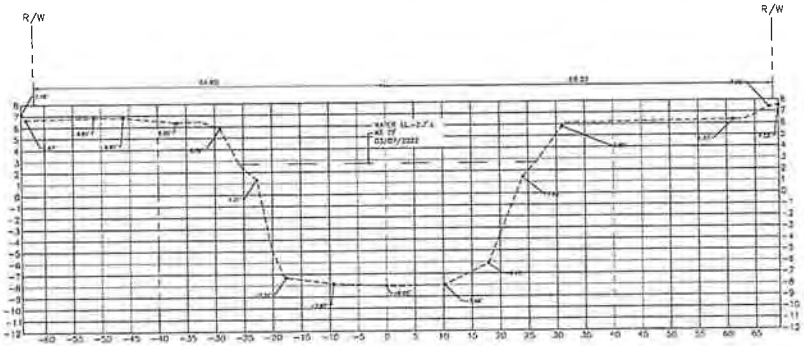
22-00022

TS-6

2/25/22



XSECTION SL-3
LOOKING NORTH



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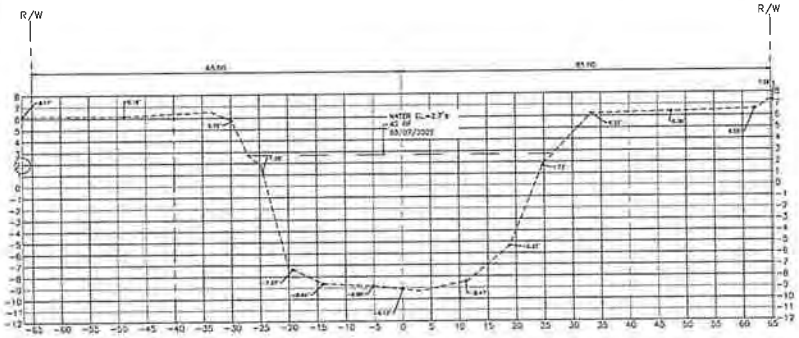
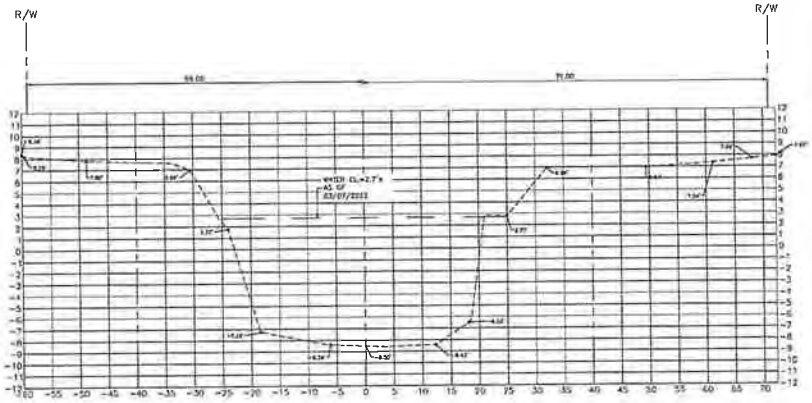
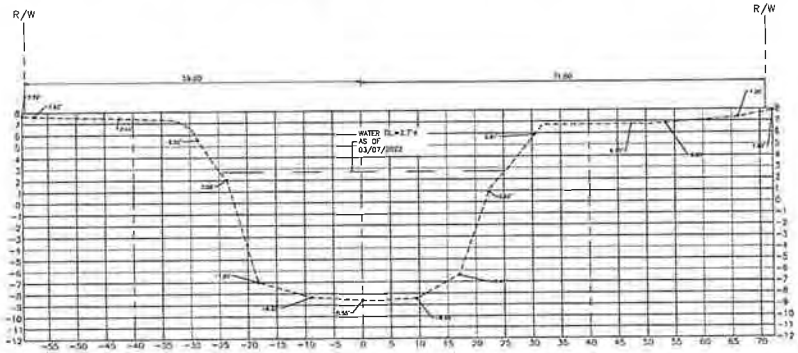


XSECTION SL-1
LOOKING NORTH



XSECTION SL-5
LOOKING NORTH



XSECTION SL-4
LOOKING NORTH

SCALE: 1" = 15' (HORIZONTAL)
1" = 5' (VERTICAL)

NOTE: SEE SHEETS 1 THROUGH 4 FOR TOPOGRAPHIC SURVEY

CROSS SECTIONS

MILLER LEGG

JACKSON SOUTH MEDICAL CENTER

FOR: JACKSON HEALTH SYSTEM

PROJECT / FILE NO.
22-00022

DRAWING NO.
TS-7

DATE
2/25/22

MDC034

GENERAL NOTES

[illegible]

1. APPLICABLE CODES

1.1. GENERAL

ALL CONSTRUCTION, MATERIALS AND TESTING SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF [illegible] SHALL APPLY.

1.2. CONSTRUCTION SAFETY

ALL CONSTRUCTION SHALL BE DONE IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

1.3. TRENCH SAFETY ACT

CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLIANCE WITH THE STATE OF FLORIDA TRENCH SAFETY ACT.

1.4. SURVEY DATA

ALL ELEVATIONS ON THE PLANS OR REFERENCED IN THE SPECIFICATIONS UNLESS OTHERWISE NOTED, ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88').

2. [illegible]

2.1. [illegible]

2.2. [illegible]

2.3. [illegible]

2.4. [illegible]

2.5. [illegible]

2.6. [illegible] VIA THE OWNER AT $135 PER HOUR.

3. INSPECTIONS

3.1. [illegible] IF APPLICABLE, [illegible] THE

3.1.1. [illegible]

3.1.2. [illegible] PLACEMENT OF ROCK

3.1.3. [illegible] AS-BUILTS PRIOR TO [illegible]

3.1.4. ASPHALTIC CONCRETE

3.1.5. FINAL INSPECTION

3.2. ALL INSPECTIONS SHALL BE MADE BY MIAMI-DADE COUNTY. THE ENGINEER OF RECORD WILL PROVIDE GENERAL CONSTRUCTION OBSERVATION SERVICES.

4. [illegible]

4.1. [illegible]

4.2. [illegible] ENGINEERS' PLANS OR SPECIFICATIONS.

4.3. INDIVIDUAL SHOP DRAWINGS FOR ALL PRECAST STRUCTURES ARE REQUIRED. CATALOGUE LITERATURE WILL NOT BE ACCEPTED FOR PRECAST STRUCTURES.

5. [illegible]

5.1. [illegible] FOR OR SUPPLY TEMPORARY [illegible] EMPLOYEES AND [illegible]

5.2. [illegible]

5.2.1. [illegible]

5.2.2. [illegible]

5.2.3. [illegible]

5.2.4. [illegible]

5.2.5. [illegible]

6. [illegible]

6.1. [illegible]

6.1.1. [illegible]

6.1.2. [illegible]

6.1.3. [illegible]

6.1.4. [illegible]

6.2. [illegible]

6.2.1. [illegible] ACCURATE AND COMPLETE RECORDS OF WORK ITEMS [illegible]

6.2.2. [illegible]

6.2.3. [illegible]

6.2.4. [illegible]

6.2.5. [illegible]

6.2.6. [illegible]

6.2.7. [illegible]

7. DEWATERING PERMIT

7.1. DEWATERING PERMIT IS NOT AVAILABLE FOR THE SITE DEVELOPMENT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A DEWATERING PERMIT.

8. [illegible]

8.1. [illegible]

9. GEOTECHNICAL REQUIREMENTS

9.1. CONTRACTOR IS RESPONSIBLE FOR DETERMINATION/INVESTIGATION OF SUBSURFACE CONDITIONS.

10. DEMOLITION NOTES

10.1. PROPER SAFETY PRECAUTIONS SHALL BE TAKEN TO SEPARATE AREA OF DEMOLITION FROM SURROUNDING PROPERTY.

10.2. ALL ASPHALT AND CURB SHALL BE SAWCUT AT THE LIMITS OF DEMOLITION PRIOR TO [illegible]

10.3. [illegible]

10.4. [illegible]

10.5. [illegible] REGULATIONS.

10.6. HAZARDOUS MATERIALS, IF PRESENT, SHALL BE DEALT WITH IN A MANNER CONSISTENT WITH FEDERAL, STATE AND LOCAL REGULATIONS.

10.7. UPON COMPLETION OF DEMOLITION, SITE IS TO BE LEFT IN CLEAN CONDITION FREE OF [illegible]

10.8. [illegible]

10.9. [illegible] DEMOLITION.

10.10 BRICK AND GROUT ANY REMAINING HOLE OPENINGS IN EXISTING STRUCTURES AFTER REMOVAL OF ANY PIPE DESIGNATED FOR REMOVAL.

11. EARTHWORK

11.3. GENERAL

11.3.1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REQUEST A COPY OF THE GEOTECHNICAL ENGINEERING SOILS REPORT AND ADHERE TO THE CONDITIONS AND RECOMMENDATIONS [illegible]

11.3.2. [illegible]

11.3.3. [illegible] T-180.

11.3.4. ALL FILL MATERIAL IN AREAS NOT TO BE PAVED SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.

11.3.5. A 2" BLANKET OF TOP SOIL SHALL BE PLACED OVER ALL AREAS TO BE SODDED.

11.4. [illegible]

11.4.1. [illegible]

11.4.2. [illegible] PERIMETER OF THE PAVING.

11.4.3. ALL UNSUITABLE MATERIAL UNDER EXFILTRATION TRENCH LOCATIONS SHALL BE REMOVED AND DISPOSED OF BY CONTRACTOR AS PART OF THIS WORK.

12. STORM DRAINAGE

12.1. CONTRACTOR MAY UTILIZE ONE OF THE FOLLOWING MATERIALS (AS DIRECTED AND APPROVED BY GOVERNING AUTHORITY) ON A SIZE FOR SIZE BASIS:

[illegible]

12.1.2. REINFORCED CONCRETE PIPE

12.1.2.1. REQUIREMENTS OF SECTION 449 OF THE FDOT STANDARD SPECIFICATIONS. ALL [illegible] SHALL BE CLASS III WATER TIGHT AND CONFORM TO [illegible]

12.1.2.2. [illegible]

12.1.2.3. [illegible]

12.1.2.4. [illegible]

12.1.2.5. [illegible]

12.1.2.6. [illegible]

12.1.2.7. [illegible]

12.1.2.8. [illegible]

12.1.2.9. [illegible]

12.1.3. [illegible]

12.1.4. [illegible]

12.2. [illegible] THE REQUIREMENTS OF [illegible] EDITION, SECTION 430

12.3. [illegible] WITH NO ROCK [illegible]

12.4. [illegible]

12.5. [illegible]

12.6. [illegible]

13. PAVING

13.17. GENERAL

13.17.1. [illegible]

13.17.2. [illegible] THE PLANS.

13.17.3. TWO ROWS OF BAHIA SOD SHALL BE LAID ALONG CURB WITHIN TWO WEEKS OR AS DIRECTED BY THE ENGINEER OF INSTALLING FIRST LIFT OF ASPHALT.

13.18. MATERIALS

13.18.1. LIMEROCK BASE MATERIAL SHALL HAVE A MINIMUM OF 70% CARBONATES (CALCIUM AND [illegible]

13.18.2. [illegible]

13.18.3. [illegible]

13.18.4. [illegible]

13.19. INSTALLATION

13.19.1. [illegible]

13.19.2. [illegible]

13.19.3. [illegible] LIFTS.

13.19.4. PRIME COAT SHALL BE PLACED ON ALL LIMEROCK BASES IN ACCORDANCE WITH FDOT STANDARDS.

13.19.5. TACK COAT SHALL BE PLACED AS REQUIRED IN ACCORDANCE WITH FDOT STANDARDS.

13.20. TESTING

13.20.1. ALL SUBGRADE, LIMEROCK AND ASPHALT TESTS REQUIRED SHALL BE TAKEN AT THE DIRECTION OF THE ENGINEER AND/OR MIAMI-DADE COUNTY.

13.21. PAVERS

13.21.1. ALL PAVER MATERIAL, INSTALLATION AND MAINTENANCE SPECIFICATIONS SHALL MEET THE REQUIREMENTS OF MIAMI-DADE COUNTY.

14. [illegible]

14.1. [illegible]

14.2. [illegible]

14.3. [illegible]

14.4. [illegible]

14.5. [illegible]

14.6. [illegible]

14.7. [illegible]

14.8. [illegible]

15. [illegible]

15.1. [illegible]

15.2. [illegible]

15.3. [illegible]

THE STANDARD NOTES CONTAINED HEREIN ARE GENERAL IN NATURE. FOR ANY CONTRADICTION BETWEEN THESE GENERAL NOTES AND THE UTILITY OWNER'S STANDARD DETAILS AND NOTES, THE UTILITY OWNER'S NOTES AND DETAILS GOVERN

ML PROJECT No. 22-00022

JOAQUIN A. MEJICA, P.E.

Jackson South MEDICAL CENTER

Miracles made daily.

JACKSON SOUTH MEDICAL CENTER
NEW GOLF CART BRIDGE

MOBIO

ARCHITECTURE

MOBIO ARCHITECTURE, INC
6108 Blue Lagoon Drive, Suite 310
Miami, Florida 33126

CIVIL ENGINEERING & LANDSCAPE ARCHITECTURE

MILLER LEGG

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LOUIS LAGUIRRE & ASSOCIATES, P.A.
9150 South Dadeland Boulevard, Suite 900,
Miami, Florida 33156

DOUGLAS WOOD ASSOCIATES, INC
5040 NW 7th Street, Suite 820,
Miami, Florida 33126

Moving on from building ordinary.™

PERMIT SET

Project Number: 19 007-120

Date: FEBRUARY 18, 2021

GENERAL NOTES & SPECIFICATIONS

C1.0

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LINETYPE & SYMBOLS LEGEND

CLEARING & DEMOLITION LINETYPES

- EXISTING FENCE (TO BE REMOVED)
- EXISTING CURB (TO BE REMOVED)
- EXISTING WALL (TO BE REMOVED)
- EXISTING TREE LINE/SHRUBS (TO BE REMOVED)
- EXISTING WATER EDGE (TO BE REMOVED)
- EXISTING SANITARY SEWER LINE (TO BE REMOVED)
- EXISTING SANITARY SEWER FORCE MAIN LINE (TO BE REMOVED)
- EXISTING STORM DRAINAGE LINE (TO BE REMOVED)
- EXISTING WATER MAIN LINE (TO BE REMOVED)
- EXISTING UTILITY LINE (TO BE ABANDONED)

PROPOSED IMPROVEMENTS LINETYPES & SYMBOLS

- PROPOSED BASELINE
- PROPOSED BURIED ELECTRIC LINE
- PROPOSED EASEMENT LINE
- PROPOSED FENCE LINE
- PROPOSED GUARDRAIL
- PROPOSED LIMITS OF CONSTRUCTION LINE
- PROPERTY BOUNDARY LINE
- PROPOSED LOT LINE
- PROPOSED PROPERTY SETBACK LINE
- PROPOSED EDGE OF PAVEMENT & CURB LINE
- PROPOSED ROADWAY CENTERLINE
- RIGHT OF WAY LINE
- PROPOSED TREE/LANDSCAPE LINE
- PROPOSED SANITARY SEWER FORCE MAIN LINE
- PROPOSED SANITARY SEWER SERVICE LATERAL LINE
- PROPOSED SANITARY SEWER LINE
- PROPOSED EXFILTRATION TRENCH LINE
- PROPOSED STORM DRAINAGE LINE
- PROPOSED EDGE OF WATER LINE
- PROPOSED TOP OF BANK LINE
- PROPOSED TOE OF BANK LINE
- PROPOSED WALL LINE
- PROPOSED FIRE MAIN LINE
- PROPOSED POTABLE WATER SERVICE LINE
- PROPOSED POTABLE WATER MAIN LINE
- PROPOSED NON-POTABLE RECLAIMED WATER LINE
- PROPOSED AIR RELEASE VALVE
- PROPOSED VALVE
- PROPOSED PLUG WITH BLOWOFF VALVE
- PROPOSED FIRE HYDRANT
- PROPOSED BACKFLOW PREVENTER
- PROPOSED WATER METER
- PROPOSED FIRE DEPARTMENT SIAMESE CONNECTION (FDC)
- PROPOSED DOUBLE DETECTOR CHECK VALVE (DDCV)
- PROPOSED SANITARY SEWER MANHOLE/CLEANOUT
- PROPOSED STORM DRAINAGE CATCH BASIN
- PROPOSED STORM DRAINAGE MANHOLE
- PROPOSED YARD DRAIN
- PROPOSED MITERED END SECTION
- PROPOSED FDOT TYPE 5 INLET
- PROPOSED FDOT TYPE 6 INLET
- PROPOSED FDOT TYPE 9 INLET
- PROPOSED STORMWATER POLLUTION PREVENTION SILT FENCE
- PROPOSED TURBIDITY BARRIER/CURTAIN
- PROPOSED INLET PROTECTION

EXISTING LINETYPES

- EXISTING BURIED ELECTRIC LINE
- EXISTING BURIED CABLE/TELEVISION LINE
- EXISTING BURIED COMMUNICATION LINE
- EXISTING FIRE LINE
- EXISTING GAS LINE
- EXISTING NON-POTABLE RECLAIMED WATER LINE
- EXISTING OVERHEAD WIRE LINE
- EXISTING UNKNOWN UTILITY LINE
- EXISTING SANITARY FORCE MAIN
- EXISTING SANITARY SEWER LATERAL
- EXISTING SANITARY SEWER LINE
- EXISTING STORM SEWER LINE
- EXISTING POTABLE WATER LINE
- EXISTING POTABLE WATER SERVICE LINE

GENERAL ABBREVIATIONS

AC	ASBESTOS CEMENT
ALUM	ALUMINUM
ARV	AIR RELEASE VALVE
BE	BURIED ELECTRIC
BFP	BACKFLOW PREVENTER
BFV	BUTTERFLY VALVE
B/L	BASELINE
BOP	BOTTOM OF PIPE
BSP	BACTERIOLOGICAL SAMPLE POINT
BT	BURIED TELEPHONE
CATV	CABLE TELEVISION
CB	CATCH BASIN
CIP	CAST IRON PIPE
℄	CENTERLINE
CONC	CONCRETE
CV	CHECK VALVE
DDCV	DOUBLE DETECTOR CHECK VALVE
DIA	DIAMETER
DIP	DUCTILE IRON PIPE
ELEV	ELEVATION
EP	EXISTING PAVEMENT EDGE
EXIST	EXISTING
F&I	FURNISH & INSTALL
FDEP	FLORIDA DEPT. OF ENVIRONMENTAL PROTECTION
FDOT	FLORIDA DEPT. OF TRANSPORTATION
FH	FIRE HYDRANT
FM	FORCE MAIN
FPL	FLORIDA POWER & LIGHT
GE	GRATE ELEVATION
GV	GATE VALVE
HDPE	HIGH DENSITY POLYETHYLENE
IE	INVERT ELEVATION
LAT	LATERAL
LF	LINEAR FEET

GENERAL ABBREVIATIONS

MAX	MAXIMUM
MEG	MATCH EXISTING GRADE
MES	MITERED END SECTION
MFGR	MANUFACTURER
MH	MANHOLE
MIN	MINIMUM
MJ	MECHANICAL JOINT
NTS	NOT TO SCALE
OC	ON CENTER
OE	OVERHEAD ELECTRIC
OHW	OVERHEAD WIRE
PC	POINT OF CURVATURE
PHDPE	PERFORATED HIGH DENSITY POLYETHYLENE
ℙ	PROPERTY LINE
PRB	POLLUTION RETARDANT BAFFLE
PROP	PROPOSED
PSI	POUNDS PER SQUARE INCH
PV	PLUG VALVE
PVC	POLY VINYL CHLORIDE
RCP	REINFORCED CONCRETE PIPE
RE	RIM ELEVATION
RED	REDUCER
REQD	REQUIRED
RJ	RESTRAINED JOINT
R/W	RIGHT-OF-WAY
SAN SWR	SANITARY SEWER
STRM SWR	STORM SEWER
TEL	TELEPHONE
TOP	TOP OF PIPE
TYP	TYPICAL
UR	UTILITY RISER
VCP	VITRIFIED CLAY PIPE
WL	WATER LINE
WM	WATER METER

EXISTING SYMBOLS LEGEND

CATEGORY	DESCRIPTION
CONTROL	AERIAL TARGET
	BENCH MARK
	CONCRETE MONUMENT
	IRON PIN
	NAIL & DISC
	IRON ROD AND CAP
	NAIL AND TACK
PIPE FITTINGS	11.25° PIPE BEND
	22.5° PIPE BEND
	45° PIPE BEND
	90° PIPE BEND
	CROSS PIPE FITTING
	TEE PIPE FITTING
	WYE PIPE FITTING
	REDUCER PIPE FITTING
ELECTRICAL	ELECTRICAL MANHOLE
	ELECTRICAL OUTLET
	GROUND LIGHT
	ELECTRICAL JUNCTION BOX
	ELECTRICAL METER
	TRANSFORMER
GAS / FUEL	GAS MANHOLE
	GAS VALVE
	MONITORING WELL
	VENT PIPE
TELE / TV	TELEPHONE RISER
	TELEPHONE MANHOLE
	CATV RISER
WATER / IRRIGATION	BACKFLOW PREVENTER
	AIR RELEASE VALVE
	FIRE HYDRANT
	SIAMESE CONNECTION
	WATER METER
	WATER VALVE
	DOUBLE DETECTOR CHECK VALVE
	WELL
	IRRIGATION CONTROL VALVE
	IRRIGATION CONTROL BOX
	SPRINKLER
TREES	GENERIC TREE
	OAK TREE
	PALM TREE
	HARDWOOD TREE
	CITRUS TREE
	BUSH-CROTON
SANITARY SEWER	CLEAN OUT
	SANITARY MANHOLE
	STAND PIPE
	SEWER VALVE
	GREASE TRAP MANHOLE
STORM SEWER	CATCH BASIN
	STORM MANHOLE
	YARD DRAIN
	CURB INLET
MISCELLANEOUS	BORING HOLE LOCATION
	VALVE (UNKNOWN)
	BOLLARD
	FLAG POLE
	MANHOLE (UNKNOWN)
	SATELLITE DISH
	SIGNS
	PARKING METER
	A/C UNIT
	MAILBOX
	PEDESTRIAN SIGNAL UNIT
	TRASH RECEPTACLE
	TOPOGRAPHIC ELEVATION
UTILITY POLES	GUY WIRE
	GUY POLE
	WOOD LIGHT POLE
	METAL LIGHT POLE
	CONCRETE LIGHT POLE
	CONCRETE UTILITY POLE
	METAL UTILITY POLE
	WOOD UTILITY POLE
	MAST ARM & SIGNAL SUPPORT

TAGS

- STRUCTURE NUMBER — STATION, OFFSET RIM/GRATE ELEVATION INVERT ELEVATION(S)
- SERIES — STRUCTURE NUMBER
- SUBCOLUMN

NOTE: STRUCTURE NUMBERS MAY BE PREFIXED IN ORDER TO IDENTIFY THE NETWORK IT BELONGS TO:
S-# = SANITARY SEWER
D-# = STORM DRAINAGE

STRUCTURE CALLOUT

SECTION LETTER — SECTION SYMBOL

DETAIL NUMBER/LETTER — SHEET DETAIL APPEARS ON — DETAIL SYMBOL

SPOT ELEVATION — TOP OF CURB ELEVATION — EDGE OF PAVEMENT ELEVATION — SPOT ELEVATION SYMBOLS

NOTE REFERENCE LETTER/NUMBER — NOTE SYMBOL

CROSSING REFERENCE LETTER/NUMBER — CROSSING SYMBOL

HATCH PATTERN LEGEND

EXISTING HATCH PATTERNS

- EXISTING CONCRETE PAVEMENT/SIDEWALK
- EXISTING CONCRETE PAVERS

CLEARING & DEMOLITION HATCH PATTERNS

- EXISTING BUILDING/STRUCTURE (TO BE REMOVED)
- EXISTING ASPHALT ROADWAY/SURFACE (TO BE REMOVED)
- EXISTING CONCRETE SIDEWALK/SURFACE (TO BE REMOVED)

PROPOSED IMPROVEMENTS HATCH PATTERNS

- PROPOSED CONCRETE PAVEMENT/SIDEWALK
- PROPOSED ASPHALT PAVEMENT
- PROPOSED ASPHALT RESTORATION
- PROPOSED CONCRETE PAVERS
- PROPOSED GREEN SPACE
- PROPOSED STORMWATER POLLUTION PREVENTION SOIL TRACKING MEASURE/ GRAVEL CONSTRUCTION ENTRANCE

SINGLE LINE PIPE FITTING LEGEND

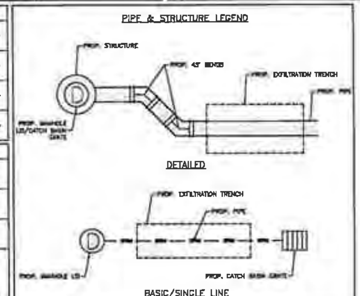
11.25° BEND		CROSS	
22.5° BEND		REDUCER	
45° BEND		TEE	
90° BEND		WYE	

LINE WEIGHTS

EXISTING	SHADED SOLID & DASHED LINES & TEXT DENOTE EXISTING EQUIPMENT, STRUCTURES AND WORK.
FUTURE	NON-SHADED DASHED LINES & TEXT DENOTE FUTURE EQUIPMENT, STRUCTURES AND WORK.
PROPOSED	NON-SHADED, BOLD, SOLID LINES & TEXT DENOTE PROPOSED EQUIPMENT, STRUCTURES AND WORK.

NOTES:
1. FOR GRAPHICAL CLARIFICATION ON PLANS CONTAINING BACKGROUND AERIAL PHOTOS, EXISTING ITEMS ARE SHOWN HOLLOW WHEREAS PROPOSED ARE SHOWN SOLID.
2. FOR GRAPHICAL CLARIFICATION THROUGHOUT THE PLAN SET, PROPOSED EQUIPMENT, STRUCTURES AND WORK NOT PERTAINING TO A SUB-SECTION OF THE SET (I.E. PAVEMENT MARKING & SIGNAGE PLAN, PAVING, GRADING & DRAINAGE PLAN, UTILITY PLAN, ETC.) MAY BE SHADED IN AN ATTEMPT TO EMPHASIZE PROPOSED EQUIPMENT, STRUCTURES AND WORK ASSOCIATED WITH THE SUB-SECTION IN A MANNER OF DISTINCT DIFFERENTIATION FROM THAT OF EXISTING EQUIPMENT, STRUCTURES, AND UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW AND VERIFY EXISTING CONDITIONS, AS WELL AS GRAPHING KNOWLEDGE AND UNDERSTANDING OF THE PROPOSED WORK SPECIFIED WITHIN THE CONSTRUCTION SET.

PIPE & STRUCTURE LEGEND



NOTE:
THE LEGEND SHOWN HEREON IS REPRESENTATIVE OF ALL MILLER LEGG DRAFTING STANDARDS AND IS NOT PROJECT SPECIFIC.

ML PROJECT No. 22-00022

811 Know what's below. Always call 811 before you dig.

JOAQUIN A. MOJICA, P.E.

MDC036

Owner: Jackson South MEDICAL CENTER *Miracles made daily.*

JACKSON SOUTH MEDICAL CENTER
NEW GOLF CART BRIDGE

MOBIO

ARCHITECTURE: MOBIO ARCHITECTURE INC, 6303 Blue Lagoon Drive, Suite 310, Miami, Florida 33126

CIVIL ENGINEERING & LANDSCAPE ARCHITECTURE: MILLER LEGG — MILLER LEGG & ASSOCIATES INC, 7743 NW 48th Street, Suite 140, Doral, Florida 33166

ELECTRICAL ENGINEER: LOUIS J AGUIRRE & ASSOCIATES, P.A., 9150 South Dadeland Boulevard, Suite 900, Miami, Florida 33156

STRUCTURAL ENGINEER: DOUGLAS WOOD ASSOCIATES, INC, 5040 NW 7th Street, Suite 820, Miami, Florida 33126

BRIDGE MANUFACTURER: LINKS BRIDGES USA, INC

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EDDIE A. ALVARADO R.A. AR96661

PERMIT SET
Project Number: 19-007-120
Date: FEBRUARY 28, 2023

Sheet Title: CIVIL LEGEND, ABBREVIATIONS, & SYMBOLS
Sheet Number: C1.1

FOR PERMIT

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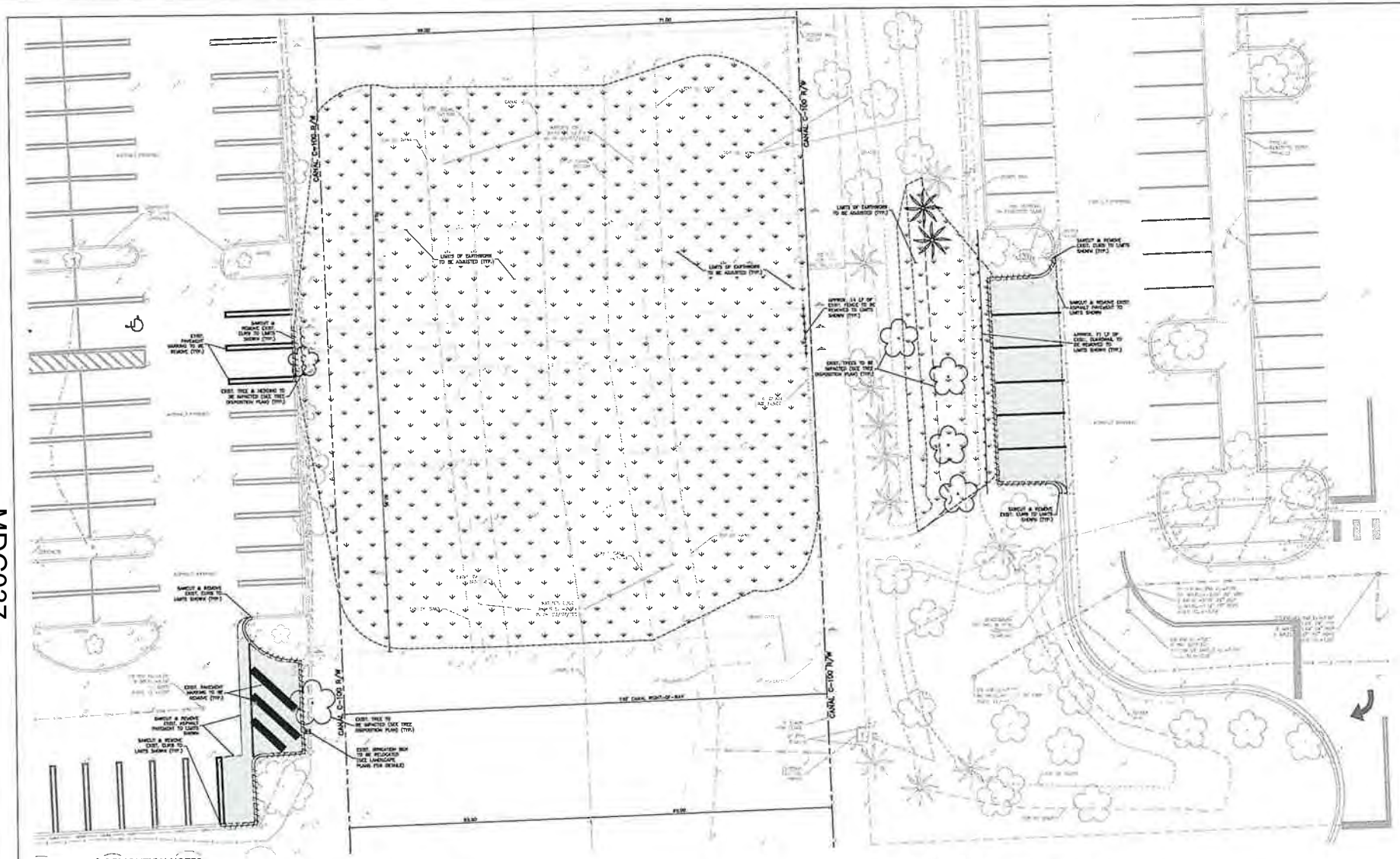

CLEARING & DEMOLITION NOTES:

1. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES.
2. IT SHALL BE CONTRACTOR'S SOLE RESPONSIBILITY TO TAKE THE NECESSARY PRECAUTIONS TO ENSURE PUBLIC SAFETY AND WORKMANSHIP WHEN WORKING IN THE VICINITY OF EXISTING UTILITY LINES.
3. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH FPL ON ANY WORK IN THE VICINITY OF OVERHEAD OR UNDERGROUND POWER LINES.
4. CONTRACTOR SHALL VERIFY PROPER CLEARANCE BELOW EXISTING OVER-HEAD POWER LINES PRIOR TO WORKING WITHIN THE VICINITY OF POWER LINES.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO IDENTIFY, REMOVE AND/OR RELOCATE ANY ABOVE OR BELOW GROUND STRUCTURES OR SURFACE THAT IMPACT THE PROJECT. THIS MAY INCLUDE NEW SERVICE TE-ONS TO EXISTING SOURCES.
6. PRIOR TO COMMENCEMENT OF DEMOLITION THE CONTRACTOR SHALL COORDINATE AND NOTIFY WITH ALL THE UTILITY COMPANIES WITHIN THE AREA, CONTRACTOR IS TO CONFIRM FULLY WITH UTILITY COMPANIES ON EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
7. THE CONTRACTOR IS TO COMPLETELY REMOVE AND REPAIR OF ALL STRUCTURES AND BUILDINGS THAT ARE NOT INDICATED INCLUDING FOUNDATIONS, PARKS AND BRIDGES, EXCEPT AS OTHERWISE INDICATED OR SPECIFIED. ALL PAVEMENT, OTHER STRUCTURES AS SHOWN OR REASONABLY INFERRED TO BE REMOVED.
8. EXCEPT IN AREAS WHERE EXISTING TREES SHALL BE PRESERVED, A MINIMUM DEPTH OF REMOVAL SHALL BE (2) FEET BELOW NATURAL IN BORROW AREAS AND TO ORIGINAL SOILS ELEVATIONS. WHERE EXISTING BUILDINGS ARE TO BE DEMOLISHED, ALL TRACES OF FOUNDATIONS AND UNDERGROUND UTILITIES ARE TO BE REMOVED (UNLESS OTHERWISE NOTED ON PLANS). THE CONTRACTOR IS RESPONSIBLE FOR PROPER DISPOSAL OF ALL WASTE MATERIAL.
9. WHERE PARTS OF STRUCTURES ARE TO BE REMOVED WHICH MUST BE ARE A PART OF CONNECTED PROPERTY THAT ARE NOT DESIRED, REMOVAL OF ANY PARTS OF THE STRUCTURE SHALL BEING OBSERVED IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE. ALL PARTS OF THE STRUCTURE SHALL BE REMOVED TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.
10. THE LOCATION OF ALL EXISTING UTILITIES, STORM DRAINAGE AND TREES SHOWN ON THE PLANS ARE BASED ON THE BEST AVAILABLE INFORMATION AND IN ONLY FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER DOES DISCLAIM ANY RESPONSIBILITY FOR ACCURACY, PRIOR TO THE START OF MOBILIZATION THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE EXISTENCE & LOCATION OF ALL EXISTING UTILITIES & TREES SHOWN OR NOT ON THE PLANS, WHICH WOULD HAVE TO BE REMOVED OR PROTECTED.
11. THE CONTRACTOR IS TO COORDINATE THE RELOCATION OR REMOVAL OF IMPACTED OVERHEAD/UNDERGROUND UTILITIES, UTILITY POLES, LIGHTS AND CHECK IN THE RIGHT-OF-WAY AND ON THE PROPERTY WITH THE APPROPRIATE SERVICE PROVIDER.
12. THE CONTRACTOR SHALL PROTECT AND RESTORE PROPERTY CORNERS AND LAND MARKERS DISTURBED DURING CONSTRUCTION, UNDER THE DIRECTION OF AN FLORIDA REGISTERED LAND SURVEYOR.
13. ALL DISTURBED AREAS WITHIN THE PROJECT AREA MUST BE RESTORED PRIOR TO FINAL ACCEPTANCE.
14. CONTRACTOR TO PROVIDE & CLEAN SAWCUT LINE AT ALL EDGES OF REMOVAL FOR PAVEMENT, SIDEWALKS, GUTTER AND/OR OTHER CONCRETE SURFACES.
15. CONTRACTOR SHALL OBTAIN A COPY OF THE SITE GEOTECHNICAL REPORT AND ADHERE TO ALL REQUIREMENTS CONTAINED THEREIN.
16. CONTRACTOR SHALL OBTAIN A COPY OF THE GEOTECHNICAL REPORT AND INCLUDE ALL NECESSARY BID, WORK IN THE PROJECT BID.
17. ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM WITH LOCAL, CITY/COUNTY/STATE SPECIFICATIONS, SUBJECT TO AUTHORIZED AND APPROVED VARIANCES, WAIVERS AND/OR CONDITIONS OF SITE PERMITS.
18. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PLACED PRIOR TO OR AS THE FIRST STEP IN CONSTRUCTION. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PROTECTIVE OUTFITS AGAINST ANY TRANSPORTATION OF SILT OFF THE SITE.
19. AREAS DISTURBED BY RAIN WATER SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITIONS, UNLESS OTHERWISE EXEMPTED BY THE PLANS. THE COST FOR SUCH RESTORATION SHALL BE INCIDENTAL TO OTHER CONSTRUCTION AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
20. ANY DEVIATIONS MUST BE APPROVED BY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THESE PLANS AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.
21. CONTRACTOR SHALL KEEP ANY AND ALL SAND, SILT OR OTHER DEBRIS FROM MOVING OFF-SITE.
22. CONTRACTOR SHALL BLOCK INTRUSION OF SAND, SILT OR OTHER DEBRIS INTO ANY DRAINAGE OR SANITARY SEWER STRUCTURE ON ROAD OR ON ADJACENT TO SITE.
23. FILTER FABRIC MUST BE INSTALLED UNDER ALL INLET GRATES, AT ALL TIMES WHEN INLETS ARE NOT PROTECTED BY SILT FENCE OR SYNTHETIC BALES, UNTIL THE LANDSCAPE BLADE IS FINISHED AND FINALS.
24. NOW STORMWATER DISCHARGES SUCH AS FIRE HYDRANT FLUSHING, ETC SHALL BE DIRECTED TO EXISTING UNDERGROUND STORMWATER FACILITY.
25. ANY POTENTIALLY HAZARDOUS CHEMICALS BROUGHT INTO THE JOB SITE WILL BE LIMITED AND SUPPLY IN ORIGINAL CONTAINERS WITH SOUND LABEL.
26. NO SILT SHALL BE TRACKED ONTO PUBLIC ROADWAYS, ANY SILT DEPOSITED ON PUBLIC ROADWAYS SHALL BE REMOVED BY THE END OF THE WORK DAY.
27. EXISTING UTILITY LINES BASED AS DATA COMMUNICATIONS, ELECTRICAL, GAS AND WATER SHOWN BASED ON BEST AVAILABLE INFORMATION FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND PROCEDURES FOR PROTECTION AND/OR RELOCATION OF THESE UTILITIES SHALL BE COORDINATED BY THE CONTRACTOR. THE CONTRACTOR IS TO PROVIDE THAT UTILITY BEFORE OF WORK, THE APPLICABLE UTILITY COMPANY.
28. THE CONTRACTOR IS ADVISED THAT PROPERTIES ADJACENT TO THE PROJECT HAVE ELECTRIC, TELEPHONE, GAS, WATER AND/OR SEWER SERVICE LATERALS WHICH MAY NOT BE SHOWN ON PLANS. THE CONTRACTOR AND/OR WORKER THE LOCATION OF THESE LATERAL SERVICES FROM THE UTILITY COMPANIES. THE ADDITIONAL COST OF DISCONNECTING, INSTALLING, REINSTALLING AND/OR REPAIRING THE LATERAL SERVICES SHALL BE INCLUDED IN THE BID PRICE FOR ITEM FOR THE WORK BEING DONE.
29. CLEARING AND GRUBBING, GRADING AND OTHER INCIDENTAL WORK NECESSARY FOR MAINTENANCE OUTSIDE R/W SHALL BE INCLUDED IN RELATED BID ITEMS.
30. ALL DISPOSAL OF MATERIALS, RUBBISH, AND DEBRIS SHALL BE MADE AT A LEGAL DISPOSAL SITE OR AT SITES PRIOR APPROVED. SUCH MATERIAL REMOVED FROM THE SITE AND DEPOSITED ON ADJACENT OR NEARBY PROPERTY MUST BE CONVENIENT AS PRIOR BEEN PROVIDED OF SUCH PROPERTIES.
31. CONTRACTOR TO RELOCATE TREES AS DIRECTED BY THE LANDSCAPE ARCHITECT. CONTRACTOR SHALL PROVIDE A PLAN FOR RELOCATING TREES TO REMAIN, EXISTING TREES TO BE RELOCATED ALONG WITH A PROCESS FOR CONTINUOUSLY TRACK TREES NOT INTERFERING WITH CONSTRUCTION SHALL BE PROTECTED IN PLACE.

SURVEY DATUM NOTE:

ELEVATIONS SHOWN ON THE PLANS ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 29') OBTAINED FROM THE SURVEY PERFORMED BY MILLER LEGG & ASSOCIATES, INC. (PROJECT #22-00022). LAST REVISION DATED 05/20/22, RECEIVED 07/20/22.

ML PROJECT No. 22-00022

811 Know what's below. Call before you dig.

JOAQUIN A. MOREA, P.E.
FL. LICENSE NO. 80488 DATE: 2/7/2023

Owner: Jackson South Medical Center — Miracles made daily.

Project Name: JACKSON SOUTH MEDICAL CENTER NEW GOLF CART BRIDGE
9333 SW 152nd Street, Miami, Florida 33157

MOBIO

ARCHITECTURE: MOBIO ARCHITECTURE, INC.
CIVIL ENGINEERING & LANDSCAPE ARCHITECTURE: MILLER LEGG
ELECTRICAL ENGINEER: LOPEZ-ACUNA & ASSOCIATES, P.A.
STRUCTURAL ENGINEER: DOUGLAS J. REED & ASSOCIATES, INC.
BRIDGE MANUFACTURER: UNITS BRIDGES
LOOP & ASHWOOD P.A. - MIAMI

Issued Plan: PERMIT SET
Project Number: 19-007-120
Date: FEBRUARY 28, 2023
FOR PERMIT

Sheet Title: CLEARING & DEMOLITION PLAN
Sheet Number: C2.0

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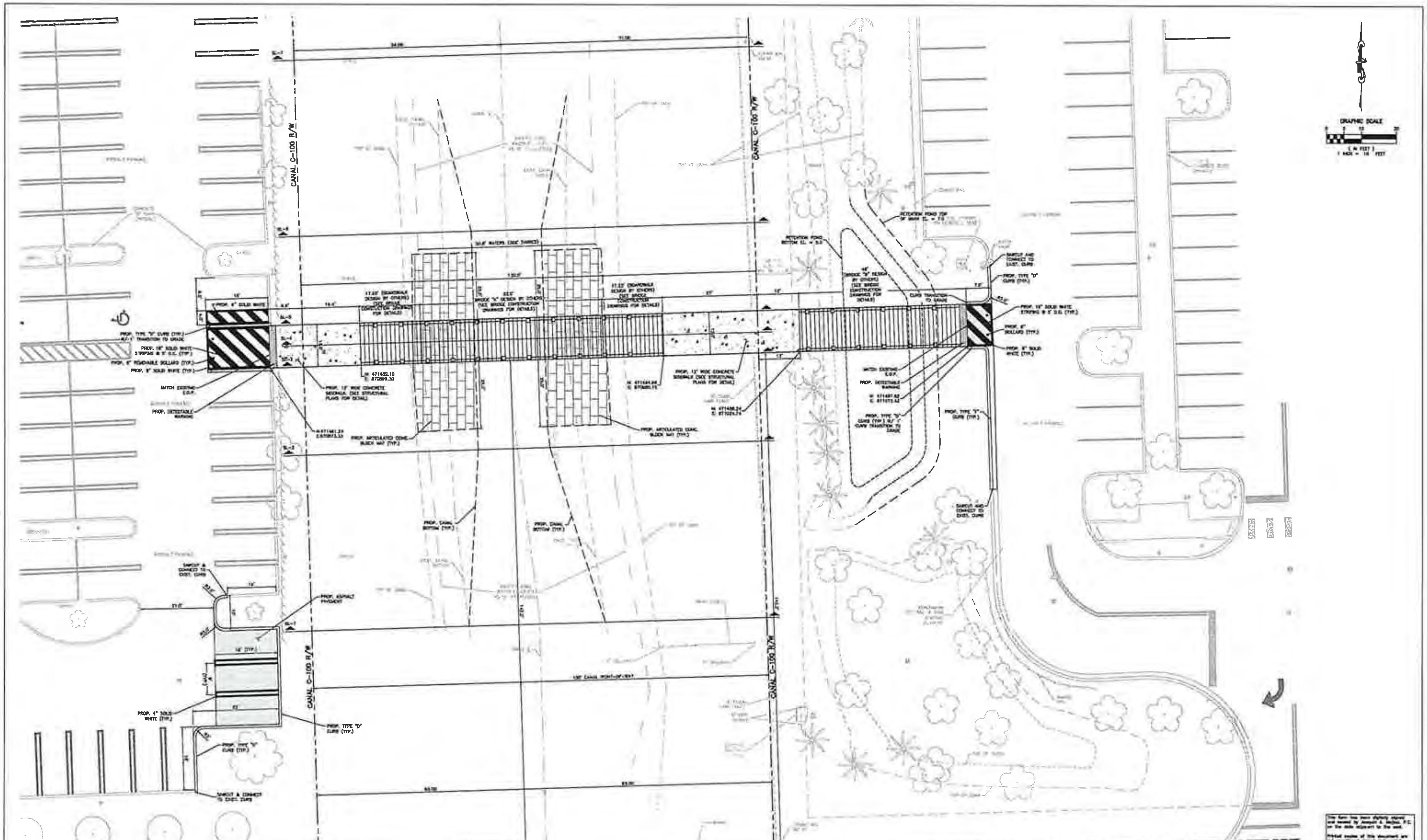
MDC037



SIGNAGE AND MARKING NOTES:

1. ALL STOP BARS AND TRAFFIC CONTROL STRIPING SHALL BE THERMOPLASTIC. ALL OTHER STRIPING SHALL BE PAINTED UNLESS OTHERWISE SPECIFIED.
2. ALL PAINT USED FOR PAVEMENT MARKINGS SHALL CONFORM TO SECTION 971-13 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION (SSRBC). ALL PAINTED MARKINGS SHALL BE APPLIED IN ACCORDANCE WITH SECTION 710 OF THE FDOT [illegible] AND THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). PAINT MAY ONLY BE USED FOR PRIVATE DEVELOPMENT IMPROVEMENTS OR AS TEMPORARY MARKINGS.
3. THERMOPLASTIC TRAFFIC MARKINGS SHALL CONFORM TO SECTION 711-2 OF THE FDOT SSRBC. ONLY ALKYD BASED MATERIALS SHALL BE USED. THERMOPLASTIC TRAFFIC MARKINGS SHALL BE APPLIED IN ACCORDANCE WITH SECTION 711 OF THE FDOT SSRBC AND THE MUTCD.
4. ALL REFLECTIVE PAVEMENT MARKERS SHALL BE INSTALLED IN CONFORMANCE WITH SECTION [illegible] OF THE FDOT SSRBC.
5. ALL TRAFFIC SIGNS SHALL USE TYPE XI SHEETING AND BE "STANDARD" SIZE AS ESTABLISHED IN THE MUTCD.
6. STOP BARS TO BE A MINIMUM OF 4 FEET CLEAR BEHIND CROSSWALKS EDGE OF INTERSECTING TRAVEL LANE OR DRIVE AISLE.
7. HANDICAP PARKING SPACES SHALL BE DESIGNATED BY APPROPRIATE PAVEMENT MARKINGS AND SIGNS.
8. ALL PAVEMENT MARKINGS, REFLECTIVE PAVEMENT MARKERS, THERMOPLASTIC AND GEOMETRICS SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, THE ROADWAY & TRAFFIC DESIGN STANDARDS (F.D.O.T.).
9. ALL SIGNAGE AND PAVEMENT MARKINGS AND THEIR CONSTRUCTION SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND MIAMI-DADE COUNTY TRAFFIC ENGINEERING STANDARDS (LATEST EDITION)
10. THE CONTRACTOR SHALL TAKE PRECAUTION NOT TO DAMAGE EXISTING LANDSCAPING. IF EXISTING LANDSCAPING IS IN CONFLICT WITH PROPOSED WORK THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER OF SAID CONFLICT.
11. ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF MIAMI-DADE COUNTY, AND ANY OTHER STATE OR LOCAL AGENCY WITH JURISDICTION. IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.

SURVEY DATUM NOTE:

ELEVATIONS SHOWN ON THE PLANS ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 [illegible] OBTAINED FROM THE SURVEY PERFORMED BY MILLER LEGG & ASSOCIATES, INC. [illegible]

ML PROJECT No. 22-00022

JOAQUIN A. MOJICA, P.E.

Owner: Jackson South Medical Center — *Miracles made daily.*

JACKSON SOUTH MEDICAL CENTER
NEW GOLF CART BRIDGE

MOBIO

ARCHITECTURE: MOBIO ARCHITECTURE, INC.

CIVIL ENGINEERING & LANDSCAPE ARCHITECTURE: MILLER LEGG — 7743 NW 48th Street, Suite 143, Doral, Florida 33166

ELECTRICAL ENGINEER: LOUIS J AGUIRRE & ASSOCIATES, P.A. — 9150 South Dadeland Boulevard, Suite 900, Miami, Florida

STRUCTURAL ENGINEER: DOUGLASWOOD ASSOCIATES, INC.

BRIDGE MANUFACTURER: LINES BRIDGES USA INC — 1 SE Ocean Boulevard, Stuart, Florida 34994

PERMIT SET
Project Number: 29-007-120
Date: FEBRUARY 28, 2023

Sheet Title: GEOMETRY, MARKING, & SIGNAGE PLAN
Sheet Number: C3.0

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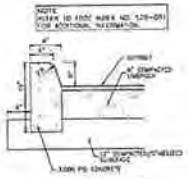
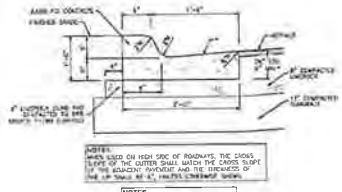


TYPE 'D' CURB

N.T.S.

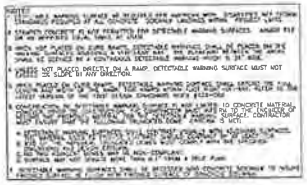


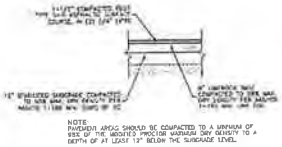
NOTES:
WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT AND THE THICKNESS OF THE LIP SHALL BE 6", UNLESS OTHERWISE SHOWN.

NOTES:
REFER TO FDOT INDEX NO. 520-001 FOR ADDITIONAL INFORMATION

TYPE 'F' CURB & GUTTER

N.T.S.

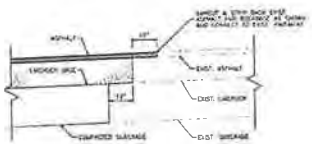




NOTE:
PAVEMENT AREAS SHOULD BE COMPACTED TO A MINIMUM OF 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY TO A DEPTH OF AT LEAST 12" BELOW THE SUBGRADE LEVEL.

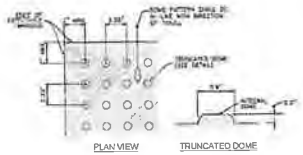
ASPHALT PAVEMENT TYPICAL CROSS-SECTION

N.T.S.



CONNECTION TO EXISTING PAVEMENT DETAIL

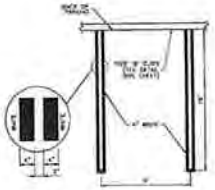
N.T.S.



PLAN VIEW TRUNCATED DOME

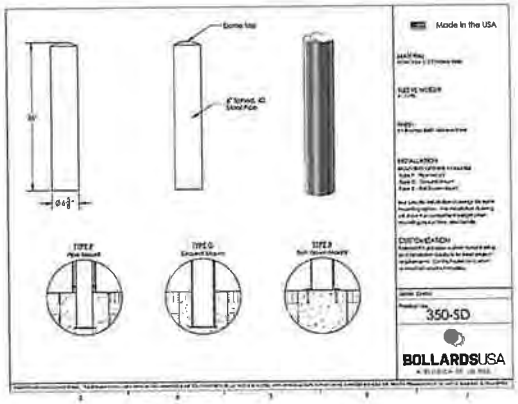
DETECTABLE WARNING DETAIL

N.T.S.



STANDARD PARKING SPACE

N.T.S.



REMOVABLE BOLLARD DETAIL

N.T.S.

ML PROJECT No. 22-00022

811 KNOW WHAT'S BELOW. CALL 811 BEFORE YOU DIG.

STATE OF FLORIDA

JOAQUIN A. MOJICA, P.E.

Jackson South MEDICAL CENTER
Miracles made daily.

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NEW GOLF CART BRIDGE
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MOBIO ARCHITECTURE, INC.
6355 Blue Lagoon Drive, Suite 310
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MILLER LEGG & ASSOCIATES, INC.
7700 NW 26th Street, Suite 140,
Doral, Florida 33166

ELECTRICAL ENGINEER
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Miami, Florida 33156

STRUCTURAL ENGINEER
DOUGLAS WOOD ASSOCIATES, INC.
5040 NW 7th Street, Suite 820,
Miami, Florida 33126

BRIDGE MANUFACTURER
LINVILL BRIDGES USA, INC.
5 SE Depot Boulevard
Dunnellon, Florida 34434

Project Phase
PERMIT SET

Project Number: 19-007-120

Date: FEBRUARY 28, 2022

FOR PERMIT

Sheet Title
GENERAL CONSTRUCTION DETAILS

Sheet Number
C3.1

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TO THE BEST OF MY KNOWLEDGE AND BELIEF, THESE DRAWINGS COMPLY WITH THE MINIMUM STANDARDS OF THE FLORIDA BUILDING CODE 7TH EDITION (2020)

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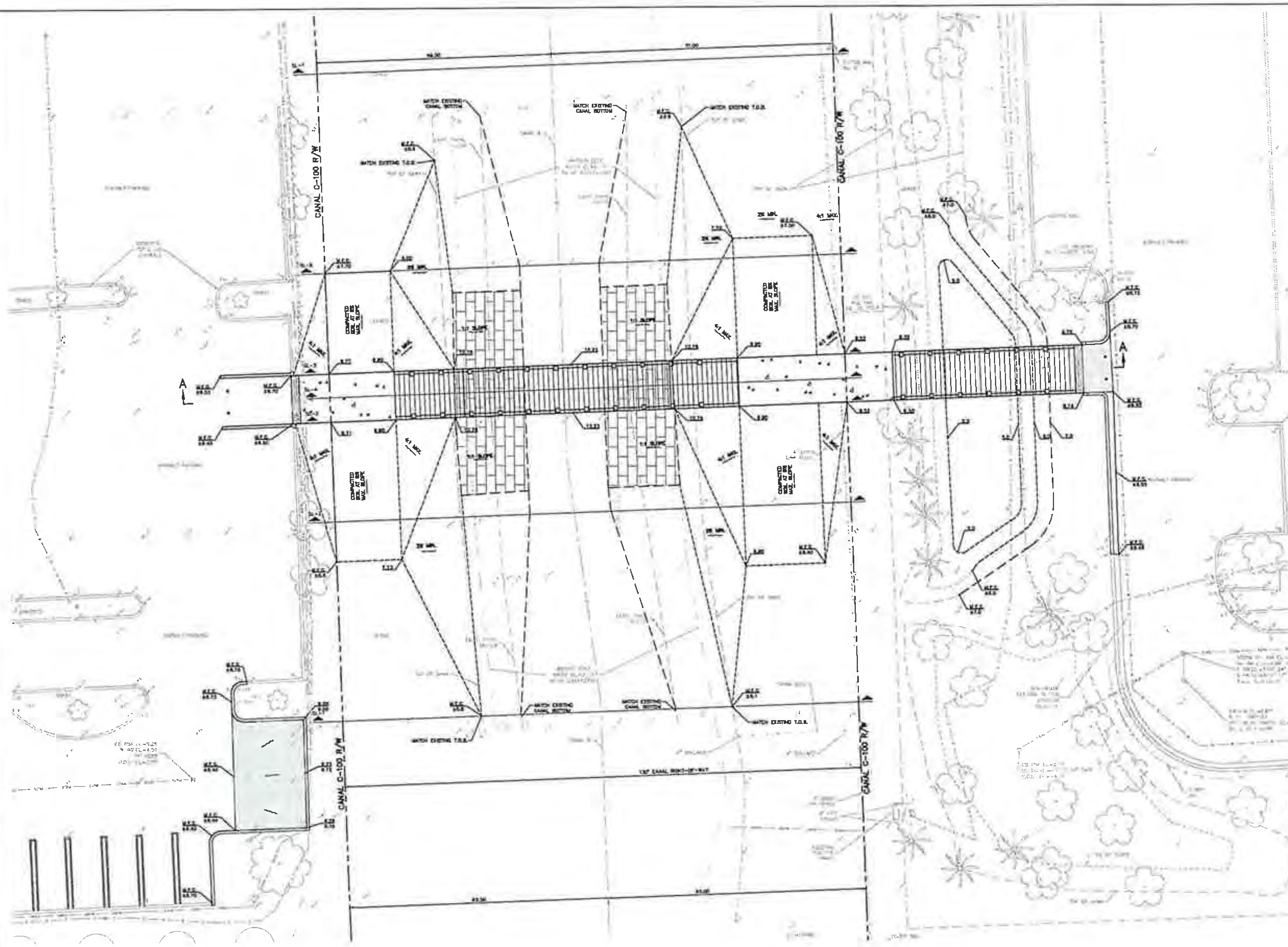
MDC039



GRADING & DRAINAGE NOTES:

1. ALL EARTHWORK ACTIVITIES (CUT, FILL, DREDGING, ETC.) SHALL BE PERFORMED IN ACCORDANCE TO THE GEOTECHNICAL REPORT RECOMMENDATIONS.
2. CONTRACTOR TO OBTAIN A COPY OF THE GEOTECHNICAL REPORT AND MAINTAIN IT ON-SITE AT ALL TIMES.
3. EARTHWORK ACTIVITIES SHALL BE MONITORED AND PERFORMED UNDER CLOSE SUPERVISION OF THE GEOTECHNICAL ENGINEER AND FOLLOWING THE GEOTECHNICAL REPORT RECOMMENDATIONS FOR METHODOLOGY, PROCEDURES, COMPACTION, ETC.
4. NO CONSTRUCTION ACTIVITIES (EARTHWORK, UTILITIES, TREE REMOVAL, OR GROUND DISTURBANCE) TO TAKE PLACE OUTSIDE OF THE LIMITS OF CONSTRUCTION UNLESS OTHERWISE APPROVED BY FLORIDA INTERNATIONAL UNIVERSITY.
5. CONTRACTOR SHALL FIELD VERIFY LOCATION, INVERT, ELEVATION, MATERIALS AND PIPE SIZE BEFORE CONSTRUCTION BEGINS.
6. PROPOSED SIDEWALKS SHALL NOT EXCEED 2% ACROSS AND 5% LONGITUDINAL.
7. ALL PROPOSED GRADES AND CONTOURS ARE TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
8. CONTRACTOR SHALL OBTAIN A COPY OF THE SITE GEOTECHNICAL REPORT AND INCLUDE ALL NECESSARY SOIL WORK IN THE PROJECT BID.
9. CONTRACTOR TO VERIFY SLOPES ON ALL SIDEWALKS, HANDICAP ZONES, RAMPS AND DRIVEWAY CONNECTIONS FOR COMPLIANCE WITH ADA REQUIREMENTS AND/OR OPERATIONAL FUNCTIONABILITY PRIOR TO POURING FINAL CONCRETE OR ASPHALT.
10. CONTRACTOR SHALL CONTACT ENGINEER OF RECORD AT LEAST 24 HOURS PRIOR TO POURING CONCRETE OR PLACING ASPHALT ON ALL DRIVEWAY/CURB CUT CONNECTIONS FOR ENGINEERING INSPECTIONS.
11. ALL RIGHT-OF-WAY DISTURBED BY THIS WORK SHALL BE RESTORED TO IT'S ORIGINAL CONDITION AND IN ACCORDANCE WITH APPLICABLE COUNTY CODES. ALL DISTURBED AREAS MUST BE SODDED, MATCHING EXISTING GRASS TYPE.
12. IF SHEETING, SHORING, OR DEWATERING, INCLUDING WELL POINTS ARE NECESSARY, THE CONTRACTOR MUST MONITOR AND CONTROL ALL WORK THAT MAY CAUSE CRACKING TO ANY ADJACENT BUILDING, STRUCTURE, OR PROPERTY AREA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES CAUSED BY THESE OPERATIONS. COST OF SHEETING, SHORING, OR DEWATERING SHALL BE INCLUDED IN THE RELATED BID ITEM FOR THE WORK BEING DONE.
13. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING EXISTING AND NEW INLETS CLEAN OF MILLING MATERIAL, LIMEROCK, DEBRIS, ETC. DURING THE CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER. ALL LINES AND STRUCTURES SHALL BE CLEANED PRIOR TO FINAL INSPECTION AND ACCEPTANCE.
14. EXISTING DRAINAGE STRUCTURES WITHIN THE LIMITS OF CONSTRUCTION SHALL REMAIN UNLESS OTHERWISE NOTED.
15. EXISTING MANHOLES AND INLETS SCHEDULED TO REMAIN SHALL BE THOROUGHLY CLEANED BY REMOVING ALL DEBRIS AND SEDIMENTS, AND THE INTERIOR SHALL BE SEALED WITH AN APPROVED NON-TOXIC BITUMASTIC SEALANT.
16. PRIOR TO CONSTRUCTION THE CONTRACTOR WILL INSPECT ALL EXISTING STRUCTURES WHICH ARE TO REMAIN AND NOTIFY THE ENGINEER OF ANY OBVIOUS STRUCTURAL DEFICIENCIES.
17. CONTRACTOR SHALL ADJUST ALL EXISTING VALVES, CATCH BASINS, GRATES, AND STORM MANHOLE COVERS TO MEET NEW GRADES WHERE APPLICABLE.
18. WHERE NEW PAVEMENT MEETS EXISTING, CONNECTION SHALL BE MADE IN A NEAT STRAIGHT LINE AND FLUSH WITH THE EXISTING PAVEMENT.

SURVEY DATUM NOTE:

ELEVATIONS SHOWN ON THE PLANS ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 29') OBTAINED FROM THE SURVEY PERFORMED BY MILLER LEGG & ASSOCIATES, INC. (PROJECT 22-00022), LAST REVISION DATED 02/23/22, RECEIVED 07/28/22.

ML PROJECT No. 22-00022

811 KNOW WHAT'S BELOW ALWAYS CALL 811 BEFORE YOU DIG

JOAQUIN A. MOJICA, P.E.

Jackson South MEDICAL CENTER
Miracles made daily.

JACKSON SOUTH MEDICAL CENTER
NEW GOLF CART BRIDGE

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ARCHITECTURE
MOBIO ARCHITECTURE, INC.

CIVIL ENGINEERING & LANDSCAPE ARCHITECTURE
MILLER LEGG

ELECTRICAL ENGINEER

STRUCTURAL ENGINEER

BRIDGE MANUFACTURER
LINKS BRIDGES

PERMIT SET
Project Number: 19-007-120
Date: FEBRUARY 28, 2023

FOR PERMIT

PAVING, GRADING, & DRAINAGE PLAN

C4.0

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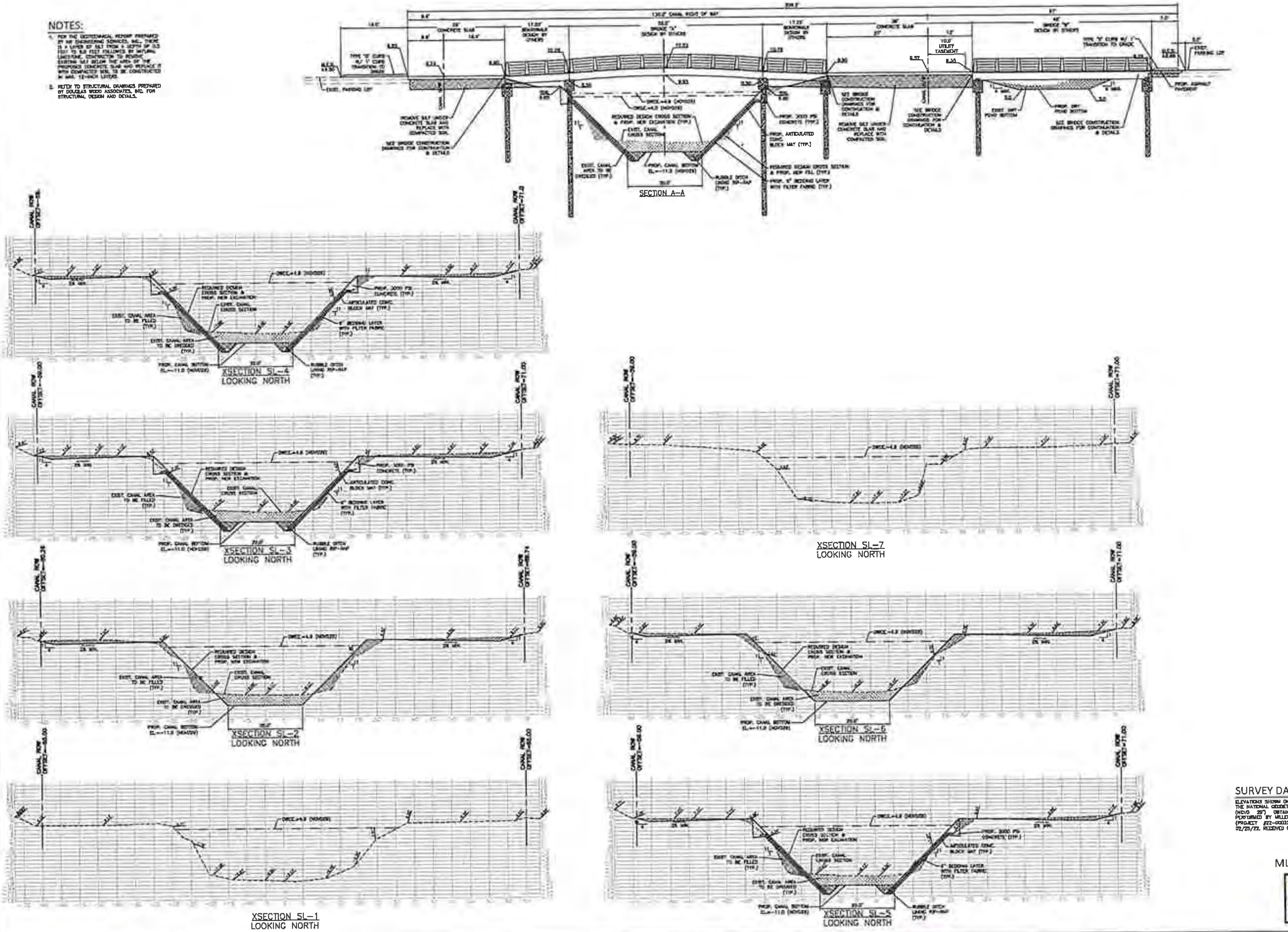
NOTES:

1. PER THE GEOTECHNICAL REPORT PREPARED BY [illegible] ENGINEERING SERVICES, INC., THERE IS A LAYER OF SILT FROM A DEPTH OF [illegible] FEET TO [illegible] FEET FOLLOWED BY NATURAL LIMESTONE. CONTRACTOR TO REMOVE EXISTING SILT BELOW THE AREA OF THE PROPOSED CONCRETE SLAB AND REPLACE IT WITH COMPACTED SOIL TO BE CONSTRUCTED IN MAX. 12-INCH LAYERS.
2. REFER TO STRUCTURAL DRAWINGS PREPARED BY DOUGLAS WOOD ASSOCIATES, INC. FOR STRUCTURAL DESIGN AND DETAILS.



SURVEY DATUM NOTE:

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ML PROJECT No. 22-00022

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9333 SW 152nd Street Miami Florida 33157

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MILLER LEGG

ELECTRICAL ENGINEER

STRUCTURAL ENGINEER
DOUGLAS WOOD ASSOCIATES, INC
Miami Florida 33126

BRIDGE MANUFACTURER
LINKS BRIDGES USA, INC
1 SE Ocean Boulevard
Stuart Florida 34994

EDDIE A. ALVARADO R.A. AR96663

PERMIT SET
Project Number: 19-007-120
Date: FEBRUARY 28, 2023

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TYPICAL CROSS SECTIONS

C4 1

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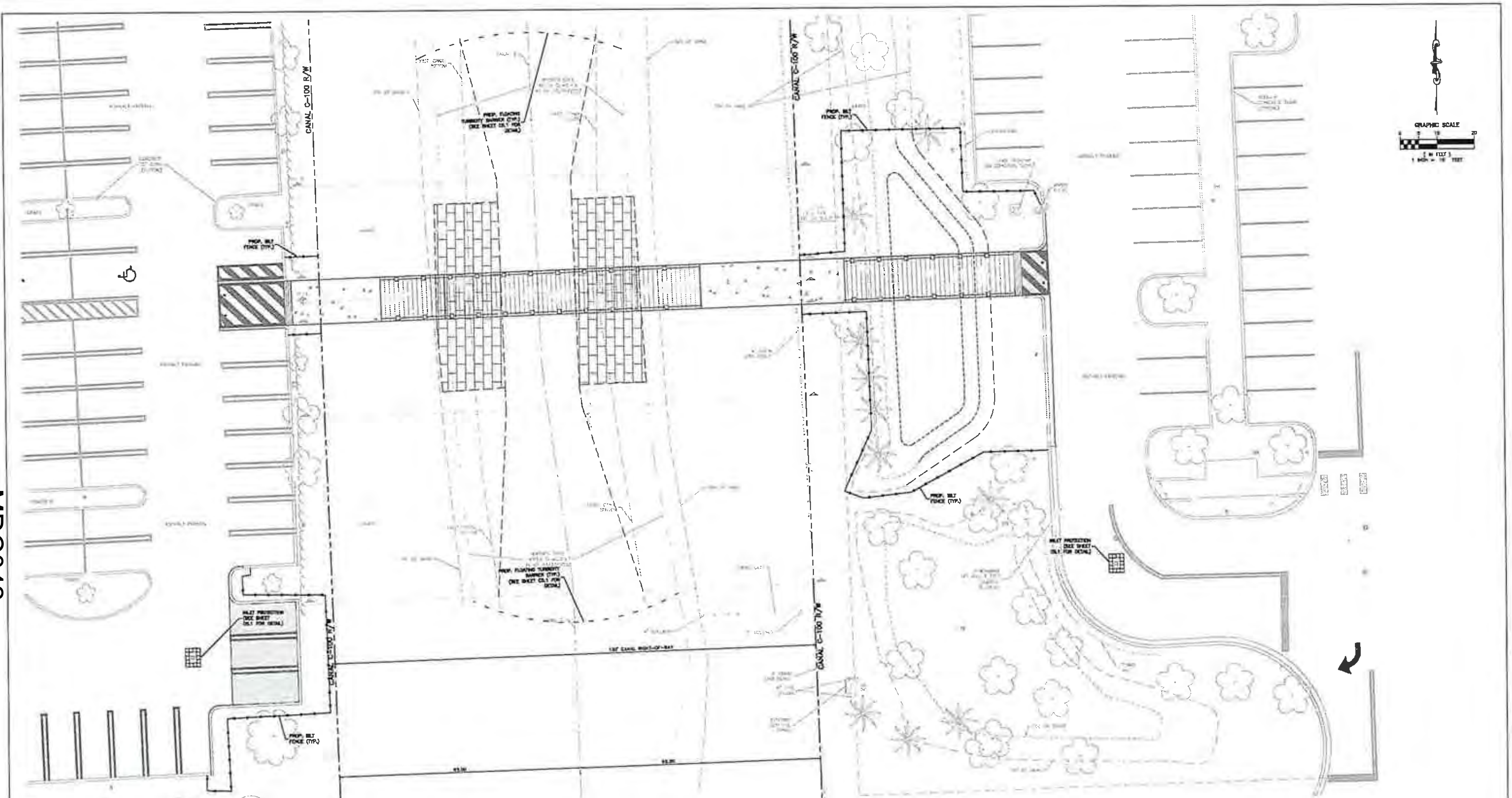
MDC041



EROSION CONTROL & CONSTRUCTION ENTRANCE NOTES:

1. SILT FENCES ARE TO BE REMOVED ONLY AFTER EARTHWORK ACTIVITIES ARE COMPLETED AND SEEDING AND MULCHING HAS TAKEN PLACE.
2. SILT FENCES ALONG WETLAND BUFFERS ARE TO REMAIN IN PLACE FOR AT LEAST 120 DAYS AFTER CONSTRUCTION ACTIVITIES HAVE SEIZED.
3. SOD ALL DISTURBED OR NEWLY CREATED LAKE BANKS AS PER LANDSCAPE AND IRRIGATION SPECIFICATIONS.
4. TURBIDITY CONTROL BARRIERS SHALL BE INSTALLED WITHIN EXISTING LAKES, EXISTING CANALS, ALONG ALL DISTURBED SHORELINES AND WHERE EARTHWORK,(FILL/CUT AND/OR DREDGING) ACTIVITIES ARE TO TAKE PLACE.
5. SILT FENCE ARE TO BE SETBACK AS FOLLOWS:
   - -5' FROM FACES OF WALLS/FOOTINGS
   - -5' FROM PROPERTY LINES
   - -5' FROM WETLAND BUFFERS (EXCEPT WHERE A PROPOSED BUFFER OR WETLAND ENCROACHMENT IS SPECIFIED)
   - -5' BEYOND LIMITS OF EARTHWORK (FILL/CUT) OR GRADING ACTIVITIES.
6. ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM WITH LOCAL CITY/COUNTY AND WATER MANAGEMENT DISTRICT SPECIFICATIONS, SUBJECT TO AUTHORIZED AND APPROVED VARIANCES, WAIVERS AND/OR CONDITIONAL CHANGES.
7. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PLACED PRIOR TO OR AS THE FIRST STEP IN CONSTRUCTION. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTATION OF SILT OFF THE SITE.
8. CONTRACTOR SHALL KEEP ANY AND ALL SAND, SILT OR OTHER DEBRIS FROM MOVING OFF-SITE. USE AND MAINTAIN SILT FENCE JUST INSIDE OF PROPERTY LINE.
9. CONTRACTOR SHALL BLOCK INTRUSION OF SAND, SILT OR OTHER DEBRIS INTO ANY DRAINAGE OR SANITARY SEWER STRUCTURE OR PIPING ON OR ADJACENT TO SITE.
10. ALL CLEARED AREAS FOR IMPROVEMENT AND/OR CONSTRUCTION SHALL BE WATERED TO PREVENT WIND EROSION.
11. ALL AREAS AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITION, UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. THE COST FOR SUCH RESTORATION SHALL BE INCIDENTAL TO OTHER CONSTRUCTION AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
12. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THESE PLANS AND FIELD CONDITIONS PRIOR TO CONSTRUCTION
13. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL PROVIDE TREE PROTECTION BARRIERS TO MEET THE REQUIREMENTS OF LOCAL SPECIFICATIONS.
14. THE CONTRACTOR SHALL SELECTIVELY CLEAR ONLY THE AREAS REQUIRED FOR CONSTRUCTION AND STABILIZE ANY POTENTIAL EROSION AREAS IMMEDIATELY FOLLOWING COMPLETION OF CONSTRUCTION.
15. CONTRACTOR IS REQUIRED BY NPDES TO KEEP A LOG ON SITE FOR THE SOIL EROSION AND SEDIMENT CONTROL MEASURES INDICATED ON THE PLAN. THE LOG SHALL CONTAIN DATES FOR INSTALLATION OF CONTROL MEASURES, MAJOR SITE CONSTRUCTION ACTIVITIES, INSPECTION ON AT LEAST A WEEKLY BASIS AND INSPECTION AFTER ANY RAINFALL EVENT THAT IS 1/2" OR GREATER.
16. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT.
17. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
18. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
19. ALL EROSION CONTROL MATERIALS, CONSTRUCTION & MAINTENANCE TO BE PER APPLICABLE SECTIONS OF FDOT STANDARD SPECIFICATION #104.
20. USE SANDBAGS, SYNTHETIC BALES OR OTHER APPROVED METHODS TO CHANNELIZE RUNOFF TO BASIN REQUIRED.
21. COURSE AGGREGATE & FILTER FABRIC TO PER SECTIONS OF FDOT STANDARD SPECIFICATION #901 & #985 RESPECTIVELY.
22. CONTRACTOR TO FOLLOW SILT FENCE INSTALLATION PHASING PER SWPPP.

ML PROJECT No. 22-00022

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PERMIT SET
Project Number: 19-007-120
Date: FEBRUARY 28, 2023

FOR PERMIT

STORMWATER POLLUTION PREVENTION PLAN
C5.0

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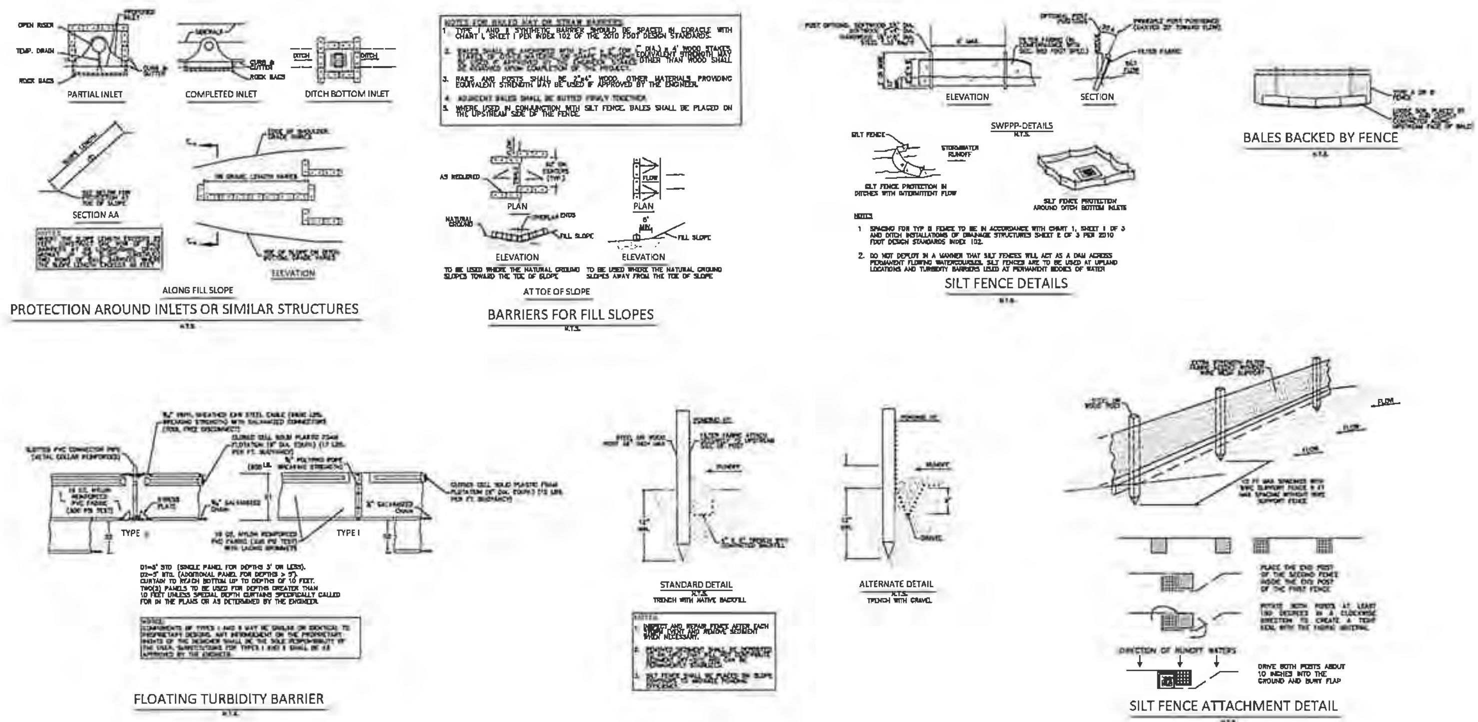

ML PROJECT No. 22-00022

Jackson South Medical Center
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NEW GOLF CART BRIDGE

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MOBIO ARCHITECTURE INC

MILLER LEGG

LOUIS J AGUIRRE & ASSOCIATES P.A.
9150 South Dadeland Boulevard, Suite 900,
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STRUCTURAL ENGINEER
DOUGLAS WOOD ASSOCIATES, INC
5040 NW 7th Street, Suite 920
Miami, Florida 33126

LINKS BRIDGES USA, INC

Project Phase
PERMIT SET
Date: FEBRUARY 28, 2023

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STORMWATER POLLUTION PREVENTION DETAILS
C5.1

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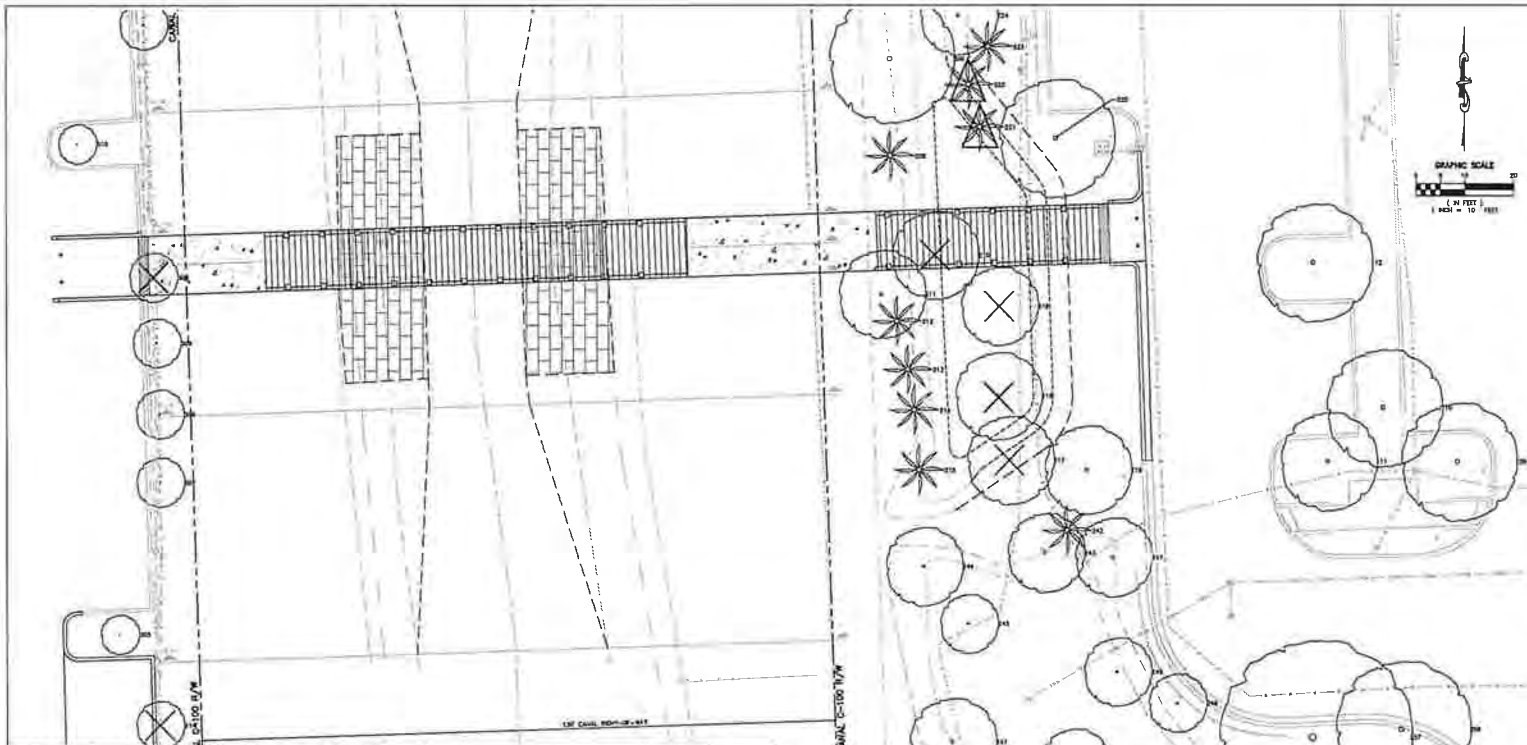
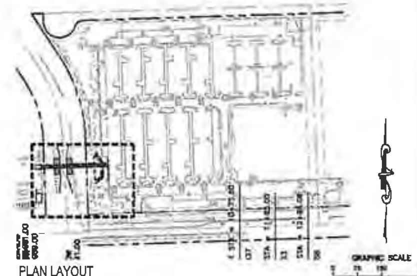




PLAN LAYOUT

TREE RELOCATION NOTES:

THE WORK AND MATERIALS NECESSARY FOR MEETING THESE SPECIFICATIONS SHALL BE INCLUDED IN THE UNIT COST OF TREE AND/OR PALM RELOCATION.

THE CONTRACTOR SHALL PERFORM ALL TREE REMOVAL AND PRESERVATION ACTIVITIES IN COMPLIANCE THE PALM BEACH COUNTY ENVIRONMENTAL RESOURCE MANAGEMENT PERMITTING.

NO PERSON SHALL REMOVE, RELOCATE, OR REPLACE ANY TREE OR VEGETATION FROM SUBJECT PROPERTY WITHOUT FIRST OBTAINING A TREE PERMIT FROM THE PALM BEACH COUNTY E.R.M. OFFICE.

1.00 LOCATION

A. TREES & PALMS SHALL BE RELOCATED ONCE FROM THEIR PRESENT LOCATION TO A LOCATION ON THE PROJECT SITE SPECIFIED ON THE PLANS.

1.01 [illegible]

A. ALL TREE & PALM RELOCATION, ROOT PRUNING AND TRIMMING, SHALL BE PERFORMED UNDER THE SUPERVISION OF A CERTIFIED & LICENSED ARBORIST.

B. ROOT PRUNE TREES A MINIMUM OF EIGHT (8) WEEKS PRIOR TO MOVING THEM. PRIOR TO ROOT PRUNING, THOROUGHLY WATER THE ROOT ZONE WITH AT LEAST 2 TO 3 INCHES OF WATER, 2 TO 3 DAYS PRIOR TO ROOT PRUNING. IF THE TREE HAS A DORMANT PERIOD, THEY SHOULD NOT BE TRANSPLANTED DURING THAT TIME. TREES SHOULD NOT BE TRANSPLANTED DURING PERIODS OF STRONG WINDS, DRY WINTER MONTHS OR DURING DROUGHT.

C. ROOT PRUNING SHALL BE ACCOMPLISHED BY DIGGING A TRENCH TWO-THIRDS (2/3) OF THE WAY AROUND THE TREE AT A MINIMUM OF 24" DEEP. ROOT PRUNE ONLY WITH A MECHANICAL ROOT-PRUNING SAW OR A TRENCHER WITH A MAXIMUM TRENCH WIDTH OF 6". THIS TRENCH SHALL FORM A ROOTBALL OF THE FOLLOWING SIZES:

1/2" TO 4" CALIPER	3' DIAMETER
4" - 8" CALIPER	4' DIAMETER
8" - 12" CALIPER	5' DIAMETER
OVER 12" CALIPER	8' DIAMETER

D. ALL EXPOSED ROOTS SHALL BE CUT OFF SMOOTHLY, WITH SHARP INSTRUMENTS. BACKFILL TRENCHES WITH SOIL CONSISTING OF 20% SILICA SAND AND 80% MUCK. WATER THEM THOROUGHLY AFTER ROOT PRUNING, AND ONCE WEEKLY DURING THE ROOT REGENERATION PERIOD, WITH A SOLUBLE FERTILIZER THAT HAS A 20.20.20 ANALYSIS AT MANUFACTURER'S RECOMMENDED RATE.

1.02 TOP PRUNING AND THINNING:

A. [illegible] TO PERFORMING ANY MAJOR PRUNING OR THINNING.

B. ALL CROWN PRUNING SHALL BE DONE IN ACCORDANCE WITH [illegible] STANDARDS OR PALM PRUNING IN ACCORDANCE WITH THE STANDARDS IN "Arboriculture Second Edition" by Richard W. Harris, CURRENT EDITION.

1.03 BRACING AND GUYING OF TREES AFTER ROOT PRUNING

A. BRACING AND GUYING SHALL BE PROVIDED TO ASSURE THE TREES' STABILITY DURING THE ROOT REGENERATION PERIOD; AS PER THE APPLICABLE DETAIL.

1.04 BALLING AND BURLAPPING

A. PLANT MATERIAL WHICH IS IN A SOIL OF A LOOSE TEXTURE, WHICH DOES NOT READILY ADHERE TO THE ROOT SYSTEM, ESPECIALLY IN THE CASE OF LARGE PLANTS OR TREES, SHALL HAVE THE ROOTBALL WRAPPED IN BURLAP AND THEN WIRE, UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT.

1.05 TRANSPLANTING PLANT MATERIAL

A. MOVEMENT OF PLANTS ON PUBLIC R.O.W.'S SHALL COMPLY WITH ALL ORDINANCES, CODES AND SAFETY REQUIREMENTS, ETC.

B. TRANSPORT MATERIALS ON VEHICLES LARGE ENOUGH TO ALLOW PLANTS TO NOT BE CROWDED AND DAMAGED. PLANTS SHALL BE COVERED TO PREVENT WIND DAMAGE DURING TRANSIT.

C. PROTECT PLANT MATERIAL DURING TRANSPORTING TO PREVENT DAMAGE TO THE ROOT SYSTEM AND DESICCATION OF LEAVES. TREES SHALL BE PROTECTED BY TYING IN THE BRANCHES AND COVERING ALL EXPOSED BRANCHES AS NECESSARY. DO NOT BEND OR BIND-TIE PLANT MATERIAL IN SUCH A MANNER AS TO DAMAGE BARK, BREAK BRANCHES OR ALTER THE NATURAL SHAPE.

D. THE CONTRACTOR SHALL EXERCISE CARE IN HANDLING, LOADING, UNLOADING, STORING, AND TRANSPORTING MATERIAL TO PREVENT DAMAGE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR PROTECTION AND SAFEKEEPING OF MATERIALS STORED.

E. TRANSPORTING MUST BE DONE WITHIN 24 HOURS AFTER BEING DUG. STORE PLANTS IN SHADE AND KEEP THE ROOT BALL AND CANOPY MOIST.

1.06 INSTALLATION

A. EXCAVATION OF HOLES: PLANT HOLES SHALL BE ROUGHLY CYLINDRICAL IN SHAPE WITH SIDES APPROXIMATELY VERTICAL. THE DEPTH OF THE HOLE SHALL BE EQUAL TO THE ROOTBALL DEPTH PLUS 12" UNLESS FURTHER DEPTH IS REQUIRED TO PROVIDE ADEQUATE DRAINAGE. THE DIAMETER OF THE HOLE SHALL BE A MINIMUM OF 24" LARGER THAN THE ROOTBALL DIAMETER.

B. SETTING OF PLANTS: PLANT MATERIAL SHALL BE PLANTED AT THEIR NATURAL AND ORIGINAL PLANTING LEVEL PRIOR TO THEIR RELOCATION AND PLACEMENT ON THE NEW SITE. WHEN LOWERED INTO THE HOLE, THE PLANTS SHALL REST ON THE PREPARED HOLE BOTTOM SUCH THAT THE SURFACE ROOTS AT THE TOP OF THE ROOTBALL ARE LEVEL OR SLIGHTLY ABOVE THE LEVEL OF THE TOP OF THE HOLE. CREATE A SAUCER, APPROXIMATELY 6" DEEP TO HELP HOLD WATER. THE PLANTS SHALL BE SET STRAIGHT OR PLUMB OR NORMAL TO THE RELATIONSHIP OR THEIR GROWTH PRIOR TO TRANSPLANTING. THE PROJECT ENGINEER OR REPRESENTATIVE RESERVES THE RIGHT TO REALIGN ANY PLANT MATERIAL AFTER IT HAS BEEN SET, WITHOUT ADDITIONAL COST.

C. BACKFILLING

1) USE PLANTING SOIL FOR TREE INSTALLATION CONSISTING OF 80/20 MIX OF GENERAL PURPOSE PLANTING SOIL TO SAND. PALMS RECEIVE 30/70 GENERAL PURPOSE PLANTING SOIL TO SAND MIX.

2) BACKFILL THE BOTTOM TWO-THIRDS OF THE PLANTING HOLE AND FIRMLY TAMP AND SETTLE BY WATERING AS BACKFILLING PROGRESSES. AFTER HAVING TAMPED AND SETTLED THE BOTTOM TWO-THIRDS OF THE HOLE, THOROUGHLY PUDDLE WITH WATER AND FILL REMAINING ONE-THIRD OF THE HOLE WITH PLANTING SOIL, TAMPING AND WATERING TO ELIMINATE AIR POCKETS.

1.07 [illegible]

A. ROOTBALL WATERING: MAINTAIN A SOIL MOISTURE IN THE ROOT ZONE AT AN OPTIMUM LEVEL FOR HEALTHY GROWTH. DEEP WATER THE ENTIRE ROOTBALL AREA AT A MINIMUM ACCORDING TO THE FOLLOWING SCHEDULE:

WHEN	FREQUENCY	AMOUNT
FIRST MONTH	ONCE DAILY	3" PER TREE OR PALM
SECOND MONTH	EVERY OTHER DAY	2" PER TREE OR PALM
FOLLOWING TWO MONTHS	TWICE A WEEK	1" PER TREE OR PALM
LAST EIGHT MONTHS	ONCE PER WEEK	1" PER TREE OR PALM

B. IF THERE IS NO SOURCE FOR WATER AVAILABLE AT THE PROJECT, SUCH AS A HOSE BIB(S) OR FIRE HYDRANT(S) IF APPROVED FOR USE, THEN THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING WATER BY MEANS OF A TRUCK OR TANK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PAY ANY FEES FOR WATER USE.

C. THE CONTRACTOR SHALL ADHERE TO THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT'S WATER RESTRICTIONS CURRENT AT THE TIME OF RELOCATION ACTIVITIES.

1.08 MULCHING OF PLANT SAUCER:

A. SPREAD 3" MINIMUM DEPTH THICK LAYER OF SHREDDED EUCALYPTUS OR MELALEUCA GRADE "B" MULCH OR EQUAL OVER ENTIRE AREA OF THE ROOTBALL.

1.09 APPLICATION OF FERTILIZER:

A. AT TIME OF WATERING ROOT-PRUNED TREES PRIOR TO TRANSPLANTING, DRENCH ROOTBALL ONCE PER WEEK DURING THE COURSE OF WATERING WITH A SOLUBLE FERTILIZER THAT HAS A 20.20.20 ANALYSIS AT MANUFACTURER'S RECOMMENDED RATE.

B. RELOCATED TREES SHALL NOT BE FERTILIZED AT TIME OF PLANTING, [illegible]

1.10 STAKING TREES

A. STAKE ALL TREES AND PALMS AT THE NEW SITE WITH NEW TIMBERS WITH A MINIMUM 2" X 4" DIMENSION AS PER THE DETAILS ENCLOSED, OR IN THE CASE OF OBSTACLE, IN ANOTHER MANNER WHICH WILL SUPPORT THE TREES.

1.11 CLEAN-UP:

A. DISPOSAL OF WASTE: ALL WASTE AND OTHER OBJECTIONABLE MATERIAL CREATED THROUGH PLANTING OPERATIONS AND LANDSCAPE CONSTRUCTION SHALL BE REMOVED COMPLETELY ON A DAILY BASIS FROM THE JOB OR AS DIRECTED BY THE PROJECT ENGINEER. ANY PAVED AREAS, INCLUDING CURBS AND SIDEWALKS THAT HAVE BEEN STAINED WITH SOIL, SOD WASTE, FERTILIZER OR OTHER WASTE, SHALL BE THOROUGHLY SWEPT.

B. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF STAKES AND BATTENS AND UNTIE ANY TIED-UP CANOPIES WHEN IT IS DETERMINED BY THE PROJECT ENGINEER THAT SUFFICIENT TIME HAS ELAPSED FOR THE PLANTS TO ROOT STABILIZE, AND/OR AT THE END OF THE ONE YEAR GUARANTEE PERIOD. THIS SHALL BE DONE EVEN IF THE PROJECT HAS BEEN COMPLETED AND GIVEN FINAL ACCEPTANCE. THE CONTRACTOR SHALL UNTIE CANOPIES IMMEDIATELY AFTER INSTALLATION AND REMOVE STAKES AFTER ONE YEAR.

C. BACKFILLING OF HOLE LEFT BY RELOCATED TREE SHALL BE DONE IMMEDIATELY AFTER TREE REMOVAL, OR SUITABLE BARRICADES SHALL BE PROVIDED TO PREVENT INJURIES UNTIL HOLES ARE FILLED. THE CONTRACTOR SHALL BACKFILL HOLES WITH CLEAN FILL AND TOP SOIL TO A LEVEL FLUSH WITH ADJACENT GRADE.

1.12 GUARANTEE AND REPLACEMENT:

A. ALL RELOCATED PLANT MATERIAL SHALL BE GUARANTEED FOR ONE (1) YEAR FROM TIME OF RELOCATION.

B. ALL TREES THAT LEAN OR ARE BLOWN OVER, CAUSED BY WINDS LESS THAN 73 MPH AS DEFINED BY THE MIAMI HURRICANE CENTER, WILL BE RE-SET AND BRACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.

1.13 SCHEDULE AND APPROVALS:

THE LANDSCAPE CONTRACTOR SHALL SUBMIT A WRITTEN SCHEDULE OF OPERATIONS AND WRITTEN REQUESTS FOR APPROVALS IN ACCORDANCE WITH PROJECT SPECIFICATIONS OR AS OTHERWISE AGREED UPON WITH THE OWNER.

1.14 FINAL ACCEPTANCE:

OWNER SHALL REVIEW PROJECT UPON NOTIFICATION BY CONTRACTOR. OWNER SHALL ISSUE A FINAL ACCEPTANCE AFTER ALL CONTRACT ITEMS AND OBLIGATIONS ARE SATISFACTORY.

Tree Disposition Chart

Tree_ID	Common Name	Botanical Name	DBH	Height	Spread	Northing	Easting	Condition	Disposition	Notes
[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]

Tree Mitigation Chart

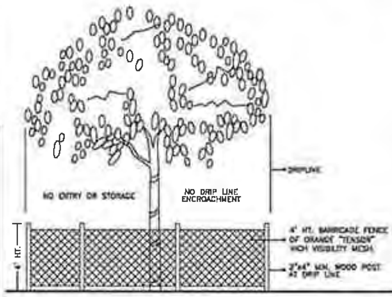
Tree_ID	Common Name	Botanical Name	Spread	DBH SQFT	Condition	Disposition
[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
[illegible]				[illegible]		

DISPOSITION LEGEND

X### TREES AND PALMS TO REMAIN

X### TREES AND PALMS TO BE REMOVED

X### TREES AND PALMS TO BE RELOCATED



TREE PRESERVATION BARRICADE FENCING DETAIL

NTS

ML PROJECT No. 22-00022

CASTO MIGUEL JUNCAL, PLA
LA6667184 3/2/2023

Client	Jackson South MEDICAL CENTER Miracles made daily.
Project Name	JACKSON SOUTH MEDICAL CENTER NEW GOLF CART BRIDGE
	MOBIO
ARCHITECTURE	MOBIO ARCHITECTURE, INC.
CIVIL ENGINEERING & LANDSCAPE ARCHITECTURE	MILLER LEGG — 7743 NW 48th Street Suite 140, Doral Florida 33166
[illegible]	LOUIS J AGUIRRE & ASSOCIATES, P.A. 9150 South Dadeland Boulevard, Suite 900, Miami Florida 33156
STRUCTURAL ENGINEER	DOUGLAS WOOD ASSOCIATES, INC 5040 NW 7th Street Suite 820, Miami, Florida 33126
[illegible]	LINKS BRIDGES USA INC 1 SE Ocean Boulevard Stuart Florida 34994
Project Phase	PERMIT SET — Project Number: 19-007-120 — Date: FEBRUARY 28, 2023
	FOR PERMIT
	TREE DISPOSITION PLAN AND DETAILS
	L1

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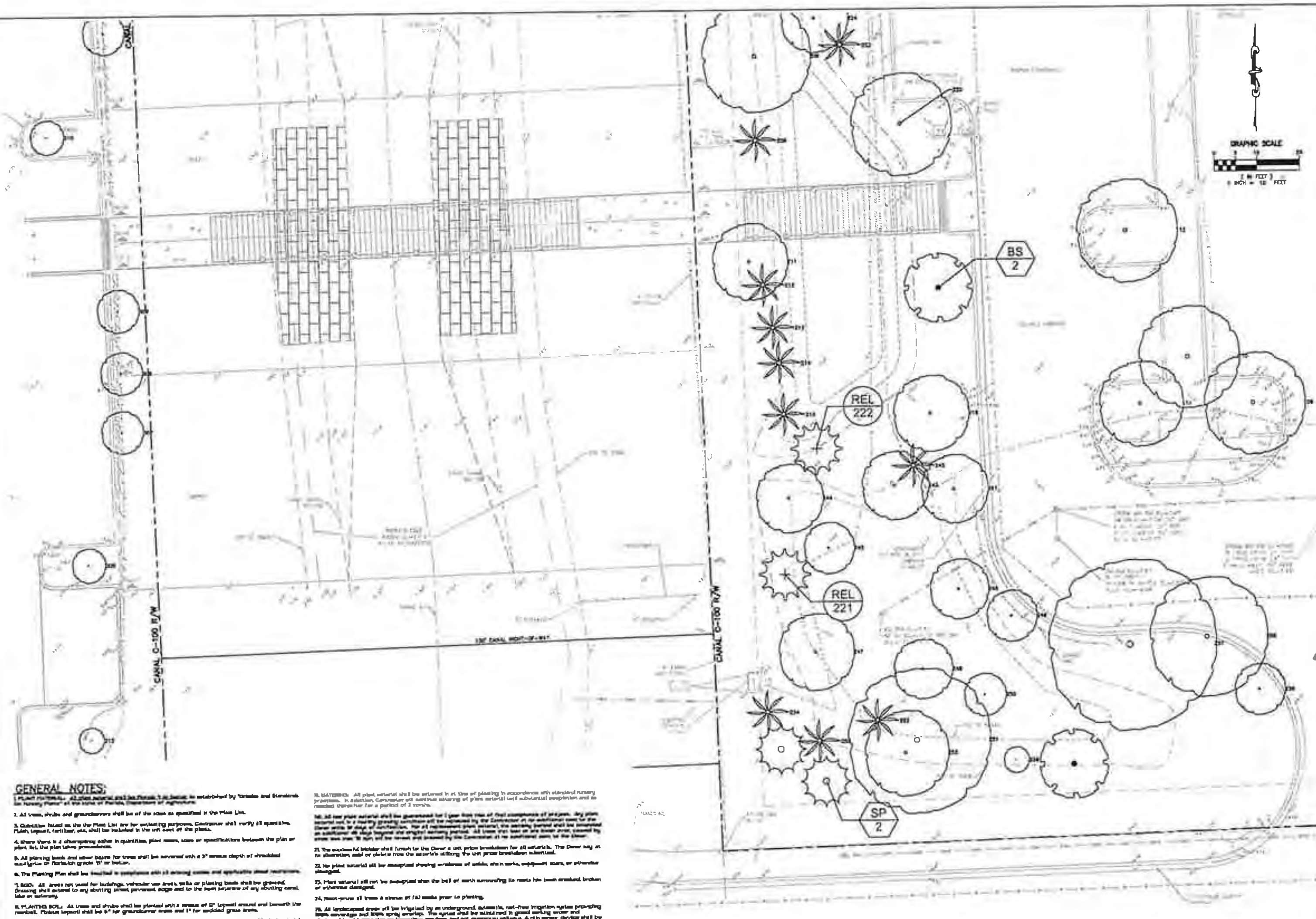
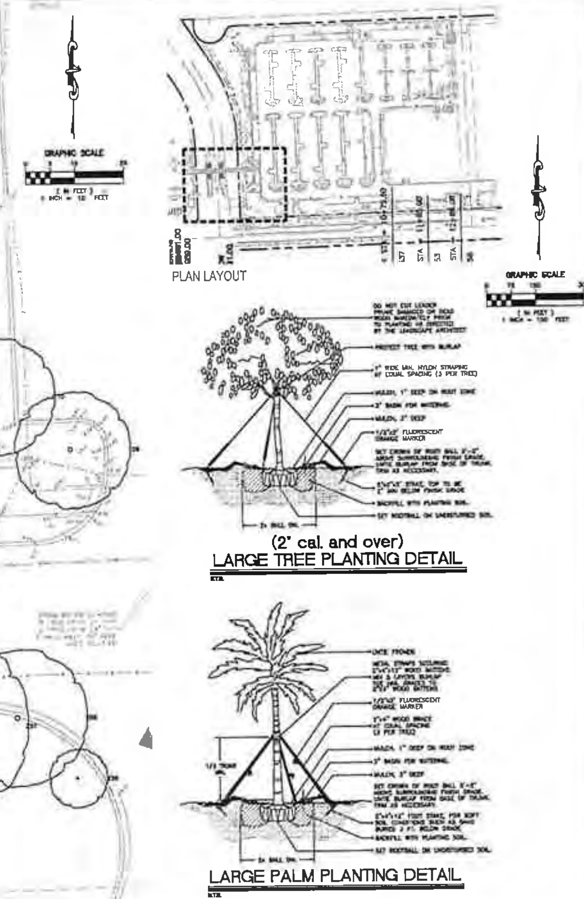
TO THE BEST OF MY KNOWLEDGE AND ABILITY THESE DRAWINGS COMPLY WITH THE MINIMUM STANDARDS OF THE FLORIDA BUILDING CODE 7TH EDITION (2020)

Moving on from building ordinary.™





GENERAL NOTES:

1. PLANT MATERIALS. All plant material shall be Florida No. 1 or better as established by "Grades and Standards for Nursery Plants" of the State of Florida, Department of Agriculture.

2. All trees, shrubs and groundcovers shall be of the sizes as specified in the Plant List.

3. Quantities listed on the Plant List are for estimating purposes. Contractor shall verify all quantities. Mulch, topsoil, fertilizer, etc. shall be included in the unit cost of the plants.

4. Where there is a discrepancy either in quantities, plant names, sizes or specifications between the plan or plant list, the plan takes precedence.

5. All planting beds and other bases for trees shall be covered with a 3" minimum depth of shredded eucalyptus or Florimulch grade 'B' or better.

6. The Planting Plan shall be [illegible]

7. SOD. All areas not used for buildings, vehicular use areas, walks or planting beds shall be grassed. Grassing shall extend to any abutting street pavement edge and to the mean waterline of any abutting canal, lake or waterway.

8. PLANTING SOIL. All trees and shrubs shall be planted with a minimum of 12" topsoil around and beneath the rootball. Minimum topsoil shall be 6" for groundcover areas and 2" for sodded grass areas.

9. Planting soil to be a weed-free mixture of 50% sand, 40% muck, and 10% Canadian peat. All plant material to receive planting soil as per details.

10. Contractor is responsible for determining all utility locations and installing facilities so as to not conflict. All damage to existing utilities or improvements caused by Contractor shall be repaired at no additional cost to the Owner.

11. Contractor to notify "Sunshine State One Call of Florida, Inc." at 1-800-432-4770 Two Full Business Days prior to digging for underground utility locations.

12. [illegible]

13. After final grade, areas to be raked to 6" depth and all rock and foreign inorganic materials removed and disposed of properly off-site.

14. All planting holes to be hand dug except where machine dug holes will not adversely affect or damage utilities or improvements (see note 10).

15. No plunging of any tree or palm will be accepted. All plants to be planted at the nursery grade or slightly higher.

16. Contractor shall stake / guy all trees and palms at time of planting as per the appropriate detail. Contractor is responsible for the maintenance and/or repair of all staking and guying during warranty period and removal / disposal of staking after establishment period.

17. Fertilizer for grass areas shall be [illegible]

18. SUBSTITUTIONS AND CHANGES. All substitutions and changes shall be approved in writing prior to installation. Any discrepancies between plans, site and specifications shall be brought to the immediate attention of the Landscape Architect, the owner and governing municipality.

19. WATERING. All plant material shall be watered in at time of planting in accordance with standard nursery practices. [illegible]

20. [illegible]

21. [illegible]

22. [illegible]

23. [illegible]

24. [illegible]

25. All landscaped areas will be irrigated by an underground, automatic [illegible]

26. All plant material planted within the sight distance triangle areas [illegible]

27. No canopy trees shall be planted within [illegible] feet of a light pole. [illegible]

28. Ground cover plantings shall provide not less than 50 percent coverage immediately upon planting and 100 percent coverage within 6 months after planting.

29. [illegible]

30. [illegible]

31. All landscape material shall be [illegible]

Tree Mitigation Chart						
Tree_ID	Common Name	Botanical Name	Spread	SPRD SQFT	Condition	Disposition
216	Bald Cypress	Taxodium distichum	18	254	Good	Remove
217	Bald Cypress	Taxodium distichum	18	254	Good	Remove
218	Bald Cypress	Taxodium distichum	18	254	Good	Remove
219	Bald Cypress	Taxodium distichum	18	254	Good	Remove
308	pitch apple	Clusia rosea	10	79	Good	Remove
314	pitch apple	Clusia rosea	10	79	Good	Remove
		TOTAL CANOPY REMOVED=		[illegible]		
		2.5 DBH, 12' Ht Tree 500 Credit=		2		
		5' Clear Trunk Palm 100 Credit=		2		
		TOTAL CANOPY REPLACED=		1200		

PLANT SCHEDULE							
TREES	CODE	BOTANICAL / COMMON NAME	CONT	DBH	SIZE		QTY
	BS	Bursera simaruba / Gumbo Limbo	Field Grown	2.5" DBH	12' HT		2
	REL ##	Relocated Palm Refer to Tree Disposition Chart for Specification	Relocated				2
	SP	Sabal palmetto / Cabbage Palmetto	Field Grown		3' C.T.		2

ML PROJECT No. 22-00022

CASTO MIGUEL JUNEAL, PLA LA6667184 3/3/2023

Jackson South MEDICAL CENTER *Miracles made daily.*

Project Name: JACKSON SOUTH MEDICAL CENTER NEW GOLF CART BRIDGE

MOBIO

ARCHITECTURE: MOBIO ARCHITECTURE, INC.

CIVIL ENGINEERING & LANDSCAPE ARCHITECTURE: MILLER LEGG

ELECTRICAL ENGINEER: LOUIS J. AGUIRRE & ASSOCIATES, P.A.

STRUCTURAL ENGINEER: DOUGLAS WOOD ASSOCIATES, INC.

BRIDGE MANUFACTURER: LAWSON BRIDGES

PERMIT SET

Project Number: 22-007-182

Date: FEBRUARY 24, 2023

FOR PERMIT

LANDSCAPE PLAN AND DETAILS

L2

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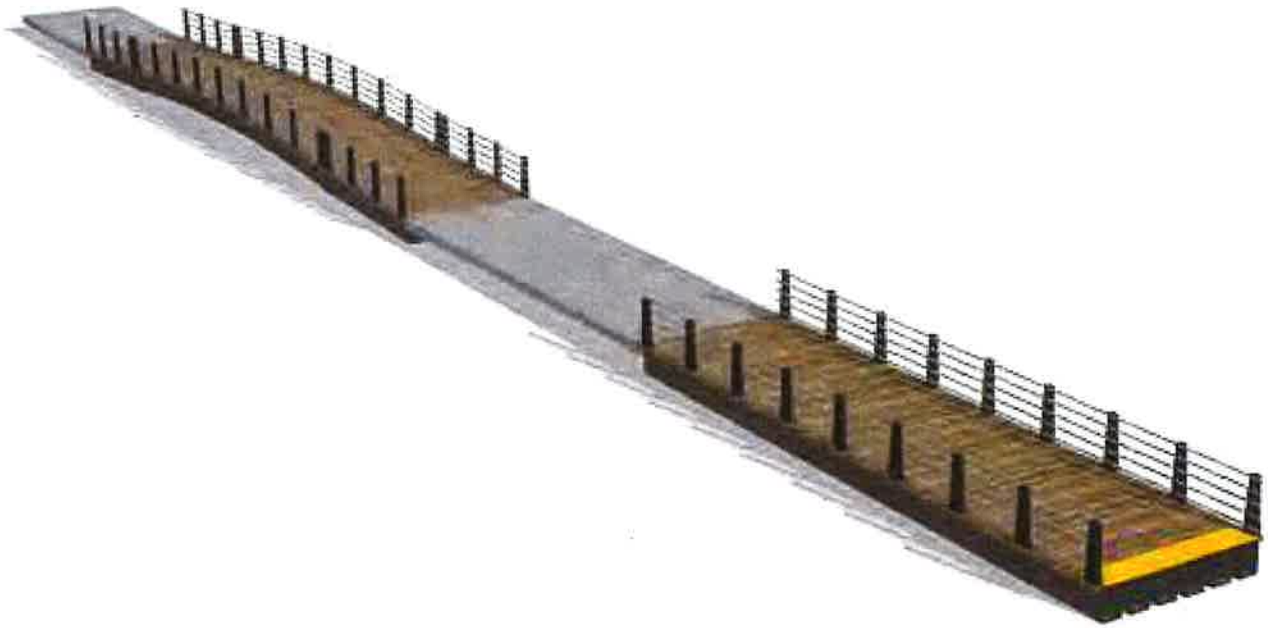
TO THE BEST OF MY KNOWLEDGE AND ABILITY, THESE DRAWINGS COMPLY WITH THE MINIMUM STANDARDS OF THE FLORIDA BUILDING CODE 7TH EDITION (2020)



JACKSON SOUTH MEDICAL CENTER - FL

CONTENTS

E.01 ENGINEERING: SITE PLAN
E.02 ENGINEERING: PLAN / SIDE ELEVATION
E.03 ENGINEERING: ISOMETRIC & DECK FINISH
E.04 ENGINEERING: BRIDGE-A & BOARDWALK DETAILS - 01
E.05 ENGINEERING: BRIDGE-A & BOARDWALK DETAILS - 02
E.06 ENGINEERING: BRIDGE-A & BOARDWALK DETAILS - 03
E.07 ENGINEERING: BRIDGE-A & BOARDWALK DETAILS - 04
E.08 ENGINEERING: BRIDGE-A & BOARDWALK DETAILS - 05
E.09 ENGINEERING: BRIDGE-B DETAILS - 01
E.10 ENGINEERING: BRIDGE-B DETAILS - 02
E.11 ENGINEERING: BEAM COVER DETAILS
R.01 BRIDGE & BOARDWALK RENDERING

ROCKVILLE ENG INC

Licensed Structural Engineers

JACKSON SOUTH MEDICAL CENTER

8333 S.W. 152nd Street
Miami, FL. 33157

08 PRELIMINARY ENGINEERING

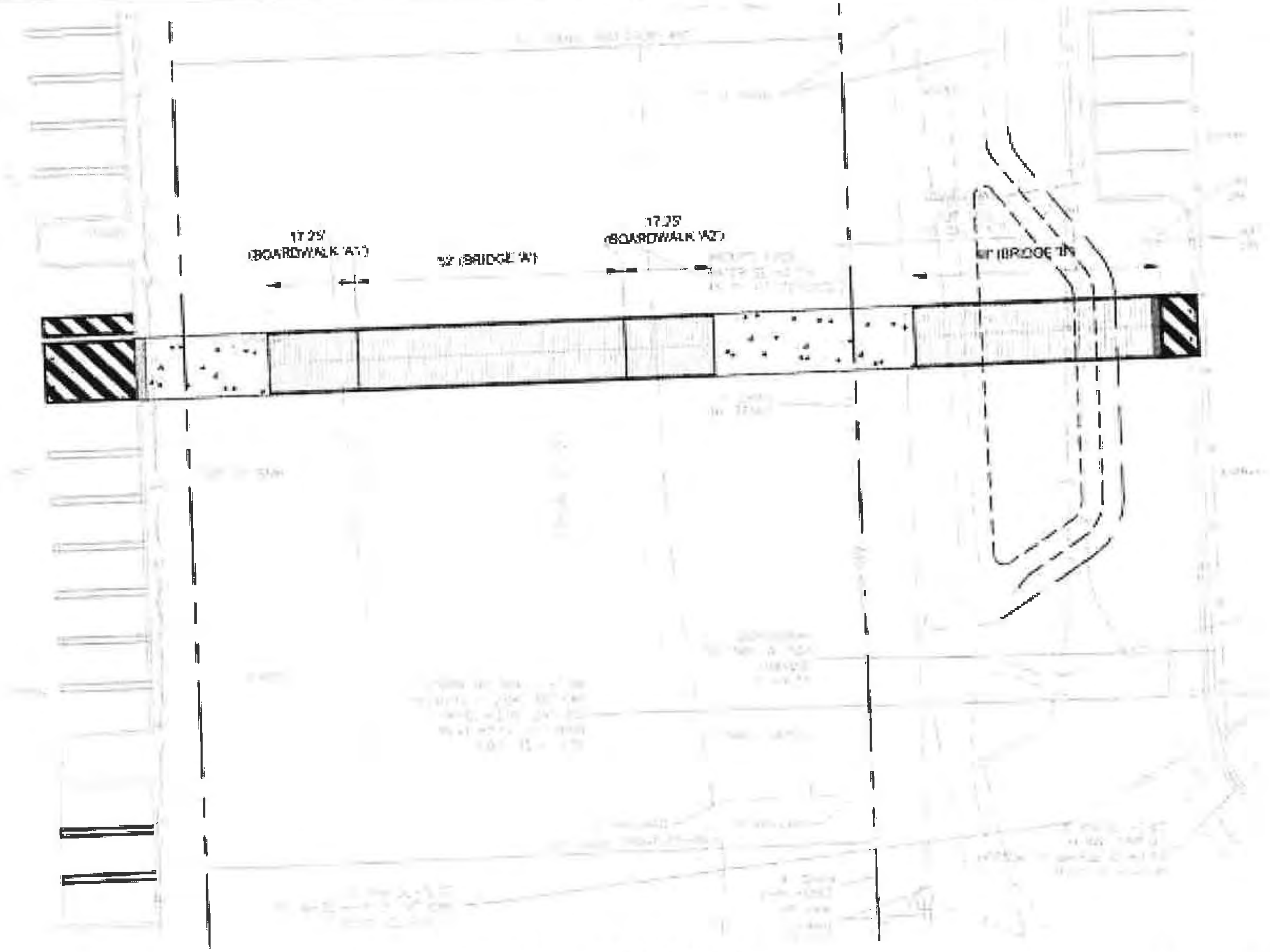
SPECIFICATION

FIBERGLASS WOODY/TIMBER
12' x 134.5'
WEATHERED WOOD
POSTS & RAILS
100 PSF

TITLE PAGE

10 FEB. 2023
N/A
CLC / EJ
E.00

LINKS BRIDGES



Ⓐ SITE PLAN

ROCKVILLE ENG INC

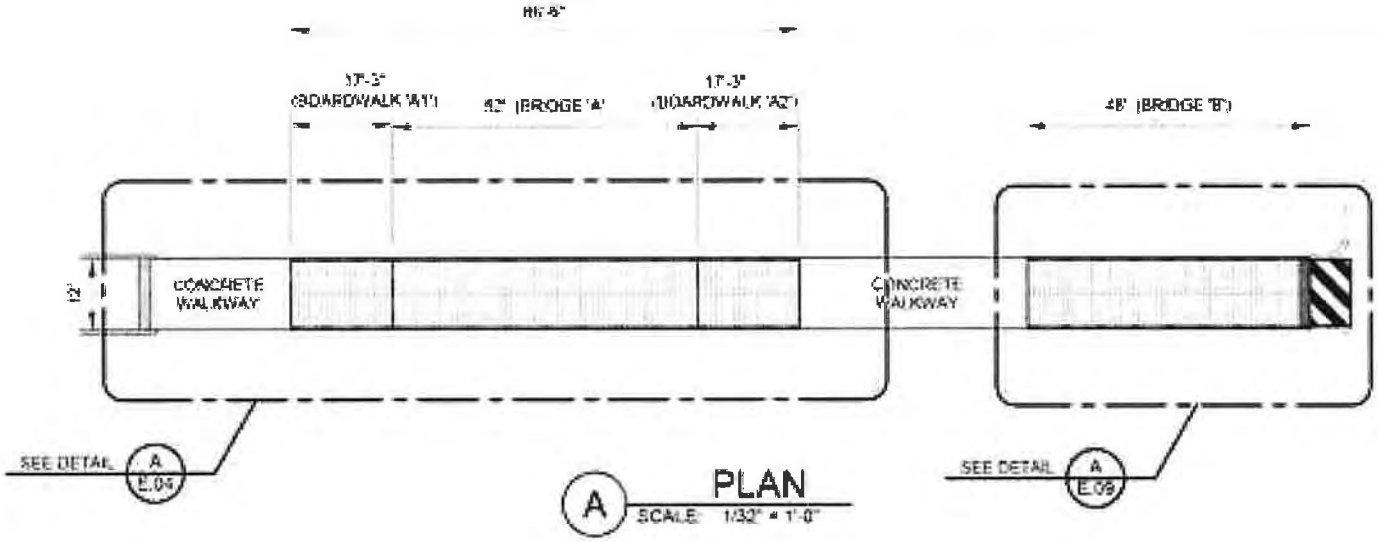
Licensed Structural Engineers

CLIENT	JACKSON SOUTH MEDICAL CENTER
SITE	8333 S.W. 152nd Street Miami, FL. 33157
	08 PRELIMINARY ENGINEERING

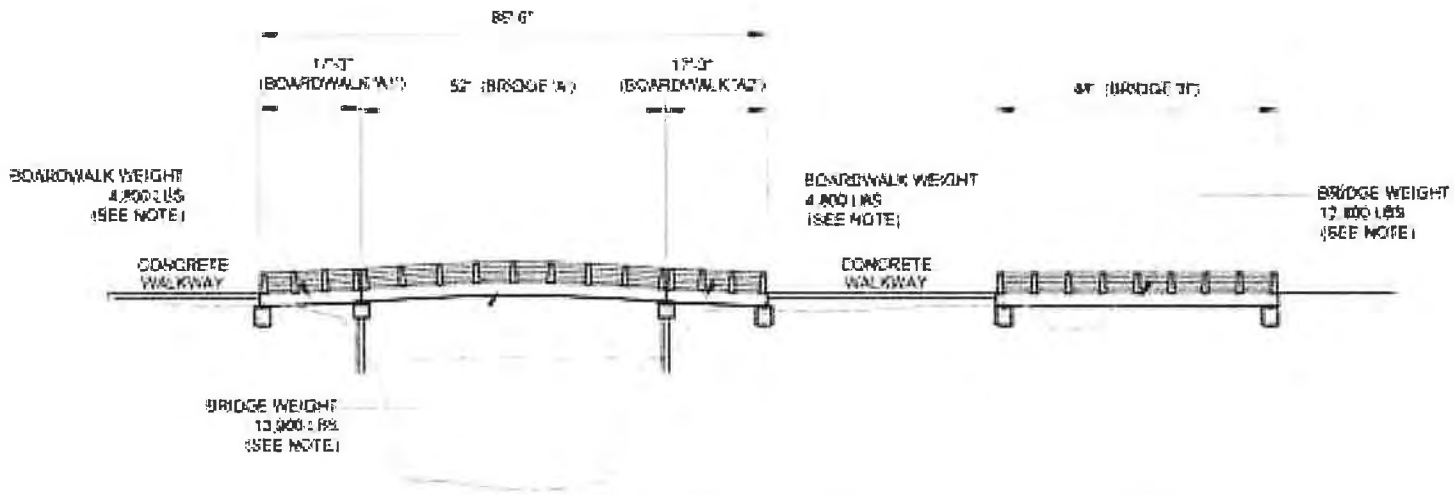
SPECIFICATION	
TYPE	FIBERGLASS WOODY/TIMBER
SIZE	12' x 134.5'
FINISH	WEATHERED WOOD
	POSTS & RAILS
	100 PSF

ENGINEERING: SITE PLAN		
DATE	10 FEB. 2023	E.01
SCALE	–	
DRAWN BY	CLC / EJ	

LINKS BRIDGES



A PLAN
SCALE: 1/32" = 1'-0"



B SIDE ELEVATION
SCALE: 1/32" = 1'-0"

*NOTE:

ACTUAL BRIDGE / BOARDWALK WEIGHT CAN VARY ± 8% DUE TO VARIABILITY OF RESIN CONTENT REQUIRED

MDC048

ROCKVILLE ENG INC
Licensed Structural Engineers

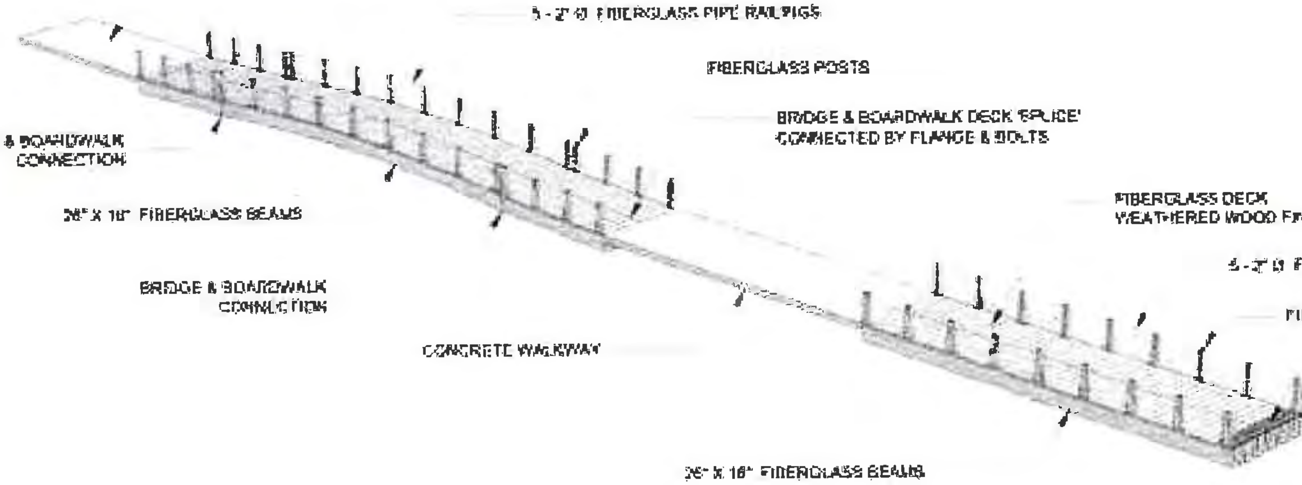
JACKSON SOUTH MEDICAL CENTER
9333 S.W. 152nd Street
Miami, FL. 33157
08 PRELIMINARY ENGINEERING

SPECIFICATION	
FIBERGLASS WOODY/TIMBER	
12' x 134.5'	
WEATHERED WOOD	
POSTS & RAILS	
100 PSF	
AASHTO HS - EQUIVALENT DYNAMIC LOADS	

ENGINEERING:
PLAN / SIDE ELEVATION

10 FEB. 2023	
1/32" = 1'-0"	E.02
CLC / EJ	
22-054-TP1-03K13M SWTS	

LINKS BRIDGES



(A) ISOMETRIC VIEW
SCALE: NTS

FINISH
WEATHERED WOOD

(B) MATERIAL FINISH (DECK)
SCALE: NTS

ROCKVILLE ENG INC

Licensed Structural Engineers

CLIENT	JACKSON SOUTH MEDICAL CENTER
SITE	9333 S.W. 152nd Street, Miami, FL. 33157
ISSUE	08 PRELIMINARY ENGINEERING

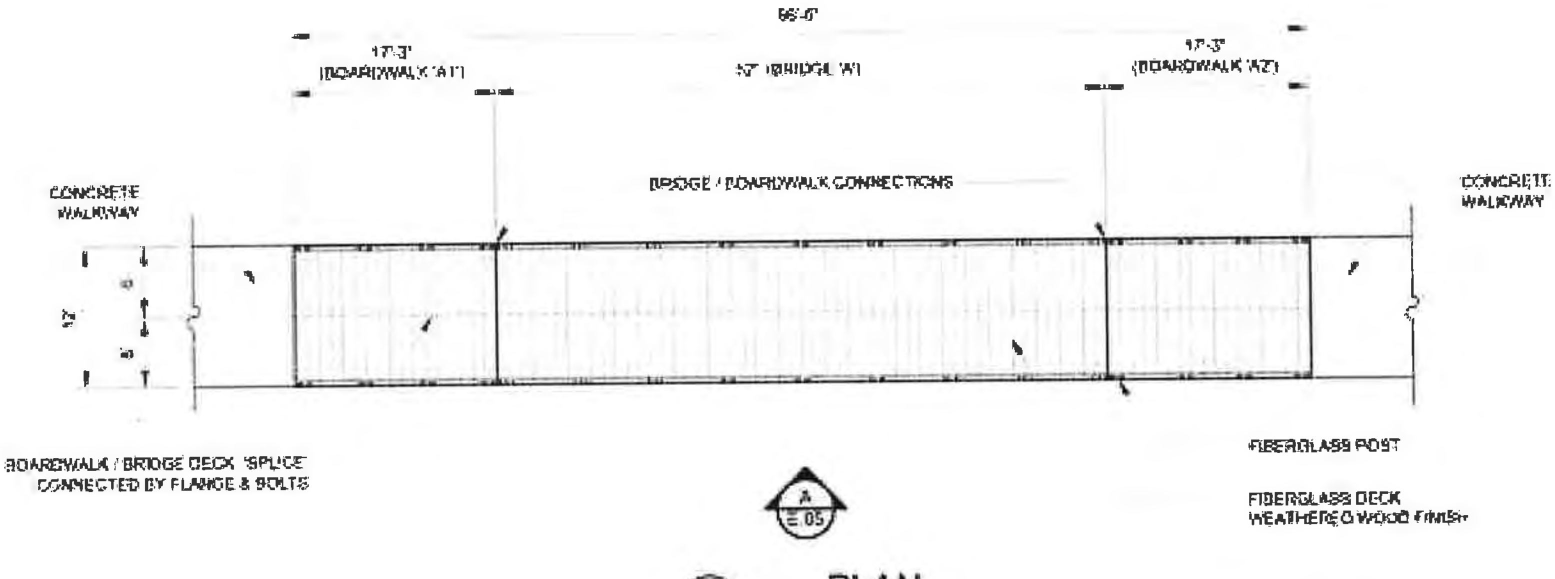
SPECIFICATION	
TYPE	FIBERGLASS WOODY/TIMBER
SIZE	12' x 134.5'
FINISH	WEATHERED WOOD
	POSTS & RAILS
LL	100 PSF
	AASHTO H10 - EXCLUDING DYNAMIC LOADS

ENGINEERING: ISOMETRIC & DECK FINISH

DATE	10 FEB. 2023	
SCALE	NTS	
DRAWN BY	CLC / EJ	E.03
FILE	22 054-TP1-12X134 BWTF	

LINKS BRIDGES

MDC049



A PLAN
SCALE: 1/16" = 1'-0"

ROCKVILLE ENG INC

Licensed Structural Engineers

JACKSON SOUTH MEDICAL CENTER

9333 S.W. 152nd Street
Miami, FL. 33157

08 PRELIMINARY ENGINEERING

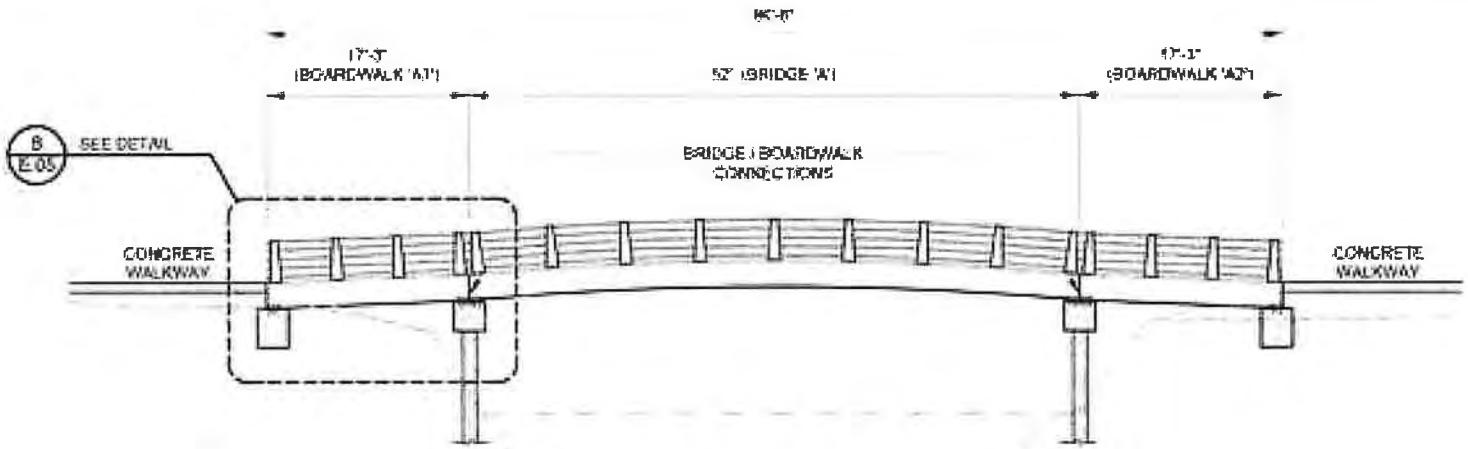
SPECIFICATION
FIBERGLASS WOODY/TIMBER
12' x 134.5'
WEATHERED WOOD
POSTS & RAILS
100 PSF
AASHTO HIS - EXCLUDING DYNAMIC LOADS

ENGINEERING:
BRIDGE - A & BOARDWALK
DETAILS - 01

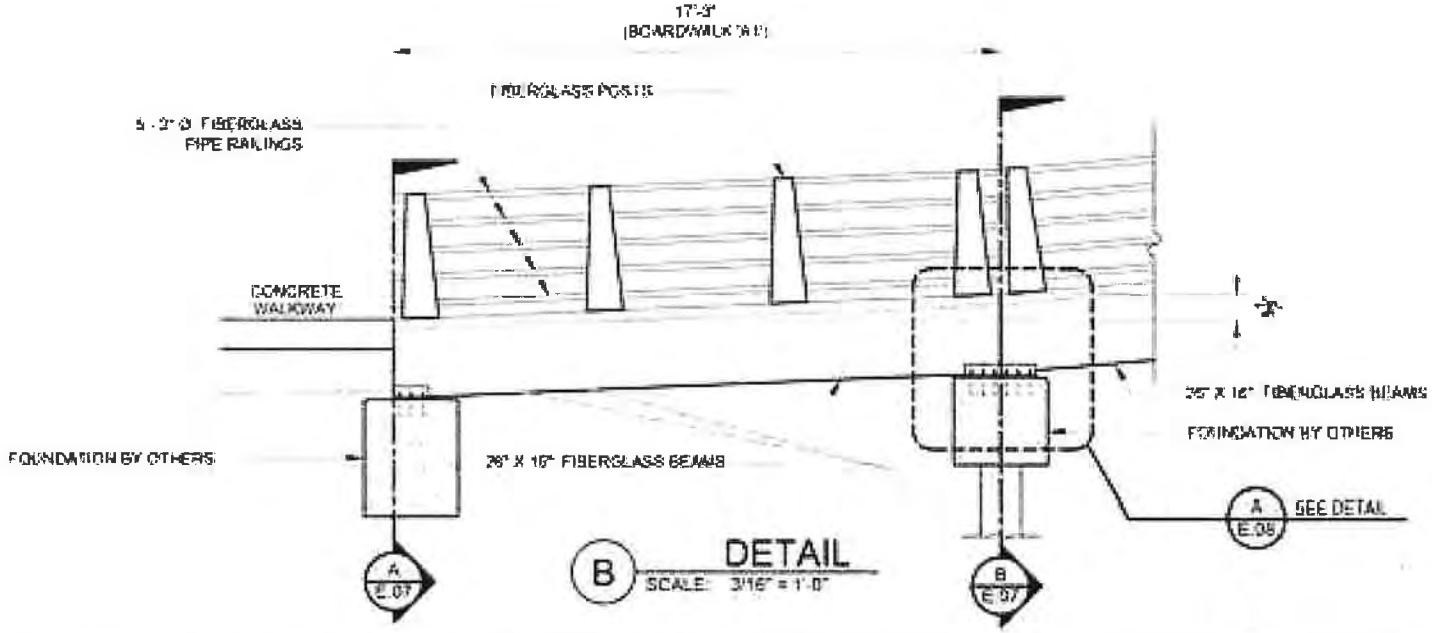
10 FEB. 2023		E.04
1/16" = 1'-0"		
CLC / EJ		
27-084-TP1-EK138 SWT		

LINKS BRIDGES

MDC050



A SIDE ELEVATION
SCALE: 3/16" = 1'-0"



B DETAIL
SCALE: 3/16" = 1'-0"

MDC051

ROCKVIEW ENG INC

Licensed Structural Engineers

JACKSON SOUTH MEDICAL CENTER

9333 S.W. 152nd Street
Miami, FL. 33157

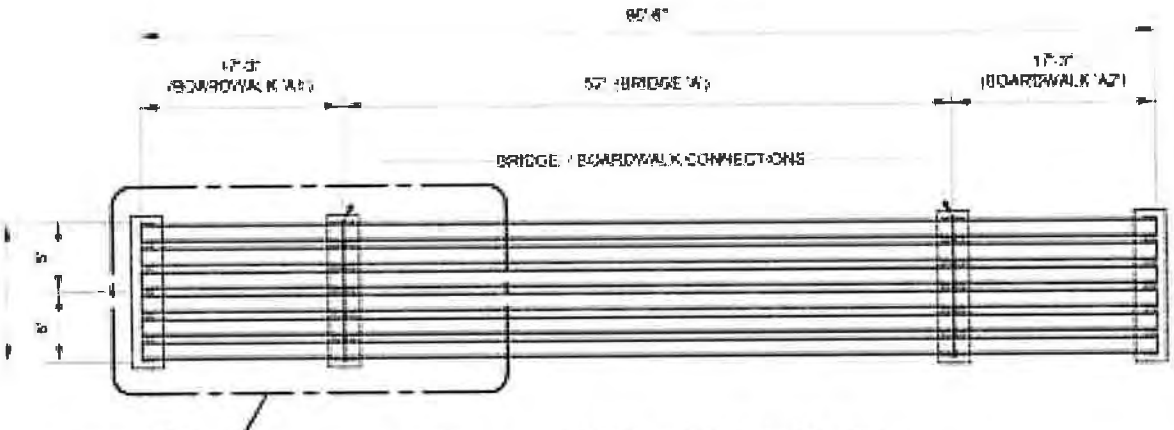
08 PRELIMINARY ENGINEERING

SPECIFICATION	
FIBERGLASS WOODY/TIMBER	
12 x 134.5'	
WEATHERED WOOD	
POSTS & RAILS	
100 PSF	
AASHTO HS -	

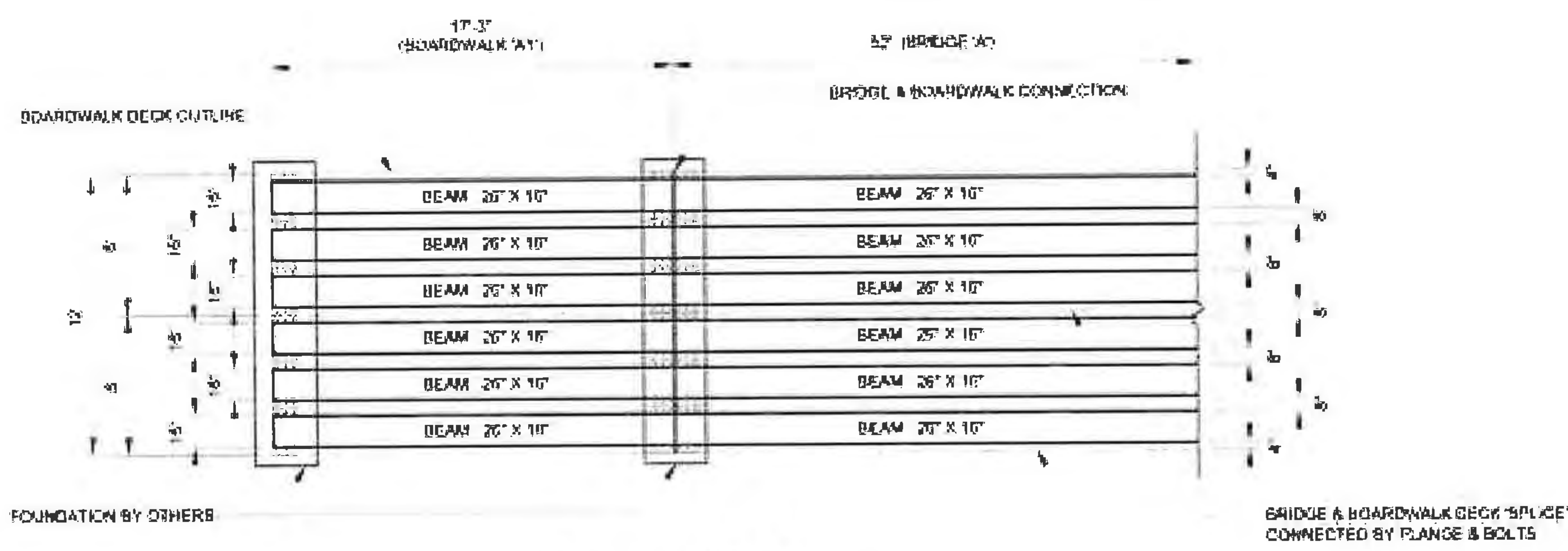
ENGINEERING:
BRIDGE - A & BOARDWALK DETAILS - 02

10 FEB. 2023	
AS SHOWN	E.05
CLC / EJ	

LINKS BRIDGES



A SUB - DECK PLAN
SCALE: 1/16" = 1'-0"



B DETAIL
SCALE: 1/8" = 1'-0"

ROCKVILLE ENG INC

Licensed Structural Engineers

JACKSON SOUTH MEDICAL CENTER

9333 S.W. 152nd Street
Miami, FL. 33157

08 PRELIMINARY ENGINEERING

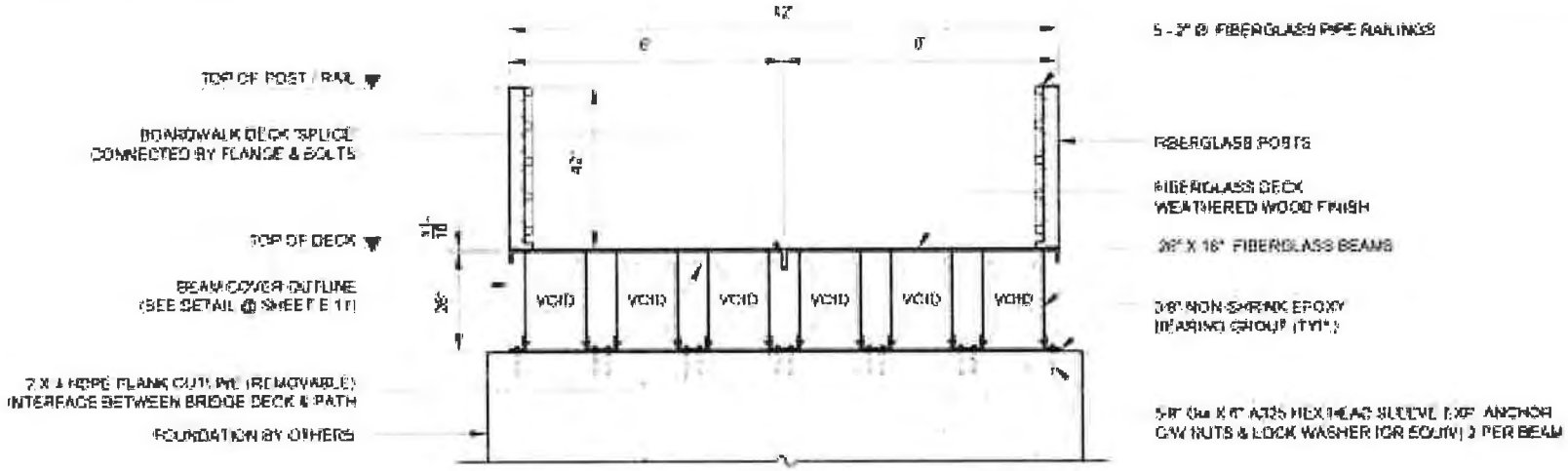
SPECIFICATION

FIBERGLASS WOODY/TIMBER
12 x 134.5'
WEATHERED WOOD
POSTS & RAILS
100 PSF
AASHTO H10 - EASEMENT/DYNAMIC LOADS

ENGINEERING:
BRIDGE - A & BOARDWALK DETAILS - 03

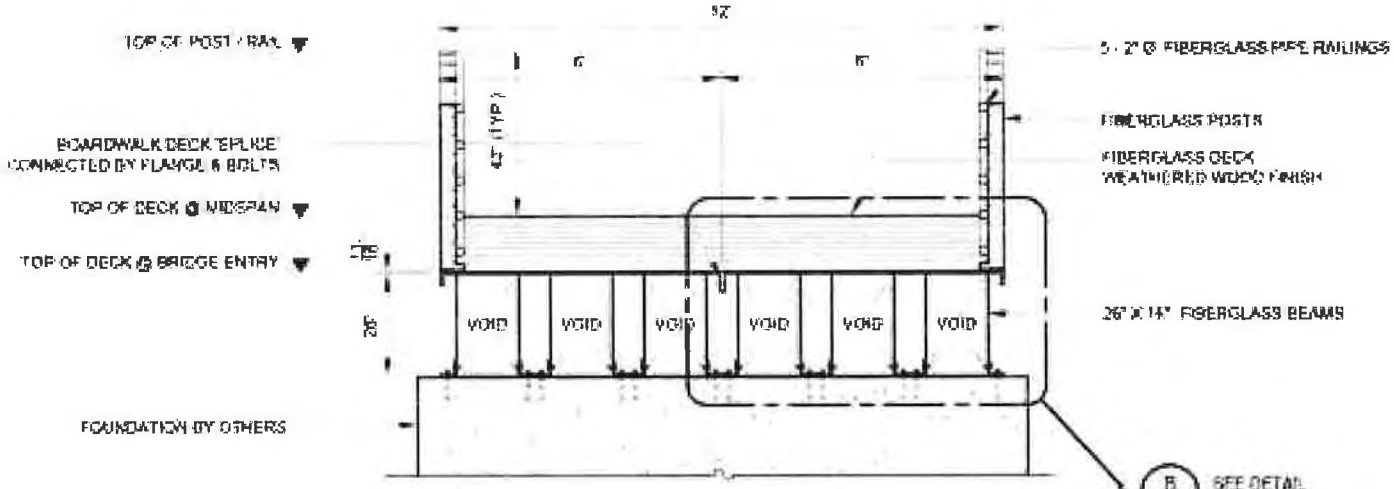
10 FEB 2023
AS SHOWN
CLC / EJ
E.06
22-064-TP1-STK134 BWTS

LINKS BRIDGES



A SECTION @ BOARDWALK END

SCALE: 1/4" = 1'-0"



B SECTION @ BRIDGE 'A' END

SCALE: 1/4" = 1'-0"

MDC053

ROCKVILLE ENG. INC.

Licensed Structural Engineers

JACKSON SOUTH MEDICAL CENTER

9333 S.W. 152nd Street
Miami, FL. 33157

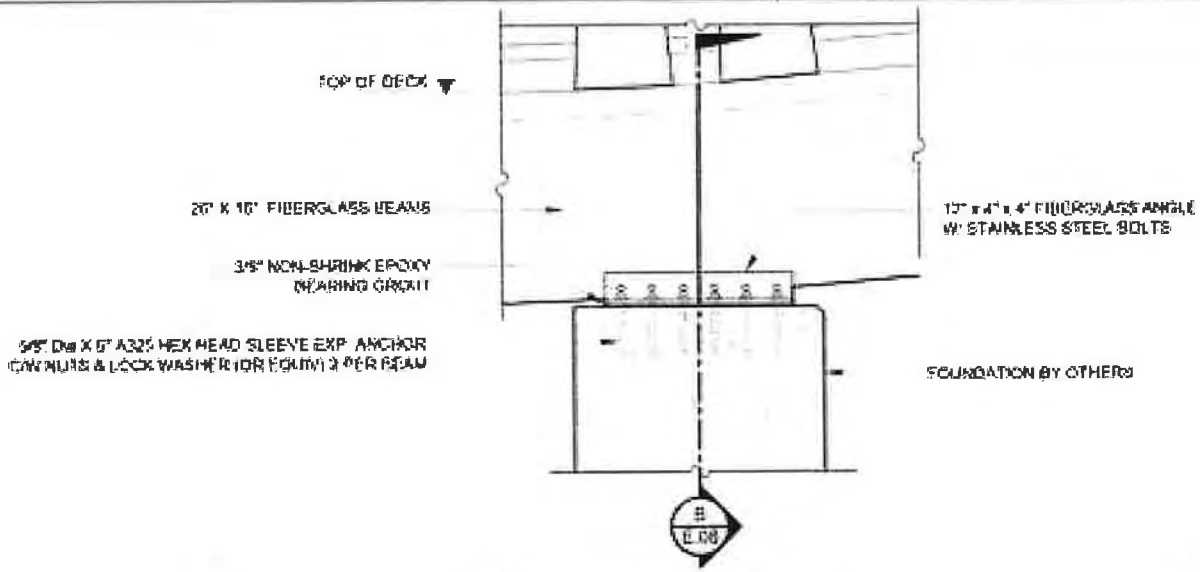
08 PRELIMINARY ENGINEERING

SPECIFICATION	
FIBERGLASS WOODY/TIMBER	
12' x 134.5'	
WEATHERED WOOD	
POSTS & RAILS	
100 PSF	
AASHTO HS - EXCLUSIVE DYNAMIC LOADS	

ENGINEERING:
BRIDGE - A & BOARDWALK DETAILS - 04

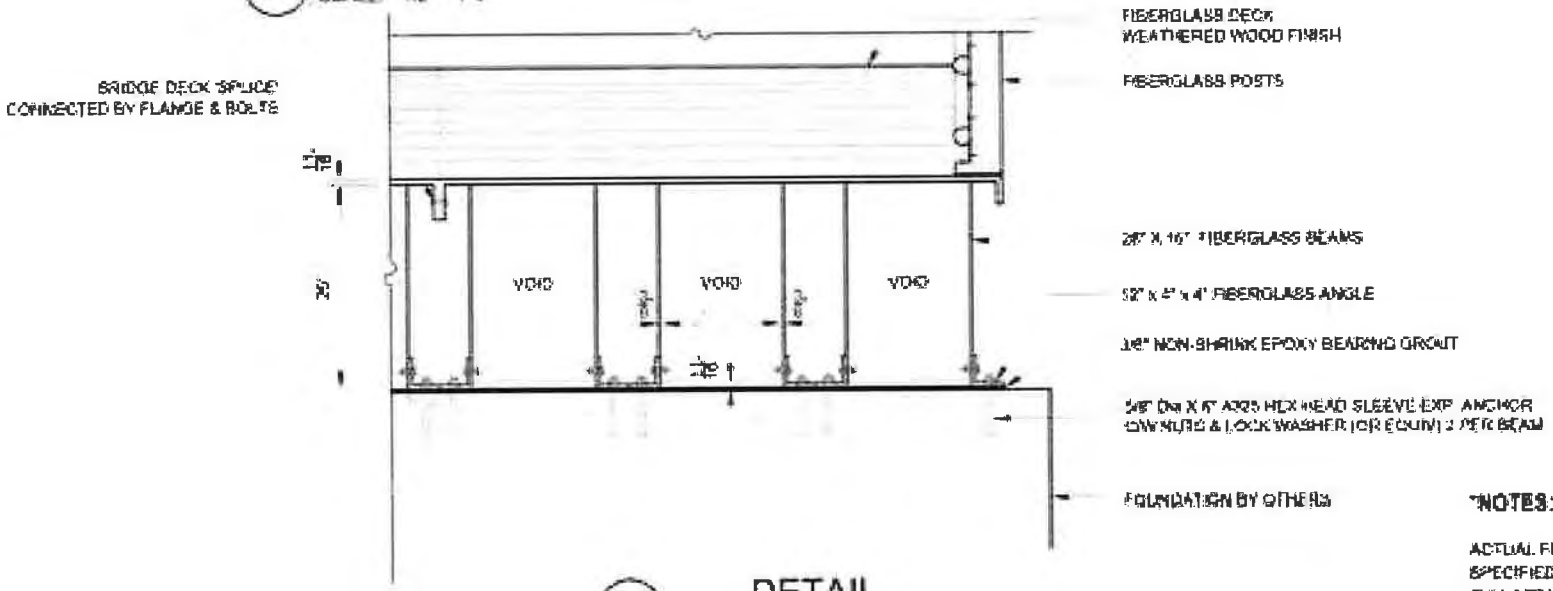
10 FEB. 2023	
1/4" = 1'-0"	E.07
CLC / EJ	

LINKS BRIDGES



A DETAIL (BRIDGE & BOARDWALK CONNECTION)

SCALE: 1/2" = 1'-0"



B DETAIL

SCALE: 1/2" = 1'-0"

NOTES:

ACTUAL FOUNDATION DESIGN TO BE SPECIFIED BY OTHERS
THIS DETAIL IS TO SHOW BRIDGE BEAM / PILE CAP CONNECTION

MDC054

ROCKVIEW ENG INC

Licensed Structural Engineers

JACKSON SOUTH MEDICAL CENTER

9333 S.W. 152nd Street
Miami, FL. 33157

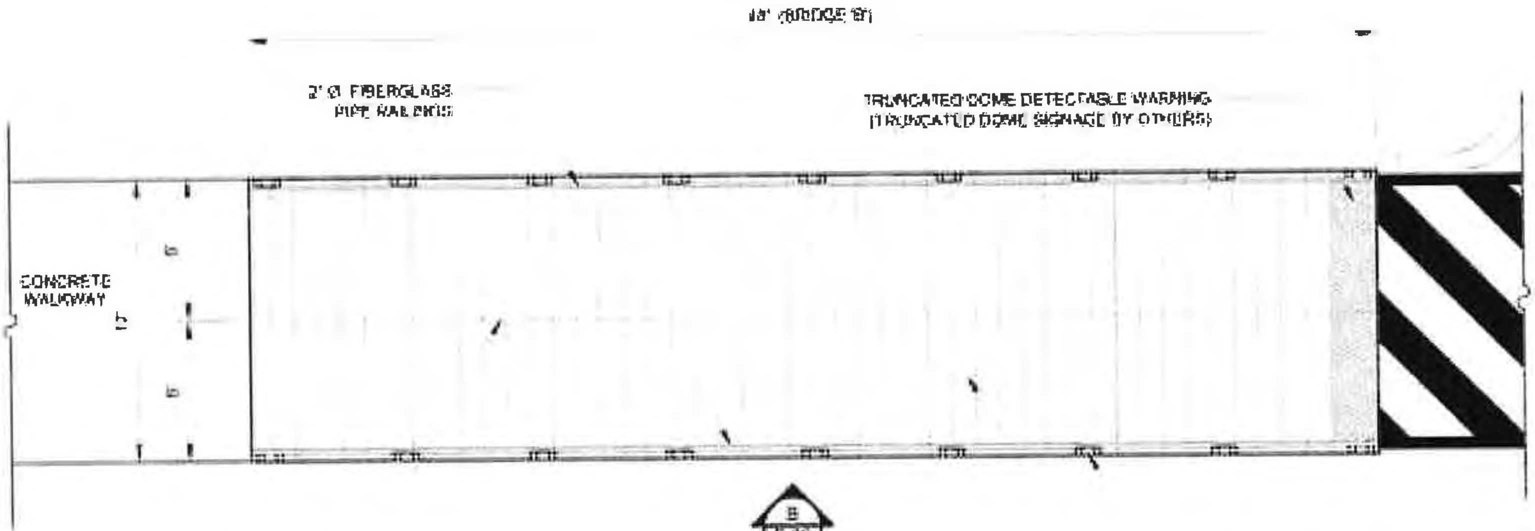
08 PRELIMINARY ENGINEERING

SPECIFICATION	
FIBERGLASS WOODY/TIMBER	
12 x 134.5'	
WEATHERED WOOD	
POSTS & RAILS	
100 PSF	
AASHTO HS - EXCLUDING DYNAMIC LOADS	

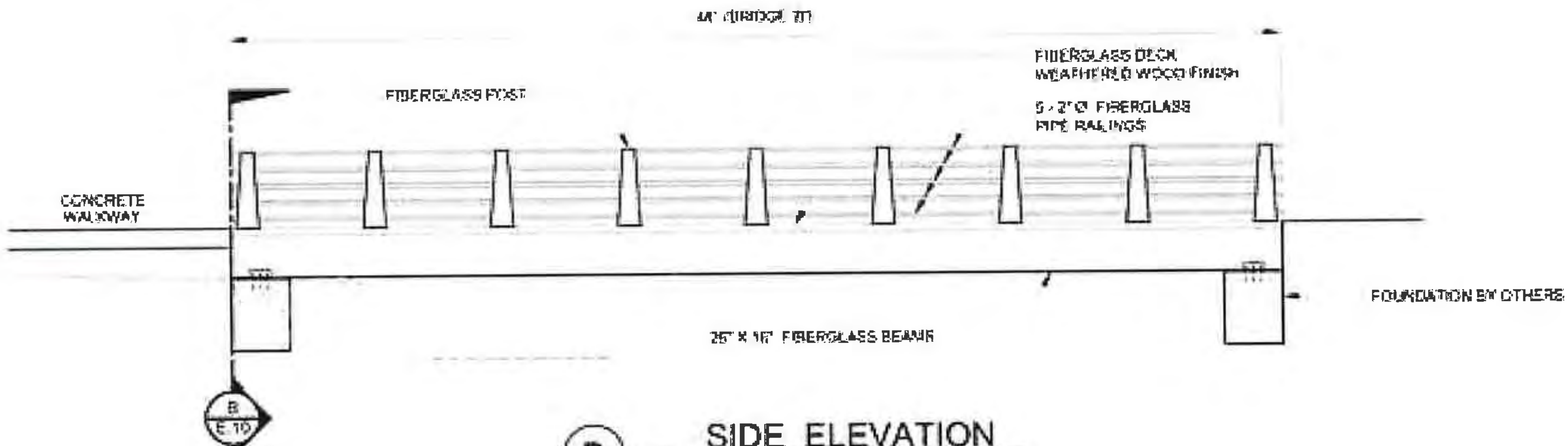
ENGINEERING:
BRIDGE - A & BOARDWALK DETAILS - 05

10 FEB. 2023	
1/2" = 1'-0"	E.08
CLC / EJ	

LINKS BRIDGES



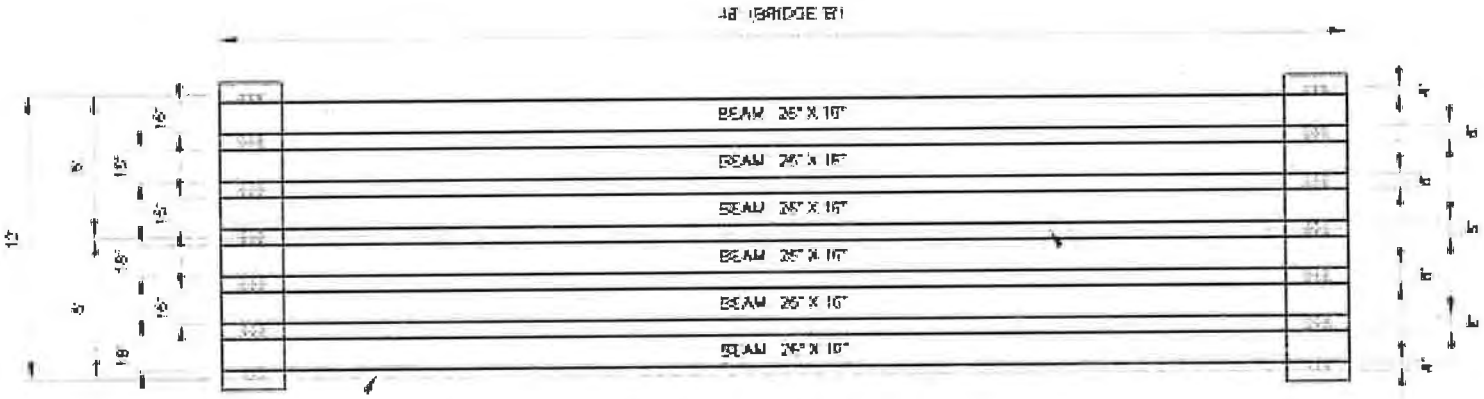
A PLAN
SCALE: 1/8" = 1'-0"



B SIDE ELEVATION
SCALE: 1/8" = 1'-0"

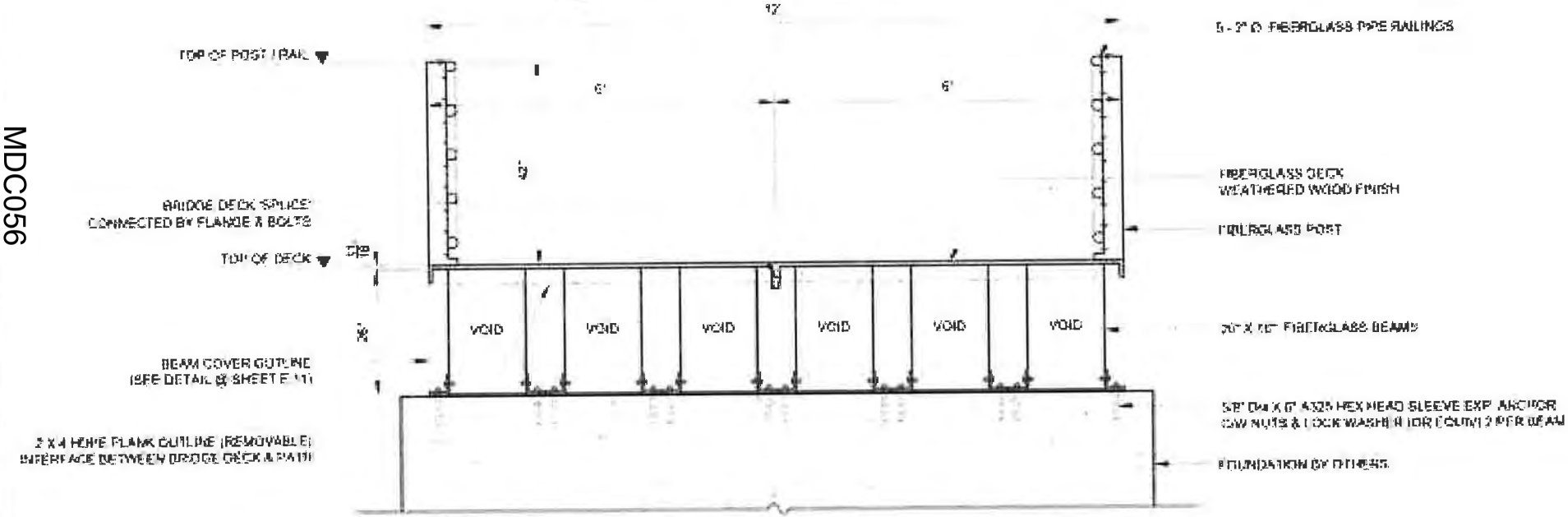
MDC055

ROCKVILLE ENG INC Licensed Structural Engineers	JACKSON SOUTH MEDICAL CENTER 9333 S.W. 152nd Street Miami, FL 33157 08 PRELIMINARY ENGINEERING	SPECIFICATION FIBERGLASS WOODY/TIMBER 12' x 134.5' WEATHERED WOOD POSTS & RAILS 100 PSF AASHTO HS - EXCALIBUR/PEDESTRIAN LOADS	ENGINEERING: BRIDGE - B DETAILS - 01 10 FEB. 2023 1/8" = 1'-0" CLC / EJ 22-054-TP1-JCKSM SWTe E.09	LINKS BRIDGES



A SUB - DECK PLAN

SCALE: 1/8" = 1'-0"



B SECTION

SCALE: 3/8" = 1'-0"

MDC056

ROCKVILLE ENG INC

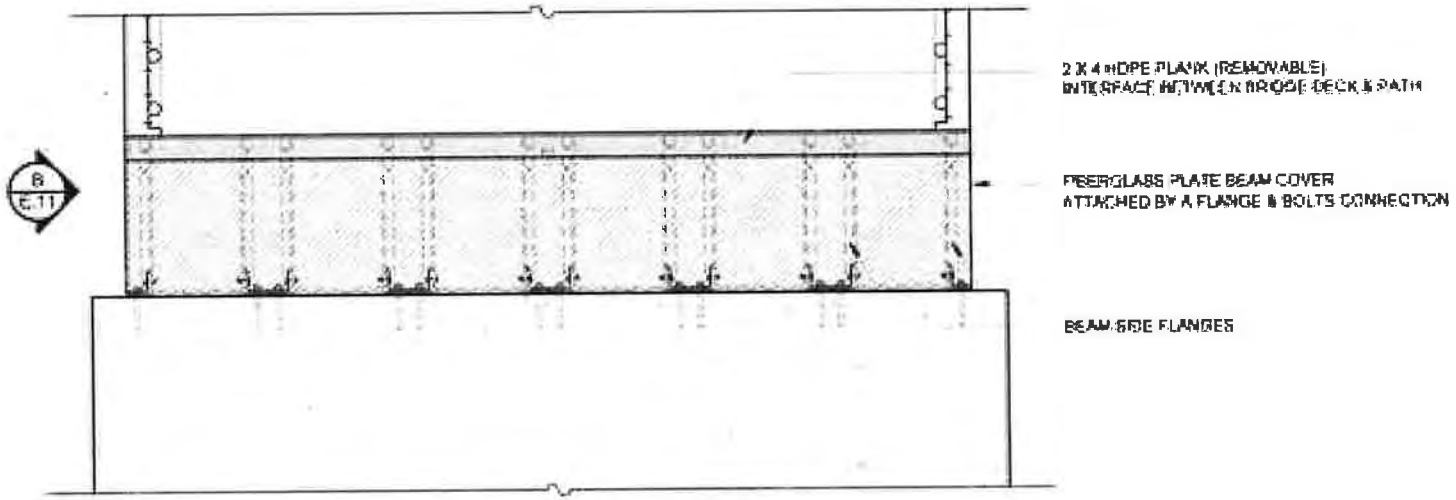
Licensed Structural Engineers

OWNER	JACKSON SOUTH MEDICAL CENTER
SITE	9333 S.W. 152nd Street, Miami, FL. 33157
ISSUE #	08 PRELIMINARY ENGINEERING

SPECIFICATION	
TYPE	FIBERGLASS WOODY/TIMBER
SIZE	12' x 134.5'
FINISH	WEATHERED WOOD
LOCATION	POSTS & RAILS
LOAD	100 PSF
REF.	AASHTO HS3 - EXTENSIONS SPANNING ACTIVE

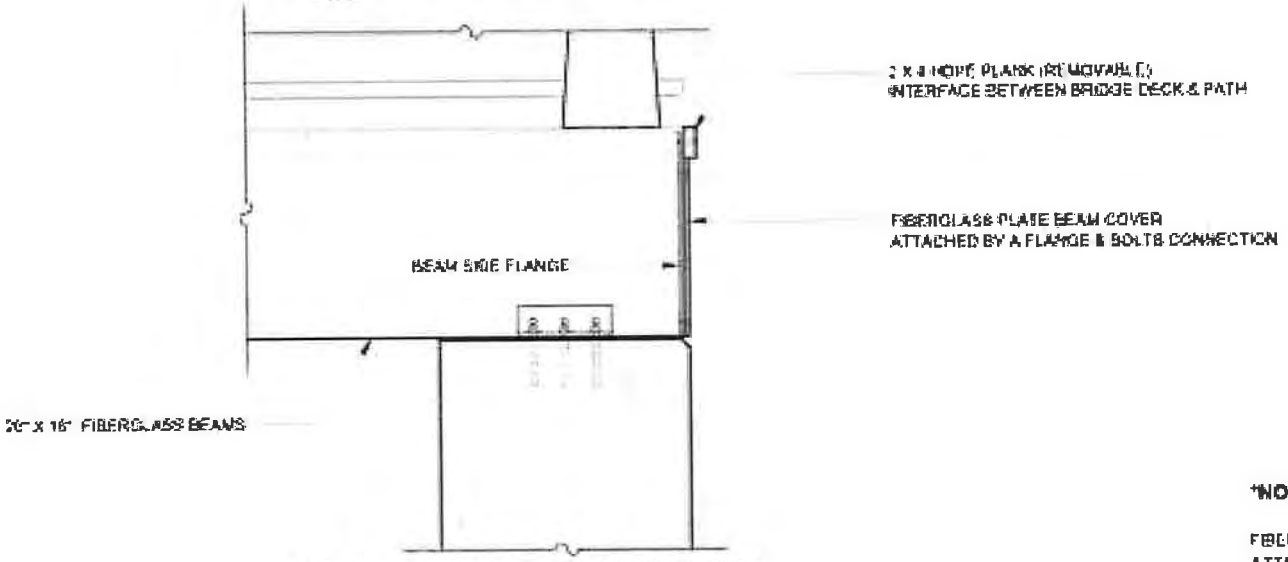
DRAWING	ENGINEERING: BRIDGE - B DETAILS - 02
DATE	10 FEB. 2023
SCALE	AS SHOWN
DRAWN BY	CLC / EJ
JOB #	22-054-RP1-03X138 SWTS
SHEET #	E.10

LINKS BRIDGES



A REAR ELEVATION

SCALE: 3/8" = 1'-0"



B SIDE ELEVATION

SCALE: 1/2" = 1'-0"

***NOTES:**

FIBERGLASS PLATE BEAM COVERS ARE ATTACHED TO BEAMS AFTER BEAMS ARE COMPLETELY SECURED TO THE FOUNDATIONS

MDC057

ROCKVILLE ENG INC

Licensed Structural Engineers

JACKSON SOUTH MEDICAL CENTER

9333 S.W. 152nd Street
Miami, FL. 33157

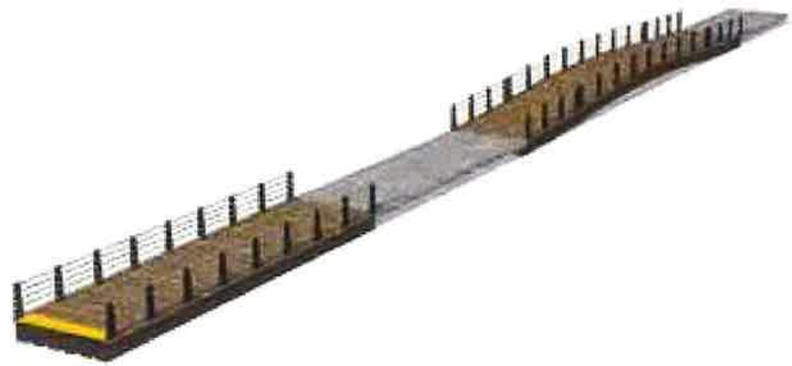
08 PRELIMINARY ENGINEERING

SPECIFICATION	
FIBERGLASS WOODY/TIMBER	
12" x 134.5'	
WEATHERED WOOD	
POSTS & RAILS	
100 PSF	

ENGINEERING:
BEAM COVER DETAILS

10 FEB. 2023	
AS SHOWN	E.11
CLC / EJ	

LINKS BRIDGES



(A) BRIDGE / BOARDWALK RENDERING

SCALE: NTS

ROCKVILLE ENG INC

Licensed Structural Engineers

CLIENT	JACKSON SOUTH MEDICAL CENTER
SITE	8333 S.W. 152nd Street, Miami, FL 33157
	08 PRELIMINARY ENGINEERING

SPECIFICATION	
TYPE	FIBERGLASS WOODY/TIMBER
SIZE	12' x 134.5'
FINISH	WEATHERED WOOD
	POSTS & RAILS
	100 PSF
	AASHTO HTG - EXCLUDING DYNAMIC LOADS

BRIDGE / BOARDWALK RENDERING		
DATE	10 FEB. 2023	R.01
SCALE	NTS	
DRAWN BY	CLC / EJ	
	23-058-TP1-12X134 SWTc	

LINKS BRIDGES

MDC058

GENERAL STRUCTURAL NOTES

1 CODES:
A ALL WORK SHALL CONFORM TO THE FLORIDA BUILDING CODE 2020 EDITION AND ALL OTHER APPLICABLE LOCAL CODES
B ALL STANDARDS REFERENCED IN THESE DRAWINGS SHALL REFER TO THE EDITIONS OF SUCH STANDARDS AS LISTED IN FBC 2020 CHAPTER 35 "REFERENCED STANDARDS" UNLESS OTHERWISE NOTED

2. DESIGN CRITERIA
A. DECK LOADS
LIVE LOAD 100PSF
VEHICLE LOAD 20,000 LBS
WIND LOAD 79.8 PSF

B BRIDGE END REACTIONS

[illegible]

1- BRIDGE 'A' END REACTIONS
-DEAD LOAD 8,751 LBS
-LIVE LOAD (100 PSF) 31,200 LBS
-WIND (UPLIFT, 79.8 PSF) 11,[illegible] LBS (FACTORED LOAD)
-WIND (LATERAL, 79.8 PSF) 10,829 LBS (FACTORED LOAD)

2- BRIDGE 'B' END REACTIONS
-DEAD LOAD 8,078 LBS
-LIVE LOAD (100 PSF) 28,800 LBS
-WIND (UPLIFT, 79.8 PSF) 10,768 LBS (FACTORED LOAD)
-WIND (LATERAL, 79.8 PSF) 10,088 LBS (FACTORED LOAD)

3- BOARWALK 1 & 2 END REACTIONS
-DEAD LOAD 2,903 LBS
-LIVE LOAD (100 PSF) 10,350 LBS
-WIND (UPLIFT, 58.7 PSF) 4,209 LBS (FACTORED LOAD)
-WIND (LATERAL, 58.7 PSF) 3,825 LBS (FACTORED LOAD)

C SLAB ON GRADE DESIGN CRITERIA
H20 TRUCK LOAD
D THEMAL EFFECT
- BRIDGE A 0.12 FT
- BRIDGE A 0.11 FT
- BOARDWALK A1 & A2 0.04 FT

3. BUILDING PERMIT
[illegible]

4. CONSTRUCTION DOCUMENTS:
A. EXAMINE AND STUDY ALL CONSTRUCTION DOCUMENTS PRIOR TO COMMENCEMENT OF WORK DIRECT ANY QUESTIONS TO THE ENGINEER

5. ELEVATION DATUM
[illegible]

6. COORDINATION AND DIMENSIONS
A. [illegible] DIMENSIONS ARE UNCLEAR, DO NOT SCALE. REQUEST CLARIFICATION FROM THE ENGINEER.
B COORDINATE THE STRUCTURAL WORK WITH THE WORK OF ALL OTHER TRADES
C COORDINATE THE STRUCTURAL WORK WITH SLAB DEPRESSIONS MECHANICAL OPENINGS PIPING AND CONDUITS AS SHOWN ON OTHER DRAWINGS
D. COORDINATE ALL DIMENSIONS RELATIVE TO MANUFACTURED ITEMS

7. CONFLICTS IN DOCUMENTS
[illegible] DRAWINGS PRIOR TO PROCEEDING WITH THE WORK

8. METHODS & SAFETY:
A. THE CONTRACTOR IS RESPONSIBLE FOR ALL METHODS PROCEDURES AND SEQUENCES OF CONSTRUCTION [illegible] THE NECESSARY METHODS AND SUPPORTS REGARDING FORMING AND CONSTRUCTION LOADS. TEMPORARY BRACING AND SHORING SHALL BE DESIGNED TO RESIST ALL CONSTRUCTION LOADS INCLUDING THE WEIGHTS OF ALL SUPPORTED MATERIALS PLUS A LIVE LOAD OF 50 PSF ON HORIZONTAL SURFACES. MAINTAIN TEMPORARY BRACING AND RETAIN IN PLACE UNTIL PERMANENT STRUCTURAL SYSTEMS ARE CAPABLE OF RESISTING ALL CONSTRUCTION PHASE LOADS
B. [illegible] AND DISPOSAL.

9. CONSTRUCTION INSPECTIONS
[illegible]

10. SPECIAL INSPECTION (SELECTED SYSTEMS):
BY PROVISION OF THE FLORIDA BUILDING CODE 2020 AND THE MIAMI-DADE COUNTY CODE (SECTION 8-22), SPECIAL INSPECTION IS REQUIRED FOR COMPACTION OF SOIL UNDER SLABS-ON-GROUND INSTALLATION OF STRUCTURAL [illegible] INSPECTION LOG IN A CLEAN DRY AREA AT THE SITE AND MAKE IT AVAILABLE TO THE SPECIAL INSPECTOR AND TO THE MUNICIPAL BUILDING INSPECTOR UPON REQUEST. THE SPECIAL INSPECTOR WILL MAKE ENTRIES ON THE LOG FOR EACH SITE VISIT AND WILL INDICATE ACCEPTANCE OR REJECTION OF THE ITEMS OBSERVED. ACCEPTANCE APPLIES ONLY TO THOSE SPECIFIC ITEMS SO INDICATED. NO OTHER ITEMS OR AREAS ARE TO BE ASSUMED TO BE ACCEPTED. ANY COMPONENTS OF THE STRUCTURAL SYSTEMS WHICH HAVE BEEN CONCEALED WITHOUT SPECIFIC ACCEPTANCE BY THE SPECIAL INSPECTOR WILL BE REJECTED AND ANY CONCEALING CONSTRUCTION MUST BE REMOVED UPON ACCEPTANCE OF ALL COMPONENTS OF ALL SYSTEMS, RETURN SPECIAL INSPECTION LOG TO THE SPECIAL INSPECTOR. COMPLY WITH ALL REQUIREMENTS OF THE BUILDING OFFICIAL.

11 SHOP DRAWINGS:
A. SUBMIT TO THE ENGINEER COMPLETE SHOP DRAWINGS AS REQUIRED BY THESE CONTRACT DOCUMENTS.
B. CHECK ALL SHOP DRAWINGS FOR COMPLIANCE AND COMPLETENESS PRIOR TO SUBMITTAL. ALL SHOP DRAWINGS [illegible]
C [illegible] DESIGN CONCEPT AND INFORMATION [illegible] DIMENSIONS, QUANTITIES, SAFETY PRECAUTIONS, CONSTRUCTION MEANS AND METHODS, SEQUENCE OF CONSTRUCTION, COORDINATION WITH OTHER TRADES AND PERFORMANCE OF SYSTEMS REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.
D REVIEW BY THE ENGINEER IS NOT FOR THE PURPOSE OF APPROVING CHANGES OR SUBSTITUTIONS

12. DELEGATED ENGINEERED SYSTEMS:
A DELEGATED ENGINEERED SYSTEMS FOR THIS PROJECT CONSIST OF THE FOLLOWING
1 PRESTRESSED CONCRETE PILES (REFER TO "GENERAL STRUCTURAL NOTES" No 16 FOR ADDITIONAL INFORMATION).
2 PREFABRICATED FIBERGLASS GOLF CART BRIDGE (REFER TO "GENERAL STRUCTURAL NOTES" No 20 FOR ADDITIONAL INFORMATION).
B.–H. [illegible]

13. SOILS:
A. INFORMATION ABOUT THE SOILS ON THIS SITE IS PRESENTED IN A REPORT PREPARED BY HR ENGINEERING SERVICE, DATED NOVEMBER 21, 2022. REVIEW THIS REPORT AND FOLLOW ITS RECOMMENDATIONS UNLESS OTHERWISE INDICATED IN THESE DRAWINGS. CONTRACTOR MAY OBTAIN SUPPLEMENTAL INFORMATION THROUGH ADDITIONAL SOILS EXPLORATION TESTING AND ANALYSIS IF DESIRED. COORDINATE WITH THE OWNER FOR SITE ACCESS
B ACCORDING TO THE ABOVE REFERENCED REPORT, THE SOILS AT THE BORING LOCATIONS CONSIST OF

AVERAGE DEPTH FROM	TO	DESCRIPTION
0'-0"	1'-0	TOPSOIL
1'-0	8'-0"	MEDIUM DENSE TO LOOSE GRAY SANDY SILT, ML
8'-0"	45'-0"	LIGHT BROWN POROUS SANDY LIMESTONE AND CALCAREOUS FINE SAND

14. SOILS -GENERAL:
A. PRIOR TO COMMENCING WORK VERIFY THAT METHODS AND PROCEDURES WILL NOT CAUSE DAMAGE TO NEARBY EXISTING EMBANKMENTS.
B PRIOR TO START OF WORK, THOROUGHLY PHOTOGRAPH AND/OR VIDEO RECORD EXISTING NEARBY SITE CONDITIONS ALL AROUND THE CONSTRUCTION SITE (INCLUDING AN APPROPRIATE DISTANCE BEYOND THE PROPOSED CONSTRUCTION). SUBMIT RECORD TO ENGINEER PRIOR TO THE START OF WORK.
C EXCAVATIONS
1. [illegible] SOIL SUPPORT IS PROVIDED TO ALL NEARBY EXISTING CONSTRUCTION AND SITE GRADES AT ALL TIMES. DO NOT ALLOW ANY SOIL SETTLEMENT OR LATERAL MOVEMENT THAT COULD CAUSE DAMAGE TO NEARBY EXISTING SITE GRADES.
2. WHERE EXCAVATION MAY REDUCE LATERAL SUPPORT FOR EXISTING SOILS AND WHERE OTHER OPERATIONS SUCH AS DEWATERING SOIL COMPACTION AND PILE DRIVING, MAY NEGATIVELY AFFECT THE PERFORMANCE OF EXISTING SOILS CONTRACTOR SHALL HIRE A REGISTERED ENGINEER TO ASSESS EXISTING SOILS. CONTRACTOR'S ENGINEER SHALL DETERMINE THE REQUIREMENTS FOR PROTECTION OF THE EXISTING GRADES. SUCH PROTECTION MAY INCLUDE MODIFICATION OF PROPOSED PROCEDURES, UNDERPINNING, SOIL IMPROVEMENT, BRACING, SHEETING, OR OTHER APPROPRIATE MEANS AS DETERMINED BY CONTRACTOR'S ENGINEER AND AS ACCEPTABLE TO THE BUILDING OFFICIAL.
3. DUE TO THE CLOSE PROXIMITY TO THE CANAL DEWATERING WILL BE REQUIRED FOR THE FOUNDATION CONSTRUCTION

15. SOILS PREPARATION & ALLOWABLE BEARING:
A STRIP ALL AREAS OF NEW CONSTRUCTION PLUS A FIVE FOOT PERIMETER OF EXISTING CONSTRUCTION TO BE [illegible]
B [illegible] ELEVATION RANGING FROM 2.0 TO 3.5 FEET [illegible] TO THE TOP OF THE NATURAL [illegible] AT LEAST 5 FEET BEYOND THE SLAB-ON-GROUND LIMITS
C EXCAVATE THE EXISTING SOIL BETWEEN 2 TO 3.5 FEET UNTIL REACHING THE LIMESTONE LAYER. VISUALLY INSPECT THE ENTIRE BUILDING AREA. IF SOILS DIFFERENT FROM THOSE INDICATED ABOVE ARE ENCOUNTERED, NOTIFY THE ENGINEER FOR DIRECTION.
D THOROUGHLY COMPACT ALL LAYERS OF BACKFILL /FILL OVER ENTIRE AREA, INCLUDING THE FIVE FOOT PERIMETER BY AT LEAST EIGHT PASSES IN EACH OF TWO PERPENDICULAR DIRECTIONS OF A VIBRATING COMPACTOR TO ACHIEVE A MINIMUM OF 98% OF MAXIMUM DENSITY AS DETERMINED IN ACCORDANCE WITH ASTM D1557. WHERE REQUIRED, PLACE CRUSHED LIMEROCK FILL (NO ROCKS GREATER THAN 3 INCHES). EXCAVATED MATERIAL MAY BE USED FOR BACKFILL IF FREE OF ORGANIC MUCK OR OTHER DELETERIOUS MATERIALS AND IF DEEMED TO BE ACCEPTABLE BY THE GEOTECHNICAL ENGINEER. PLACE FILL IN MAXIMUM TWELVE INCH LIFTS
E DRAINAGE COURSE: PLACE A MINIMUM 8 INCH THICK DRAINAGE COURSE BELOW ALL CONCRETE SLABS CAST ON UNDER-SLAB VAPOR-GAS RETARDER. DRAINAGE COURSE MATERIAL SHALL CONSIST OF A NARROWLY GRADED MIXTURE OF CRUSHED OR UNCRUSHED STONE OR GRAVEL, ASTM D448, WITH 100% PASSING A 1-1/2" SIEVE AND LESS THAN 5% PASSING A No. 8 SIEVE (OR OTHER MATERIAL APPROVED BY THE ENGINEER WHICH MINIMIZES UPWARD CAPILLARY FLOW)
F. TEST ALL LAYERS OF SOILS, INCLUDING EXPOSED EXISTING SOILS (EXCEPT SOLID LIMESTONE) FILL BACKFILL AND DRAINAGE COURSE FOR DENSITY. SUBMIT TEST REPORTS TO THE ENGINEER. CONDUCT A MINIMUM OF ONE TEST IN EACH ISOLATED FOOTING FOR EACH 2,000 SQUARE FEET OF FLOOR OR PAVEMENT AREA, FOR EACH 50 LINEAR FEET OF WALL FOOTING AND AS OTHERWISE DIRECTED BY THE ENGINEER.
G ALL SOIL PREPARATION OPERATIONS SHALL BE MONITORED BY A GEOTECHNICAL ENGINEER (SPECIAL [illegible]
H. [illegible] CLASSIFICATION OF GP, GW, SP, OR SW.
I FOR STRUCTURAL FILL OR BACKFILL BELOW THE WATER TABLE (DEWATER AT TIME OF PLACEMENT), USE CLEAN SAND WITH 10 PERCENT OR LESS MATERIAL PASSING THE NO. 200 MESH SIEVE, RECYCLE MATERIALS HAVING A MIX OF EXISTING FILL [illegible] CLASSIFICATION REQUIREMENTS [illegible] SHOULD BE THOROUGHLY MIXED [illegible] PROVIDING THAT LESS THAN 5 PERCENT OF THE MATERIAL PASSES THE NO. 200 MESH SIEVE.
J DEWATERING IS ANTICIPATED AT THIS SITE GIVEN THE DEPTH OF THE GROUNDWATER TABLE DISCLOSED BY [illegible] EVALUATED AND DESIGNED BY A SPECIALTY DEWATERING CONTRACTOR HIRED BY THE DESIGN BUILT TEAM AND THE COST TO BE INCLUDED IN THE CONSTRUCTION COST.
K. A SLOPE OF 2(H) 1(V) SHOULD BE USED FOR TEMPORARY AND PERMANENT CUTS.
J. WITH THE SOILS PREPARATION DESCRIBED ABOVE, THE ALLOWABLE SOIL BEARING CAPACITY IS EXPECTED TO BE AT LEAST 3,000 PSF

16. PRE-STRESSED CONCRETE PILES
A. COMPLY WITH FDOT STRUCTURES MANUAL, FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2007, SECTION 450, PRECAST, PRESTRESSED CONCRETE CONSTRUCTION, AND SECTION 455 STRUCTURES FOUNDATIONS
B. PILES
1. 14" SQUARE IN ACCORDANCE WITH FDOT STANDARD DRAWINGS INDEX No 20800 20601 AND 20614 f'c=6000 PSI, MAX W/C RATIO=0.4
2. PILES ARE A "DELEGATED ENGINEERED SYSTEM" (REFER TO "GENERAL STRUCTURAL NOTES" NO.12)
3. DESIGN FOR ALLOWABLE CAPACITIES INDICATED BELOW.
C. PILE DRIVING. DRIVE PILES TO A TIP ELEVATION AS INDICATED IN THE FOLLOWING TABLE TO AVOID DAMAGING EXISTING NEARBY STRUCTURES, AND EMBANKMENTS, PRE-DRILLING MAY BE USED. SUBMIT PRE-DRILLING PROCEDURES TO ENGINEER FOR APPROVAL PRIOR TO PROCEEDING. DURING DRIVING, THE ANNULUS BETWEEN THE PREFORMED PILE HOLE (IF APPLICABLE) AND THE PILE SHALL BE BACKFILLED WITH CLEAN SAND (WITH 10 PERCENT OR LESS MATERIAL PASSING THE NO. 200 MESH SIEVES) WITH A MINIMUM ANGLE OF INTERNAL FRICTION OF 30 DEGREES. PILE HEADS SHALL BE LOCATED WITHIN 4 INCHES OF DESIGN LOCATION. ALLOWABLE VARIATION FROM PLUMB IS LIMITED TO 1 INCH IN 5FT. LENGTH REMEDIAL WORK WILL BE AT CONTRACTOR'S EXPENSE
D. [illegible]
E. STATEMENT OF COMPLIANCE
F. SURVEY: SURVEY FINAL PILE HEAD LOCATIONS AND SUBMIT TO ENGINEER
G. THE CONTRACTOR MUST TEST A 14-INCH PRESTRESSED SQUARE CONCRETE DRIVEN PILE PROPOSED FOR BRIDGE A USING THE PILE DRIVING ANALYZER (PDA) UNTIL OBTAINING 2.5 TIMES THE DESIGN AXIAL LOAD AND TO AT LEAST THE MINIMUM PILE TIP ELEVATION
H. CONSTRUCTION VIBRATIONS ASSOCIATED WITH DRIVEN PILE INSTALLATION AND COMPACTION EQUIPMENT WILL OCCUR. SETTLEMENT AND VIBRATION MONITORING SHOULD BE PERFORMED IN ACCORDANCE WITH SECTION 108 OF FDOT STANDARD SPECIFICATIONS. ALL EXISTING EMBANKMENTS IN THE VICINITY OF PILE DRIVING AND COMPACTION OPERATIONS SHOULD BE MONITORED FOR SETTLEMENT AND VIBRATION.
I. ALLOWABLE CAPACITIES: GEOTECHNICAL ENGINEER SHALL PROVIDE SIGNED AND SEALED STATEMENT INDICATING THAT THE FOLLOWING ALLOWABLE CAPACITIES ARE ACHIEVED

SQUARE PILE (IN)	ALLOWABLE COMPRESS ON CAPACITY (KIPS)	ALLOWABLE TENSION CAPACITY (KIPS)	ALLOWABLE LATERAL CAPACITY (KIPS)	MIN. TIP ELEVATION (FT-NGVD29)	PROPOSED PILE LENGTH (FT.)
14x14	25	5	1.8	[illegible]	[illegible]
14x14	[illegible]	16	5	-34.0	[illegible]
14x14	[illegible]	21	[illegible]	[illegible]	[illegible]

17. UNDER-SLAB VAPOR-GAS RETARDER:
A PLACE VAPOR-GAS RETARDER SHEET CONTINUOUSLY UNDER ALL CONCRETE SLABS PLACED ON GROUND
B COMPLY WITH ASTM E1745 (LATEST EDITION), CLASS A, NOT LESS THAN 10 MILS THICK, WITH MAXIMUM WATER VAPOR PERMEANCE OF 0.1 PERMS (AS DETERMINED IN ACCORDANCE WITH ASTM E96 OR ASTM E154). COORDINATE WITH PROPOSED FLOOR FINISH PRODUCTS AND PROVIDE A VAPOR-GAS RETARDER SYSTEM WITH A PERMEANCE OF LESS THAN 0.1 PERMS IF RECOMMENDED OR REQUIRED BY THE FLOOR FINISH PRODUCT MANUFACTURER.
C SUBMIT PRODUCT DATA SHEETS FOR VAPOR-GAS RETARDER SHEET AND ALL ACCESSORIES TAPE ADHESIVES ETC AS REQUIRED FOR A COMPLETE INSTALLATION IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND REQUIREMENTS
D COMPLY WITH THE REQUIREMENTS OF THE FLORIDA BUILDING CODE APPENDICES B C AND/OR E AS APPLICABLE TO THE PROJECT.
E LAP SPLICE ALL JOINTS A MINIMUM OF 12-INCHES (OR OTHERWISE AS REQUIRED BY SHEET MANUFACTURER). SEAL ALL LAP JOINTS CONTINUOUSLY W/ PRESSURE-SENSITIVE MINIMUM 2-INCH WIDE VINYL TAPE (OR OTHERWISE AS REQUIRED BY SHEET MANUFACTURER). SEAL AROUND ALL PENETRATIONS OF VAPOR-GAS RETARDER SHEET BY EXTENDING SHEET TO WITHIN 1/2-INCH OF PENETRATING OBJECT AND SEALING TO OBJECT ALL AROUND WITH MINIMUM 2-INCH WIDE PRESSURE-SENSITIVE VINYL TAPE (OR OTHERWISE AS REQUIRED BY SHEET MANUFACTURER). EXTEND VAPOR-GAS RETARDER SHEET MINIMUM 1-INCH ON TO GRADE BEAM OR [illegible] MEMBER AND EXTEND VERTICALLY MINIMUM 1-INCH UP [illegible] THAN ONE HALF OF SLAB THICKNESS AND SEAL WITH MINIMUM 2-INCH WIDE PRESSURE-SENSITIVE VINYL TAPE) (OR OTHERWISE AS REQUIRED BY SHEET MANUFACTURER).
F DO NOT DAMAGE SHEET. SUPPORT REINFORCEMENT ON CONCRETE BRICKS OR 6"x6" ASPHALTIC HARDBOARD PADS OR OTHER DEVICES RECOMMENDED BY SHEET MANUFACTURER. EXAMINE VAPOR-GAS RETARDER SHEET PRIOR TO PLACING CONCRETE, AND REPAIR ANY HOLES OR TEARS IN SHEET BY INSTALLING AN OVERLAY SHEET EXTENDING MINIMUM 12-INCHES BEYOND DAMAGED AREA AND SEALED TO LOWER SHEET WITH PRESSURE-SENSITIVE MINIMUM 2-INCH WIDE VINYL TAPE (OR OTHERWISE AS REQUIRED BY SHEET MANUFACTURER). DO NOT DAMAGE VAPOR-GAS RETARDER SHEET AFTER REPAIRS AND WHILE CASTING CONCRETE.

18 CONCRETE (CAST-IN-PLACE):
A. STANDARDS ACI 301, ACI 347 ACI 207 ACI 117 ACI 308.1 & ACI 318 (EXCEPT AS MODIFIED BY FBC 2020 SECTION 1905)
B CONCRETE MIXES
1. SUBMIT CONCRETE MIX DESIGNS TO ENGINEER FOR REVIEW PRIOR TO USE.
2. PROPORTION ALL NORMAL-WEIGHT CONCRETE IN ACCORDANCE WITH ACI 301 TO ATTAIN THE FOLLOWING PROPERTIES

CONCRETE LOCATION	COMPRESSIVE STRENGTH	MAXIMUM WATER CEMENT RATIO	NOTES
PILE BENT	6000 PSI @ 28 DAYS	0.40	
SLAB ON GROUND	5000 PSI @ 28 DAYS	0.40	

3. SLUMP SHALL BE 4" (±1") FOR REGULAR MIXES AND NOT GREATER THAN 9" FOR MIXES WITH WATER-REDUCING ADMIXTURES. ADD NO WATER TO THE CONCRETE AT THE SITE, UNLESS OTHERWISE APPROVED BY THE ENGINEER IN ADVANCE AND ONLY IF TEST SAMPLES ARE TAKEN AFTER ADDITION OF THE APPROVED WATER
4 CEMENTITIOUS MATERIALS
a CEMENT ASTM C150 TYPE I UNLESS OTHERWISE NOTED. BLENDED HYDRAULIC CEMENTS (ASTM C595) MAY BE USED WITH PRIOR APPROVAL BY THE ENGINEER
b FLY ASH ASTM C618 CLASS F.
c GROUND GRANULATED BLAST-FURNACE SLAG ASTM C989 GRADE 100 OR 120
d LIMIT PERCENTAGE OF FLY ASH SLAG OR COMBINATION FLY ASH AND SLAG TO 25% BY WEIGHT OF TOTAL CEMENTITIOUS MATERIALS, UNLESS OTHERWISE NOTED OR APPROVED BY THE ENGINEER
5 LARGE-AGGREGATE PUMP MIXES WITH WATER-REDUCING ADMIXTURES MAY BE USED WITH PRIOR APPROVAL OF THE ENGINEER. PEA ROCK PUMP MIXES WILL NOT BE APPROVED
6 COARSE AGGREGATE SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-33
7 WATER ASTM C-1602
8 READY-MIX CONCRETE ASTM C-94
9 LIMIT WATER SOLUBLE CHLORIDE IONS TO MAXIMUM PERCENTAGE BY WEIGHT OF CEMENT PERMITTED BY ACI 318 OR PCI MNL 116
C CONTRACT AN INDEPENDENT TESTING LABORATORY TO PERFORM THE CONCRETE CYLINDER SAMPLING AND TESTING AS REQUIRED BY SECTION 26.12 OF ACI 318-14. SUBMIT TEST REPORTS TO THE ENGINEER TIMELY.
D. PROVIDE ALL FORMING AND TEMPORARY SHORING.
E. DO NOT EMBED PIPES OR CONDUITS IN THE CONCRETE WITHOUT THE WRITTEN APPROVAL FROM THE ENGINEER. WHERE PIPES OR CONDUITS ARE PERMITTED PLACE NO CLOSER THAN THREE DIAMETERS O.C AND LOCATE SO AS NOT TO IMPAIR THE STRENGTH OF THE STRUCTURE
F REINFORCEMENT
1 STANDARD ASTM A-615 GRADE 60
2. REINFORCEMENT PLACEMENT TOLERANCES, COMPLY WITH SECTION 2.2 OF ACI 117-10
G CONCRETE COVER OVER REINFORCEMENT. UNLESS OTHERWISE INDICATED IN THESE DRAWINGS PROVIDE CONCRETE COVER OVER REINFORCEMENT AS FOLLOWS
1 3 INCHES WHERE CAST AGAINST EARTH
2 2 INCHES WHERE CAST IN FORMS OR ON VAPOR-GAS RETARDER SHEET AND PERMANENTLY EXPOSED TO WEATHER OR EARTH
H STEEL REINFORCEMENT SHOP DRAWINGS
SUBMIT REINFORCEMENT PLACING DRAWINGS TO ENGINEER THAT DETAIL BENDING AND PLACEMENT. INCLUDE BAR SIZES, LENGTHS, MATERIAL AND GRADE. INCLUDE DRAWINGS, SCHEDULES AND DIAGRAMS AS NECESSARY TO CLEARLY INDICATE ALL BARS, ARRANGEMENT, SPLICES, SPACING AND SUPPORTS.
I CASTING TOLERANCES. THESE TOLERANCES ARE A MINIMUM STANDARD FOR GENERAL STRUCTURAL PERFORMANCE. PROVIDE MORE STRINGENT TOLERANCES WHERE REQUIRED ELSEWHERE IN THE CONTRACT DOCUMENTS FOR AESTHETICS, FINISH SYSTEMS EQUIPMENT OR OTHER CONSTRUCTION
11. COMPLY WITH ALL REQUIREMENTS OF ACI 117-10
12. FLOOR FLATNESS: "FLAT" AS DEFINED IN 4.5.7 OF ACI 117-10 WITH MAXIMUM 3/8 INCH GAP UNDER A 10 ft. STRAIGHTEDGE PLACED ANYWHERE ON THE SLAB AND ALLOWING IT TO REST UPON ANY TWO HIGH SPOTS. PROVIDE STRICTER STANDARD OF FLATNESS IF RECOMMENDED BY FLOOR FINISH MANUFACTURER OR OTHER NON-STRUCTURAL ITEMS.
J MAKE CONSTRUCTION JOINTS IN THE MANNER AND LOCATIONS INDICATED IN THESE DRAWINGS OR AS APPROVED BY THE ENGINEER IN ADVANCE
K EMBEDMENT OF REINFORCEMENT. UNLESS OTHERWISE INDICATED IN THESE DRAWINGS EMBED ALL REINFORCING BARS TO THE FAR SIDE (LESS APPROPRIATE COVERAGE) OF CONNECTING AND SUPPORTING MEMBERS.
L REINFORCING LAP SPLICES. ALL BARS SHALL BE CONTINUOUS. DO NOT SPLICE BARS WITHOUT WRITTEN APPROVAL OF ENGINEER
M SAWCUT CONTROL JOINTS AS SOON AS THE CONCRETE SURFACE WILL NOT BE DAMAGED BY SAWCUTTING, AND NO MORE THAN TWELVE HOURS AFTER CONCRETE PLACEMENT. MAKE SAW-CUT JOINTS WHERE INDICATED.
N PROVIDE 3/4" CHAMFERS AT ALL CORNERS OF CONCRETE MEMBERS WHICH ARE PERMANENTLY EXPOSED TO VIEW.
O. FINISH ALL CONCRETE IN ACCORDANCE WITH ACI 117-10 AND ACI 301-05, AS INDICATED IN THESE DRAWINGS AND AS APPROPRIATE FOR THE ARCHITECTURAL FINISHES INDICATED IN THE ARCHITECTURAL DRAWINGS. GIVE A LIGHT BROOM FINISH [illegible]
P CURE ALL CONCRETE FOR [illegible] THE CURING SHALL ENTAIL MAINTENANCE OF THE MOI[illegible] COMPLISHED BY TREATING EXPOSED CONCRETE SURFACES WITH A CHEMICAL CURING COMPOUND IMMEDIATELY AFTER FINISHING AND IMMEDIATELY AFTER REMOVAL OF FORMS. FORMS SHALL BE KEPT MOIST BY FREQUENT WATER SPRAYING PRIOR TO REMOVAL. CURING COMPOUND SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-309. VERIFY COMPATIBILITY OF CURING COMPOUND WITH PROPOSED FINISHES, OR COMPLETELY REMOVE CURING COMPOUND PRIOR TO APPLYING FINISHES. CONTRACTOR MAY USE OTHER CURING METHODS IN ACCORDANCE WITH ACI 308.1

19 STRUCTURAL STEEL:
A. MATERIALS
1 ANCHOR BOLTS ASTM A307
2. THREADED RODS ASTM A36
3 NUTS ASTM A563 GRADE C
4 WASHERS ASTM F436 TYPE I
B CORROSION CONTROL: HOT DIP GALVANIZE AFTER FABRICATION IN ACCORDANCE WITH ASTM A123 AND A653. TOUCH-UP AND REPAIR ALL DAMAGED AND UNCOATED AREAS OF HOT-DIP GALVANIZED COATINGS AFTER ERECTION WITH ZINC-RICH PAINT IN ACCORDANCE WITH ASTM A-780. THE COATING THICKNESS FOR THE PAINT MUST BE 3.0 MILS MIN (4.0 MILS MAX)

20. PREFABRICATED FIBERGLASS GOLF CART BRIDGE
[illegible]

21. EPOXY ANCHORS
[illegible]

REBAR DEVELOPMENT & LAP SPLICE LENGTHS FOR REINFORCING BARS (f'c= 5000 PSI)

f'c= 5000 PSI	#6 & SMALLER: TOP BARS (1)	#6 & SMALLER: OTHER BARS	#7 & LARGER: TOP BARS (1)	#7 & LARGER: OTHER BARS
DEVELOPMENT LENGTH & CLASS "A" SPLICE LENGTH	45 db	34 db	55 db	42 db
CLASS "B" SPLICE LENGTH	58 db	45 db	72 db	55 db

NOTES:
1. "db" DENOTES BAR DIAMETER
2. TOP BARS ARE HORIZONTAL REINFORCEMENT WITH MORE THAN 12 IN OF CONCRETE CAST IN THE MEMBER BELOW THE SPLICE.
3. ALL SPLICES SHALL BE CLASS "B" SPLICE U.O.N
4. DEVELOPMENT AND LAP SPLICE LENGTHS SHOWN IN SCHEDULE ABOVE ARE BASED ON CLEAR SPACING OF BARS BEING DEVELOPED OR SPLICED NOT LESS THAN db. CLEAR COVER NOT LESS THAN db AND STIRRUPS OR TIES THROUGHOUT THE DEVELOPMENT OR SPLICE LENGTH NOT LESS THAN THE CODE MINIMUM OR CLEAR SPACING OF BARS BEING DEVELOPED OR SPLICED NOT LESS THAN 2db AND CLEAR COVER NOT LESS THAN db. FOR OTHER CASES INCREASE LENGTHS GIVEN IN SCHEDULE ABOVE BY 50%.
5. FOR LIGHTWEIGHT AGGREGATE CONCRETE. MULTIPLY THE TABULATED VALUABLES BY 1.33
6. INCREASE THE LENGTH OF LAP BY 20% FOR A 3-BAR BUNDLE AND 33% FOR A 4-BAR BUNDLE. INDIVIDUAL BARS WITHIN A BUNDLE TERMINATED WITHIN THE SPAN OF FEXURAL MEMBERS SHALL TERMINATE AT DIFFERENT POINTS WITH AT LEAST 40DB STAGGER
7. USE MECHANICAL COUPLERS FOR BARS LARGER THAN #11. DO NOT LAP SPLICE BARS LARGER THAN #11
8. DO NOT USE NON-CONTACT LAP SPLICES UNLESS PREVIOUSLY APPROVED BY THE ENGINEER

STRUCTURAL DRAWING INDEX

SHEET No.	SHEET TITLE	CONSTRUCTION DRAWINGS - [illegible]	REVISIONS			
S1.00	GENERAL STRUCTURAL NOTES, DRAWING INDEX	•				
S2.00	FOUNDATION FRAMING PLAN AND SECTION	•				
S3.00	SECTIONS AND DETAILS	•				
S3.01	SECTIONS AND DETAILS	•				
S3.02	SECTIONS AND DETAILS	•				

ABBREVIATION LEGEND

ABBREVIATION	DESCRIPTION
#	REBAR SIZE
ADD'L	ADDITIONAL
ADJ.	ADJACENT
A.F.F.	ABOVE FINISHED FLOOR
AHU	AIR HANDLING UNIT
ALUM.	ALUMINUM
ANCH.	ANCHOR
APPROX.	APPROXIMATE
ARCH.	ARCHITECTURAL
B.E.	BOTH ENDS
B.F.	BOTH FACES
B.W.	BOTH WAYS (PERPENDICULAR)
BLDG.	BUILDING
BLK.	BLOCKING
BM.	BEAM
BOTT.	BOTTOM
BRDG.	BRIDGING
BRG.	BEARING
[illegible]	[illegible]
CANT.	CANTILEVER
C.I.P.	CAST IN PLACE CONCRETE
[illegible]	[illegible]
CMU	CONCRETE MASONRY UNIT
C/C	CENTER TO CENTER
[illegible]	[illegible]
COL.	COLUMN
CONC.	CONCRETE
CONN.	CONNECTION
CONST.	CONSTRUCTION
CONT.	CONTINUOUS
COORD.	COORDINATE
CORR.	CORRUGATED
CTR.	CENTER
db	BAR DIAMETER
DIA.	DIAMETER
DIAG.	DIAGONAL
DIM.	DIMENSION
DIST.	DISTANCE
DN.	DOWN
DTL.	DETAIL
DWG.	DRAWING
EA.	EACH
E.J.	EXPANSION JOINT
EL.	ELEVATION
EMBED.	EMBEDMENT
ENGR.	ENGINEER
E.O.R.	ENGINEER-OF-RECORD
EQ.	EQUAL
EQUIP.	EQUIPMENT
E.W.	EACH WAY
EXIST.	EXISTING
EXT.	EXTERIOR
FAB.	FABRICATE
FDN.	FOUNDATION
FIN.	FINISHED
FL.	FLOOR
FTG.	FOOTING
FUT.	FUTURE
GEN.	GENERAL
G.L.	GRID LINE
GALV.	GALVANIZED
H.P.	HIGH POINT
HORIZ.	HORIZONTAL
INFO.	INFORMATION
INT.	INTERMEDIATE
K	KIP (1000 LBS)
LB.(S)	POUNDS (S)
L.P.	LOW POINT
LWC.	LIGHTWEIGHT CONCRETE
MAX.	MAXIMUM
MECH.	MECHANICAL
MFR.	MANUFACTURER
MIN.	MINIMUM
MISC.	MISCELLANEOUS
MW-X	C.M.U. WALL MARK
N/A	NOT APPLICABLE
N.I.C.	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
NWC	NORMAL WEIGHT CONCRETE
O.C.	ON CENTER
OPNG.(S)	OPENING(S)
OPP. HAND	OPPOSITE HAND
PCF	POUNDS PER CUBIC FOOT
P/C	PRECAST
P.C.J.	PRECAST JOIST
PC	PILECAP
PL	PLATE
PLF	POUNDS PER LINEAR FOOT
P.P.T.	PRESSURE PRESERVATIVE TREATED
PRELIM.	PRELIMINARY
PROP.	PROPERTY
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
QTY.	QUANTITY
REINF.	REINFORCING OR REINFORCEMENT
REQD.	REQUIRED
REV.	REVISION
RTU.	ROOF TOP UNIT
SCHED.	SCHEDULE
SECT.	SECTION
SH.	SHEAR HEAD
SHT.	SHEET
SIM.	SIMILAR
SPECS.	SPECIFICATIONS
SQ.	SQUARE
STAGG.	STAGGERED
STD.	STANDARD
STIFF.	STIFFENER
STL.	STEEL
S.S.	STAINLESS STEEL
STIR.	STIRRUP
STRUCT.	STRUCTURE OR STRUCTURAL
SW-X	SHEARWALL MARK
SYM.	SYMMETRICAL CONDITION
T.O.	TOP OF
T.O.B.	TOP OF BEAM
T.O.C.	TOP OF CONCRETE
T.O.S.	TOP OF SLAB
T.O.W.	TOP OF WALL
TYP.	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE
U.O.N.	UNLESS OTHERWISE NOTED
VERT.	VERTICAL
V.I.F.	VERIFY IN FIELD
W/P	WATER PROOFING
WD.	WOOD
WT.	WEIGHT
W.W.F.	WELDED WIRE FABRIC

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Jackson South MEDICAL CENTER
Miracles made daily.

Project Name: JACKSON SOUTH MEDICAL CENTER
NEW GOLF CART BRIDGE
9333 SW 152nd Street Miami Florida 33157

ARCHITECTURE
MOBIO
MOBIO ARCHITECTURE, INC
6303 Blue Lagoon Drive Suite 310 Miami Florida 33126

CIVIL ENGINEERING & LANDSCAPE ARCHITECTURE
MILLER LEGG
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7743 NW 48th Street, Suite 140 Doral Florida 33166

LOUIS J AGUIRRE & ASSOCIATES, P.A
9150 South Dadeland Boulevard Suite 900 Miami Florida 33156

DOUGLAS WOOD ASSOCIATES, INC
5040 NW 7th Street, Suite 920 Miami Florida 33126

LINKS BRIDGES USA INC
1 SE Ocean Boulevard, Stuart Florida 34994

SEAL
RONNICA S. WOOD P.E.

Project Phase: PERMIT SET
Project Number: 320
Date: FEBRUARY 28, 2023
FOR PERMIT

Sheet Title: GENERAL STRUCTURAL NOTES, DRAWING INDEX
Sheet Number: S1.00

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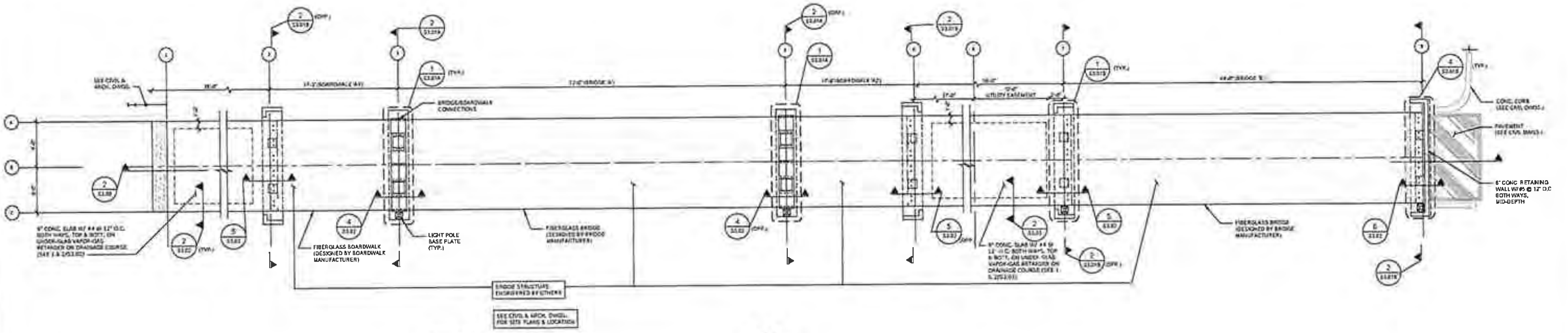
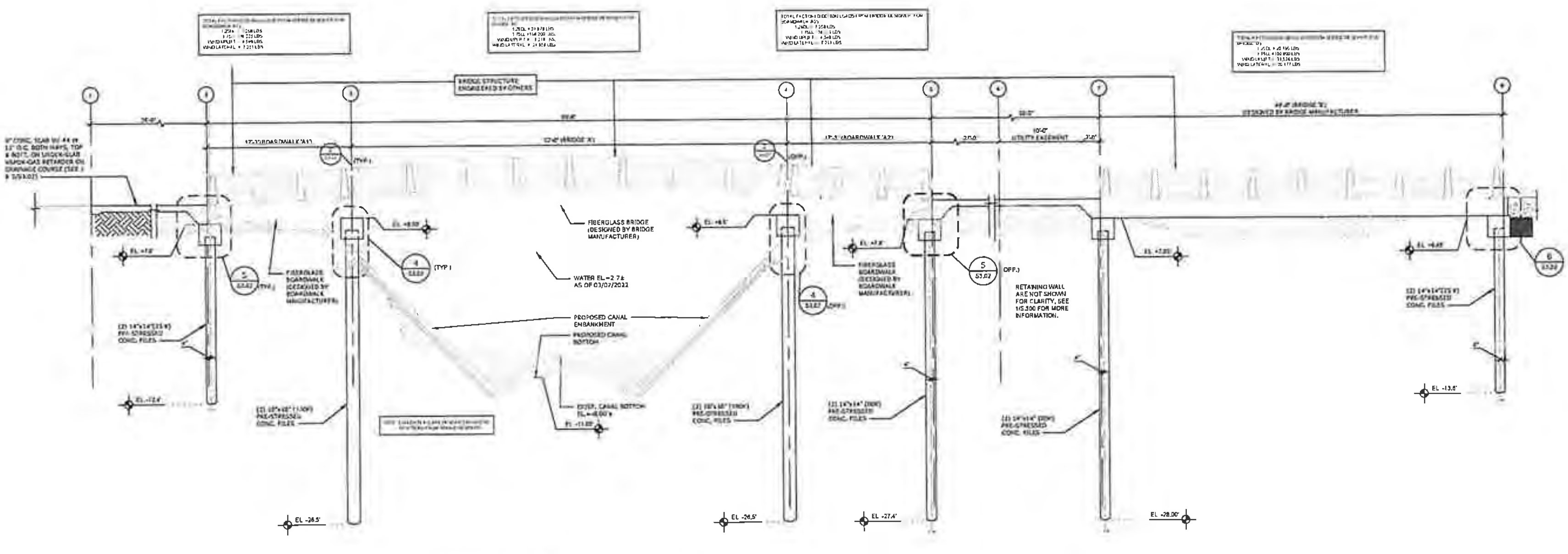


FOUNDATION FRAMING PLAN



LONGITUDINAL SITE SECTION

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MILLER LEGG

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DOUGLAS WOOD ASSOCIATES, INC

PERMIT SET
Date: FEBRUARY 28, 2023

FOUNDATION FRAMING PLAN AND SECTION

S3.00

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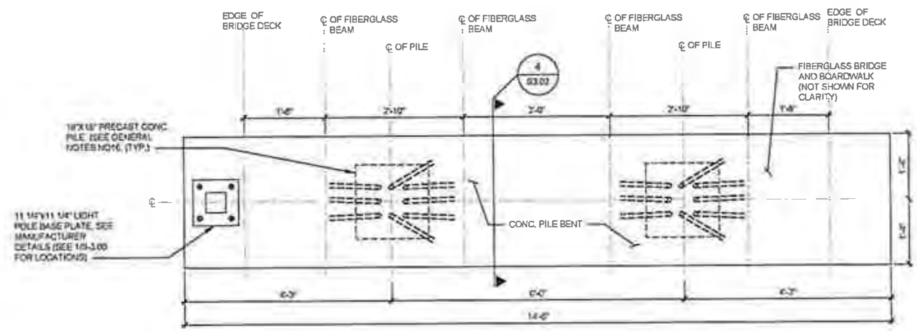
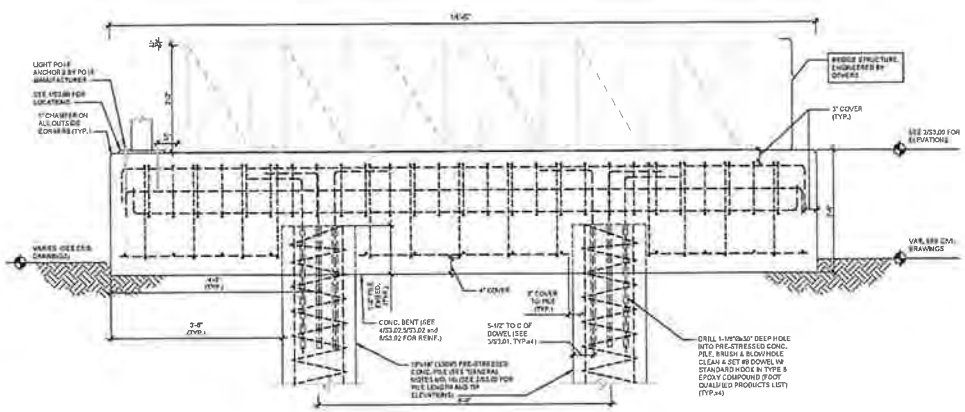
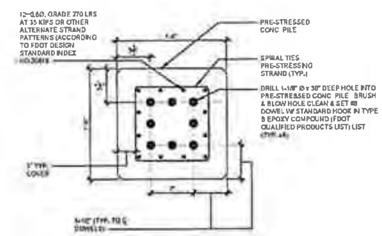


PLAN VIEW - BENT & PILES



ELEVATION VIEW - BENT & PILES



PLAN DETAIL OF PRE-STRESSED CONC. PILE

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Project Name: JACKSON SOUTH MEDICAL CENTER
NEW GOLF CART BRIDGE

MOBIO
ARCHITECTURE: MOBIO ARCHITECTURE, INC.
CIVIL ENGINEERING & LANDSCAPE ARCHITECTURE: MILLER LEGG
ELECTRICAL ENGINEER
STRUCTURAL ENGINEER
BRIDGE MANUFACTURER: LINKS BRIDGES USA, INC
SEAL: DOUGLAS WOOD, P.E.

Project Phase: PERMIT SET
Project Number: 220
Date: FEBRUARY 28, 2023
FOR PERMIT

Sheet Title: SECTIONS AND DETAILS
S3.01A

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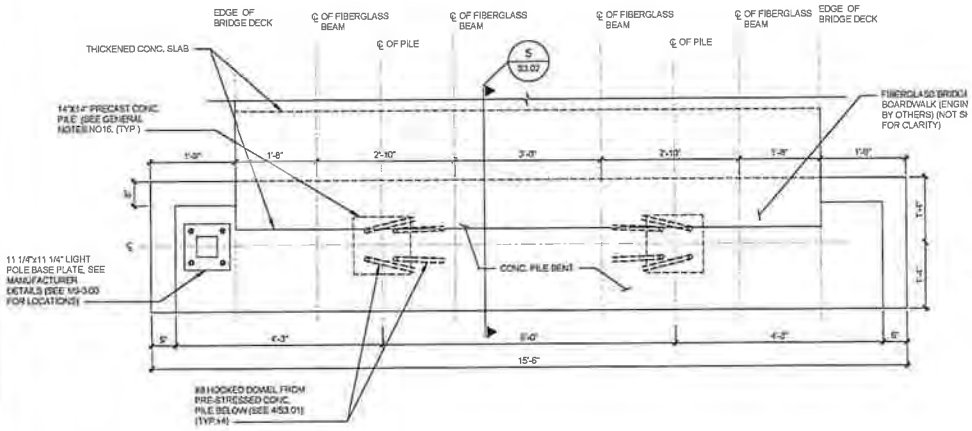
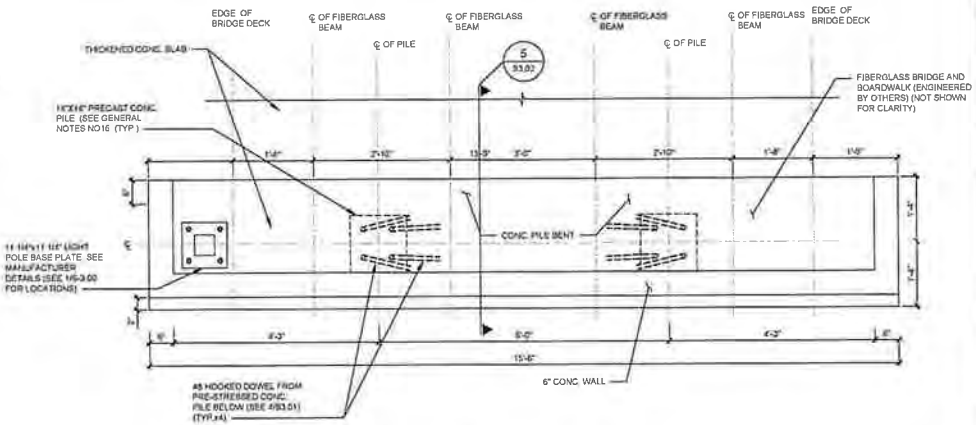
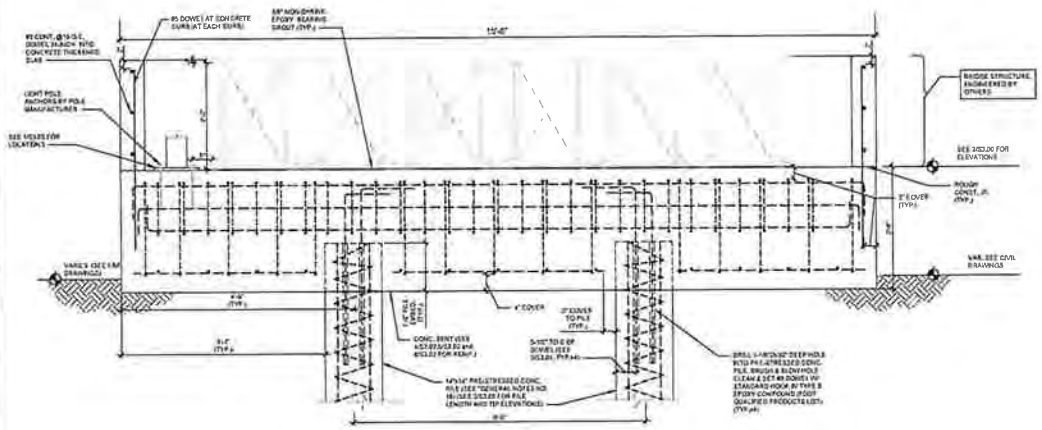


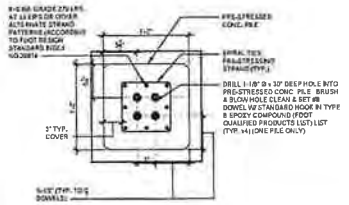
PLAN VIEW - BENT & PILES



PLAN VIEW - BENT & PILES



ELEVATION VIEW - BENT & PILES



PLAN DETAIL OF PRE-STRESSED CONC. PILE

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Jackson South MEDICAL CENTER
Miracles made daily.

JACKSON SOUTH MEDICAL CENTER
NEW GOLF CART BRIDGE
9333 SW 152nd Street, Miami, Florida 33157

MOBIO

ARCHITECTURE
MOBIO ARCHITECTURE, INC.

MILLER LEGG

LOUIS J. AGUIRRE & ASSOCIATES, P.A.
9150 South Dadeland Boulevard, Suite 900, Miami, Florida 33156

DOUGLAS WOOD ASSOCIATES, INC.
5042 NW 7th Street, Suite 829, Miami, Florida 33126

LINKS BRIDGES

DOUGLAS WOOD, P.E.
FL P.E. #37100

PERMIT SET
Project Number: 720
Date: FEBRUARY 28, 2022

FOR PERMIT

SECTIONS AND DETAILS

Sheet Number
S3.01B

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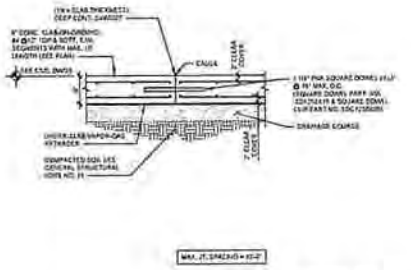
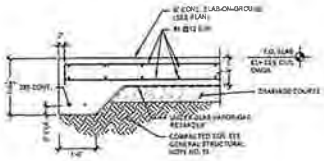
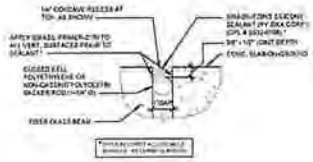
MDC062



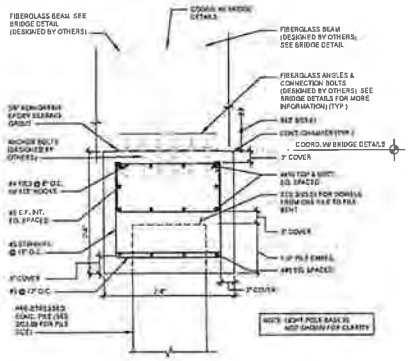
TYP. JOINT BETWEEN SLAB SEGMENTS (1 / S3.02)



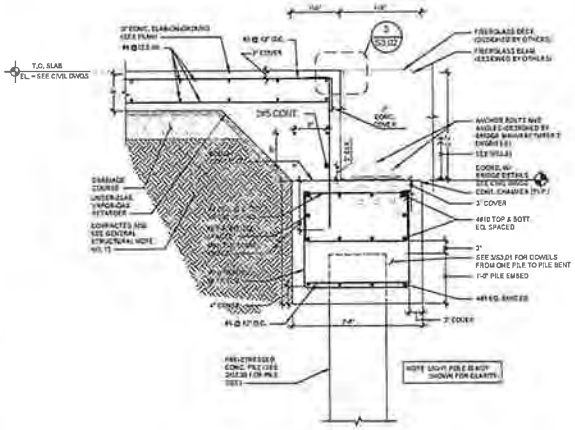
TYP. THICKEND SLAB EDGE DETAIL (2 / S3.02)
3/4" = 1'-0"



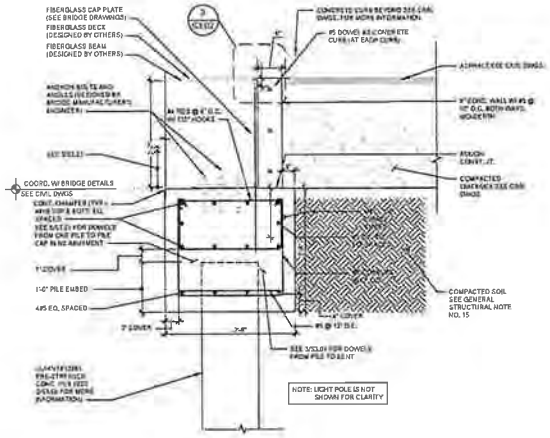
TYP. JOINT DETAIL (3 / S3.02)
3/4" = 1'-0"



SECTION (4 / S3.02)
1" = 1'-0"



SECTION (5 / S3.02)
1" = 1'-0"



SECTION (6 / S3.02)
1" = 1'-0"

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Owner: Jackson South Medical Center — Miracles made daily.

Project Name: JACKSON SOUTH MEDICAL CENTER NEW GOLF CART BRIDGE

ARCHITECTURE: MOBIO ARCHITECTURE, INC.

MILLER LEGG

ELECTRICAL ENGINEER: LOUIS J AGUIRRE & ASSOCIATES, P.A. 9150 South Dadeland Boulevard, Suite 900, Miami, Florida 33156

STRUCTURAL ENGINEER: DOUGLAS WOOD ASSOCIATES, INC. 5040 NW 7th Street, Suite 820, Miami, Florida 33126

BRIDGE MANUFACTURER: LINKS BRIDGES USA INC. 3 SE Ocean Boulevard, Stuart, Florida 34994

SEAL: DOUGLAS WOOD P.E. FL P.E. 83209

Project Phase: PERMIT SET

Project Number: 220

Date: FEBRUARY 28, 2023

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Sheet Title: SECTIONS AND DETAILS

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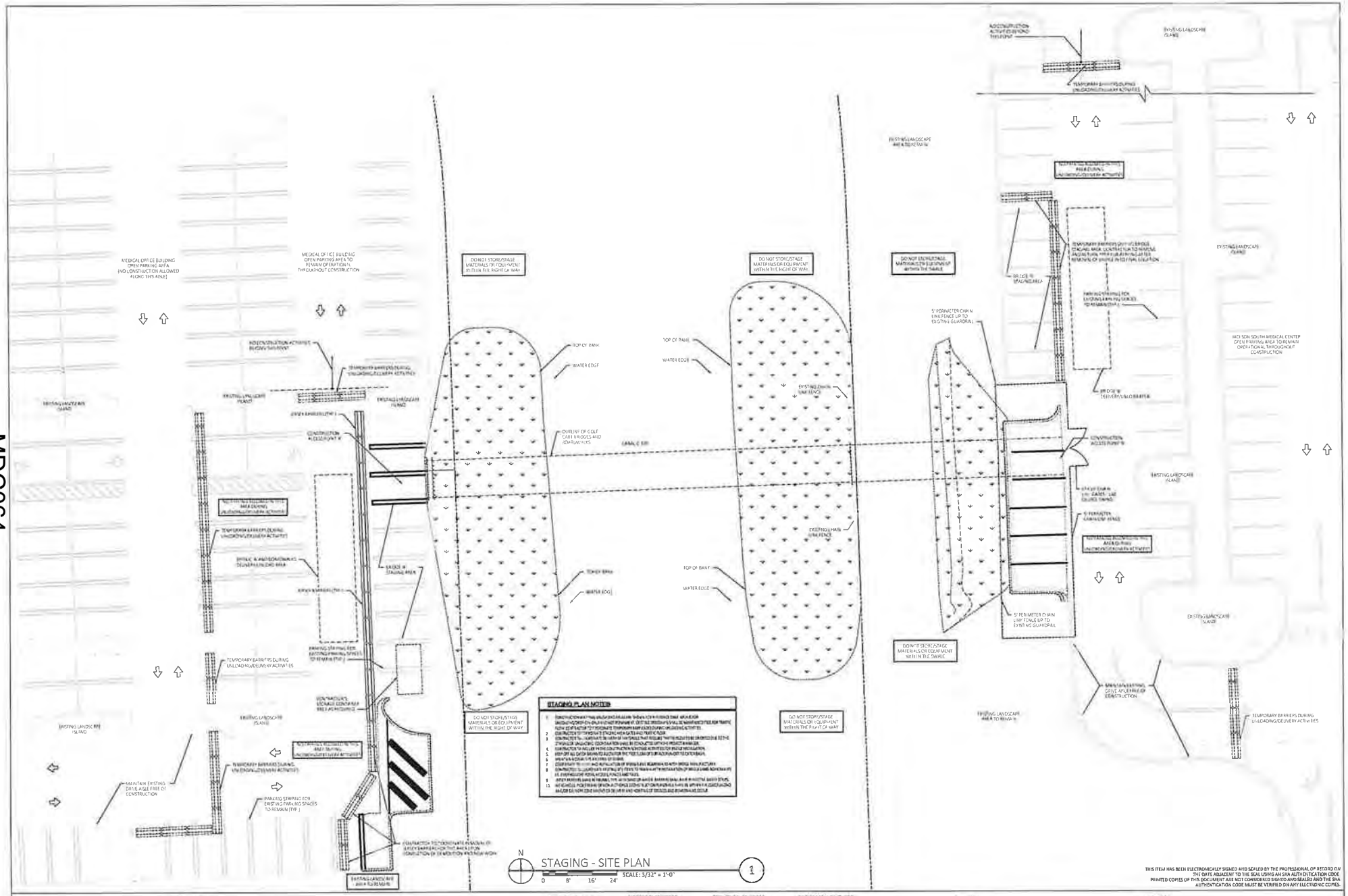
MDC063

MDC064



STAGING - SITE PLAN

SCALE: 3/32" = 1'-0"

0 8' 16' 24'

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Owner: Jackson South Medical Center — Miracles made daily.

Project Name: JACKSON SOUTH MEDICAL CENTER NEW GOLF CART BRIDGE

MOBIO

ARCHITECTURE: MOBIO ARCHITECTURE, INC.

CIVIL ENGINEERING & LANDSCAPE ARCHITECTURE: MILLER LEGG — MILLER LEGG & ASSOCIATES, INC. 7743 NW 48th Street, Suite 140, Doral, Florida 33166

ELECTRICAL ENGINEER: LOUIS F. AGUIRRE & ASSOCIATES, P.A. 9150 South Dadeland Boulevard, Suite 900, Miami, Florida 33156

STRUCTURAL ENGINEER: DOUGLAS WOGO ASSOCIATES, INC. 5040 NW 7th Street, Suite 820, Miami, Florida 33126

BRIDGE MANUFACTURER: LINKS BRIDGES USA, INC. 1 SE Ocean Boulevard, Stuart, Florida 34994

Project Phase: PERMIT SET

Project Number: 19-007-120

Date: FEBRUARY 28, 2023

FOR PERMIT

Sheet Title: STAGING - SITE PLAN

Sheet Number: A0.0.02

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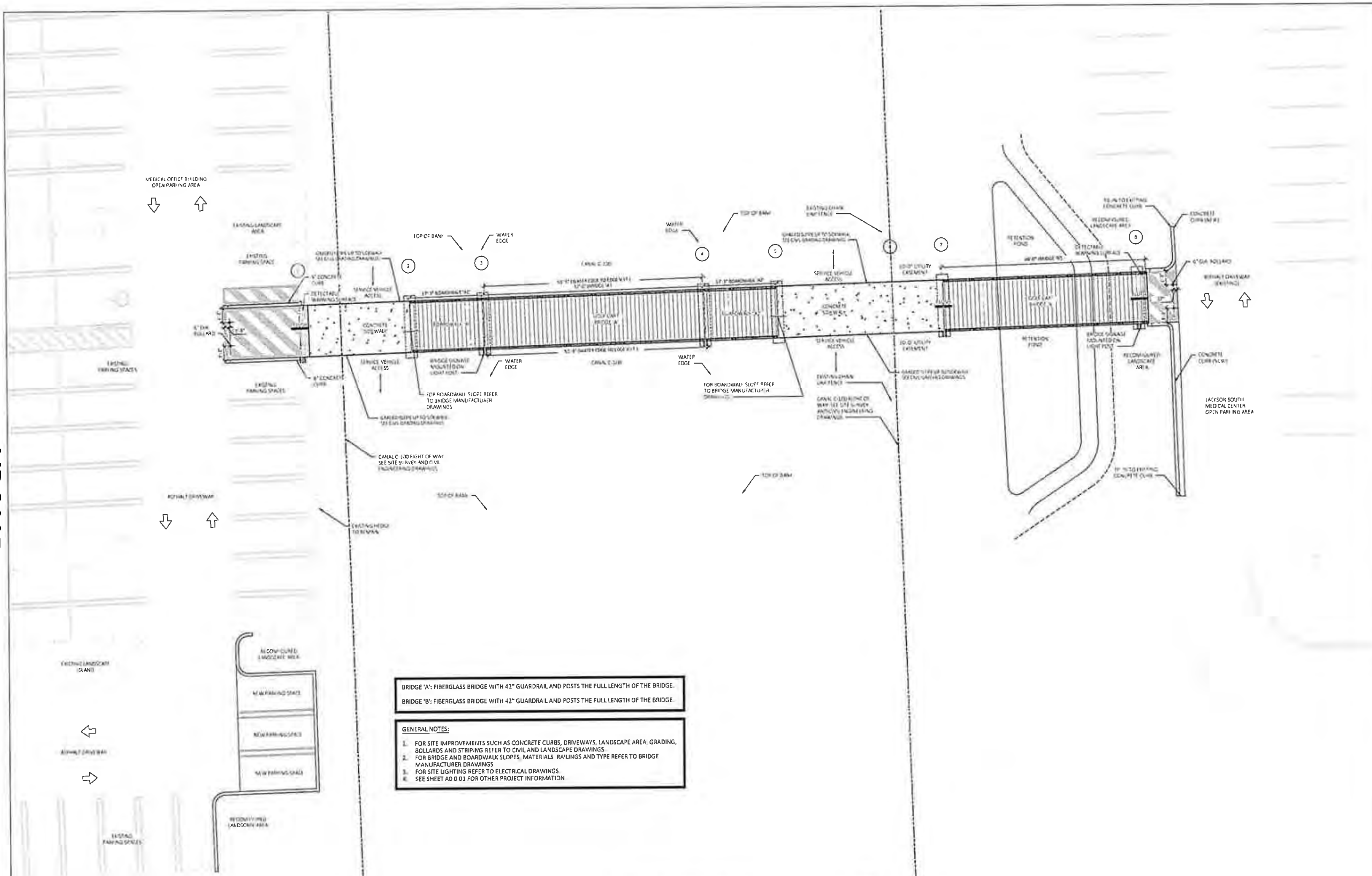

BRIDGE 'A': FIBERGLASS BRIDGE WITH 42" GUARDRAIL AND POSTS THE FULL LENGTH OF THE BRIDGE.

BRIDGE 'B': FIBERGLASS BRIDGE WITH 42" GUARDRAIL AND POSTS THE FULL LENGTH OF THE BRIDGE.

GENERAL NOTES:

1. FOR SITE IMPROVEMENTS SUCH AS CONCRETE CURBS, DRIVEWAYS, LANDSCAPE AREA, GRADING, BOLLARDS AND STRIPING REFER TO CIVIL AND LANDSCAPE DRAWINGS.
2. FOR BRIDGE AND BOARDWALK SLOPES, MATERIALS, RAILINGS AND TYPE REFER TO BRIDGE MANUFACTURER DRAWINGS.
3. FOR SITE LIGHTING REFER TO ELECTRICAL DRAWINGS.
4. SEE SHEET A0.0.01 FOR OTHER PROJECT INFORMATION

OVERALL SITE PLAN

SCALE: 3/8" = 1'-0"

1

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Miracles made daily.

JACKSON SOUTH MEDICAL CENTER
NEW GOLF CART BRIDGE
9333 SW 152nd Street, Miami, Florida 33157

MOBIO

ARCHITECTURE
MOBIO ARCHITECTURE, INC.

CIVIL ENGINEERING & LANDSCAPE ARCHITECTURE
MILLER LEGG

ELECTRICAL ENGINEER
LOUIS J. AGUIRRE & ASSOCIATES, P.A.

STRUCTURAL ENGINEER
DOUGLAS WOOD ASSOCIATES, INC.

BRIDGE MANUFACTURER

PERMIT SET
Project Number: 19-007-120
Date: FEBRUARY 28, 2023

FOR PERMIT

OVERALL SITE PLAN

A0.0.03

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ELECTRICAL SYMBOL LEGEND

LIGHTING FIXTURES

[illegible]

NOTE:

1. [illegible]

ABBREVIATIONS / SUFFIXES

A.F.F.	ABOVE FINISHED FLOOR
A.F.G.	[illegible]
AWG	[illegible]
BD.	[illegible]
C.	[illegible]
CAB.	[illegible]
C.B.	[illegible]
CKT.	[illegible]
CCTV	[illegible]
CO-THW	[illegible]
E.A.	[illegible]
E.W.C.	ELECTRIC WATER COOLER
E	[illegible]
ER	[illegible]
EMT	[illegible]
F.A.	[illegible]
G.F.I.	[illegible]
GND.	[illegible]
HID	[illegible]
HPS	[illegible]
I.G.	[illegible]
LT.	[illegible]
LTG.	[illegible]
MCB	[illegible]
MLO	[illegible]
MT.	[illegible]
MTG. HT.	[illegible]
N.E.C.	[illegible]
N.I.C.	[illegible]
NL	[illegible]
NFPA	[illegible]
NEMA	[illegible]
LFMC	[illegible]
P.A.	[illegible]
PNL.	[illegible]
PTZ	PAN-TILT-ZOOM CAMERA
RECEPT.	[illegible]
RMC	[illegible]
S.D.B.C.	[illegible]
SW.	[illegible]
TVSS	[illegible]
U.O.N.	[illegible]
V.P.	[illegible]
VOC	[illegible]
WAP	[illegible]
W.G.	[illegible]
W.P.	[illegible]
X.P.	[illegible]

GENERAL NOTES:

1. SITE INVESTIGATION. PRIOR TO BIDDING THE CONTRACTOR SHALL VISIT THE JOBSITE AND BECOME ACQUAINTED WITH ALL OF THE EXISTING CONDITIONS WHICH WILL AFFECT HIS WORK. FAILURE TO DO SO WILL NOT BE ACCEPTED AS A REASON FOR REQUESTING EXTRA PAY WHERE THE EXISTING CONDITION RESULTS IN EXTRA MATERIAL OR LABOR. THE CONTRACTOR SHALL SUBMIT IN HIS BID AN AMOUNT THAT WOULD BE SET ASIDE FOR UNIDENTIFIED ITEMS.
2. ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST CLASS MANNER AND SHALL BE A COMPLETED AND FULLY OPERATIVE TO THE ACCEPTANCE OF THE OWNER GENERAL CONTRACTOR AND ENGINEER.
3. THE CONTRACTOR SHALL FURNISH ALL LABOR MATERIALS AND EQUIPMENT NECESSARY FOR THE COMPLETE INSTALLATION OF THE ELECTRICAL SYSTEMS ALL IN ACCORDANCE WITH THESE CONSTRUCTION DOCUMENTS. ALL WORK PERFORMED UNDER THIS CONTRACT SHALL COMPLY WITH THE FLORIDA BUILDING CODE SEVENTH EDITION (2020)
4. [illegible]
5. MINIMUM STANDARDS. THE MATERIAL, EQUIPMENT, INSTALLATIONS, AND WORKMANSHIP FURNISHED UNDER THIS SECTION SHALL CONFORM AT LEAST TO THE REQUIREMENTS OF THE REGULATING AGENCIES AS LISTED IN ITEM (3) ABOVE. ALL MATERIALS AND EQUIPMENT USED SHALL BE LISTED OR BEAR U.L. APPROVAL FOR THEIR INTENDED USE.
6. [illegible]
7. GUARANTEE. THE CONTRACTOR/SUB-CONTRACTOR SHALL FURNISH A WRITTEN GUARANTEE THAT ALL WORK EXECUTED UNDER THIS CONTRACT SHALL BE FREE FROM DEFECTS OF WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE AND THAT HE, AT HIS OWN EXPENSE, WILL REPAIR OR REPLACE ALL WORK WHICH BECOMES DEFECTIVE DURING THE TIME OF THE GUARANTEE.
8. [illegible]
9. [illegible]
10. OBTAIN FULL INFORMATION REGARDING PECULIARITIES AND LIMITATIONS OF SPACE AVAILABLE FOR INSTALLATION OF THE EQUIPMENT AND MATERIALS UNDER CONTRACT AND PROVIDE READY ACCESSIBILITY TO ELECTRICAL EQUIPMENT, INCLUDING ANY PART OF SYSTEM REQUIRED TO BE REACHED FOR MAINTENANCE AND OPERATIONS.
11. [illegible]
12. VERIFY EQUIPMENT SIZES VOLTAGE AND CURRENT CHARACTERISTICS ETC. BEFORE THE ORDERING OF ANY EQUIPMENT AND PRIOR TO ROUGHING-IN FOR EQUIPMENT TO BE SUPPLIED TO OTHERS. NOTIFY ENGINEER OF ANY CONFLICT.
13. CONDUCTOR: ALL CONDUCTOR WIRE AND CABLE SHALL CONSIST OF 98% CONDUCTIVITY COPPER. ALL CABLES [illegible] BLE FOR CONTINUOUS OPERATION AT 75 DEGREES C. CONDUCTOR TEMPERATURE IN BOTH WET AND DRY LOCATIONS. THESE CABLES SHALL BE N.E.C. [illegible] ALL CONDUCTOR INSULATION SHALL BE COLOR CODED MAINTAINING THE INTEGRITY OF THE EXISTING INSTALLATION. COLORED INSULATION SHALL BE US[illegible] E USED FOR AWG SIZES [illegible] AND LARGER. ALL POWER AND CONTROL CIRCUITS SHALL CARRY EQUIPMENT GROUNDING CONDUCTOR SIZED PER NEC 250-122.
14. THE NATURE OF THIS TYPE OF CONSTRUCTION POSES SPECIAL [illegible] BEEN MADE BY THE ENGINEER TO SHOW AND VERIFY WHERE POSSIBLE THE LOCATION OF THE EXISTING ELECTRICAL SYSTEM. THE MAJOR [illegible] MINOR DEVIATIONS MAY BECOME EVIDENT AS THE JOB PROGRESSES. NO ADVANTAGE IS TO BE TAKEN BY THE CONTRACTOR BECAUSE OF [illegible]
15. [illegible]
16. [illegible]
17. [illegible]
    A. INDOORS - USE THE FOLLOWING WIRE METHODS:
       - EXPOSED: [illegible]
       - CONCEALED: [illegible]
       - [illegible]
       - [illegible]
       - [illegible]
    B. [illegible]
    C. [illegible]
       - [illegible]
18. THESE DRAWINGS ARE A GUIDE FOR THE INSTALLATION OF THE RACEWAY SYSTEM AND EQUIPMENT. THEY ARE INTENDED TO SHOW THE GENERAL ARRANGEMENT, DESIGN AND EXTENT OF THE WORK AND ARE PARTLY DIAGRAMMATIC. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING A COMPLETE AND FUNCTIONAL INSTALLATION.
19. [illegible]
20. [illegible]
21. CONTRACTOR SHALL VERIFY SPACE CONDITIONS AND DIMENSIONS AT JOB SITE PRIOR TO FABRICATION AND INSTALLATION OF MATERIALS AND EQUIPMENT. ELECTRICAL CONTRACTOR IS TO COORDINATE HIS WORK WITH THE ARCHITECT BEFORE ROUGH INSTALLATION IS COMPLETE.
22. [illegible]
23. CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, [illegible] THE WORK.
24. CONTRACTOR SHALL MAINTAIN A COMPLETE SET OF PRINTS FOR INDICATING ALL CHANGES AS THE CONSTRUCTION PROGRESSES. AT THE COMPLETION OF THE WORK, THE [illegible] TO THE OWNER IN REPRODUCIBLE MATERIAL. CONTRACTOR SHALL STAMP AS-BUILT ON THE PLANS (EACH SHEET), PRINT, DATE, AND SIGN IN BLUE INK.
25. [illegible]
26. CONTRACTOR SHALL PROVIDE THE REQUIRED MEASURES FOR THE SAFEGUARDING OF THE EXISTING FACILITY AND SYSTEMS THEREIN DURING THE PERFORMANCE OF THE CONSTRUCTION DEMOLITION AND ALTERATION OPERATIONS UNDER THIS PROJECT IN ACCORDANCE WITH NFPA 241 (2010 EDITION).
27. NEW GOLF CART BRIDGE LIGHT POLES / LUMINARIES ARE SELF-POWERED SOLAR POWER FIXTURES. FIXTURE INCLUDES ALL [illegible] INCLUDING PHOTOCELL.

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Jackson South MEDICAL CENTER
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JACKSON SOUTH MEDICAL CENTER
NEW GOLF CART BRIDGE

MOBIO — ARCHITECTURE: MOBIO ARCHITECTURE, INC.
CIVIL ENGINEERING & LANDSCAPE ARCHITECTURE: MILLER LEGG & ASSOCIATES INC
ELECTRICAL ENGINEER: LOUIS I AGUIRRE & ASSOCIATES, P.A.
STRUCTURAL ENGINEER: DOUGLAS WOOD ASSOCIATES, INC.
BRIDGE MANUFACTURER

PERMIT SET
Project Number: 19-007-120
Date: FEBRUARY 28, 2023

FOR PERMIT

SYMBOL LEGEND AND GENERAL NOTES
ELECTRICAL

E-0.00

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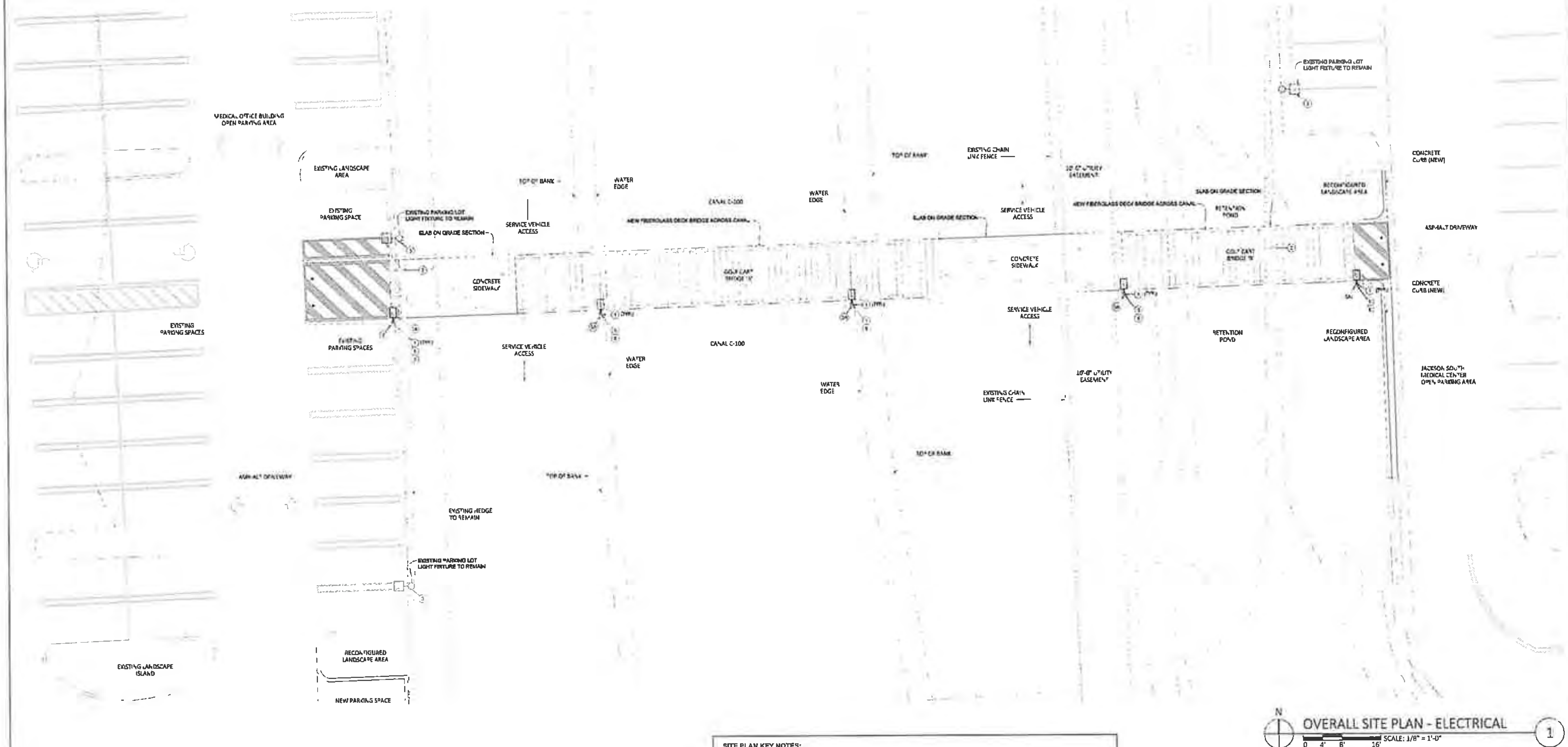

SITE PLAN KEY NOTES:

1. COMPLETE SOLAR PANEL/POLE ASSEMBLY INSTALLATION. SHALL WITHSTAND MINIMUM OF 175 MPH WIND LOADING. CONTRACTOR SHALL VERIFY SOIL CONDITIONS PRIOR TO SELECTING METHOD OF INSTALLATION AND COMPLY WITH F.B.C. REQUIREMENTS.
2. CONTRACTOR SHALL WORK WITH CARE ALONG THESE AREAS TO PREVENT DAMAGE TO EXISTING PARKING LOT LIGHTING CONDUITS DURING NEW CONSTRUCTION OR ANY OTHER UTILITY BELOW GRADE.
3. EXISTING LIGHT FIXTURE HEADS AROUND ENTRANCE TO GOLF CART BRIDGE FROM BOTH ENDS SHALL BE EXPOSED FROM WITHIN OUT-OF-CONTROL TREE BRANCHES FOR PROPER ILLUMINATION.
4. COORDINATE EXACT LOCATION OF LIGHT POLE TO ALLOW FULL ACCESS TO VEHICLES ACROSS BRIDGE (SLAB-ON-GRADE SECTION).
5. FIXTURE POLE TO BE MOUNTED ON PEDESTAL PART OF BRIDGE STRUCTURAL SUPPORT. SEE STRUCTURAL DRAWINGS.
6. COMPLETE LUMINAIRE / POLE ASSEMBLY INSTALLATION MUST WITHSTAND MINIMUM OF 175 MPH WIND LOADING. CONTRACTOR MUST VERIFY SOIL CONDITIONS PRIOR TO SELECTING METHOD OF INSTALLATION. COMPLY WITH LATEST F.B.C. REQUIREMENTS.

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JACKSON SOUTH MEDICAL CENTER
NEW GOLF CART BRIDGE

MOBIO

ARCHITECTURE: MOBIO ARCHITECTURE, INC.
CIVIL ENGINEERING & LANDSCAPE ARCHITECTURE: MILLER LEGG
ELECTRICAL ENGINEER: LOUIS J AGUIRRE & ASSOCIATES, P.A., 9150 South Dadeland Boulevard, Suite 900, Miami, Florida 33156
STRUCTURAL ENGINEER: DOUGLAS WOOD ASSOCIATES, INC., Miami, Florida
BRIDGE MANUFACTURER: LUNKS BRIDGES USA, INC

PERMIT SET
Project Number: 19-007-120
Date: FEBRUARY 28, 2023

FOR PERMIT

OVERALL SITE PLAN - ELECTRICAL
E-3.00

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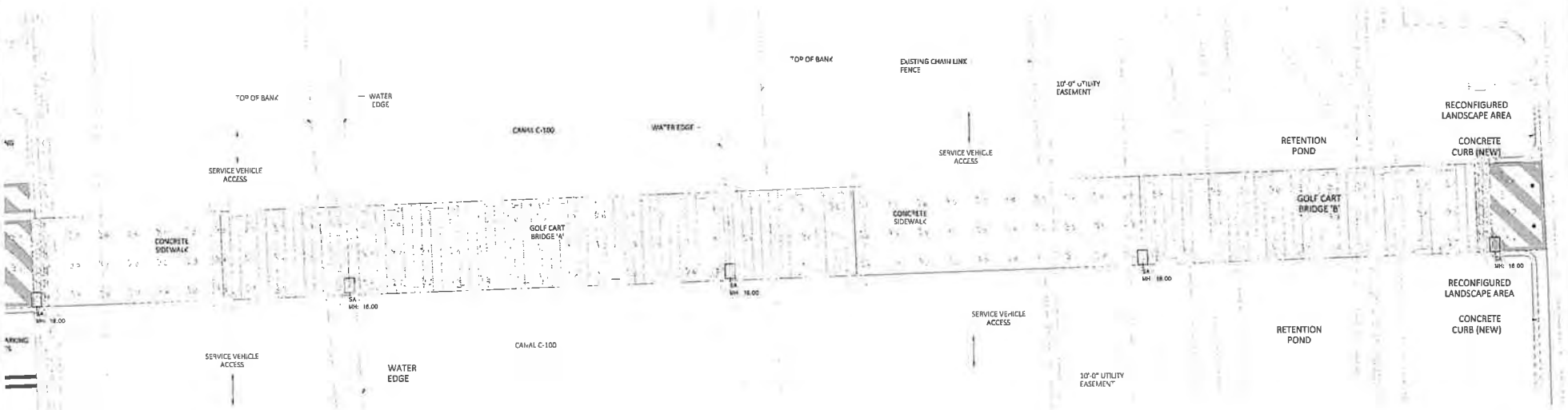

N

PHOTOMETRIC PLAN - ELECTRICAL 1

0 4' 8' 16' SCALE: 1/8" = 1'-0"

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Owner: Jackson South MEDICAL CENTER Miracles made daily.

Project Name: JACKSON SOUTH MEDICAL CENTER NEW GOLF CART BRIDGE 9333 SW 152nd Street, Miami, Florida 33157

MOBIO

ARCHITECTURE: MOBIO ARCHITECTURE, INC.

CIVIL ENGINEERING & LANDSCAPE ARCHITECTURE: MILLER LEGG

ELECTRICAL ENGINEER

STRUCTURAL ENGINEER

BRIDGE MANUFACTURER: UNICE BRIDGES

Project Phase: PERMIT SET

Project Number: 19-007-120

Date: FEBRUARY 28, 2023

FOR PERMIT

Sheet Title: PHOTOMETRIC PLAN - ELECTRICAL

Sheet Number: E-3.01

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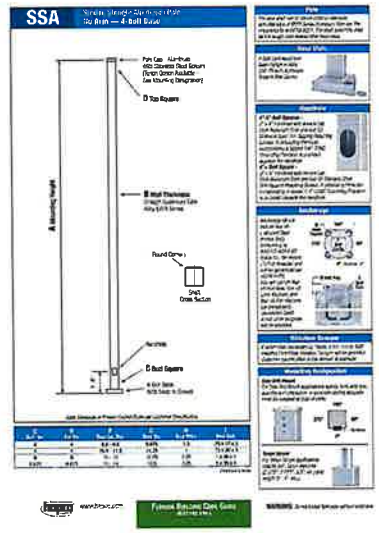
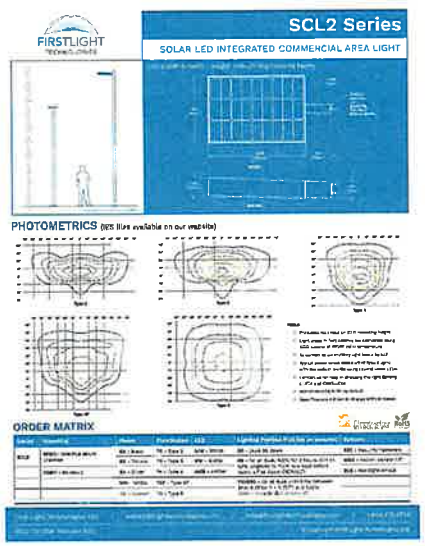
MDC068





COMPLETE LUMINAIRE/POLE ASSEMBLY INSTALLATION MUST WITHSTAND MINIMUM OF 175 MPH WIND LOADING. CONTRACTOR SHALL VERIFY SOIL CONDITION PRIOR TO SELECTING METHOD OF INSTALLATION. (COMPLY WITH F.B.C. REQUIREMENTS) CALCULATIONS SHALL BE SIGNED AND SEALED BY A FLORIDA REGISTERED PROFESSIONAL ENGINEER.

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY THE PROFESSIONAL OF RECORD ON THE DATE ADJACENT TO THE SEAL USING AN SHA AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Owner
Jackson South MEDICAL CENTER
Miracles made daily.

Project Name
JACKSON SOUTH MEDICAL CENTER
NEW GOLF CART BRIDGE
9333 SW 152nd Street, Miami, Florida 33157

MOBIO

ARCHITECTURE
MOBIO ARCHITECTURE, INC.
8888 Biscayne Blvd, Suite 850
Miami, Florida 33138

CIVIL ENGINEERING & LANDSCAPE ARCHITECTURE
MILLER LEGG
MILLER LEGG & ASSOCIATES, INC.
8742 Sw 88th Street, Suite 140,
Doral, Florida 33186

ELECTRICAL ENGINEER
LOUIS J. GUARINO & ASSOCIATES, P.A.
9150 South Dadeland Boulevard, Suite 900,
Miami, Florida 33156

STRUCTURAL ENGINEER
DOUGLAS WOOD ASSOCIATES, INC.
5040 NW 7th Street, Suite 570,
Miami, Florida 33126

BRIDGE MANUFACTURER
LINKS BRIDGES
LINKS BRIDGES USA, INC
1 SE Ocean Boulevard,
Stuart, Florida 34994

STATE OF FLORIDA
PROFESSIONAL ENGINEER
No. 71663
LOUIS J. GUARINO, P.E. License No. 71663

Project Phase
PERMIT SET

Project Number: 19-007-120

Date: FEBRUARY 28, 2023

FOR PERMIT

Sheet Title
DETAILS - ELECTRICAL

Sheet Number
E-7.00

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MDC069

Agenda Item 11.c.
Public Health Trust Board of Trustees
October 26, 2022

RESOLUTION NO. PHT 10/2022 – 050

RESOLUTION CONSENTING TO THE ESTABLISHMENT OF A VEHICULAR CROSSING AND PEDESTRIAN CONNECTOR BRIDGE (CONNECTOR BRIDGE) LOCATED ADJACENT TO JACKSON SOUTH MEDICAL CENTER ON A PORTION OF FOLIO NO. 30-5021-050-0010; AUTHORIZING THE CHIEF EXECUTIVE OFFICER, OR HIS DESIGNEE, TO TAKE ALL ACTIONS NECESSARY TO CONSTRUCT, OPERATE AND MAINTAIN THE CONNECTOR BRIDGE, INCLUDING NEGOTIATING AN EASEMENT AGREEMENT WITH HTA-MIAMI DADE LAND, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AND OBTAINING ALL NECESSARY APPROVALS FROM THE BOARD OF COUNTY COMMISSIONERS FOR THE EXECUTION AND RECORDING OF THE SAME, AND OBTAINING ALL PERMITS FROM THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT AND ANY OTHER PERMITTING AUTHORITY AS APPLICABLE; AUTHORIZING THE CHIEF EXECUTIVE OFFICER OR HIS DESIGNEE TO TAKE ALL OTHER ACTIONS AS NECESSARY TO ACCOMPLISH THE PURPOSES OF THIS RESOLUTION

(Rosa Costanzo, Senior Vice President, Strategic Sourcing and Supply Chain Management and Chief Procurement Officer, Jackson Health System)

WHEREAS, the Trust desires to establish a vehicular and pedestrian crossing bridge ("Connector Bridge") between the Jackson South Medical Center, located at 9333 SW 152nd Street, Miami, Florida, and the Jackson South Medical Office Building located at 15155 SW 97th Avenue, Miami, Florida, which are separated by a canal owned and managed by the South Florida Water Management District; and

WHEREAS, construction, operation, and maintenance of the Connector Bridge requires the receipt of an easement from HTA-Miami Dade Land, LLC, a Delaware limited liability company, on a portion of Folio No. 30-5021-050-0010, and a permit from the South Florida Water Management District, an agency and instrumentality of the State of Florida; and

WHEREAS, approval from the Board of County Commissioners is required for the Trust to obtain an interest in real property pursuant to Chapter 25(A) of the Code of Miami-Dade County, Florida; and

Exhibit 2

WHEREAS, the Chief Executive Officer, the Purchasing and Facilities Subcommittee and the Fiscal Committee recommend approval of this resolution.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF TRUSTEES OF THE PUBLIC HEALTH TRUST OF MIAMI-DADE COUNTY, FLORIDA, that:

Section 1. This Board incorporates the foregoing recitals in this resolution and approves the same.

Section 2. This Board consents to the establishment of a Connector Bridge to be located adjacent to Jackson South Medical Center on a portion of Folio No. 30-5021-050-0010 to be used for the purpose of vehicular and pedestrian ingress and egress.

Section 3. This Board authorizes the Chief Executive Officer, or his designee, to take all actions necessary to construct, operate and maintain the Connector Bridge, including negotiating and finalizing an easement agreement with HTA-Miami Dade Land, LLC and obtaining all necessary approvals from the Board of County Commissioners for the execution and recording of the same.

Section 4. This Board further authorizes the Chief Executive Officer, or his designee, to obtain all permits or approvals from the South Florida Water Management District and any other permitting authority as necessary to establish and operate the Connector Bridge.

Section 5. This Board authorizes the Chief Executive Officer, or his designee, to take all other actions necessary to accomplish the purposes of this resolution, including execution of real estate instruments and permitting documents.

The foregoing resolution was offered by Antonio L. Argiz and the motion was seconded by Matthew J. Allen as follows:

Matthew J. Allen	Aye
Antonio L. Argiz	Aye
Juan Fernandez-Barquin	Aye
Amadeo Lopez-Castro, III	Aye
Laurie Weiss Nuell	Aye
Walter T. Richardson	Aye
Carmen M. Sabater	Absent

The Chairperson thereupon declared the resolution as duly passed and adopted this 26th day of October 2022.

PUBLIC HEALTH TRUST OF MIAMI-DADE COUNTY, FLORIDA

BY: _____
Laurie Weiss Nuell, Secretary

Approved by the Miami-Dade County Attorney's Office as to form
And legal sufficiency _____

Jackson HEALTH SYSTEM PUBLIC HEALTH TRUST

Miracles made daily.

TO: Walter T. Richardson, Chairman
and Members, Public Health Trust Board of Trustees

FROM: Rosa Costanzo, Senior Vice President
Strategic Sourcing and Supply Chain Management and Chief Procurement Officer

DATE: October 26, 2022

RE: Establishment of Connector Bridge at Jackson South Medical Center

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Recommendation

Staff recommends that the Public Health Trust Board of Trustees authorize the Chief Executive Officer or his designee to take all actions necessary to allow the Trust to construct, operate, and maintain a vehicular and pedestrian bridge (Connector Bridge) between Jackson South Medical Center located at 9333 SW 152nd Street, Miami, Florida and the Jackson South Medical Office Building located at 15155 SW 97 Avenue, Miami, Florida, including:

1) Negotiating an easement agreement with HTA-Miami Dade Land, LLC (HTA), a Delaware limited liability company, in order to grant the Trust access to property owned by HTA consisting of a portion of Folio No. 30-5021-050-0010, and to seek all approvals required from the Board of County Commissioners for the execution and recording of the same; and

2) Obtaining permits and related approvals from the South Florida Water Management District, which owns and operates the canal (C-100) separating the HTA property and Jackson South Medical Center, as well as approvals from any other permitting authority as applicable.

Fiscal Impact/Funding Source

The Trust will be responsible for the cost of constructing the Connector Bridge and, upon completion, operating and maintaining the structure.

Track Record/Monitor

Dan Chatlos, Director, Real Estate Services would be responsible for the negotiation, execution and recording of the easement.

Background

In order to facilitate the efficient movement of staff and visitors between the Trust-operated Jackson South Medical Center and the adjacent Jackson South Medical Office Building owned by HTA, the Trust desires to construct, operate, and maintain a Connector Bridge between the two properties that crosses over a canal owned and managed by the South Florida Water Management District. Construction of the Connector Bridge is desired to facilitate the safe crossings of staff and visitors between the properties without the need to transit SW 152nd Street. Once constructed, the Trust will be responsible for the costs of operating and maintaining the Connector Bridge.