

RESOLUTION NO. 2005-02

RESOLUTION OF THE NARANJA LAKES COMMUNITY REDEVELOPMENT AGENCY APPROVING THE FIRST AMENDMENT TO THE REDEVELOPMENT AGREEMENT BETWEEN THE NARANJA LAKES COMMUNITY REDEVELOPMENT AGENCY, MIAMI-DADE COUNTY, NARANJA LAKES CONSTRUCTION, LLC, NARANJA LAKES HOLDINGS, LLC, AND NARANJA LAKES HOLDINGS II, LLC; AUTHORIZING THE CHAIRPERSON AND SECRETARY TO EXECUTE THE FIRST AMENDMENT TO THE REDEVELOPMENT AGREEMENT; AND PROVIDING FOR EFFECTIVE DATE

WHEREAS, the Board of Commissioners (“Board”) of the Naranja Lakes Community Redevelopment Agency (“CRA”) previously approved the terms and conditions of that certain Redevelopment Agreement between the CRA, Miami-Dade County, Naranja Lakes Construction, LLC, Naranja Lakes Holdings, LLC, and Naranja Lakes Holdings II, LLC adopted April 19, 2004 (the “Redevelopment Agreement”); and

WHEREAS, the Board desires to approve the First Amendment to the Redevelopment Agreement (the “First Amendment”) and authorizes the Chairperson and Secretary to execute the First Amendment,

NOW, THEREFORE, IT IS HEREBY RESOLVED BY THE BOARD OF COMMISSIONERS OF THE NARANJA LAKES COMMUNITY REDEVELOPMENT AGENCY AS FOLLOWS:

Section 1. The Recitals set forth above are true and correct and incorporated herein by this reference.

Section 2. The CRA Board hereby approves the First Amendment in the form attached hereto as Exhibit "A" with such non-material changes as approved by the Chairperson and CRA.

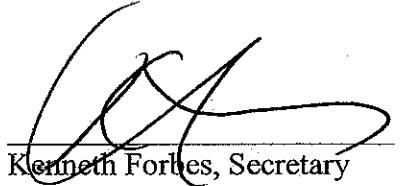
Section 3. The CRA Board hereby authorizes the Chairperson and the Secretary to execute the First Amendment.

Section 4. This Resolution shall be effective immediately upon adoption.

PASSED AND ADOPTED this 3rd day of March, 2005.


"NINA" GAIL BETANCOURT, CHAIRPERSON

ATTEST:


Kenneth Forbes, Secretary

APPROVED AS TO LEGAL SUFFICIENCY

Steven Zelkowitz
AGENCY ATTORNEY

Motion to adopt by Commissioner Archer, seconded by
Commissioner Lipe (approval of First Amendment)

FINAL VOTE AT ADOPTION

<i>Chairperson "Nina" Gail Betancourt</i>	<u>Absent</u>
<i>Commissioner Stuart Archer</i>	<u>yes</u>
<i>Commissioner Joan Carter</i>	<u>yes</u>
<i>Commissioner Kenneth Forbes</i>	<u>yes</u>
<i>Commissioner Rene Infante</i>	<u>Absent</u>
<i>Commissioner Norm Kramer</i>	<u>Absent</u>
<i>Commissioner Parsuram Ramkissoon</i>	<u>yes</u>
<i>Commissioner Mario Espinera</i>	<u>Absent</u>
<i>Commissioner Daniel Lipe</i>	<u>yes</u>

This document prepared by
and after recording return to:

Steven W. Zelkowitz, Esq.
Weiss Serota Helfman
Pastoriza Guedes Cole & Boniske, P.A.
2665 South Bayshore Drive, Suite 420
Miami, Florida 33133

FIRST AMENDMENT TO REDEVELOPMENT AGREEMENT

THIS FIRST AMENDMENT REDEVELOPMENT AGREEMENT ("First Amendment") dated as of MARCH 3, 2005, is entered into by and between the **NARANJA LAKES COMMUNITY REDEVELOPMENT AGENCY** (the "CRA"), an entity created pursuant to the Community Redevelopment Act of 1969, Part III of Chapter 163, Florida Statutes (the "Act"), **MIAMI-DADE COUNTY**, a political subdivision of the State of Florida, (the "County"), **NARANJA LAKES CONSTRUCTION, LLC**, a Florida limited liability company, or such other successor developer selected by the Owner and approved by the County in accordance with applicable law, (the "Developer"), **NARANJA LAKES HOLDINGS, LLC**, a Florida limited liability company ("NLH"), **NARANJA LAKES HOLDINGS II, LLC**, a Florida limited liability company ("NLH II"), and **D.R. HORTON, INC.**, a Delaware corporation ("Horton") (NLH, NLH II and Horton are hereinafter collectively referred to as the "Owner").

R E C I T A L S

1. The CRA, County, Developer NLH, and NLH II entered into that certain Redevelopment Agreement recorded January 8, 2004 in Official Records Book 21959, Pages 4169 through 4300 of the Public Records of Miami-Dade County ("Agreement"), with respect to the Property (as defined in the Redevelopment Agreement) and as more particularly described on Exhibit "A-1" attached hereto and by this reference made a part of this First Amendment.

2. Horton acquired a portion of the Property as more particularly described on Exhibit "A-2" attached hereto and by this reference made a part hereof.

3. The parties desire to amend the Agreement in certain respects as set forth in this First Amendment.

NOW, THEREFORE, in consideration of the mutual covenants described above and the agreements contained below, and for other good and valuable consideration, the receipt and sufficiency of which is acknowledged, the parties agree as follows:

1. INCORPORATION OF RECITALS

The recitations set forth in the foregoing recitals are material to this First Amendment and are incorporated into and made a part of this First Amendment as though they were fully set forth in this Section 1.

2. FIRST AMENDMENT CONTROLS; DEFINED TERMS

In the event of any conflict between the terms and conditions of this First Amendment and the Agreement, it is agreed that the terms and conditions of this First Amendment shall control. Any defined terms not defined in this First Amendment shall have the meaning ascribed to them in the Agreement. All references herein to "this Agreement" shall include this First Amendment of the Agreement.

3. RATIFICATION

Except as set forth in this First Amendment, all other terms and provisions of the Agreement shall remain unmodified and in full force and effect and the parties hereby ratify the terms and conditions set forth in the Agreement.

4. OWNER

For all intents and purposes under the Agreement, the Owner shall, jointly and severally, consist of Naranja Lakes Holdings, LLC, Naranja Lakes Holdings II, LLC and Horton, subject to any further conveyance of the Property or any portion thereof and the application of Section 14.08 (Successors and Assignees) and Section 14.14 (Covenants Running with the Land) of the Agreement.

5. MASTER PLAN OF IMPROVEMENTS

Exhibit "B" (Master Plan of Improvements) to the Agreement is hereby deleted in its entirety and replaced by Exhibit "B" (Master Plan of Improvements) attached hereto and by this reference made a part hereof. The improvements shown in the Master Plan of Improvements attached to this First Amendment as Exhibit "B" shall comprise the improvements of the CRA Project for purposes of the Agreement.

6. DESIGN AND CONSTRUCTION

6.01 Section 4.01 of the Agreement is amended by deleting subsections (a) and (b) in their entirety and replacing them with the following:

- "(a) Phase I of the CRA Project consists of Parcels C, D, E, F, J, K, L and N ("Phase I of the CRA Project").
- (b) Phase II of the CRA Project consists of Parcels A, B, G, H, I, M and O ("Phase II of the CRA Project")."

6.02 Section 4.02(a) of the Agreement is amended by deleting the last two sentences and replacing them with the following:

"The guaranteed maximum price for Phase I of the CRA Project is Ten Million Six Hundred Thirteen Thousand Sixty Two and 37/100 Dollars (\$10,613,062.37) (the "Phase I GMP"). The guaranteed maximum price for Phase II of the CRA Project is Seven Million One Hundred Thirty-Two Thousand Two Hundred Ninety Three and 38/100 Dollars (\$7,132,293.38) (the "Phase II GMP")."

6.03 The parties acknowledge and agree that the GMP of Seventeen Million Seven Hundred Forty-Five Thousand Three Hundred Fifty-Five and 75/100 Dollars (\$17,745,355.75) shall remain unchanged.

7. **REAL PROPERTY AND EASEMENT CONVEYANCES**

Exhibit "F" to the Agreement (CRA Property) is hereby deleted in its entirety and replaced by Exhibit "F" (CRA Property) attached hereto and by this reference made a part hereof. The CRA Property shown of Exhibit "F" attached to this First Amendment shall comprise the CRA Property for purposes of the Agreement.

8. **LIENS**

The following sentence is hereby inserted at the end of Section 2.02.01 of the Agreement:

"Neither the County nor the CRA will have the right to foreclose a claim of lien, as provided for in this Agreement, on any portion of the Property upon which any improvements have been constructed and conveyed to a third party purchaser, commercial property owner's association or homeowner's association."

9. **NOTICES**

Section 14.05 (Notices) of the Agreement is amended to also include Horton to receive all notices sent to Owner. Notices to Horton should be addressed as follows:

Horton: D.R. Horton, Inc.
Attn: Paul Romanowski
1192 East Newport Center Drive
Suite 150
Deerfield Beach, Florida 33442
Facsimile: (954) 428-8330

With Copies to: D.R. Horton, Inc.
Attn: James Pebbles
1901 Ascension Boulevard
Suite 350
Arlington, Texas 76006
Facsimile: (817) 436-6065

Salomon, Kanner, Damian & Rodriguez, P.A.
Attn: Juan E. Rodriguez, Esq.
80 S.W. 8th Street
Suite 2550
Miami, Florida 33130
Telephone: (305) 379-1681
Facsimile: (305) 374-1719

10. MISCELLANEOUS PROVISIONS

The provisions of Section 20 (Miscellaneous) of the Agreement are incorporated in this First Amendment as though fully set forth in this Amendment.

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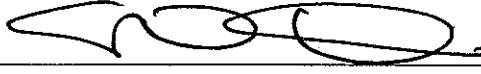
IN WITNESS WHEREOF, the parties hereto have caused this First Amendment to be executed on or as of the day and year first above written.

NARANJA LAKES COMMUNITY
REDEVELOPMENT AGENCY

By: 
"Nina" Gail Betancourt, Chairperson

By: 
Kenneth Forbes, Secretary

Approved as to legal form and sufficiency

By: 
Agency Attorney

MIAMI-DADE COUNTY, FLORIDA

By: 
3-21-05
George Burgess, County Manager

By: 
Deputy Clerk

Approved as to form and legal sufficiency

By: 
County Attorney

NARANJA LAKES HOLDINGS, LLC

By: **Orange Lakes Developers, Inc., Member**

By:

Michael Garcia Carrilo, President

By: **HAV, LLC, Member**

By:

Edward de Guardiola, Member

NARANJA LAKES HOLDINGS II, LLC

By:

Michael Garcia Carrilo, President

By: **HAV, LLC, Member**

By:

Edward de Guardiola, Member

D.R. HORTON, INC.

By:

P.J.

Name: **PAUL J. ROMANOFSKI**

Title: **Vice President**

NARANJA LAKES CONSTRUCTION, LLC

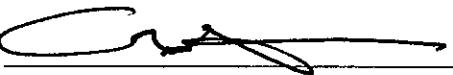
By:

**Michael Garcia Carrilo
Member and Manager**

STATE OF FLORIDA)
COUNTY OF MIAMI-DADE) SS
)

The foregoing instrument was acknowledged before me this 20th day of February, 2005, by "Nina" Gail Betancourt, as Chairperson of the Board of Commissioners of the NARANJA LAKES COMMUNITY REDEVELOPMENT AGENCY, who (check one) [✓] is personally known to me or [] has produced a Florida driver's license as identification.

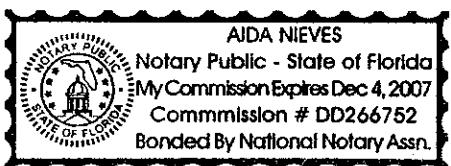


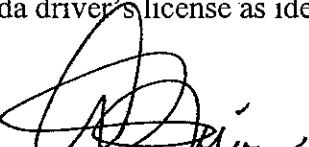


Notary Public
STEVEN W. ZELKOWITZ
Printed Name of Notary Public

STATE OF FLORIDA)
COUNTY OF MIAMI-DADE) SS
)

The foregoing instrument was acknowledged before me this 24th day of March, 2005, by George Burgess, as County Manager of MIAMI-DADE COUNTY, FLORIDA, a political subdivision of the State of Florida, who (check one) [] is personally known to me or [✓] has produced a Florida driver's license as identification.

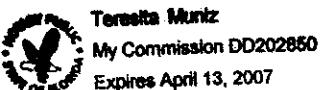


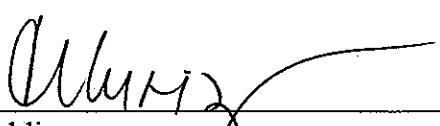


Notary Public
AIDA NIEVES
Printed Name of Notary Public

STATE OF FLORIDA)
COUNTY OF MIAMI- DADE) SS
)

The foregoing instrument was acknowledged before me this 8th day of March, 2005, by Michael Garcia Carrilo, President of ORANGE LAKES DEVELOPERS, INC., as Member of NARANJA LAKES HOLDINGS, LLC, a Florida limited liability company, who (check one) [✓] is personally known to me or [] has produced a Florida driver's license as identification.

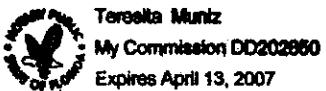




Notary Public
TERESITA MUNIZ
Printed Name of Notary Public

STATE OF FLORIDA)
COUNTY OF MIAMI-DADE) SS

The foregoing instrument was acknowledged before me this 8th day of March 2005, by Edward de Guardiola, as Member of HAV, LLC, Member of HAV, LLC, as Member of NARANJA LAKES HOLDINGS, LLC, a Florida limited liability company, who (check one) is personally known to me or [] has produced a Florida driver's license as identification.



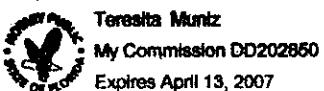
Notary Public

Teresita Muniz

Printed Name of Notary Public

STATE OF FLORIDA)
COUNTY OF MIAMI-DADE) SS:

The foregoing instrument was acknowledged before me this 8th day of March, 2005, by Michael Garcia Carrilo, as President of NARANJA LAKES HOLDINGS II, LLC, a Florida limited liability company, who (check one) is personally known to me or [] has produced a Florida driver's license as identification.



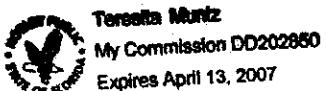
Notary Public

Teresita Muniz

Printed Name of Notary Public

STATE OF FLORIDA)
COUNTY OF MIAMI-DADE) SS:

The foregoing instrument was acknowledged before me this 8th day of March, 2005, by Edward de Guardiola, as Member of HAV, LLC, Member of NARANJA LAKES HOLDINGS II, LLC, a Florida limited liability company, who (check one) is personally known to me or [] has produced a Florida driver's license as identification.



Notary Public

Teresita Muniz

Printed Name of Notary Public

STATE OF FLORIDA)
COUNTY OF MIAMI-DADE)
SS:

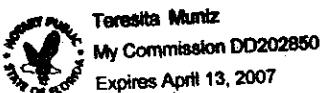
The foregoing instrument was acknowledged before me this 11 day of March, 2005, by Paul Romanowski, as V. President of D.R. HORTON, INC., a Delaware corporation, who (check one) [✓] is personally known to me or [] has produced a Florida driver's license as identification.



Alice Allen
Notary Public
Alice Allen
Printed Name of Notary Public

STATE OF FLORIDA)
COUNTY OF MIAMI-DADE)
SS:

The foregoing instrument was acknowledged before me this 8th day of March, 2005, by Michael Garcia Carrilo, as Member and Manager of NARANJA LAKES CONSTRUCTION, LLC, a Florida limited liability company, who (check one) [✓] is personally known to me or [] has produced a Florida driver's license as identification.



Muniz
Notary Public
Teresita Muniz
Printed Name of Notary Public

EXHIBIT "A-1"

LEGAL DESCRIPTION OF THE PROPERTY

Tracts 12, 13, 14, 15, 16, and 17 of NARANJA LAKES SECTION ONE, according to the plat thereof, as recorded in Plat Book 91, Page 7, of the Public Records of Miami-Dade County, Florida.

Tracts 18, 19, 20, 21 22, and 23, and Lots 1 through 4, inclusive, of Block 1, Lots 1 through 8, inclusive, of Block 2, and Lots 1 through 15, inclusive, of Block 3, of NARANJA LAKES SECTION TWO, according to the plat thereof, as recorded in Plat Book 92, Page 64, of the Public Records of Miami-Dade County, Florida.

EXHIBIT "A-2"

D.R. HORTON PROPERTY

Tracts 20 and 21, and Lots 1 through 8, inclusive of Block 2 and Lots 1 through 15, inclusive of Block 3, of NARANJA LAKES SECTION TWO, according to the Plat thereof, as recorded in Plat Book 92, Page 64, of the Public Records of Miami-Dade County, Florida.

Tracts 22 and 23 of NARANJA LAKES SECTION TWO, according to the Plat thereof, as recorded in Plat Book 92, Page 64, of the Public Records of Miami-Dade County, Florida

EXHIBIT "B"

MASTER PLAN OF IMPROVEMENTS

NARANJA LAKES, FLORIDA

TAX INCREMENT FINANCING DISTRICT

OVERALL PLAN OF IMPROVEMENTS

Naranja Lakes Construction, LLC
1153 Town Center Dr., Suite 202
Jupiter, Florida 33458

February 23, 2005
First Amendment

Tax Increment Financing District

Naranja Lakes, Florida

Feb. 23, 2005

Overall Plan of Improvements Streets, Plazas and Entry Features

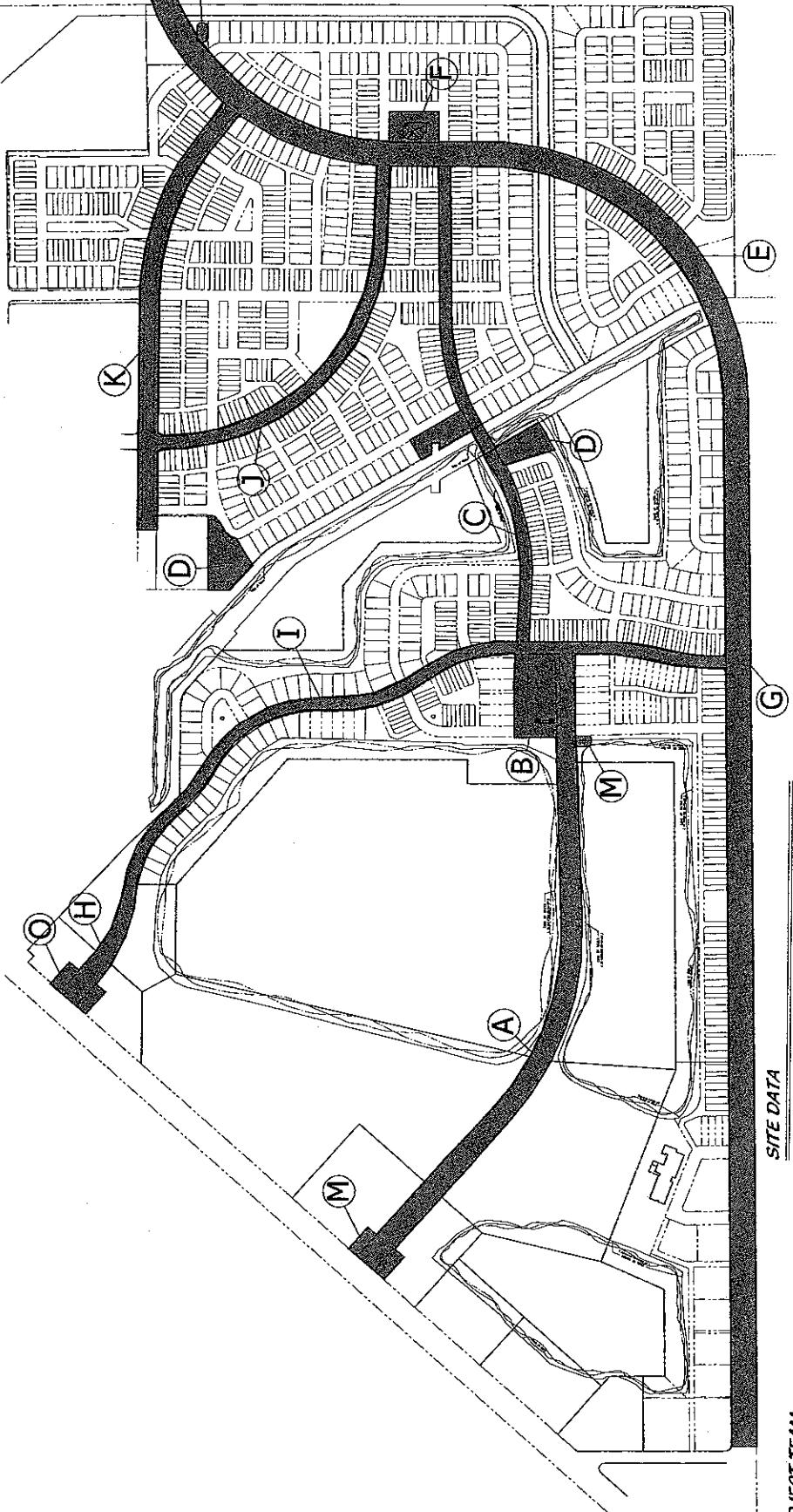
ITEM	DESCRIPTION	BUDGET
A	Naranja Lakes Boulevard	\$ 1,047,061.20
B	Naranja Lakes Boulevard Plaza	\$ 373,637.49
C	Canal Street	\$ 1,320,938.90
D	Canal Street Bridge, Greens and Pathways	\$ 1,537,543.28
E	S. W. 140th Avenue	\$ 2,603,816.64
F	S. W. 140th Avenue Plaza	\$ 1,122,611.81
G	S. W. 280th Street	\$ 3,496,827.17
H	S. W. 145th Avenue at US 1	\$ 227,108.74
I	S. W. 145th Avenue	\$ 1,644,565.33
J	S. W. 143rd Avenue	\$ 1,360,444.05
K	S. W. 272nd Street	\$ 1,183,915.58
L	Clearing, Grubbing and Utility Removal	\$ 590,800.00
M	Narnaja Lakes Boulevard Entrance Features	\$ 65,156.69
N	S.W. 272nd Street Entrance Features	\$ 65,156.69
O	S.W. 145th Avenue Entrance Features	<u>\$ 25,823.19</u>
		\$ 16,665,406.76
	Engineering & Landscape Plans	\$ 452,683.00
	Developer's Fee	<u>\$ 627,265.99</u>
		\$ 17,745,355.75



North

Master Site Plan

Scale: 1" = 300'-0"



SITE DATA

	Gross Acres of TND	Zoning	Density / Square Footage
LAKES	24.3 Ac.		14.67 DUA 250,000 SF
GRIDS & CIRCS OF Neighborhood	177.5 Ac.		14.67 DUA 250,000 SF
PUBLIC USE TRACTS (PARK)	11.08 Ac.	6.25% of Neighborhood Power (5% Required)	
CHURCH USE LOTS (CIVIC)	0.16 Ac.	4.0% of Neighborhood Power (3% Required)	
BIGFRONT USE LOTS (4 SF.)	3.84 Ac.	1.17% of Neighborhood Power (1% Required)	44,000 SF
TYPE I Single Family Residential			
TYPE II Large Residential			
TYPE III Attached			
HOUSE USE LOTS			52.27 Ac. 20.45% of Neighborhood Power (18% Minimum - Maximum)
TYPE IV and V Commercial and Industrial			
WORKSHOP USE LOTS (4-WB)	3.64 Ac.	5.18% of Neighborhood Power (5% Required)	120,000 SF
TYPE VI Non-Residential			

PROJECT TEAM

Owner / Developer(s):	Mandarin Lakes Holdings, LLC. Niche-Live Holdings II, LLC
Address:	1450 Town Center Drive, Suite 202 Jupiter, Florida 34544 (561) 479-1404
Email:	email account @nicelive.com
Surveyor:	Excel Environmental & Mapping, Inc. 1020 N.W. 18th Street Miami, Florida 33172 (305) 256-3100 F: (305) 256-3200
Landscaping Architect:	White Design Group 1001 Valley View West Palm Beach, Florida 33401 (561) 800-3000 F: (561) 800-2457
Email:	white design@msn.com

OVERALL

DRAFT 1 of 1
DRAFT SUBMISSION
RECEIVED BY THE
MUNICIPALITY OF JUPITER

Architectural
PLANNING INC.

Master Planned
Communities
Mixed-Use
Town Centers
1151 20th Street Drive
Suite 322
Jupiter, Florida 34554
(561) 451-3656 Fax: (561) 4044

Miami-Dade County, Florida

Mandarin Lakes TND

MP-1

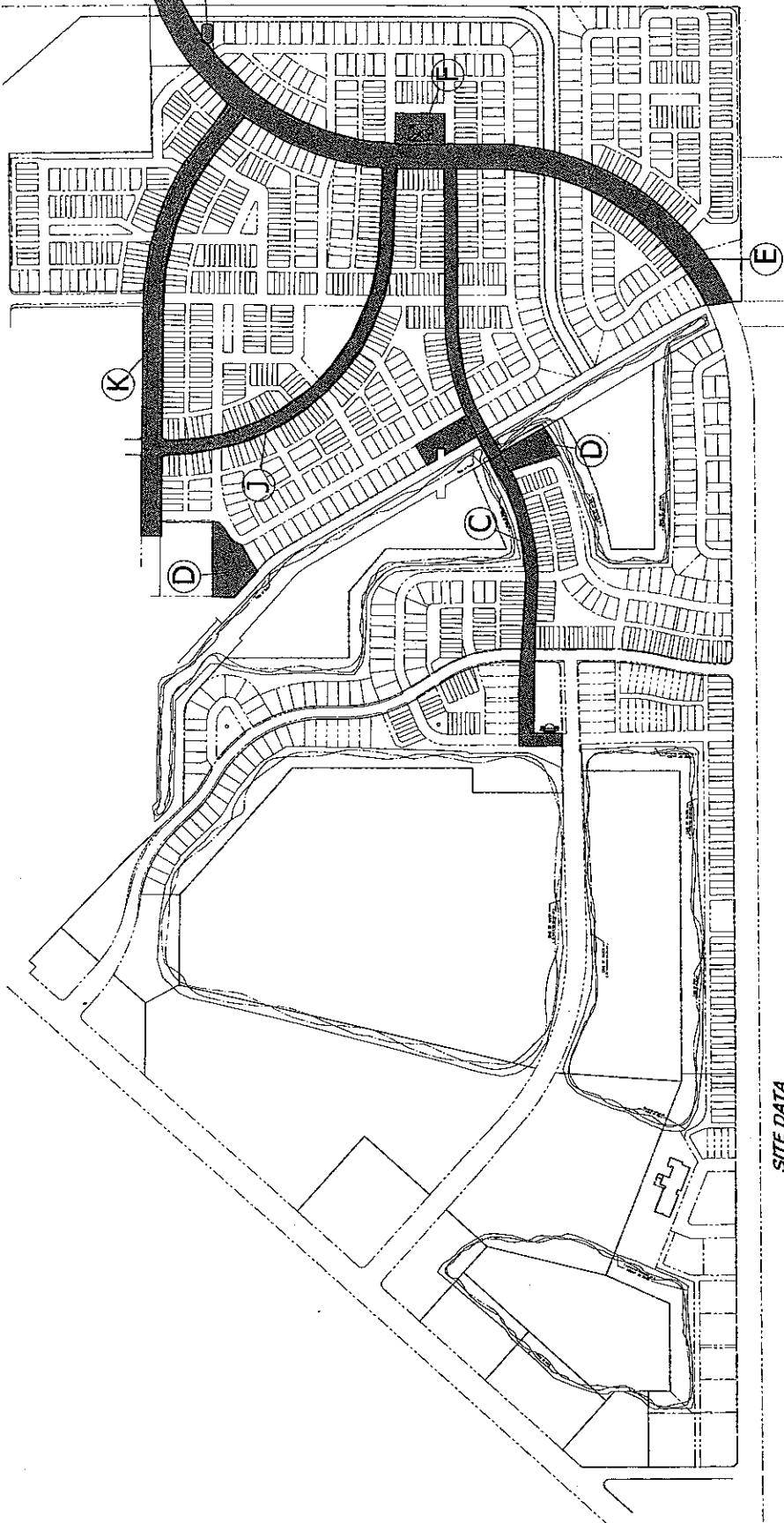
1 of 1
Site Plan
Architectural Planning Inc.
1151 20th Street Drive, Suite 322
Jupiter, Florida 34554
(561) 451-3656 Fax: (561) 4044



North

Master Site Plan

Scale: 1" = 300'-0"



SITE DATA

	Gross Acres of TND	Density / Square Footage
LAKES	26.160 Ac.	1,497 DUs / 250,000 SF
GROSS ACRES OF NEIGHBORHOOD	177.511 Ac.	28.52% of Neighborhood Project (22% Required)

ROWHOUSE USE LOTS 47.25 Ac. 28.52% of Neighborhood Project (22% Required)

(F-HH)

TYPE IA
Small Townhouse

TYPE IB
Large Townhouse - 20' wide lots

TYPE IS
Large Townhouse - 20' wide lots

HOUSE USE LOTS 5.237 Ac. 20.45% of Neighborhood Project (44 DUs)

(17% Minimum Permitted)

(E-H)

TYPE IV & VI
Condominiums and Detached

TYPE V
Rowhouses

TYPE VII & VIII
Detached Edge

PROJECT TEAM

Master Planner:
Architectural Planning Inc., Inc.
1151 20th Street Drive, Suite 322
Jupiter, Florida 34554
(561) 451-3656 Fax: (561) 4044
Eric Jacobson@Architectural.com

Surveyor:
Perry, Armenta & Murray, Inc.
1800 NW 21st Avenue, 2nd Floor
Miami, Florida 33127
(305) 470-4712, F: (305) 470-2005
Ernest

Landscape Architect:
Landscape Group
1060 N.E. 2nd Avenue, Suite 305
Fort Lauderdale, FL 33302
(305) 852-5000, F: (305) 852-4007
Eric Marder-Madigan@Landscape

SHOPFRONT USE LOTS

	Gross Acres	Density	Project
(F-SF)	0.169 Ac.	0.25% of Neighborhood Project (5% Required)	
CIVIC USE LOTS (CIVC)	0.16 Ac.	3.0% of Neighborhood Project (2% Required)	

SHOPFRONT USE LOTS 0.49 Ac. 21.1% of Neighborhood Project (94 DUs)

(12% Required) \$1,000 SF

TYPE VII
Live Work

TYPE IX
Mixed Use

WORKSHOP USE LOTS 0.84 Ac. 3.1% of Neighborhood Project (102 DUs)

(1% Required) 12,000 SF

TYPE X
Non-Residential

PHASE 1

Tax Increment Financing District

Naranja Lakes, Florida

Feb. 23, 2005

Phase I - Plan of Improvements Streets, Plazas and Entry Features

ITEM	DESCRIPTION	BUDGET
C	Canal Street	\$ 1,320,938.90
D	Canal Street Bridge, Greens and Pathways	\$ 1,537,543.28
E	S. W. 140th Avenue	\$ 2,603,816.64
F	S. W. 140th Avenue Plaza	\$ 1,122,611.81
J	S. W. 143rd Avenue	\$ 1,360,444.05
K	S. W. 272nd Street	\$ 1,183,915.58
L	Clearing, Grubbing and Utility Removal	\$ 590,800.00
N	S.W. 272nd Street Entrance Features	\$ <u>65,156.69</u>
		\$ 9,785,226.95
	Engineering & Landscape Plans	\$ 452,683.00
	Developer's Fee	\$ <u>375,152.42</u>
		\$ 10,613,062.37

Architect

Master Planned
Communities
Mixed Use
Town Centers
1455 Town Center Drive
Suite 200
Jupiter, Florida 34558
561-491-2455 Fax: 561-491-2456

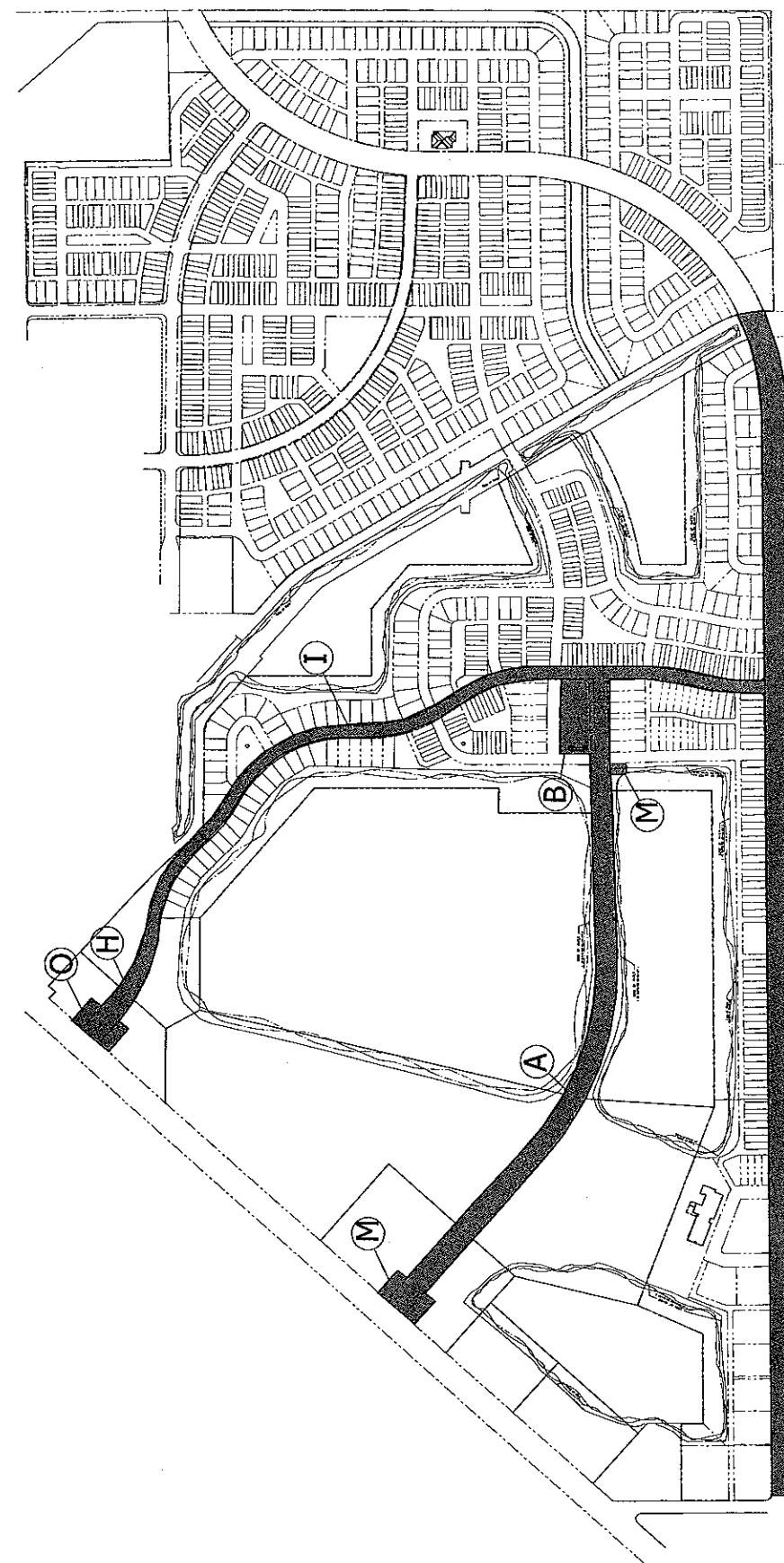
Miami-Dade County, Florida

Mandarin Lakes TND

MP-1
Sheet 1 of 1
Architectural Drawing
Scale: 1" = 300'-0"



North



SITE DATA

Cross-Acres of TND 20.50 A.C.

Density /
Square footage

LAKES	2.91 A.	5,471,000 230,000 SF
GROSS AREA OF Neighborhood	11.73 A.C.	5,471,000 230,000 SF
PUBLIC USE TRACTS (PARCS)	1.02 A. (22% of Neighborhood Prop.) (1.5% Required)	
COMMERCIAL LOTS (CMLC)	\$11.65 A. (4% of Neighborhood Prop.) (2% Required)	
BIGOPHONT USE LOTS (1-4F)	3.65 A.C. (17% of Neighborhood Prop.) (2% Required) 84,000 SF	
TYPE IV Land for Rent		
TYPE V Land for Rent		
TYPE VI Land for Sale		
WORKSHOP USE LOTS (1-4W)	3.6 A.AC. (3.5% of Neighborhood Prop.) (3% Required) 120,000 SF	
TYPE VII & VIII Non Residential		

PROJECT TEAM

Master Planner:
de Groot Associates, Inc.
601 South A, Naples, FLA
401-2000 ext. 200
P: (866) 861-3658 F: (866) 861-4614
Email: degroot@degroot.com

Surveyor:
Frost, Armento & Munoz, Inc.
15200 W 11th Avenue, 2nd Floor
Miami, Florida 33172
P: (305) 477-5412 F: (305) 472-2005

Landscape Architect:
Water Design Group
10001 University Drive, Suite 200
North Miami Beach, FL 33162
P: (305) 566-3618 F: (305) 566-0007
Email: waterdesigngroup.net

PHASE II

ROYALHOUSE USE LOTS 47.26 Ac. (26.87% of Neighborhood Prop.)
(27% Required)
(#-RH)

TYPE IA
Small Dwelling

TYPE IB
Large Dwelling - 2 or more bds

TYPE IC
Large Dwelling - 2 or more bds

TYPE ID
Apartment

TYPE IE
House Site LOTS
(#-H)

TYPE IF
Commercial

TYPE IG
Industrial

TYPE IH
Storage

TYPE JV
Driveway Edge

TYPE KW
Corner and Detached

TYPE LV
Service

TYPE MV
Villa & Villa
Detached Edge

TYPE NV
Non Residential

TYPE PW
Parking

TYPE RW
Roofed Walkway

TYPE SW
Swimming Pool

TYPE TW
Tennis Court

TYPE UW
Uncovered Walkway

TYPE VW
Volleyball Court

TYPE XW
X-Walk

TYPE YW
Yard

TYPE ZW
Z-Walk

Tax Increment Financing District

Naranja Lakes, Florida

Feb. 23, 2005

Phase II - Plan of Improvements
Streets, Plazas and Entry Features

ITEM	DESCRIPTION	BUDGET
A	Naranja Lakes Boulevard	\$ 1,047,061.20
B	Naranja Lakes Boulevard Plaza	\$ 373,637.49
G	S. W. 280th Street	\$ 3,496,827.17
H	S. W. 145th Avenue at US 1	\$ 227,108.74
I	S. W. 145th Avenue	\$ 1,644,565.33
M	Narnaja Lakes Boulevard Entrance Features	\$ 65,156.69
O	S.W. 145th Avenue Entrance Features	\$ <u>25,823.19</u>
		\$ 6,880,179.81
	Developer's Fee	\$ <u>252,113.57</u>
		\$ <u>7,132,293.38</u>



Master Planned
Communities
Master
Town Centers
1151 Town Center Drive
Suite 102
Jupiter, Florida 34556
Telephone: 561-744-1044
Facsimile: 561-744-1044

Miami-Dade County, Florida

Mandarin Lakes TND

MP-1

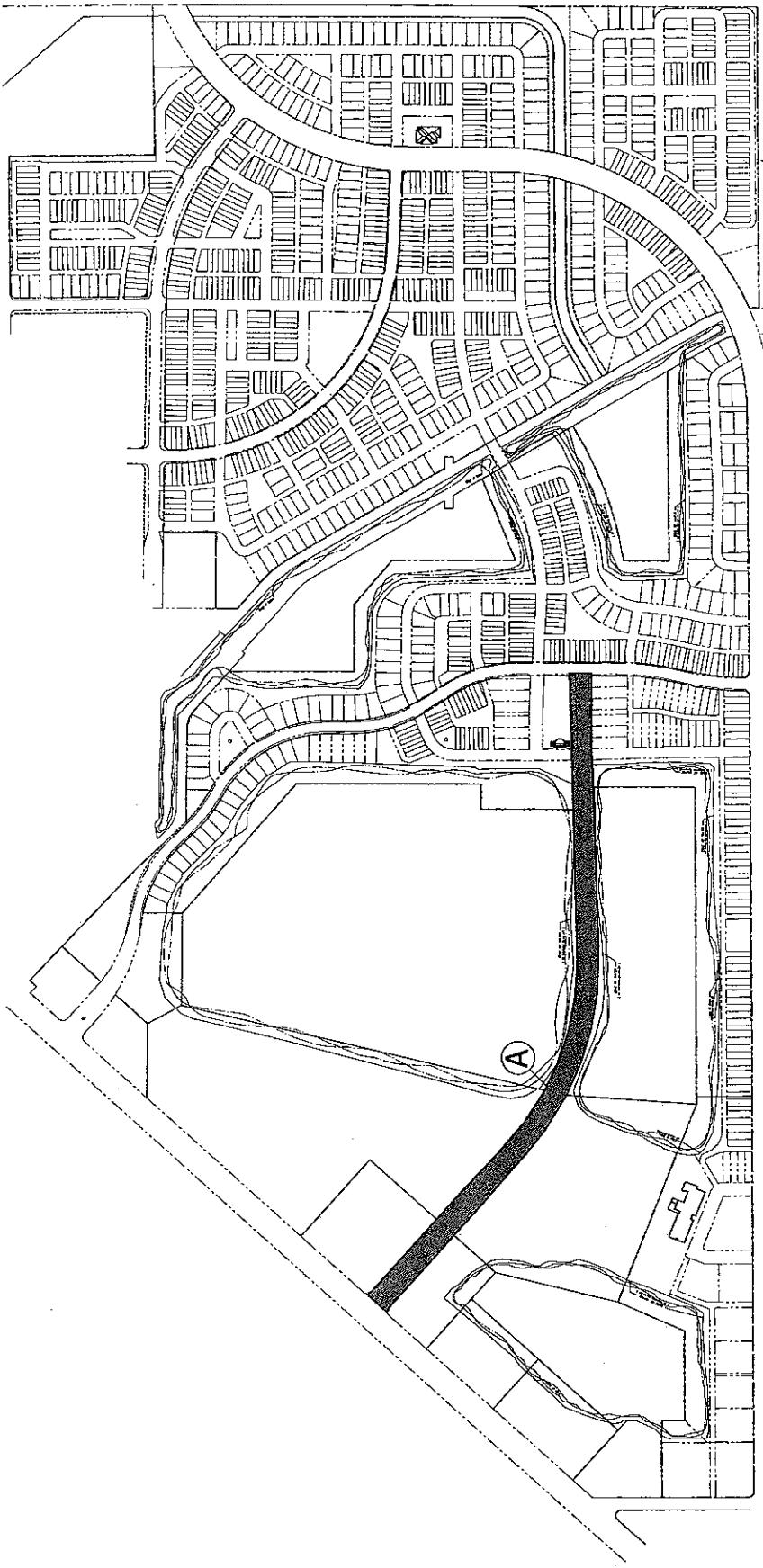
Sheet 1 of 1

North



Master Site Plan

Scale: 1" = 300'-0"



SITE DATA

Density / Square Footage

Gross Acres of TND	20.85 Ac.
LAKES	2.51 Ac.
Gross Acres of Neighborhood	17.34 Ac.
PUBLIC USE TRACTS (PARKS)	11.08 Ac. 0.25% of Neighborhood Project (5% Required)
CHARLOTTE LOTS (DWIC)	6.16 Ac. 3.4% of Neighborhood Project (8% Required)
SHOPFRONT LOTS (E-SF)	1.54 Ac. 2.1% of Neighborhood Project (6.000 SF Required)
TYPE VII Law Office	
TYPE VIII Medical Office	
Workshop Use Lots (E-W)	3.1% of Neighborhood Project (16.5 DMR) (3% Retained) 12,000 SF

PROJECT TEAM

Master Planner:
de Guardado Development, Inc.
and Sons, A. de Guardado, AIA
1000 NW 1st Street, Suite 200
Miami, Florida 33136
P: (305) 265-1558 F: (305) 265-0404
Email: kondor@deguardado.com

Surveyor:
Feld, Antonovich & Mastro, Inc.
1801 NW 5th Avenue, 2nd Floor
Miami, Florida 33172
P: (305) 773-4471 F: (305) 773-2005
Email:

Landscape Architect:
West Design Group
c/o Amy West
1000 NW 1st Street, Suite 200
Miami, Florida 33136
P: (305) 265-2400 F: (305) 265-0027
Email: west-designgroup.com

ITEM A

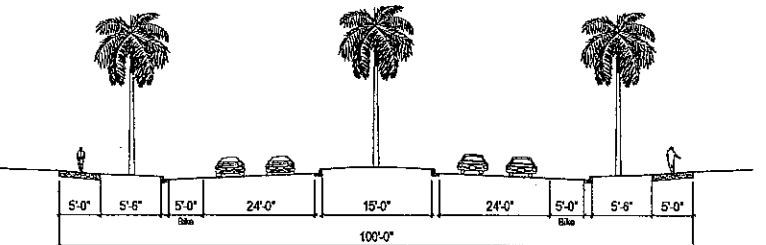
NARANJA LAKES, FLORIDA

TAX INCREMENT FINANCING DISTRICT

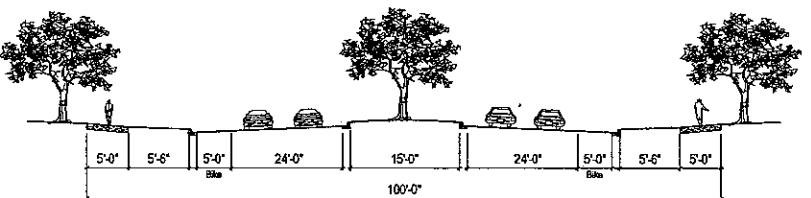
STREET SPECIFICATIONS

SPECIFICATIONS:

Street Name:	Naranja Lakes Boulevard at US 1
Street Furniture:	Lights, benches and trash receptacles
Street Lights:	FPL Coach Lights 70 ft. on center
Right-of-way:	100 ft.
Existing Section:	A divided boulevard with 23' wide travel lanes in each direction with a 21' wide center median and 5' sidewalks on each side.
Proposed Section:	A divided boulevard with 24' travel lanes and 5' bike lanes in each direction, a 15' wide center median, 5'6" planting strips and 5' sidewalks on each side.
Sidewalk:	5' reinforced concrete.
Planting Strip:	15' median and 5'-6" strip between curb and sidewalk for trees, shrubs and hedge material.
Irrigation:	Buried drip collar for establishment.
Existing Trees:	To be removed.
Proposed Trees:	Royal Palms 20' o.a. ht. Live Oaks 12' ht. x 6' spr.
Tree Pattern:	Royals - 25 ft. on center. Oaks - 35' on center.
Ground Cover:	10 shrubs per tree.



TYPICAL SECTION FOR NARANJA LAKES BLVD.
(ENTRANCE at US-1)



TYPICAL SECTION FOR NARANJA LAKES BLVD.
(ENTRANCE at US-1)

Naranja Lakes Boulevard at US1

PROPOSED CONDITION

ITEM A-1

NOTE: This section runs for approximately 600 linear feet

Feb. 23, 2005

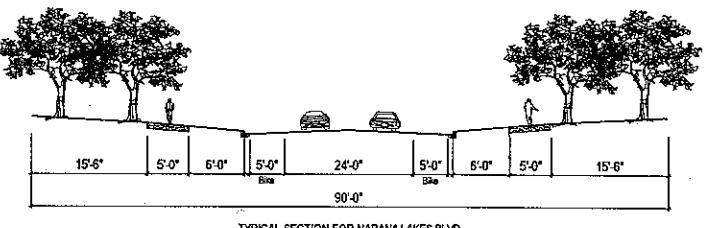
NARANJA LAKES, FLORIDA

TAX INCREMENT FINANCING DISTRICT

STREET SPECIFICATIONS

SPECIFICATIONS:

Street Name:	Naranja Lakes Boulevard
Street Furniture:	Lights, benches and trash receptacles
Street Lights:	FPL Coach Lights 70 ft. on center
Right-of-way:	90 ft.
Existing Section:	36' wide two-way travel pavement with 21' wide planting strips and 5' sidewalks on each side.
Proposed Section:	24' wide two-way travel pavement with 5' bike lanes, 6' planting strips, 5' sidewalks and 15'-6" planting strips on each side.
Sidewalk:	5' reinforced concrete.
Planting Strip:	6' between curb and sidewalk and 15'-6" outside sidewalk to waters edge.
Irrigation:	Buried drip collar for establishment.
Existing Trees:	To be removed.
Proposed Trees:	Live Oaks 12' ht. x 6' spr.
Tree Pattern:	Double row staggered at 17'-6" on center
Ground Cover:	10 shrubs per tree.



TYPICAL SECTION FOR NARANJA LAKES BLVD.
(MIDDLE SECTION)

Naranja Lakes Boulevard

PROPOSED CONDITION

ITEM A-2

NOTE: This section runs for approximately 2,500 linear feet

Feb. 23, 2005

Tax Increment Financing District

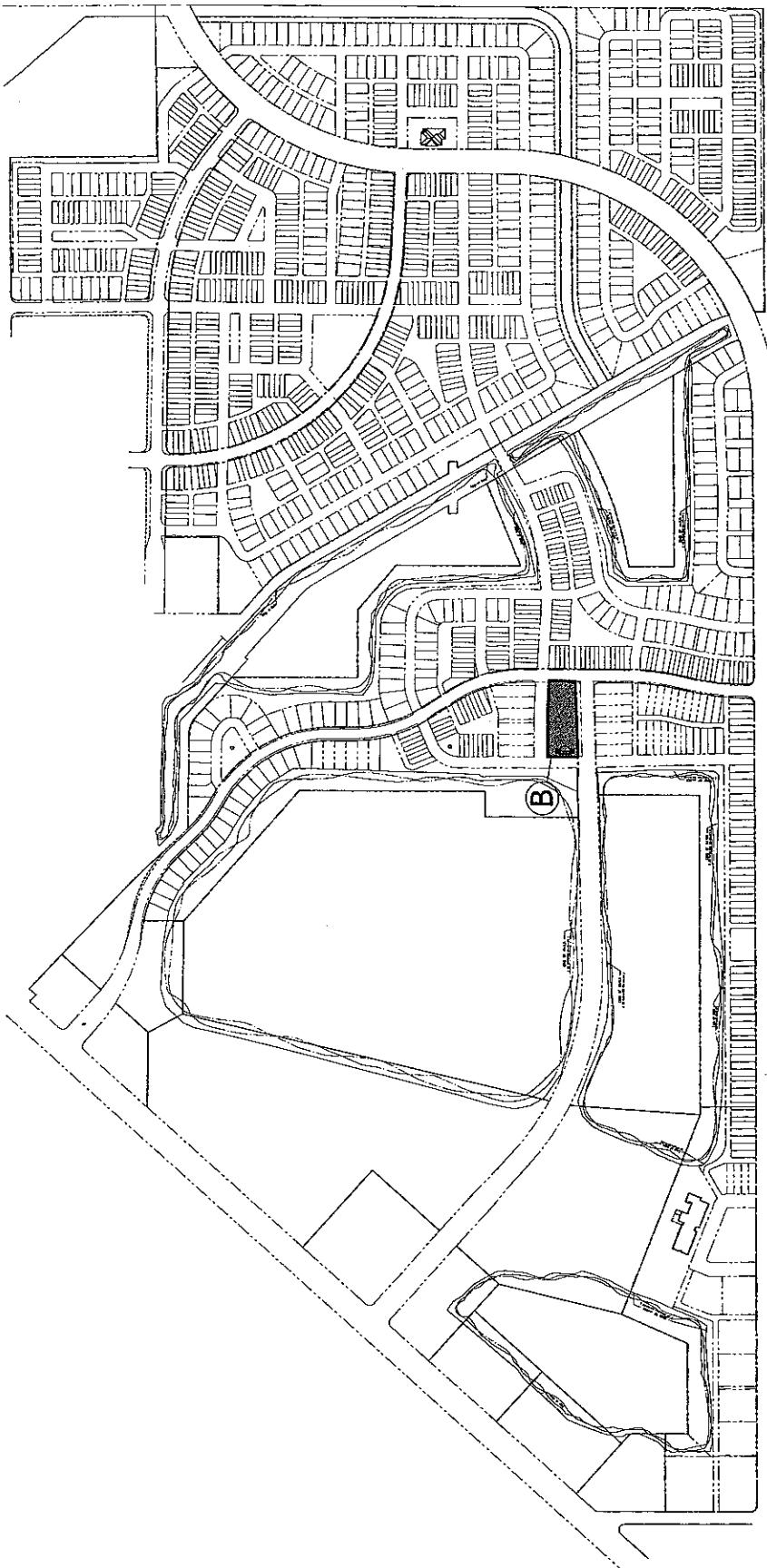
Naranja Lakes, Florida

ITEM A

Feb. 23, 2005

Street Name: Naranja Lakes Boulevard US1 to Village Center
 Linear Feet: 3,100

Code	Description	Quantity	Unit	Unit Price	Total
1	Demolition	1	LS	\$ 58,985.24	\$ 58,985.24
2 - 1	Adjust Structures	6	EA	\$ 650.22	\$ 3,901.31
2 - 2	Curb and Gutter	6,592	LF	\$ 13.54	\$ 89,262.11
2 - 3	Valley Curb	155	LF	\$ 12.29	\$ 1,904.88
2 - 5	Sidewalk	16,330	SF	\$ 3.77	\$ 61,496.03
2 - 6	12" Stabilized Subgrade	6,529	SY	\$ 2.12	\$ 13,830.66
2 - 7	Limerock Base	6,529	SY	\$ 9.24	\$ 60,342.46
2 - 9	2" Asphalt	3,437	SY	\$ 7.88	\$ 27,096.34
2 - 10	Sod	6,737	SY	\$ 2.53	\$ 17,055.39
2 - 11	Guardrail	3,130	LF	\$ 22.52	\$ 70,502.97
2 - 12	1" Overlay	6,082	SY	\$ 5.01	\$ 30,443.67
2 - 13	1.5" Asphalt	135	SY	\$ 7.51	\$ 1,013.62
3 - 1	Structures	10	EA	\$ 3,152.09	\$ 31,520.86
3 - 2	24" CMP	500	LF	\$ 93.18	\$ 46,590.69
4	Landscape & Irrigation	1	LS	\$ 225,249.63	\$ 225,249.63
5	Striping & Signs	1	LS	\$ 25,027.68	\$ 25,027.68
7	General Conditions	1	LS	\$ 239,790.04	\$ 239,790.04
8	Performance Bond	1	LS	\$ 16,267.99	\$ 16,267.99
9	MOT	1	LS	\$ 26,779.62	<u>\$ 26,779.62</u>
					\$ 1,047,061.20



SITE DATA

Gross Acres of TND	201.80 Ac.	Density / Square Footage
LAKES	24.31 Ac.	1,447 DU's 208,900 SF
Grass Areas of Neighborhood	177.51 Ac.	1,447 DU's 208,900 SF
PUBLIC USE TRACTS (PARK)	11.09 Ac.	8.0% of Neighborhood Proper (5% Required)
COMMERCIAL (CIVIC)	0.18 Ac.	3.6% of Neighborhood Proper (2% Required)
SHOP/RETAIL USE LOTS (SF)	3.38 Ac.	21.7% of Neighborhood Proper (2% Required)
TYPE VI Small Townhouse		96 DU's 84,000 SF
TYPE VII Large Townhouse		25 & 32' wide lots
TYPE VIII Live/Work		
TYPE IX Mixed-Use		
WORKSHIP/OP. USE LOTS (SF)	5.64 Ac.	10.1% of Neighborhood Proper (3% Required)
TYPE X Non-Retail		122,000 SF
TYPE XI Courtyard and Detached		
TYPE XII Skyline		
TYPE XIII & XIV Orchard Edge		

PROJECT TEAM

Master Planner:	de Gaudiosi Development, Inc.
Owner /Developer:	Hausmann Properties, LLC and Hausmann Holdings, LLC
Architect:	Architectural Resources, Inc.
Landscaping Architect:	1153 Town Center Drive, Suite 200 Jupiter, FL 34951 • Tel: (561) 651-4044 Email: arc@architectsinc.com
Burkholder:	Fontaine Architecture & Planning, Inc.
Landscaping Architect:	1500 NW 15th Avenue, 2nd Floor Miami, FL 33126 • Tel: (305) 256-0000 Email: fontaine@fontaineplanning.com
Landscaping Architect:	1500 NW 15th Avenue, 2nd Floor Miami, FL 33126 • Tel: (305) 256-0000 Email: fontaine@fontaineplanning.com
Landscaping Architect:	1605 NE 2nd Avenue, Suite 205 Fort Lauderdale, FL 33302 (Ft. Lauderdale Beach)
Landscaping Architect:	1605 NE 2nd Avenue, Suite 205 Fort Lauderdale, FL 33302 (Ft. Lauderdale Beach)
Landscaping Architect:	1605 NE 2nd Avenue, Suite 205 Fort Lauderdale, FL 33302 (Ft. Lauderdale Beach)

ITEM B



Master Site Plan



North

Scale: 1" = 300'-0"

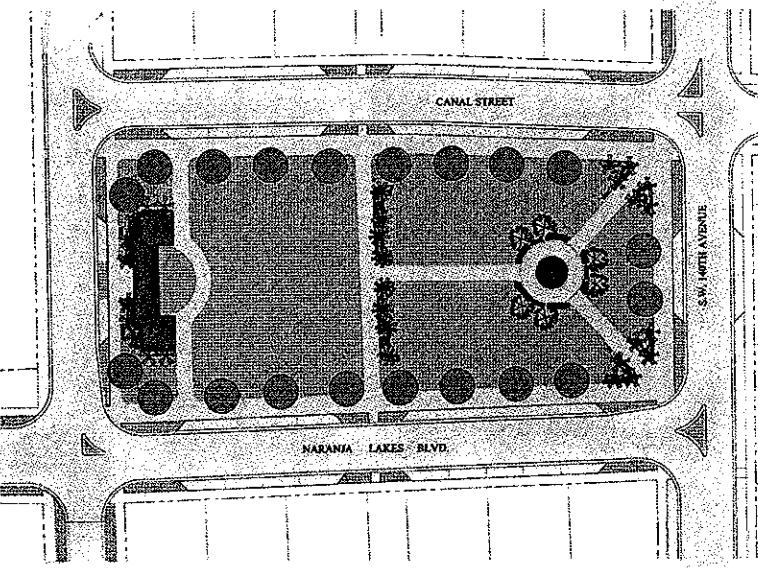
TAX INCREMENT FINANCING DISTRICT

NARANJA LAKES, FLORIDA

PLAZA SPECIFICATIONS

SPECIFICATIONS:

Plaza Name:	Mandarin Lakes Village Center Plaza
Intersection Streets:	Naranja Lakes Blvd. & 145th Ave.
Plaza:	67,000 sq. ft. plaza aligned with perimeter shade trees. It includes largely open green space areas, pedestrian sidewalks, and sculptured landscape treatments.
Civic Building:	Open air bandshell located within the plaza.
Street Furniture:	Lights, benches and trash receptacles.
Street Lights:	FPL Coach Lights 70' on center
Existing Condition:	None.
Proposed Condition:	11' perimeter sidewalks, Oak trees lining the perimeter with internal pedestrian crosswalk and resting places grouped around a central landscaped island. A large open green space for seating in front of the open air bandshell.
Sidewalk:	Varying widths of reinforced concrete.
Planting Strip:	Strategically located groupings of shrubs and hedges.
Irrigation:	Buried drip collar for establishment and continual maintenance.
Existing Trees:	None
Proposed Trees:	Live Oaks 12' ht x 6' spr. Montgomery Palms 14' o.a. ht. Yellow Tabebula 10' ht x 5' spr.
Tree Pattern:	Min 40' on center
Ground Cover:	approximately 900 shrub and hedge material.



Mandarin Lakes Village Center Plaza

PROPOSED CONDITION

ITEM B

NOTE: This section runs for approximately 360 linear feet

Feb. 23, 2005

Tax Increment Financing District

Naranja Lakes, Florida

ITEM B

Feb. 23, 2005

Street Name: Naranja Lakes Boulevard Plaza
Linear Feet: 360 - 67,000 sq.ft.

Code	Description	Quantity	Unit	Unit Price	Total
1	Civic Building	1	LS	\$ 280,000.00	\$ 280,000.00
2 - 1	Bike Racks	4	EA	\$ 350.00	\$ 1,400.00
2 - 2	Benches	7	EA	\$ 343.00	\$ 2,401.00
2 - 3	Trash Receptacles	3	EA	\$ 285.00	\$ 855.00
3	Pathways	6400	LF	\$ 6.00	\$ 38,400.00
4	Landscape & Irrigation	1	LS	\$ 50,581.49	<u>\$ 50,581.49</u>
					\$ 373,637.49

Mandarin Lakes

PROGRESSIVE, INC.
Master Planned
Communities
Mixed-Use
Town Centers
1152 Town Center Drive
Suite 202
Jupiter, Florida 33450
(561) 479-3000 Fax (561) 479-3004

Miami-Dade County, Florida

Mandarin Lakes TND

MP-1

SHEET 1 OF 1
Scales: 1" = 300'-0"
Drawing Number:
Drawing Date:
Revised Date:
Reviewed Date:

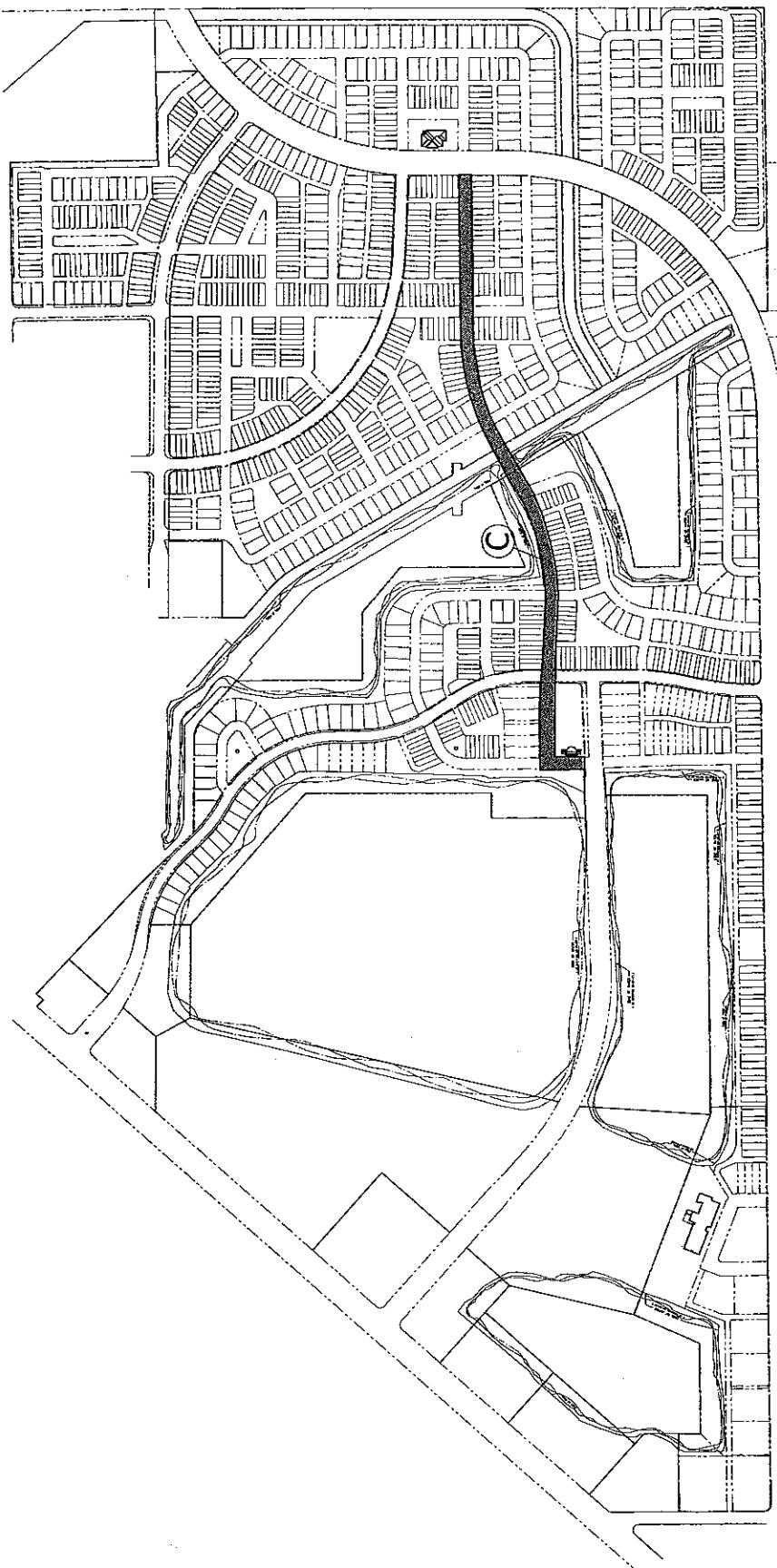


North

Master Site Plan



Scale: 1" = 300'-0"



SITE DATA

PROJECT TEAM

Master Planner:

Progressive, Inc.
1152 Town Center Drive, Suite 202
Jupiter, FL 34954
(561) 479-3000 Fax (561) 479-3004
Email: Sales@progressiveinc.com

Surveyor:

Frost, Armento & Murray, Inc.
1152 Town Center Drive, Suite 202
Jupiter, FL 34954
(561) 479-3000 Fax (561) 479-3004
Email: Surveyor@frostarm.com

Landscape Architect:

White Design Group
c/o David White, AIA
10551 N.E. 2nd Avenue, Suite 305
Fort Lauderdale, FL 33304
(305) 734-5000 Fax (305) 734-5007
Email: David@whitegroup.com

Architect:

Florida Architecture, Inc.
10551 N.E. 2nd Avenue, Suite 305
Fort Lauderdale, FL 33304
(305) 734-5000 Fax (305) 734-5007
Email: Architect@floridaa.com

ROUNDEHOUSE USE LOTS

47.25 Ac. (25% of Neighborhood Project)
(25% Required)

TYPE I-A

Small Townhouse

TYPE I-B

Large Townhouse - 20' wide lots

TYPE II

Apartments

HOUSE USE LOTS

52.27 Ac. (24.4% of Neighborhood Project) 46 lots
(50% Maximum of Project)

TYPE IV and VI

Courted and Detached

TYPE V

Sloped

TYPE X

Tri-Level & Vals
Detached Etc.

WORKSHOP USE LOTS

5.64 Ac. (3.15% of Neighborhood Project) 10 lots
(10% Required)

TYPE X

Mixed-use

ITEM C

Tax Increment Financing District

Naranja Lakes, Florida

ITEM C

Feb. 23, 2005

Street Name: Canal Street

Linear Feet: 300

Code	Description	Quantity	Unit	Unit Price	Total
1	Demolition	1	LS	\$ 42,404.40	\$ 42,404.40
2 - 1	Adjust Structures	6	EA	\$ 650.33	\$ 3,901.95
2 - 2	Curb & Gutter	4680	LF	\$ 13.54	\$ 63,371.76
2 - 3	Valley Curb	2725	LF	\$ 12.29	\$ 33,489.14
2 - 4	Handicap Ramp	45	EA	\$ 250.28	\$ 11,262.46
2 - 5	Sidewalk	48054	SF	\$ 3.77	\$ 180,963.27
2 - 6	12" Stabilized Subgrade	12315	SY	\$ 2.12	\$ 26,087.39
2 - 7	8" Limerock Base	10637	SY	\$ 9.24	\$ 98,309.52
2 - 8	6" Limerock Base	1677	SY	\$ 9.24	\$ 15,499.20
2 - 9	2" Asphalt	12315	SY	\$ 7.88	\$ 97,088.00
2 - 10	Sod	3154	SY	\$ 2.53	\$ 7,984.67
2 - 11	Guard Rail	252	LF	\$ 22.52	\$ 5,676.28
2 - 14	6" Curb	2190	LF	\$ 12.77	\$ 27,966.57
2 - 15	4" Median Concrete	195	SF	\$ 5.27	\$ 1,027.39
3	Sanitary Sewer	1	LS	\$ 125,138.40	\$ 125,138.40
4	Landscape & Irrigation	1	LS	\$ 93,853.80	\$ 93,853.80
5	Striping & Signs	1	LS	\$ 25,027.68	\$ 25,027.68
6	Storm Drainage	1	LS	\$ 156,423.00	\$ 156,423.00
7	General Conditions	1	LS	\$ 251,028.83	\$ 251,028.83
8	Performance Bond	1	LS	\$ 20,898.11	\$ 20,898.11
9	MOT	1	LS	\$ 33,537.09	<u>\$ 33,537.09</u>
					<u>\$ 1,320,938.90</u>

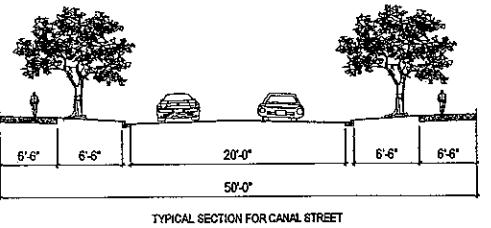
NARANJA LAKES, FLORIDA

TAX INCREMENT FINANCING DISTRICT

STREET SPECIFICATIONS

SPECIFICATIONS:

Street Name:	Canal Street
Street Furniture:	Lights, benches and trash receptacles
Street Lights:	FPL Coach Lights 70 ft. on center
Right-of-way:	50'
Existing Section:	None
Proposed Section:	20' wide two-way travel pavement with on-street parking on both sides, 6'-6" planting islands between parking spaces and 6'-6" sidewalks on each side.
Sidewalk:	6'-6" reinforced concrete.
Planting Strip:	6'-6" between curb and sidewalk
Irrigation:	Buried drip collar for establishment.
Existing Trees:	None.
Proposed Trees:	Live Oak 12' ht. x 6' spr. Glaucous Cassia 12' ht. x 6' spr.
Tree Pattern:	Average 65' on center
Ground Cover:	Approximately 1,400 shrub and hedge material.



TYPICAL SECTION FOR CANAL STREET
(N.L.B. Extension)

Canal Street

PROPOSED CONDITION

ITEM C

NOTE: This section runs for approximately 1,950 linear feet

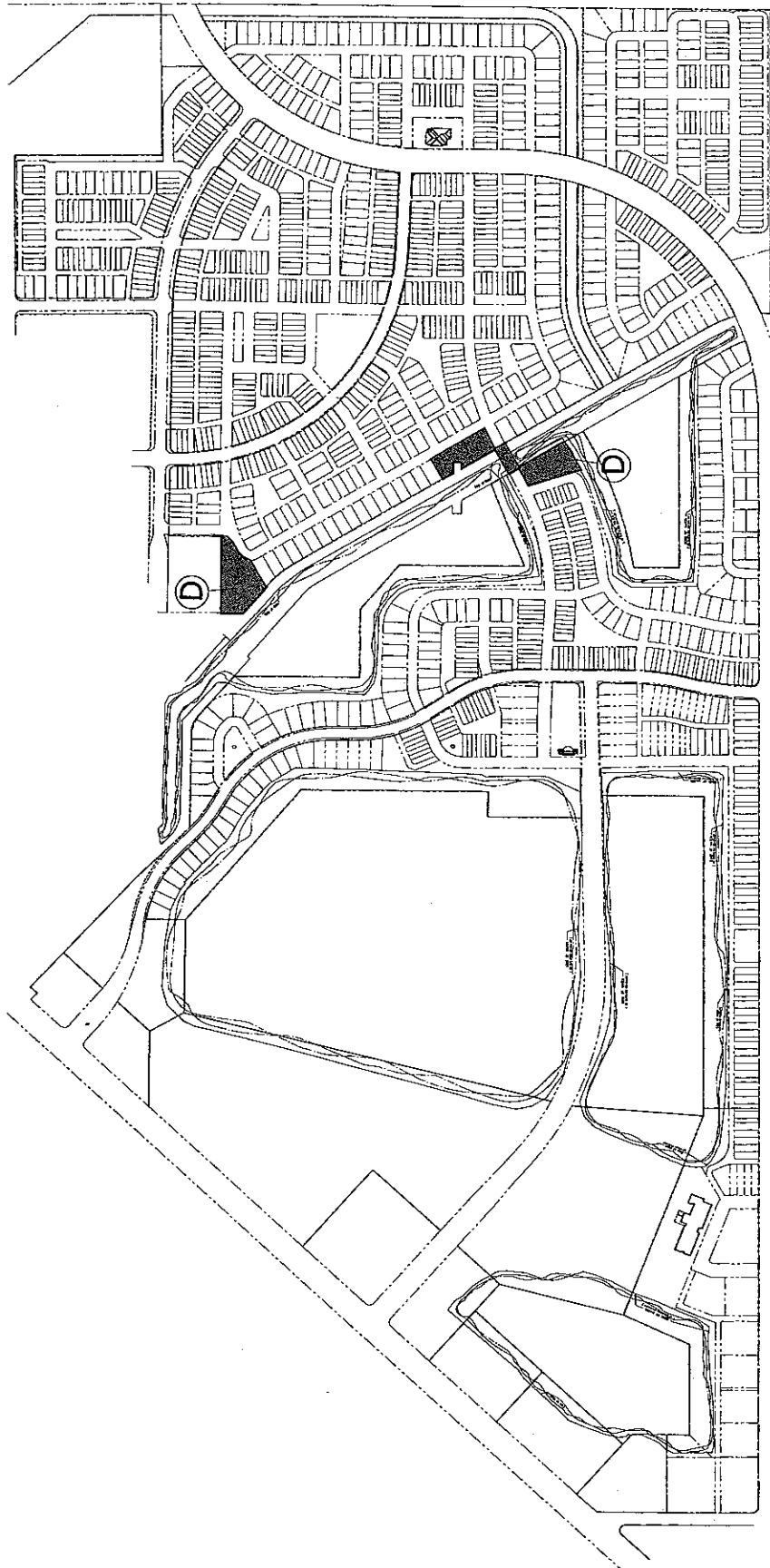
Feb. 23, 2005



North

Master Site Plan

Scale: 1" = 300'-0"



SITE DATA

	Gross Acres of TND	2010 AC	Density / Square Footage
LAKES	24.31 Ac.	1,477 DUs 205,000 SF	(4.8 DU/Ac)
GRASS AREA OF Neighborhood	177.51 Ac.	1,467 DUs 205,000 SF	(2.5% of Neighborhood Proper 52.5 DU's)
PUBLIC USE AREAS (PARKS)	11.09 Ac.	0.42% of Neighborhood Proper (5% Required)	
CIVIC USE LOTS (CLUBS)	0.16 Ac.	3.6% of Neighborhood Proper (12% Required)	
SHOP/POINT USE LOTS (# of P)	3.69 Ac.	12.17% of Neighborhood Proper 98 DUs 84,000 SF	
TYPE III Live & Work			
TYPE IV Mixed-Use			
TYPE V Residential			
TYPE VI & VII Commercial			
TYPE X Non-Residential			
HOUSE USE LOTS	52.27 Ac.	29.48% of Neighborhood Proper (20% Neighborhood Planned)	
(18.4H)			
TYPE IV and VI Commercial and Residential			

PROJECT TEAM

Master Planner:	DKM, Inc., a division of Profitts, Inc. 1153 Town Center Drive, Suite 202 Jupiter, FL 34551 (561) 744-5000 F: (561) 744-5004 Email: dkm@dkmjupiter.com
Surveyor:	Ford, Ammann & Marini, Inc. 1000 N.W. 4th Avenue, Suite 200 Fort Lauderdale, FL 33301 (305) 477-0472 F: (305) 477-2000 Email
Landscape Architect:	Ward Design Group 1000 N.W. 4th Avenue, Suite 200 Fort Lauderdale, FL 33301 (305) 477-0472 F: (305) 477-2000 Email
Architect:	DKM, Inc., a division of Profitts, Inc. 1153 Town Center Drive, Suite 202 Jupiter, FL 34551 (561) 744-5000 F: (561) 744-5004 Email: dkm@dkmjupiter.com
Interior Designer:	DKM, Inc., a division of Profitts, Inc. 1153 Town Center Drive, Suite 202 Jupiter, FL 34551 (561) 744-5000 F: (561) 744-5004 Email: dkm@dkmjupiter.com

ITEM D

NARANJA LAKES, FLORIDA

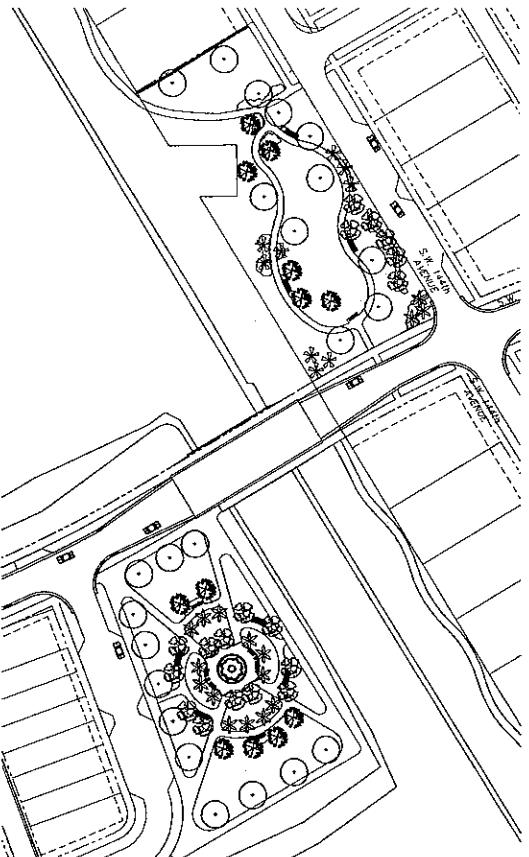
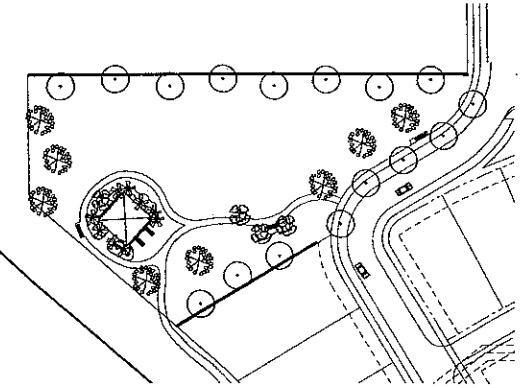
TAX INCREMENT FINANCING DISTRICT

PLAZA SPECIFICATIONS

SPECIFICATIONS:

Plaza Name:	Canal Street Plazas, Bridge & Pathway
Intersection Streets:	Canal Street & C-103-N Canal
Plaza:	New bridge across the C-103-N canal joining the east & west portion of the site together. Three open space greens located along the C-103-N canal linked by a pedestrian pathway.
Civic Building:	Open air gazebo on north green.
Street Furniture:	Lights, benches and trash receptacles.
Street Lights:	FPL Coach Lights 70' on center
Existing Condition:	None.
Proposed Condition:	Two-lane bridge across canal. Three interconnected greens along the canal to serve as public access points to the waterways, equipped with landscaped areas for both active and passive recreation.
Sidewalk:	Varying widths of reinforced concrete.
Planting Strip:	Strategically located groupings of shrubs and hedges.
Irrigation:	Buried drip collar for establishment and continual maintenance.
Existing Trees:	None
Proposed Trees:	Gumbo Limbo 12' ht x 6' spr. Mahogany 12' ht. x 6' spr. Montgomery Palm 14' o.a. ht. Royal Poinciana 10' ht x 5' spr. Yellow Trumpet Tree 10' ht x 5' spr.
Tree Pattern:	Varies per green
Ground Cover:	approximately 4,000 shrubs and hedge material.

PROPOSED CONDITION



Canal Street Plazas, Bridge & Pathway

ITEM D

NOTE: This section runs for approximately 2,400 linear feet

Feb. 23, 2005

Tax Increment Financing District

Naranja Lakes, Florida

ITEM D

Feb. 23, 2005

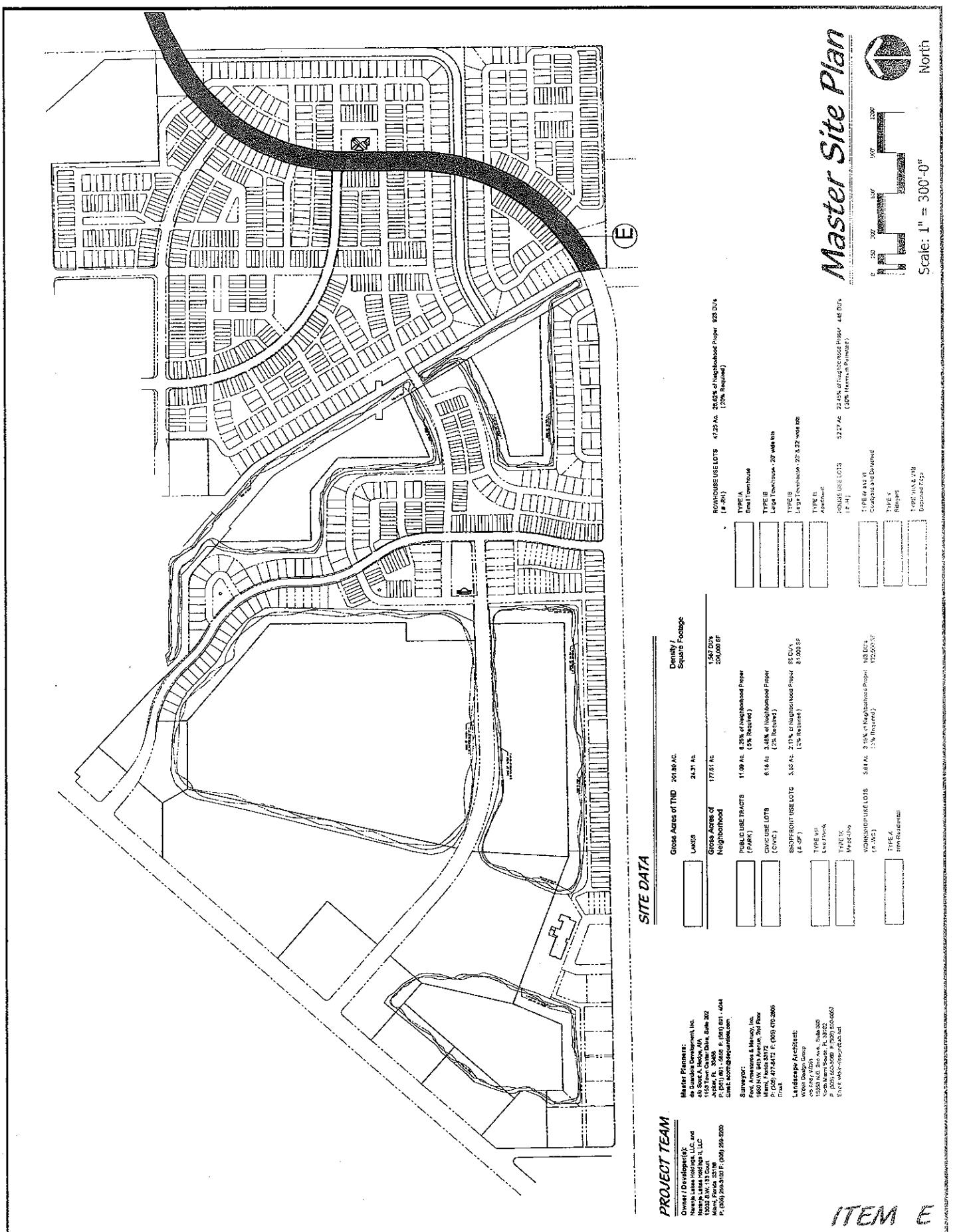
Street Name: Canal Street Plazas, Bridge & Pathways
 Linear Feet: 2,400

Code	Description	Quantity	Unit	Unit Price	Total
1 - 1	Demolition	1	LS	\$ 24,174.26	\$ 24,174.26
1 - 2	Civic Building	1	LS	\$ 34,256.48	\$ 34,256.48
2	Bridge	1	LS	\$ 1,063,677.25	\$ 1,063,677.25
2 - 1	Bike Racks	4	EA	\$ 350.00	\$ 1,400.00
2 - 2	Benches	7	EA	\$ 343.00	\$ 2,401.00
2 - 3	Trash Receptacles	3	EA	\$ 285.00	\$ 855.00
3 - 1	Pathways	100	LF	\$ 280.91	\$ 28,091.09
3 - 2	Sidewalks	2200	LF	\$ 6.00	\$ 13,200.00
4	Landscape & Irrigation	1	LS	\$ 56,015.37	\$ 56,015.37
5	Striping & Signs	1	LS	\$ 6,256.60	\$ 6,256.60
6	General Conditions	1	LS	\$ 247,838.02	\$ 247,838.02
7	Performance Bond	1	LS	\$ 23,088.05	\$ 23,088.05
8	MOT	1	LS	\$ 36,290.17	<u><u>\$ 36,290.17</u></u>
					\$ 1,537,543.28

Mandarin Lakes TN

٣

100 JOURNAL OF CLIMATE

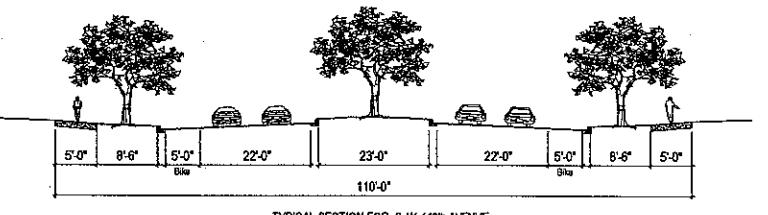


NARANJA LAKES, FLORIDA

TAX INCREMENT FINANCING DISTRICT

STREET SPECIFICATIONS

SPECIFICATIONS:



TYPICAL SECTION FOR S.W. 140th AVENUE

Street Name:	S.W. 140th Avenue
Street Furniture:	Lights, benches and trash receptacles
Street Lights:	FPL Coach Lights 70 ft. on center
Right-of-way:	110 ft.
Existing Section:	Half of ultimate boulevard section including: 36' wide two-way travel lane with 3' planting strip on one side and 50' on opposing side. 5' sidewalks on both sides of ROW.
Proposed Section:	A divided boulevard section with 22' wide travel lanes in each direction and 5' bikelanes, a 23' center median, 8'-6" planting strips and 5' sidewalks on each side.
Sidewalk:	5' reinforced concrete.
Planting Strip:	8'-6" between curb and sidewalk.
Irrigation:	Buried drip collar for establishment.
Existing Trees:	To be removed.
Proposed Trees:	Live Oaks 12' ht. x 6' spr.
Tree Pattern:	35' on center
Ground Cover:	10 shrubs per tree.

S. W. 140th Avenue

PROPOSED CONDITION

ITEM E

NOTE: This section runs for approximately 3,000 linear feet

Feb. 23, 2005

Tax Increment Financing District

Naranja Lakes, Florida

ITEM E

Feb. 23, 2005

Street Name: S.W. 140th Avenue

Linear Feet: 3,000

Item	Description	Quantity	Unit	Unit Price	Total
1	Demolition	1	LS	\$ 118,648.00	\$ 118,648.00
2 - 1	Adjust Structures	3	EA	\$ 519.60	\$ 1,558.80
2 - 2	Curb & Gutter	12500	LF	\$ 11.31	\$ 141,375.00
2 - 3	Valley Curb	150	LF	\$ 93.33	\$ 14,000.00
2 - 5	Sidewalk	600	SF	\$ 4.71	\$ 2,826.00
2 - 6	12" Stabilized Subgrade	15000	SY	\$ 1.69	\$ 25,350.00
2 - 7	8" Limerock Base	15000	SY	\$ 13.00	\$ 195,000.00
2 - 8	1" Overlay	12000	SY	\$ 4.00	\$ 48,000.00
2 - 9	2" Asphalt	14750	SY	\$ 6.30	\$ 92,925.00
2 - 10	Sod	3100	SY	\$ 7.17	\$ 22,220.00
2 - 15	4" Median Concrete	12700	SF	\$ 5.17	\$ 65,650.00
3	Sanitary Sewer	1	LS	\$ 387,699.82	\$ 387,699.82
4	Landscape & Irrigation	1	LS	\$ 120,000.02	\$ 120,000.02
5	Striping & Signs	1	LS	\$ 30,000.00	\$ 30,000.00
6	Water Main	1	LS	\$ 326,288.80	\$ 326,288.80
7	Storm Drainage	1	LS	\$ 332,320.00	\$ 332,320.00
8	General Conditions	1	LS	\$ 429,955.20	\$ 429,955.20
9	Performance Bond	1	LS	\$ 100,000.00	\$ 100,000.00
10	MOT	1	LS	\$ 150,000.00	<u>\$ 150,000.00</u>
					\$ 2,603,816.64

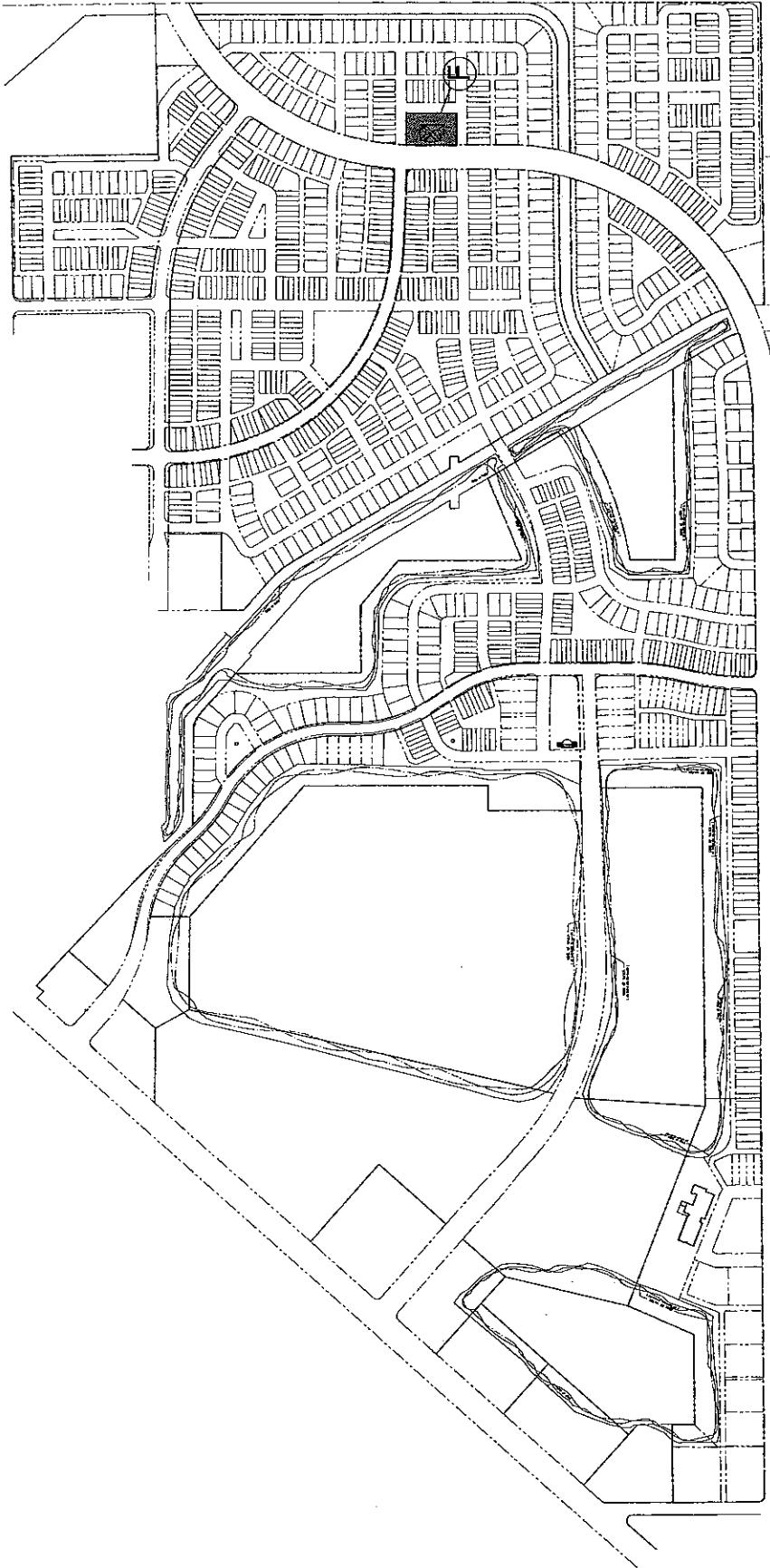
Architectural
PLANNING
CONSULTANTS, INC.
Master Planned
Commercial
Mixed-Use
Town Centers
1155 Town Center Drive
Suite 200
Jupiter, Florida 33455
Telephone: 407-461-4044

Miami-Dade County, Florida

Mandarin Lakes TND

MP-1

GHEET 1 OF 1
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SITE DATA

Cross Area of TND	261.40 A.C.
LAKES	24.81 Ac.

Public Areas of Neighborhood	177.21 A.C.
(PARK)	11.05 Ac. (20% of Neighborhood Project) [25% Required]

ROWHOME USE LOTS (# 481)	47.76 Ac. (26.45% of Neighborhood Project) [25% Required]
(TYPE IIA)	

TYPE IIA Small Townhouse	
(TYPE IB)	

TYPE IB Large Townhouse - 20' Depth Lots	
(TYPE II)	

TYPE II Larger Townhouse - 25' & 32' Width Lots	
(TYPE III)	

TYPE III Apartment	
(HOUSE USE LOTS # 441)	

TYPE IV Commercial and Residential	
(TYPE V)	

TYPE VI Storage	
(TYPE VII)	

TYPE VIII Manufacturing	
(TYPE IX)	

TYPE X Non-Residential	
(TYPE XI)	

PROJECT TEAM

Master Planner:
Architectural Planning Consultants, Inc.
1155 Town Center Drive, Suite 200
Jupiter, Florida 33455
Phone: 407-461-4044
Email: aspace@architecturalplanning.com

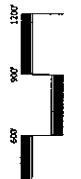
Surveyor:
Frost, Amentino & Associates, Inc.
Mark P. Baker #3172
P: 205-477-0472 | F: 205-477-2000
Email: mark.baker@frostassociates.com

Landscape Architect:
West Design Group
ca. Andr. Wink
1833 N.E. 2nd Avenue
Miami, Florida 33132
P: 305-560-0863 | F: 305-560-0867
Email: westdesigngroup.net

DESIGNED SEARCHED DRAWN APPROVED BY LAW REVIEWED BY REBUILT	SANDBERG SANDBERG GROSS GROSS 2005-2006 REBUILT
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North



Scale: 1" = 300'-0"

Master Site Plan

ITEM F

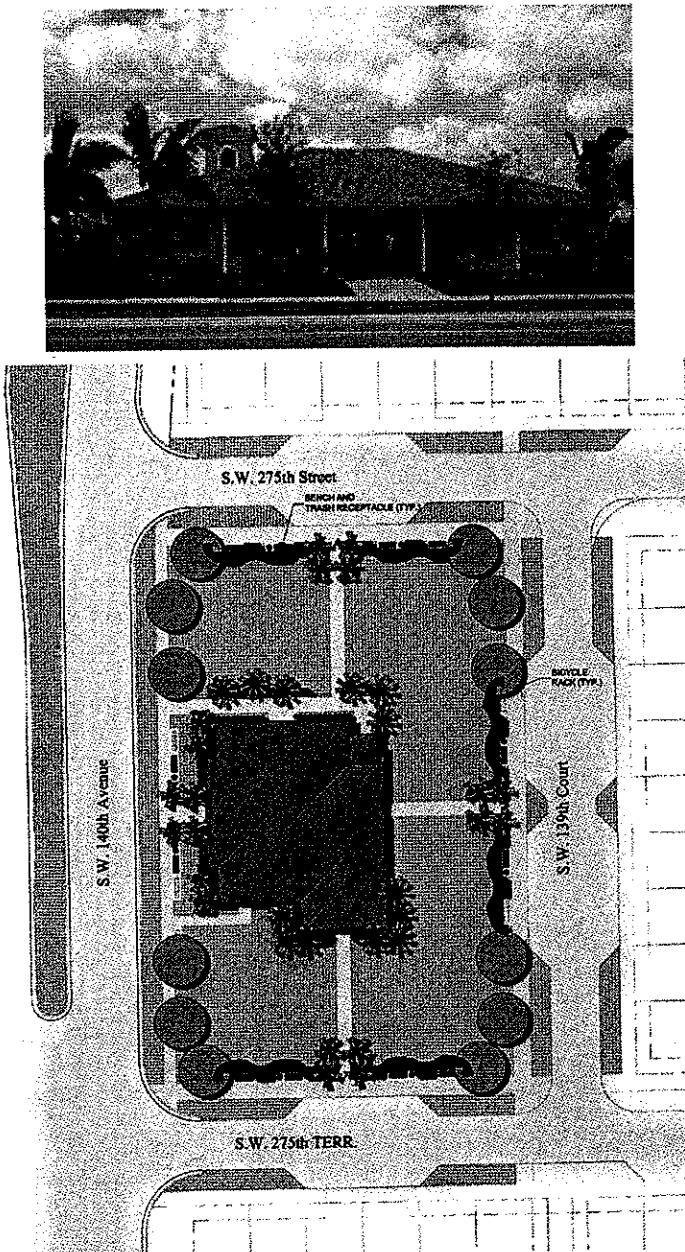
TAX INCREMENT FINANCING DISTRICT

NARANJA LAKES, FLORIDA

PLAZA SPECIFICATIONS

SPECIFICATIONS:

Plaza Name:	S.W. 140th Avenue Plaza
Intersection Streets:	S.W. 140th Avenue & 275th Terrace.
Plaza:	31,000 sq. ft. plaza aligned with perimeter shade trees. Includes a 5,300sf civic building, and open space for active and passive recreation.
Civic Building:	5,300sf multi-purpose civic building.
Street Furniture:	Lights, benches and trash receptacles.
Street Lights:	FPL Coach Lights 70' on center
Existing Condition:	None.
Proposed Condition:	6' perimeter sidewalks, Oak trees lining the perimeter of the plaza with internal pedestrian crosswalks leading to the multi-purpose civic building. Landscaped open space with benches for reading and open space for active and/or passive recreation.
Sidewalk:	Varying widths of reinforced concrete.
Planting Strip:	Strategically located groupings of shrubs and hedges.
Irrigation:	Buried drip collar for establishment and continual maintenance.
Existing Trees:	None
Proposed Trees:	Live Oaks 12' ht. x 6' spr. Montgomery Palms 14' o.a. ht. Coconut Palms 12' o.a. ht.
Tree Pattern:	Min 40' on center.
Ground Cover:	approximately 1,400 shrubs and hedge material.



S.W. 140th Avenue Plaza

PROPOSED CONDITION

ITEM F

NOTE: This section runs for approximately 300 linear feet

Feb. 23, 2005

Tax Increment Financing District

Naranja Lakes, Florida

ITEM F

Feb. 23, 2005

Street Name: S.W. 140th Avenue Plaza

Linear Feet: 360 - 15,000 sq.ft.

Code	Description	Quantity	Unit	Unit Price	Total
1	Civic Building	1	LS	\$ 1,000,000.00	\$ 1,000,000.00
Site Amenities:					
2 - 1	Bike Racks	5	EA	\$ 350.00	\$ 1,750.00
2 - 2	Benches	18	EA	\$ 350.00	\$ 6,300.00
2 - 3	Trash Receptacles	12	EA	\$ 300.00	\$ 3,600.00
3	Pathways	2400	LF	\$ 8.00	\$ 19,200.00
4	Landscape & Irrigation	1	LS	\$ 91,761.81	<u>\$ 91,761.81</u>
					\$ 1,122,611.81

DeLeon
PLANNING & DESIGN, INC.

Master Planned
Communities
Mixed-Use
Town Centers
1153 Town Center Drive
Suite 202
Jupiter, Florida 34554
561-744-3000 / 800-491-4044

Miami-Dade County, Florida

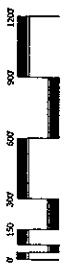
Mandarin Lakes TND

MP-1

SHEET 1 OF 1
Scales: 1" = 300'-0"

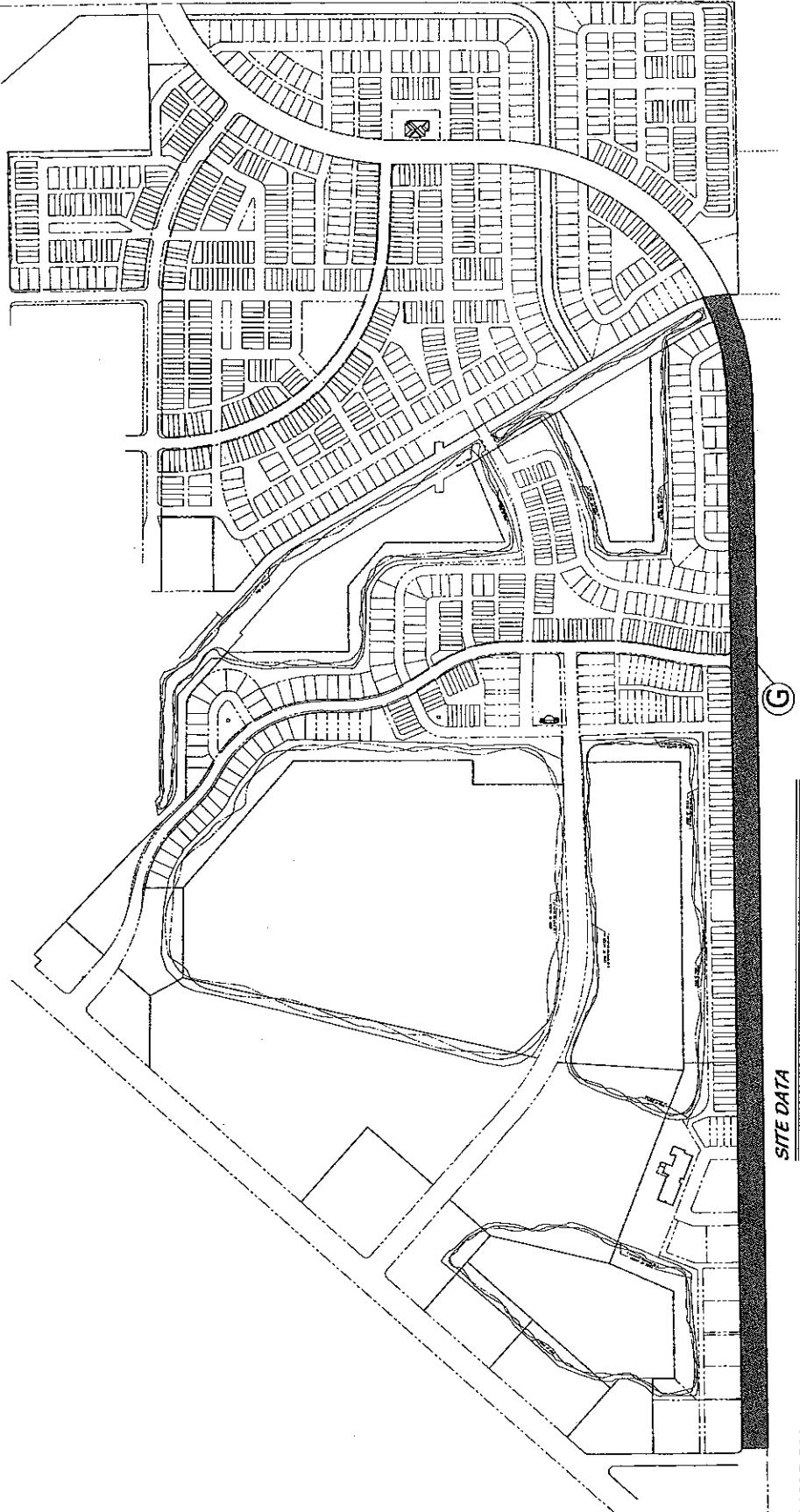


North



Scale: 1" = 300'-0"

Master Site Plan



SITE DATA

Gross Acres of TND	201.49 A.C.
LAKES	24.31 Ac.
Gross Acres of Neighborhood	177.18 Ac.
PUBLIC USE TRACTS	11.69 Ac. (20% of Neighborhood Proper) (12% Required)
CHURCHES/LOTS	6.16 Ac. (3.1% of Neighborhood Proper) (2% Required)
INFRONT LOTS	3.66 Ac. (1.7% of Neighborhood Proper) 84,000 SF (12% Required)
TYPE VIII	LINE WORK
TYPE IX	MARKER LINE
WORKSHOP USELOTS	5.84 Ac. (2.1% of Neighborhood Proper) 101 CLU's (13% Required)
TYPE X	NON-RESIDENTIAL

Gross Acres of TND	201.49 A.C.
LAKES	24.31 Ac.
Gross Acres of Neighborhood	177.18 Ac.
PUBLIC USE TRACTS	11.69 Ac. (20% of Neighborhood Proper) (12% Required)
CHURCHES/LOTS	6.16 Ac. (3.1% of Neighborhood Proper) (2% Required)
INFRONT LOTS	3.66 Ac. (1.7% of Neighborhood Proper) 84,000 SF (12% Required)
TYPE VIII	LINE WORK
TYPE IX	MARKER LINE
WORKSHOP USELOTS	5.84 Ac. (2.1% of Neighborhood Proper) 101 CLU's (13% Required)
TYPE X	NON-RESIDENTIAL

Master Planner:	DeLeon Planning & Design, Inc.
DeLeon Lakes Holdings, LLC	1153 Town Center Drive, Suite 202 Jupiter, Florida 34554 Phone: 561-744-3000 / 800-491-4044 Email: DeLeon@DeLeon.com
Surveyor:	Frost, Armento & Associates, Inc. 1000 University Drive, Suite 200 West Palm Beach, FL 33401 Phone: 561-832-5772 Fax: 561-832-5000
Landscaping Architect:	P. (305) 477-5472 F. (305) 470-2605 Email: WWD@WWD.com cc: WWD 1633 N.E. 2nd Avenue, Suite 500 Miami, Florida 33132 P. (305) 455-5400 F. (305) 455-4267 Email: WWD@WWD.com

PROJECT TEAM

DeLeon Planning & Design, Inc.	1153 Town Center Drive, Suite 202 Jupiter, Florida 34554 Phone: 561-744-3000 / 800-491-4044 Email: DeLeon@DeLeon.com
Surveyor:	Frost, Armento & Associates, Inc. 1000 University Drive, Suite 200 West Palm Beach, FL 33401 Phone: 561-832-5772 Fax: 561-832-5000
Landscaping Architect:	P. (305) 477-5472 F. (305) 470-2605 Email: WWD@WWD.com cc: WWD 1633 N.E. 2nd Avenue, Suite 500 Miami, Florida 33132 P. (305) 455-5400 F. (305) 455-4267 Email: WWD@WWD.com
Architect:	
Engineer:	

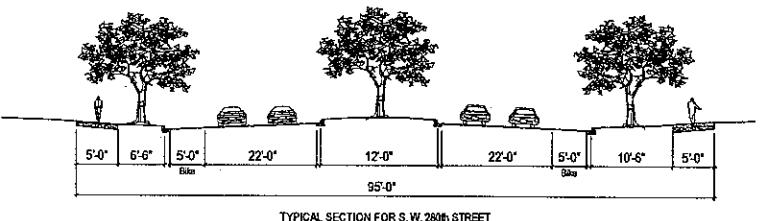
ITEM G

NARANJA LAKES, FLORIDA

TAX INCREMENT FINANCING DISTRICT

STREET SPECIFICATIONS

SPECIFICATIONS:



- Street Name: S.W. 280th Street
Street Furniture: Lights, benches and trash receptacles
Street Lights: FPL Coach Lights 70 ft. on center
Right-of-way: 95 ft.
Existing Section: A divided boulevard section with 24' travel lanes in each direction, a 30' median and 3' planting strips and 5' sidewalk on each side.
Proposed Section: A divided boulevard section with 22' travel lanes and 5' bikelanes in each direction, 6'6" & 10'6" planting strips and 5' sidewalks on each side.
Sidewalk: 5' reinforced concrete.
Planting Strip: 6'-6' between curb and sidewalk.
Irrigation: Buried drip collar for establishment.
Existing Trees: To be removed or replanted.
Proposed Trees: Live Oaks 12' ht. x 6' spr.
Tree Pattern: 35' on center.
Ground Cover: 10 shrubs per tree.

S. W. 280th Street

PROPOSED CONDITION

ITEM G

NOTE: This section runs for approximately 5,900 linear feet

Feb. 23, 2005

Tax Increment Financing District

Naranja Lakes, Florida

ITEM G

Feb. 23, 2005

Street Name: S.W. 280th Street
 Linear Feet: 300

Code	Description	Quantity	Unit	Unit Price	Total
1	Demolition	1	LS	\$ 85,310.38	\$ 85,310.38
2 - 1	Adjust Structures	4	EA	\$ 650.22	\$ 2,600.88
2 - 2	Curb & Gutter	14820	LF	\$ 13.54	\$ 200,677.36
2 - 3	Valley Curb	50	LF	\$ 12.29	\$ 614.48
2 - 4	Handicap Ramp	45	EA	\$ 312.85	\$ 14,078.08
2 - 5	Sidewalk	28600	SF	\$ 3.77	\$ 107,702.83
2 - 6	12" Stabilized Subgrade	9130	SY	\$ 2.12	\$ 19,340.47
2 - 7	8" Limerock Base	9200	SY	\$ 9.24	\$ 85,028.48
2 - 9	2" Asphalt	35575	SY	\$ 7.88	\$ 280,463.43
2 - 10	Sod	14600	SY	\$ 2.53	\$ 36,961.37
2 - 11	Guardrail	3130	LF	\$ 22.52	\$ 70,503.01
2 - 12	1" Overlay	6082	SY	\$ 5.01	\$ 30,443.68
2 - 13	Base Preparation	26375	SY	\$ 5.46	\$ 143,946.98
2 - 14	6" Curb	475	LF	\$ 12.77	\$ 6,065.81
2 - 15	4" Median Concrete	800	SF	\$ 5.27	\$ 4,214.90
2 - 16	Fence Relocation	1300	LF	\$ 25.03	\$ 32,536.46
3	Sanitary Sewer	1	LS	\$ 400,000.00	\$ 400,000.00
4	Landscape & Irrigation	1	LS	\$ 312,846.14	\$ 312,846.14
5	Striping & Signs	1	LS	\$ 37,541.54	\$ 37,541.54
6 - 1	Structures	31	EA	\$ 3,152.09	\$ 97,714.71
6 - 2	24" CMP	1025	LF	\$ 93.18	\$ 95,510.96
7	Water Distribution	1	LS	\$ 450,000.00	\$ 450,000.00
8	Bridge	1	LS	\$ 701,107.64	\$ 701,107.64
9	General Conditions	1	LS	\$ 181,561.52	\$ 181,561.52
10	Performance Bond	1	LS	\$ 50,055.38	\$ 50,055.38
11	MOT	1	LS	\$ 50,000.69	<u>\$ 50,000.69</u>
					\$ 3,496,827.17

M.A.S. S. & T. I. C. INC.
Master Planned
Community
Mixed-Use
Town Centers
1192 Park Center Drive
Suite 202
Jupiter, Florida 3455
561.459.4044

Miami-Dade County, Florida

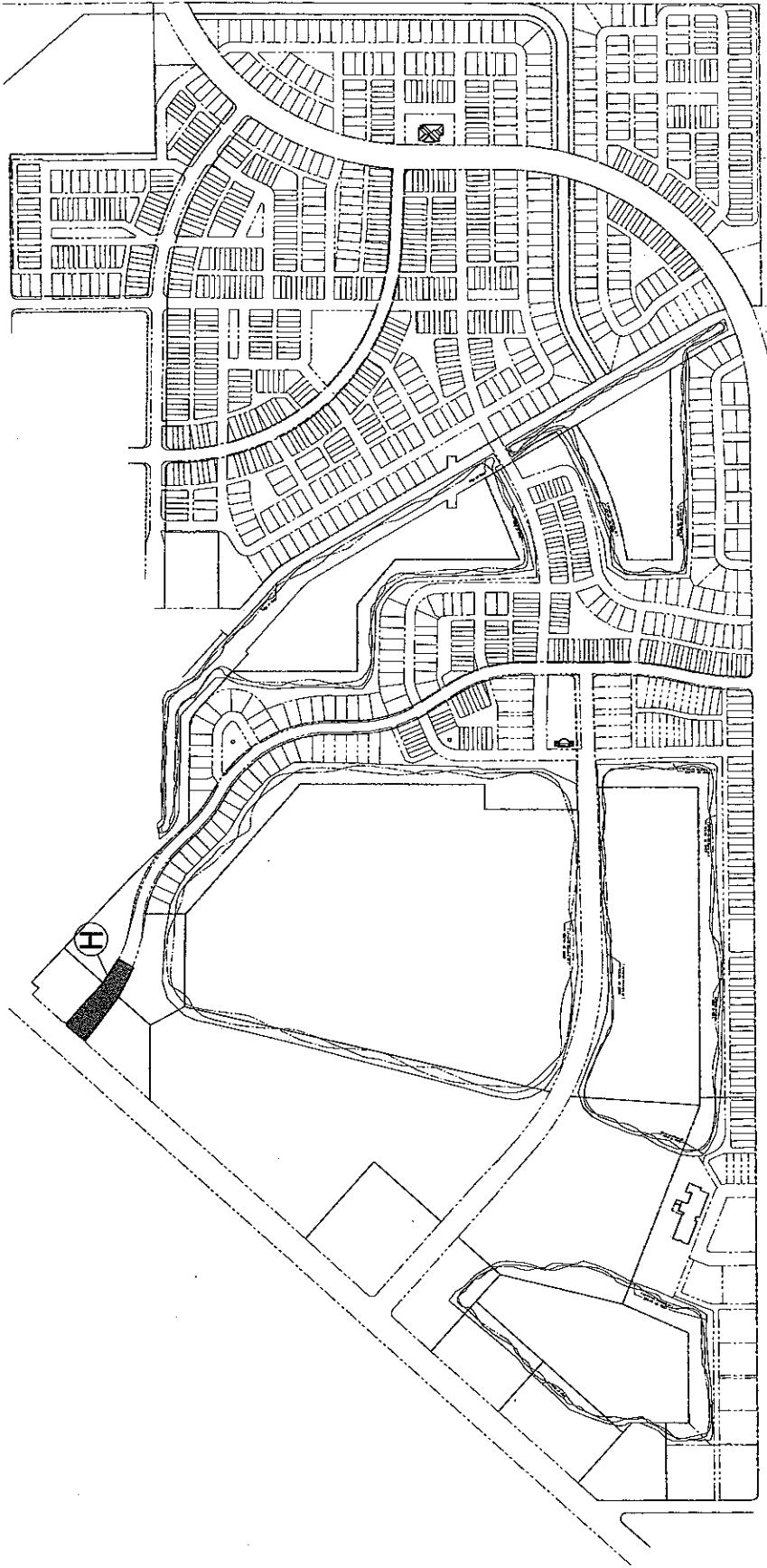
Mandarin Lakes TND

MP-1

Sheet 1 of 1
Schematic Site Plan
Mandarin Lakes TND
Miami-Dade County, Florida

North

Scale: 1" = 300'-0"



SITE DATA

PROJECT TEAM		SITE DATA		MASTER SITE PLAN	
Master Planner:	Master Planned Community Mixed-Use Town Centers	Gross Acres of TND	211.59 Ac.	Overall Density /	Overall Density /
Owner/Developer:	Nease Lake Holdings, LLC c/o Boca A. Higginbotham, PLLC 1500 NW 1st Avenue, Suite 202 Miami, Florida 33132 P: (305) 265-3100 F: (305) 265-3000	LAKES	2.41 Ac.	Square Footage	Square Footage
Surveyor:	Ford, Armento & Munoz, Inc. 1500 NW 1st Avenue, 2nd Floor Miami, Florida 33132 P: (305) 477-2472 F: (305) 470-2005	Gross Acres of Neighborhood	173.51 Ac.	(100% Required)	(100% Required)
Landscape Architect:	Vivian Davis Group 1650 NE 2nd Avenue, Suite 300 Miami, Florida 33162 P: (305) 630-0000 F: (305) 630-0007	PUBLIC USE TRACTS	11.09 Ac.	TYPE IA Street Townhouse	TYPE IA Street Townhouse
Architect:	Architectural Resources, Inc. 1650 NE 2nd Avenue, Suite 300 Miami, Florida 33162 P: (305) 630-0000 F: (305) 630-0007	Civic Use Lots	0.18 Ac.	TYPE IB Large Townhouse - 20' width lot	TYPE IB Large Townhouse - 20' width lot
Landscaping:	Landscaping Services, Inc. 1650 NE 2nd Avenue, Suite 300 Miami, Florida 33162 P: (305) 630-0000 F: (305) 630-0007	FRONTLINE LOTS	3.68 Ac.	TYPE II Large Townhouse - 25' & 32' width lots	TYPE II Large Townhouse - 25' & 32' width lots
Engineering:	Engineering Services, Inc. 1650 NE 2nd Avenue, Suite 300 Miami, Florida 33162 P: (305) 630-0000 F: (305) 630-0007	TYPE III Live Work		TYPE III Apartment	TYPE III Apartment
Construction:	Construction Services, Inc. 1650 NE 2nd Avenue, Suite 300 Miami, Florida 33162 P: (305) 630-0000 F: (305) 630-0007	HOUSE USE LOTS	52.27 Ac.	TYPE IV Courtyard and Detached	TYPE IV Courtyard and Detached
Marketing:	Marketing Services, Inc. 1650 NE 2nd Avenue, Suite 300 Miami, Florida 33162 P: (305) 630-0000 F: (305) 630-0007	WORKSHOP USE LOTS	3.54 Ac.	TYPE V Stacked	TYPE V Stacked
Other:	Other Services, Inc. 1650 NE 2nd Avenue, Suite 300 Miami, Florida 33162 P: (305) 630-0000 F: (305) 630-0007	(100% Required)	(100% Required)	TYPE VI Villa Corner Edge	TYPE VI Villa Corner Edge
		(12,000 SF)	(12,000 SF)		

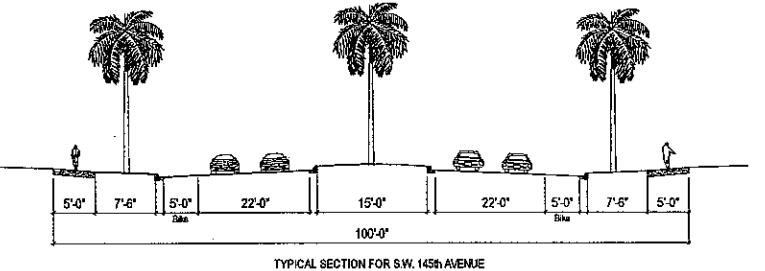
ITEM H

NARANJA LAKES, FLORIDA

TAX INCREMENT FINANCING DISTRICT

STREET SPECIFICATIONS

SPECIFICATIONS:



TYPICAL SECTION FOR S.W. 145th AVENUE
(ENTRANCE at US-1)

Street Name:	S.W. 145th Avenue at US 1
Street Furniture:	Lights, benches and trash receptacles
Street Lights:	FPL Coach Lights 70 ft. on center
Right-of-way:	100 ft.
Existing Section:	A divided boulevard at US1 with 24' travel lanes in each direction, a 20' median, 9' planting strips and 5' sidewalks on each side.
Proposed Section:	A divided boulevard at US1 with 22' travel lanes and 5' bike lanes in each direction, a 15' center median and 7'6" planting strips and 5' sidewalks on each side.
Sidewalk:	5' reinforced concrete.
Planting Strip:	7'-6" between curb and sidewalk.
Irrigation:	Buried drip collar for establishment.
Existing Trees:	To be removed.
Proposed Trees:	Royal Palms 20' o.a. ht. Live Oaks 12' ht. x 6' spr.
Tree Pattern:	Royals - 25' on center Mahogany- 35' on center
Ground Cover:	10 shrubs per tree.

S.W. 145th Avenue at US1

PROPOSED CONDITION

ITEM H

NOTE: This section runs for approximately 300 linear feet

Feb. 23, 2005

Tax Increment Financing District

Naranja Lakes, Florida

ITEM H

Feb. 23, 2005

Street Name: S.W. 145th Street at US 1

Linear Feet: 300

Code	Description	Quantity	Unit	Unit Price	Total
1	140th Street & US1	1	LS	\$ 134,759.12	\$ 134,759.12
7	General Conditions	1	LS	\$ 84,340.76	\$ 84,340.76
8	Performance Bond	1	LS	\$ 3,003.32	\$ 3,003.32
9	MOT	1	LS	\$ 5,005.54	<u>\$ 5,005.54</u>
					\$ 227,108.74

deQuinton

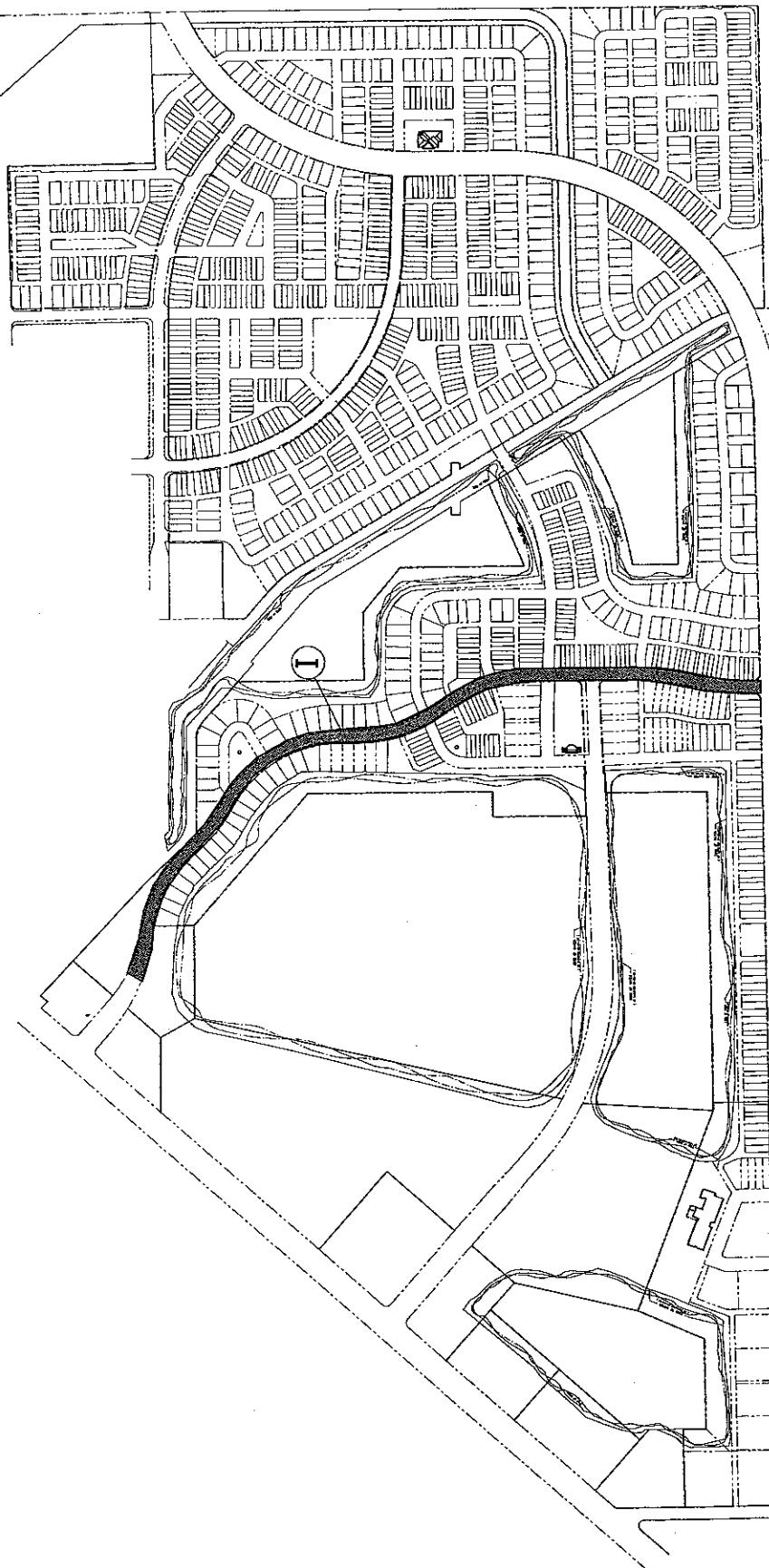
Master Planned
Communities
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Town Centers
1153 Tern Center Drive
Suite A-202
Jupiter, Florida 3455
954-340-1400

Miami-Dade County, Florida

Mandarin Lakes TND

MP-1

SHEET 1 OF 1
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PROJECT TEAM

Master Planner:
deQuinton Development, Inc.
c/o Scott A. Hopkins, AIA
1153 Tern Center Drive, Suite 202
Jupiter, FL 34554
P: (561) 340-1400 F: (561) 340-1404
Email: scothopkins@dequinton.com

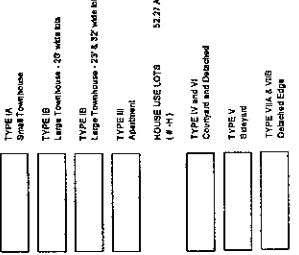
Surveys:
Burt, Associates & Murray, Inc.
1500 N.W. 1st Avenue, 2nd Floor
Miami, Florida 33172
P: (305) 477-5072 F: (305) 470-2005
Email: info@burta.com

Landscape Architect:
Wolin Design Group
1000 North Dixie Highway, Suite 500
West Palm Beach, FL 33401
P: (561) 266-0000 F: (561) 266-0007
Email: info@wolindesigngroup.com

SITE DATA

	Gross Acres of TND	Density / Square Footage
LAKES	24.31 Ac.	
GROSS Acres of Neighborhood	177.51 Ac.	1.587 DUs / 250,000 SF
PUBLIC USE TRACTS (PARK)	11.09 Ac. (5.20% of Neighborhood Project)	
CIRCUS LOTS (CONE)	8.16 Ac. (3.43% of Neighborhood Project)	
SHOPPING USE LOTS (K-SP)	3.46 Ac. (2.17% of Neighborhood Project)	60 DUs / 61,000 SF
TYPE VIII Lip / Notch		(2% Reserved)
TYPE IX Mixed-Use		
TYPE X Non-Residential		
TYPE IV and V Commercial and Residential		
TYPE V Standard		
TYPE VI & VII Obligation Edge		

ROUNHOUSE USE LOTS (F+FH)
• 47.75 Ac. 26.67% of Neighborhood Project (27% Reserved)



Master Site Plan



North

Scale: 1" = 300'-0"

ITEM 1

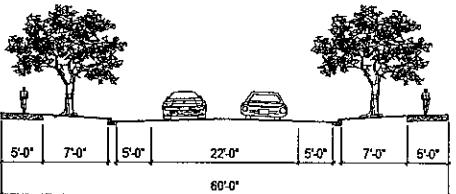
NARANJA LAKES, FLORIDA

TAX INCREMENT FINANCING DISTRICT

STREET SPECIFICATIONS

SPECIFICATIONS:

Street Name:	S.W. 145th Avenue
Street Furniture:	Lights, benches and trash receptacles
Street Lights:	FPL Coach Lights 70 ft. on center
Right-of-way:	60 ft.
Existing Section:	36' travel lanes in each direction with 5' planting strips and 5' sidewalks on each side.
Proposed Section:	22' wide two-way travel pavement with 5' bikelanes in each direction, 7'-0" planting strips and 5'-0" sidewalks on each side.
Sidewalk:	5' reinforced concrete.
Planting Strip:	7'-0" between curb and sidewalk.
Irrigation:	Buried drip collar for establishment.
Existing Trees:	To be removed.
Proposed Trees:	Live Oaks 12' ht. x 6' spr.
Tree Pattern:	35' on center
Ground Cover:	10 shrubs per tree.



TYPICAL SECTION FOR S.W. 145th AVENUE

S. W. 145th Avenue

PROPOSED CONDITION

ITEM I

NOTE: This section runs for approximately 4,400 linear feet

Feb. 23, 2005

Tax Increment Financing District

Naranja Lakes, Florida

ITEM I

Feb. 23, 2005

Street Name: S.W. 145th Street

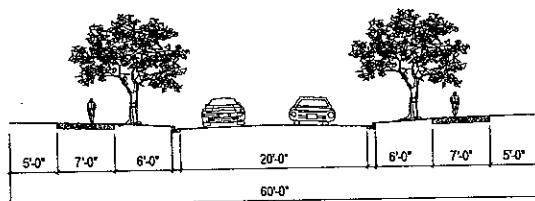
Linear Feet: 4,400

Code	Description	Quantity	Unit	Unit Price	Total
1	Demolition	1	LS	\$ 55,390.30	\$ 55,390.30
2 - 1	Adjust Structures	17	EA	\$ 650.22	\$ 11,053.73
2 - 2	Curb & Gutter	5112	LF	\$ 13.54	\$ 69,221.53
2 - 3	Valley Curb	515	LF	\$ 12.29	\$ 6,329.14
2 - 4	Handicap Ramp	2	EA	\$ 250.28	\$ 500.55
2 - 5	Sidewalk	10300	SF	\$ 3.77	\$ 38,788.09
2 - 6	12" Stabilized Subgrade	4720	SY	\$ 2.12	\$ 9,998.59
2 - 7	8" Limerock Base	4720	SY	\$ 11.74	\$ 55,436.39
2 - 9	2" Asphalt	3302	SY	\$ 7.88	\$ 26,032.06
2 - 10	Sod	3154	SY	\$ 2.53	\$ 7,984.67
2 - 11	Guardrail	3130	LF	\$ 22.52	\$ 70,503.03
2 - 12	1" Overlay	6082	SY	\$ 5.01	\$ 30,443.69
2 - 13	1.5" Asphalt	12315	SY	\$ 7.51	\$ 92,464.84
2 - 14	6" Curb	2190	LF	\$ 12.77	\$ 27,966.59
2 - 15	4" Median Concrete	195	SF	\$ 5.27	\$ 1,027.39
2 - 16	Base Preparation	2000	SY	\$ 6.08	\$ 12,166.80
3	Sanitary Sewer	1	LS	\$ 312,846.25	\$ 312,846.25
4	Landscape & Irrigation	1	LS	\$ 175,193.90	\$ 175,193.90
5	Striping & Signs	1	LS	\$ 31,284.63	\$ 31,284.63
6 - 1	Structures	14	EA	\$ 3,152.09	\$ 44,129.24
6 - 2	24" CMP	360	LF	\$ 93.18	\$ 33,545.33
7	Water Distribution	1	LS	\$ 218,992.38	\$ 218,992.38
8	General Conditions	1	LS	\$ 225,747.24	\$ 225,747.24
9	Performance Bond	1	LS	\$ 33,271.42	\$ 33,271.42
10	MOT	1	LS	\$ 54,247.54	<u>\$ 54,247.54</u>
					<u>\$ 1,644,565.33</u>

TAX INCREMENT FINANCING DISTRICT

NARANJA LAKES, FLORIDA

STREET SPECIFICATIONS



TYPICAL SECTION FOR S.W. 143rd AVENUE

SPECIFICATIONS:

Street Name:	S.W. 143rd Avenue
Street Furniture:	Lights, benches and trash receptacles
Street Lights:	FPL Coach Lights 70 ft. on center
Right-of-way:	60 ft.
Existing Section:	20' wide two-way travel pavement with 5' planting strips and 5' sidewalks on each side.
Proposed Section:	20' wide two-way travel pavement with on-street parking on both sides, 6' planting islands between parking spaces and 7' sidewalks on each side.
Sidewalk:	7' reinforced concrete.
Planting Strip:	6' between curb and sidewalk.
Irrigation:	Buried drip collar for establishment.
Existing Trees:	To be removed.
Proposed Trees:	Live Oaks 12' ht. x 6' spr.
Tree Pattern:	Average 65' on center in islands.
Ground Cover:	Approximately 2,500 shrubs and hedge material.

S.W. 143rd Avenue

PROPOSED CONDITION

ITEM J

NOTE: This section runs for approximately 000 linear feet

Feb. 23, 2005

Tax Increment Financing District

Naranja Lakes, Florida

ITEM J

Feb. 23, 2005

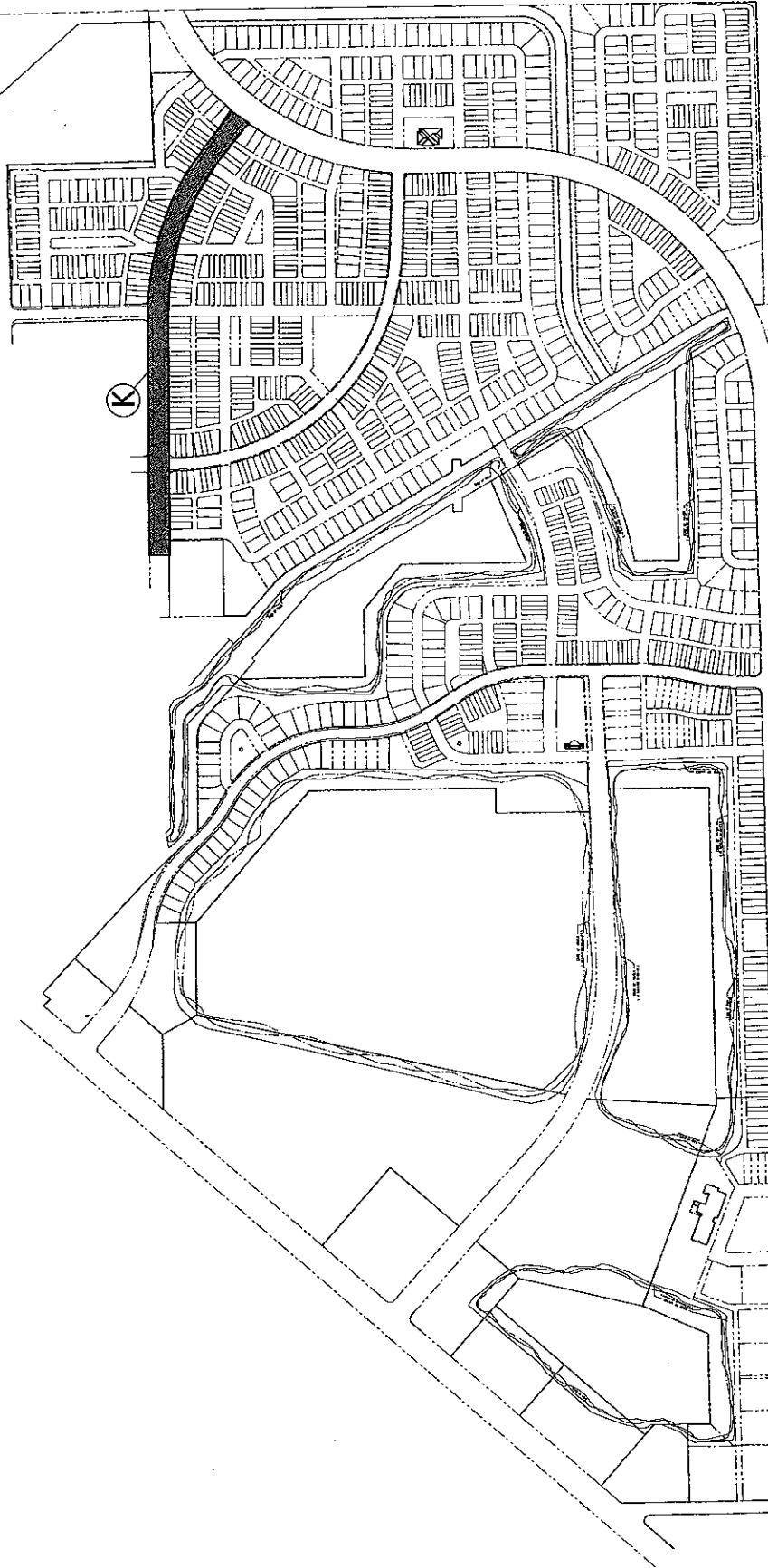
Street Name: S.W. 143rd Avenue
 Linear Feet: 1,900

Code	Description	Quantity	Unit	Unit Price	Total
1	Demolition	1	LS	\$ 54,198.99	\$ 54,198.99
2 - 1	Adjust Structures	5	EA	\$ 650.22	\$ 3,251.10
2 - 2	Curb & Gutter	1520	LF	\$ 13.54	\$ 20,582.30
2 - 3	Valley Curb	1510	LF	\$ 12.29	\$ 18,557.30
2 - 4	6" Curb	1830	LF	\$ 12.77	\$ 23,369.34
2 - 5	Sidewalk	12670	SF	\$ 3.77	\$ 47,713.12
2 - 7	Base Preparation	5550	SY	\$ 6.03	\$ 33,485.06
2 - 9	1.5" Asphalt	5550	SY	\$ 7.51	\$ 41,671.12
2 - 10	Sod	9595	SY	\$ 2.53	\$ 24,290.72
3	Sanitary Sewer	1	LS	\$ 312,846.25	\$ 312,846.25
4	Landscape & Irrigation	1	LS	\$ 125,138.50	\$ 125,138.50
5	Striping & signs	1	LS	\$ 25,027.70	\$ 25,027.70
6 - 1	Structures	20	EA	\$ 3,152.09	\$ 63,041.77
6 - 2	24" CMP	624	LF	\$ 93.18	\$ 58,145.23
7	Water Distribution	1	LS	\$ 225,249.30	\$ 225,249.30
8	General Conditions	1	LS	\$ 229,105.63	\$ 229,105.63
9	Performance Bond	1	LS	\$ 20,022.16	\$ 20,022.16
10	MOT	1	LS	\$ 34,748.46	<u>\$ 34,748.46</u>
					<u>\$ 1,360,444.05</u>

Mandarin Lakes TND

MAP 1

SHEET 1 OF 1



SITE DATA

	gross Acres of TND	gross Acres	Density / Square footage
LAKES	24.31 Ac.	1,561 DPA 206,000 SF	
GROSS Acres of Neighborhood	177.57 Ac.	1,561 DPA 206,000 SF	
PUBLIC USE TRACTS (PARCS)	11.00 Ac.	0.25% of Neighborhood Project (5% Received)	
CONDUIT LOTS (CIVIC)	8.10 Ac.	3.48% of Neighborhood Project (2% Received)	
SHOPFRONT USE LOTS (1-45)	3.86 Ac.	2.17% of Neighborhood Project (7% Received)	
TYPE III Lote F/Hack			
TYPE IV Hack/Hack			
WORKSHOP USE LOTS (4-NS)	5.81 Ac.	1.16% of Neighborhood Project (3% Received)	
TYPE X Non-Residential			

PROJECT TEAM

Master Planner:	P.R.Y.K.C. Inc.
Owner (Developed by):	De Gennaro Development, Inc.
Architect:	De Gennaro Development, Inc.
Landscaping:	De Gennaro Development, Inc.
Surveyor:	Park Administration & Marketing, Inc.
Permitting:	Mark Phillips 53172 Phone: (561) 477-5412 Email: (561) 477-5405
Landscape Architect:	Walter DeLoach Group
Walls Design Group:	De Andy Wain
Construction Manager:	1600 Inc. (www.1600inc.com)
Architectural Services:	P. (561) 200-0000 F. (561) 200-0000 Email: wde@1600inc.com

Master Site Plan



North

Scale: 1" = 300'-0"

ITEM K

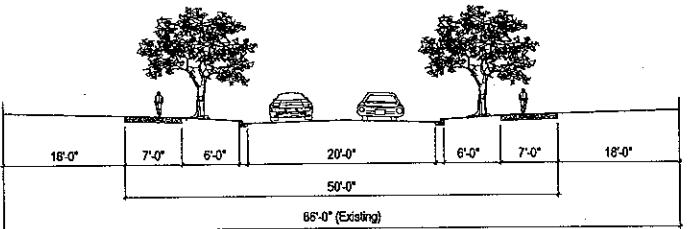
TAX INCREMENT FINANCING DISTRICT

NARANJA LAKES, FLORIDA

STREET SPECIFICATIONS

SPECIFICATIONS:

Street Name:	S.W. 272nd Street
Street Furniture:	Lights, benches and trash receptacles
Street Lights:	FPL Coach Lights 70 ft. on center
Right-of-way:	86 ft.
Existing Section:	20' wide two-way travel pavement with 5' planting strips and 5' sidewalks on each side.
Proposed Section:	A 50' wide street section built within the existing 86' ROW to include 20' wide two-way travel pavement with on-street parking on both sides, 6' planting islands between parking spaces and 7' sidewalks on each side. 18' landscape strips will remain on each side of the improved section.
Sidewalk:	7' reinforced concrete.
Planting Strip:	6' between curb and sidewalk.
Irrigation:	Buried drip collar for establishment.
Existing Trees:	To be removed.
Proposed Trees:	Live Oaks 12' ht. x 6' spr.
Tree Pattern:	Average 65' on center in islands.
Ground Cover:	Approximately 1,500 shrubs and hedge material.



TYPICAL SECTION FOR S.W. 272nd STREET

S.W. 272nd Street

PROPOSED CONDITION

ITEM K

NOTE: This section runs for approximately 2,000 linear feet

Feb. 23, 2005

Tax Increment Financing District

Naranja Lakes, Florida

ITEM K

Feb. 23, 2005

Street Name: S.W. 272nd Street

Linear Feet: 2,000

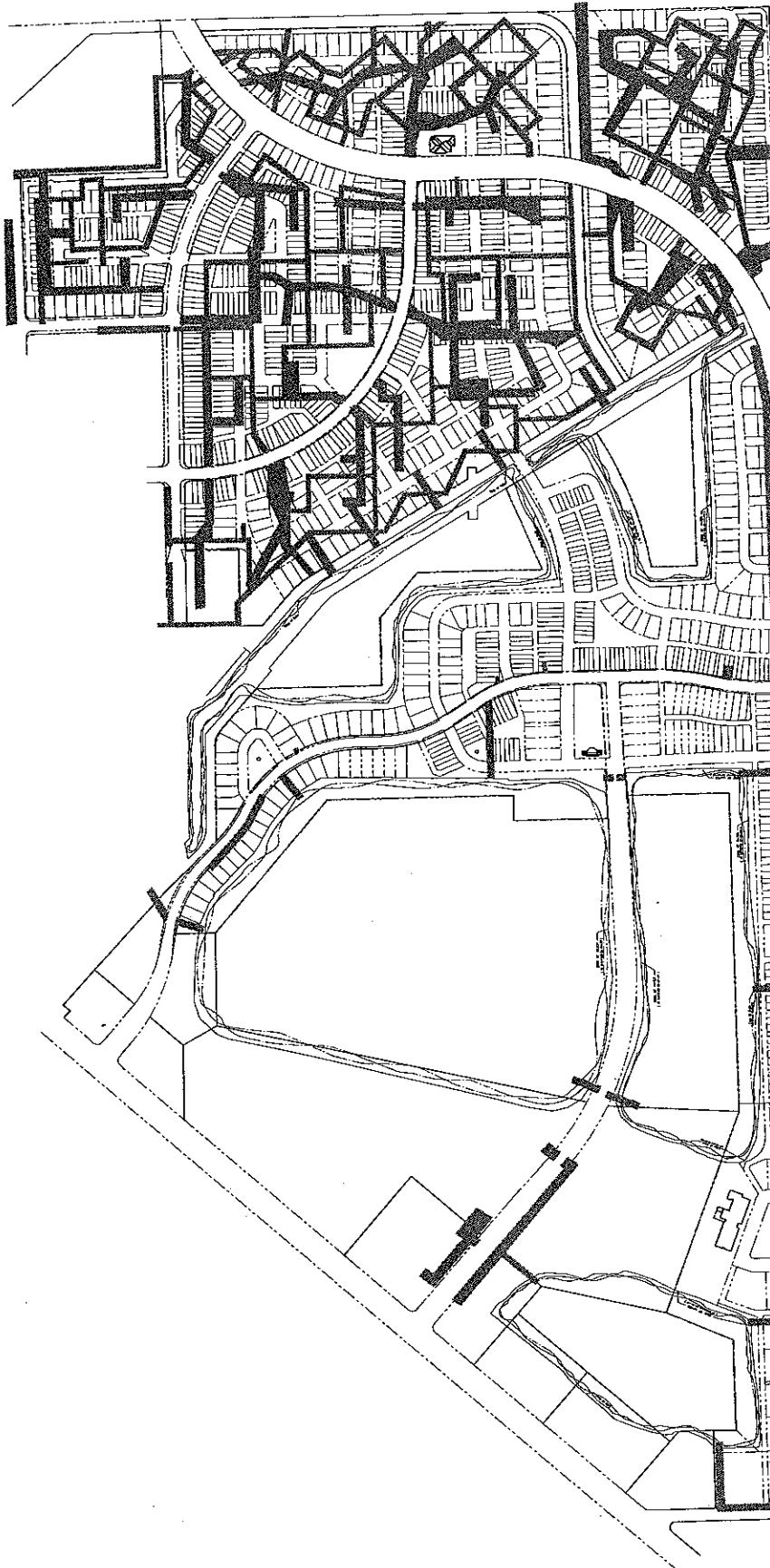
Code	Description	Quantity	Unit	Unit Price	Total
1	Demolition	1	LS	\$ 49,051.55	\$ 49,051.55
2 - 1	Adjust Structures	3	EA	\$ 519.60	\$ 1,558.80
2 - 2	Curb & Gutter	2570	LF	\$ 14.31	\$ 36,776.70
2 - 3	Valley Curb	1470	LF	\$ 13.12	\$ 19,286.40
2 - 4	6" Curb	1690	LF	\$ 10.00	\$ 16,900.00
2 - 5	Sidewalk	18400	SF	\$ 6.40	\$ 117,750.00
2 - 6	12" Stabilized Subgrade	3400	SY	\$ 1.49	\$ 5,070.00
2 - 7	8" Limerock Base	2300	SY	\$ 11.30	\$ 26,000.00
2 - 9	2" Asphalt	6250	SY	\$ 6.30	\$ 39,375.00
2 - 10	Sod	8800	SY	\$ 1.84	\$ 16,160.00
3	Sanitary Sewer	1	LS	\$ 172,889.99	\$ 172,889.99
4	Landscape & Irrigation	1	LS	\$ 110,000.00	\$ 110,000.00
5	Striping & Signs	1	LS	\$ 20,000.00	\$ 20,000.00
6	Water Main	1	LS	\$ 214,304.16	\$ 214,304.16
7	Storm Drainage	1	LS	\$ 138,400.00	\$ 138,400.00
8	General Conditions	1	LS	\$ 177,274.00	\$ 177,274.00
10	MOT	1	LS	\$ 23,118.98	<u>\$ 23,118.98</u>
					<u>\$ 1,183,915.58</u>

J. Schmid
PROPERTIES, INC.

**Master Planned
Communities
Mixed Use
Town Centers**
1165 Town Center Drive
Suite 202
Pleasant Hill, CA 94526
925-467-5858 Fax: 925-464-8444

Miami-Dade County, Florida

Mandarin Lakes TN



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PROJECT TEAM

Owner / Developer: U.S. Bank Home Lending, LLC, and U.S. Bank Home Lending, Inc., 1100 Peachtree Street, N.E., Suite 1500, Atlanta, Georgia 30367-3202 (404) 522-5150 Direct, (800) 255-3000 Toll-Free, FAX: (404) 520-0200

Architect: Michael P. Flannigan, Inc.
100 Broad Hollow Rd.
1153 Town Center Drive, Suite 202
Brentwood, Tennessee 37027-3506
Phone: (615) 371-5000
Fax: (615) 371-5005
E-mail: mflannigan@msn.com

Landscaping Architect:
Water Design Group
1000 Peachtree Street, N.E.
Atlanta, Georgia 30367-3202
Phone: (404) 522-5150 Direct, (800) 255-3000 Toll-Free
Fax: (404) 520-0200

Structural Engineer:
Strategic Engineering
1000 Peachtree Street, N.E.
Atlanta, Georgia 30367-3202
Phone: (404) 522-5150 Direct, (800) 255-3000 Toll-Free
Fax: (404) 520-0200

General Contractor:
Hartman Construction
1000 Peachtree Street, N.E.
Atlanta, Georgia 30367-3202
Phone: (404) 522-5150 Direct, (800) 255-3000 Toll-Free
Fax: (404) 520-0200

Interior Designer:
Interior Designers
1000 Peachtree Street, N.E.
Atlanta, Georgia 30367-3202
Phone: (404) 522-5150 Direct, (800) 255-3000 Toll-Free
Fax: (404) 520-0200

Leasing Agent:
Leasing Solutions
1000 Peachtree Street, N.E.
Atlanta, Georgia 30367-3202
Phone: (404) 522-5150 Direct, (800) 255-3000 Toll-Free
Fax: (404) 520-0200

Management Company:
Bankers Residential Properties
1000 Peachtree Street, N.E.
Atlanta, Georgia 30367-3202
Phone: (404) 522-5150 Direct, (800) 255-3000 Toll-Free
Fax: (404) 520-0200

SITE DATA

Closest Address of TND		20,80 AC	Density / Square Footage
LINES		24.31 Ac.	
		177.61 Ac.	1,587 DFT's 206,000 SF
Gross Acres of Neighborhood			
Subuse Tracts (PAR 1)	11.00 Ac.	6.25% of Neighborhood Project (5% Required)	
Civic Lots (CIVIC)	5.16 Ac.	3.45% of Neighborhood Project (2% Required)	
Front Use Lots (F-SP)	3.88 Ac.	2.71% of Neighborhood Project (2% Required)	
TYPE VIII Live & Work			
TYPE IX Marketplace			
WORKSHOP USE (W-WE)	5.64 Ac.	3.15% of Neighborhood Project (2% Required)	113 DFT's 14,000 SF
TYPE X Nonresidential			

Master Site Plan



North

Scale: 1" = 300'-0"

107

SECRET 1 of 1

ITEM L

Tax Increment Financing District

Naranja Lakes, Florida

ITEM L

Feb. 23, 2005

Street Name: Clearing, Grubbing & Utility Removal

Linear Feet: Site

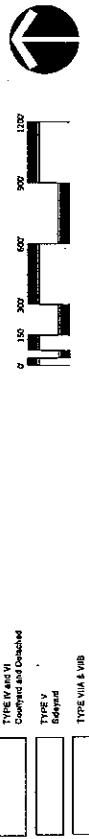
Code	Description	Quantity	Unit	Unit Price	Total
1	Clearing & Grubbing	1	LS	\$ 310,800.00	\$ 310,800.00
2	Utility Pressure Grouting	1	LS	\$ 280,000.00	\$ 280,000.00
					\$ 590,800.00



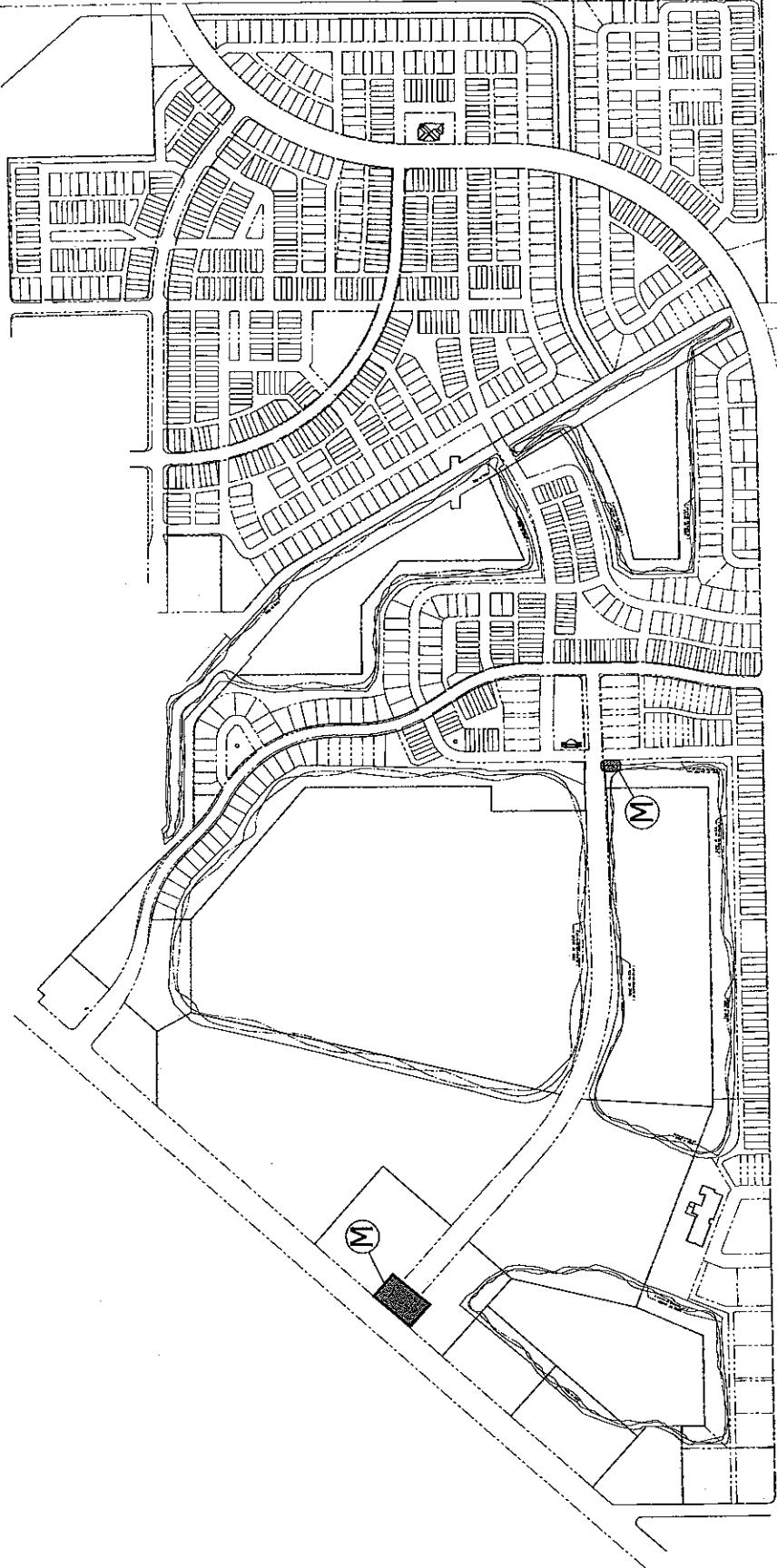
10

Master Site Plan

Scale: 1" = 300'-0"



Scale: 1" = 300'-0"



SIE DATA

PROJECT TEAM

Square Footage			
Lot Number	Lot Size	Lot Number	Lot Size
[REDACTED]	24,311 Sq.	[REDACTED]	47,264 Sq.
LANES	24,311 Sq.	ROWHOUSE USE LOTS	47,264 Sq.
GROSS AREA of Neighborhood	17731 Ac.	* [REDACTED]	26,023 Sq. of Neighborhood Proper (20% Required)
PUBLIC USE TRACTS	1529 Ac. 2.20% of Neighborhood Proper (2% Required)	TYPE IA Small Townhouse	
PUBLIC USE LOTS	6,184 Sq. 1.8% of Neighborhood Proper (2% Required)	TYPE IB Large Townhouse - 20' wide lots	
PARK	[REDACTED]	TYPE IC Large Townhouse - 25' wide lots	
CLOSED LOTS	[REDACTED]	TYPE ID Large Townhouse - 30' wide lots	
SHOP/PRINT USE LOTS	3,264 Sq. 2.17% of Neighborhood Proper (2% Required)	TYPE II Medium Apartment	
(# SFP)	[REDACTED]	TYPE III Large Apartment	
Landscape Architect:		HOUSE USE LOTS	5,227 Sq. 24.4% of Neighborhood Proper (30% Maximum Permitted)
White Swan Group 1945 N.E. 2nd Ave., Suite 506 Seattle, WA 98105 P: (206) 467-5400 F: (206) 467-5007 Email: white-swan@qwest.net		* [REDACTED]	
Surveyor:		TYPE IV and VI Commercial and Residential	
		TYPE V Recreational	
Master Planner: de Gruyter, DeGruyter, Inc. c/o Book & Hedge, AIA 1153 Town Center Drive, Suite 202 Albuquerque, NM 87120 Email: mace@degruyter.com		TYPE VI Residential	
Architect:		TYPE VII Non-Residential	
Wardrobe Group 1945 N.E. 2nd Ave., Suite 506 Seattle, WA 98105 P: (206) 467-5400 F: (206) 467-5007 Email: wardrobe@qwest.net		TYPE VIII Non-Residential	

ITEM M

TAX INCREMENT FINANCING DISTRICT

NARANJA LAKES, FLORIDA

ENTRY FEATURE SPECIFICATIONS

SPECIFICATIONS:

Feature Name: Naranja Lakes Boulevard Entry

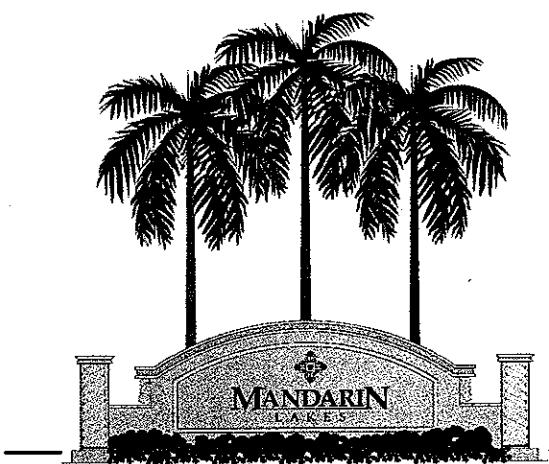
Intersecting Streets: Naranja Lakes Blvd. & US1
Naranja Lakes Blvd. & Village Center

Existing Condition: None

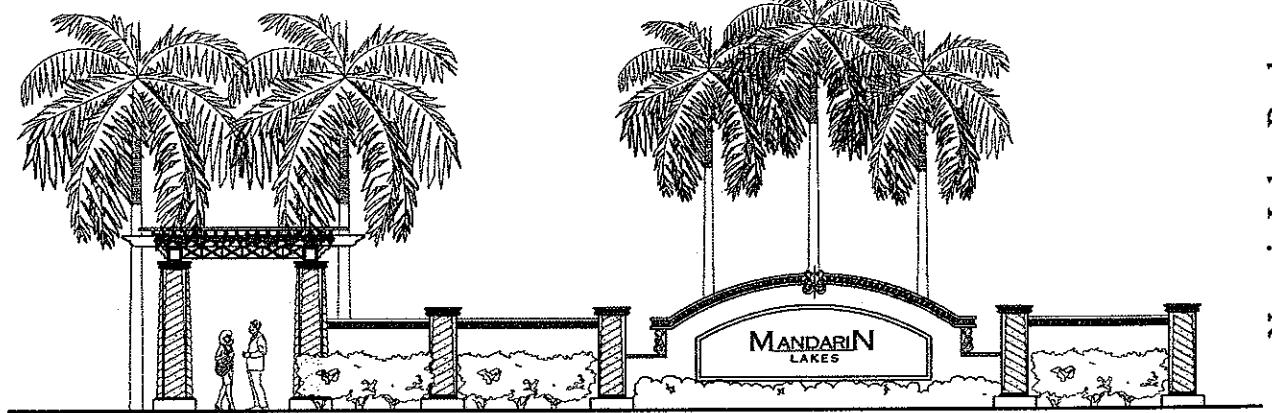
Proposed Condition: Double sided entry feature located within the center median of Naranja Lakes Boulevard at US1. Single sided entrance feature with pedestrian scaled trellis feature at the village center.

Landscaping: Royal Palms 20' o.a. ht.
Shrubs and hedges.

Irrigation: Buried drip collar for establishment and continual maintenance.



Mandarin Lakes Boulevard at US 1



Mandarin Lakes Boulevard at Village Center

PROPOSED CONDITION

ITEM M

Feb. 23, 2005

Naranja Lakes Boulevard Entry Features

Tax Increment Financing District

Naranja Lakes, Florida

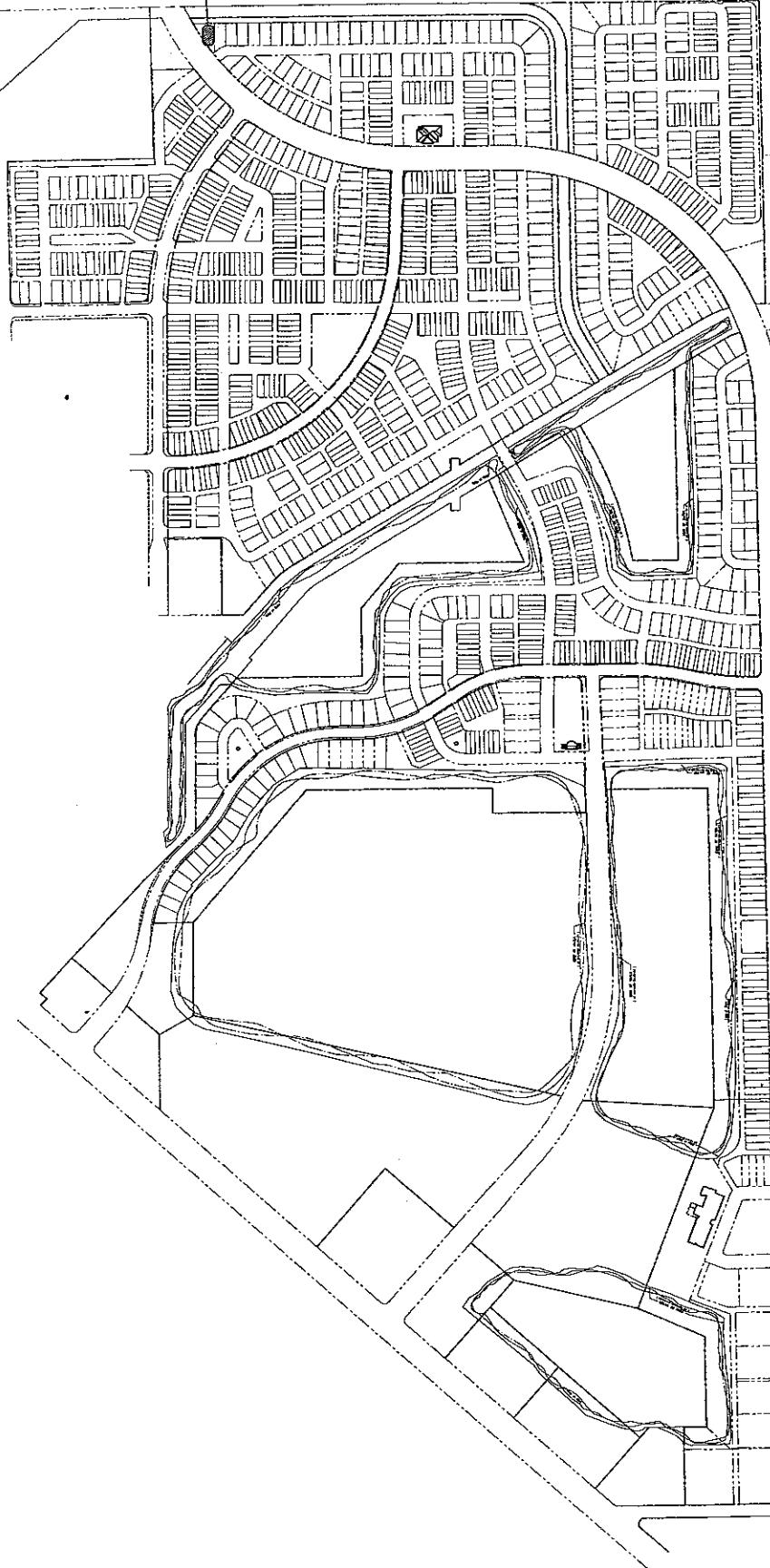
ITEM M

Feb. 23, 2005

Street Name: Naranja Lakes Boulevard Entrance Features

Linear Feet: N/A

Code	Description	Quantity	Unit	Unit Price	Total
1 - 1	Entry Monument	1	LS	\$ 15,000.00	\$ 15,000.00
1 - 2	Entry Monument & Trellis	1	LS	\$ 30,000.00	\$ 30,000.00
3	Pathways	450	LF	\$ 6.00	\$ 2,700.00
4	Landscape & Irrigation	1	LS	\$ 17,456.69	<u>\$ 17,456.69</u>
					\$ 65,156.69



PROJECT TEAM

Master Planner:
Diamond Development, Inc.
One Stone A. Hedge, AIA
11531 Town Center Drive, Suite 202
Doral, FL 33164
Phone: (305) 467-4444
Email: info@diamondinc.com

Developer:
One Stone A. Hedge, AIA, and Peter
Hamm, Florida 33172
Phone: (727) 472-2472 F: (727) 470-2000
Email: info@onestonehedge.com

Landscape Architect:
Winn Design Group
One Asia Way
1000 NE 1st Street, Suite 200
Fort Lauderdale, FL 33304
Phone: (954) 580-0000
Fax: (954) 580-0007

SITE DATA

	Gross Acres of TND	20.40 AC	Density / Square Footage
LAKE	24.31 Ac.		
GROSS ACRES OF NEIGHBORHOOD	177.51 Ac.	1,287 DU's 250,000 SF	28.87% of Neighborhood Project (29% Required)
PUBLIC USE TRACTE	11.59 Ac.	4.20% of Neighborhood Project [15% Required]	
COMMERCIAL LOTS (PARCS)	8.15 Ac.	3.4% of Neighborhood Project [21% Required]	
SHOP/RETAIL USE LOTS (R-SR)	3.65 Ac.	2.1% of Neighborhood Project [21% Required]	
TYPE II			
TYPE III			
TYPE IV			
TYPE V			
TYPE VI			
TYPE VII			
TYPE VIII			
TYPE IX			
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TAX INCREMENT FINANCING DISTRICT

NARANJA LAKES, FLORIDA

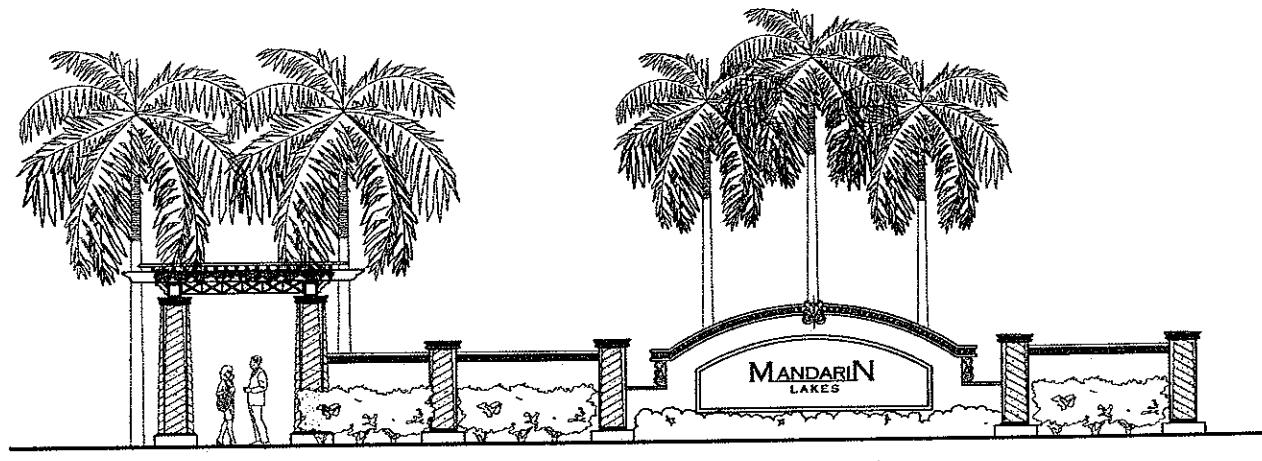
ENTRY FEATURE SPECIFICATIONS

SPECIFICATIONS:

Feature Name: S.W. 272nd Street Entry
Intersecting Streets: S.W. 272nd St & 137th Avenue
S.W. 272nd St & the Residential Neighborhood
Existing Condition: None
Proposed Condition: Double sided entry feature located within the center median of 272nd Street & 137th Ave. Single sided entrance feature with pedestrian scaled trellis feature at the entry to the residential neighborhood.
Landscaping: Royal Palms 20' o.a. ht.
Shrubs and hedges.
Irrigation: Buried drip collar for establishment and continual maintenance.



S.W. 272nd Street and 137th Avenue



S.W. 272nd Street and Residential Neighborhood

PROPOSED CONDITION

ITEM N

Feb. 23, 2005

S.W. 272nd Street Entry Features

Tax Increment Financing District

Naranja Lakes, Florida

ITEM N

Feb. 23, 2005

Street Name: S.W. 272nd Street entrance features

Linear Feet: N/A

Code	Description	Quantity	Unit	Unit Price	Total
1 - 1	Entry Monument	1	LS	\$ 15,000.00	\$ 15,000.00
1 - 2	Entry Monument & Trellis	1	LS	\$ 30,000.00	\$ 30,000.00
3	Pathways	450	LF	\$ 6.00	\$ 2,700.00
4	Landscape & Irrigation	1	LS	\$ 17,456.69	<u>\$ 17,456.69</u>
					\$ 65,156.69

Mandarin Lakes

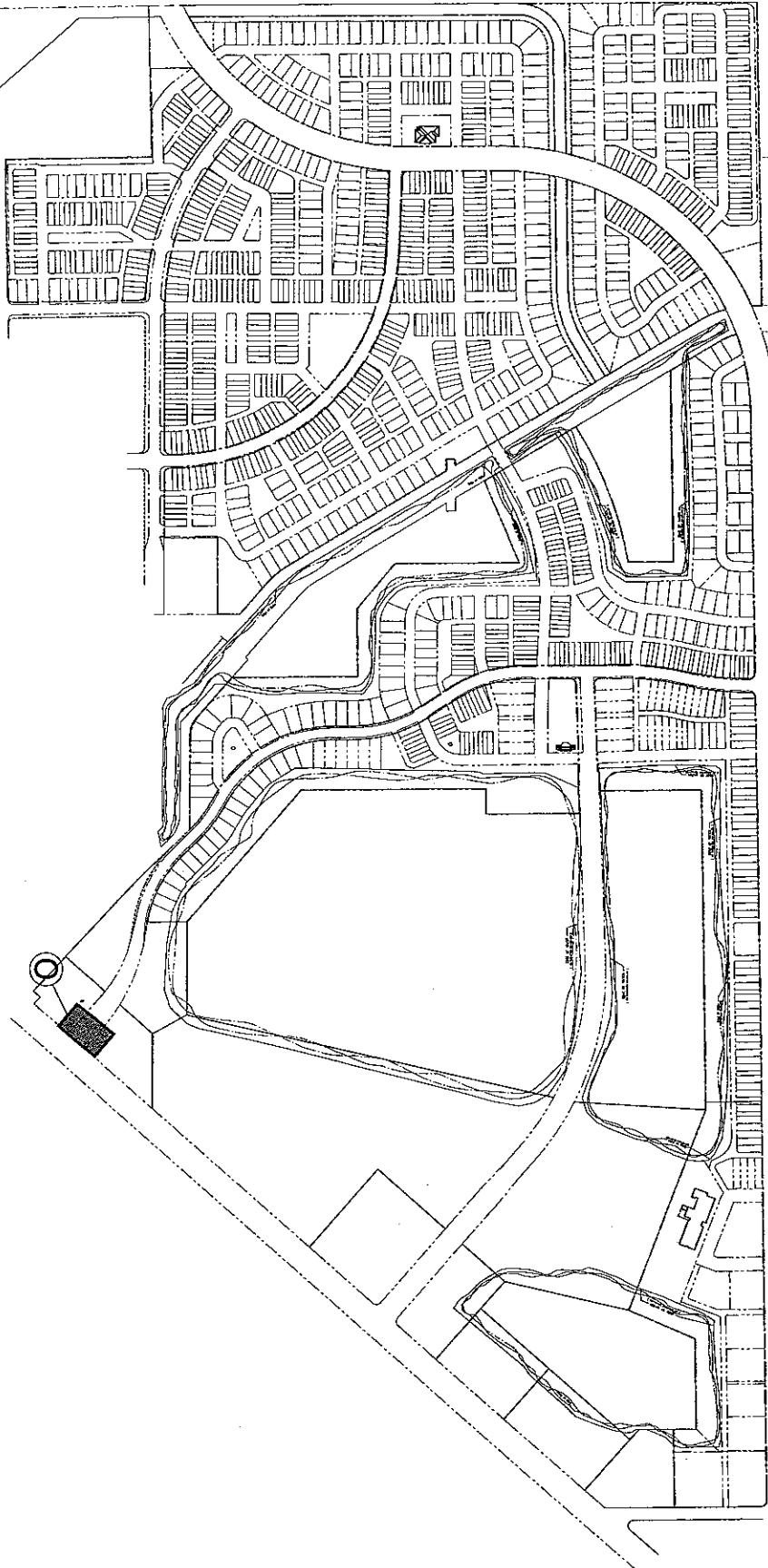
Master Planned
Communities
Mixed-Use
Town Centers
1163 Town Center Drive
Suite 202
Jupiter, Florida 33458
Sales Office: 561-401-0004

Miami-Dade County, Florida

Mandarin Lakes TND

MP-1

SHEET 1 OF 1
Saskatoon Development Inc.



North

Master Site Plan

Scale: 1" = 300'-0"

SITE DATA

	Gross Acres of TRD	201.59 Ac.	Density / Square footage
LAKES	24.31 Ac.		

RESIDENTIAL USE LOTS	47.25 Ac.	26.67% of Neighborhood Project [27% Required]
(# AC)		

PUBLIC USE TRACTS	11.09 Ac.	8.25% of Neighborhood Project [5% Required]
(# AC)		

CIVIC USE LOTS	6.19 Ac.	5.8% of Neighborhood Project [2% Required]
(# AC)		

SHOPFRONT USE LOTS	3.68 Ac.	2.11% of Neighborhood Project [2% Required]
(# AC)		

TYPE III	Large Townhouse	Large Townhouse - 27' x 57' wide lots

TYPE IV	Apartments	Apartment

HOUSE USE LOTS	62.27 Ac.	30.4% of Neighborhood Project 445 DU's [30% Maximum Required]
(# AC)		

TYPE V AND VI	Condominiums and Detached	Condominiums and Detached

TYPE VII	Stately	Stately

TYPE VIII & VIII	Detached Edge	Detached Edge

PROJECT TEAM

Owner(s) / Developer(s):
Mandarin Lakes Development, Inc.
1163 Town Center Drive, Suite 202
Jupiter, FL 33458
P: (561) 268-3100 F: (561) 269-6000
Email: karen@mandarinlakes.com

Surveyor:
Feld, Ammerman & Murray, Inc.
160 N.W. 1st Avenue, 2nd Floor
P: (305) 477-4402 F: (305) 772-2005
Email: info@fam.com

Landscape Architect:
Urban Design Group
100 N.E. 2nd Ave., Suite 505
Fort Lauderdale, Florida 33301
P: (954) 467-8557 F: (954) 467-8557
Email: urban@udg.com

ITEM 0

TAX INCREMENT FINANCING DISTRICT

NARANJA LAKES, FLORIDA

ENTRY FEATURE SPECIFICATIONS

SPECIFICATIONS:

Feature Name: S.W. 145th Avenue Entry
Intersecting Streets: S.W. 145th Avenue at US 1
Existing Condition: None
Proposed Condition: Double sided entry feature located within the center median of 145th Avenue & US 1.
Landscaping: Royal Palms 20' o.a. ht.
Shrubs and hedges.
Irrigation: Buried drip collar for establishment and continual maintenance.



S.W. 145th Avenue and US 1

S.W. 145th Avenue Entry Feature

PROPOSED CONDITION

ITEM O

Feb. 23, 2005

Tax Increment Financing District

Naranja Lakes, Florida

ITEM O

Feb. 23, 2005

Street Name: S.W. 145th Avenue entry feature

Linear Feet: N/A

Code	Description	Quantity	Unit	Unit Price	Total
1 - 1	Entry Monument	1	LS	\$ 15,000.00	\$ 15,000.00
3	Pathways	0	LF	\$ 6.00	\$ -
4	Landscape & Irrigation	1	LS	\$ 10,823.19	<u>\$ 10,823.19</u>
					\$ 25,823.19

TAX INCREMENT FINANCING DISTRICT

NARANJA LAKES, FLORIDA

PLAZA & STREET FURNITURE SPECIFICATIONS

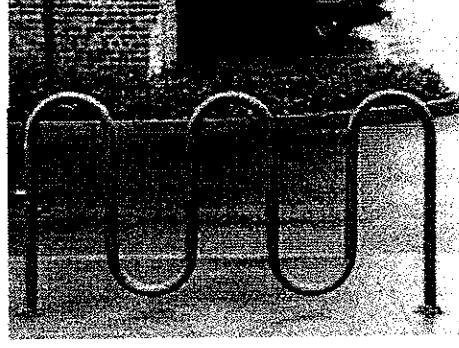
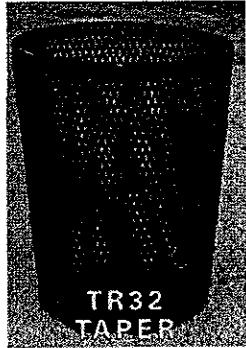
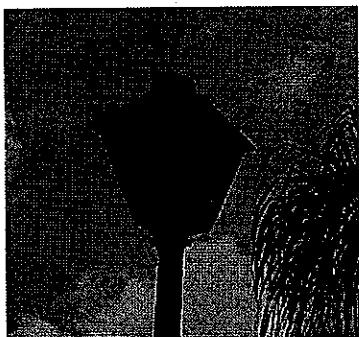
SPECIFICATIONS:

Feature Name: Plaza & Street Furnishings

Intersecting Streets: Overall Plan

Existing Condition: None

Proposed Condition: Benches, trash receptacles, bike racks
and street lights.



Plaza and Street Furnishings

PROPOSED CONDITION

Feb. 23, 2005

EXHIBIT "F"

CRA PROPERTY

Architectural
PLANNERS, INC.

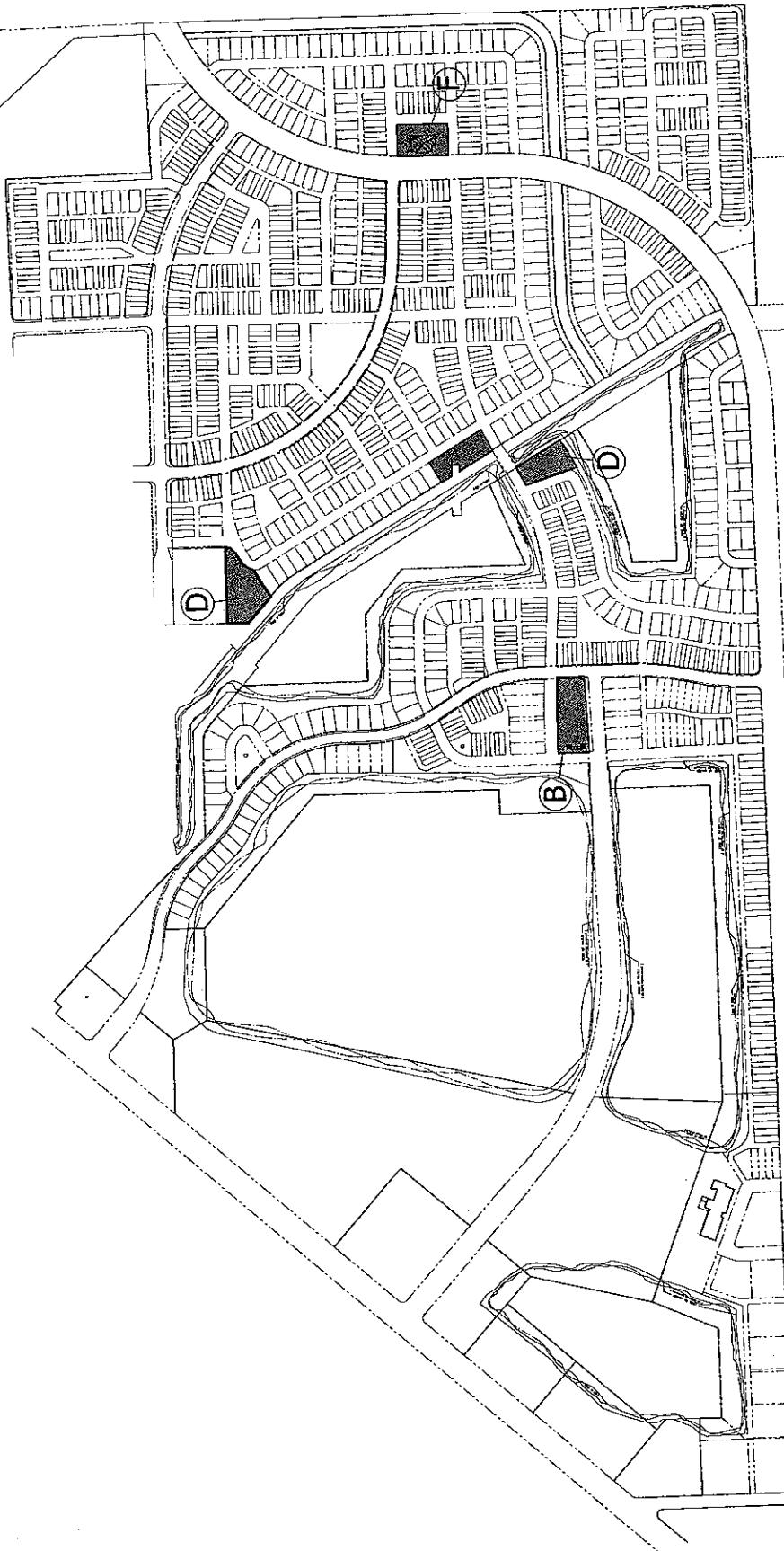
Master Planned
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Miami-Dade County, Florida

Mandarin Lakes TND

MP-1

Sheet 1 of 1
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PROJECT TEAM

Owner/Developer(s):
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Surveyor:
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Landscape Architect:
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1000 N.W. 6th Avenue, Suite 200
Miami, Florida 33136
P: (305) 477-4471 F: (305) 470-2600
Email: [info@landscapinginc.com](mailto:Email: info@landscapinginc.com)

SITE DATA

Density / Site Footage	
LAKES	24.31 Ac.
GROSS Acres of Neighborhood	201.89 Ac.
PUBLIC USE TRACTS (PARK)	11.08 Ac. [5% Required]
CIVIC USE LOTS (CIVIC)	5.18 Ac. [4.8% Neighborhood Pop.]
SHOPFRONT USE LOTS (S.F.)	3.48 Ac. [2.7% Required]
TYPE VII LOTS	1.14 Ac. [1.1% Required]
TYPE VIII LOTS	1.14 Ac. [1.1% Required]
TYPE IX LOTS	1.14 Ac. [1.1% Required]
WORKSHOP USE LOTS	5.64 Ac. [1.1% Neighborhood Pop.]
TYPE X Non-Residential	1.14 Ac. [1.1% Required]

ROWHOUSE USE LOTS (RHL)
• 14 RHL
[25% Required]

TYPE IIA
Small Townhouse

TYPE IIB
Large Townhouse - 2D w/ side lots

TYPE IIC
Large Townhouse - 2D w/ side lots

TYPE IID
Large Townhouse - 2D w/ side lots

HOUSE USE LOTS (HUL)
• 14 HUL
[25% Required]

TYPE IIIA
Attached

TYPE IIIB
Attached Edge

TYPE IV and VI
Clipped and Detached

TYPE V
Stapled

TYPE VIA & VIIB
Detached Edge



North

Master Site Plan

Scale: 1" = 300' 0"

EXHIBIT F