



FINAL AGENDA

Community Zoning Appeals Board 8
Dr. Martin Luther King, Jr. Center, Conference Rooms 1-4, 2525 NW 62 Street, Miami, FL
Wednesday, March 19, 2025 at 7:00 pm

PREVIOUSLY DEFERRED

APPEALS

CURRENT

- | | | | | | |
|----|-------------|--------------------|--------|----------|---|
| 1. | Z2024000105 | Legacy Rentals LLC | 24-105 | 53-41-10 | N |
|----|-------------|--------------------|--------|----------|---|



Official Zoning Agenda

COMMUNITY ZONING APPEALS BOARD

COMMUNITY ZONING APPEALS BOARD - AREA 8

MEETING OF MARCH 19, 2025

MARTIN LUTHER KING, JR., CENTER, CONFERENCE ROOMS 1-4

2525 NW 62 STREET, MIAMI, FLORIDA.

NOTICE: THE FOLLOWING HEARINGS ARE SCHEDULED FOR 7:00 P.M., AND

ALL PARTIES SHOULD BE PRESENT AT THAT TIME

ANY PERSON MAKING IMPERTINENT OR SLANDEROUS REMARKS OR WHO BECOMES BOISTEROUS WHILE ADDRESSING THE COMMUNITY ZONING APPEALS BOARD SHALL BE BARRED FROM FURTHER AUDIENCE BEFORE THE COMMUNITY ZONING APPEALS BOARD BY THE PRESIDING OFFICER, UNLESS PERMISSION TO CONTINUE OR AGAIN ADDRESS THE BOARD BE GRANTED BY THE MAJORITY VOTE OF THE BOARD MEMBERS PRESENT.

NO CLAPPING, APPLAUDING, HECKLING OR VERBAL OUTBURSTS IN SUPPORT OR OPPOSITION TO A SPEAKER OR HIS OR HER REMARKS SHALL BE PERMITTED. NO SIGNS OR PLACARDS SHALL BE ALLOWED IN THE MEETING ROOM. PERSONS EXITING THE MEETING ROOM SHALL DO SO QUIETLY.

THE USE OF CELL PHONES IN THE MEETING ROOM IS NOT PERMITTED. RINGERS MUST BE SET TO SILENT MODE TO AVOID DISRUPTION OF PROCEEDINGS. INDIVIDUALS, INCLUDING THOSE ON THE DAIS, MUST EXIT THE MEETING ROOM TO ANSWER INCOMING CELL PHONE CALLS. COUNTY EMPLOYEES MAY NOT USE CELL PHONE CAMERAS OR TAKE DIGITAL PICTURES FROM THEIR POSITIONS ON THE DAIS.

THE NUMBER OF FILED PROTESTS AND WAIVERS ON EACH APPLICATION WILL BE READ INTO THE RECORD AT THE TIME OF HEARING AS EACH APPLICATION IS READ.

THOSE ITEMS NOT HEARD PRIOR TO THE ENDING TIME FOR THIS MEETING, WILL BE DEFERRED TO THE NEXT AVAILABLE ZONING HEARING MEETING DATE FOR THIS BOARD.

SWEARING IN OF WITNESSES

I. Sunset Review

1. LEGACY RENTALS, LLC. Z2024000105

Area 08/District 02

The application is to permit a parcel of land with less lot area and less lot frontage than required by Code. Additionally, the application seeks to allow the proposed two story residence to be located closer to the front property line than required by Code.

(1) NON-USE VARIANCE to permit a parcel of land with a lot frontage of 40' (75' required) and a lot area of 2,680 sq. ft. (7,500 sq. ft. required).

(2) NON-USE VARIANCE to permit a proposed single-family residence to setback 22' (25' for 50% of the lineal footage of the width of the house and 15' for the balance of the required) from the front (north) property line.

Plans are on file and may be examined in the Department of Regulatory and Economic Resources, Site plan entitled "1730 NW 81 Terrace, Miami, Fl. 33147 / Folio #30-3110-057-0630" consisting of 1 sheet, dated stamped received 10/22/2024, Floor plan entitled "1730 NW 81 Terrace, Miami, Fl. 33147 / Folio #30-3110-057-0630", consisting of 1 sheet, dated stamped received 12/2/2024, Elevations plan entitled "17XX NW 81 Terrace, Miami, Fl. 33147 / Folio #30-3110-057-0630", consisting of 1 sheet, dated stamped received 6/25/2024", as prepared by Fausto Guerrero P.E., consisting of a total 3 sheets. Plans may be modified at public hearing.

LOCATION: Lying south of NW 81 Terrace, approximately 210 feet east of NW 18 Avenue, aka 1730 NW 81 Terrace, Miami-Dade County, Florida

SIZE OF PROPERTY: 0.06 Acre

Department of Regulatory and
Economic Resources
Recommendation:

Approval with conditions.

Protests: _____ 0 _____

Waivers: _____ 0 _____

APPROVED: _____

DENIED WITH PREJUDICE: _____

DENIED WITHOUT PREJUDICE: _____

DEFERRED _____

NOTICE

THE FOLLOWING SUMMARY INFORMATION IS PROVIDED AS A COURTESY; IT SHOULD NOT BE TREATED AS LEGAL ADVICE AND IT SHOULD NOT BE RELIED UPON. LEGAL CONSULTATION MAY BE WARRANTED IF AN APPEAL OR OTHER LEGAL CHALLENGE IS BEING CONTEMPLATED.

Decisions of the Community Zoning Appeals Board (CZAB) may be subject to appeal or other challenge. For example, depending upon the nature of the requests and applications addressed by the CZAB, a CZAB decision may be directly appealable to the Board of County Commissioners (BCC) or may be subject to challenge in Circuit Court. Challenges asserted in Circuit Court, where available, must ordinarily be filed within 30 days of the transmittal of the pertinent CZAB resolution to the Clerk of the BCC. Appeals to the BCC, where available, must be filed with the Zoning Hearing Section of the [Department of Regulatory and Economic Resources \(RER\)](#), or its successor Department, within 14 days after RER has posted a short, concise statement (such as that furnished above for the listed items) that sets forth the action that was taken by the CZAB. (RER's posting will be made on a bulletin board located in the office of RER.) All other applicable requirements imposed by rule, ordinance, or other law must also be observed when filing or otherwise pursuing any challenge to a CZAB decision.

Further information regarding options and methods for challenging a CZAB decision may be obtained from sources that include, but are not limited to, the following: Sections 33-312, 33-313, 33-314, 33-316, and 33-317 of the Code of Metropolitan Dade County, Florida; the Florida Rules of Appellate Procedure; and the Municode website (www.municode.com). Miami-Dade County does not provide legal advice regarding potential avenues and methods for appealing or otherwise challenging CZAB decisions; however, a licensed attorney may be able to provide assistance and legal advice regarding any potential challenge or appeal.

**Miami-Dade County Department of Regulatory and Economic Resources
Staff Report to Community Zoning Appeals Board No. 8**

PH: Z24-105

March 19, 2025

Item No. 1

Recommendation Summary	
Commission District	2
Applicants	Legacy Rentals, LLC.
Summary of Requests	The applicant seeks to permit a proposed two (2)-story single-family residence on a parcel of land with less area and less lot frontage than required by Code. Additionally, the applicant seeks to permit the proposed single-family residence to be located closer to the front property line than permitted by Code.
Location	Lying south of NW 81 Street, between NW 17 Avenue and NW 18 Avenue, aka 1730 NW 81 Terrace, Miami-Dade County, Florida.
Property Size	±0.06 Acres
Existing Zoning	RU-1, Single-Family Residential District
Existing Land Use	Vacant land
2030-2040 CDMP Land Use Designation	Low-Density Residential, 2.5 to 6 dua <i>(see attached Zoning Recommendation Addendum)</i>
Comprehensive Plan Consistency	Consistent with interpretative text, goals, objectives, and policies of the CDMP
Applicable Zoning Code Section(s)	Section 33-311(A)(4)(b), Non-Use Variance Standards From Other Than Airport Regulations <i>(see attached Zoning Recommendation Addendum)</i>
Recommendation	Approval with conditions.

REQUESTS:

- (1) NON-USE VARIANCE to permit a parcel of land with a lot area of 2,680 sq. ft. (7,500 sq. ft. required) and a lot frontage of 40' (75' required).
- (2) NON-USE VARIANCE to permit the proposed single-family residence to setback 22' (25' required for 50% of the lineal footage of the entire width of the house and 15' required for the balance) from the front (north) property line.

Plans are on file and may be examined in the Department of Regulatory and Economic Resources, Site plan entitled "1730 NW 81 Terrace, Miami, Fl. 33147 / Folio #30-3110-057-0630" consisting of 1 sheet, dated stamped received 10/22/2024, Floor plan entitled "1730 NW 81 Terrace, Miami, Fl. 33147 / Folio #30-3110-057-0630", consisting of 1 sheet, dated stamped received 12/2/2024, Elevations plan entitled "17XX NW 81 Terrace, Miami, Fl. 33147 / Folio #30-3110-057-0630", consisting of 1 sheet, dated stamped received 6/25/2024", as prepared by Fausto Guerrero P.E., consisting of a total 3 sheets. Plans may be modified at public hearing.

PROJECT DESCRIPTION:

The subject property is a ±0.06-acre vacant parcel zoned RU-1, Single-Family Residential District, that is located inside the Urban Development Boundary. The applicant seeks to permit the parcel of land to be developed as a single-family home with less lot area and less lot frontage than required by Code. Additionally, the applicant seeks to permit the proposed single-family residence to setback less than required from the front (north) property line. The submitted plans show a proposed two (2)- story single-family home with 1,200 sq. ft. of living area.

NEIGHBORHOOD CHARACTERISTICS		
	Zoning and Existing Use	Land Use Designation
Subject Property	RU-1, vacant land	Low-Density Residential (2.5 to 6 dua)
North	RU-1, single-family residence	Low-Density Residential (2.5 to 6 dua)
South	RU-1, single-family residence	Low-Density Residential (2.5 to 6 dua)
East	RU-1, single-family residence	Low-Density Residential (2.5 to 6 dua)
West	RU-1, vacant land	Low-Density Residential (2.5 to 6 dua)

NEIGHBORHOOD COMPATIBILITY:

The ±0.06-acre subject property is an interior lot in an established residential neighborhood and is developed under the RU-1, Single-Family Residential District zoning regulations. The surrounding area is generally comprised of single-family residences to the north, south, and east, with a vacant parcel located directly to the west of the subject property.

SUMMARY OF THE IMPACTS:

The approval of this application will allow the applicant to develop the currently vacant, and a smaller in size than required subject property with a single-family residence under the RU-1 zoning regulations. Staff notes that the Platting and Traffic Review section of the Department of Regulation and Economic Resources (RER) indicate in their memorandum that the parcel lies within the urban infill area of the County where traffic concurrency does not apply. Notwithstanding, the application does not exceed the acceptable Level of Service (LOS) on the neighboring roadways, and generates only 1 PM peak hour vehicle trip.

COMPREHENSIVE DEVELOPMENT MASTER PLAN ANALYSIS:

The ±0.06-acre subject property is located within the Urban Development Boundary (UDB) and the Comprehensive Development Master Plan (CDMP) Adopted 2030-2040 Land Use Plan (LUP) map designates the site as **Low Density Residential**. The CDMP Land Use Element interpretative text for Low Density Residential states; *“residential densities allowed in this category shall range from a minimum of 2.5 to a maximum of 6.0 dwelling units per gross acre”*, and this density category *“is generally characterized by single family housing, e.g., single-family detached, cluster, and townhouses.”* The applicant seeks to permit a substandard lot to have less lot frontage and area than required in order to develop the site with a proposed single-family residence (request #1), along with an ancillary non-use variance to allow a proposed residence to encroach a minimal 3-feet into the front setback area (request #2). The existing CDMP designation would allow the applicant to develop the ±0.06-acre subject property with a maximum of one (1)-residential unit which is the maximum density allowed under the Low Density Residential category.

The applicant seeks approval to permit the subject lot with less lot area and less lot frontage than required. Staff notes that the surrounding area is primarily made up of existing single-family residences on substandard lots, and vacant parcels. Staff further notes that Miami-Dade County policies require that the County shall give “priority to infill development on vacant sites in currently

urbanized areas, and redevelopment of substandard or underdeveloped environmentally suitable urban areas contiguous to existing urban development where all necessary urban services and facilities are projected to have capacity to accommodate additional demand”, and require that “Miami-Dade County take specific measures to promote infill development that are located in the Urban Infill Area (UIA) as defined in Policy TC-1B.” Staff, therefore, opines that approval with conditions of the proposed application would be compatible with the surrounding area based on the CDMP policies and with the compatibility criteria set forth in the CDMP Land Use Element Policy LU-4A which states that *when evaluating compatibility among proximate land uses, the County shall consider, among other things, such factors as height, bulk, scale of architectural elements as applicable.* Additionally, since the applicant is not requesting to add any additional dwelling unit to the site other than the proposed single-family residence as allowed under the density threshold, staff opines that approval of the application with conditions would be **consistent** with the density threshold of the Low Density Residential Communities map of the CDMP LUP map designation.

ZONING ANALYSIS:

The ±0.06-acre subject property is lying south of NW 81 Street, between NW 17 Avenue and NW 18 Avenue, in an area developed under the RU-1, Single-Family Residential District. The applicant seeks approval for a proposed two (2)-story single-family residence with a lot area of 2,680 sq. ft. (7,500 sq. ft. required) and a lot frontage of 40' (75' required) (request #1), and to permit the proposed single-family residence to setback 22' (25' required for 50% of the lineal footage of the entire width of the house and 15' required for the balance) from the front (north) property line (request #2). When requests #1 and #2 are analyzed under the Non-Use Variances From Other Than Airport Regulations, Section 33-311(A)(4)(b), staff opines that the approval of the requested non-use variances with conditions would be **compatible** with the surrounding area, would not be detrimental to the neighborhood and would not affect the appearance of the community. Staff further opines that the ancillary non-use variance request for a reduced setback due to the encroachment by the proposed single-family residence by 3-feet into the front setback area (request #2) is minimal in nature, and would not have any significant visual impacts on the properties to the north which are further separated by the NW 81 Terrace right-of-way. It is important to mention that the approval of request #2 for a setback reduction from the front (north) property line could be obtained through the Administrative Adjustment Procedure pursuant to Section 33-36.1 of the County Code. Such procedure the applicant opted to have the variance heard at public hearing allows a setback reduction of 50% and shall be accompanied by the signed consent of all contiguous property owners, including those located across the street(s) from the subject site. Staff has no objections and opines that the approval with conditions of these requests would be compatible with the surrounding area, would not be detrimental to the neighborhood and would not affect the appearance of the community.

Staff's research of the area found similar approvals for substandard lots. For example, pursuant to Resolution #4-ZAB-437-80, two properties located across the street at 1717 NW 81 Terrace and 1721 NW 81 Terrace were each approved for a reduced lot frontage of 63' (75' required) and a lot area of 5,260 sq. ft. (7,500 sq. ft. required). Staff notes that the Platting and Traffic Review Section of the Department of Regulatory and Economic Resources (RER) memorandum dated July 24, 2024, states the application meets traffic concurrency criteria, the department does not object to the application and indicates that the application will generate approximately 1 PM vehicle trip. Further, the Division of Environmental Resources Management (DERM) of the Department of Regulatory and Economic Resources, in their memorandum dated February 27, 2025, states that they do not object to the requests sought under this application. Additionally, the memorandum from the Water and Sewer Department (WASD) dated December 16, 2024, states that they have no objection to this application. Further, the memorandum from the Miami-Dade Fire Rescue

Department dated June 28, 2024, indicates that the proposed single-family will not have a negative impact on the fire rescue services in the area. Based on the foregoing analysis, staff opines that the proposed single-family residence would not be detrimental to the neighborhood or create adverse privacy or visual impact on adjacent residences area and that the request would be compatible with the surrounding area. As such approval with conditions of the application would not be an obvious departure from the aesthetic character of the immediate vicinity. **Therefore, staff recommends approval with conditions of the application under Section 33-311(A)(4)(b), Non-Use Variances From Other Than Airport Regulations.**

ACCESS, CIRCULATION AND PARKING: Not applicable.

NEIGHBORHOOD SERVICES PROVIDER COMMENTS: See attached.

OTHER: N/A

RECOMMENDATION: Approval with conditions.

CONDITIONS FOR APPROVAL:

1. That a site plan be submitted to and meet with the approval of the Director of the Department of Regulatory and Economic Resources upon the submittal of an application for a building permit and/or Certificate of Use; said plan must include among other things but not be limited to, location of structure or structures, exits and entrances, drainage, walls, fences, landscaping, and other requirements.
2. That in the approval of the plan, the same be substantially in accordance with that submitted for the hearing site plan entitled, "1730 NW 81 Terrace, Miami, Fl. 33147 / Folio #30-3110-057-0630" consisting of 1 sheet, dated stamped received 10/22/2024, Floor plan entitled "1730 NW 81 Terrace, Miami, Fl. 33147 / Folio #30-3110-057-0630", consisting of 1 sheet, dated stamped received 12/2/2024, Elevations plan entitled "17XX NW 81 Terrace, Miami, Fl. 33147 / Folio #30-3110-057-0630", consisting of 1 sheet, dated stamped received 6/25/2024", as prepared by Fausto Guerrero P.E., consisting of a total 3 sheets. Except any future additions on the property which conform to zoning code requirements will not require further public hearing action.
3. That the use be established and maintained in accordance with the approved plan.
4. That the applicant complies with all the applicable conditions, requirements, recommendations, requests, and other provisions of the Division of Environmental Resources Management of the Department of Regulatory and Economic Resources as contained in its memorandum dated February 27, 2025.

ES:JB:SS:EA:VM



Eric Silva, AICP, Assistant Director
Development Services Division
Miami-Dade County Department of
Regulatory and Economic Resources

ZONING RECOMMENDATION ADDENDUM

Legacy Rentals, LLC.
PH: Z24-105

NEIGHBORHOOD SERVICES PROVIDER COMMENTS	
<i>Division of Environmental Resource Management (RER)</i>	<i>No objection*</i>
<i>Platting and Traffic Review Section (RER)</i>	<i>No objection</i>
<i>Miami-Dade Fire Rescue</i>	<i>No objection</i>
<i>Water & Sewer Department (WASD)</i>	<i>No objection</i>
<i>Building and Neighborhood Compliance (BNC)</i>	<i>No objection</i>
<i>*Subject to conditions in their memorandum.</i>	

COMPREHENSIVE DEVELOPMENT MASTER PLAN (CDMP) OBJECTIVES, POLICIES AND INTERPRETATIVE TEXT

Low Density Residential <i>(Pg. I-31)</i>	<i>The Adopted 2030 and 2040 Land Use Plan designates the subject property as being within the Urban Development Boundary for Low Density Residential. The residential densities allowed in this category shall range from a minimum of 2.5 to a maximum of 6.0 dwelling units per gross acre. Residential densities of blocks abutting activity nodes as defined in the Guidelines for Urban Form, or of blocks abutting section line roads between nodes, shall be allowed a maximum residential density of 10.0 dwelling units per gross acre. To promote infill development, residential development exceeding the maximum density of 6.0 dwelling units per acre is permitted for substandard lots that were conveyed or platted prior to August 2nd, 1938. This density category is generally characterized by single family housing, e.g., single family detached, cluster, and townhouses. It could include low-rise apartments with extensive surrounding open space or a mixture of housing types provided that the maximum gross density is not exceeded.</i>
LU-1C (Pg. I-2)	<i>Miami-Dade County shall give priority to infill development on vacant sites in currently urbanized areas, and redevelopment of substandard or underdeveloped environmentally suitable urban areas contiguous to existing urban development where all necessary urban services and facilities are projected to have capacity to accommodate additional demand.</i>
LU-12 (Pg. I-24)	<i>Miami-Dade County shall take specific measures to promote infill development that are located in the Urban Infill Area (UIA) as defined in Policy TC-1B or in a built-up area with urban services that is situated in a Community Development Block Grant (CDBG)-eligible area, a Targeted Urban Area identified in the Urban Economic Revitalization Plan for Targeted Urban Areas, an Enterprise Zone established pursuant to state law</i>
Objective LU-4A (Pg. I-9)	<i>When evaluating compatibility among proximate land uses, the County shall consider such factors as noise, lighting, shadows, glare, vibration, odor, runoff, access, traffic, parking, height, bulk, scale of architectural elements, landscaping, hours of operation, buffering, and safety, as applicable.</i>

ZONING RECOMMENDATION ADDENDUM

Legacy Rentals, LLC.
PH: Z24-105

PERTINENT ZONING REQUIREMENTS/STANDARDS

<p>Sec. 33-49. minimum widths, lot areas, lot coverage, and minimum building sizes.</p>	<p><i>For the districts enumerated in this section, the minimum width and area of lots, the maximum lot coverage, and minimum building sizes shall be as set forth in the following table:</i></p> <table border="1" style="width: 100%; border-collapse: collapse; text-align: center;"> <thead> <tr> <th style="text-align: left;">District</th> <th style="text-align: left;">Families</th> <th style="text-align: left;">Min. Width</th> <th style="text-align: left;">Min. Lot Area (Sq. Ft.)</th> <th style="text-align: left;">Max. Lot Coverage (% of Lot Area)</th> <th style="text-align: left;">Min. Bldg. Size (Cu. Ft.)</th> </tr> </thead> <tbody> <tr> <td style="text-align: left;">District</td> <td style="text-align: left;">Families</td> <td style="text-align: left;">Min. Width</td> <td style="text-align: left;">Min. Lot Area (Sq. Ft.)</td> <td style="text-align: left;">Max. Lot Coverage (% of Lot Area)</td> <td style="text-align: left;">Min Bldg. Size (Cu Ft)</td> </tr> <tr> <td rowspan="2" style="text-align: left;">RU-1</td> <td rowspan="2" style="text-align: left;">1</td> <td style="text-align: left;">New sub.-75'</td> <td style="text-align: left;">7,500</td> <td style="text-align: left;">40%</td> <td style="text-align: left;">8,500</td> </tr> <tr> <td style="text-align: left;">Old sub.-50'</td> <td style="text-align: left;">5,000</td> <td style="text-align: left;">35%</td> <td style="text-align: left;">8,500</td> </tr> <tr> <td style="text-align: left;">RU-1M(a)</td> <td style="text-align: left;">1</td> <td style="text-align: left;">50'</td> <td style="text-align: left;">5,000</td> <td style="text-align: left;">45%</td> <td style="text-align: left;">8,500</td> </tr> <tr> <td style="text-align: left;">RU-1M(b)</td> <td style="text-align: left;">1</td> <td style="text-align: left;">60'</td> <td style="text-align: left;">6,000</td> <td style="text-align: left;">45%</td> <td style="text-align: left;">8,500</td> </tr> <tr> <td rowspan="2" style="text-align: left;">RU-1Z</td> <td rowspan="2" style="text-align: left;">1</td> <td style="text-align: left;">New sub.-45'</td> <td style="text-align: left;">4,500</td> <td style="text-align: left;">50%</td> <td style="text-align: left;">8,500</td> </tr> <tr> <td style="text-align: left;">Old sub.*</td> <td></td> <td></td> <td></td> </tr> <tr> <td rowspan="6" style="text-align: left;">RU-2</td> <td rowspan="2" style="text-align: left;">1</td> <td style="text-align: left;">New sub.-75'</td> <td style="text-align: left;">7,500</td> <td style="text-align: left;">35%</td> <td style="text-align: left;">8,500</td> </tr> <tr> <td style="text-align: left;">Old sub.-None</td> <td style="text-align: left;">3,750</td> <td style="text-align: left;">30%</td> <td style="text-align: left;">8,500</td> </tr> <tr> <td rowspan="2" style="text-align: left;">2 singles</td> <td style="text-align: left;">New sub.-75'</td> <td style="text-align: left;">7,500</td> <td style="text-align: left;">30%</td> <td style="text-align: left;">8,500 front res. 5,000 rear res.</td> </tr> <tr> <td style="text-align: left;">Old sub.-50'</td> <td style="text-align: left;">5,550</td> <td style="text-align: left;">30%</td> <td style="text-align: left;">8,500 front res. 3,000 rear res.</td> </tr> <tr> <td rowspan="2" style="text-align: left;">duplex</td> <td style="text-align: left;">New sub.-75'</td> <td style="text-align: left;">7,500</td> <td style="text-align: left;">30%</td> <td style="text-align: left;">8,500</td> </tr> <tr> <td style="text-align: left;">Old sub.-50'</td> <td style="text-align: left;">5,550</td> <td style="text-align: left;">30%</td> <td style="text-align: left;">8,500</td> </tr> </tbody> </table>	District	Families	Min. Width	Min. Lot Area (Sq. Ft.)	Max. Lot Coverage (% of Lot Area)	Min. Bldg. Size (Cu. Ft.)	District	Families	Min. Width	Min. Lot Area (Sq. Ft.)	Max. Lot Coverage (% of Lot Area)	Min Bldg. Size (Cu Ft)	RU-1	1	New sub.-75'	7,500	40%	8,500	Old sub.-50'	5,000	35%	8,500	RU-1M(a)	1	50'	5,000	45%	8,500	RU-1M(b)	1	60'	6,000	45%	8,500	RU-1Z	1	New sub.-45'	4,500	50%	8,500	Old sub.*				RU-2	1	New sub.-75'	7,500	35%	8,500	Old sub.-None	3,750	30%	8,500	2 singles	New sub.-75'	7,500	30%	8,500 front res. 5,000 rear res.	Old sub.-50'	5,550	30%	8,500 front res. 3,000 rear res.	duplex	New sub.-75'	7,500	30%	8,500	Old sub.-50'	5,550	30%	8,500
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<p>Sec. 33-50. Table of setback lines in residential and estate districts.</p>	<p><i>(a) The minimum setback distances and spacing requirements in residential and estate districts shall be as follows:</i></p> <table border="1" style="width: 100%; border-collapse: collapse; text-align: center;"> <thead> <tr> <th style="text-align: left;">District/Families</th> <th style="text-align: left;">Front (Ft.)</th> <th style="text-align: left;">Rear (Ft.)</th> <th style="text-align: left;"></th> <th style="text-align: left;">Interior Side (Ft.)</th> <th style="text-align: left;">Side Street (Ft.)</th> </tr> </thead> <tbody> <tr> <td style="text-align: left;">RU-1: One</td> <td style="text-align: left;">15 for 50% of the lineal footage of the width of the house and 25 for balance; except 20 for attached garages</td> <td style="text-align: left;">15 for 50% of the lineal footage of the width of the house and 25 for balance</td> <td style="text-align: center;">—</td> <td style="text-align: left;">10% lot width min.—5' max.—7½'</td> <td style="text-align: left;">15</td> </tr> <tr> <td style="text-align: left;">Acc. bldg.</td> <td style="text-align: left;">75</td> <td style="text-align: left;">5</td> <td></td> <td style="text-align: left;">same as RU-1 res.</td> <td style="text-align: left;">equal to front setback requirements for principal structure on key lot, plus 5'; 20' where there is no key lot.</td> </tr> <tr> <td style="text-align: left;">Canopy carport</td> <td style="text-align: left;">5</td> <td style="text-align: left;">5</td> <td style="text-align: center;">—</td> <td style="text-align: left;">2</td> <td style="text-align: left;">5</td> </tr> </tbody> </table>	District/Families	Front (Ft.)	Rear (Ft.)		Interior Side (Ft.)	Side Street (Ft.)	RU-1: One	15 for 50% of the lineal footage of the width of the house and 25 for balance; except 20 for attached garages	15 for 50% of the lineal footage of the width of the house and 25 for balance	—	10% lot width min.—5' max.—7½'	15	Acc. bldg.	75	5		same as RU-1 res.	equal to front setback requirements for principal structure on key lot, plus 5'; 20' where there is no key lot.	Canopy carport	5	5	—	2	5																																																
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<p>33-311(A)(4)(b) Non-Use Variances From Other Than Airport Regulations</p>	<p><i>Upon appeal or direct application in specific cases, the Board shall hear and grant applications for non-use variances from the terms of the zoning and subdivision regulations and may grant a non-use variance upon a showing by the applicant that the non-use variance maintains the basic intent and purpose of the zoning, subdivision and other land use regulations, which is to protect the general welfare of the public, particularly as it affects the stability and appearance of the community and provided that the non-use variance will be otherwise compatible with the surrounding land uses and would not be detrimental to the community. No showing of unnecessary hardship to the land is required.</i></p>																																																																								

Building and Neighborhood Compliance

ENFORCEMENT HISTORY

LEGACY RENTALS, LLC/MILDRED,
MARCH

N/A
MIAMI-DADE COUNTY, FLORIDA.

APPLICANT

ADDRESS

Pending

Z2024000105

DATE

HEARING NUMBER

FOLIO: 30-3110-057-0630

REVIEW DATE OF CURRENT ENFORCEMENT HISTORY:

August 1, 2024

NEIGHBORHOOD REGULATIONS:

Case No. 202404002796 was opened on 06/05/2024. Warning Notice W430472 was issued on 06/05/2024 for STORING OR MAINTAINING SOLID WASTE, JUNK, TRASH, AND/OR DEBRIS AS STATED IN 19-13(A)(1), TO WIT: JUNK/TRSH AND DEBRIS SCATTERED ON VACANT LOT. CLEAR LOT OF ALL JUNK/TRASH AND DEBRIS. A compliance inspection conducted on 06/21/2024 revealed that the violation was corrected. Case is closed.

BUILDING SUPPORT REGULATIONS:

There are no open/closed cases in BSS.

VIOLATOR:

LEGACY RENTALS, LLC/MILDRED, MARCH

OUTSTANDING LIENS AND FINES:


There are no outstanding liens or fines.

Memorandum



Date: February 27, 2025

To: Lourdes M. Gomez, AICP, Director
Department of Regulatory and Economic Resources

From: Lisa M. Spadafina, RER Assistant Director
Division of Environmental Resources Management 

Subject: Z2024000105-2nd Review
Legacy Rentals LLC
1730 NW 81st Terrace
Non-Use Variance for lot size and frontage requirements for a
proposed single-family residence.
(RU-1) (0.064 Acres)
10-53-41

The Department of Regulatory and Economic Resources – Division of Environmental Resources Management (DERM) has reviewed the above referenced zoning application for compliance with the requirements of Chapter 24 of the Miami-Dade County Code (the Code) for potable water service and wastewater disposal. Based on the information provided, this zoning application is approved pursuant to section 24-43.1 of the Code regarding potable water service and wastewater disposal.

Potable Water Supply

According to DERM records, public water is currently abutting the subject property. Pursuant to the Code and based on the proposed site plan, the proposed development shall connect to public water in accordance with Code requirements.

Under section 24-43.4(2)(b)(iii) of the Code, once a property or portion thereof is determined to be within feasible distance, the owner shall record, in the Public Records of Miami-Dade County and at the owner's expense, a covenant in a form acceptable to the Director acknowledging that the property shall be required to connect to the applicable public infrastructure as a condition of any building permit for development on the property or portion thereof.

Existing public water facilities and services meet the Level of Service (LOS) standards set forth in the Comprehensive Development Master Plan (CDMP). Furthermore, the proposed development order, if approved, will not result in a reduction in the LOS standards subject to compliance with the conditions required by DERM for this proposed development order.

Conditions of Approval: That the property owner submits a covenant in accordance with the requirements of section 24-43.4(2)(b)(iii) of the Code.

Wastewater Disposal

Based on feasible distance requirements in section 24-43.4 of the Code and the letter of intent submitted with this application, the property is not currently within feasible distance to connect to the public sewer system. Consequently, the proposed development would have to be served by an Onsite Sewage Treatment and Disposal System (OSTDS) as a means for the disposal of domestic liquid waste.

In accordance with section 24-43.1(3) of the Code, no zoning action shall be approved if a proposed residential land use is to be served by OSTDS and any source of water until it is determined that the proposed development complies with this section of the Code and public sanitary sewers are not within feasible distance. The minimum lot size for a single-family residence served by public water and an OSTDS tank shall be 15,000 square feet (gross).

In as much as the proposed development does not comply with the abovementioned Code requirements, section 24-43.1(3)(c) of the Code allows administrative approval if among other requirements public sanitary sewers are not within feasible distance and the property was part of a recorded subdivision which was created by plat prior to January 1, 1972 or deed prior to January 1, 1958, but has continuously remained in the same form as set forth in the originally recorded plat or deed.

Based on the survey provided with this application, stamped received by Miami Dade County on June 25th, 2024. The property is legally described as the East 40 feet of the West 232.79 feet of Tract 7, of "Revised Plat of West Little River", according to the Plat thereof, as recorded in Plat Book 34, Page 19, of the Public Records of Miami-Dade County, Florida. Based on the available information, the proposed development complies with section 24-43.1(3)(c) of the Code and the proposed single-family residence can be administratively approved.

This analysis is based on the Subject Property as a single plot and parcel of land as described in the aforementioned survey.

Further, this analysis is based on sanitary sewer infrastructure as it exists at the time of this application. Please be advised that sanitary sewer system infrastructure is constantly changing, and future applications related to this property will be reanalyzed based on the infrastructure that exists at the time of such future applications.

Conditions of Approval: None

Water Control Review

Stormwater shall be retained on site utilizing properly designed seepage or infiltration drainage system. Drainage plans shall provide for full on-site retention of the stormwater runoff generated by a 5-year storm event.

Site grading and development plans shall comply with the requirements of Chapter 11C of the Code, as well as with all state and federal criteria, and shall not cause flooding of adjacent properties.

Any proposed development shall comply with county and federal flood criteria requirements. The proposed development order, if approved, will not result in a reduction in the LOS standards for flood protection set forth in the CDMP subject to compliance with the conditions required for this proposed development order.

Conditions of Approval: None

Tree Preservation

An aerial review of the subject property indicates the presence of tree resources; however, the site plan entitled "17XX NW 81 Terrace" prepared by Fausto Guerrero, P.E., and dated as received by Miami-Dade County on June 25, 2024, was submitted with the subject application, and indicates that tree

resources onsite will not be removed. Please note that a Miami-Dade County Tree Permit is required prior to the removal and/or relocation of any tree that is subject to the tree preservation and protection provisions of the Code. Projects and permits shall comply with the requirements of sections 24-49.2 and 24-49.4 of the Code.

In accordance with section 24-49.9 of the Code, all plants prohibited by Miami-Dade County shall be removed from all portions of the property prior to development, or redevelopment and developed parcels shall be maintained to prevent the growth or accumulation of prohibited species. Please contact Jackelyn Alberdi at Jackelyn.Alberdi@miamidade.gov regarding any additional information or concerns with this review.

Conditions of Approval: None

Enforcement History

There are no open or closed enforcement records for violations of Chapter 24 of the Code for the subject property. There are no outstanding DERM liens or fines for the subject property.

Concurrency Review Summary

A concurrency review has been conducted for this application and DERM has determined that the same meets all applicable LOS standards for an initial development order as specified in the adopted CDMP for potable water supply, wastewater disposal, and flood protection. This concurrency approval is valid only for this initial development order. Pursuant to Chapter 33G of the Code, a final concurrency statement will be issued at the time of final development order.

If you have any questions concerning the comments or wish to discuss this matter further, please contact Ninfa Rincon at (305)372-6764.


cc: Eric Silva, Department of Regulatory and Economic Resources

Memorandum



Date: December 16, 2024

To: Eric Silva, AICP, Assistant Director
Development Services Division
Department of Regulatory and Economic Resources (RER)

From: Maria A. Valdes, CSM, LEED® Green Associate
Chief, Planning & Water Certification Section
Water and Sewer Department (WASD) 

Subject: Zoning Application Comments - Legacy Rentals LLC
Application No. Z2024000105 - Revision No. 1

The Water and Sewer Department has reviewed the proposed development for the subject zoning application. WASD has no objection to this zoning application, based on the information provided. Additional requirements may be needed at the time of permitting. The information provided below is preliminary and it does not affect the Zoning process.

Application Name: Legacy Rentals LLC

Location: The proposed project is located on approximately 0.06 acres on the south side of NW 81st Terrace, approximately 215 feet east of NW 18th Avenue with Folio No. 30-3110-057-0630, in unincorporated Miami-Dade County.

Proposed Development: The Applicant is requesting a Use Variance in order to develop a new Single-Family Residence (SFR) under 3,001 sq. ft., replacing vacant land.

The estimated total water demand for the proposed project will be 210 gallons per day (gpd).

Water: The proposed development is located within the WASD's water service area. The water supply will be provided by the Hialeah-Preston Water Treatment Plant (WTP). Currently, there is adequate treatment and water supply capacity at the WTP, consistent with Policy WS-2 A (1) of the CDMP.

A WASD Verification Form No. 24-2024-W-VF – 4544 was issued on August 6, 2024, for the subject project, and a pressure test was performed and it passed, and no irrigation meter is being requested. Therefore, there is an existing 4-inch water main (E8223-29) abutting the property along NW 81st Terrace to where the developer may connect to provide water service.

A Water Supply Certification (WSC) was issued for the proposed development on August 6, 2024, through WASD Verification Form No. 24-2024-W-VF – 4544. The WSC letter shall remain active in accordance with terms and conditions specified in said certification. The WSC is required consistent with Policy CIE-5D and WS-2C in the County's CDMP and in accordance with the permitted withdrawal capacity in the WASD's 20-year Water Use Permit.

For more information on the Water Supply Certification Program please go to <http://www.miamidade.gov/water/water-supply-certification.asp>

In addition, all future development will be required to comply with water use efficiency techniques for indoor water use and with landscape standards in accordance with Sections 8-31, 32-84, 18-A, and 18-B of the Miami-Dade County Code, consistent with Policies WS-5E and WS-5F of the CDMP.

For more information about our Water Conservation Program please go to <http://www.miamidade.gov/conservation/home.asp>

For information concerning the Water-Use Efficiency Standards Manual please go to <http://www.miamidade.gov/waterconservation/library/instructions/water-use-efficiency-standards-manual.pdf>

Sewer: The proposed development is located within the WASD's sewer service area. There is no sanitary sewer connection in close proximity to this property at the present time.

Any public water or sewer infrastructure must be within a public right-of-way, or within a utility easement.

Below please find additional links to the WASD portal, which provides information on the Construction & Development process for water and sewer infrastructure.

<http://www.miamidade.gov/water/construction-development.asp>

<http://www.miamidade.gov/water/construction-service-agreement.asp>

<http://www.miamidade.gov/water/construction-existing-service.asp>

<http://www.miamidade.gov/water/library/forms/service-agreement.pdf>

Should you have any questions, please contact Maria A. Valdes, Chief, Planning & Water Certification Section at (786) 552-8198 or mavald@miamidade.gov, Alfredo B. Sanchez at (786) 552-8237 or sanalf@miamidade.gov, or Benita Ramirez at (786) 552-8121 or benram@miamidade.gov.

Memorandum



Date: July 24, 2024

To: Eric Silva, AICP, Assistant Director
Department of Regulatory and Economic Resources

From: Raul A. Pino, PLS, Chief
Platting and Traffic Review Section
Department of Regulatory and Economic Resources

Subject: Z2024000105
Name: Legacy Rentals LLC
Location: 1730 NW 81 Terrace
Section 10 Township 53 South Range 41 East

The Department of Regulatory and Economic Resources Platting and Traffic Review Section has reviewed the subject application and has **no objections**.

This land requires platting in accordance with Chapter 28 of the Miami-Dade County Code. Any right-of-way dedication per Miami-Dade Chapter 33-133 and Chapter 28 and/or improvements required will be accomplished thru the recording of the plat.

This application meets the traffic concurrency criteria because it lies within the urban infill area where traffic concurrency does not apply. It will generate approximately **1 PM** peak hour vehicle trip.

The request herein, constitutes an Initial Development Order only, and one or more traffic concurrency determinations will subsequently be required before development will be permitted.

Notes: PM =Post Meridiem

The PM peak hour refers to the highest hour of vehicle trips generated during the afternoon peak hours of 4-6 PM

Standard Conditions:

- A letter or a plan containing the following certification signed and sealed by a State of Florida registered engineer shall be submitted as part of the paving and drainage plans: "I hereby certify that the all of the roads for the subject project comply with all of the applicable portions of the Manual of Uniform Minimum Standards for Design, Construction and Maintenance for Streets and Highways (Florida Greenbook) regarding: design speed, lane widths, horizontal alignment, vertical alignment, stopping sight distance, sight distance, horizontal clearance, vertical clearance, superelevation, shoulder widths, grades, bridge widths, etc."
- All landscaping, walls, fences, entrance features, etc. will be subject to the Safe Sight Distance Triangle as per Section 33-11 of the Miami-Dade County Code and G5.3 of the Public Works and Waste Management Department Manual.

Memorandum



Date: December 06, 2024

To: Eric Silva, Assistant Director
Regulatory and Economic Resources

From: Alejandro G Cuello, Principal Planner
Miami-Dade Fire Rescue Department

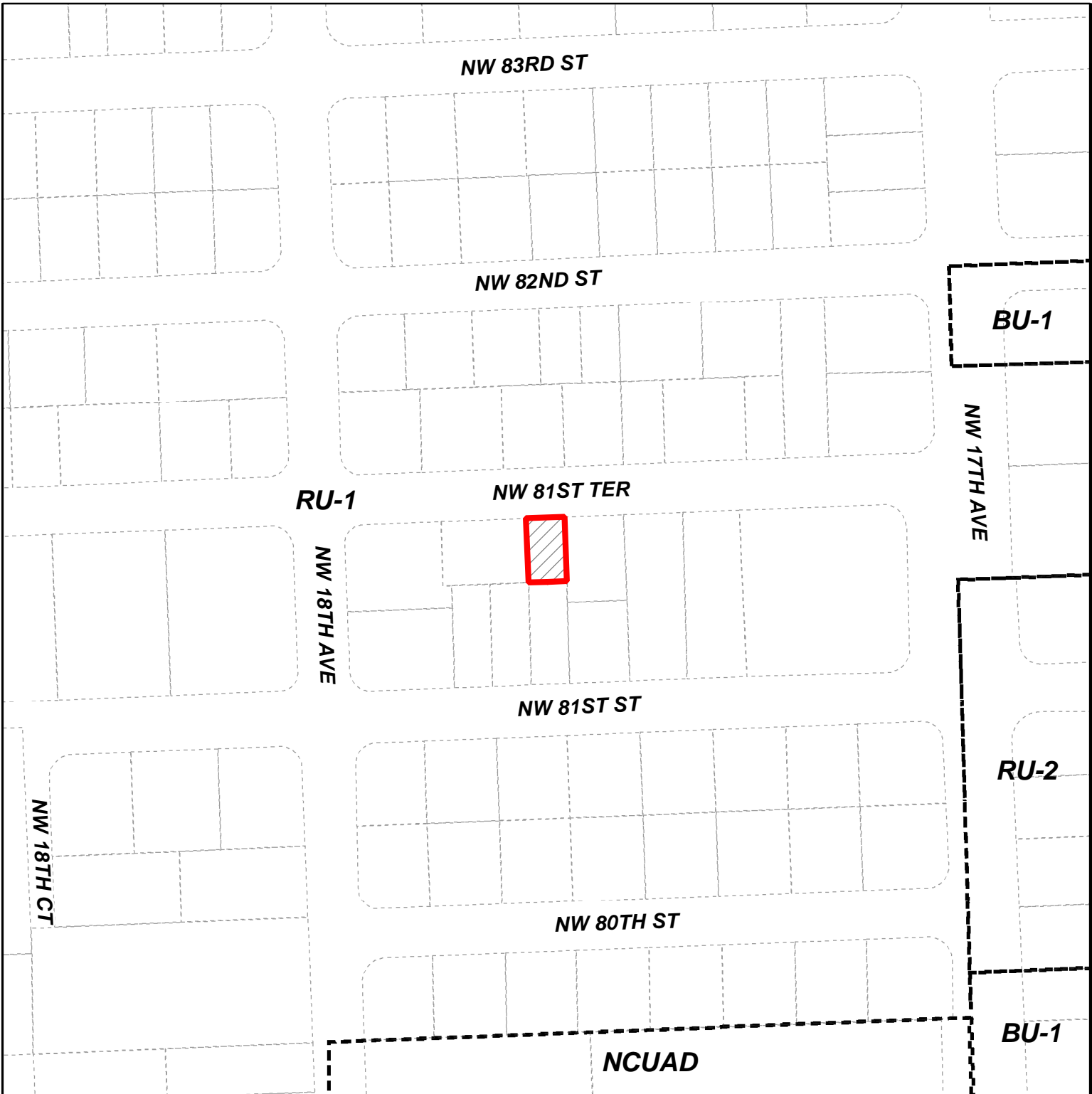
Subject: Z2024000105

The Miami-Dade Fire Rescue Department has **no objection** to the site plan uploaded in “EnerGov” on 11/27/2024. Single family home.

MDFR’s review of this zoning application is limited to assessing fire department access and does not effectuate an approval of the building design. The future building’s design must be in compliance with the applicable requirements for the proposed use:

Florida State Statute Chapter 633 (Fire Prevention & Control)
Florida Administrative Code 69A
Florida Fire Prevention Code (NFPA 1 and NFPA 101 (2018 edition))
Applicable adopted NFPA Standards
County Code Chapter 14

For additional information, please contact acuello@miamidade.gov or call 305-775-3357.





MIAMI-DADE COUNTY
HEARING MAP

Process Number
Z2024000105



Section: 10 Township: 53 Range: 41
 Applicant: Legacy Rentals, LLC
 Zoning Board: C8
 Commission District: 2
 Drafter ID: EDUARDO CESPEDES
 Scale: NTS

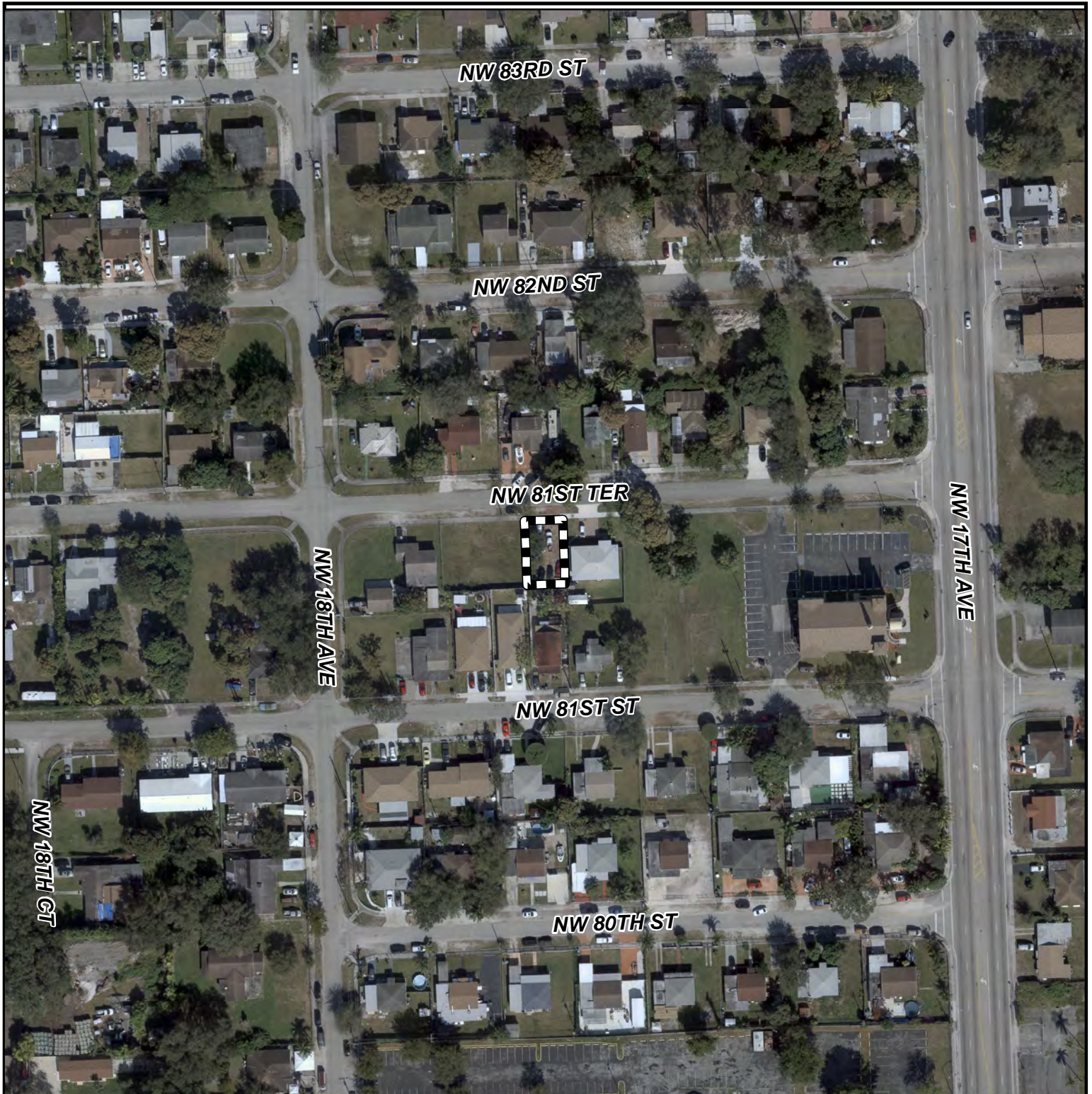
Legend

-  Subject Property Case
-  Zoning




SKETCH CREATED ON: Thursday, June 27, 2024

REVISION	DATE	BY



MIAMI-DADE COUNTY
AERIAL YEAR 2021

Process Number
Z2024000105

Legend
 Subject Property

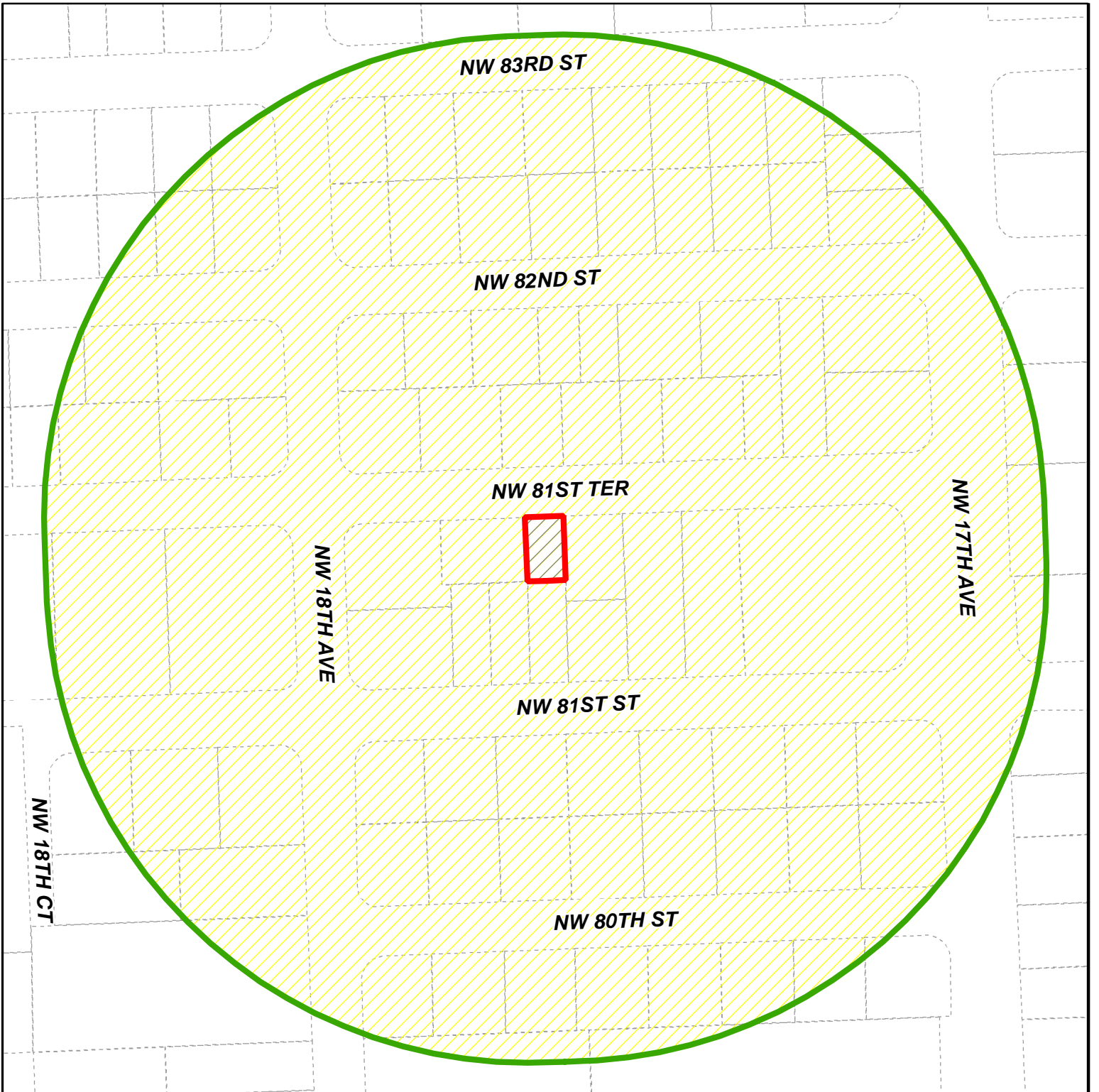


Section: 10 Township: 53 Range: 41
Applicant: Legacy Rentals, LLC
Zoning Board: C8
Commission District: 2
Drafter ID: EDUARDO CESPEDES
Scale: NTS



SKETCH CREATED ON: Thursday, June 27, 2024

REVISION	DATE	BY






MIAMI-DADE COUNTY
RADIUS MAP

Section: 10 Township: 53 Range: 41
 Applicant: Legacy Rentals, LLC
 Zoning Board: C8
 Commission District: 2
 Drafter ID: EDUARDO CESPEDES
 Scale: NTS

Process Number
Z2024000105
 RADIUS: 500

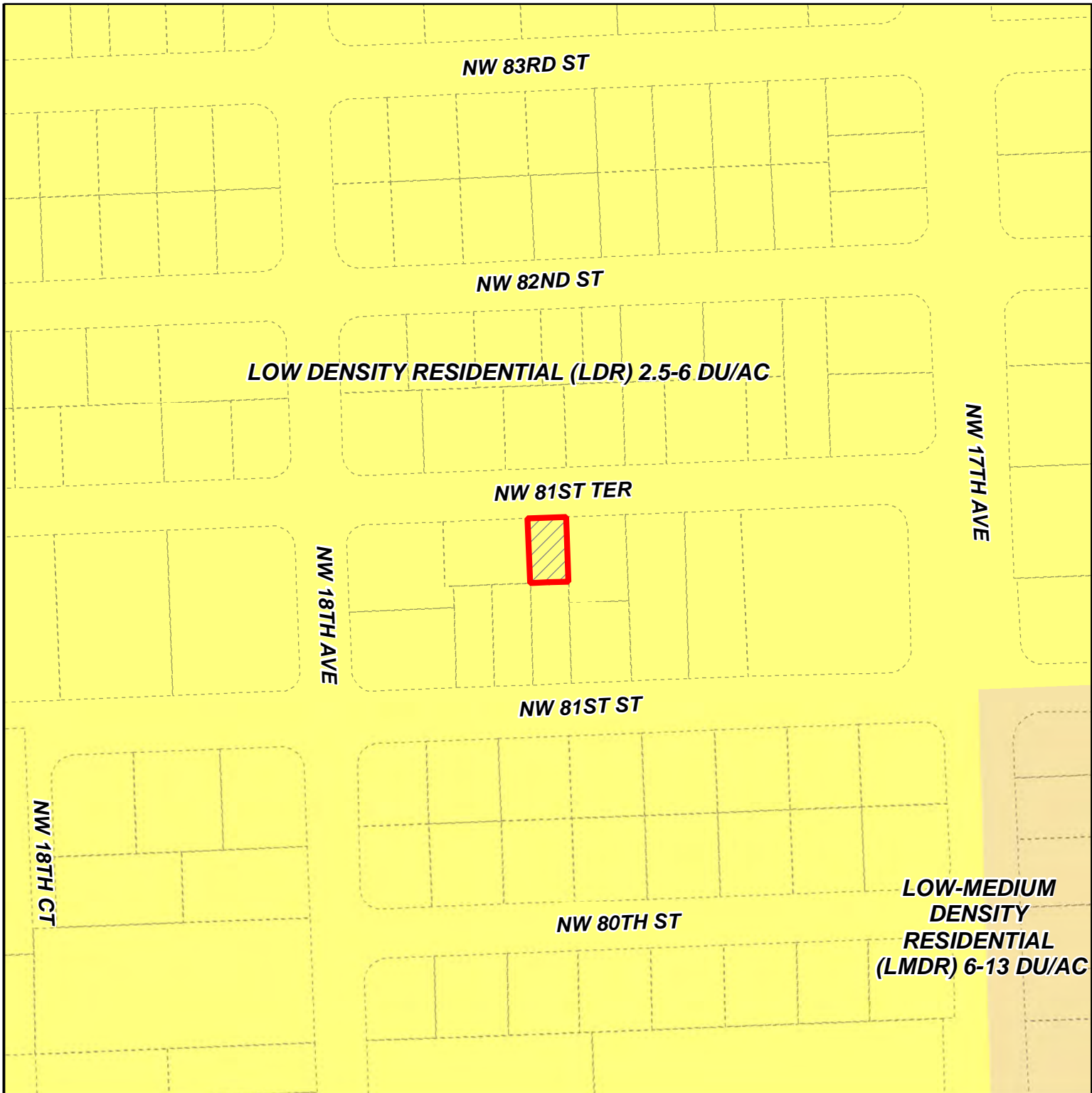
Legend

-  Subject Property
-  Buffer
-  Property Boundaries



SKETCH CREATED ON: Thursday, June 27, 2024

REVISION	DATE	BY



MIAMI-DADE COUNTY
CDMP MAP

Process Number
Z2024000105

Section: 10 Township: 53 Range: 41
 Applicant: Legacy Rentals, LLC
 Zoning Board: C8
 Commission District: 2
 Drafter ID: EDUARDO CESPEDES
 Scale: NTS

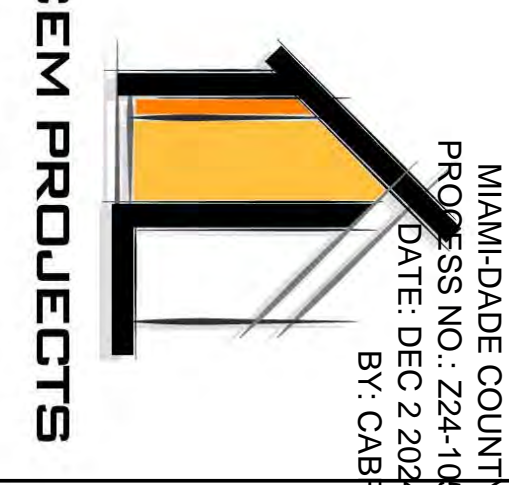
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 Subject Property Case

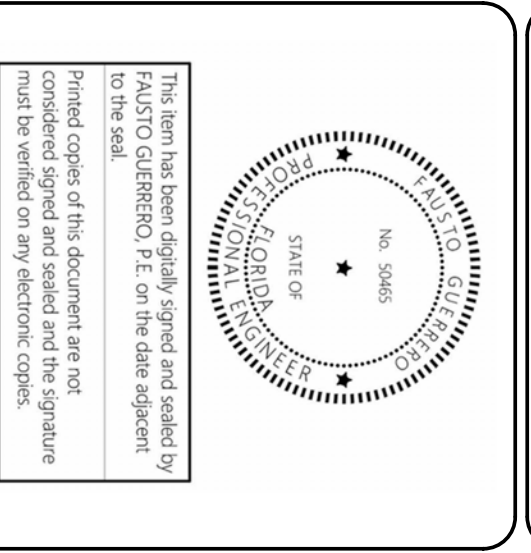


SKETCH CREATED ON: Thursday, June 27, 2024

REVISION	DATE	BY



MAMI, FLORIDA
 (786) 209 5931 - (786) 821 8290
 edwin@cem.projects@gmail.com



DESIGN PROFESSIONAL:
FAUSTO GUERRERO
 P. E. 50465

19552 SW 133 AVENUE
 MAMI, FL 33177
 Phone: (786) 443 1685

1730 NW 81
 TERRACE, MAMI,
 FL. 33147

Folio
 #30-3110-057-0630

OWNER:
 LEGACY RENTALS LLC

BY	REVISIONS

FLOOR PLAN
 SCALE: INDICATED

A-1

DOOR SCHEDULE

No.	W.	H.	T.	LOCATION	MAT.	TYPE	FRAME	DET.	GLASS	FINISH	REMARKS
1	3'-0"	6'-9"	1.34"	EXT.	MTL.	ROISED PANEL, SOLID CORE	WD.		GLASS	PAINTED	MTL. THRESHOLD, WEATHER STRIP, DOOR SCOPER, SEE FINISH NOTES
2	2'-8"	6'-9"	1.36"	INT.	WD.	RASSED PANEL, COL. GNL.	WD.			PAINTED	MARBLE SKIDLE AT BATHROOMS ONLY SEE FINISH NOTES
3	2'-6"	6'-5"	1.36"	INT.	WD.	BIFOLD, BIFOLD	ALUM.			PAINTED	ONLY SEE FINISH NOTES
4	6'-0"	6'-9"	1.36"	INT.	WD.	BIFOLD	ALUM.			PAINTED	FULL LOVERED

NOTES:
 1- COORDINATE MASONRY OPENING W/ DOOR MANUFACTURER PRIOR TO WALL ERECTION
 2- SUBMIT SHOP DRAWINGS FOR APPROVAL TO MATCH FLOOR FINISH
 3- DOOR FRAME SHALL BE SOLID 2x4 BABBETED WOOD FRAME

WINDOW SCHEDULE

No.	MARK	WINDOW DIM. W. x H.	THICKNESS	U FACTOR	SHGC
A	S.H	26-1/2" x 28"	3/16"	1.00	0.25
B	H.R	53" x 80 1/2"	3/16"	1.00	0.25
C	H.R	37" x 38-1/4"	3/16"	1.00	0.25
D	FIX. GL.	26-1/2" x 63"	3/16"	1.00	0.25

NOTES:
 ALL WOOD IN CONTACT WITH MASONRY SHALL BE PRESSURE TREATED
 -THE CONSTRUCTION DOCUMENTS HAVE BEEN PREPARED IN COMPLIANCE WITH THE FLORIDA BUILDING CODE 2023.
 -WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200 AND A SMOKE-DEVELOPED INDEX OF NOT GREATER THAN 450.
 -ALL INSULATION MATERIALS TO HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH ASTM E 84 OR UL 723 - FBC R302.10.1.

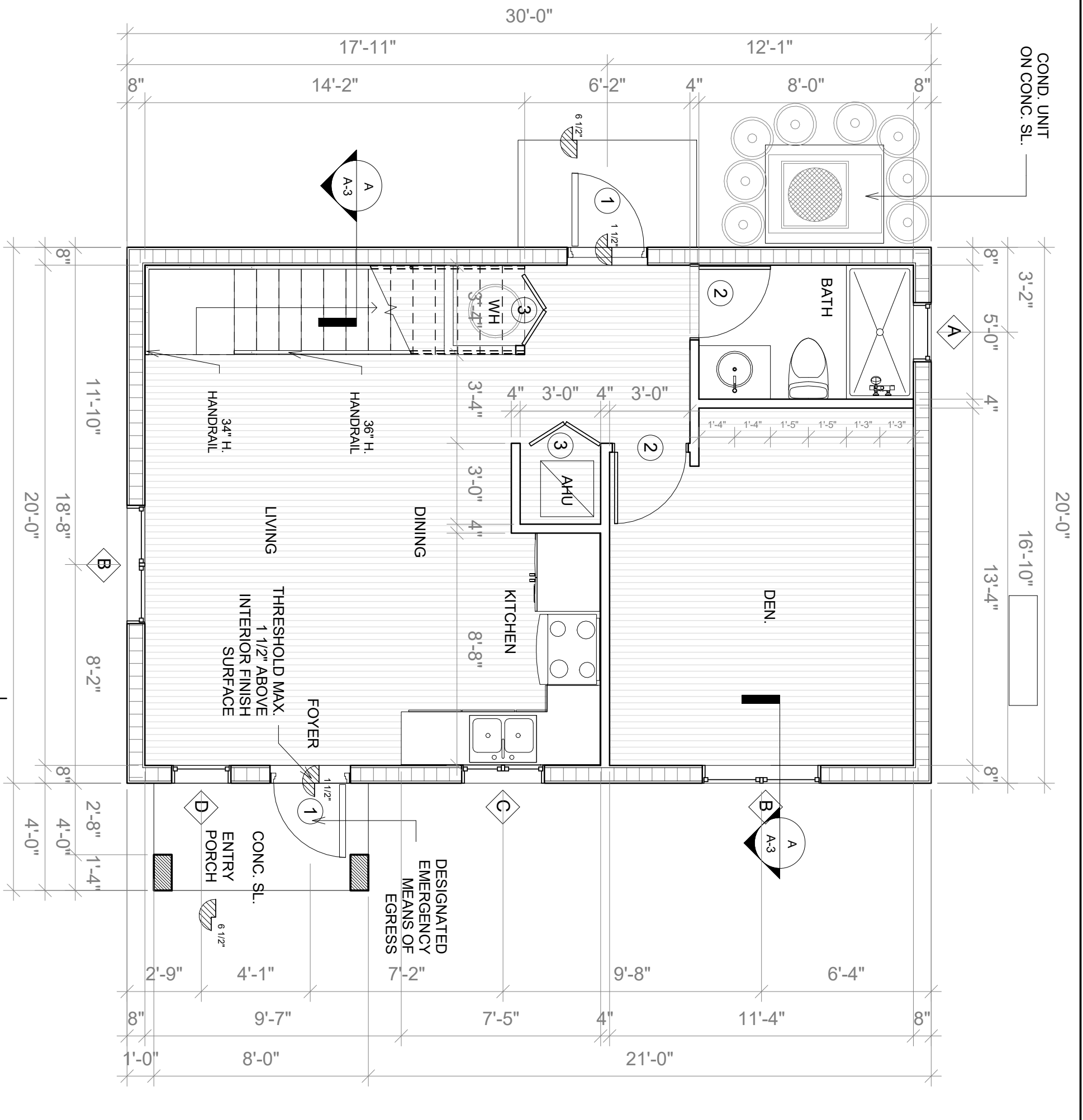
FINISH SCHEDULE

ROOM	FLOOR	WALL	CEILING	REMARKS
PORCH / BALCONY	CERAMIC TILE	STUCCO	DRYWALL	BULL NOSE SLABS @ STEPS/NOON-SLEPPERY
FAMILY ROOM	CERAMIC TILE	DRYWALL	DRYWALL	KNOCKDOWN TEXTURE
LIVING ROOM	CERAMIC TILE	DRYWALL	DRYWALL	KNOCKDOWN TEXTURE
DINING ROOM	CERAMIC TILE	DRYWALL	DRYWALL	KNOCKDOWN TEXTURE
KITCHEN	CERAMIC TILE	DRYWALL	DRYWALL	KNOCKDOWN TEXTURE
BEDROOMS	CARPET	DRYWALL	DRYWALL	KNOCKDOWN TEXTURE
BATHROOMS	CERAMIC TILE	TILED/DRYWALL	DRYWALL	KNOCKDOWN TEXTURE/KNOCK BOARD AS BASE
CLOSETS	CARPET/TILE	DRYWALL	DRYWALL	

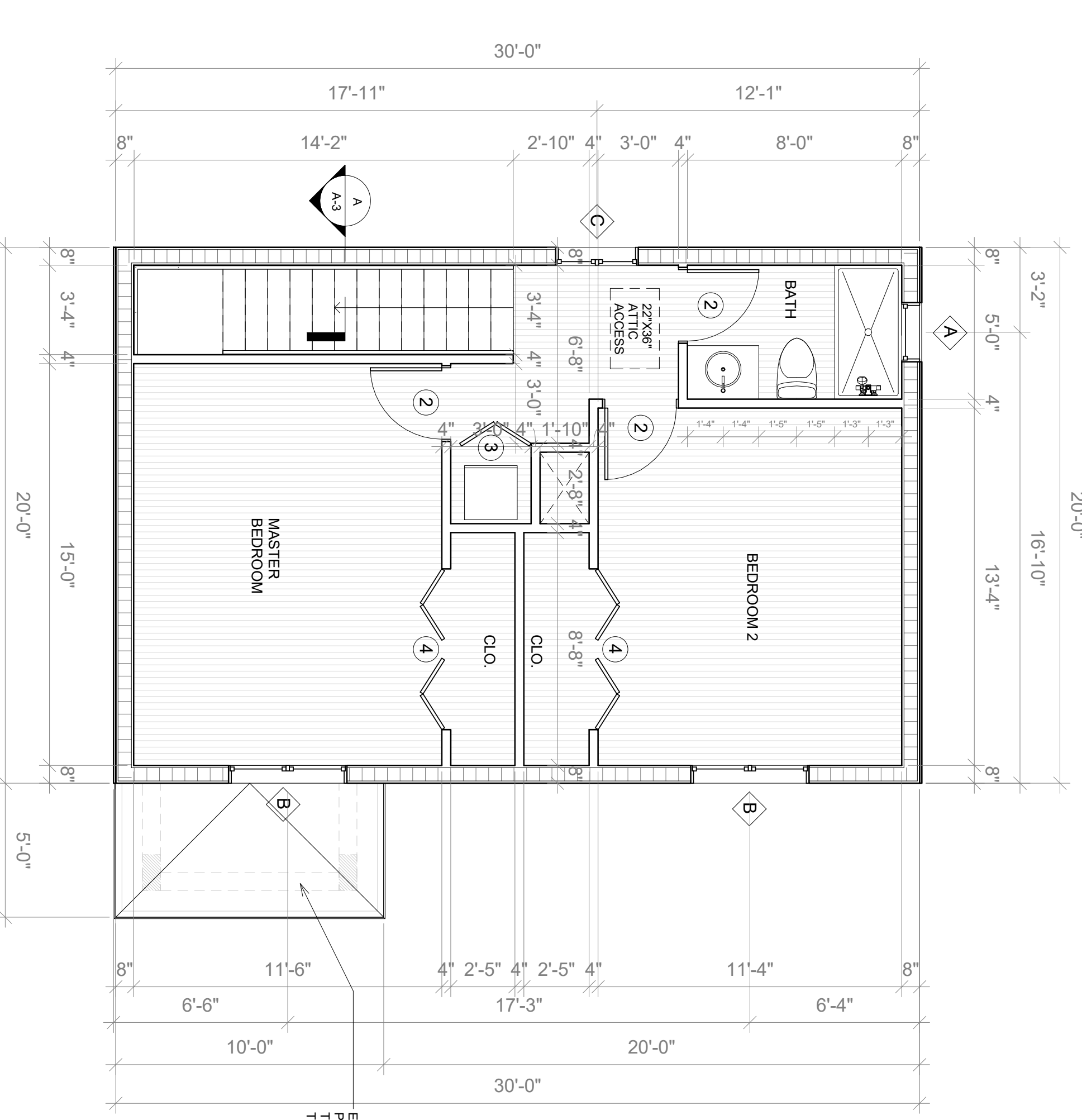
NOTES:
 1) PROVIDE METRO-DADE COUNTY PRODUCT CONTROL APPROVAL FOR ALL EXTERIOR WINDOWS AND DOORS.
 2) ALL WINDOWS AT BEDROOMS SHALL BE EGRESS TYPE. U.O.N. REFER TO DOOR / WINDOW SCHEDULE THIS SHEET.
 THE EGRESS WINDOW SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20" IN WIDTH, 24" IN HEIGHT, AND 5.1 SQFT. IN AREA. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" OF THE FLOOR.
 THE MODE OF OPERATION DOES NOT REQUIRE THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE, OR EFFORT TO MAKE AVAILABLE THE REQUIRED CLEAR OPENING, AND NO PART OF THE MECHANISM SHALL BE PLACED HIGHER THAN 54" ABOVE THE FINISHED FLOOR.
 3) GENERAL CONTRACTOR TO VERIFY AND COORDINATE ACTUAL WINDOW DIMENSIONS AND MASONRY OPENINGS PRIOR TO CONSTRUCTION
 4) ANY CHANGE OF INTERIOR FINISHES BY OWNER/C. SHALL BE COORDINATED W/ THE ENGINEER
 5) INTERIOR PARTITION OF 3/8" - 5/8" METAL STUDS @ 24" O.C. WITH 1/2" DRYWALL (SLEEK FINISH) ON BOTH SIDES. REFER TO FLOOR PLAN FOR DIM. LOCATION.
 6) PROVIDE CONCRETE BACKING BOARD (GURROCK) ON WET WALLS.
 7) BATH DOORS SHALL BE OPERABLE FROM OUTSIDE IN EMERGENCY SITUATIONS.
 8) CLOSET DOORS SHALL BE OPERABLE BY CHILDREN FROM INSIDE
 9) SEPARATE PERMIT REQUIRED FOR ROOFING, WINDOWS AND DOORS
 10) SEE ELEVATIONS FOR WIND PRESSURES ON EXTERIOR WINDOWS AND DOORS.
 11) FOR SECURITY ENTRY NOTES REFER TO BIGLARY NOTES SHEET A-3
 12) GLASS OR MIRRORS IMMEDIATELY SURROUNDING A BATHTUB OR SHOWER ENCLOSURE SHALL BE SHATTER RESISTANT. THE GLASS OR MIRRORS ARE LESS THAN 60 INCHES (1.5M) ABOVE THE FLOOR OF THE TUB OR THE SHOWER
 13) SHOWERS AND SHOWER COMPARTMENTS SHALL HAVE FLOORS AND WALLS CONSTRUCTED OF SMOOTH, CORROSION RESISTANT AND NONABSORBENT WATER RESISTANT MATERIALS TO A HEIGHT NOT LESS THAN 72 INCHES ABOVE THE COMPARTMENT FLOOR AT THE DRAIN.
 14) PROVIDE FULL HEIGHT CERAMIC TILE FINISH IN ALL BATH AND SHOWER WALLS

AREA CALCULATIONS:

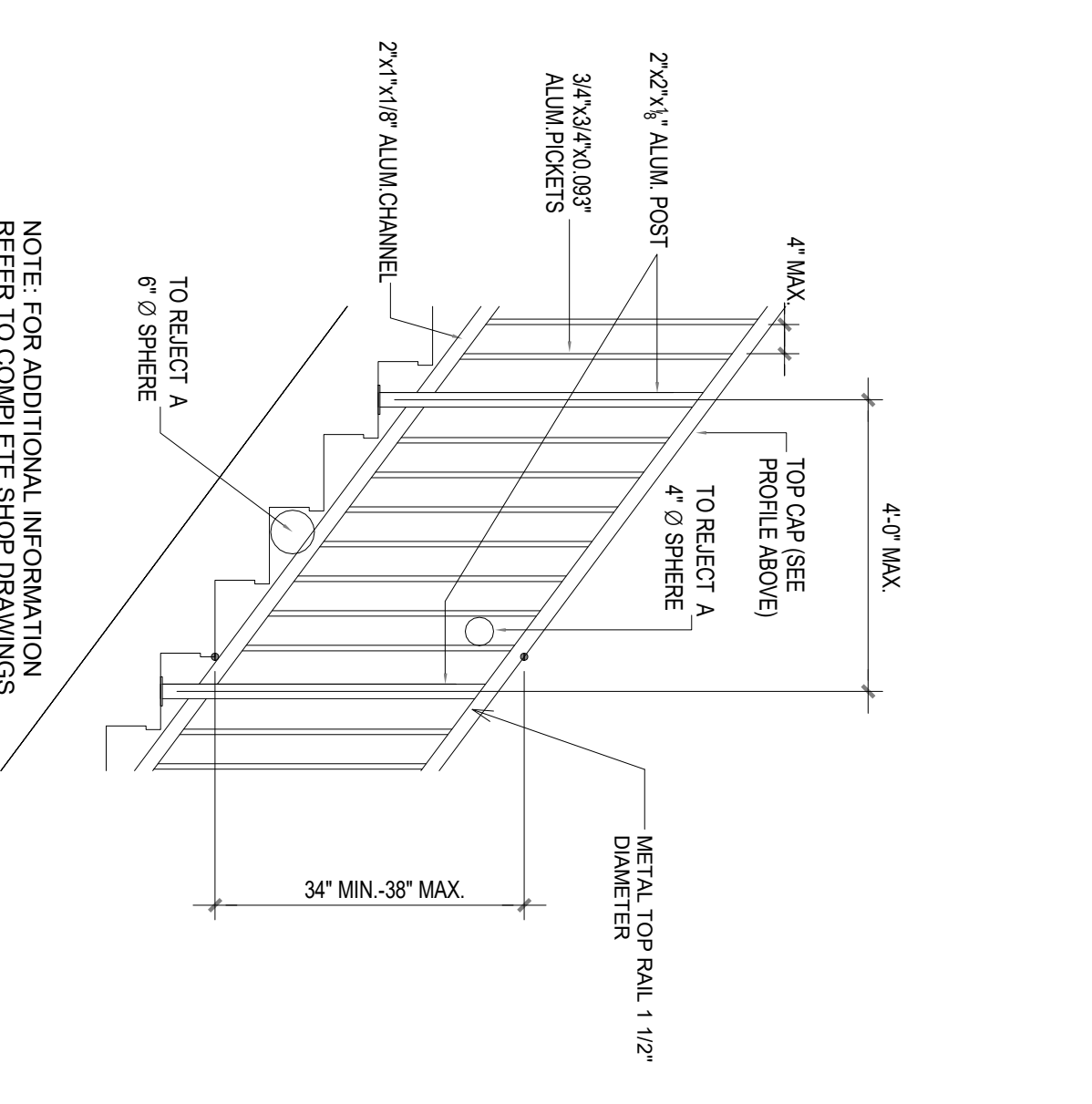
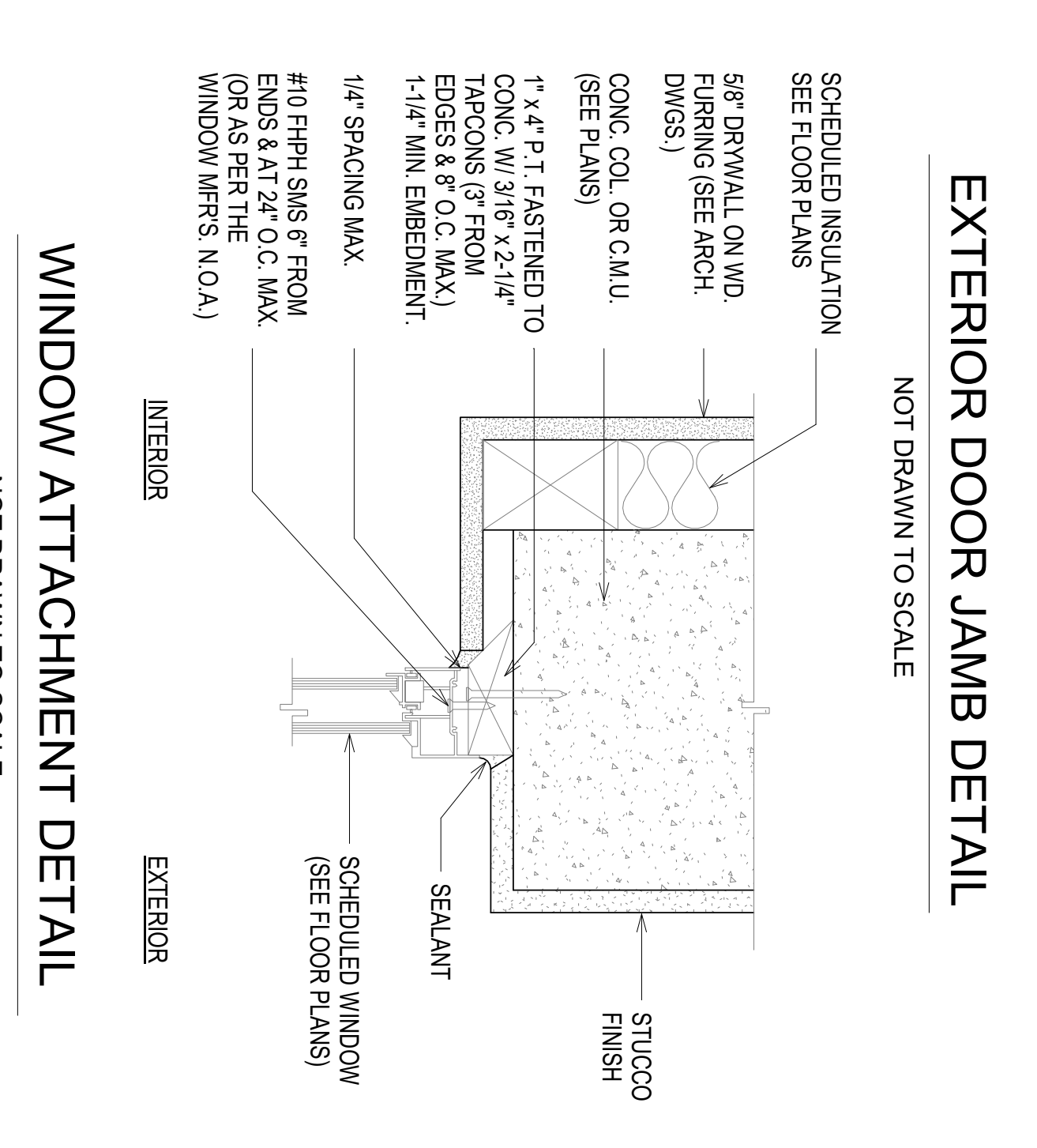
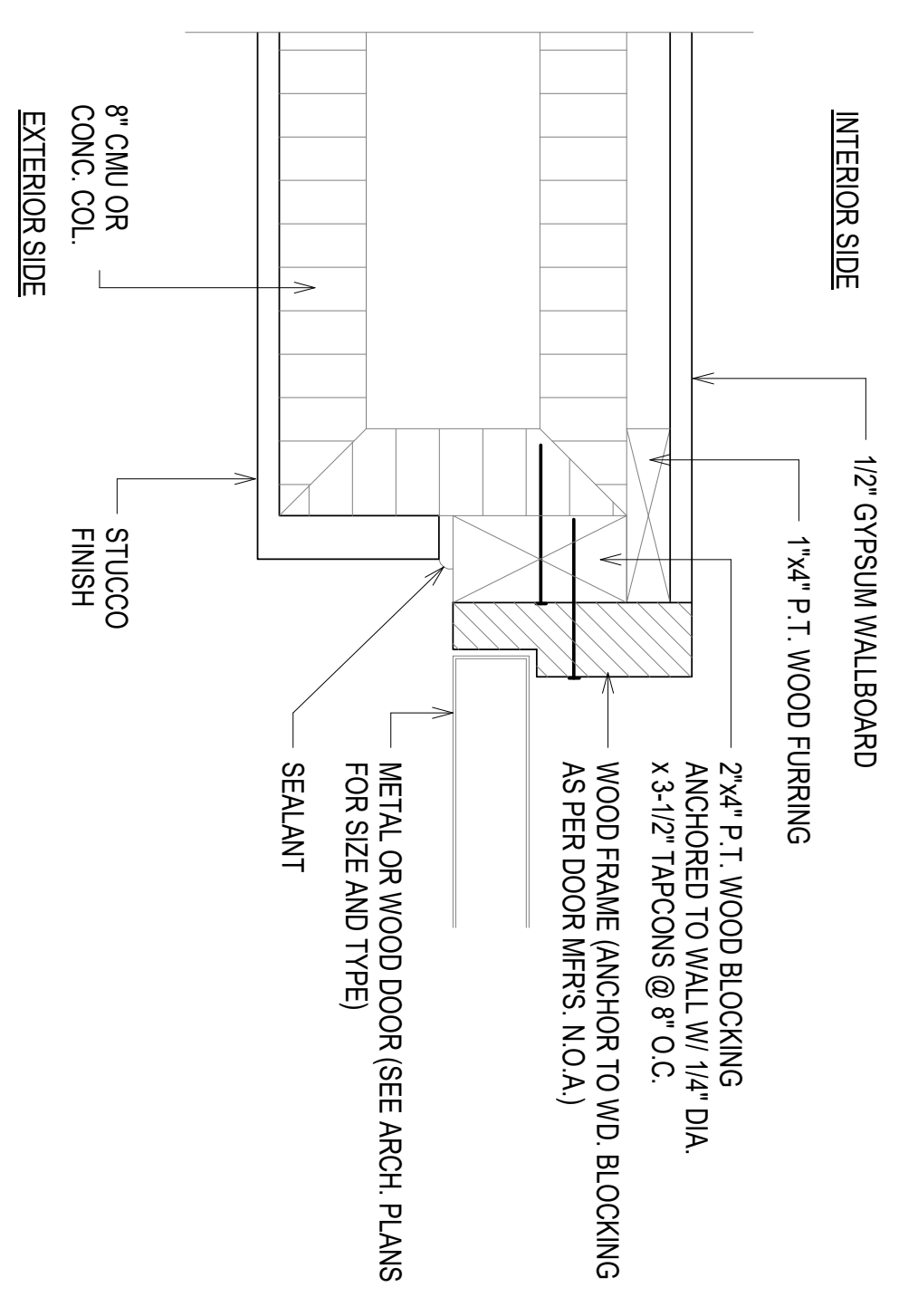
CONDITIONED AREA (1st FLR): 600 SQ. FT.
 CONDITIONED AREA (2nd FLR): 600 SQ. FT.
 ENTRY PORCH: 40 SQ. FT.
 TOTAL: 1,240 SQ. FT.



1 FLOOR PLAN
 1/4" = 1'-0"



2 FLOOR PLAN (2 FLOOR)
 1/4" = 1'-0"

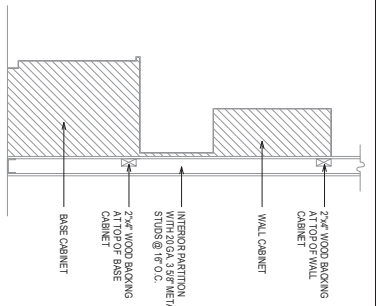


STAIR / RAILING NOTES:

HANDRAIL PROFILE (CONFORMING) SHALL COMPLY WITH FBC R311.7.1.2. SEE TYPICAL FINISHES SHEET A-20.0.
 HANDRAILS SHALL BE CONTINUOUS BETWEEN FACES OF FIRST AND LAST RISERS PER FBC R311.7.2.
 HANDRAIL HEIGHT SHALL BE 34"-42" (MEASURED VERTICALLY FROM THE SCOOPED PLANE OF THEO RISERS PER FBC R311.7.3.1)
 HANDRAIL ENDS SHALL BE RETURNED TO WALL OR TERMINATE IN WELDED POSTS OR SWEET TERMINALS PER FBC R311.7.2.2
 GUARDRAILS SHALL BE REQUIRED ON THE OPEN SIDE OF WALKING SURFACES INCLUDING STAIRS, RAMPES AND WALKWAYS LOCATED PER FBC R311.7.1.1.1. SEE TYPICAL FINISHES SHEET A-20.0.
 GUARDRAILS SHALL REFLECT 1.4" Ø SPHERE PER FBC R312.1.3
 TRIANGULAR OPENING FORMED BY RISER, TREAD AND BOTTOM RAIL OF A GUARDRAIL SHALL REFLECT A 6" Ø SPHERE PER FBC R312.1.3.1
 PURPOSES: FINAL MATERIAL SELECTION BY OWNER AND AS DIRECTED IN SUBMITTED SHOP DRAWINGS.

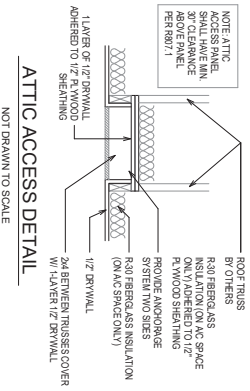
TERMITE PROTECTION STATEMENT

BUILDINGS SHALL HAVE PRE-CONSTRUCTION TERMITREATMENT PROTECTION AGAINST SUBTERANEAN TERMITES IN ACCORDANCE WITH THE RULES AND REGULATIONS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY PERFORMING THE TREATMENT.



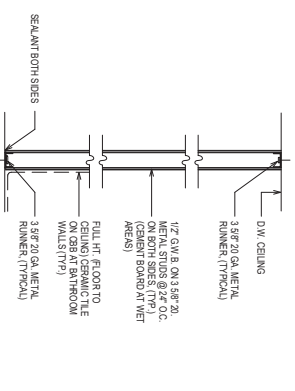
SECTION VIEW
 PROVIDE BACKING FOR WALL CABINETS
 A MINIMUM 2x4 HORIZONTAL WOOD MEMBERS SECURELY INSTALLED FOR THE ATTACHMENT OF EACH WALL HINGED PLUMBING FIXTURE AND WALL CABINET
 PROVIDE 2x4 GA. W/L STUDS @ 16\"/>

WOOD BACKING DETAIL
 NOT DRAWN TO SCALE



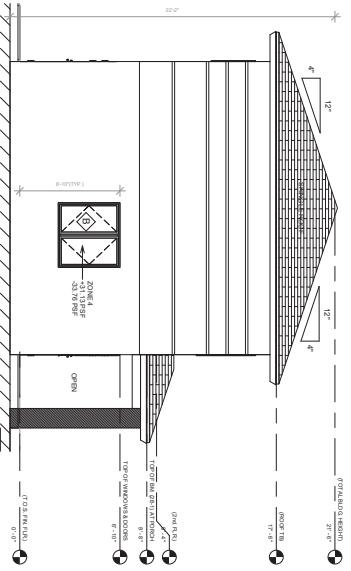
NOTE: ATTIC ACCESS PANEL SHALL HAVE AN ABOVE PANEL PER R907.1
 1 LAYER OF 1/2\"/>

ATTIC ACCESS DETAIL
 NOT DRAWN TO SCALE

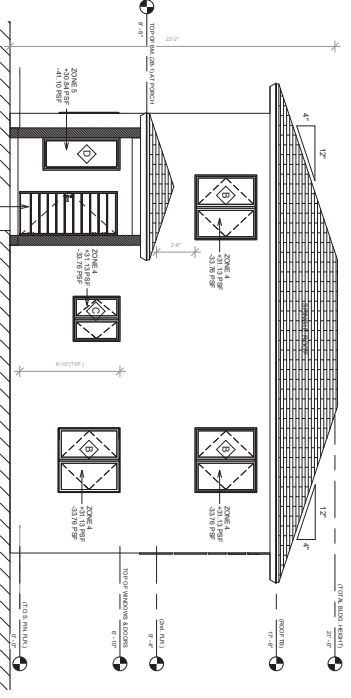


NON-RATED INTERIOR PARTITION
 NOT DRAWN TO SCALE

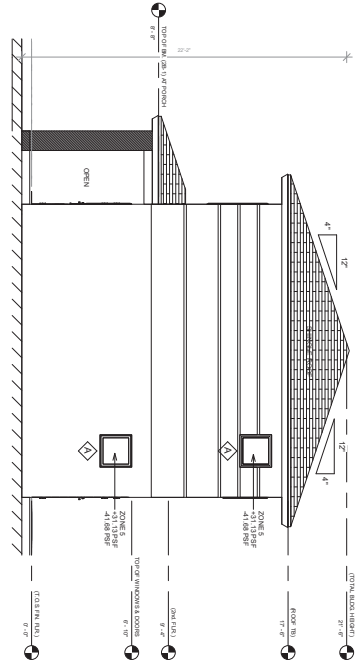
CEILING AREA 1150 = VENT AREA, 635 SF 150 = 4.23 SF REOD
 EIGH # 1 X27 SOFFIT VENT = 0.98 SF
 4.23 SF REOD 0.98 SF F VENT = 8 VENTS TOTAL
 800 L.F. OF SOFFIT / 8 VENTS = 12.5 ON CENTER MAX (USE 8 O.C.)



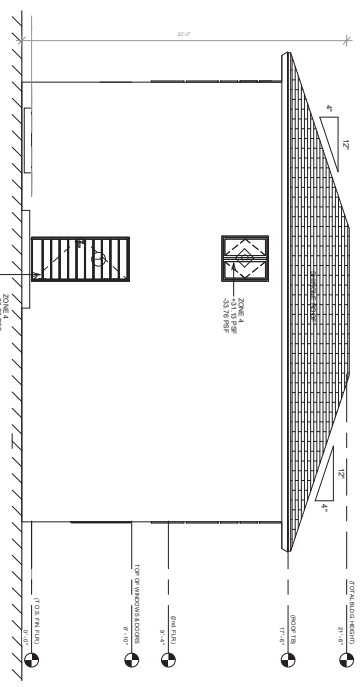
1 FRONT ELEVATION
 1/4" = 1'-0"



3 RIGHT ELEVATION
 1/4" = 1'-0"



2 REAR ELEVATION
 1/4" = 1'-0"



4 LEFT ELEVATION
 1/4" = 1'-0"



MIAMI, FLORIDA
 (786) 209 5931 - (786) 821 8290
 edwin.dempsey@demprod.com



Digitally signed by Fausto E. Guerrero
 Date: 2024.05.02 14:03:46 -0400

DESIGN PROFESSIONAL
FAUSTO GUERRERO
 P. E. 50465
 19522 SW 133 AVENUE
 MIAMI, FL 33156
 Phone: (786) 443 1585

17XX NW 81
 TERRACE, MIAMI,
 FL 33147

Folio
 #30-3110-057-0630

OWNER:
 LEGACY RENOVALS LLC

BY	REVISIONS

ELEVATIONS
 SCALE INDICATED
A-2

Disclosure of Interest*

If a **CORPORATION** owns or leases the subject property, list principal stockholders and percent of stock owned by each. [Note: Where principal officers or stockholders consist of other corporation(s), trust(s), partnership(s) or other similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

CORPORATION NAME: Legacy Rentals LLC

NAME AND ADDRESS

PERCENTAGE OF STOCK

Audred March

50%

Robinson Guzman

50%

If a **TRUST or ESTATE** owns or leases the subject property, list the trust beneficiaries and the percent of interest held by each. [Note: Where beneficiaries are other than natural persons, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

TRUST/ESTATE NAME: _____

NAME AND ADDRESS

PERCENTAGE OF INTEREST

If a **PARTNERSHIP** owns or leases the subject property, list the principals including general and limited partners. [Note: Where the partner(s) consist of another partnership(s), corporation(s), trust(s) or other similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

PARTNERSHIP OR LIMITED PARTNERSHIP NAME: _____

NAME AND ADDRESS

PERCENTAGE OF OWNERSHIP

**Disclosure shall not be required of: 1) any entity, the equity interests in which are regularly traded on an established securities market in the United States or another country; or 2) pension funds or pension trusts of more than five thousand (5,000) ownership interests; or 3) any entity where ownership interests are held in a partnership, corporation or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership and where no one (1) person or entity holds more than a total of five per cent (5%) of the ownership interest in the partnership, corporation or trust. Entities whose ownership interests are held in a partnership, corporation, or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership, shall only be required to disclose those ownership interest which exceed five (5) percent of the ownership interest in the partnership, corporation or trust.*

Disclosure of Interest

If there is a **CONTRACT FOR PURCHASE**, by a Corporation, Trust or Partnership list purchasers below, including principal officers, stockholders, beneficiaries or partners. [Note: Where principal officers, stockholders, beneficiaries or partners consist of other corporations, trusts, partnerships or other similar entities, further disclosure shall be made to identify natural persons having the ultimate ownership interests].

NAME OF PURCHASER: _____

NAME AND ADDRESS

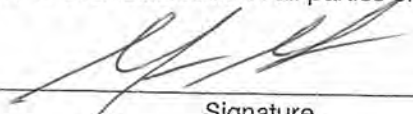
PERCENTAGE OF INTEREST

NAME AND ADDRESS	PERCENTAGE OF INTEREST

If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership or trust:

NOTICE: For any changes of ownership or changes in purchase contracts after the date of the application, but prior to the date of final public hearing or zoning determination, a supplemental disclosure of interest is required.

The above is a full disclosure of all parties of interest in this application to the best of my knowledge and belief.



Signature

Mildred March

Print Name

Sworn to and subscribed to before me on the 30 day of May, 2024

Affiant is personally known to me or has produced _____ as identification.



[Stamp/Seal]

Commission expires: 3/20/26

This form is available online at www.miamidade.gov/zoning/forms.asp

FORM REVISION 2019/3





