



FINAL AGENDA

Community Zoning Appeals Board 11
Kendall Village Center, Civic Pavilion, 8625 SW 124 Avenue, Miami, FL
Wednesday, January 29, 2025 at 7:00 pm

PREVIOUSLY DEFERRED

APPEALS

CURRENT

- | | | | | | |
|----|-------------|----------------------|--------|----------|---|
| 1. | Z2023000405 | AutoZone Stores, LLC | 23-405 | 55-39-33 | N |
|----|-------------|----------------------|--------|----------|---|



Official Zoning Agenda

COMMUNITY ZONING APPEALS BOARD

COMMUNITY ZONING APPEALS BOARD - AREA 11
MEETING OF JANUARY 29, 2025

KENDALL VILLAGE CENTER, CIVIC PAVILION
8625 SW 124 AVENUE, MIAMI, FLORIDA.

NOTICE: THE FOLLOWING HEARINGS ARE SCHEDULED FOR 7:00 P.M., AND
ALL PARTIES SHOULD BE PRESENT AT THAT TIME

ANY PERSON MAKING IMPERTINENT OR SLANDEROUS REMARKS OR WHO BECOMES BOISTEROUS WHILE ADDRESSING THE COMMUNITY ZONING APPEALS BOARD SHALL BE BARRED FROM FURTHER AUDIENCE BEFORE THE COMMUNITY ZONING APPEALS BOARD BY THE PRESIDING OFFICER, UNLESS PERMISSION TO CONTINUE OR AGAIN ADDRESS THE BOARD BE GRANTED BY THE MAJORITY VOTE OF THE BOARD MEMBERS PRESENT.

NO CLAPPING, APPLAUDING, HECKLING OR VERBAL OUTBURSTS IN SUPPORT OR OPPOSITION TO A SPEAKER OR HIS OR HER REMARKS SHALL BE PERMITTED. NO SIGNS OR PLACARDS SHALL BE ALLOWED IN THE MEETING ROOM. PERSONS EXITING THE MEETING ROOM SHALL DO SO QUIETLY.

THE USE OF CELL PHONES IN THE MEETING ROOM IS NOT PERMITTED. RINGERS MUST BE SET TO SILENT MODE TO AVOID DISRUPTION OF PROCEEDINGS. INDIVIDUALS, INCLUDING THOSE ON THE DAIS, MUST EXIT THE MEETING ROOM TO ANSWER INCOMING CELL PHONE CALLS. COUNTY EMPLOYEES MAY NOT USE CELL PHONE CAMERAS OR TAKE DIGITAL PICTURES FROM THEIR POSITIONS ON THE DAIS.

THE NUMBER OF FILED PROTESTS AND WAIVERS ON EACH APPLICATION WILL BE READ INTO THE RECORD AT THE TIME OF HEARING AS EACH APPLICATION IS READ.

THOSE ITEMS NOT HEARD PRIOR TO THE ENDING TIME FOR THIS MEETING, WILL BE DEFERRED TO THE NEXT AVAILABLE ZONING HEARING MEETING DATE FOR THIS BOARD.

SWEARING IN OF WITNESSES

I. Sunset Review

II. Selection of Chair and Vice Chair

1. AUTOZONE STORES, LLC. Z2023000405

Area 11/District 09

The application is to modify a previously recorded Covenant Running With The Land In Lieu of Unity of Title in order to submit a new site plan for the proposed development of an auto-parts store on the outparcel of the existing shopping center located on the subject property.

MODIFICATION of Paragraph #1 of a Covenant Running With The Land In Lieu of Unity of Title recorded in Official Records Book 26099 at Pages 3704 through 3709, reading as follows:

From: "1. The Property will be developed in substantial conformity with the site plan entitled, Eureka Promenade, prepared by Alleguez Architecture, Inc. consisting of 5 pages with pages S1, L1, F1 and E1 dated last revised September 5, 2007, and page 6 dated last revised March 28, 2007 (hereinafter "Site Plan"). Additionally, the initial development will include a grocery store. Further, the development will not include any residential uses on the Property."

To: "1. That in the approval of the plan, the same be substantially in accordance with that submitted for the hearing entitled "Autozone Store FL6504 SW 184 Street & SW 147 Avenue", prepared by Thomas Engineering Group, consisting of 6 sheets, dated stamped received 1/31/2024 and plans entitled "AutoZone Store No. 6504", prepared by George Callow, consisting of 2 sheets dated stamped received 1/31/2024 for a total of 8 sheets. Additionally, the initial development will include a grocery store. Further, the development will not include any residential uses on the Property."

The purpose of the aforementioned request is to allow the applicant to modify a paragraph of the prior covenant running with the land, in order to submit new site plans for the proposed auto-parts store to be developed on the outparcel of the existing shopping center located on the subject property.

The afore-mentioned plans are on file and may be examined in the Department of Regulatory and Economic Resources. Plans may be modified at Public Hearing.

LOCATION: 18200 SW 147 Avenue, Miami-Dade County, Florida

SIZE OF PROPERTY: +/- 9.84 Acres

Department of Regulatory and
Economic Resources
Recommendation:

Approval with condition.

Protests: _____ 0 _____

Waivers: _____ 0 _____

APPROVED: _____

DENIED WITH PREJUDICE: _____

DENIED WITHOUT PREJUDICE: _____

DEFERRED: _____

NOTICE

THE FOLLOWING SUMMARY INFORMATION IS PROVIDED AS A COURTESY; IT SHOULD NOT BE TREATED AS LEGAL ADVICE AND IT SHOULD NOT BE RELIED UPON. LEGAL CONSULTATION MAY BE WARRANTED IF AN APPEAL OR OTHER LEGAL CHALLENGE IS BEING CONTEMPLATED.

Decisions of the Community Zoning Appeals Board (CZAB) may be subject to appeal or other challenge. For example, depending upon the nature of the requests and applications addressed by the CZAB, a CZAB decision may be directly appealable to the Board of County Commissioners (BCC) or may be subject to challenge in Circuit Court. Challenges asserted in Circuit Court, where available, must ordinarily be filed within 30 days of the transmittal of the pertinent CZAB resolution to the Clerk of the BCC. Appeals to the BCC, where available, must be filed with the Zoning Hearing Section of the Department of Regulatory and Economic Resources (RER), or its successor Department, within 14 days after RER has posted a short, concise statement (such as that furnished above for the listed items) that sets forth the action that was taken by the CZAB. (RER's posting will be made on a bulletin board located in the office of RER.) All other applicable requirements imposed by rule, ordinance, or other law must also be observed when filing or otherwise pursuing any challenge to a CZAB decision.

Further information regarding options and methods for challenging a CZAB decision may be obtained from sources that include, but are not limited to, the following: Sections 33-312, 33-313, 33-314, 33-316, and 33-317 of the Code of Metropolitan Dade County, Florida; the Florida Rules of Appellate Procedure; and the Municode website (www.municode.com). Miami-Dade County does not provide legal advice regarding potential avenues and methods for appealing or otherwise challenging CZAB decisions; however, a licensed attorney may be able to provide assistance and legal advice regarding any potential challenge or appeal.

**Miami-Dade County Department of Regulatory and Economic Resources
Staff Report to Community Zoning Appeals Board No. 11**

PH: Z23-405

January 29, 2025

Item No. 1

Recommendation Summary	
Commission District	9
Applicant	AutoZone Stores, LLC
Summary of Requests	The applicant seeks to modify the paragraph of a previously recorded covenant running with the land in lieu of unity of title, in order to submit a new site plan showing a proposed auto-parts store on the outparcel of the existing shopping center located on the subject site.
Location	18200 SW 147 Avenue, Miami-Dade, FL.
Property Size	+/- 9.84 Acres
Existing Zoning	BU-1A, Limited Business District.
Existing Land Use	Shopping Center
2030-2040 CDMP Land Use Designation	Business and Office <i>(see attached Zoning Recommendation Addendum)</i>
Comprehensive Plan Consistency	Consistent with the LUP map, and the interpretative text and policies of the CDMP
Applicable Zoning Code Section(s)	Section 33-311(A)(7), Generalized Modification Standards <i>(see attached Zoning Recommendation Addendum)</i>
Recommendation	Approval with conditions.

REQUEST:

MODIFICATION of the 1st paragraph of Covenant Running With the Land In Lieu of Unity of Title recorded in Official Record Book 26099 at Pages 3704-3709, and reading as follows:

From: "1. That the Property will be developed in substantial conformity with the site plan entitled, Eureka Promenade, prepared by Alleguez Architecture, Inc. consisting of 5 pages with pages S1, L1, F1 and E1 dated last revised September 5, 2007, and page 6 dated last revised March 28, 2007 (hereinafter "Site Plan"). Additionally, the initial development will include a grocery store. Further, the development will not include any residential uses on the Property."

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The purpose of the aforementioned request is to allow the applicant to modify a paragraph of the prior covenant running with the land, in order to submit new site plans for the proposed auto-parts store to be developed on the outparcel of the existing shopping center located on the subject property.

The aforementioned plans are on file and may be examined in the Department of Regulatory and Economic Resources. Plans may be modified at public hearing.

PROJECT HISTORY AND DESCRIPTION:

In November 2007, pursuant to Resolution # CZAB11-47-07, the Community Zoning Appeals Board 11 approved of a zone district boundary change on the subject property from AU, Agricultural District, to BU-1A, Limited Business District. Additionally, as part of the 2007 approval for the zone change on the property, the applicant had voluntarily proffered a covenant that would run with the land in lieu of unity of title that was duly recorded under Official Record Book 26099, pages 3704-3709, which requires that the subject property be developed substantially in accordance with the submitted site plans.

In February 2011, pursuant to Resolution # CZAB11-5-11, community zoning appeals board 11 approved a request to permit a liquor store with sales of alcoholic beverages to be extended to Sundays. In May 2012, pursuant to Resolution # CZAB11-8-12, community zoning appeals board 11 approved a request to permit a bar within a shopping center, approved a request to permit a bar to be spaced less than required from other alcohol beverage uses, and approved a request to permit a bar to be spaced less than required from a church and to permit the bar to have sales until 3am.

The applicant now intends to modify the site plan contained in paragraph #1 of the previously recorded covenant ORB 26099 running with the land in lieu of unity of title, in order to submit a new site plan that would reflect the development of a proposed retail building (auto-parts store) to be located on the outparcel of the existing shopping center. The proposed plans for the outparcel replace the prior commercial building and drive-through facilities, reflected on the previously approved plans, with a new 7,381 sq. ft. building that has been redesigned to fit within the existing shopping center and in full accordance with the applicable BU-1A zoning regulations. The proposed plans indicate that the parking areas and ingress-egress points for the outparcel stay within the same general location and configuration as was originally reflected on the previous plans for the shopping center, and that the proposed building setbacks, landscaping and FAR comply with the current requirements of the county code. Staff also notes that as part of the modification to the prior covenant, the applicants have submitted an amended and restated declaration of restrictions that ties the subject property to the new site plans.

<u>NEIGHBORHOOD CHARACTERISTICS</u>		
	Zoning and Existing Use	Land Use Designation
Subject Property	BU-1A; shopping center	Business and Office
North	RU-4L; townhouse development	Low-Medium Density Residential (6 to 13 dua)
South	AU; single-family residences, vacant	Agriculture
East	RU-1M(a); single-family residences	Low Density Residential 2.5 to 6 dua
West	RU-4L; townhouse development	Low-Medium Density Residential (6 to 13 dua)

NEIGHBORHOOD COMPATIBILITY:

The ±9.84-acre subject property consists of an existing shopping center and a vacant outparcel, and is located at 18200 SW 147 Avenue. The surrounding area is characterized by

a townhouse development located on the large parcel that is to the north and west of the subject site, existing single-family residential to the east, and AU zoned vacant lots and large single-family residential properties located immediately to the south of the subject site.

SUMMARY OF THE IMPACTS:

The approval of this application will allow the applicant to modify the covenant running with the land which ties the subject property to a previously approved site plan, in order to be able to build a new retail building on the outparcel which is part of the existing shopping center, bringing additional commercial services to the surrounding community. Based on memoranda from the departments reviewing this application, the proposed retail building additions would not create any significant impacts that would cause their facilities and services to operate below their adopted levels of service standards. The Platting and Traffic Review Section of the Department of Regulatory and Economic Resources (RER) state in their memorandum that the application meets the traffic concurrency criteria, does not exceed the acceptable Level of Service (LOS) on the neighboring roadways and generates approximately an additional 21 PM peak hour vehicle trips.

COMPREHENSIVE DEVELOPMENT MASTER PLAN ANALYSIS:

The ±9.84-acre subject property is located within and adjacent to the Urban Development Boundary (UDB) and designated as Business and Office on the Comprehensive Development Master Plan (CDMP) Adopted 2030-2040 Land Use Plan (LUP) map. “This category accommodates the full range of sales and service activities. Included are retail, wholesale, personal and professional services, call centers, commercial and professional offices, hotels, motels, hospitals, medical buildings, nursing homes, entertainment and cultural facilities, amusements and commercial recreation establishments such as private commercial marinas.”

The approval of the request for modification of the prior covenant sought in this application will permit the applicant to make changes to the existing layout and submit a revised site plan showing a new redesign of a proposed 1-story retail building. The CDMP Land Use Element interpretative text states; “[c]ompatibility shall be determined in accordance to Policy LU-4A.” The Land Use Element Policy LU-4A sets forth the criteria to determine compatibility among proximate land uses and states; “[w]hen evaluating compatibility among proximate land uses, the County shall consider such factors as noise, lighting, shadows, glare, vibration, odor, runoff, access, traffic, parking, height, bulk, scale of architectural elements, landscaping, hours of operation, buffering, and safety, as applicable.” Further, CDMP Land Use Element, Policy LU-4D states; “[u]ses which are supportive but potentially incompatible shall be permitted on sites within functional neighborhoods, communities or districts only where proper design solutions can and will be used to integrate the complementary elements and buffer any potentially incompatible elements.” Staff opines that based on the submitted plans, which depict the existing conditions including the new improvements, that the proposed new structure on the out parcel, are minimal in nature and continue to keep within the existing character and current site layout, including parking and traffic movement of the shopping center, and that the modifications will not result in an intensification or development of the site beyond the scale of the surrounding residential area, and would not be out of character with same. Furthermore, the landscape plans submitted for the application depict substantial buffering have been provided along the eastern and southern property lines of the existing parcel that abuts the residential properties to the east and south. As such, staff opines that the proposed 1-story retail building to the existing shopping center site will not be out of character in scale and intensity with the adjacent and adjoining existing and future developments, would be adequately buffered, will not detrimentally impact the surrounding properties, and would be compatible with the area based on the criteria set forth in the CDMP Land Use Element and Policies LU-4A and LU-4D. Furthermore, staff notes that as

part of this application, the applicant has submitted an Amended and Restated Covenant which ties the property to the aforementioned plans.

As indicated, the Business and Office designation permits retail uses such as the existing use under the current zoning application. Moreover, staff notes that the approval of this application would not change the already existing retail use of the property, which is an allowed use in the BU-1A zoning district. As such, the proposed 1-story retail building at the out-parcel improvement is compatible with the uses allowed in the Business and Office designation. Therefore, staff opines that approval with conditions of the application would be consistent with the CDMP Land Use Element interpretative text for Business and Office areas and the CDMP Land Use Plan map Business and Office designation for the subject property.

ZONING ANALYSIS:

The applicant seeks to modify the site plan described in paragraph #1 of the previously recorded Covenant Running With The Land In Lieu of Unity of Title Official Record Book 26099 at Pages 3704-3709, in order to submit revised plans showing the development of a proposed retail building (auto-parts store) on the outparcel of the existing shopping center that is located on the subject site. When the aforementioned request is analyzed under Section 33-311(A)(7), Generalized Modification Standards, staff recommends approval of the request. Staff opines that the modification will not create any new, or additional visual impacts on the surrounding neighborhood above what was already previously approved for this site, and would be **compatible** with the area concerned, when considering the necessity and reasonableness of the modifications in relation to the present and future development of the area concerned. Said covenant restricts the subject parcel to a previously approved set of site plans, and the requested modification of the site plan condition of the covenant will allow the applicant to submit revised plans with the intent to develop the currently vacant outparcel portion of the existing shopping center. The only changes to the site plan relate to the outparcel, and the remainder of the site plan shall remain the same.

Specifically, the applicant seeks to redesign the outparcel that is on the southeast corner of the existing shopping center with a proposed new 1-story retail building as a proposed auto-parts store. Staff notes that the previous plans showed a 5,000 sq. ft. retail building. The submitted plans indicate that the modification includes the existing shopping center and its parking and the construction of a new +/- 7,381 sq. ft. AutoZone retail building, on the outparcel that is on the corner along Eureka Drive (SW 184 Street) and SW 147 Avenue. This currently vacant portion of the subject site is located within the shopping center as a detached, stand-alone outparcel that provides the proposed tenant with high visibility and accessibility, thus ensuring a steady flow of foot traffic and potential patrons to the business. Staff notes that the proposed plans also provide for sufficient on-site parking for the shopping center to accommodate the reconfigured development of the outparcel, and that the ingress-egress points of access and parking areas remain within the same general location and configuration as was originally reflected in the previously approved plans for the shopping center. Staff also notes that the applicant is not requesting any variances for the proposed development on the vacant outparcel, and meets the criteria for setbacks, building heights, lot coverage, open space and landscaping requirements. As such, staff opines that based on the submitted plans, the proposed layout and placement of the new 1-story structure on the vacant outparcel within the existing shopping center layout, shall continue to keep within the existing character of the shopping center and the surrounding neighborhood, will not be out of character in its overall massing, scale and height with the adjacent and adjoining developments, would be adequately buffered with landscaping and street trees, will not detrimentally impact the surrounding properties, and would be **compatible** with the area. Staff also notes that as part of the modification to the prior covenant, the applicant has submitted an amended and restated Declaration of Restrictions that ties the subject property to the new site plans.

Staff notes that based on the memoranda submitted by other departments reviewing the application, approval of the applicant's request will not cause their facilities and services to operate below their adopted levels of service standards. Staff notes that the Platting and Traffic Review Section of the Department of Regulatory and Economic Resources (RER), does not object to the application pursuant to standard conditions, and indicate in their memorandum, dated November 7, 2024, state that they have no objections to the requests subject to conditions in their memorandum and that this application complies with the traffic concurrency levels of service as the application will generate approximately an additional 21 PM peak hour vehicle trips. Further, the Division of Environmental Resources Management (DERM) of the Department of Regulatory and Economic Resources, in their memorandum dated November 7, 2023, indicate that subject to the applicable conditions, the application meets the applicable LOS standards for an initial development order as specified in the adopted CDMP for potable water service, wastewater disposal, and flood protection. In addition, the memoranda submitted by the Miami- Dade Fire Rescue Department and the Water and Sewer Department indicate no objection to the application as well. Based on the aforementioned department memoranda, staff opines that approval of the applicant's requests will not unduly burden the abutting roadways, will not have an unfavorable impact on the environmental resources of the County, or cause undue or excessive burden on public facilities.

As such, staff opines that the request for modification of the previously recorded covenant that runs with the land, in order to submit new site plans for the proposed auto-parts store to be developed on the outparcel of the existing shopping center, would be **compatible** with the area concerned, when considering the necessity and reasonableness of the modifications in relation to the present and future development of the area. **Based on the aforementioned, staff recommends approval with conditions of the application, under Section 33-311(A)(7) Generalized Modification Standards.**

ACCESS, CIRCULATION AND PARKING: Access to the site and internal driveways for the existing shopping center remain unchanged, with three (3)-main ingress/egress points of direct vehicular and pedestrian access to the subject property located along Eureka Drive (SW 184 Street) and SW 147 Avenue. Parking and driveways are internal to the site and the subject site provides for a combined total of 409 parking spaces, where 336 are required by code for the existing shopping center and proposed redevelopment to the outparcel, therefore, the parking amounts comply with the code minimums.

NEIGHBORHOOD SERVICES PROVIDER COMMENTS: See attached.

OTHER: Not applicable.

RECOMMENDATION:

Approval with conditions.

CONDITIONS FOR APPROVAL:

1. That all other paragraphs of the Amended Covenant Running With The Land In Lieu of Unity of Title recorded in Official Record Book 26099, Pages 3704-3709, remain in full force and effect, except as herein modified.
2. That the applicant complies with all the applicable conditions, requirements, recommendations, requests, and other provisions of the Division of Environmental Resources Management of the Department of Regulatory and Economic Resources as contained in its memorandum dated

November 7, 2023.

3. That the applicant complies with all applicable conditions, requirements, recommendations, requests, and other provisions of the Platting and Traffic Review Section of the Department of Regulatory and Economic Resources as indicated in the memorandum dated November 7, 2024.

ES:JB:SS:VM

Eric Silva

Eric Silva, AICP, Assistant Director
Development Services Division
Miami-Dade County Department of
Regulatory and Economic Resources

ZONING RECOMMENDATION ADDENDUM

AutoZone Stores, LLC
PH: Z23-405

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NEIGHBORHOOD SERVICES PROVIDER COMMENTS	
Division of Environmental Resource Management (RER)	<i>No objection*</i>
Platting and Traffic Review Section (RER)	<i>No objection*</i>
Fire Rescue	<i>No objection</i>
Water & Sewer WASD	<i>No objection*</i>
Building and Neighborhood Compliance (BNC)	<i>No objection</i>
<i>*Subject to conditions in their memorandum.</i>	

COMPREHENSIVE DEVELOPMENT MASTER PLAN (CDMP) OBJECTIVES, POLICIES AND INTERPRETATIVE TEXT

<p>Business and Office (Page I-40)</p>	<p><i>This category accommodates the full range of sales and service activities. Included are retail, wholesale, personal and professional services, call centers, commercial and professional offices, hotels, motels, hospitals, medical buildings, nursing homes (also allowed in the institutional category), entertainment and cultural facilities, amusements and commercial recreation establishments such as private commercial marinas. Also allowed are telecommunication facilities (earth stations for satellite communication carriers, satellite terminal stations, communications telemetry facilities and satellite tracking stations). These uses may occur in self-contained centers, high-rise structures, campus parks, municipal central business districts or strips along highways. In reviewing zoning requests or site plans, the specific intensity and range of uses, and dimensions, configuration and design considered to be appropriate will depend on locational factors, particularly compatibility with both adjacent and adjoining uses, and availability of highway capacity, ease of access and availability of other public services and facilities. Uses should be limited when necessary to protect both adjacent and adjoining residential use from such impacts as noise or traffic, and in most wellfield protection areas uses are prohibited that involved the use, handling, storage, generation or disposal of hazardous material or waste, and may have limitations as to the maximum buildable area, as defined in Chapter 24 of the County Code. When the land development regulations are amended pursuant to Land Use Element Policies LU-9P and LU-9Q, live-work and work-live developments shall be permitted on land designated as Business and Office, as transitional uses between commercial and residential areas.</i></p> <p><i>Residential uses, and mixing of residential use with commercial, office and hotels are also permitted in Business and Office areas provided that the scale and intensity, including height and floor area ratio of the residential or mixed use development, is not out of character with that of adjacent or adjoining development and zoning, and it does not detrimentally impact, and it provides a sensitive well designed transition to any adjacent or adjoining residentially developed or designated areas of different development intensity. Where these conditions are met residential development may be authorized to occur in the Business and Office category at a density up to one density category higher than the LUP-designated density of the adjacent or adjoining residentially designated area on the same side of the abutting principal roadway, or up to the density of any such existing residential development, or zoning if the adjacent or adjoining land is undeveloped, whichever is higher. If there is no adjacent or adjoining residential use existing, zoned or designated on the same side of the roadway, the maximum allowable residential density will be that which exists or which this plan allows across the roadway. Where there is no residential use, zoning or designation on either side of the roadway, the intensity of residential development, including height, bulk and floor area ratio shall be no greater than that which would be permitted for an exclusively commercial use of the site. Where SURs or TDRs are transferred to Business-designated parcels which are zoned or to be used for residential development, or when a residential project utilizes the inclusionary zoning program the allowances of the Residential communities section may be used within the limits provided in this paragraph.</i></p>
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ZONING RECOMMENDATION ADDENDUM

AutoZone Stores, LLC
PH: Z23-405

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PERTINENT ZONING REQUIREMENTS/STANDARDS

<p>Section 33-311(A)(7) Generalized Modification Standards</p>	<p><i>The Board shall hear applications to modify or eliminate any condition or part thereof which has been imposed by any final decision adopted by resolution; and to modify or eliminate any provisions of restrictive covenants, or parts thereof, accepted at public hearing, except as otherwise provided in Section 33-314(C)(3); provided, that the appropriate Board finds after public hearing that the modification or elimination, in the opinion of the Community Zoning Appeals Board, would not generate excessive noise or traffic, tend to create a fire or other equally or greater dangerous hazard, or provoke excessive overcrowding of people, or would not tend to provoke a nuisance, or would not be incompatible with the area concerned, when considering the necessity and reasonableness of the modification or elimination in relation to the present and future development of the area concerned, or (b) (i) that the resolution that contains the condition approved a school use that was permitted only as a special exception, (ii) that subsequent law permits that use as of right without the requirement of approval after public hearing, and (iii) that the requested modification or elimination would not result in development exceeding the standards provided for schools authorized as a matter of right without the requirement of approval after public hearing.</i></p>
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Building and Neighborhood Compliance

ENFORCEMENT HISTORY

PUBLIX SUPERMARKETS, INC

18200 SW 147 AVE
MIAMI-DADE COUNTY, FLORIDA.

APPLICANT

ADDRESS

PENDING

Z2023000405

DATE

HEARING NUMBER

FOLIO No: 30-5933-034-0010

REVIEW DATE OF CURRENT ENFORCEMENT HISTORY:

October 23, 2023

NEIGHBORHOOD REGULATIONS:

There are no open/closed cases in CMS.

BUILDING SUPPORT REGULATIONS:

Building Support Case A2022002058X opened on March 11, 2022 for expired building permit 2021016050. A notice of violation was issued to the contractor on November 30, 2021 and to the property owner on March 11, 2022. A civil violation notice was issued on January 19, 2023 due to noncompliance, P041810. Violation was corrected. There are no outstanding fees. The case is closed.

Building Support Case A2022001994X opened on March 11, 2022 for expired building permit 2021015441. A notice of violation to the contractor was mailed on November 20, 2021 and to the property owner on March 11, 2022. Violation was corrected. There are no outstanding fees. The case is closed.

VIOLATOR:

PUBLIX SUPERMARKETS, INC

OUTSTANDING LIENS AND FINES:


There are no outstanding liens or fines.

Memorandum



Date: January 9, 2025

To: Lourdes M. Gomez, AICP, Director
Department of Regulatory and Economic Resources

From: Lisa M. Spadafina, RER Assistant Director
Division of Environmental Resources Management 

Subject: Z2023000405-2nd Review
Publix Super Markets, Inc.
18200 SW 147th Avenue
Modification of Resolution CZAB11-47-07 to develop an Autozone
store within a developed shopping center.
(BU-1A) (9.84 acres)
33-55-39

The Department of Regulatory and Economic Resources – Division of Environmental Resources Management (DERM) has reviewed the above referenced Municipal Site Plan Review for compliance with the requirements of Chapter 24 of the Miami-Dade County Code (the Code) for potable water service and wastewater disposal. Based on the information provided, this site plan review is approved pursuant to section 24-43.1 the Code related to potable water service and wastewater disposal.

Potable Water Supply and Wastewater Disposal

According to DERM records the existing shopping center is currently connected to public water and sanitary sewers. Pursuant to the Code and based on the proposed site plan showing new construction, the proposed development currently has abutting public water and public sanitary sewer mains. Therefore, the proposed development shall connect to public water and sanitary sewers in accordance with the Code.

Under section 24-43.4(2)(b)(iii) of the Code, once a property or portion thereof is determined to be within feasible distance, the owner shall record, in the Public Records of Miami-Dade County and at the owner's expense, a covenant in a form acceptable to the Director acknowledging that the property shall be required to connect to the applicable public infrastructure as a condition of any building permit for development on the property or portion thereof. Please contact Glennys.Fernandez-Martinez@miamidade.gov or Ninfa.Rincon@miamidade.gov for information regarding this covenant.

Existing public water and sewer facilities and services meet the Level of Service (LOS) standards set forth in the Comprehensive Development Master Plan (CDMP). Furthermore, the proposed development order, if approved, will not result in a reduction in the LOS standards subject to compliance with the conditions required by DERM for this proposed development order.

Please note that some of the collection/transmission facilities, which includes sanitary sewer gravity sewer mains, sanitary sewer force mains and sanitary sewer pump stations, throughout the County do not have adequate capacity, as defined in the Consent Decree between Miami-Dade County, Florida Department of Environmental Protection, and the U.S. Environmental Protection Agency case 1:12-cv-24400-FAM. Under the terms of this Consent Decree, this approval does not constitute an allocation or certification of adequate treatment and transmission system capacity. At the time of building permits,

DERM will evaluate and may reserve sanitary sewer capacity, through the DERM sanitary sewer certification process, if the proposed development complies with the provisions of the Consent Decree. Building permits for development in sanitary sewer basins that have been determined not to have adequate capacity cannot be approved until adequate capacity becomes available.

Please be advised, DERM review and approval is required for any proposed public or private sanitary sewer system. Each parcel within the proposed development that is required to be served by public sanitary sewers shall connect directly to the public sanitary sewer system, without traversing other parcels. Private sanitary sewer collection and transmission systems are limited to one building per parcel connecting directly to a public sanitary sewer system and cannot traverse other parcels to connect to the public sanitary sewer system. If multiple buildings are within a parcel, each building shall connect individually to a public sanitary sewer system without traversing other parcels.

Conditions of Approval: That the owner submits a covenant in accordance with the requirements of section 24-43.4(2)(b)(iii) of the Code.

Water Control Review

A DERM Surface Water Management General Permit Modification shall be required for the construction and operation of the required surface water management system. This permit shall be obtained prior to any future development order approval. The applicant is advised to contact the DERM Water Control Section at (305)372-6681 or dermwatercontrol@miamidade.gov for further information regarding permitting procedures and requirements.

Stormwater shall be retained on site utilizing properly designed seepage or infiltration drainage system. Drainage plans shall provide for full on-site retention of the stormwater runoff generated by a 5-year storm event.

Site grading and development plans shall comply with the requirements of Chapter 11C of the Code, as well as with all state and federal criteria, and shall not cause flooding of adjacent properties.

Any proposed development shall comply with county and federal flood criteria requirements. The proposed development order, if approved, will not result in a reduction in the LOS standards for flood protection set forth in the CDMP subject to compliance with the conditions required for this proposed development order.

Conditions of Approval: None

Tree Preservation Review

An aerial review of the subject property indicates the presence of tree resources, however, the landscape plan entitled "AutoZone Store FL6504" prepared by Nickolas K. Schild, R.L.A., and dated as received by Miami-Dade County on October 10, 2023, was submitted with the subject application and indicates that tree resources onsite will not be removed. Please note that a Miami-Dade County Tree Permit is required prior to the removal and/or relocation of any tree that is subject to the tree preservation and protection provisions of the Code. Projects and permits shall comply with the requirements of sections 24-49.2 and 24-49.4 of the Code.

In accordance with section 24-49.9 of the Code, all plants prohibited by Miami-Dade County shall be removed from all portions of the property prior to development, or redevelopment and developed parcels shall be maintained to prevent the growth or accumulation of prohibited species. Please contact Jackelyn Alberdi at Jackelyn.Alberdi@miamidade.gov regarding any additional information or concerns with this review.

Conditions of Approval: None

DERM Enforcement History Review

The subject property has no open and five (5) closed enforcement records for violations of Chapter 24 of the Code. Please contact the Enforcement Section if you require additional information. There are no outstanding DERM liens or fines for the subject property.

Additionally, a review records associated with the above DERM Enforcement case revealed the following:

Smoothie Monkey (DERM closed case no. GDO-11448)

Paid civil penalties and surcharge: \$110.00 for UCVN no. B212102.

Little Super Heros Learning Center & Child Care (DERM closed case no. GDO-11496)

Paid civil penalties and surcharge: \$110.00 for UCVN no. B217168.

Tom Thumb Food Stores (DERM closed case no. GDO-11451)

Paid civil penalties: \$260.00 for UCVN no. B228654.

Tom Thumb Food Stores (DERM closed case no. GDO-11451)

Paid civil penalties and surcharge: \$110.00 for UCVN no. B228655.

Pomodoro Ristorante & Bar, LLC. DBA Pomodoro Ristorante & Bar (DERM closed case no. GDO-10037)

Paid civil penalties and surcharge: \$110.00 for UCVN no. B228108

Concurrency Review Summary


A concurrency review has been conducted for this application and DERM has determined that the same meets all applicable LOS standards for an initial development order as specified in the adopted CDMP for potable water supply, wastewater disposal, and flood protection. This concurrency approval is valid only for this initial development order. Pursuant to Chapter 33G of the Code, a final concurrency statement will be issued at the time of final development order.

If you have any questions concerning the comments or wish to discuss this matter further, please contact Ninfa Rincon at (305) 372-6764.

cc: Eric Silva, Department of Regulatory and Economic Resources

Date: November 1, 2023

To: Nathan Kogon, Assistant Director
Development Services
Department of Regulatory and Economic Resources (RER)

From: Maria A. Valdes, CSM, LEED® Green Associate
Chief, Planning & Water Certification Section
Water and Sewer Department (WASD) 

Subject: Zoning Application Comments - AutoZone Stores, LLC
Application No. Z2023000405 - (Pre-app. No. Z23P-393)

The Water and Sewer Department has reviewed the proposed development for the subject zoning application. WASD has no objections to this application. The information provided below is preliminary and it does not affect the Zoning process. The applicant is advised to consult with their engineer and WASD's Plans Review staff to finalize points of connection and capacity approval.

Application Name: AutoZone Stores, LLC

Location: The proposed project is located at northwest corner of the intersection of SW 147th Avenue and SW 184th Street with Folio No. 30-5933-034-0010, in unincorporated Miami-Dade County, abutting and within the Urban Development Boundary on the south.

In addition, due to the project's proximity to the UDB, the proposed development is subject to review and approval by a WASD proximity to UDB project review team, as required by Policy WS-2E in the County's CDMP.

Proposed Development: To construct a 7,381 S.F. AutoZone

The estimated total water demand for the proposed addition will be 738 gallons per day (gpd).

Water: The proposed development is located within the WASD's water service area. The water supply is provided by the Alexander-Orr Water Treatment Plant (WTP). Currently, there is adequate treatment and water supply capacity at the WTP, consistent with Policy WS-2 A (1) of the CDMP.

There is an existing 12-inch water main in an easement within the property close to the western side of the project site to where the developer may connect to provide service to the proposed project. Any public water main extension within the property shall be 12-inch minimum diameter. If two or more fire hydrants are to be connected to a public water main extension, then the water system shall be looped with (2) points of connection. *Final points of connections and capacity approval to connect to the water system will be provided at the time the applicant requests connection to the water infrastructure.*

Note there are water mains within the property, either in existing dedicated R/W or easements, which need to be removed and relocated if in conflict with the proposed development. In addition, no trees or palms should be planted within five (5) feet of any WASD facility. Easements associated with mains to be removed and relocated shall be closed and vacated before starting construction in the easement(s) areas. In case of R/W to be closed and vacated within the property, mains shall be removed and relocated, if needed, before closing/vacating them. Fire hydrants associated with mains to be removed and relocated shall be relocated as per Fire Department recommendations. Cutting and plugging of existing water mains shall be done by a licensed contractor under WASD supervision. Services to existing customers cannot be interrupted.

A Water Supply Certification (WSC) will be required for the proposed development. Said Certification will be issued at the time the applicant requests a WASD Developer Agreement. The WSC letter shall remain active in accordance with terms and conditions specified in said certification. The WSC is required consistent with Policy CIE-5D and WS-2C in the County's CDMP and in accordance with the permitted withdrawal capacity in the WASD's 20-year Water Use Permit.

For more information on the Water Supply Certification Program please go to <http://www.miamidade.gov/water/water-supply-certification.asp>

In addition, all future development will be required to comply with water use efficiency techniques for indoor water use and with landscape standards in accordance with Sections 8-31, 32-84, 18-A, and 18-B of the Miami-Dade County Code, consistent with Policies WS-5E and WS-5F of the CDMP.

For more information about our Water Conservation Program, please go to <http://www.miamidade.gov/conservation/home.asp>

For information concerning the Water-Use Efficiency Standards Manual please go to <http://www.miamidade.gov/waterconservation/library/instructions/water-use-efficiency-standards-manual.pdf>

Sewer: The proposed development is located within the WASD's sewer service area. The wastewater flows for the proposed development will be transmitted to the South District Wastewater Treatment Plant (SDWWTP) for treatment and disposal. The SDWWTP is currently operating under a permit from the Florida Department of Environmental Protection. Currently, there is adequate sewer treatment and disposal capacity at the SDWWTP, consistent with Policy WS-2 A (2) of the CDMP.

There is an existing 8-inch gravity sewer system in an easement within the property located on the eastern side of the project site to where the developer may connect to provide sewer service for the proposed project. Final points of connections and capacity approval for connection to the sewer system will be provided at the time the applicant request connection to the sewer infrastructure.

If unity of Title does not apply, then any gravity sewer within the property shall be public and 8-inch minimum diameter.

There are sewer mains within the property, either in existing dedicated R/W or easements, which need to be removed and relocated if in conflict with the proposed development. In addition, no trees or palms should be planted within five (5) feet of any WASD facility. Easements associated with mains to be removed and relocated shall be closed and vacated before starting construction in the easement(s) areas. In case of R/W to be closed and vacated within the property, mains shall be removed and relocated, if needed, before closing/vacating them. Services to existing customers cannot be interrupted.

The sewage flow from the proposed development will be transmitted to Pump Station (P.S.) 1086. The projected sanitary sewer flows from this development will increase the Nominal Average Pump Operating Time (NAPOT) operating hours of P.S. 1086 from 3.01 hrs. to 3.03 hrs. The Moratorium Code status for said pump station is OK.

Connection to the sanitary sewer system is subject to the following conditions:

- Adequate transmission and plant capacity exist at the time of the owner's request consistent with policy WS-2 A(2) of the CDMP. Capacity evaluations of the plant for average flow and peak flows will be required. Connection to the COUNTY'S sewage system will be subject to the terms, covenants and conditions set forth in court orders, judgments, consent orders, consent decrees and the like entered into between the COUNTY and the United States, the

State of Florida and/or any other governmental entity, including but not limited to, the Consent Order entered on April 9, 2014 in the United States of America, State of Florida and State of Florida Department of Environmental Protection v. Miami-Dade County, Case No. 1:12-cv-24400-FAM, as well as all other current, subsequent or future enforcement and regulatory actions and proceedings.

- Approval of all applicable governmental agencies having jurisdiction over these matters are obtained.

Any public water or sewer infrastructure must be within a public right-of-way, or within a utility easement.

Below please find additional links to the WASD portal, which provides information on the Construction & Development process for water and sewer infrastructure.

<http://www.miamidade.gov/water/construction-development.asp>

<http://www.miamidade.gov/water/construction-service-agreement.asp>

<http://www.miamidade.gov/water/construction-existing-service.asp>

<http://www.miamidade.gov/water/library/forms/service-agreement.pdf>


Should you have any questions, please contact Maria A. Valdes, Chief, Planning & Water Certification Section at (786) 552-8198 or mavald@miamidade.gov, Alfredo B. Sanchez at (786) 552-8237 or sanalf@miamidade.gov, or Benita Ramirez (786) 552-8121 or benita.ramirez@miamidade.gov.

Memorandum



Date: November 7, 2024

To: Eric Silva, AICP, Assistant Director
Department of Regulatory and Economic Resources

From:  Raul A. Pino, PLS, Division Chief
Platting and Traffic Review Section
Department of Regulatory and Economic Resources

Subject: Z2023000405
Name: AutoZone Stores, LLC
Location: 18200 SW 147 Avenue
Section 33 Township 55 South Range 39 East

The Department of Regulatory and Economic Resources Platting and Traffic Review Section has reviewed the subject application and has **no objections**.

This land **complies** with Chapter 28 of the Miami-Dade County Code, the property is platted as Tract A, Plat Book 168, Page 35. A Covenant in lieu of unity of title approved by the Platting and Traffic Review Section will be required.

This application will generate approximately **21 PM** peak hour vehicle trips. In order to receive traffic concurrency approval, the applicant completed a Proportionate Share Mitigation Agreement under this zoning application Z2023000405. This agreement has been recorded in the Public Records of Miami-Dade County under OR Book 34478 and Page 2440.

The request herein, constitutes an Initial Development Order only, and one or more traffic concurrency determinations will subsequently be required before development will be permitted.

Standard Conditions:

- A letter or a plan containing the following certification signed and sealed by a State of Florida registered engineer shall be submitted as part of the paving and drainage plans: "I hereby certify that the all of the roads for the subject project comply with all of the applicable portions of the Manual of Uniform Minimum Standards for Design, Construction and Maintenance for Streets and Highways (Florida Greenbook) regarding: design speed, lane widths, horizontal alignment, vertical alignment, stopping sight distance, sight distance, horizontal clearance, vertical clearance, superelevation, shoulder widths, grades, bridge widths, etc."
- All landscaping, walls, fences, entrance features, etc. will be subject to the Safe Sight Distance Triangle as per Section 33-11 of the Miami-Dade County Code and G5.3 of the Public Works and Waste Management Department Manual.

Memorandum



Date: January 31, 2024

To: Nathan M. Kogon, Assistant Director
Regulatory and Economic Resources

From: Alejandro G Cuello, Principal Planner
Miami-Dade Fire Rescue Department

Subject: Z2023000405

The Miami-Dade Fire Rescue Department has **no objection** to the site plan uploaded to “EnerGov” on 1/31/2024.

MDFR’s review of this zoning application is limited to assessing fire department access and does not effectuate an approval of the building design. The future building’s design must be in compliance with the applicable requirements for the proposed use:

Florida State Statute Chapter 633 (Fire Prevention & Control)
Florida Administrative Code 69A
Florida Fire Prevention Code (NFPA 1 and NFPA 101 (2018 edition))
Applicable adopted NFPA Standards
County Code Chapter 14

For additional information, please contact acuello@miamidade.gov or call 305-775-3357.

Memorandum



Date: January 31, 2024

To: Nathan M. Kogon, Assistant Director
Regulatory and Economic Resources

From: Alejandro G Cuello, Principal Planner
Miami-Dade Fire Rescue Department

Subject: Z2023000405

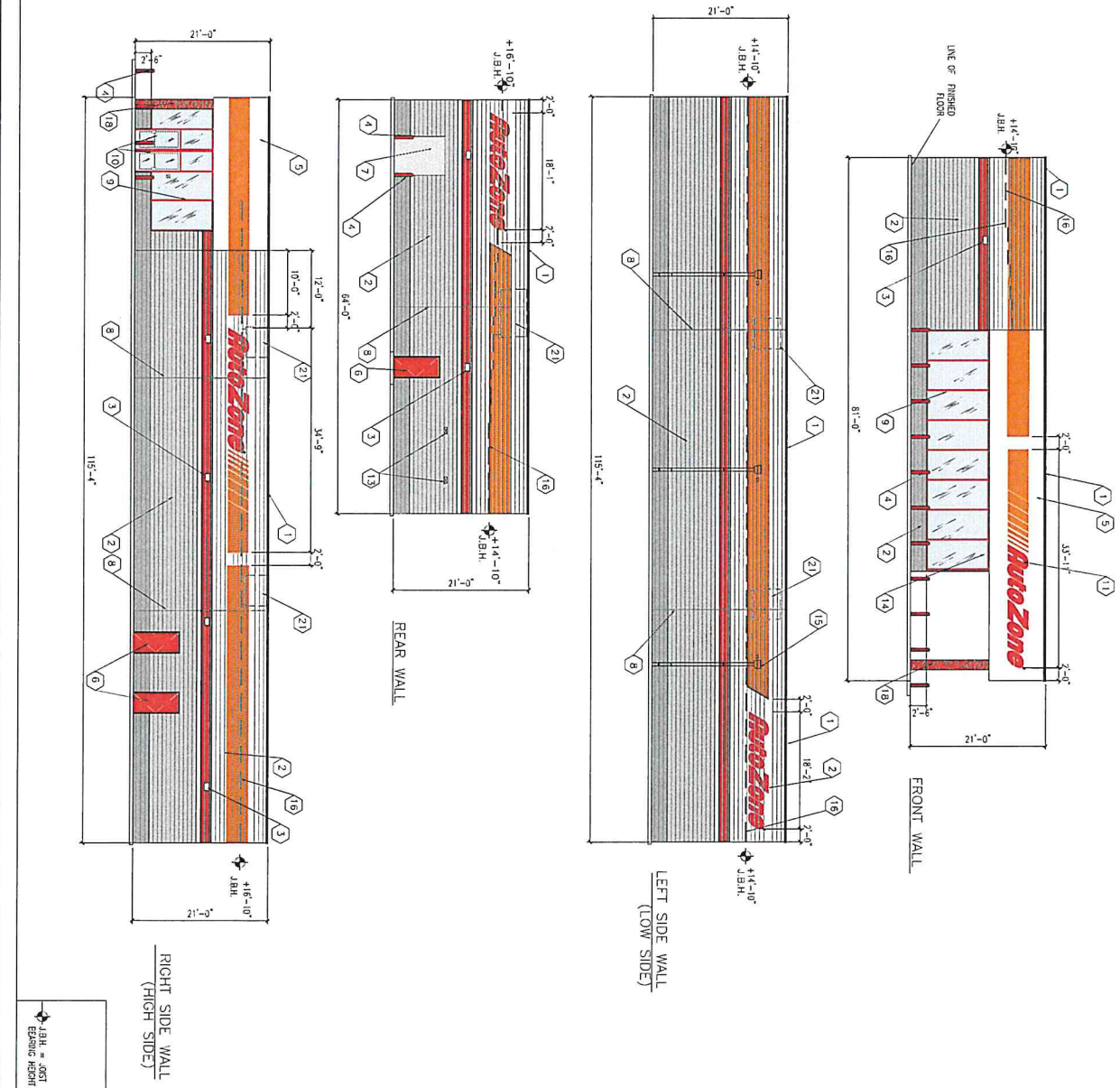
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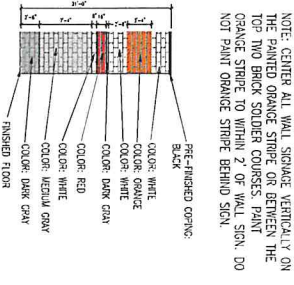
1 EXTERIOR ELEVATIONS



- 1 TWO PIECE COMPRESSION TRAIL SEE DETAIL 4/16
- 2 SMOOTH FACE CONCRETE WASHERY UNITS SEE PANT DETAIL SCHEME THIS SHEET
- 3 WALL MOUNTED LIGHT FIXTURE
- 4 PRE-GALVAN WITH RED STEEL
- 5 WPC WHITE EXTERIOR INSULATED FINISH - PAINT WHITE
- 6 PAINT MAIN ROOM RED & WENT FRAMES BLACK
- 7 DO NOT PAINT OVERHEAD DOOR PAINT ANGLES BLACK
- 8 EXPANSION JOINT
- 9 ALUMINUM STOREFRONT - RED RIVET FINISH
- 10 GLASS AND ALUMINUM WINDOWS - CLEAR ANODIZED FINISH
- 11 FRONT WALL SIGN - 36" HIGH CHANNEL LETTERS W/ SPACES
- 12 RIGHT WALL SIGN - 36" HIGH CHANNEL LETTERS W/ SPACES
- 13 TOILET WALL VENTS PAINT TO MATCH WALL
- 14 STORE ADDRESS - 6" WHITE REFLECTIVE NUMBERS
- 15 SCRAPERS AND DOWNSPURS PAINTED TO MATCH BACKGROUND WALL COLOR. ADJACENT 4" H. X 6" W. OVERFLOW SCUPPER. REMOVE 2" ABOVE ROOF.
- 16 ROOF BEAM AT ROOF LINE
- 17 HVAC UNITS SCREENED BEHIND PROJECT WALL
- 18 OPERATED COLUMN - PAINT RED
- 19 LEFT WALL SIGN - 36" HIGH CHANNEL LETTERS
- 20 REAR WALL SIGN - 36" HIGH CHANNEL LETTERS

2 ELEVATION KEYNOTES

NOTE: CENTER ALL WALL SIGNAGE VERTICALLY ON THE PAINTED ORANGE STRIPE ON BETWEEN THE TOP TWO BRICK SORDER CORPERS. PAINT ORANGE STRIPE TO WITHIN 2" OF WALL SIGN. DO NOT PAINT ORANGE STRIPE BEHIND SIGN.



3 EXTERIOR WALL COLOR SCHEME

GENERAL NOTES

1. REFER TO SECTION 09000 OF THE SPECIFICATIONS FOR PAINT AND COORDINATE COLORS. ALL COLORS ARE TO BE SHERWIN-WILLIAMS PAINT COMPANY.
2. PAINT RESTROOM WALL VENTS TO MATCH THE ADJACENT WALL.
3. SCREEN AT EXPANSION JOINTS TO MATCH ADJACENT WALL COLOR.
4. ALL WINDOW JOINTS TO BE CHROME TONED.

4 GENERAL NOTES

1. SIGNAGE SHALL BE INSTALLED AND FINISH ALL SIGNS UNLESS SPECIFICALLY NOTED ON THE DRAWINGS OTHERWISE. WALL SIGNS TO BE INSTALLED ON SURFACES THAT ARE UNFINISHED AND PROVIDED BY OTHER CONTRACTOR.

2. SIGN INSTALLER SHALL GRIND SIGN FINISHES AND REPAIR ALL FINISHES TO MATCH EXISTING FINISHES. SIGNAGE SHALL BE INSTALLED TO ORANGE AND SHALL MARK WHERE SIGN IS TO BE LOCATED.

3. GENERAL CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF PRIMARY ELECTRICAL AND RIVAL ELECTRICAL WORK-UP. SEE "SW" SHEETS FOR ADDITIONAL INFORMATION.

4. SEE SET 13 FOR LOCATIONS OF J-BOLTS REMAINING FROM WALL SIGN CARRIER.

5 SIGNAGE NOTES - BUILDING

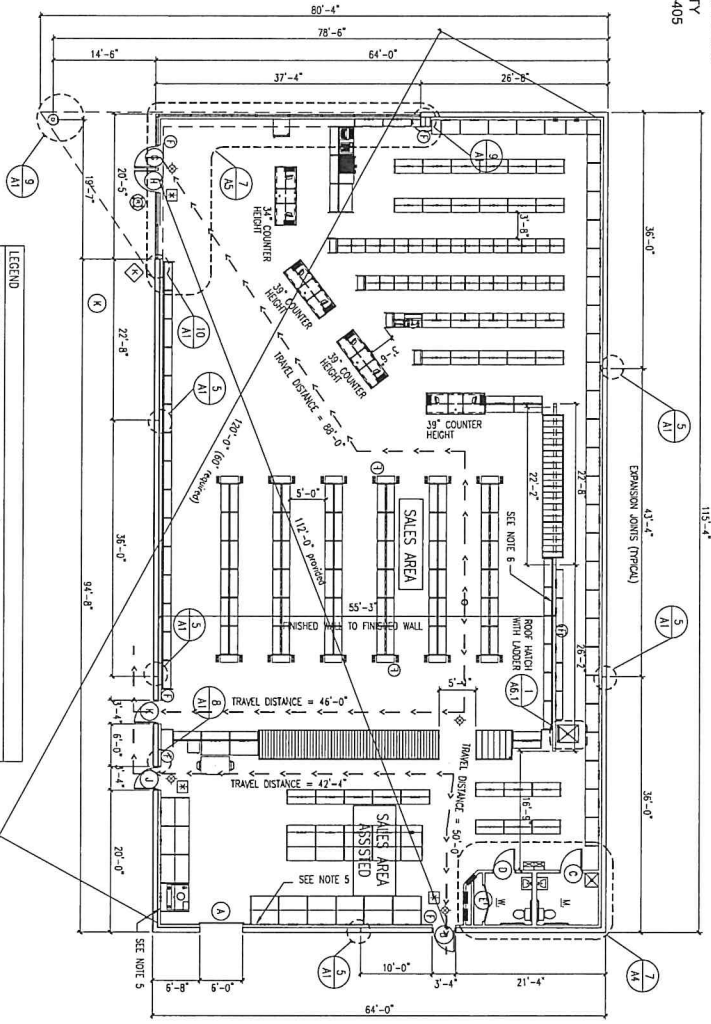
REVISIONS	
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2	5
3	6

AutoZone Store No. 6504
 18200 SW 147TH AVENUE
 MIAMI FL 33177
EXTERIOR ELEVATIONS AND NOTES

Architect: George Callow - License #AR0014155
 123 South Front Street
 Memphis, Tennessee 38103
 TEL: 901-495-8706 FAX: (901) 495-8969

For Bidding & Contractor Information Contact:
 McGraw - Hill Construction Tel. 615-884-1017
 www.construction.com

05/01/23
 7N2L
CE-1



1 FLOOR PLAN

1/8" = 1'-0"

1. REFER TO STRUCTURAL DRAWINGS FOR ALL DETAILS AND REQUIREMENTS REGARDING FOUNDATIONS, WALL REINFORCING, BOND BEAMS, LINTELS, AND ROOF FRAMES.

2. REFER TO MECHANICAL DRAWINGS FOR LOCATIONS AND DETAILS OF SOWMARKS, PEE COUERS, ETC., AS WELL AS FINISH FLOOR ELEVATION AND FINISH CEILING ELEVATION. REFER TO ELECTRICAL DRAWINGS FOR LOCATIONS AND DETAILS OF ELECTRICAL PANELS AND CONDUIT.

3. INSTALL 6" WIDE, 20 GAUGE GALVANIZED SHEET METAL SIGN BRACKETS, THE BACK OF THE GYPSUM BOARD AND THE FACE OF THE METAL STUD AROUND THE THREE PERIMETERS OF THE BUILDING, AS WELL AS BOTH SIDES OF THE CHIMNEY WALL, TOP OF STAIR TO BE SET ABOVE FINISHED FLOOR. REFER TO SHEET A-4 FOR DETAILS OF CHIMNEY WALL.

4. SET SHEET P-1 FOR LOCATION OF NON-FREEZE VAND ROYANT AND INSULATION REQUIREMENTS.

5. INSTALL 1/2" X 4'-0" X 8'-0" 42 MCMOOD HORIZONTAL WITH THE LONG EDGE ON THE FLOOR AND THE END JOINT CENTERING ON ELEVATION SET 3/4" DETAIL.

6. SET SPECIFICATIONS FOR INSULATION ON FLOORS NOT COMPLETELY DEMONSTRATED ON THE DRAWINGS.

2 FLOOR PLAN NOTES

LOCATION	FLOOR	BASE	WALLS	C.I.G.	REM.
SALES AREA	SEALD CONCRETE	VINYL	GYPSUM BOARD	FIBER REINFORCED PANELS	
REST ROOMS	VINYL	QUARRY TILE	GYPSUM BOARD	METAL DECK	

3 DOOR FINISH SCHEDULE

1/8" = 1'-0"

NO.	DESCRIPTION	FINISH
1	DOOR SCHEDULE - HOLLOW METAL DOORS & FRAMES	AS SHOWN

4 DOOR SCHEDULE - HOLLOW METAL DOORS & FRAMES

1/8" = 1'-0"

NO.	DESCRIPTION	FINISH
1	DOOR SCHEDULE - HOLLOW METAL DOORS & FRAMES	AS SHOWN

5 EXPANSION JOINT DETAIL

1/8" = 1'-0"

6 OVERHEAD DOOR ELEVATION

7 OVERHEAD DELIVERY DOOR

8 JAMB DETAILS

9 SECTION AT CANOPY

10 SECTION AT CANOPY

11 USED OIL RETURN CONTAINMENT

11 USED OIL RETURN CONTAINMENT

1/8" = 1'-0"

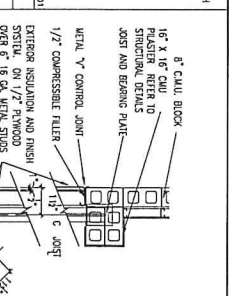
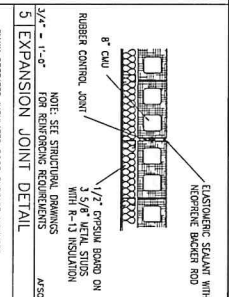
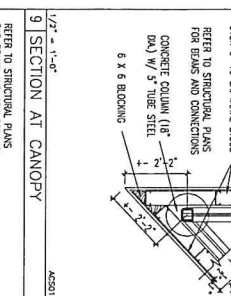
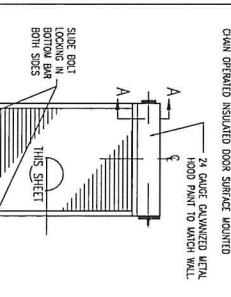
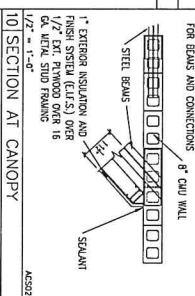
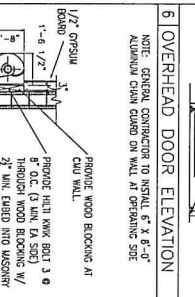
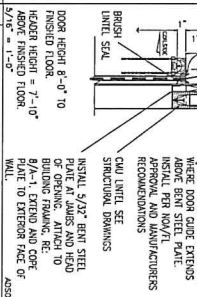
1. MAKE OIL STORAGE ONLY BE STORED UNDER THE BUILDING ON A SECONDARY CONTAINMENT.

2. THE FACILITY SHALL ONLY ACCEPT WASTE OIL AND USED TRANSMISSION FLUIDS FROM DO-IT-YOURSELF OIL CHANGERS AND WASTE OIL SHALL BE DEPOSITED WITHIN THE FACILITY'S OPERATING PREMISES.

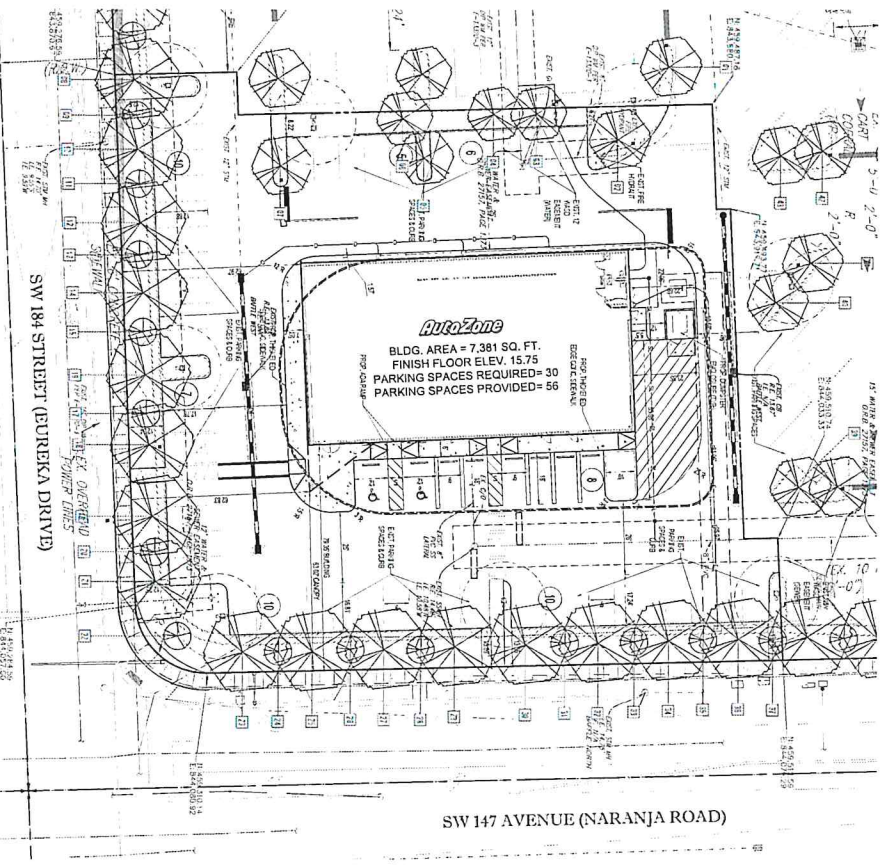
3. FACILITY SHALL APPLY FOR AND OBTAIN ALL THE REQUIRED PERMITS.

4. FACILITY SHALL MAINTAIN INSPECTION CONTROL AND RECORD KEEPING OF THE WASTE OIL STORED AND DEPOSITED OF.

5. THE WASTE OIL WILL BE DEPOSITED BY A CERTIFIED WASTE HAULER.



<p>REVISIONS</p> <table border="1"> <tr><td>1</td><td></td><td></td></tr> <tr><td>2</td><td></td><td></td></tr> <tr><td>3</td><td></td><td></td></tr> <tr><td>4</td><td></td><td></td></tr> <tr><td>5</td><td></td><td></td></tr> <tr><td>6</td><td></td><td></td></tr> </table>	1			2			3			4			5			6			<p>AutoZone Store No. 6504 18200 SW 147TH AVENUE</p> <p>MIAMI FL 33177</p> <p>FLOOR PLAN / DOOR SCHEDULE / WALL DETAILS</p>
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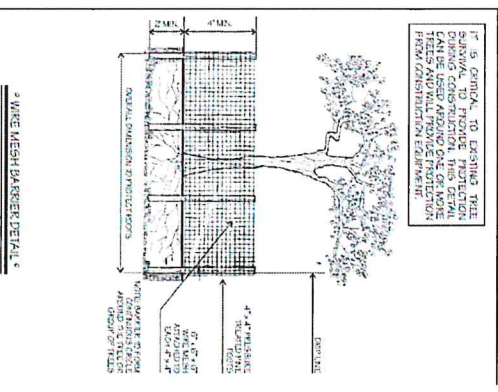


- GENERAL NOTES:**
1. Surveyor's plan is based on a survey of the existing AutoZone building and parking lot. The survey was conducted on 10/15/23 by [Surveyor Name].
 2. The building area is 7,361 square feet. The finish floor elevation is 15.75 feet above mean sea level. The parking lot area is 56 parking spaces.
 3. The parking lot is located to the south of the building. The parking spaces are numbered 1 through 56.
 4. The site is bounded by SW 184 Street (Gourka Drive) to the west and SW 147 Avenue (Naranja Road) to the south.
 5. The plan shows various trees and landscaping. The trees are numbered 1 through 10.
 6. The site boundaries are shown with dashed lines.
 7. The plan is based on a survey of the existing AutoZone building and parking lot. The survey was conducted on 10/15/23 by [Surveyor Name].
 8. The building area is 7,361 square feet. The finish floor elevation is 15.75 feet above mean sea level. The parking lot area is 56 parking spaces.
 9. The parking lot is located to the south of the building. The parking spaces are numbered 1 through 56.
 10. The site is bounded by SW 184 Street (Gourka Drive) to the west and SW 147 Avenue (Naranja Road) to the south.
 11. The plan shows various trees and landscaping. The trees are numbered 1 through 10.
 12. The site boundaries are shown with dashed lines.

EXISTING TREE DISPOSITION CHART

NO.	TREE SPECIES	DBH (IN)	HEIGHT (FT)	CONDITION	DISPOSITION	NOTES
1	COCONUT PALM	20	25	GOOD	RETAIN	
2	COCONUT PALM	20	25	GOOD	RETAIN	
3	COCONUT PALM	20	25	GOOD	RETAIN	
4	COCONUT PALM	20	25	GOOD	RETAIN	
5	COCONUT PALM	20	25	GOOD	RETAIN	
6	COCONUT PALM	20	25	GOOD	RETAIN	
7	COCONUT PALM	20	25	GOOD	RETAIN	
8	COCONUT PALM	20	25	GOOD	RETAIN	
9	COCONUT PALM	20	25	GOOD	RETAIN	
10	COCONUT PALM	20	25	GOOD	RETAIN	
11	COCONUT PALM	20	25	GOOD	RETAIN	
12	COCONUT PALM	20	25	GOOD	RETAIN	
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23	COCONUT PALM	20	25	GOOD	RETAIN	
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25	COCONUT PALM	20	25	GOOD	RETAIN	
26	COCONUT PALM	20	25	GOOD	RETAIN	
27	COCONUT PALM	20	25	GOOD	RETAIN	
28	COCONUT PALM	20	25	GOOD	RETAIN	
29	COCONUT PALM	20	25	GOOD	RETAIN	
30	COCONUT PALM	20	25	GOOD	RETAIN	
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38	COCONUT PALM	20	25	GOOD	RETAIN	
39	COCONUT PALM	20	25	GOOD	RETAIN	
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95	COCONUT PALM	20	25	GOOD	RETAIN	
96	COCONUT PALM	20	25	GOOD	RETAIN	
97	COCONUT PALM	20	25	GOOD	RETAIN	
98	COCONUT PALM	20	25	GOOD	RETAIN	
99	COCONUT PALM	20	25	GOOD	RETAIN	
100	COCONUT PALM	20	25	GOOD	RETAIN	

TOTAL # OF QUALIFIED TREES ON SITE: 11382



PLEASE REFER TO SHEET L-2.0 FOR OVERALL LANDSCAPE PLAN

THIS SITE CONTAINS EXISTING TREES WHICH MAY REQUIRE TRIMMING AND/OR PRUNING - ALTHOUGH THIS IS NOT ANTICIPATED TO OCCUR. THE LANDSCAPE COMPANY/CONTRACTOR MUST HAVE A CERTIFIED ARBORIST ON STAFF TO ENSURE PROPER ISA HORTICULTURAL PRACTICES ARE FOLLOWED FOR TRIMMING, PRUNING, TRANSPORTING, ETC. OF THESE TREES. IF REMOVED, NO MORE THAN 25% OF THE CANOPY MAY BE REMOVED WITHOUT REQUESTING A FIELD MEETING WITH MIAMI-DADE COUNTY.



THOMAS ENGINEERS GROUP
 1102 W. FLETCHER AVE. SUITE 200
 TAMPA, FL 33612
 813-882-4444
 113 W. BOWTOWN RD. SUITE 200
 JUPITER, FL 33418
 561-744-1111

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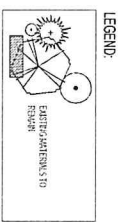
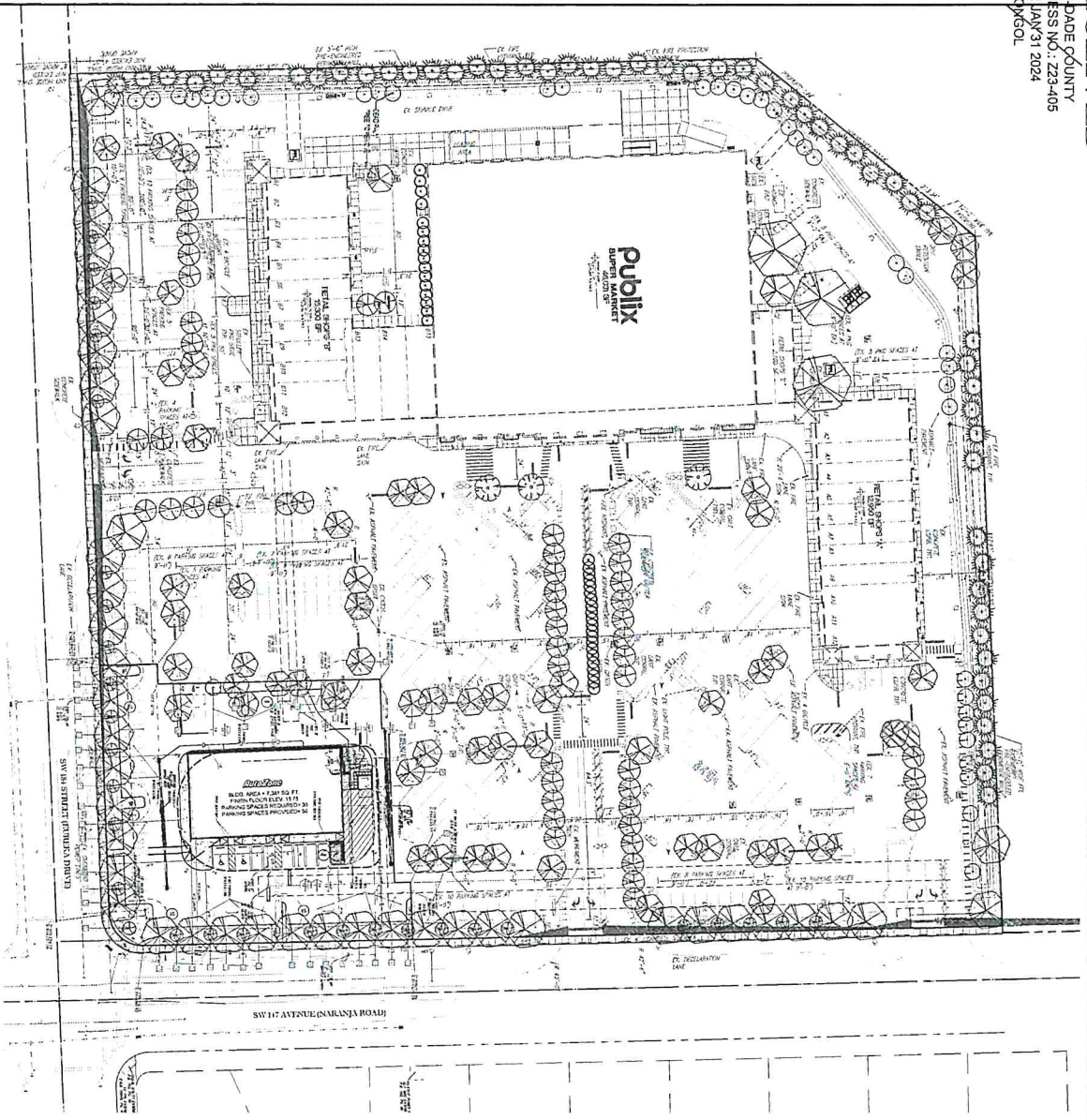
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 561-744-1111



OVERALL SITE

LANDSCAPE LEGEND (This information is required to be permanently affixed to the plan.)
 Zone: Outdoor: 35.0%
 Net Area: 35.0%
 Area: 12,375 square feet

OPEN SPACE
 A. Square feet of open space required by Chapter 23, as indicated on the plan: 6,807.5 SF
 B. Square feet of parking lot open space required by Chapter 18A, as indicated on the plan: 4,005 SF
 C. Total square feet of landscaped open space required by Chapter 23 = A + B = 10,812.5 SF

LAWN AREA CALCULATION
 A. Total square feet of landscaped open space required by Chapter 23 = 10,812.5 square feet
 B. Maximum lawn area (60% Asplanted and permitted) = 6,487.5 square feet
 C. Minimum lawn area (60% Asplanted and permitted) = 6,487.5 square feet

TREES
 A. The number of trees required per net lot area: 25
 B. 30% palm trees allowed (two palm = one tree) Palm provided = 75
 C. Percentage of cubic feet required = the number of trees provided x 35% = 26.25
 D. Pains to street trees (average spacing 25' each) = 114
 E. Street trees located along fence (maximum average spacing of 25' each) = 57
 F. Total number of trees provided = 171

SHRUBS
 A. The number of shrubs required = 1.0% of the number of trees required = 1.71
 B. The number of shrubs required = 30% of the number of trees provided = 51.3

IRRIGATION PLAN: Required by Chapter 23. Also irrigation _____ or hose bib _____ provided.

TABLE 2: containing information as indicated in sample:

SYMBOL/USED ON PLAN	PLANT NAME	NATIVE CALIF. SPECIES	HEIGHT	EMBEDDED	CANOPY	QUANTITY				
Symbol	New	Existing	Scientific	Common	Yes	No	Required	Embedded	Embedded or	Quantity

* Required for trees located underground or adjacent to powerlines and palm seed at 1:1 ratio
 * ADDITIONAL IRRIGATION MAY BE REQUIRED BY CHAPTER 18A.

PLANT SCHEDULE

TREES	CODE	QTY	COMMON NAME
	CE	1	Butterwood
	TP	2	Pink Tabebuia
	CHH	10	Red Tip Coccoloba
	POD	110	Shrubby Yew

SHRUB AREAS	CODE	QTY	COMMON NAME
	HAP	42	Fire Bush
	LUR	61	Lily Turf

THOMAS ENGINEERING GROUP
 CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS

1902 W. FLETCHER AVE.
 SUITE 200
 TAMPA, FL 33612
 PH: 813.876.8100
 FAX: 813.876.8101

Sunshine
 6811 S. W. 11th Avenue, Suite 100
 Miami, FL 33149
 Phone: 305.444.1111
 Fax: 305.444.1112
 www.sunshinegroup.com

PROJECT:
 AUTOZONE STORE
 SW 14th STREET & SW
 14th AVENUE
 FOR
 AUTOZONE INC.
 MIAMI-DADE COUNTY
 FL

PRELIMINARY SITE PLAN
 DATE: 1/31/24
 DRAWN BY: GUY/GOL
 CHECKED BY: GUY/GOL

SCALE:
 1" = 10'-0"

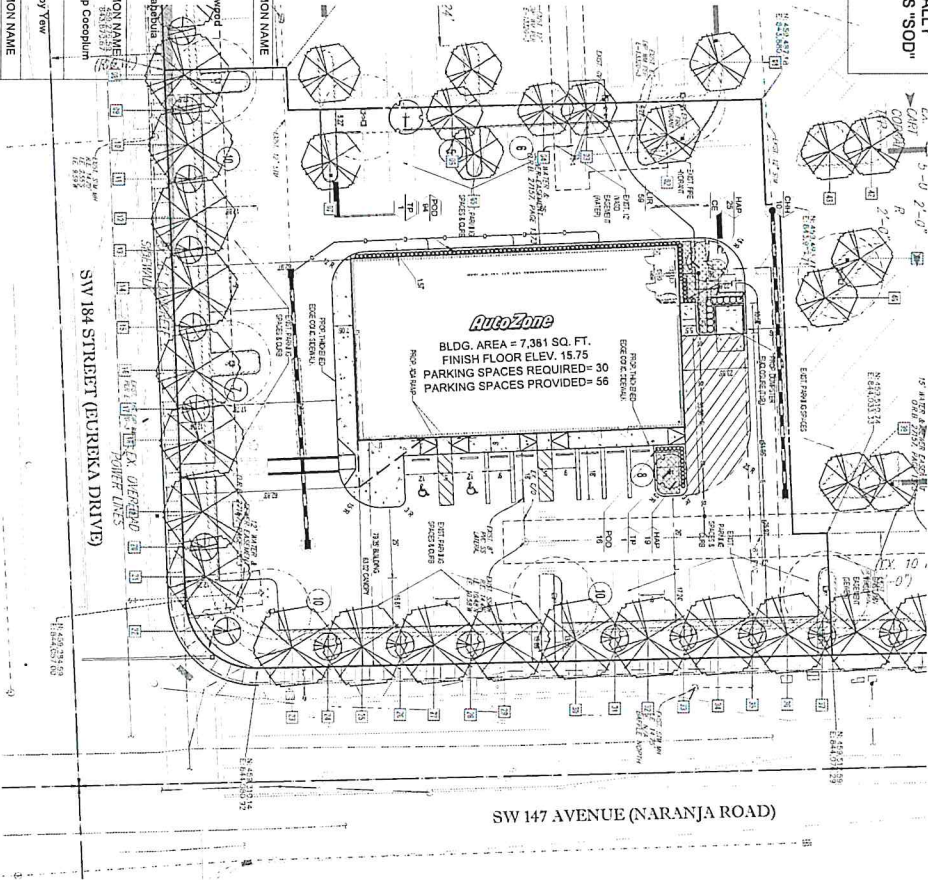
DATE: 1/31/24
 SHEET NUMBER: L-2.0

MIAMI-DADE COUNTY
 PROCESS NO. 2013-0013
 DATE: JAN 31 2013
 BY: GONGOL
 PLEASE REFER TO SHEET L-1.0 FOR
 TREE DISPOSITION PLAN. SHEET L-2.1
 FOR PLANT MATERIALS LIST.
 MIAMI-DADE COUNTY CODE
 REQUIREMENTS, AND PLANTING
 DETAILS; AND SHEET L-2.2 FOR
 LANDSCAPE GENERAL NOTES.

UNLESS OTHERWISE SPECIFICALLY
 NOTED, ALL AREAS LABELED AS "SOD"
 TO BE PASPALUM NOTATUM,
 ARGENTINE BAHIA SOD.

PLANT SCHEDULE

TREES	CODE	QTY	COMMON NAME
	CE	1	Butomoyed
	TP	2	Pink Tabebuia
	CHH	10	Red Tip Coccoloba
	POD	110	Shrubby Yew
	HAP	42	Fire Blush
	LHR	61	Lily Turf



AUTOZONE ONLY

LANDSCAPE LEGEND (This information is required to be permanently affixed to the plan)
 Landmark: BUA Net Lot Area: 5916 sq. ft. 4289 sq. ft.

OPEN SPACE
 A. Square feet of open space required by Chapter 23, as indicated on site plan: 4289 sq. ft.
 B. Square feet of planting for open space required by Chapter 23, as indicated on site plan: 4289 sq. ft.
 C. Total square feet of landscaped open space required by Chapter 23 = A + B = 8578 sq. ft.

LAWN AREA CALCULATION
 A. Total square feet of landscaped open space required by Chapter 23 = 8578 sq. ft.
 B. Maximum lawn area (as regulated and permitted) = 20% of 8578 sq. ft. = 1715.6 sq. ft.
 C. Total square feet of lawn area provided = 1715.6 sq. ft.

TREES

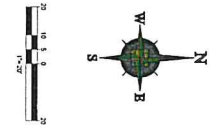
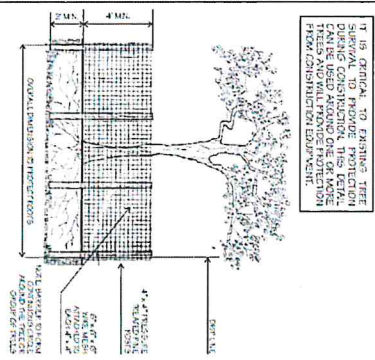
Code	Quantity	Required	Provided
CE	1	1	1
TP	2	2	2
CHH	10	10	10
POD	110	110	110
HAP	42	42	42
LHR	61	61	61

SHRUBS
 A. The total number of trees required = 18 = the number of shrubs required
 B. The number of shrubs required = 35% = the number of native shrubs required
 C. The number of native shrubs required = 6.3 = 6 (rounded down)
 D. The number of non-native shrubs required = 11.7 = 12 (rounded up)
 E. The number of native shrubs provided = 6
 F. The number of non-native shrubs provided = 12

SYMBOL USED ON PLAN

Symbol	Tree	Shrub	Native	Height	Quantity
	Yes	No	Yes	10'	1
	Yes	No	No	10'	2
	Yes	Yes	Yes	10'	10
	Yes	Yes	No	10'	110
	Yes	No	Yes	10'	42
	Yes	No	No	10'	61

THIRDS, containing information as indicated in sample:
 SYMBOL USED ON PLAN: PLANT NAME, SPECIES, CALIBER, HEIGHT, QUANTITY, QUANTITY PROVIDED.
 * Required for trees located underground or adjacent to powerlines and utility lines used at 1:1 ratio.
 ADDITIONAL INFORMATION MAY BE REQUIRED BY CHAPTER 23.



THOMAS ENGINEERS
 CIVIL ENGINEERS, PROFESSIONAL MECHANICAL ENGINEERS, LANDSCAPE ARCHITECTS
 1902 W. FLETCHER AVE. SUITE 100, TAMPA, FL 33612
 123 W. BRIGHTON RD. SUITE 100, TAMPA, FL 33618
 (813) 973-1111

Sunshine
 PRELIMINARY SITE PLAN
 PROJECT: AUTOZONE STORE
 SW 184 STREET & SW 147 AVENUE
 MIAMI-DADE COUNTY, FL

THOMAS ENGINEERS
 CIVIL ENGINEERS, PROFESSIONAL MECHANICAL ENGINEERS, LANDSCAPE ARCHITECTS
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 1902 W. FLETCHER AVE. SUITE 100, TAMPA, FL 33612
 123 W. BRIGHTON RD. SUITE 100, TAMPA, FL 33618
 (813) 973-1111

RECEIVED

MIAMI-DADE COUNTY

PROCESS NO.: Z23-405

DATE: JAN 31 2024

BY: GONGOL

DISCLOSURE OF INTEREST*

If a **CORPORATION** owns or leases the subject property, list principal stockholders and percent of stock owned by each. [Note: Where principal officers or stockholders consist of other corporation(s), trust(s), partnership(s) or similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

CORPORATION NAME: AutoZone Stores, LLC

<u>NAME AND ADDRESS</u>	<u>Percentage of Stock</u>
<u>See Exhibit B, attached. Publicly traded company - AZO (NYSE)</u>	<u></u>
<u></u>	<u></u>
<u></u>	<u></u>
<u></u>	<u></u>
<u></u>	<u></u>
<u></u>	<u></u>

If a **TRUST or ESTATE** owns or leases the subject property, list the trust beneficiaries and percent of interest held by each. [Note: Where beneficiaries are other than natural persons, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

TRUST/ESTATE NAME: N/A

<u>NAME AND ADDRESS</u>	<u>Percentage of Interest</u>
<u></u>	<u></u>
<u></u>	<u></u>
<u></u>	<u></u>
<u></u>	<u></u>
<u></u>	<u></u>

If a **PARTNERSHIP** owns or leases the subject property, list the principals including general and limited partners. [Note: Where partner(s) consist of other partnership(s), corporation(s), trust(s) or similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interests].

PARTNERSHIP OR LIMITED PARTNERSHIP NAME: N/A

<u>NAME AND ADDRESS</u>	<u>Percent of Ownership</u>
<u></u>	<u></u>
<u></u>	<u></u>
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<u></u>	<u></u>

RECEIVED

MIAMI-DADE COUNTY

If there is a **CONTRACT FOR PURCHASE** by a Corporation, Trust or Partnership, list purchasers below, including principal officers, stockholders, beneficiaries or partners. [Note: Where principal officers, stockholders, beneficiaries or partners consist of other corporations, trusts, partnerships or similar entities, further disclosure shall be made to identify natural persons having ultimate ownership interests].

PROCESS NO: 23-405
DATE: 08/18/2023
BY: [Signature]

NAME OF PURCHASER: _____

NAME, ADDRESS AND OFFICE (if applicable)	Percentage of Interest
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

Date of contract: _____

If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership or trust:

NOTICE: For changes of ownership or changes in purchase contracts after the date of the application, but prior to the date of final public hearing, a supplemental disclosure of interest is required.

The above is a full disclosure of all parties of interest in this application to the best of my knowledge and belief.

Signature: [Signature]
(Applicant) AutoZone Stores, LLC

Sworn to and subscribed before me this 18th day of August, 2023. Affiant is personally known to me or has produced _____ as identification.

[Signature]
(Notary Public)
My Commission Expires
November 9, 2025



*Disclosure shall not be required of: 1) any entity, the equity interests in which are regularly traded on an established securities market in the United States or another country; or 2) pension funds or pension trusts of more than five thousand (5,000) ownership interests; or 3) any entity where ownership interests are held in a partnership, corporation or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership and where no one (1) person or entity holds more than a total of five per cent (5%) of the ownership interest in the partnership, corporation or trust. Entities whose ownership interests are held in a partnership, corporation, or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership, shall only be required to disclose those ownership interest which exceed five (5) percent of the ownership interest in the partnership, corporation or trust.

RECEIVED

If there is a **CONTRACT FOR PURCHASE** by a Corporation, Trust or Partnership, list **MAHARDEW COUNTY** including principal officers, stockholders, beneficiaries or partners. [Note: Where principal officers, stockholders, beneficiaries or partners consist of other corporations, trusts, partnerships or similar entities, further disclosure shall be made to identify natural persons having ultimate ownership interests] **PRINCIPAL OFFICERS 223-405 DATE: JAN 31 2024 BY: GONGOL**

NAME OF PURCHASER: N/A

<u>NAME, ADDRESS AND OFFICE (if applicable)</u>	<u>Percentage of Interest</u>
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

Date of contract: _____

If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership or trust:

NOTICE: For changes of ownership or changes in purchase contracts after the date of the application, but prior to the date of final public hearing, a supplemental disclosure of interest is required.

The above is a full disclosure of all parties of interest in this application to the best of my knowledge and belief.

Signature: William W Rayburn IV
(Applicant)

Publix Super Markets, Inc. by William W. Rayburn, IV as Vice President of Real Estate Assets

Sworn to and subscribed before me this 18th day of September, 2023. Affiant is personally known to me or has produced _____ as identification.

Vicki Brekke
(Notary Public)



VICKI BREKKE
Commission # HH 072020
Expires December 26, 2024
Bonded Thru Budget Notary Services

My commission expires 12/26/2024

*Disclosure shall not be required of: 1) any entity, the equity interests in which are regularly traded on an established securities market in the United States or another country; or 2) pension funds or pension trusts of more than five thousand (5,000) ownership interests; or 3) any entity where ownership interests are held in a partnership, corporation or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership and where no one (1) person or entity holds more than a total of five per cent (5%) of the ownership interest in the partnership, corporation or trust. Entities whose ownership interests are held in a partnership, corporation, or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership, shall only be required to disclose those ownership interest which exceed five (5) percent of the ownership interest in the partnership, corporation or trust.

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MIAMI-DADE COUNTY

PROCESSING 12/31/2025

DATE: JAN 31 2024

BY: GONGOL

Driving East



RECEIVED Driving West

MIAMI-DADE COUNTY

PROCESS NO.: Z23-405

DATE: JAN 31 2024

BY: GONGOL



RECEIVED
Driving South

MIAMI DADE COUNTY
PROCESS NO.: Z23-405
DATE: JAN 31 2024
BY: GONGOL



SITE



RECEIVED View From Intersection

MIAMI DADE COUNTY
PROCESS NO.: Z23-405
DATE: JAN 31 2024
BY: GONGOL



On Site RECEIVED

MIAMI-DADE COUNTY
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