



FINAL AGENDA

Community Zoning Appeals Board 12
Kendall Village Center, Civic Pavilion, 8625 SW 124 Avenue, Miami, FL
Thursday, May 29, 2025 at 6:30 pm

PREVIOUSLY DEFERRED

APPEALS

CURRENT

1.	Z2024000080	3 Twins, LLC	24-80	55-40-15	N
2.	Z2024000083	Publix Super Markets, Inc.	24-83	55-40-16	N
3.	Z2024000160	Boos - Bird Rd., LLC	24-160	54-40-24	N



Official Zoning Agenda

COMMUNITY ZONING APPEALS BOARD

COMMUNITY ZONING APPEALS BOARD - AREA 12
MEETING OF MAY 29, 2025

KENDALL VILLAGE CENTER, CIVIC PAVILION
8625 SW 124 AVENUE, MIAMI, FLORIDA.

NOTICE: THE FOLLOWING HEARINGS ARE SCHEDULED FOR 6:30 P.M., AND
ALL PARTIES SHOULD BE PRESENT AT THAT TIME

ANY PERSON MAKING IMPERTINENT OR SLANDEROUS REMARKS OR WHO BECOMES BOISTEROUS WHILE ADDRESSING THE COMMUNITY ZONING APPEALS BOARD SHALL BE BARRED FROM FURTHER AUDIENCE BEFORE THE COMMUNITY ZONING APPEALS BOARD BY THE PRESIDING OFFICER, UNLESS PERMISSION TO CONTINUE OR AGAIN ADDRESS THE BOARD BE GRANTED BY THE MAJORITY VOTE OF THE BOARD MEMBERS PRESENT.

NO CLAPPING, APPLAUDING, HECKLING OR VERBAL OUTBURSTS IN SUPPORT OR OPPOSITION TO A SPEAKER OR HIS OR HER REMARKS SHALL BE PERMITTED. NO SIGNS OR PLACARDS SHALL BE ALLOWED IN THE MEETING ROOM. PERSONS EXITING THE MEETING ROOM SHALL DO SO QUIETLY.

THE USE OF CELL PHONES IN THE MEETING ROOM IS NOT PERMITTED. RINGERS MUST BE SET TO SILENT MODE TO AVOID DISRUPTION OF PROCEEDINGS. INDIVIDUALS, INCLUDING THOSE ON THE DAIS, MUST EXIT THE MEETING ROOM TO ANSWER INCOMING CELL PHONE CALLS. COUNTY EMPLOYEES MAY NOT USE CELL PHONE CAMERAS OR TAKE DIGITAL PICTURES FROM THEIR POSITIONS ON THE DAIS.

THE NUMBER OF FILED PROTESTS AND WAIVERS ON EACH APPLICATION WILL BE READ INTO THE RECORD AT THE TIME OF HEARING AS EACH APPLICATION IS READ.

THOSE ITEMS NOT HEARD PRIOR TO THE ENDING TIME FOR THIS MEETING, WILL BE DEFERRED TO THE NEXT AVAILABLE ZONING HEARING MEETING DATE FOR THIS BOARD.

SWEARING IN OF WITNESSES

1. 3 TWINS, LLC. Z2024000080

Area 12/District 8

The application is to allow outside storage of landscape decorative elements for an existing pond business located on the subject property. Additionally, the application seeks to allow the existing warehouse building to be located closer to the front property line than permitted by code.

- 1) UNUSUAL USE to permit outside display.
- 2) NON-USE VARIANCE to allow the principal building to setback 5'-2" (20' required) from the front (north) property line.

Plans are on file and may be examined in the Department of Regulatory and Economic Resources, entitled "Pond Doctors" as prepared by Robert Barnes & Associates, dated stamped received 11/18/24 consisting of 3 sheets. Plans may be modified at public Hearing.

LOCATION: 12955 SW 85 Avenue Road, Miami-Dade County, Florida.

SIZE OF PROPERTY: 0.25 acre

Department of Regulatory and
Economic Resources
Recommendation:

Approval with condition.

Protests: 0

Waivers: 0

APPROVED: _____

DENIED WITH PREJUDICE: _____

DENIED WITHOUT PREJUDICE: _____

DEFERRED: _____

2. PUBLIX SUPER MARKETS, INC. Z2024000083

Area 12/District 8

The application is to allow a previously approved liquor package store with the sale of alcoholic beverages on Sundays.

NON-USE VARIANCE to permit a liquor package store with Sunday sales of alcohol (Sunday sales not permitted except only during the month of December).

LOCATION: 13003 SW 89 Place, Miami-Dade County, Florida.

SIZE OF PROPERTY: ±5.91 acres

Department of Regulatory and
Economic Resources

THE FOLLOWING SUMMARY INFORMATION IS PROVIDED AS A COURTESY; IT SHOULD NOT BE TREATED AS LEGAL ADVICE AND IT SHOULD NOT BE RELIED UPON. LEGAL CONSULTATION MAY BE WARRANTED IF AN APPEAL OR OTHER LEGAL CHALLENGE IS BEING CONTEMPLATED.

Decisions of the Community Zoning Appeals Board (CZAB) may be subject to appeal or other challenge. For example, depending upon the nature of the requests and applications addressed by the CZAB, a CZAB decision may be directly appealable to the Board of County Commissioners (BCC) or may be subject to challenge in Circuit Court. Challenges asserted in Circuit Court, where available, must ordinarily be filed within 30 days of the transmittal of the pertinent CZAB resolution to the Clerk of the BCC. Appeals to the BCC, where available, must be filed with the Zoning Hearing Section of the Department of Regulatory and Economic Resources (RER), or its successor Department, within 14 days after RER has posted a short, concise statement (such as that furnished above for the listed items) that sets forth the action that was taken by the CZAB. (RER's posting will be made on a bulletin board located in the office of RER.) All other applicable requirements imposed by rule, ordinance, or other law must also be observed when filing or otherwise pursuing any challenge to a CZAB decision.

Further information regarding options and methods for challenging a CZAB decision may be obtained from sources that include, but are not limited to, the following: Sections 33-312, 33-313, 33-314, 33-316, and 33-317 of the Code of Metropolitan Dade County, Florida; the Florida Rules of Appellate Procedure; and the Municode website (www.municode.com). Miami-Dade County does not provide legal advice regarding potential avenues and methods for appealing or otherwise challenging CZAB decisions; however, a licensed attorney may be able to provide assistance and legal advice regarding any potential challenge or appeal.

**Miami-Dade County Department of Regulatory and Economic Resources
Staff Report to Community Zoning Appeals Board 12**

PH: Z24-080

May 29, 2025

Item No. 1

Recommendation Summary	
Commission District	8
Applicant	3 Twins, LLC
Summary of Requests	The applicant seeks to allow outdoor storage of landscape decorative elements for an existing pond business located on the subject property and to allow the existing warehouse building to be located closer to the front property line than permitted by code.
Location	12955 SW 85 Avenue Road, Miami-Dade County, Florida.
Property Size	0.25 Acres
Existing Zoning	IU-1, Industrial Light Manufacturing District
Existing Land Use	Warehouse and Pond Business
2030-2040 CDMP Land Use Designation	Industrial and Office <i>(see attached Zoning Recommendation Addendum)</i>
Comprehensive Plan Consistency	Consistent with the LUP map, and the interpretative text and policies of the CDMP
Applicable Zoning Code Section(s)	Section 33-311(A)(3), Special Exceptions, Unusual Uses and New Uses, Section 33-311(A)(4)(b), Non-Use Variances From Other Than Airport Regulations <i>(see attached Zoning Recommendation Addendum)</i>
Recommendation	Approval with conditions.

REQUESTS:

- (1) UNUSUAL USE to permit outdoor display.
- (2) NON-USE VARIANCE to allow the principal building to setback 5'-2" (20' required) from the front (north) property line.

Plans are on file and may be examined in the Department of Regulatory and Economic Resources, entitled "Pond Doctors" as prepared by Robert Barnes & Associates, dated stamped received 11/18/24 consisting of 3 sheets. Plans may be modified at public Hearing.

PROJECT DESCRIPTION:

The 0.25-acre subject site is an irregularly shaped property consisting of 1 parcel. The applicant is requesting an unusual use to permit outside display of portable circular ponds (request #1) and a non-use variance to allow the principal building to setback 5'-2" (20' required) from the front (north) property line (request #2). The submitted plans show pond displays located on two sides of the principal building, with internal site circulation and required parking provided on the west side of the property.

<u>NEIGHBORHOOD CHARACTERISTICS</u>		
	Zoning and Existing Use	Land Use Designation
Subject Property	IU-1; warehouse, pond business	Industrial and Office
North	IU-1; industrial warehouse, warehouse and storage	Industrial and Office
South	IU-1; industrial warehouses, light manufacturing	Industrial and Office
East	GU: busway	Transportation (row, rail, Metrorail, etc.)
West	IU-1; light industrial manufacturing	Industrial and Office

NEIGHBORHOOD COMPATIBILITY:

The 0.25-acre subject site is an irregularly shaped property consisting of one (1) parcel, located at 12955 SW 85 Avenue Road which is zoned IU-1. The surrounding area is predominantly zoned IU-1 and is characterized by industrial uses, including warehouses, storage facilities, and manufacturing operations.

SUMMARY OF THE IMPACTS:

The approval of this application will allow the applicant to legalize the outdoor display of portable circular ponds for an existing pond business and encroachment into the front setback of the existing principal building. Based on memoranda from the departments reviewing this application, staff opines that approval of the application will not create any significant impacts on the surrounding area. The Platting and Traffic Review Section of the Department of Regulatory and Economic Resources (RER) state in their memorandum that the application meets the traffic concurrency criteria, does not exceed the acceptable Level of Service (LOS) on the neighboring roadways and does not generate any additional vehicle trips. Staff notes that approval of the request could have a visual impact on the neighboring properties but opines that such impacts have been appropriately mitigated.

COMPREHENSIVE DEVELOPMENT MASTER PLAN ANALYSIS:

The Land Use Plan (LUP) map of the Comprehensive Development Master Plan (CDMP) designates the subject property, for **Industrial and Office** uses. The **Industrial and Office** category accommodates *manufacturing operations, maintenance and repair facilities, warehouses, mini-warehouses, office buildings, wholesale showrooms, distribution centers, and similar uses are permitted in areas designated as “Industrial and Office” on the LUP map. Also included are construction and utility-equipment maintenance yards, utility plants, public facilities, hospitals and medical buildings.*

Staff notes that the IU-1, Light Industrial District allows small scale industrial, storage and warehouse uses, including commercial facilities. The applicant seeks to legalize outdoor display of portable circular ponds for an existing pond business and the encroachment of the front setback for the existing building. Approval of the application will not change the industrial use on the subject property. Therefore, staff opines that approval with conditions of the application would be **consistent** with the CDMP Land Use Element interpretative text in **Industrial and Office** areas and the CDMP Land Use Plan map **Industrial and Office** designation for the subject property.

ZONING ANALYSIS:

The property is located at 12955 SW 85 Avenue Rd in the IU-1 Industrial, Light Manufacturing District. When analyzing request #1, to permit outdoor display of portable circular ponds under Section 33-311(A)(3), Special Exceptions, Unusual Uses and New Uses, staff opines that the approval of this request would be **compatible** with the neighborhood and would not visually impact the stability and appearance of the adjacent properties. According to the applicant's letter of intent, the existing business specializes in the sale and installation of ponds for residential and commercial properties, emphasizing environmental education, aesthetics, and ease of maintenance. Staff also notes precedent for similar approvals in the area, including: Palmetto Hardware and Plumbing Supply (Resolution #4-ZAB-172-84) for outdoor display of hardware; Lafary Leasing (Resolution #4-ZAB-503-73) for outdoor automobile display in an IU-1 zone; East Point Partners, Ltd. (Resolution #4-ZAB-91-93) for a partial enclosure of an auto storage area; John T. Turner (Resolution #4-ZAB-264-71) for outdoor storage of tow trucks in a BU-1A zone; and Gardener's Super Market (Resolution #5-ZAB-11-96) for the outdoor sale of fruits and vegetables. These precedents support the conclusion that the requested use is consistent with prior approvals in the area.

The attached memorandum from WASD confirms a 2-foot Utility Easement along and inside the northern boundary of the subject property, and a 6-foot Utility Easement within the property, as shown in the submitted survey (PB 98-63 Lot 1-B, Blk 3). The existing portable circular ponds and two propane tanks encroach on this 6-foot Utility Easement, as indicated in the survey. However, WASD has no objections to this application, provided that the conditions in its memo are met as the water and sewer infrastructure are located within the public Right-of-Way along SW 85th Avenue and SW 84th Avenue, and no water or sewer facilities are present within the 6-foot Utility Easement. Additionally, the portable circular ponds and propane tanks are not permanent structures and can be relocated if necessary. The outdoor display area will also be screened by a 6-foot-high perimeter chain-link fence with woven fabric, along with a landscaping buffer. **Based on the foregoing, staff recommend approval with conditions of request #1, under Section 33-311(A)(3), Special Exceptions, Unusual Uses and New uses.**

When analyzing request #2 under Section 33-311(A)(4)(b), Non-Use Variances From Other Than Airport Regulations to allow the principal building to setback 5'-2" (20' required) staff notes that survey provided depicts an irregular shape lot. Original building plans could not be located for the structure, which was built in 1969, suggesting the building may have been constructed in its current location. Due to the building's placement on the site, the reduced setback is not visible from the street and appears more like an interior setback. The property is enclosed with an existing chain-link fence and landscape buffer, both of which will remain in place to help mitigate any visual impact on the surrounding area. Staff further notes that based on memoranda submitted by reviewing departments, approval of the application would not adversely affect the economy of Miami-Dade County, create fire or other hazardous conditions, cause overcrowding, provoke a nuisance, or be incompatible with the surrounding area. Specifically, the Platting and Traffic Review Section of RER raised no objections and indicated the application would not generate additional vehicle trips or negatively impact surrounding roadways. The Division of Environmental Resources Management (DERM) confirmed the application meets all applicable Level of Service standards for potable water, wastewater, and flood protection. Additionally, the Water and Sewer Department and Miami-Dade Fire Rescue Department submitted memoranda indicating no objection. Based on these findings, staff concludes that the request will not result in excessive noise or place an undue burden on public facilities. **Based on the aforementioned,**

staff recommends approval with conditions of request #2 under Section 33-311(A)(4)(b), Non-Use Variance from Other than Airport Regulations.

ACCESS, CIRCULATION AND PARKING: The submitted plans indicate one (1)-ingress/egress point of direct vehicular and pedestrian access along SW 129 Terrace. Parking is internal to the site and complies with the minimum code requirements.

NEIGHBORHOOD SERVICES PROVIDER REVIEW: See attached.

OTHER: Not applicable.

RECOMMENDATION:

Approval with conditions.

CONDITIONS FOR APPROVAL:

1. That a site plan be submitted to and meet with the approval of the Director of the Department of Regulatory and Economic Resources or its successor Department upon the submittal of an application for a building permit and/or Certificate of Use; said plan must include among other things but not be limited to, location of structure or structures, exits and entrances, drainage, walls, fences, landscaping, etc.
2. That in the approval of the plan, the same be substantially in accordance with that submitted for the hearing entitled "Pond Doctors" as prepared by Robert Barnes & Associates, dated stamped received 11/18/24 consisting of 3 sheets. Plans may be modified at public Hearing.
3. That the use be established and maintained in accordance with the approved plan.
4. That the applicant submits to the Department of Regulatory and Economic Resources for its review and approval a landscaping plan which indicates the type and size of plant material prior to the issuance of a building permit and to be installed prior to the issuance of a Certificate of Use.
5. That the portable circular ponds and propane tanks located along the 6-foot Utility Easement must remain movable and can be relocated at any time.
6. That the applicant complies with all the applicable conditions, requirements, recommendations, requests, and other provisions of the Water and Sewer Department (WASD) as contained in its memorandum dated January 28, 2025. Further that the applicant agrees and acknowledge that temporary structures may be required to be removed from the utility easement.
7. That the applicant complies with all the applicable conditions, requirements, recommendations, requests, and other provisions of the Division of Environmental Resources Management (DERM) as contained in its memorandum dated January 28, 2025. Further that the applicant agrees and acknowledge that temporary structures may be required to be removed from the utility easement.

8. That the chain-link fence with landscape buffer along the perimeter be maintained, and that if the fence is destroyed or removed, the applicant shall install a 6' high cbs wall, opaque fence, or chain link fence with a hedge 3' high at the time of planting, which shall grow to and be maintained at a minimum height of 6,' in accordance with Section 33-11(h) of the County Code.

ES:JB:SS:EA:PM

Eric Silva

Eric Silva, AICP, Assistant Director
Development Services Division
Miami-Dade County Department of
Regulatory and Economic Resources

ZONING RECOMMENDATION ADDENDUM

3 Twins, LLC
PH: Z24-080

NEIGHBORHOOD SERVICES PROVIDER COMMENTS*	
Division of Environmental Resources Management (RER)	<i>No objection</i>
Platting and Traffic Review Section (RER)	<i>No objection</i>
Miami-Dade Fire Rescue (MDFR)	<i>No objection</i>
Water and Sewer Department (WASD)	<i>No objection*</i>
Building and Neighborhood Compliance (BNC)	<i>No objection</i>
<i>*Subject to conditions in their memorandum.</i>	

COMPREHENSIVE DEVELOPMENT MASTER PLAN (CDMP) OBJECTIVES, POLICIES AND INTERPRETATIVE TEXT

<p>Industrial and Office (Pg. I-38)</p>	<p><i>Manufacturing operations, maintenance and repair facilities, warehouses, mini-warehouses, office buildings, wholesale showrooms, distribution centers, and similar uses are permitted in areas designated as "Industrial and Office" on the LUP map. Also included are construction and utility-equipment maintenance yards, utility plants, public facilities, hospitals and medical buildings. The full range of telecommunication facilities, including switching and transmission facilities, satellite telecommunications facilities, microwave towers, radar stations and cell towers is also allowed. Very limited commercial uses to serve the firms and workers in the industrial and office area are allowed dispersed as small business districts and centers throughout the industrial areas. Hotels and motels are also authorized. Freestanding retail and personal service uses and shopping centers larger than 10 acres in size are prohibited in these areas because they would deplete the industrial land supply and they are better located in commercially designated areas and in closer proximity to residential areas. Freestanding retail and personal service uses and shops that are approved in Industrial and Office areas should front on major access roads, particularly near major intersections. In addition, uncommon commercial uses such as amusement uses, and others with unusual siting requirements may also be considered at appropriate locations. Quarrying activities and ancillary uses may also be approved in areas designated Industrial and Office where compatible with the surrounding area and environment. The specific range and intensity of uses appropriate in a particular Industrial and Office area vary by location as a function of the availability of public services and access and, among other factors, compatibility with neighboring development. Through the zoning review process, use of particular sites or areas may be limited to something less than the maximum allowed in this category. Moreover, special limitations may be imposed where necessary to protect environmental resources.</i></p>
<p>Policy LU-4A (Page I-9)</p>	<p><i>When evaluating compatibility among proximate land uses, the County shall consider such factors as noise, lighting, shadows, glare, vibration, odor, runoff, access, traffic, parking, height, bulk, scale of architectural elements, landscaping, hours of operation, buffering, and safety, as applicable.</i></p>

PERTINENT ZONING REQUIREMENTS/STANDARDS

<p>Sec. 33-260. - Uses confined to building</p>	<p><i>At all manufacturing establishments or rebuilding, storage or repair places permitted in an IU-1 District, all materials and products shall be stored and all manufacturing, rebuilding, storing or renovating operations shall be carried on entirely within an enclosed building or confined and completely enclosed within masonry walls not less than six (6) feet in height; provided the water frontage of shipyards, dry docks, boat slips, and like uses may be open.</i></p>
<p>Section</p>	<p><i>Special exceptions (for all applications other than public charter schools), unusual and new uses. Hear application for and grant or deny special exceptions, except applications</i></p>

ZONING RECOMMENDATION ADDENDUM

3 Twins, LLC
 PH: Z24-080

<p>33-311(A)(3) Special Exception, Unusual and New Uses</p>	<p><i>for public charter schools; that is, those exceptions permitted by the regulations only upon approval after public hearing, new uses and unusual uses which by the regulations are only permitted upon approval after public hearing; provided the applied for exception or use, including exception for site or plot plan approval, in the opinion of the Community Zoning Appeals Board, would not have an unfavorable effect on the economy of Miami-Dade County, Florida, would not generate or result in excessive noise or traffic, cause</i></p>
<p>Section 33-311(A)(4)(b) Non-Use Variances From Other Than Airport Regulations</p>	<p><i>Upon appeal or direct application in specific cases, the Board shall hear and grant applications for non-use variances from the terms of the zoning and subdivision regulations and may grant a non-use variance upon a showing by the applicant that the non-use variance maintains the basic intent and purpose of the zoning, subdivision and other land use regulations, which is to protect the general welfare of the public, particularly as it affects the stability and appearance of the community and provided that the non-use variance will be otherwise compatible with the surrounding land uses and would not be detrimental to the community. No showing of unnecessary hardship to the land is required.</i></p>

Building and Neighborhood Compliance

ENFORCEMENT HISTORY

3 TWINS, LLC/MURRAY, JEFFREY

12955 SW 85 AVENUE RD
MIAMI-DADE COUNTY, FLORIDA.

APPLICANT

ADDRESS

PENDING

Z2024000080

DATE

HEARING NUMBER

FOLIO No: 30-5015-041-0020

REVIEW DATE OF CURRENT ENFORCEMENT HISTORY:

February 24, 2025

NEIGHBORHOOD REGULATIONS:

Case No. 202302001902 was opened on 04/24/2023. Warning Notice W404766 was issued on 05/19/2023 for FAILURE TO OBTAIN A ZONING IMPROVEMENT PERMIT AS STATED IN 33-8.1, TO WIT: FAILURE TO OBTAIN A ZONING IMPROVEMENT PERMIT FOR RESTRIPING OF PARKING LOT. OBTAIN A ZONING IMPROVEMENT PERMIT OR REMOVE STRIPING. A compliance inspection conducted on 07/17/2024 revealed that the violation was corrected. Case is closed.

Case No. 202302002376 was opened on 05/19/2023. Warning Notice W404768 was issued on 05/19/2023 for FAILURE TO CONDUCT A BUSINESS FROM WITHIN A COMPLETELY ENCLOSED BUILDING IN AN INDUSTRY - LIGHT DISTRICT (IU-1), TO WIT: OUTSIDE STORAGE OF PONDS AND OTHER ITEMS WITHOUT FIRST OBTAINING A BUILDING PERMIT. REMOVE OUTSIDE STORAGE OR OBTAIN A BUILDING PERMIT TO ALLOW OUTSIDE STORAGE. This case is pending a follow-up inspection on or after 03/27/2025.

Case No. 202302002377 was opened on 05/19/2023. Warning Notice W404770 was issued on 05/19/2023 for NO STRUCTURE, LAND OR WATER, SHALL BE USED OR ANY EXISTING USE ENLARGED, OR ANY NEW USE MADE WITHOUT FIRST OBTAINING A CERTIFICATE OF USE (C.U.), TO WIT: FAILURE TO OBTAIN A CERTIFICATE OF USE FOR "DOC'S EXOTIC AQUATICS" OPERATING AS A SECOND USER. OBTAIN A CERTIFICATE OF USE FOR SECOND USER OR REMOVE "DOC'S EXOTIC AQUATICS". This case is pending a follow-up inspection on or after 03/27/2025.

BUILDING SUPPORT REGULATIONS:

There are no open/closed cases in BSS.

VIOLATOR:

3 TWINS, LLC/MURRAY, JEFFREY


OUTSTANDING LIENS AND FINES:

There are no outstanding Liens, Fines, or Fees

Memorandum

Date: January 28, 2025

To: Lourdes M. Gomez, AICP, Director
Department of Regulatory and Economic Resources

From: Lisa M. Spadafina, RER Assistant Director
Division of Environmental Resources Management 

Subject: Z2024000080-2nd Review
3 Twins, LLC
12955 SW 85th Avenue Road
NUV of section 33-260 of the Code to permit outdoor placement and display of water garden equipment, including ponds and water display with water plants for an existing ponds business on IU-1 zoned land
(IU-1) (0.25 acres)
15-55-40

The Department of Regulatory and Economic Resources – Division of Environmental Resources Management (DERM) has reviewed the above referenced zoning application for compliance with the requirements of Chapter 24 of the Miami-Dade County Code (the Code) for potable water service and wastewater disposal. Based on the information provided, this zoning application is approved pursuant to section 24-43.1 of the Code related to potable water service and wastewater disposal.

Potable Water Supply and Wastewater Disposal

According to DERM records, the subject property is currently connected to public water and sanitary sewers. Pursuant to the Code, any future proposed structures are required to connect to public water and sanitary sewers to the extent that they have plumbing connections for potable water and/or wastewater.

Conditions of Approval: None

Tree Preservation Review

An aerial review of the subject property indicates the presence of tree resources; however, the landscape plan entitled "Pond Doctors" prepared by John Robert Barnes, R.A., and dated as received by Miami-Dade County on November 18, 2024, was submitted with the subject application and indicates that tree resources onsite will not be removed. Please note that a Miami-Dade County Tree Permit is required prior to the removal and/or relocation of any tree that is subject to the tree preservation and protection provisions of the Code. Projects and permits shall comply with the requirements of sections 24-49.2 and 24-49.4 of the Code.

In accordance with section 24-49.9 of the Code, all plants prohibited by Miami-Dade County shall be removed from all portions of the property prior to development, or redevelopment and developed parcels shall be maintained to prevent the growth or accumulation of prohibited species. Please contact Jackelyn Alberdi at Jackelyn.Alberdi@miamidade.gov regarding any additional information or concerns with this review.

Conditions of Approval: None

Pollution Remediation Review

Based on the abutting former rail use tracked under DERM file no. HWR-577, DERM requires that a Phase 1 and Phase 2 Environmental Site Assessment prepared in accordance with ASTM standards be conducted at the site prior to site development and prior to the submittal of site development plans through the building department review process. DERM review and approval of said documents shall be required. Further, all construction plans (inclusive of drainage) and dewatering plans shall require the review and approval from the Environmental Monitoring and Restoration Division (EMRD) of DERM as it relates to environmental contamination issues. Be advised that the EMRD review of this application does not constitute an approval of any site plans, drainage plans, or development plans that may be included as part of this application.

Any contaminated portion of the site that is proposed to be sold, transferred or dedicated (including, but not limited to, for public right-of-way) to any public entity shall be identified on the tentative and final plat plans for this development. If any contaminated portion of the site is proposed to be sold, transferred or dedicated to the County, please note that all soil, groundwater or surface water contaminants, solid waste, and methane must be disclosed to the applicable County department at the earliest stage possible. The applicable County departments would include all departments that would receive or manage the proposed property, and for example, would include Department of Parks and Recreation and Open Spaces (PROS) for a park and Department of Transportation and Public Works (DTPW) for road right-of-way. Please note that the presence of any such contamination, solid waste, or methane or a delay by the applicant in disclosing such contamination or impacts to the applicable County departments could result in the county declining to accept the proposed dedication. This may in turn result in the need for the developer to reconfigure or change previously approved site plans, or make other changes to the proposed development, which may require approval after public hearing.

If an applicant elects to address soil contamination, groundwater contamination, solid waste, and methane via a No Further Action with Conditions, each individual property owner will be required to execute a restrictive covenant.

Please note that nothing stated herein may be interpreted to limit or restrict an engineer's or other professional's responsibility to prepare plans accurately and completely for proposed rights-of-way as well as any other projects or plans.

Please contact Thomas Kux, P.G. of the DERM Environmental Monitoring and Restoration Division at Thomas.kux@miamidade.gov or (305)372-6700 should you have any questions.

Conditions of Approval: Obtain a Phase 1 and Phase 2 Environmental Site Assessment prior to applicable development orders.

DERM Enforcement History Review

There are no open or closed enforcement records for violations of Chapter 24 of the Code for the subject property. There are no outstanding DERM liens or fines for the subject property.

Concurrency Review Summary

A concurrency review has been conducted for this application and DERM has determined that the same meets all applicable LOS standards for an initial development order as specified in the adopted CDMP for potable water supply, wastewater disposal, and flood protection. This concurrency approval is valid

only for this initial development order. Pursuant to Chapter 33G of the Code, a final concurrency statement will be issued at the time of final development order.

If you have any questions concerning the comments or wish to discuss this matter further, please contact Ninfa Rincon at (305) 372-6764.

cc: Eric Silva, Department of Regulatory and Economic Resources

Memorandum



Date: January 28, 2025

To: Eric Silva, AICP, Assistant Director
Development Services Division
Department of Regulatory and Economic Resources (RER)

From: Maria A. Valdes, CSM, LEED® Green Associate
Chief, Planning & Water Certification Section
Water and Sewer Department (WASD)

Subject: Zoning Application Comments - Pond Doctors
Application No. Z2024000080 (Revision No. 1)

A handwritten signature in blue ink, appearing to be "M. Valdes", written over the "From:" field of the memorandum.

The Water and Sewer Department has reviewed the proposed development for the subject zoning application. **Please note that there is a 6-foot utility easement within the subject property and there are structures that are encroaching on said easement. (See comments below).**

Application Name: Pond Doctors

Location: The proposed project is located at 12955 SW 85th Avenue with Folio No. 30-5015-041-0020 in unincorporated Miami-Dade County.

Proposed Development: The applicant is requesting a Use variance to permit outdoor storage.

This project results in a no-net-increase in the water demand.

Please note that there is a 2-foot Utility Easement along and inside the northern boundary of the subject property. In addition, there is also a 6-foot utility easement within the subject property, as per survey submitted (PB 98-63 Lot 1-B, Blk 3). The existing circular ponds and 2 propane tanks are encroaching on the 6-foot Utility Easement, as per the survey plan submitted. At the present time, WASD does not have water/sewer facilities in the said Utility Easement. Water and sewer infrastructure is located within the public Right-of-Way along SW 85th Avenue and SW 84th Avenue. WASD has no objections to this application subject to the following condition that shall be included in the Zoning Resolution for this application:

- If future water/sewer infrastructure is installed in the Utility Easement within the owner's property, the owner is made fully responsible for any damage to permanent structures located in said Utility Easement as a result of Miami-Dade Water and Sewer Department's forces installing water/sewer infrastructure, or performing maintenance or repairs to existing WASD infrastructure located within the utility easement and holds the County harmless of any damage resulting from any such installation, maintenance or repairs. In addition, no other structure should be built within the Utility Easement.

Water: The subject site is located within the WASD's water service area. The subject property is currently connected to water.

Sewer: The subject site is located within the WASD's sewer service area. The subject property is currently connected to sewer.


Should you have any questions, please contact Maria A. Valdes, Chief, Planning & Water Certification Section at (786) 552-8198 or mavald@miamidade.gov, Alfredo B. Sanchez at (786) 552-8237 or sanalf@miamidade.gov, or Suyapa Carbajal at (786) 552-8124 or suyapa.carbajal@miamidade.gov.

Memorandum



Date: February 20, 2025

To: Eric Silva, AICP, Assistant Director
Department of Regulatory and Economic Resources

From:  Raul A. Pino, PLS, Chief
Platting and Traffic Review Section
Department of Regulatory and Economic Resources

Subject: Z2024000080
Name: 3 Twins, LLC
Location: 12955 SW 85 Avenue Road
Section 15 Township 55 South Range 40 East

The Department of Regulatory and Economic Resources Platting and Traffic Review Section has reviewed the subject application and has **no objections**.

This land **complies** with Chapter 28 of the Miami-Dade County Code. The property is platted as Lot 1-B, Block 3, Plat Book 119, Page 40.

This application does not generate any additional trips.

Standard Conditions:

- A letter or a plan containing the following certification signed and sealed by a State of Florida registered engineer shall be submitted as part of the paving and drainage plans: "I hereby certify that the all of the roads for the subject project comply with all of the applicable portions of the Manual of Uniform Minimum Standards for Design, Construction and Maintenance for Streets and Highways (Florida Greenbook) regarding: design speed, lane widths, horizontal alignment, vertical alignment, stopping sight distance, sight distance, horizontal clearance, vertical clearance, superelevation, shoulder widths, grades, bridge widths, etc."
- All landscaping, walls, fences, entrance features, etc. will be subject to the Safe Sight Distance Triangle as per Section 33-11 of the Miami-Dade County Code and G5.3 of the Public Works and Waste Management Department Manual.

Memorandum



Date: January 09, 2025

To: Eric Silva, Assistant Director
Regulatory and Economic Resources

From: Alejandro G Cuello, Principal Planner
Miami-Dade Fire Rescue Department

Subject: Z2024000080

The Miami-Dade Fire Rescue Department has **no objection** to the site plan uploaded in “EnerGov” on 11/18/2024.

MDFR’s review of this zoning application is limited to assessing fire department access and does not effectuate an approval of the building design. The future building’s design must be in compliance with the applicable requirements for the proposed use:

Florida State Statute Chapter 633 (Fire Prevention & Control)
Florida Administrative Code 69A
Florida Fire Prevention Code (NFPA 1 and NFPA 101 (2018 edition))
Applicable adopted NFPA Standards
County Code Chapter 14

For additional information, please contact acuello@miamidade.gov or call 305-775-3357.

FOLIO NUMBER
30-5015-041-0020

ZONING LEGEND
LIGHT INDUSTRIAL, LIGHT ZONING IU-1
HEIGHT (TO RIDGE OF ROOF) ± 16'-8"
NET LAND AREA 12,860.93 SQ. FT. (.30 ACRES)
LOT COVERAGE (EVERYTHING UNDER ROOF) 5,018 SQ. FT. (39%)

SETBACKS	REQUIRED	PROVIDED
FRONT	20'-0"	5'-2"
SIDE STREET	15'-0"	N/A
INTERIOR SIDE	5'-0"	7'-9"
INTERIOR SIDE	5'-0"	56'-9"
INTERIOR SIDE	5'-0"	12'-10"
REAR	5'-0"	22'-9"

SITE DATA

AREAS

TOTAL BUILDING	3,370.62 SQ. FT.	25%
WAREHOUSE	2,020.03 SQ. FT.	
OFFICE	602.50 SQ. FT.	
RETAIL AREA	144.00 SQ. FT.	
EXIST ENCROACHING BUILDING	604.1 SQ. FT.	
TOTAL OUTDOOR STORAGE	1,261.08 SQ. FT.	10%
WALKWAYS & RAMP	473.8 SQ. FT.	4%
PARKING/DRIVEWAY	3,167.07 SQ. FT.	25%
OPENSOURCE	2,572.19 SQ. FT.	4,587.54 SQ. FT. 36%

NET LOT COVERAGE: 12,860.93 SQ. FT. 100%

PARKING:
REQUIREMENT AS PER MIAMI DADE CODE OF ORDINANCES Sec. 33-124

OFFICES = 1 SPACE PER 300 S.F. - PER M CC Sec. 33-124(M)
OFFICES AREA = 602.50 SQ FT
PARKING REQUIRED FOR OFFICES = 2.01 SPACES

INDUSTRIAL = 1 SPACE PER 1,000 S.F. - PER M CC SEC. 33-124 (N)
INDUSTRIAL WAREHOUSE AREA = 2,020.03 SQ FT
PARKING REQUIRED FOR WAREHOUSE = 2.02 SPACES

RETAIL = 1 SPACE PER 250 S.F. - PER M CC SEC. 33-124 (H)
RETAIL AREA = 144 SQ FT
PARKING REQUIRED FOR WAREHOUSE = 0.57 SPACES

PARKING REQUIRED = (4.60) SPACES
PARKING PROVIDED = (5) SPACES

ALL PROVIDED PARKING PER M CC ARTICLE VII "OFF-STREET PARKING"
NO EVSE PARKING REQUIRED PER Sec. 33-122.5 "ELECTRIC VEHICLE SUPPLY EQUIPMENT REQUIREMENTS"
SIZES: 8'-6" FT WIDE x 18 FT DEEP

SAFE SIGHT DISTANCE TRIANGLE INFO.

- THE SAFE SIGHT DISTANCE TRIANGLE AREA SHALL NOT CONTAIN OBSTRUCTIONS TO CROSS-VISIBILITY AT A HEIGHT OF TWO AND ONE-HALF (2.5) FEET OR MORE ABOVE PAVEMENT; POTENTIAL OBSTRUCTIONS INCLUDE, BUT ARE NOT LIMITED TO, STRUCTURES, GRASS, GROUND COVERS, SHRUBS, VINES, HEDGES, TREES, ROCKS, WALLS AND FENCES AS PER SEC. 33-11.
- THE REQUIRED AREA OF CROSS-VISIBILITY AS PER SEC. 33-11 - "SAFE SIGHT DISTANCE TRIANGLE TABLE".
- FUNCTIONAL CLASSIFICATION OF THROUGH STREET: COLLECTOR (60 FOOT - 70 FOOT RIGHT-OF-WAY) REQUIRED VISIBILITY LEFT-190FT AND RIGHT: 40 FT DEPTH ON MINOR STREET 7 FT AS PER SEC. 33-11.

SITE NOTES

- PROVIDE ALL SITE CLEARING, EXCAVATION, FILL, BACKFILL WROUGH, GRADING, SUB-GRADES AND COMPACTING.
- TREES TO REMAIN AND/OR RELOCATE AS SELECTED BY OWNER, SHALL BE PROTECTED AS REQUIRED.
- TREES TO BE REMOVED SHALL BE CUT AS DIRECTED BY THE OWNER. ALL SITE CLEARING DEBRIS AND TREE STUMPS SHALL BE REMOVED FROM THE JOB SITE.
- COORDINATE WITH MECHANICAL, ELECTRICAL, PLUMBING, AND LANDSCAPING CONTRACTORS AS WELL AS LOCAL UTILITIES PRIOR TO CONSTRUCTION. FOR WATER LINES, DRAINAGE PIPES, UNDERGROUND ELECTRICAL CONDUITS, IRRIGATION SYSTEMS AND ANY CONCEALED INSTALLATIONS WHICH MAY REQUIRE ADVANCE PLANNING OR BE DAMAGED.
- MAINTAIN BUILDING SITE CLEAN OF CONSTRUCTION DEBRIS THROUGH THE DURATION OF THE PROJECT.
- IF SIDEWALK IS TO BE PROVIDED, IT SHALL BE DIRECTED BY THE CORRESPONDING PUBLIC WORKS DEPARTMENT.
- CONTRACTOR TO VERIFY LOCATION OF UTILITIES PRIOR TO SUBMITTING BIDS.

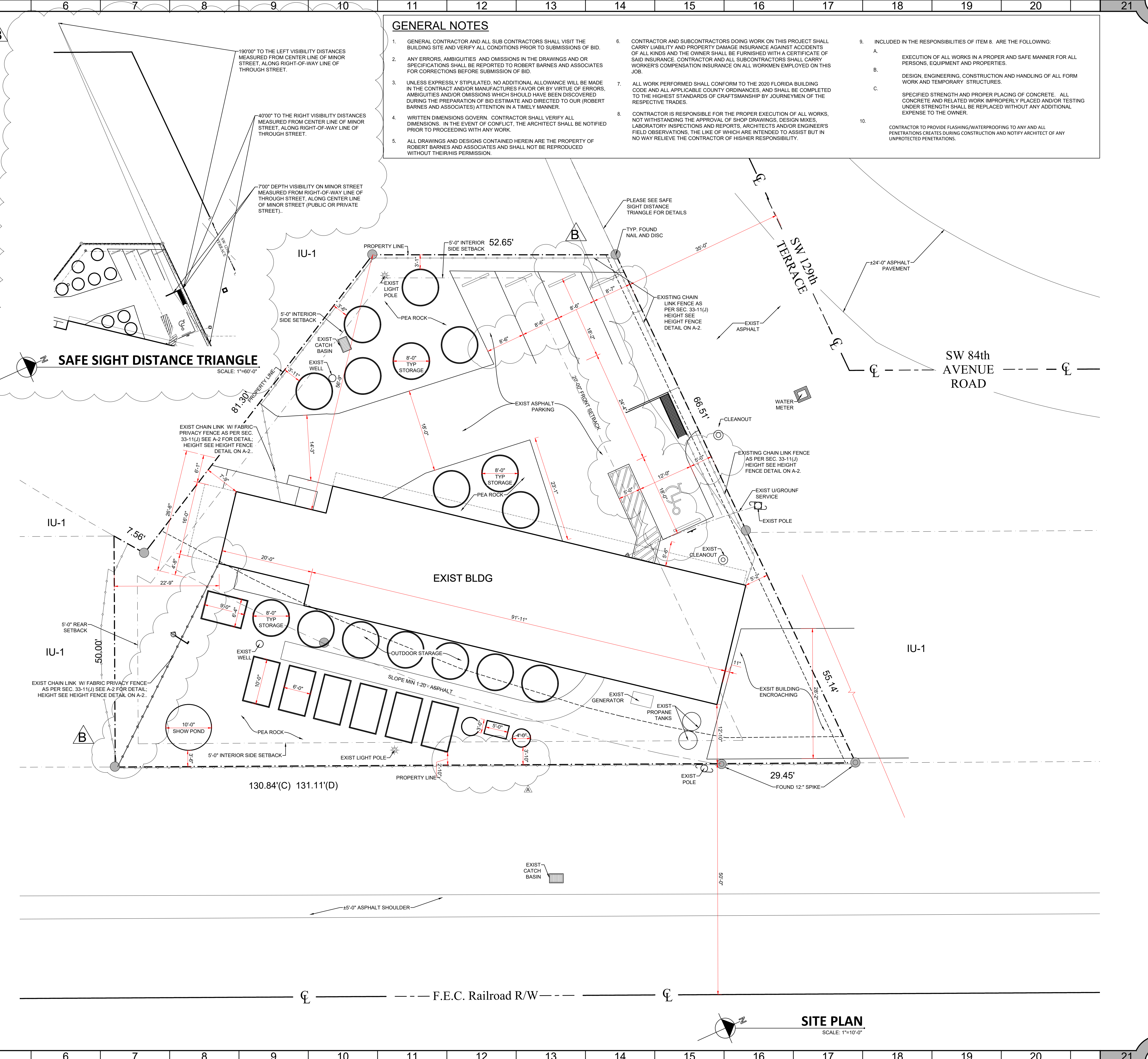
LEGAL DESCRIPTION:

PARCEL I
LOT 1-B, IN BLOCK 3, OF SOUTH KENDALL INDUSTRIAL NO. 11, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 88, AT PAGE 63, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
(OBTAINED FROM WARRANTY DEED RECORDED IN O.R.B. 18702 PG. 827)

PARCEL II
BEGINNING AT THE SOUTHEAST CORNER OF LOT 1, BLOCK 3, OF SOUTH KENDALL INDUSTRIAL NO. 11, ACCORDING TO THE PLAT THEREOF AS RECORDED IN THE PLAT BOOK 57 AT PAGE 59 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA; THENCE NORTHEASTERLY ALONG A PROJECTION OF THE SOUTH LINE OF SAID LOT 1 AND ON A CURVE HAVING A RADIUS OF 561.19 FEET FOR A DISTANCE OF 51.00 FEET (CALCULATED 51.1 FEET) TO A POINT OF COMPOUND CURVATURE WITH A CURVE HAVING A RADIUS OF 349.70 FEET; THENCE CONTINUING NORTHEASTERLY ALONG SAID CURVE WITH A RADIUS OF 349.70 FEET; 89.70 FEET TO A POINT IN THE RAILWAY'S WEST RIGHT-OF-WAY LINE, SAID RIGHT-OF-WAY LINE BEING 50.00 FEET NORTHWESTERLY AS MEASURED AT RIGHT ANGLES FROM THE CENTERLINE OF THE RAILWAY'S MAIN TRACK; THENCE SOUTHWESTERLY ALONG SAID RIGHT-OF-WAY LINE FOR DISTANCE OF 50.00 FEET TO THE POINT OF BEGINNING. (OBTAINED FROM WARRANTY DEED RECORDED IN O.R.B. 18702 PG. 827)

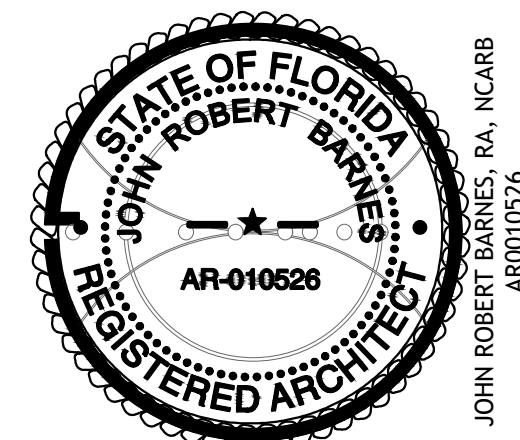
GENERAL NOTES

- GENERAL CONTRACTOR AND ALL SUB CONTRACTORS SHALL VISIT THE BUILDING SITE AND VERIFY ALL CONDITIONS PRIOR TO SUBMISSIONS OF BID.
- ANY ERRORS, AMBIGUITIES AND OMISSIONS IN THE DRAWINGS AND OR SPECIFICATIONS SHALL BE REPORTED TO ROBERT BARNES AND ASSOCIATES FOR CORRECTIONS BEFORE SUBMISSION OF BID.
- UNLESS EXPRESSLY STIPULATED, NO ADDITIONAL ALLOWANCE WILL BE MADE IN THE CONTRACT AND/OR MANUFACTURES FAVOR OR BY VIRTUE OF ERRORS, AMBIGUITIES AND/OR OMISSIONS WHICH SHOULD HAVE BEEN DISCOVERED DURING THE PREPARATION OF BID ESTIMATE AND DIRECTED TO OUR (ROBERT BARNES AND ASSOCIATES) ATTENTION IN A TIMELY MANNER.
- WRITTEN DIMENSIONS GOVERN. CONTRACTOR SHALL VERIFY ALL DIMENSIONS. IN THE EVENT OF CONFLICT, THE ARCHITECT SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH ANY WORK.
- ALL DRAWINGS AND DESIGNS CONTAINED HEREIN ARE THE PROPERTY OF ROBERT BARNES AND ASSOCIATES AND SHALL NOT BE REPRODUCED WITHOUT THEIR/HIS PERMISSION.
- CONTRACTOR AND SUBCONTRACTORS DOING WORK ON THIS PROJECT SHALL CARRY LIABILITY AND PROPERTY DAMAGE INSURANCE AGAINST ACCIDENTS OF ALL KINDS AND THE OWNER SHALL BE FURNISHED WITH A CERTIFICATE OF SAID INSURANCE. CONTRACTOR AND ALL SUBCONTRACTORS SHALL CARRY WORKER'S COMPENSATION INSURANCE ON ALL WORKMEN EMPLOYED ON THIS JOB.
- ALL WORK PERFORMED SHALL CONFORM TO THE 2020 FLORIDA BUILDING CODE AND ALL APPLICABLE COUNTY ORDINANCES, AND SHALL BE COMPLETED TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP BY JOURNEYMEN OF THE RESPECTIVE TRADES.
- CONTRACTOR IS RESPONSIBLE FOR THE PROPER EXECUTION OF ALL WORKS, NOT WITHSTANDING THE APPROVAL OF SHOP DRAWINGS, DESIGN MIXES, LABORATORY INSPECTIONS AND REPORTS, ARCHITECTS AND/OR ENGINEERS' FIELD OBSERVATIONS, THE LINE OF WHICH ARE INTENDED TO ASSIST BUT IN NO WAY RELIEVE THE CONTRACTOR OF HIS/HER RESPONSIBILITY.
- INCLUDED IN THE RESPONSIBILITIES OF ITEM 8. ARE THE FOLLOWING:
A. EXECUTION OF ALL WORKS IN A PROPER AND SAFE MANNER FOR ALL PERSONS, EQUIPMENT AND PROPERTIES.
B. DESIGN, ENGINEERING, CONSTRUCTION AND HANDLING OF ALL FORM WORK AND TEMPORARY STRUCTURES.
C. SPECIFIED STRENGTH AND PROPER PLACING OF CONCRETE. ALL CONCRETE AND RELATED WORK IMPROPERLY PLACED AND/OR TESTING UNDER STRENGTH SHALL BE REPLACED WITHOUT ANY ADDITIONAL EXPENSE TO THE OWNER.
- CONTRACTOR TO PROVIDE FLASHING/WATERPROOFING TO ANY AND ALL PENETRATIONS CREATED DURING CONSTRUCTION AND NOTIFY ARCHITECT OF ANY UNPROTECTED PENETRATIONS.



SITE PLAN
SCALE: 1"=10'-0"

POND DOCTORS
12955 SW 85 AVENUE ROAD MIAMI, FL. 33156
JEFF MURRAY (305) 992-7886



ROBERT BARNES & ASSOCIATES
ARCHITECTURE AND PLANNING
© 2024
221 NORTH HRAME AVENUE
HOMESTEAD, FLORIDA 33030
(305) 985-0038
PROJECTS@ROBERTBARNESASSOCIATES.COM
ROBERTBARNESASSOCIATES.COM

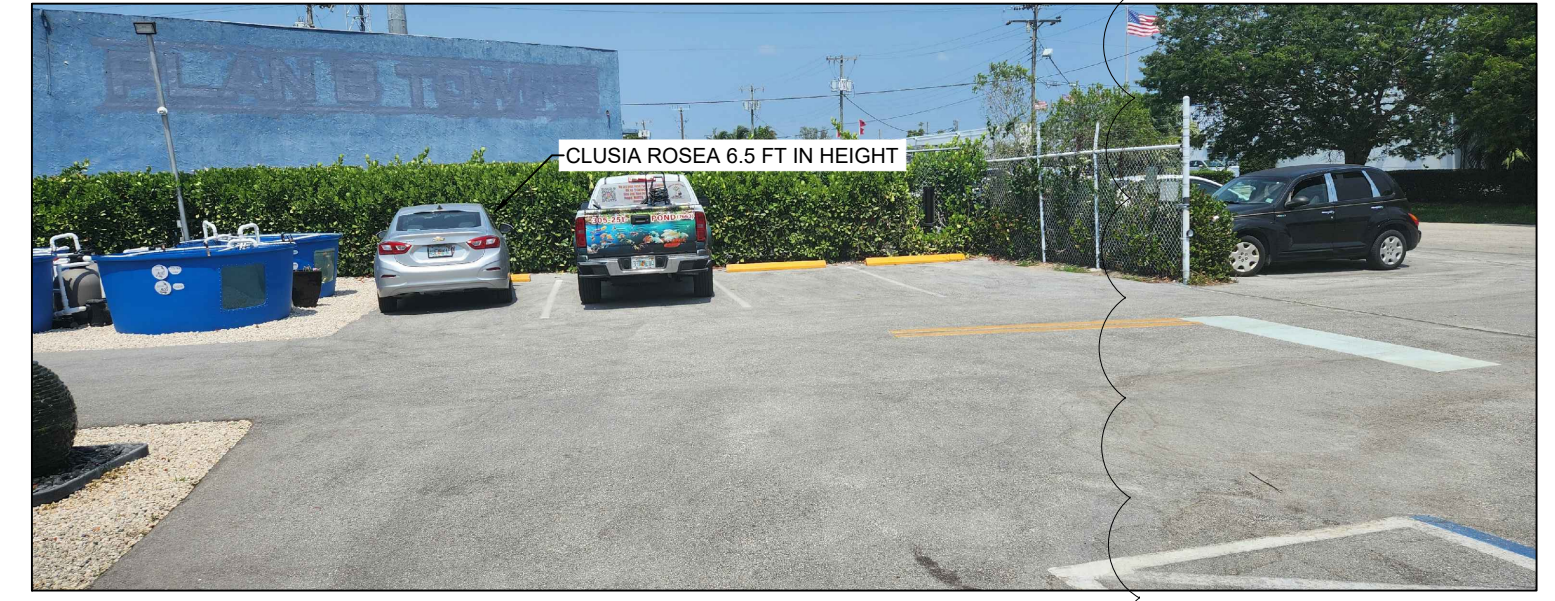
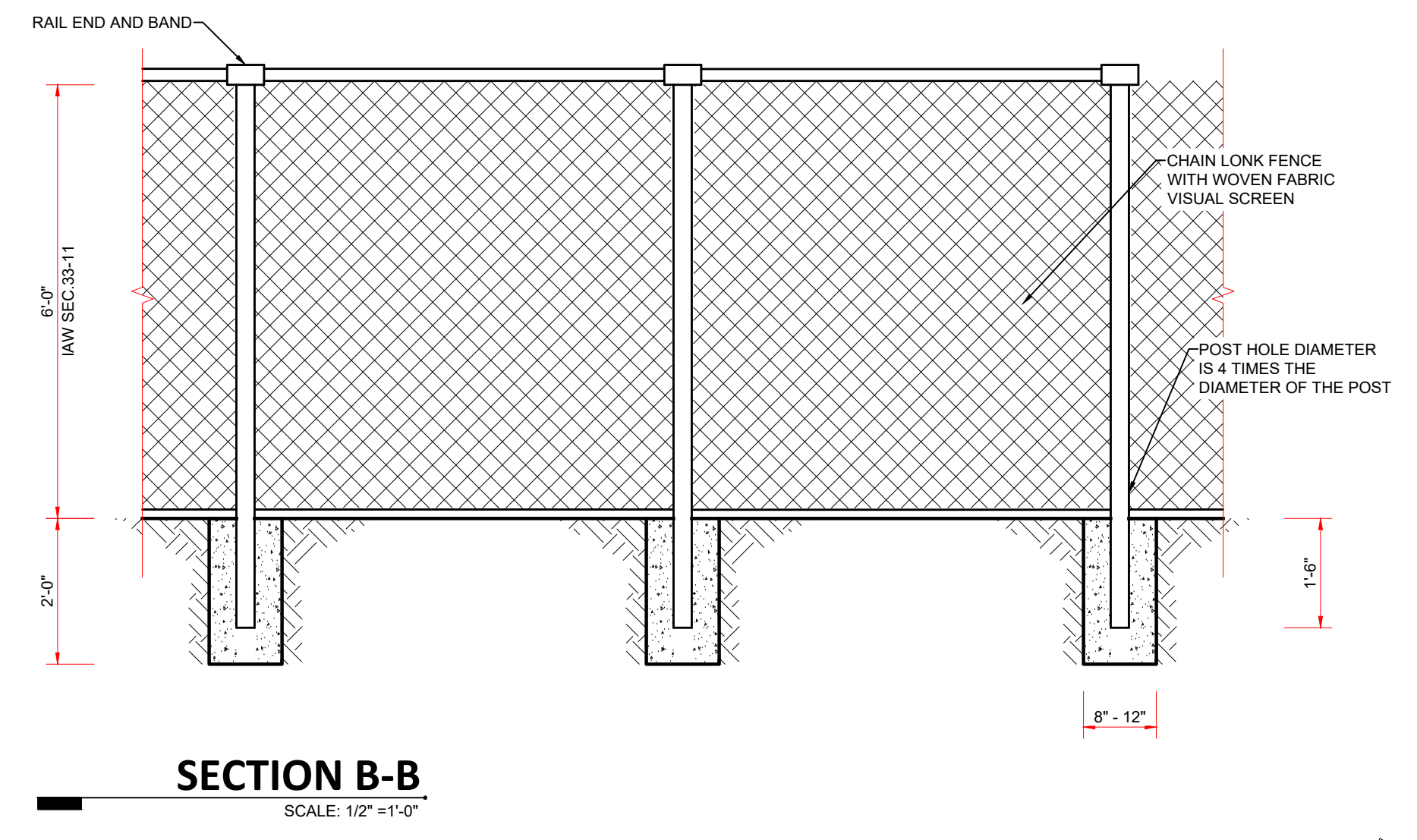
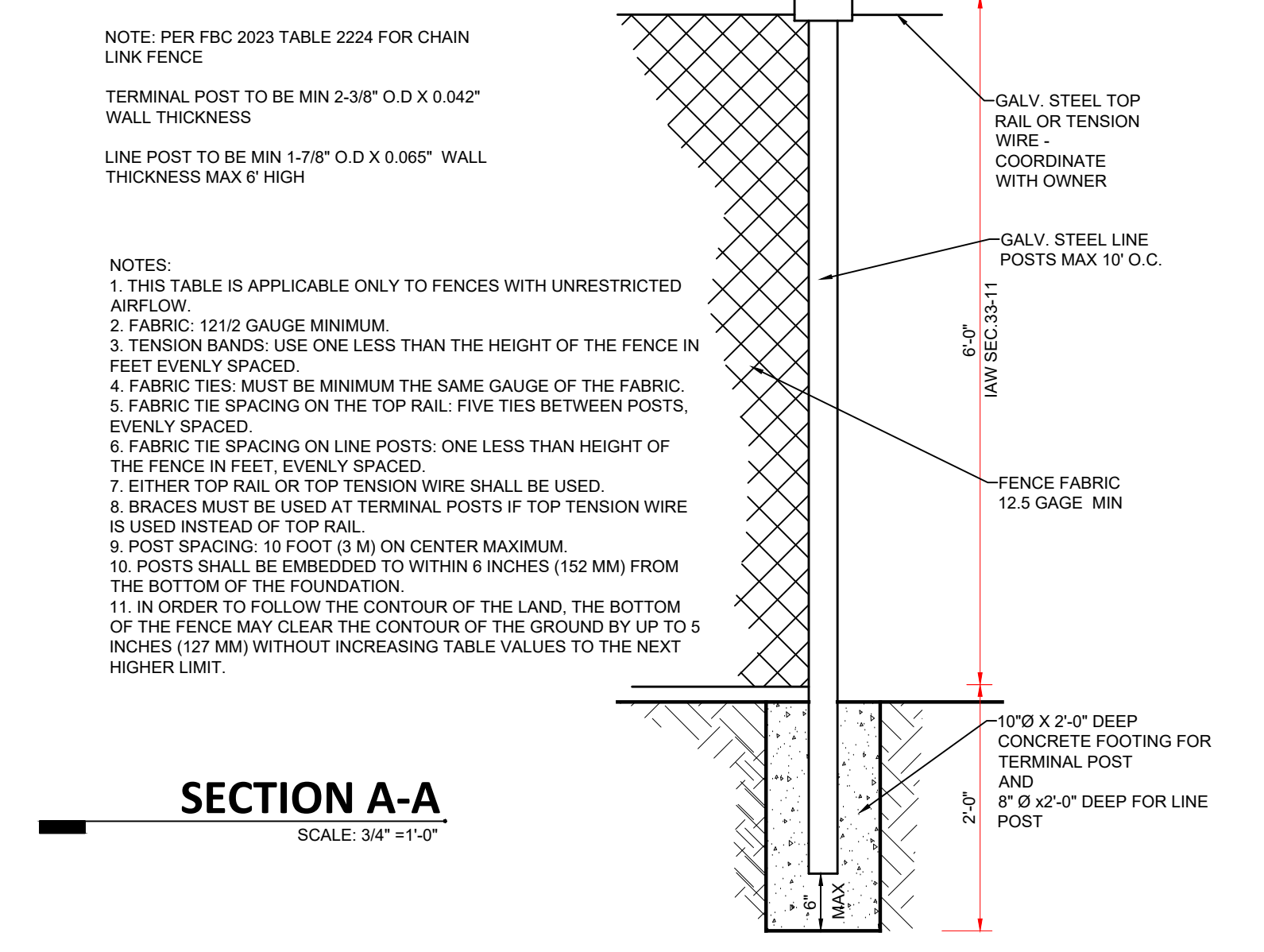
SITE PLAN

DATE	05/20/2024
DATE	08/15/2024
DESCRIPTION	PLAN CORRECTIONS COMMENTS
MARK	A
MARK	B

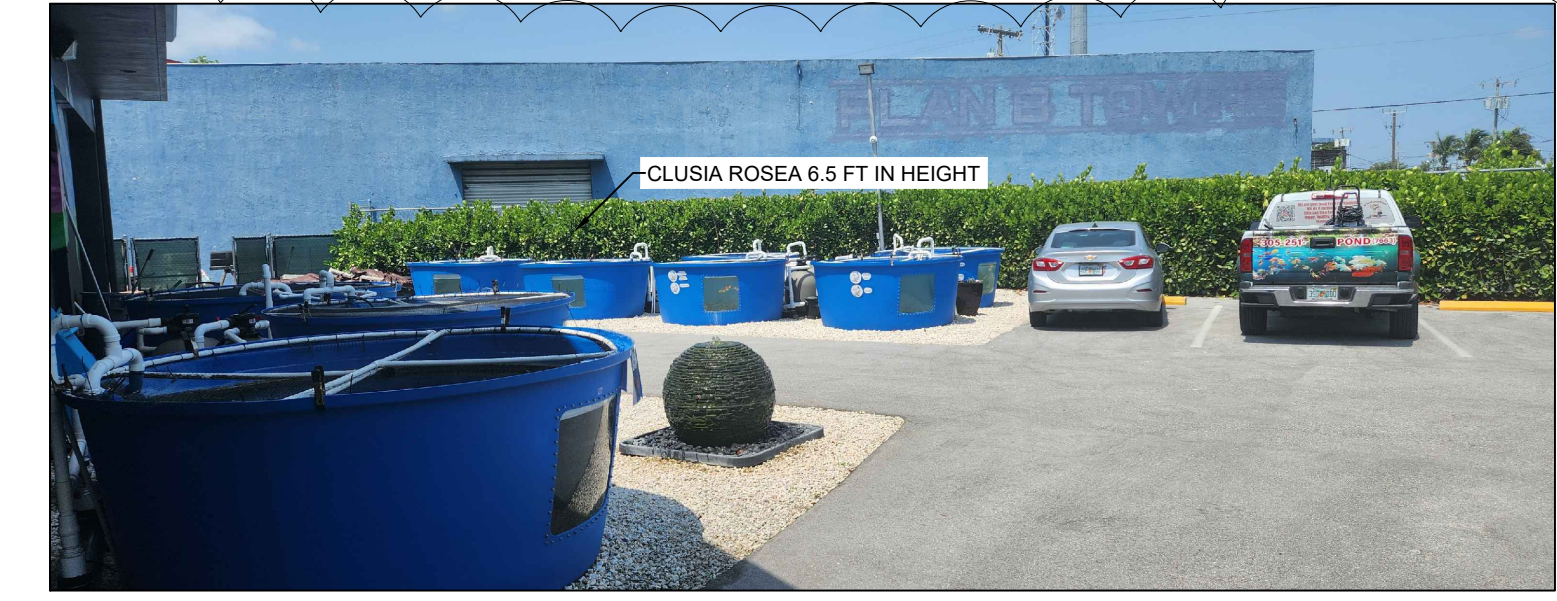
PROJECT NUMBER: Z: POND DOCTORS - 2024-013
DATE: September 3, 2024
TIME: 2:17 PM

A-1

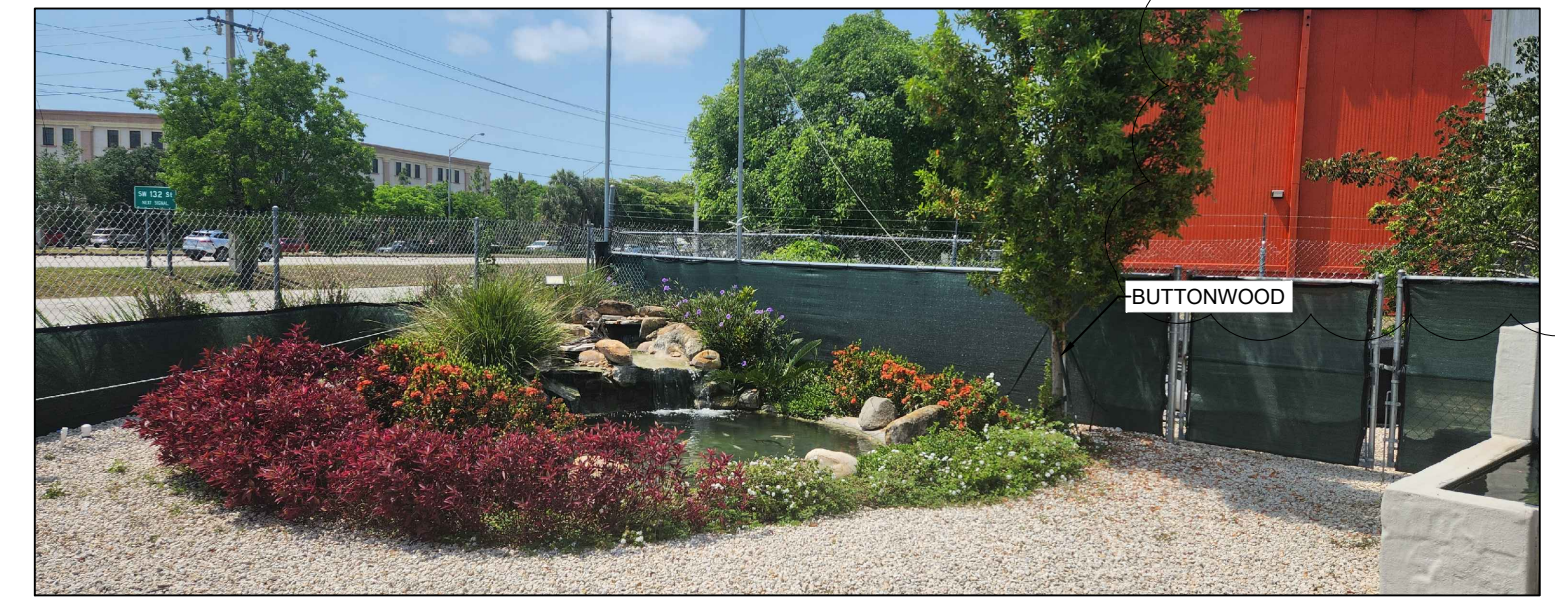
This item has been digitally signed and sealed by J. Robert Barnes RA on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.



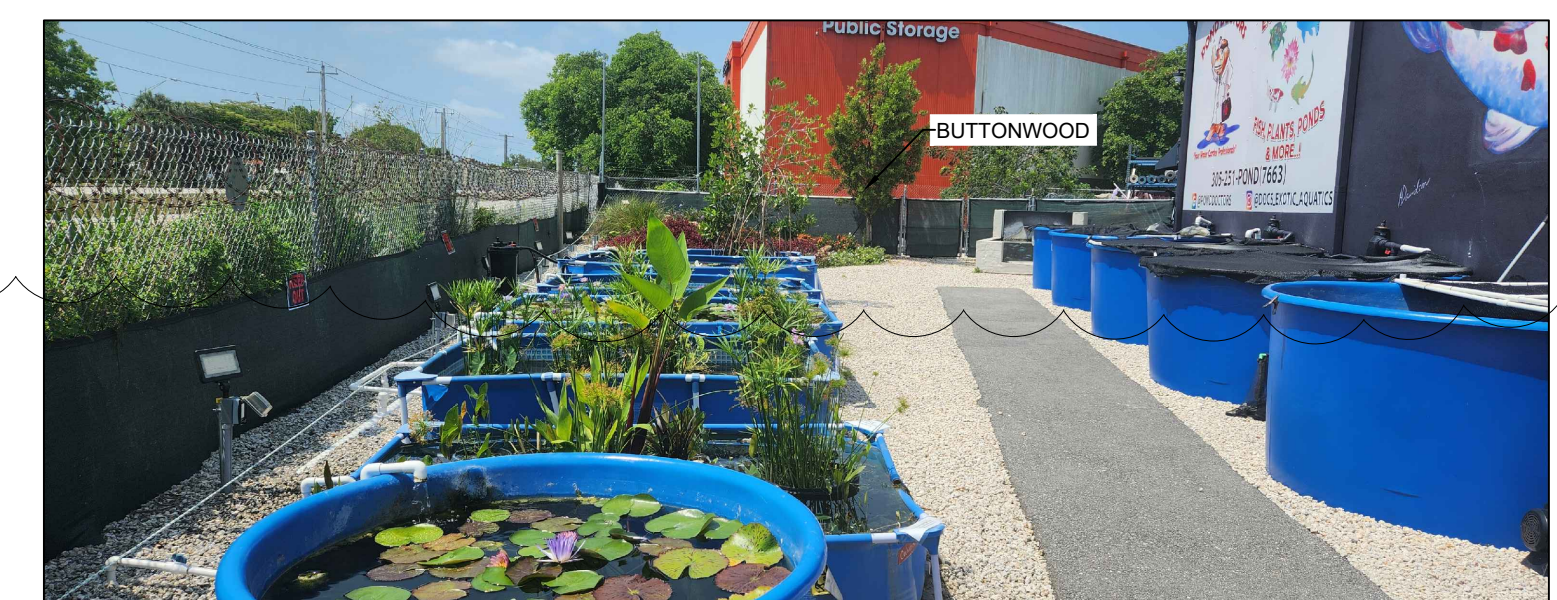
NORTH (FRONT) PARKING



NORTH (FRONT) WATER TANKS



IN GROUND SHOW POND



SOUTH (REAR) PLANT POOLS & WATER TANKS

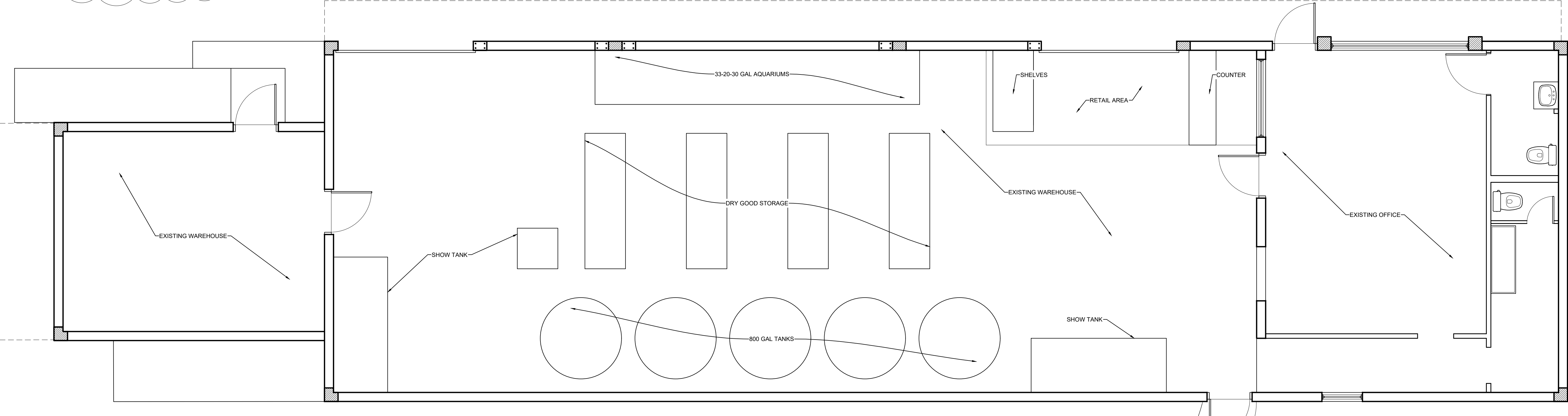
FENCE HEIGHT IN IU DISTRICTS

1. THE HEIGHT OF ANY WIRE FENCE SHALL NOT EXCEED 8 FEET WHEN LOCATED WITHIN THE REQUIRED FRONT OR SIDE STREET SETBACK AREAS; WHEN LOCATED BETWEEN THE BUILDING LINE AND OTHER PROPERTY LINES, NOT TO EXCEED 8 FEET IN HEIGHT.
2. WALLS AND HEDGES, WHEN LOCATED WITHIN THE REQUIRED FRONT OR SIDE STREET SETBACK AREAS SHALL NOT EXCEED 4 FEET IN HEIGHT; WHEN LOCATED BETWEEN THE BUILDING LINE AND OTHER PROPERTY LINES, WALLS AND HEDGES SHALL NOT EXCEED 8 FEET IN HEIGHT.

AS PER SEC. 33-11(J).

BURGLAR INTRUSION NOTES

1. ALL LOCKS ON EXTERIOR DOORS SHALL BE CAPABLE OF RESISTING A FORCE OF 300 LBS. APPLIED IN ANY MOVABLE DIRECTION.
2. ALL SINGLE EXTERIOR SWING DOORS SHALL HAVE A LOCK TO BE KEY OPERATED FROM THE EXTERIOR WITH A MINIMUM OF 6,000 POSSIBLE KEY CHANGES OR LOCKING COMBINATIONS. IF KEY-IN-KNOB LOCK IS USED, THERE SHALL BE AN AUXILIARY SINGLE DEAD BOLT WITH HARDENED BOLT OR INSERTS.
3. THE ACTIVE LEAF OF PAIRS OF EXTERIOR SWING DOORS SHALL HAVE SAME LOCKS AS REQUIRED FOR SINGLE EXTERIOR SWING DOORS. THE INACTIVE LEAF OF THESE PAIR OF FLOORS SHALL HAVE MULTIPLE POINT LOCKS WITH * MINIMUM THROW BOLTS WITH INSERTS.
4. SLIDING GLASS DOORS SHALL BE PROVIDED WITH SLIDING DOOR DEADBOLT OR A PIN NOT REMOVABLE OR OPERABLE FROM THE EXTERIOR AT THE JAMB, SILL, HEAD OR MEETING MULLIONS. THESE DOORS SHALL BE REINFORCED IN THE STRIKE AND LOCK AREA TO MAINTAIN BOLT STRENGTH EFFECTIVENESS IF NECESSARY AND SUCH DOORS SHALL HAVE READY ENTRY FROM OUTSIDE.
5. OVERHEAD DOORS SHALL BE PROVIDED WITH MULTIPLE POINT LOCKS OR BE LOCKED AT MORE THAN ONE POINT WITH HARDENED BOLT OR BOLTS WITH INSERTS ENGAGING AT LEAST TWO OPPOSITE POINTS A MINIMUM OF 5/8". OTHER LOCKING DEVICES SHALL NOT BE REQUIRED WHERE SUCH DOORS ARE CONTROLLED AND LOCKED BY ELECTRIC POWER.
6. HINGES ON EXTERIOR OUT SWINGING DOORS SHALL HAVE NON-EXPOSED SCREWS AND NON-OPERABLE PINS.
7. JAMBS OF ALL EXTERIOR OFFSET TYPE IN-SWINGING DOORS SHALL BE RABBETTED OR OF SIMILAR FABRICATION TO PREVENT DEFEATING THE PURPOSE OF THE STRIKE AND THE INTEGRITY OF LOCKS AND LATCHES.
8. SINGLE SWING EXTERIOR DOORS, IF WOOD, SHALL BE SOLID CORE OF NOT LESS THAN 1" IN THICKNESS.
9. GLASS IN EXTERIOR DOORS SHALL COMPLY WITH THE AMERICAN NATIONAL STANDARDS INSTITUTES, STANDARD Z97.1.
10. VISION PANELS IN EXTERIOR DOORS, OTHER THAN GLAZING WITHIN DOORS, SHALL COMPLY WITH AMERICAN NATIONAL STANDARDS INSTITUTE, STANDARD Z97.1.
11. SLIDING GLASS DOORS AND WINDOWS SHALL BE INSTALLED AND CONSTRUCTED SO THAT NO PANEL CAN BE LIFTED FROM THE TRACKS WHEN IN THE LOCKED POSITION AND SO AS TO COMPLY WITH THE ARCHITECTURAL ALUMINUM MANUFACTURERS ASSOCIATION STANDARD FOR FORCED ENTRY RESISTANCE, AAMA 13303.3.
12. VENTS IN OVERHEAD GARAGE TYPE DOORS SHALL NOT BE INSTALLED CLOSER THAN 40" TO THE INSIDE LOCK ACTUATING DEVICE.
13. SINGLE SWING EXTERIOR AND SWING DOORS CONNECTING LIVING AREAS WITH GARAGE AREAS SHALL BE SECURED WITH A LATCH AND A SINGLE DEAD BOLT WITH ONE INCH MINIMUM THROW OR A COMBINATION OF DEAD LATCH AND DEAD BOLT SETS WITH A LATCH THROW A MINIMUM OF 4" AND BOLTS HAVING A 1" MINIMUM THROW. DOORS SHALL BE A MINIMUM OF 1" THICK.
14. FRONT MAIN ENTRANCE DOORS SHALL BE PROVIDED WITH A SCOPE OR VISION PANELS.
15. WINDOWS TO BE PAN AMERICAN, WITH PRODUCTS CONTROL APPROVAL #49389-F(WINDOW) AND #49389-B(DOORS)



REVISIONS

MARK	DESCRIPTION	DATE
A	PLAN CORRECTIONS COMMENTS	05/02/2024
B	PLAN CORRECTIONS COMMENTS	08/15/2024

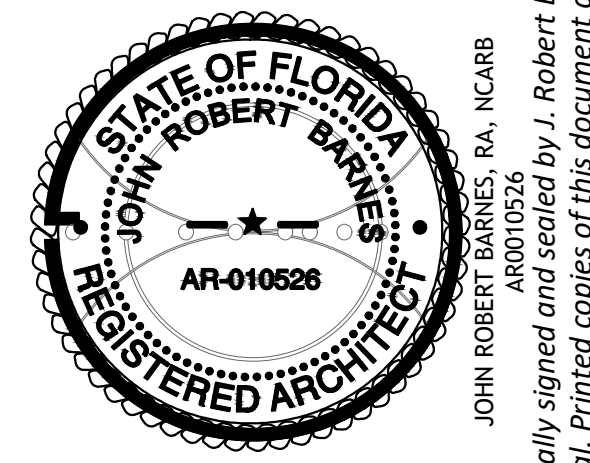
POND DOCTORS

PROJECT NUMBER: 12955 SW 85 AVENUE ROAD MIAMI, FL 33156

DATE: 05/02/2024

CONTRACTOR: JEFF MURRAY (305)992-7886

DESIGNED BY: ROBERT BARNES & ASSOCIATES



ROBERT BARNES & ASSOCIATES
ARCHITECTURE AND PLANNING

221 NORTH KROME AVENUE
HOMESTEAD, FLORIDA 33030
(305) 883-0038
PROJECTS@ROBERTBARNESASSOCIATES.COM
ROBERTBARNESASSOCIATES.COM

FLOOR PLAN & IMAGES

PROJECT NUMBER: 2024-013

DATE: MAR 2024

DESIGNED BY: JOHN ROBERT BARNES

SCALE: AS SHOWN

PROJECT: Z: POND DOCTORS - 2024-013

DATE: 09/24/2024

SCALE: 1/4"=1'-0"

DATE: September 3, 2024

TIME: 5:05 PM

This item has been digitally signed and sealed by L. Robert Barnes RA on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

DISCLOSURE OF INTEREST*

If a **CORPORATION** owns or leases the subject property, list principal stockholders and percent of stock owned by each. [Note: Where principal officers or stockholders consist of other corporation(s), trust(s), partnership(s) or similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

CORPORATION NAME: 3 Twins, LLC

<u>NAME AND ADDRESS</u>	<u>Percentage of Stock</u>
<u>3 Twins, LLC</u>	<u></u>
<u>12955 SW 85 Avenue Road</u>	<u></u>
<u>Miami, FL 33156</u>	<u></u>
<u>Jeffery R. Murray - 50%</u>	<u></u>
<u>Steven Hoffer - 50%</u>	<u></u>

If a **TRUST or ESTATE** owns or leases the subject property, list the trust beneficiaries and percent of interest held by each. [Note: Where beneficiaries are other than natural persons, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

TRUST/ESTATE NAME: _____

<u>NAME AND ADDRESS</u>	<u>Percentage of Interest</u>
<u></u>	<u></u>
<u></u>	<u></u>
<u></u>	<u></u>
<u></u>	<u></u>
<u></u>	<u></u>

If a **PARTNERSHIP** owns or leases the subject property, list the principals including general and limited partners. [Note: Where partner(s) consist of other partnership(s), corporation(s), trust(s) or similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interests].

PARTNERSHIP OR LIMITED PARTNERSHIP NAME: _____

<u>NAME AND ADDRESS</u>	<u>Percent of Ownership</u>
<u></u>	<u></u>
<u></u>	<u></u>
<u></u>	<u></u>
<u></u>	<u></u>
<u></u>	<u></u>

Disclosure of Interest

If there is a CONTRACT FOR PURCHASE, by a Corporation, Trust or Partnership list purchasers below, including principal officers, stockholders, beneficiaries or partners. [Note: Where principal officers, stockholders, beneficiaries or partners consist of other corporations, trusts, partnerships or other similar entities, further disclosure shall be made to identify natural persons having the ultimate ownership interests].

NAME OF PURCHASER: _____

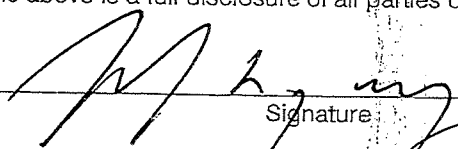
NAME AND ADDRESS	PERCENTAGE OF INTEREST
_____	_____
_____	_____
_____	_____
_____	_____

If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership or trust:

_____	_____
_____	_____
_____	_____
_____	_____


NOTICE: For any changes of ownership or changes in purchase contracts after the date of the application, but prior to the date of final public hearing or zoning determination, a supplemental disclosure of interest is required.

The above is a full disclosure of all parties of interest in this application to the best of my knowledge and belief.

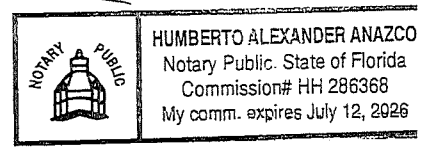
 _____ Jeffrey R Murray
 Signature Print Name

Sworn to and subscribed to before me on the 23 day of January, 2024

Affiant is personally known to me or has produced FLDL as identification.

Notary: 

[Stamp/Seal]



Commission expires: July 12/2026

This form is available online at www.miamidade.gov/zoning/forms.asp

FORM REVISION 2019/3



DISCLOSURE OF INTEREST*

If a **CORPORATION** owns or leases the subject property, list principal stockholders and percent of stock owned by each. [Note: Where principal officers or stockholders consist of other corporation(s), trust(s), partnership(s) or similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

CORPORATION NAME: Pond Doctors, LLC

<u>NAME AND ADDRESS</u>	<u>Percentage of Stock</u>
<u>Pond Doctors, LLC</u>	<u></u>
<u>12955 SW 85 Avenue Road</u>	<u></u>
<u>Miami, FL 33156</u>	<u></u>
<u>Jeffery R. Murray - 50%</u>	<u></u>
<u>Steven Hoffer - 50%</u>	<u></u>

If a **TRUST or ESTATE** owns or leases the subject property, list the trust beneficiaries and percent of interest held by each. [Note: Where beneficiaries are other than natural persons, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

TRUST/ESTATE NAME: _____

<u>NAME AND ADDRESS</u>	<u>Percentage of Interest</u>
<u></u>	<u></u>
<u></u>	<u></u>
<u></u>	<u></u>
<u></u>	<u></u>
<u></u>	<u></u>

If a **PARTNERSHIP** owns or leases the subject property, list the principals including general and limited partners. [Note: Where partner(s) consist of other partnership(s), corporation(s), trust(s) or similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interests].

PARTNERSHIP OR LIMITED PARTNERSHIP NAME: _____

<u>NAME AND ADDRESS</u>	<u>Percent of Ownership</u>
<u></u>	<u></u>
<u></u>	<u></u>
<u></u>	<u></u>
<u></u>	<u></u>
<u></u>	<u></u>

Disclosure of Interest

If there is a **CONTRACT FOR PURCHASE**, by a Corporation, Trust or Partnership list purchasers below, including principal officers, stockholders, beneficiaries or partners. [Note: Where principal officers, stockholders, beneficiaries or partners consist of other corporations, trusts, partnerships or other similar entities, further disclosure shall be made to identify natural persons having the ultimate ownership interests].

NAME OF PURCHASER: _____

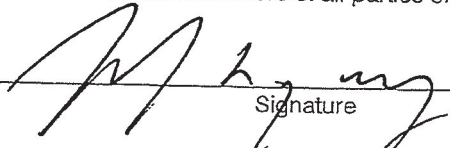
NAME AND ADDRESS	PERCENTAGE OF INTEREST
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership or trust:

_____	_____
_____	_____
_____	_____
_____	_____

NOTICE: For any changes of ownership or changes in purchase contracts after the date of the application, but prior to the date of final public hearing or zoning determination, a supplemental disclosure of interest is required.

The above is a full disclosure of all parties of interest in this application to the best of my knowledge and belief.

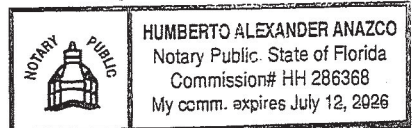
 _____ Jeffrey R Murray
 Signature Print Name

Sworn to and subscribed to before me on the 23 day of January, 2024

Affiant is personally known to me or has produced FLDL as identification.

Notary: 

[Stamp/Seal]



Commission expires: July 12/2026

This form is available online at www.miamidade.gov/zoning/forms.asp

FORM REVISION 2019/3



Ownership Affidavit for Corporation

State of: Florida Zoning Application No.: Z2024000080

County of: Miami-Dade

Before me, the undersigned authority, personally appeared Jeffrey R. Murray, hereinafter the Affiant(s), who being first duly sworn by me, on oath, deposes and says:

- Affiant is the president, vice-president or executive officer of the Corporation hereinafter named 3 Twins, LLC, with the following address:
12955 SW 85 Avenue Road, Miami, FL 33156
- The Corporation owns the property which is the subject of the proposed zoning action.
- The subject property is legally described as:
Lot 1-B, Block 3, South Kendall Industrial, Plat Book 98, Page 63
- Affiant is legally authorized to file this application.
- Affiant understands this affidavit is subject to the penalties of law for perjury and the possibility of voiding of any zoning determination or zoning action granted at public hearing.

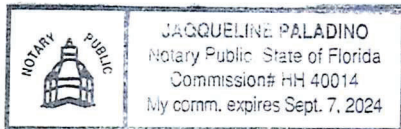
Affiant:

[Signature]
Signature
Jeffrey R. Murray
Print Name

[Signature]
Signature
Jeffrey R. Murray
Print Name

Sworn to and subscribed to before me on the 14 day of May, 2024.

Affiant is personally known to me or has produced FL. Driver License as identification.



Notary: [Signature]
[Stamp/Seal]

Commission expires: Sept. 7, 2024



RECEIVED MIAMI-DADE COUNTY PROCESS NO.: Z24-080 DATE: JUL 16 2024 BY: GABR



RECEIVED MIAMI-DADE COUNTY PROCESS NO.: Z24-080 DATE: JUL 16 2024 BY: CABR



RECEIVED MIAMI-DADE COUNTY PROCESS NO.: Z24-080 DATE: JUL 16 2024 BY: CABR



RECEIVED MIAMI-DADE COUNTY PROCESS NO. Z24-080 DATE: JUL 16 2024 BY: CABR



**Miami-Dade County Department of Regulatory and Economic Resources
Staff Report to Community Zoning Appeals Board 12**

PH: Z24-083

**May 29, 2025
Item No. 2**

Recommendation Summary	
Commission District	8
Applicant	Publix Super Markets, Inc.
Summary of Request	The applicant seeks approval to permit a previously approved liquor package store with the sale of alcoholic beverages on Sundays.
Location	13003 SW 89 Place, Miami-Dade County, Florida.
Property Size	5.91 Acres
Existing Zoning	BU-2, Special Business District
Existing Land Use	Shopping center
2030-2040 CDMP Land Use Designation	Industrial and Office Business and Office <i>(see attached Zoning Recommendation Addendum)</i>
Comprehensive Plan Consistency	Consistent with interpretative text, goals, objectives, and policies of the CDMP
Applicable Zoning Code Section(s)	Section 33-311(A)(4)(b) Non-Use Variances From Other Than Airport Regulations. <i>(see attached Zoning Recommendation Addendum)</i>
Recommendation	Approval with conditions.

REQUEST:

NON-USE VARIANCE to permit a liquor package store with Sunday sales of alcohol (Sunday sales not permitted except only during the month of December).

PROJECT HISTORY AND DESCRIPTION:

Between 1989 and 2021, the subject site has been the subject of multiple zoning applications. In September 1989, pursuant to Resolution #4-ZAB-322-89, the Metropolitan Dade County Zoning Appeals Board denied without prejudice the following requests for a unit located within the shopping center at 13135 SW 89 Place: (1) a special exception to permit a proposed nightclub, (2) a special exception to allow the nightclub to be located less than 1,500 feet from another business with an alcoholic beverage use and less than 2,500 feet from an existing church, (3) a non-use variance to waive the usual zoning requirements for nightclubs, including the minimum floor space of 2,200 sq. ft. and a dance floor of at least 308 sq. ft., allowing the nightclub to operate with less floor space and without a dance floor, and (4) extended hours of operation for both the nightclub and liquor stores, including Sundays. In November 1989, this denial was appealed to the Board of County Commissioners (BCC) under Resolution #Z-216-89, where the BCC approved, with conditions, requests 1 through 3 but denied request number 4, which sought to extend the hours of operation for both the nightclub and liquor stores, including Sundays.

In January 1996, pursuant to Resolution #5-ZAB-20-96, the Zoning Appeals Board approved additional requests, including a modification of the previously approved site plan; a special exception to allow the expansion of the existing nightclub; continued reduction in required distance from other alcoholic beverage uses and a religious facility; extended hours of operation for alcoholic beverage service on Sundays from 10:00 a.m. to 4:50 a.m. the next day, and on Mondays from 5:00 p.m. to 4:50 a.m. the following day; and permission to operate the shopping center with fewer parking spaces than typically required by code.

In May 2021, under Resolution #CZAB12-1-21, the Miami-Dade County Community Zoning Appeals Board 12 approved a modification of a prior zoning resolution to accommodate substantial redevelopment of the site. The approval permitted the applicant to demolish the existing shopping center while retaining the 6,085-square-foot Outback Steakhouse and construct a new two-story, 58,306-square-foot Publix Super Market. The approved plans also included a 1,200-square-foot liquor package store within the Publix, 10,980 square feet of one-story in-line retail and restaurant space, and a total of 344 parking spaces. In addition, the resolution granted several zoning exceptions and variances: a special exception to allow the liquor package store to be located within less than the required 2,500 feet from religious facilities; a non-use variance to reduce the side street (west) setback to 15 feet where 25 feet is required; and a non-use variance to permit 13% landscaped open space, where a minimum of 15.5% is normally required.

In the current application, the applicant seeks approval to allow the existing liquor package store within the Publix Super Market to sell alcoholic beverages on Sundays.

<u>NEIGHBORHOOD CHARACTERISTICS</u>		
	Zoning and Existing Use	Land Use Designation
Subject Property	BU-2; shopping center	Industrial and Office & Business and Office
North	IU-1; warehouses	Industrial and Office
South	BU-2; office building, shopping center	Business and Office
East	IU-1; warehouses	Industrial and Office
West	RU-4M; single-family residences	Low Medium Density Residential 6-13 du/ac

NEIGHBORHOOD COMPATIBILITY:

The subject property is part of an established shopping center located at 13005 SW 89 Place. The surrounding area is predominantly composed of commercial and industrial uses to the north, south, and east, while single-family residences are located to the west.

SUMMARY OF THE IMPACTS:

Approval of this application would permit the existing liquor package store to extend its sales of alcoholic beverages to include Sunday, thereby allowing sales from Monday through Sunday. Staff opines that approval of the request for an additional day of liquor sales will not result in increased traffic impacts on the surrounding neighborhood or significant additional demands on County resources in the area.

COMPREHENSIVE DEVELOPMENT MASTER PLAN ANALYSIS:

The ±5.91-acre subject property is located within the Urban Development Boundary (UDB) and designated as **Industrial and Office and Business and Office**. Uses allowed in the **Industrial and Office** include, *manufacturing operations, maintenance and repair facilities, warehouses, mini-warehouses, office buildings, wholesale showrooms, distribution centers, and similar uses are permitted in areas designated as "Industrial and Office" on the LUP map. Also included are construction and utility-equipment maintenance yards, utility plants, public facilities, hospitals and medical buildings.* The Business and Office category accommodates the full range of sales and

service activities. Included are retail, wholesale, personal and professional services, entertainment and cultural facilities, amusements and commercial recreation. Further, the CDMP Land Use Element Interpretative Text states that existing lawful residential and non-residential uses and zoning are not specifically depicted on the LUP map. Said text further states that all such lawful uses and zoning are deemed to be consistent with this Plan. The current application is to allow the existing liquor package store to sell alcoholic beverages on Sundays. Therefore, staff opines that since the approval of the application will not change the existing shopping center use, the subject property is consistent with the CDMP Land Use Element interpretative text in Industrial and Office areas and the CDMP Land Use Plan map Industrial and Office designation for the subject property. The applicant intent is to allow extended days for the sales of alcoholic beverages for the liquor store. Staff opines that the approval of the request will not change the commercial use on the subject property. As such, staff opines that approval of the request to allow the applicant to increase the selling of alcoholic beverages for an additional day of the week (Sundays) at the existing liquor package store would be **compatible** with the surrounding area and **consistent** with the CDMP Business and Office Land Use Element interpretive text for the Business and Office land use category and with the Business and Office category for the parcel on the CDMP LUP map.

ZONING ANALYSIS:

When the request to permit Sunday sales of alcohol (Sunday sales not permitted except only during the month of December), is analyzed under Section 33-311(A)(4)(b) Non-Use Variances From Other Than Airport Regulations, staff opines that approval of the request would be compatible with the surrounding area. Staff notes that the subject business is an approved liquor/beer/wine bar and package store pursuant to Resolution #CZAB12-1-21. Staff opines that the request to allow the sales of alcoholic beverages on Sundays will not result in excessive traffic because the liquor package store is an approved use that is already allowed to sell alcoholic beverages Monday through Saturdays and will be adding only 1 more additional day.

Staff also notes that based on the memoranda submitted by other departments reviewing the application, approval of this application would not have an unfavorable effect on the economy of Miami-Dade County, would not tend to create a fire or other equally or greater dangerous hazard, or provoke excessive overcrowding of people, or provoke a nuisance, and would not be incompatible with the area concerned. The Platting and Traffic Review Section of the Department of Regulatory and Economic Resources (RER) in the attached memorandum, states that they have no objections to the application and that this application will not generate any additional vehicular trips. Further, the Division of Environmental Resources Management of the Department of Regulatory and Economic Resources in the attached memorandum, indicates that the request under this application does not entail any environmental concerns and that they have no objections to the application and that approval of the request will not impact services in the area. In addition, the memorandum from the Miami-Dade Fire Rescue Department and the Water and Sewer Department indicates no objection to the application as well. Based on the aforementioned department memoranda, staff opines that the request will not result in, among other things, excessive noise or cause undue or excessive burden on public facilities.

It is important to mentioned that per Resolution #5-ZAB-20-96, the Metropolitan Dade County Zoning Appeals Board approved the following additional requests for the property located at 13135 SW 89 Place, (1) modification of a previously approved site plan, (2) a special exception to permit the expansion of an existing nightclub, (3) a special exception to allow the nightclub to be located closer than required to other alcoholic beverage uses and an existing religious facility, (4) **an extension of the hours of operation for the nightclub and liquor stores to serve**

alcoholic beverages on Sundays from 10:00 a.m. to 4:50 a.m. and on Mondays from 5:00 p.m. to 4:50 a.m., and (5) permission to allow the existing shopping center to operate with fewer parking spaces than required by code. Request number 4 is a similar request to what the applicant is asking now and was approved in the same shopping center.

The 5.91-acre subject site is currently operating with an existing liquor package store, surrounded by commercial and industrial uses to the north, south and east, and single-family residences to the west. Staff notes that the requested Sunday sales may be similar to other liquor package stores that are found in the surrounding area and opines that the proposed request to allow Sunday sales will not have a significant impact on the neighborhood. Based on the foregoing, staff supports the request to allow Sunday sales of alcoholic beverages at the existing liquor package store and opines that approval of same will not create the intrusion of any additional uses into the area, and would maintain the basic intent and purpose of the zoning, subdivision and other land use regulations, would not affect the stability and appearance of the community and that the request would be compatible with the surrounding commercial uses in the area. **Therefore, staff recommends approval with conditions of the application under Section 33-311(A)(4)(b) (Non-Use Variances From Other Than Airport Regulations).**

ACCESS, CIRCULATION AND PARKING: N/A

NEIGHBORHOOD SERVICES PROVIDER COMMENTS: See attached.

OTHER: N/A

RECOMMENDATION:

Approval with conditions.

CONDITIONS FOR APPROVAL:

1. That the sale of alcoholic beverages shall be limited between the hours of 8:00 a.m. and 10:00 p.m. Mondays through Sundays 7 days a week.
2. That the applicant applies for and obtain a Certificate of Use from the Department of Regulatory and Economic Resources for the sale of alcoholic beverages, upon compliance with all terms and conditions, the same subject to cancellation upon violation of any of the conditions.

ES:JB:SS:EA:PM

Eric Silva

Eric Silva, AICP, Assistant Director
Development Services Division
Miami-Dade County Department of
Regulatory and Economic Resources

ZONING RECOMMENDATION ADDENDUM

Publix Super Markets, Inc.
PH: Z24-083

NEIGHBORHOOD SERVICES PROVIDER COMMENTS	
<i>Division of Environmental Resource Management (RER)</i>	<i>No objection</i>
<i>Platting and Traffic Review Section (RER)</i>	<i>No objection</i>
<i>Miami-Dade Fire Rescue (MDFR)</i>	<i>No objection</i>
<i>Water and Sewer Department (WASD)</i>	<i>No objection</i>
<i>Building and Neighborhood Compliance (BNC)</i>	<i>No objection</i>
<i>*Subject to conditions in their memorandum.</i>	

COMPREHENSIVE DEVELOPMENT MASTER PLAN (CDMP) OBJECTIVES, POLICIES AND INTERPRETATIVE TEXT

<p>Industrial and Office (Page I-40, I-41 and I - 42)</p>	<p><i>Manufacturing operations, maintenance and repair facilities, warehouses, mini-warehouses, office buildings, wholesale showrooms, distribution centers, and similar uses are permitted in areas designated as "Industrial and Office" on the LUP map. Also included are construction and utility-equipment maintenance yards, utility plants, public facilities, hospitals and medical buildings. The full range of telecommunication facilities, including switching and transmission facilities, satellite telecommunications facilities, microwave towers, radar stations and cell towers is also allowed. Very limited commercial uses to serve the firms and workers in the industrial and office area are allowed dispersed as small business districts and centers throughout the industrial areas. Hotels and motels are also authorized. Freestanding retail and personal service uses and shopping centers larger than 10 acres in size are prohibited in these areas because they would deplete the industrial land supply and they are better located in commercially designated areas and in closer proximity to residential areas. Freestanding retail and personal service uses and shops that are approved in Industrial and Office areas should front on major access roads, particularly near major intersections. In addition, uncommon commercial uses such as amusement uses, and others with unusual siting requirements may also be considered at appropriate locations. Quarrying activities and ancillary uses may also be approved in areas designated Industrial and Office where compatible with the surrounding area and environment. The specific range and intensity of uses appropriate in a particular Industrial and Office area vary by location as a function of the availability of public services and access and, among other factors, compatibility with neighboring development. Through the zoning review process, use of particular sites or areas may be limited to something less than the maximum allowed in this category. Moreover, special limitations may be imposed where necessary to protect environmental resources. If the land is the subject of an application for rezoning, zoning approval or a plan amendment and is located in an MSA with less than a 15-year supply of industrial land, in order to receive approval for a non-industrial use, the applicant must demonstrate that such use will not have a significant adverse impact on future industrial development. In general, the typical residential development is incompatible with major industrial concentrations and shall not occur in areas designated as "Industrial and Office" on the LUP map to avoid use conflicts and for health and safety reasons. Exceptions may be granted for the following: (1) the development of live-work or work-live buildings or the adaptive reuse of existing structures for these purposes in areas of light industrial uses such as office, wholesale, distribution and the assembling of pre-manufactured parts; (2) the development of a TND as provided herein; and (3) the residential development of a portion of an industrially designated area where the portion is, a) 10 acres or smaller and is bounded on two or more sides by existing residential development or zoning, or is b) the perimeter of a Plan-designated</i></p>
---	---

ZONING RECOMMENDATION ADDENDUM

Publix Super Markets, Inc.

PH: Z24-083

Page | 6

	<p><i>industrial area which perimeter does not exceed a depth of 150 feet; and c) the subject portion of the industrially designated site immediately adjoins a currently developed or platted residential area and the Director of the Department of Planning and Zoning determines that the inclusion of a residential component in the Industrially designated area, designed to provide compatible transition along the boundary, is the best means of maintaining the quality of the adjoining residential area. Notwithstanding the foregoing, applications for residential zoning that were properly filed prior to August 25, 2000, can be considered where adjoining land is residentially zoned, designated or developed. Residential developments in this land use category may participate in the inclusionary zoning program. The properties utilized for residential development will be eligible within the limits provided in this paragraph for the density allowances of the inclusionary zoning program in the Residential Communities section. TNDs may be permitted in Industrial and Office areas where: 1) compatible with nearby development and with the objectives and policies of this Plan, 2) necessary services exist or will be provided by the developer, and 3) adjacent to land designated Residential Communities on the LUP map (including across an abutting major or minor roadway) along 30 percent or more of the total perimeter of the TND, provided that land designated Residential Communities exists along at least some portion of the two or more sides. (Multiple sides created by an out parcel shall count as one side only). TND located within Industrial and Office areas shall allocated to Workshop Uses a minimum of 15 percent and a maximum of 30 percent of the gross built up area planned for development within a TND, and shall have a residential density no greater than the average of the adjacent Residential Communities designations or ten units per acre, whichever is higher. Workshops Uses shall be oriented to adjacent non-residential areas, while the residential uses shall be oriented to the adjacent Residential Communities designations. All criteria for TNDs enumerated in the Residential Communities section of this Chapter, other than the provisions governing percent of built up area which may be devoted to workshop uses addressed herein and the maximum permitted residential density, shall govern the development of TNDs in areas designated Industrial and Office.</i></p>
<p>Business and Office (Page I-42 and I-43)</p>	<p><i>This category accommodates the full range of sales and service activities. Included are retail, wholesale, personal and professional services, call centers, commercial and professional offices, hotels, motels, hospitals, medical buildings, nursing homes (also allowed in the institutional category), entertainment and cultural facilities, amusements and commercial recreation establishments such as private commercial marinas. Also allowed are telecommunication facilities (earth stations for satellite communication carriers, satellite terminal stations, communications telemetry facilities and satellite tracking stations). These uses may occur in self-contained centers, high-rise structures, campus parks, municipal central business districts or strips along highways. In reviewing zoning requests or site plans, the specific intensity and range of uses, and dimensions, configuration and design considered to be appropriate will depend on locational factors, particularly compatibility with both adjacent and adjoining uses, and availability of highway capacity, ease of access and availability of other public services and facilities. Uses should be limited when necessary to protect both adjacent and adjoining residential use from such impacts as noise or traffic, and in most wellfield protection areas uses are prohibited that involved the use, handling, storage, generation or disposal of hazardous material or waste, and may have limitations as to the maximum buildable area, as defined in Chapter 24 of the County Code. When the land development regulations are amended pursuant to Land Use Element Policies LU-9P and LU-9Q, live-work and work-live developments shall be permitted on land designated as Business and Office, as transitional uses between commercial and residential areas.</i></p>

ZONING RECOMMENDATION ADDENDUM

Publix Super Markets, Inc.

PH: Z24-083

	<p><i>Residential uses, and mixing of residential use with commercial, light industrial, office and hotels are also permitted in Business and Office areas provided that the scale and intensity, including height and floor area ratio of the residential or mixed use development, is not out of character with that of adjacent or adjoining development and zoning, and it does not detrimentally impact, and it provides a sensitive well designed transition to any adjacent or adjoining residentially developed or designated areas of different development intensity. Where these conditions are met residential development may be authorized to occur in the Business and Office category at a density up to one density category higher than the LUP-designated density of the adjacent or adjoining residentially designated area on the same side of the abutting principal roadway, or up to the density of any such existing residential development, or zoning if the adjacent or adjoining land is undeveloped, whichever is higher. If there is no adjacent or adjoining residential use existing, zoned or designated on the same side of the roadway, the maximum allowable residential density will be that which exists or which this plan allows across the roadway. Where there is no residential use, zoning or designation on either side of the roadway, the intensity of residential development, including height, bulk and floor area ratio shall be no greater than that which would be permitted for an exclusively commercial use of the site.</i></p>
--	---

PERTINENT ZONING REQUIREMENTS/STANDARDS

<p>Sec. 33-151. - Hours and days of sale.</p>	<p><i>(a) Establishments for package sales only. Vendors holding a license from the State beverage department for the sale of alcoholic beverages for consumption off the premises only, shall make no sale of alcoholic beverages on Sundays, and shall make no sale of alcoholic beverages during weekdays except between the hours of 8:00 a.m. and 10:00 p.m.; provided, however, that vendors operating stores primarily for the sale of products other than alcoholic beverages (excepting such stores as are nonconforming under the zoning regulations) may make sales of beer in sealed containers for consumption off the premises during such hours as their stores legally remain open for the sale of other goods; provided further, however, that nothing in the foregoing proviso shall be deemed to modify any of the provisions of the zoning regulations as heretofore or hereafter adopted. Vendors in bait and tackle installations and camp grounds holding a State license from the beverage department for the sale of beer in sealed containers, for consumption off the premises, shall make no sale of beverages except between the hours of 5:00 a.m. and 7:00 p.m.</i></p>
<p>Section 33-311(A)(4)(b) Non-Use Variances From Other Than Airport Regulations.</p>	<p><i>Upon appeal or direct application in specific cases, the Board shall hear and grant applications for non-use variances from the terms of the zoning and subdivision regulations and may grant a non-use variance upon a showing by the applicant that the non-use variance maintains the basic intent and purpose of the zoning, subdivision and other land use regulations, which is to protect the general welfare of the public, particularly as it affects the stability and appearance of the community and provided that the non-use variance will be otherwise compatible with the surrounding land uses and would not be detrimental to the community. No showing of unnecessary hardship to the land is required.</i></p>

Building and Neighborhood Compliance

ENFORCEMENT HISTORY

PUBLIX SUPER MARKETS, INC.

13005 SW 89 PL
MIAMI-DADE COUNTY, FLORIDA.

APPLICANT

ADDRESS

PENDING

Z2024000083

DATE

HEARING NUMBER

FOLIO No: 30-5016-033-0050

REVIEW DATE OF CURRENT ENFORCEMENT HISTORY:

April 21, 2025

NEIGHBORHOOD REGULATIONS:

There are no open/closed cases

BUILDING SUPPORT REGULATIONS OPEN:

Building Support Case B2024013709-F opened on 05/18/2024 for Failure to obtain Building Recertification. Civil Violation Notice (CVN) P051225 issued on 05/18/2024. CVN recorded on 05/20/2024 under Book: 34235 Page: 4942 Total Pages: 2. CVN paid on 07/26/2024. A Non-Compliance Affidavit was issued on 08/27/2024. A Lien request was forwarded, however the recommendation was rejected and returned to enforcement. There are pending assessment penalties. Civil Violation Notice P058288, was issued 01/02/2025, for section 8-11(f) of the South Florida building code: failure to obtain a building recertification. Civil Violation Notice P051225 was submitted for closure. The closure was approved on 01/02/2025. Civil Violation Notice P058288, was recorded on 01/08/2025, under Book: 34565 Page: 149 Total Pages: 2. A Non-Compliance Affidavit was issued for Civil Violation Notice P058288, on 03/10/2025 [Building recertification not approved]. Citation P058288 has been paid. A Notice of assessment of continuing penalties, was issued on 03/11/2025, for Civil Notice Violation P058288. There are outstanding assessment penalties associated with the affidavit of Non-Compliance. The case remains open.

BUILDING SUPPORT REGULATIONS CLOSED:

There are no closed cases.


OUTSTANDING LIENS AND FINES:

There are outstanding Fees and penalties associated with citation P058288. More information regarding compliance, please contact the Building Support Department at 786 315-2424. Applicant can also contact the Legal Department; ceappeals@miamidade.gov to request a Compliance Consent Agreement.

Memorandum

Date: April 25, 2025

To: Lourdes M. Gomez, AICP, Director
Department of Regulatory and Economic Resources

From: Lisa M. Spadafina, RER Assistant Director
Division of Environmental Resources Management 

Subject: Z2024000083-2nd Review
Real Sub LLC
13003 SW 89th Place
Non-use variance to allow package sales on Sundays of beer, wine
and liquor at an existing grocery store, for consumption off premises
only.
(BU-2) (5.91 acres)
16-55-40

The Department of Regulatory and Economic Resources – Division of Environmental Resources Management (DERM) has reviewed the above referenced zoning application for compliance with the requirements of Chapter 24 of the Miami-Dade County Code (the Code). DERM has no pertinent comments regarding this application since the proposed quest for a non-use variance to allow package sales on Sundays of beer, wine and liquor, does not entail any environmental concerns. Based on the information provided, this zoning application is approved pursuant to section 24-43.1 of the Code related to potable water service and wastewater disposal.

If you have any questions concerning the comments or wish to discuss this matter further, please contact Ninfa Rincon at (305) 372-6764.

cc: Eric Silva, Department of Regulatory and Economic Resources


Memorandum



Date: April 18, 2025

To: Eric Silva, AICP, Assistant Director
Development Services Division
Department of Regulatory and Economic Resources (RER)

Through: James B. Ferguson, P.E.
Assistant Director
Water and Sewer Department (WASD)

From: Maria A. Valdes, CSM, LEED® Green Associate
Chief, Planning & Water Certification Section
Water and Sewer Department (WASD) 

Subject: **UPDATED** Zoning Application Comments - Publix Super Markets Inc.
Application No. Z2024000083

The Water and Sewer Department has reviewed the proposed development for the subject zoning application. WASD has no objection to this zoning application, based on the information provided. Additional requirements may be needed at the time of permitting. The information provided below is preliminary and it does not affect the Zoning process.

Application Name: Publix Super Markets Inc.

Location: The proposed project is located on approximately 5.91 acres at 13005 SW 89th Place, with Folio No. 30-5016-033-0050, in unincorporated Miami-Dade County.

Proposed Development: Per Letter of Intent dated April 26, 2024, the Applicant is requesting a Non-Use Variance to allow package sales on Sundays of beer, wine, and liquor for consumption off premises only.

Please note that the subject property has a 2 feet Utility Easement within and along the eastern, western, and southern boundary of the property. Permanent structures, trees or palms are not allowed within said utility easement (only passive landscaping along the Utility Easement).

Water/Sewer: The subject site is located within the WASD's water and sewer service area. The subject property is currently connected to water and sewer.

There are water and sewer mains within the property, either in existing dedicated Right-of-Way (R/W) or easements, which need to be removed and relocated if in conflict with the proposed development. In addition, no trees or palms should be planted within five (5) feet of any WASD facility. Easements associated with mains to be removed and relocated shall be closed and vacated before starting construction in the easement(s) areas. In case of R/W to be closed and vacated within the property, mains shall be removed and relocated, if needed, before closing/vacating them. Fire hydrants associated with mains to be removed and relocated shall be relocated as per Fire Department recommendations. Cutting and plugging of existing water mains shall be done by a licensed contractor under WASD supervision. Services to existing customers cannot be interrupted.

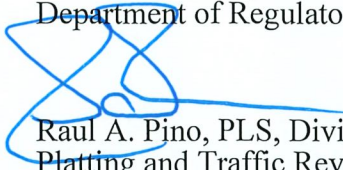
Should you have any questions, please contact Maria A. Valdes, Chief, Planning & Water Certification Section at (786) 552-8198 or maval@miamidade.gov, Alfredo B. Sanchez at (786) 552-8237 or sanalf@miamidade.gov, or Pedro P. Vera Carballes at (786) 552-8144 or pedro.veracarballes@miamidade.gov.

Memorandum



Date: April 17, 2025

To: Eric Silva, AICP, Assistant Director
Department of Regulatory and Economic Resources

From:  Raul A. Pino, PLS, Division Chief
Platting and Traffic Review Section
Department of Regulatory and Economic Resources

Subject: Z2024000083
Name: Publix Super Markets, Inc.
Location: 13003 SW 89 Place
Section 16 Township 55 South Range 40 East

The Department of Regulatory and Economic Resources Platting and Traffic Review Section has reviewed the subject application and has **no objections**.

This land complies with Chapter 28 of the Miami-Dade County Code. The property is platted as Tract K, Plat Book 99, Page 41.

This application does not generate any trips.

Standard Conditions:

- A letter or a plan containing the following certification signed and sealed by a State of Florida registered engineer shall be submitted as part of the paving and drainage plans: "I hereby certify that the all of the roads for the subject project comply with all of the applicable portions of the Manual of Uniform Minimum Standards for Design, Construction and Maintenance for Streets and Highways (Florida Greenbook) regarding: design speed, lane widths, horizontal alignment, vertical alignment, stopping sight distance, sight distance, horizontal clearance, vertical clearance, superelevation, shoulder widths, grades, bridge widths, etc."
- All landscaping, walls, fences, entrance features, etc. will be subject to the Safe Sight Distance Triangle as per Section 33-11 of the Miami-Dade County Code and G5.3 of the Public Works and Waste Management Department Manual.

Memorandum



Date: April 29, 2025

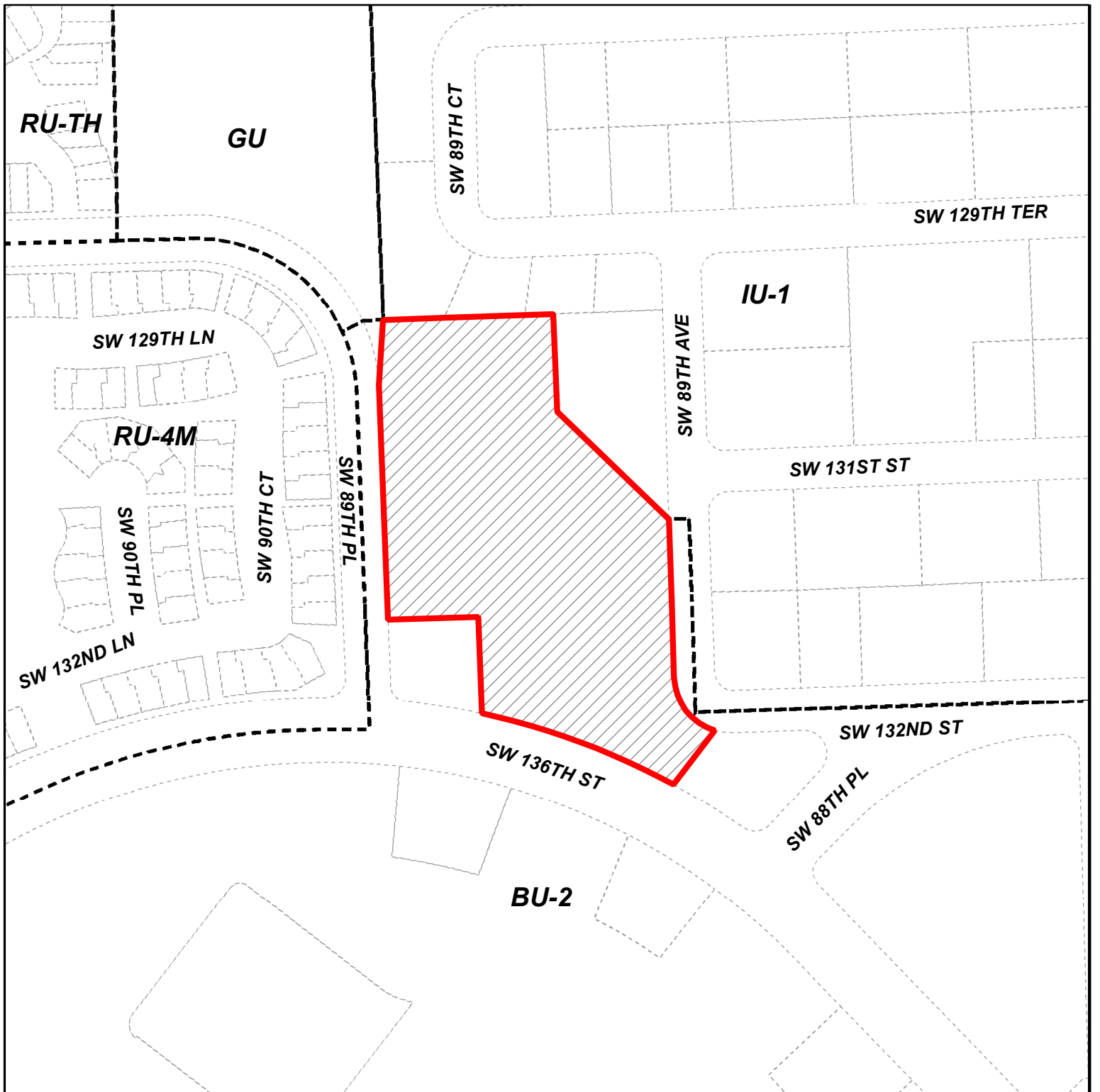
To: Eric Silva, Assistant Director
Regulatory and Economic Resources

From: Alejandro G Cuello, Principal Planner
Miami-Dade Fire Rescue Department

Subject: Z2024000083

The Miami-Dade Fire Rescue review is limited to site access only. The intent of this application described in the letter of intent uploaded in “Energov” on 08/21/24, is outside MDFR purview. Any future site plans will need separate approval.

For additional information, please contact acuello@miamidade.gov or call 305-775-3357.





MIAMI-DADE COUNTY
HEARING MAP

Process Number
Z2024000083



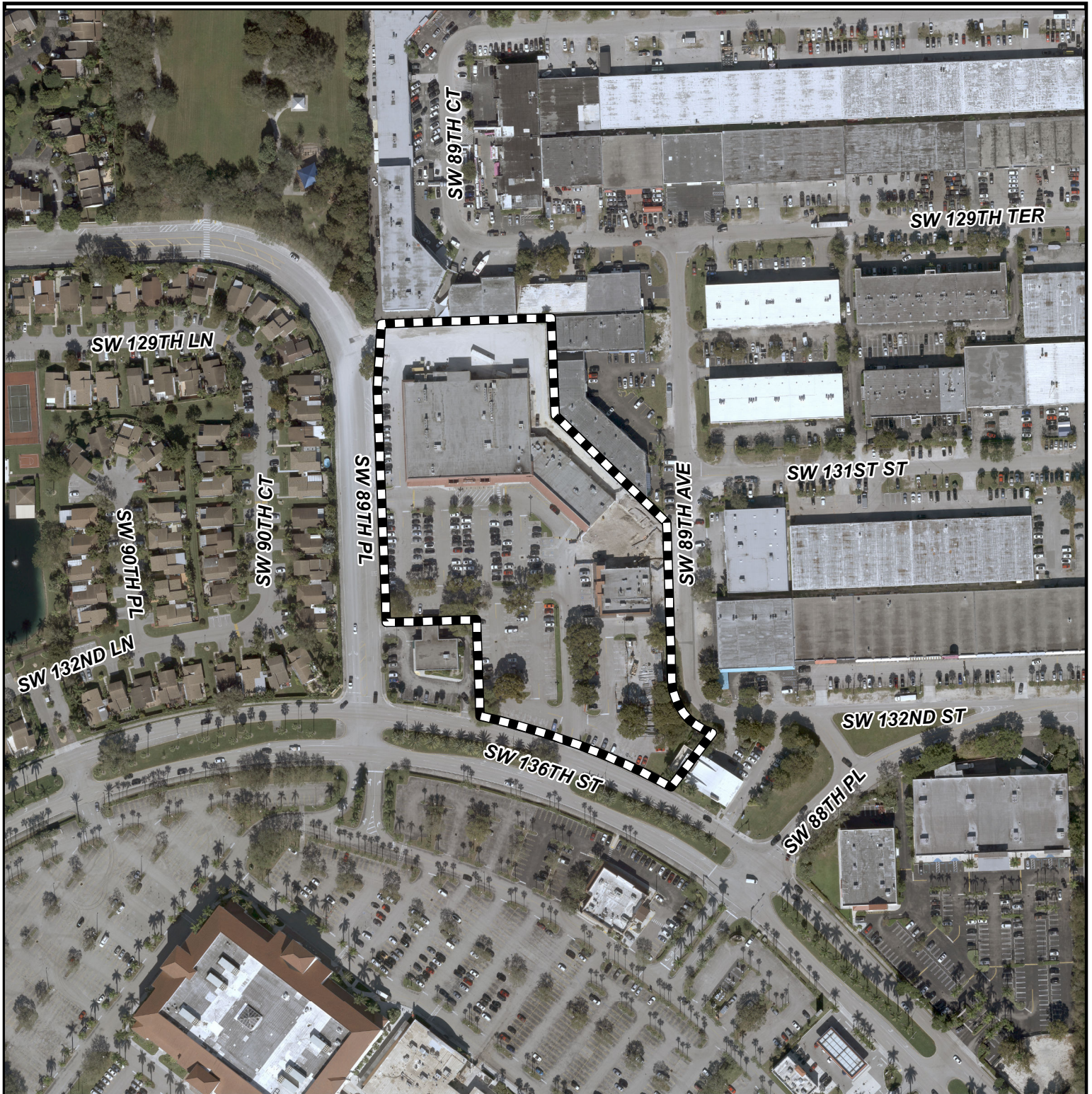
Section: 16 Township: 55 Range: 40
 Applicant: Publix Super Markets, Inc.
 Zoning Board: C12
 Commission District: 8
 Drafter ID: EDUARDO CESPEDES
 Scale: NTS

Legend

-  Subject Property Case
-  Zoning



REVISION	DATE	BY



MIAMI-DADE COUNTY
AERIAL YEAR 2023

Process Number
Z2024000083

Legend



Subject Property

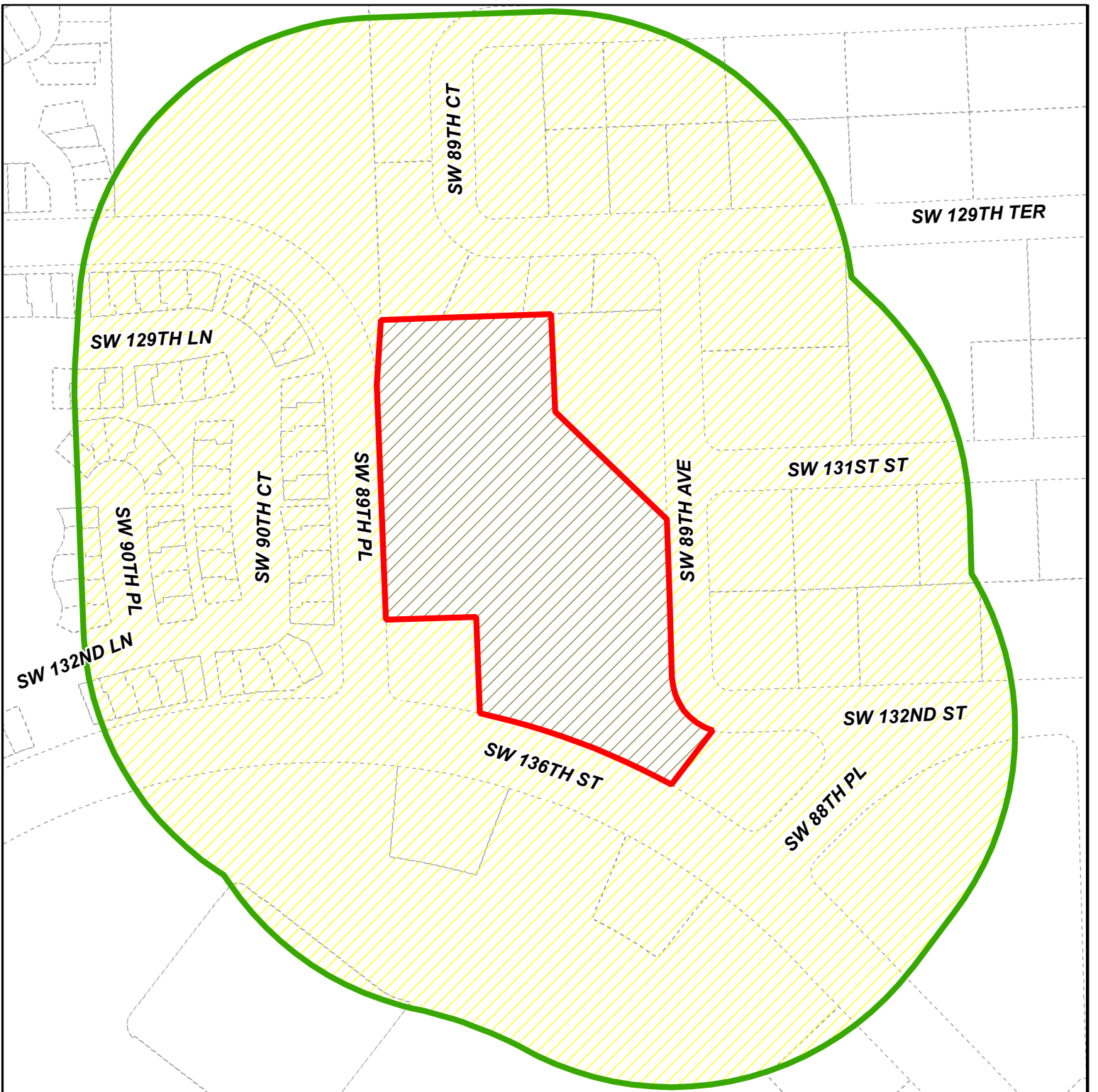


Section: 16 Township: 55 Range: 40
 Applicant: Publix Super Markets, Inc.
 Zoning Board: C12
 Commission District: 8
 Drafter ID: EDUARDO CESPEDES
 Scale: NTS



SKETCH CREATED ON: Friday, August 23, 2024

REVISION	DATE	BY






MIAMI-DADE COUNTY
RADIUS MAP

Section: 16 Township: 55 Range: 40
 Applicant: Publix Super Markets, Inc.
 Zoning Board: C12
 Commission District: 8
 Drafter ID: EDUARDO CESPEDES
 Scale: NTS

Process Number
Z2024000083
 RADIUS: 500

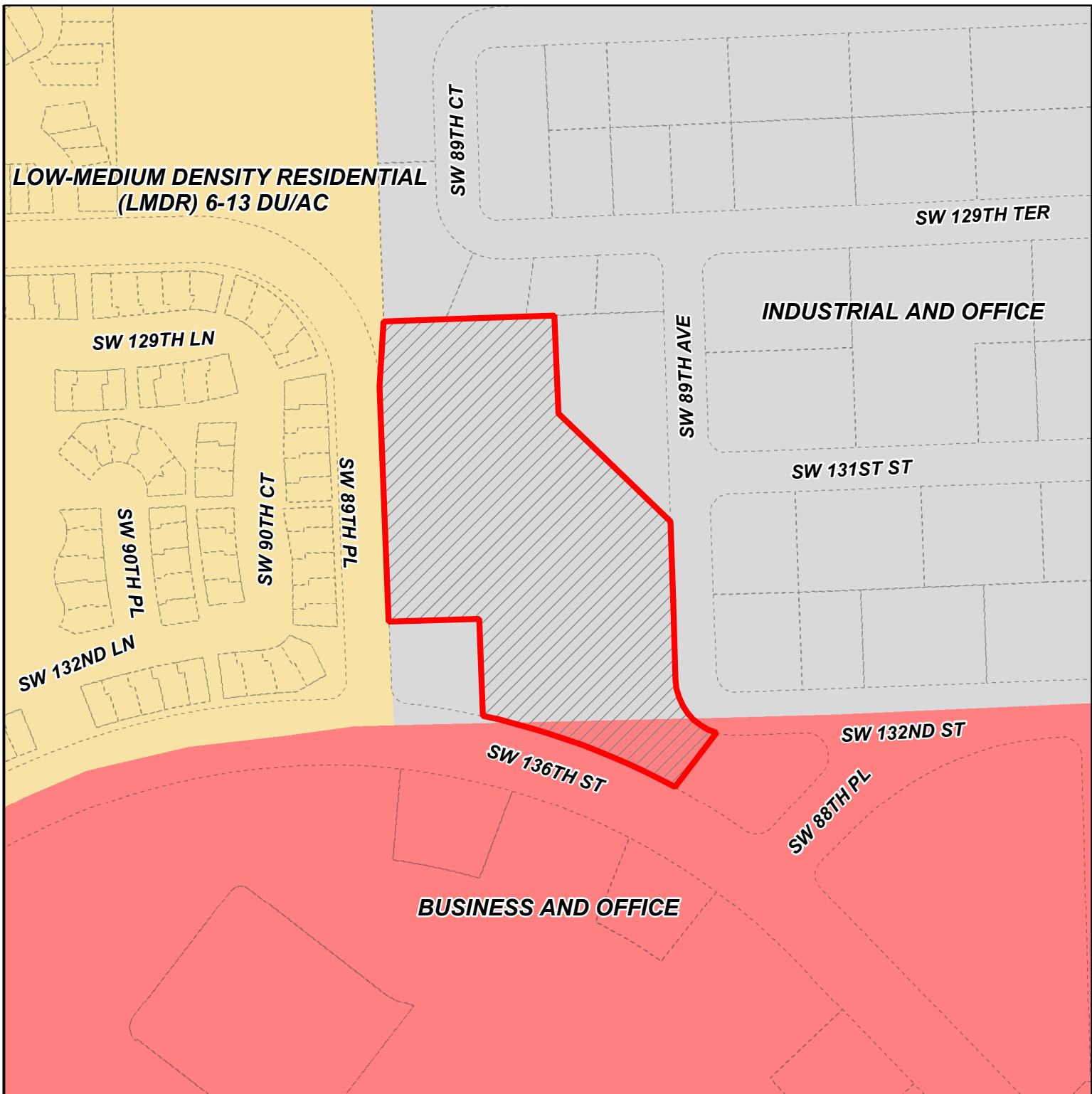
Legend

-  Subject Property
-  Buffer
-  Property Boundaries



SKETCH CREATED ON: Friday, August 23, 2024

REVISION	DATE	BY



MIAMI-DADE COUNTY
CDMP MAP

Process Number
Z2024000083

Section: 16 Township: 55 Range: 40
 Applicant: Publix Super Markets, Inc.
 Zoning Board: C12
 Commission District: 8
 Drafter ID: EDUARDO CESPEDES
 Scale: NTS

Legend

 Subject Property Case



SKETCH CREATED ON: Friday, August 23, 2024

REVISION	DATE	BY

RECEIVED

MIAMI-DADE COUNTY
PROCESS NO.: Z24-083

DATE: AUG 21 2024

BY: ISA

DISCLOSURE OF INTEREST*

If a **CORPORATION** owns or leases the subject property, list principal stockholders and percent of stock owned by each. [Note: Where principal officers or stockholders consist of other corporation(s), trust(s), partnership(s) or similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

CORPORATION NAME: Publix Super Markets, Inc.

<u>NAME AND ADDRESS</u>	<u>Percentage of Stock</u>
Please see attached Exhibit "B"	

If a **TRUST or ESTATE** owns or leases the subject property, list the trust beneficiaries and percent of interest held by each. [Note: Where beneficiaries are other than natural persons, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

TRUST/ESTATE NAME: _____

<u>NAME AND ADDRESS</u>	<u>Percentage of Interest</u>

If a **PARTNERSHIP** owns or leases the subject property, list the principals including general and limited partners. [Note: Where partner(s) consist of other partnership(s), corporation(s), trust(s) or similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interests].

PARTNERSHIP OR LIMITED PARTNERSHIP NAME: _____

<u>NAME AND ADDRESS</u>	<u>Percent of Ownership</u>

RECEIVED

MIAMI-DADE COUNTY

PROCESS NO.: Z24-083

DATE: AUG 21 2024

BY: ISA

If there is a **CONTRACT FOR PURCHASE** by a Corporation, Trust or Partnership, list purchasers below, including principal officers, stockholders, beneficiaries or partners. [Note: Where principal officers, stockholders, beneficiaries or partners consist of other corporations, trusts, partnerships or similar entities, further disclosure shall be made to identify natural persons having ultimate ownership interests].

NAME OF PURCHASER: _____

NAME, ADDRESS AND OFFICE (if applicable)	Percentage of Interest
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

Date of contract: _____

If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership or trust:

NOTICE: For changes of ownership or changes in purchase contracts after the date of the application, but prior to the date of final public hearing, a supplemental disclosure of interest is required.

The above is a full disclosure of all parties of interest in this application to the best of my knowledge and belief.

Signature: Budner
(Applicant) Publix Super Markets, Inc.

Sworn to and subscribed before me this 23 day of April, 2024. Affiant is personally known to me or has produced None as identification.

Jessica Hernandez
(Notary Public)



JESSICA HERNANDEZ
Commission # HH 253135
Expires April 14, 2026

My commission expires 4/14/26

*Disclosure shall not be required of: 1) any entity, the equity interests in which are regularly traded on an established securities market in the United States or another country; or 2) pension funds or pension trusts of more than five thousand (5,000) ownership interests; or 3) any entity where ownership interests are held in a partnership, corporation or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership and where no one (1) person or entity holds more than a total of five per cent (5%) of the ownership interest in the partnership, corporation or trust. Entities whose ownership interests are held in a partnership, corporation, or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership, shall only be required to disclose those ownership interest which exceed five (5) percent of the ownership interest in the partnership, corporation or trust.

RECEIVED

MIAMI-DADE COUNTY
PROCESS NO.: Z24-083

DATE: AUG 21 2024

BY: ISA

DISCLOSURE OF INTEREST*

If a **CORPORATION** owns or leases the subject property, list principal stockholders and percent of stock owned by each. [Note: Where principal officers or stockholders consist of other corporation(s), trust(s), partnership(s) or similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

CORPORATION NAME: Real Sub, LLC

NAME AND ADDRESS

Percentage of Stock

Please see attached Exhibit "C"

If a **TRUST** or **ESTATE** owns or leases the subject property, list the trust beneficiaries and percent of interest held by each. [Note: Where beneficiaries are other than natural persons, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

TRUST/ESTATE NAME: _____

NAME AND ADDRESS

Percentage of Interest

If a **PARTNERSHIP** owns or leases the subject property, list the principals including general and limited partners. [Note: Where partner(s) consist of other partnership(s), corporation(s), trust(s) or similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interests].

PARTNERSHIP OR LIMITED PARTNERSHIP NAME: _____

NAME AND ADDRESS

Percent of Ownership

RECEIVED

MIAMI-DADE COUNTY

If there is a **CONTRACT FOR PURCHASE** by a Corporation, Trust or Partnership, list purchasers below, including principal officers, stockholders, beneficiaries or partners. [Note: Where principal officers, stockholders, beneficiaries or partners consist of other corporations, trusts, partnerships or similar entities, further disclosure shall be made to identify natural persons having ultimate ownership interests].

PROCESS NO.: 24-083
DATE: AUG 21 2024
BY: ISA

NAME OF PURCHASER: _____

NAME, ADDRESS AND OFFICE (if applicable)	Percentage of Interest
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

Date of contract: _____

If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership or trust:

NOTICE: For changes of ownership or changes in purchase contracts after the date of the application, but prior to the date of final public hearing, a supplemental disclosure of interest is required.

The above is a full disclosure of all parties of interest in this application to the best of my knowledge and belief.

Signature: Budacia _____
(Applicant) Real Sub, LLC

Sworn to and subscribed before me this 17 day of May, 2024. Affiant is personally known to me or has produced n/a as identification.

Jessica Hernandez
(Notary Public)



JESSICA HERNANDEZ
Commission # HH 253135
Expires April 14, 2026

My commission expires 4/14/26

*Disclosure shall not be required of: 1) any entity, the equity interests in which are regularly traded on an established securities market in the United States or another country; or 2) pension funds or pension trusts of more than five thousand (5,000) ownership interests; or 3) any entity where ownership interests are held in a partnership, corporation or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership and where no one (1) person or entity holds more than a total of five per cent (5%) of the ownership interest in the partnership, corporation or trust. Entities whose ownership interests are held in a partnership, corporation, or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership, shall only be required to disclose those ownership interest which exceed five (5) percent of the ownership interest in the partnership, corporation or trust.

RECEIVED

MIAMI-DADE COUNTY

PROCESS NO.: Z24-083

DATE: AUG 21 2024

BY: ISA

EXHIBIT "B"

Publix Super Markets, Inc. Ownership Disclosure

RECEIVED

MIAMI-DADE COUNTY
PROCESS NO.: Z24-083
DATE: AUG 21 2024

Exhibit "B"

The following officers, identified on Sunbiz.org, may be contacted at 3300 Publix Corporate Parkway, Lakeland, FL 33811-3311. BY: ISA

- Merriann M. Metz (SVP, Secretary)
- David P. Phillips (Executive VP & CFO)
- Randall T. Jones, Sr. (Executive Chairman)
- Michael R. Smith (SVP)
- Robert J. McGarrity (VP, Facilities)
- Bridgid A. O'Connor (VP, Real Estate Strategy)
- Randolph L. Barber (VP, Industrial Maintenance and Purchasing)
- William W. Rayburn, IV (VP, Real Estate Assets)
- Kevin S. Murphy (CEO)
- John L. Goff, Jr. (President)
- Mikhael H. Ser (VP, Facilities)

Publix is the largest employee-owned retail grocery chain in the United States and is privately owned and operated by approximately 250,000 employees. Publix's common stock is made available for sale to eligible active employees and non-employee members of its Board of Directors. Publix's common stock is not traded on a stock exchange and, therefore, does not have a "ticker symbol." The market price of Publix's common stock is determined by its Board of Directors each quarter.

RECEIVED

MIAMI-DADE COUNTY

PROCESS NO.: Z24-083

DATE: AUG 21 2024

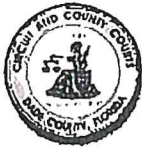
BY: ISA

Exhibit "C"

REAL SUB, LLC - List of primary officers and stockholders' information

Merriann M. Metz	Secretary
David P. Phillips	Treasurer
William W. Rayburn, IV	Vice President
Kevin S. Murphy	President
Bridgid A. O'Connor	Vice President

100% Member of Real Sub, LLC: Publix Super Markets, Inc.



MIAMI-DADE COUNTY
LOBBYIST ACTIVITY AUTHORIZATION

Section 2-11.1(s) - Code of Miami-Dade County Florida

RECEIVED

MIAMI-DADE COUNTY
PROCESS NO.: Z24-083
DATE: AUG 21 2024

BY: ISA

Please Type or Print in Ink

Principal's Name	Publix Super Markets, Inc.
Principal's Contact Person	Greenspoon Marder LLP
Principal's Trade Name	Publix Super Markets, Inc.
Mailing Address	600 Brickell Avenue, Suite 3600
	Miami, Florida 33131
Telephone Number	305-789-2763
<i>Other Principal(s) of Interest holding directly or indirectly a 5% or more ownership interest.</i>	
Name Of Lobbyist(s)	
	Louis J. Terminello, Esq.
	Joshua Remedios, Esq.
Lobbyist's Address	600 Brickell Avenue, Suite 3600
Note: It is the responsibility of the lobbyist to notify the Clerk of the Board of County Commissioners of any changes in address.	Miami, Florida 33131
Telephone Number	305-789-2763
Date Employed	March 25, 2024
Note: On or before July 1st of each year, every lobbyist must file an expenditure statement with the Clerk of the Board of County Commissioners for the preceding calendar year, regardless of the level of activity of the lobbyist, and whether or not the lobbyist has incurred any expenses during the reporting period.	
<input type="checkbox"/> Please check here if the lobbyist is employed for a specific issue.	
Specific Issue:	
I swear under penalty of perjury that the information on this form is true and accurate.	
Principal's Signature: <i>Budgeria</i>	Date: <i>4/23/24</i>
Pursuant to Section 2-11.1(s)(9) of the Code of Miami-Dade County, misrepresentation on this form may subject a person to prohibition from lobbying before the County Commission or any committee, board or county personnel for a period not to exceed five years.	

For Office Use Only:	
Data Entry Date _____, 20____	Entered By _____
<small>(Form Revision Date: 8/18/03)</small>	



24

RECEIVED

MIAMI-DADE COUNTY
PROCESS NO.: Z24-083
DATE: AUG 21 2024
BY: ISA

EXHIBIT "A"

Property Legal Description

RECEIVED

MIAMI-DADE COUNTY
PROCESS NO.: Z24-083
DATE: AUG 21 2024
BY: ISA

Exhibit "A"

Property Description

Tract "K" of BRIAR BAY URBAN PARK, SECTION THREE, according to the Plat thereof, as recorded in Plat Book 99, at Page 41, of the Public Records of Miami-Dade County, Florida.

Together with non-exclusive easements for ingress, egress and parking as contained in Declaration recorded February 26, 1975, in Official Records Book 8918, Page 1126, as affected by Affidavit recorded June 28, 1986, in Official Records Book 12936, Page 518, and Amendment to and Partial Vacation of Declaration recorded October 19, 1993, in Official Records Book 16094, Page 3066, all of the Public Records of Miami-Dade County, Florida.

RECEIVED

MIAMI-DADE COUNTY
PROCESS NO.: Z24-083
DATE: AUG 21 2024
BY: ISA

Warranty Deed

RECEIVED

This instrument prepared by
(and after recording return to):

Anthony M. Rodriguez, Esq.
Publix Super Markets, Inc.
PO Box 407
Lakeland, Florida 33802-0407

DATE: AUG 21 2024

BY: ISA

30-5016-033-0050
Property Appraiser's Folio Number

SPECIAL WARRANTY DEED

The Grantor, **KIKI L. COURTELIS, AS TRUSTEE OF THE INVESTMENT TRUST CREATED UNDER THE ALEC P. COURTELIS DECLARATION OF TRUST DATED 04/08/1994**, whose mailing address is 703 Waterford Way, Suite 800, Miami, Florida 33126, in consideration of ten dollars (\$10.00) and other valuable considerations received from the Grantee, hereby grants and conveys to the Grantee, **REAL SUB, LLC**, a Florida limited liability company, whose mailing address is Post Office Box 407, Lakeland, Florida 33802-0407, the real property in Miami-Dade County, Florida, described on the attached **Exhibit A**, along with any rights, privileges, hereditaments, appurtenances, and easements related to such real property.

This conveyance is subject to real estate taxes for 2015 and subsequent years, and the matters described on **Exhibit B**.

The Grantor hereby covenants and warrants that the property is free of all encumbrances except as otherwise expressly provided herein, that lawful seisin of and good right to convey the property are vested in the Grantor, and that the Grantor hereby fully warrants the title to the property and will defend the same against the lawful claims of all persons claiming by, through or under Grantor.

DATED this 29th day of JAN, 2015.

[SIGNATURE PAGE FOLLOWS]

MIAMI-DADE COUNTY
PROCESS NO.: Z24-083
DATE: AUG 21 2024
BY: ISA

Signed in the presence of:

KIKI L. COURTELIS, AS TRUSTEE OF
THE INVESTMENT TRUST CREATED
UNDER THE ALEC P. COURTELIS
DECLARATION OF TRUST DATED
04/08/1994

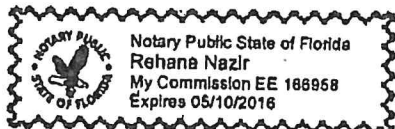
Rehana Nazir
(print name): Rehana Nazir

By: Kiki L. Courtelis
Kiki L. Courtelis, not individually, but
only as Trustee of the Investment Trust
created under the Alec P. Courtelis
Declaration of Trust, dated April 8, 1994

Victor L. Stosik
(print name): Victor L. Stosik

STATE OF FLORIDA
COUNTY OF MIAMI-DADE

The foregoing instrument was acknowledged before me this 28 day of JANUARY, 2015,
by KIKI L. COURTELIS, as Trustee of the Investment Trust created under the Alec P. Courtelis
Declaration of Trust dated 04/08/1994, on behalf of the trust. Such person is personally known to me or
produced _____ as identification.



Rehana Nazir (SEAL)
Printed/typed name: _____
Notary Public-State of _____
Commission Number: _____
Commission expires: _____

MIAMI-DADE COUNTY
PROCESS NO.: Z24-083

DATE: AUG 21 2024

BY: ISA

EXHIBIT A TO SPECIAL WARRANTY DEED

Property Description

Tract "K" of BRIAR BAY URBAN PARK, SECTION THREE, according to the Plat thereof, as recorded in Plat Book 99, at Page 41, of the Public Records of Miami-Dade County, Florida.

Together with non-exclusive easements for ingress, egress and parking as contained in Declaration recorded February 26, 1975, in Official Records Book 8918, Page 1126, as affected by Affidavit recorded June 28, 1986, in Official Records Book 12936, Page 518, and Amendment to and Partial Vacation of Declaration recorded October 19, 1993, in Official Records Book 16094, Page 3066, all of the Public Records of Miami-Dade County, Florida.

MIAMI-DADE COUNTY
PROCESS NO.: Z24-083
DATE: AUG 21 2024
BY: ISA

EXHIBIT B TO SPECIAL WARRANTY DEED

Permitted Title Matters

Easements, notes dedications and all other matters either shown or recited on the plat of BRIAR BAY URBAN PARK SECTION TWO, as recorded in Plat Book 99, Page(s) 41, of the Public Records of Miami-Dade County, Florida, specifically, for the 2 foot easements for fire hydrants, guard rails and street lights along the platted rights-of-way.

Agreement Governing Land Development recorded July 5, 1972, in Official Records Book 7786, Page 173, of the Public Records of Miami-Dade County, Florida.

Provisions of that certain Declaration recorded February 26, 1975, in Official Records Book 8918, Page 1126, as affected by Affidavit recorded June 28, 1986, in Official Records Book 12936, Page 518, and Amendment to and Partial Vacation of Declaration recorded October 19, 1993, in Official Records Book 16094, Page 3066, of the Public Records of Miami-Dade County, Florida.

Easement in favor of General Waterworks Corporation, a Florida corporation recorded December 19, 1975, in Official Records Book 9183, Page 852, as assigned to Dade County, Florida by Quit Claim Deed recorded February 28, 1979, in Official Records Book 10315, Page 415, of the Public Records of Miami-Dade County, Florida.

Agreement for Street Lighting recorded April 22, 1983, in Official Records Book 11766, Page 2356, of the Public Records of Miami-Dade County, Florida.

Declaration of Restrictions recorded May 20, 1994, in Official Records Book 16372, Page 1936, of the Public Records of Miami-Dade County, Florida.

Terms of that certain Lease between Briar Bay Shopping Center, Ltd., a Florida limited partnership (Landlord), and Publix Super Markets, Inc., a Florida corporation (Tenant), as evidenced by that certain Memorandum of Lease recorded March 20, 1996, in Official Records Book 17136, Page 2870, of the Public Records of Miami-Dade County, Florida.

Easement in favor of Florida Power & Light Company recorded April 10, 2007, in Official Records Book 25521, Page 3820, of the Public Records of Miami-Dade County, Florida.

RECEIVED

MIAMI-DADE COUNTY
PROCESS NO.: Z24-083

DISCLOSURE OF INTEREST*

If a **CORPORATION** owns or leases the subject property, list principal stockholders and percent of stock owned by each. [Note: Where principal officers or stockholders consist of other corporation(s), trust(s), partnership(s) or similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

DATE: AUG 21 2024
BY: ISA

CORPORATION NAME: Publix Super Markets, Inc.

<u>NAME AND ADDRESS</u>	<u>Percentage of Stock</u>
<u>Please see attached Exhibit "B"</u>	

If a **TRUST or ESTATE** owns or leases the subject property, list the trust beneficiaries and percent of interest held by each. [Note: Where beneficiaries are other than natural persons, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

TRUST/ESTATE NAME: _____

<u>NAME AND ADDRESS</u>	<u>Percentage of Interest</u>

If a **PARTNERSHIP** owns or leases the subject property, list the principals including general and limited partners. [Note: Where partner(s) consist of other partnership(s), corporation(s), trust(s) or similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interests].

PARTNERSHIP OR LIMITED PARTNERSHIP NAME: _____

<u>NAME AND ADDRESS</u>	<u>Percent of Ownership</u>

RECEIVED

MIAMI-DADE COUNTY

PROCESS NO.: Z24-083

DATE: AUG 21 2024

BY: ISA

If there is a **CONTRACT FOR PURCHASE** by a Corporation, Trust or Partnership, list purchasers below, including principal officers, stockholders, beneficiaries or partners. [Note: Where principal officers, stockholders, beneficiaries or partners consist of other corporations, trusts, partnerships or similar entities, further disclosure shall be made to identify natural persons having ultimate ownership interests].

NAME OF PURCHASER: _____

NAME, ADDRESS AND OFFICE (if applicable)	Percentage of Interest
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

Date of contract: _____

If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership or trust:

NOTICE: For changes of ownership or changes in purchase contracts after the date of the application, but prior to the date of final public hearing, a supplemental disclosure of interest is required.

The above is a full disclosure of all parties of interest in this application to the best of my knowledge and belief.

Signature: Bryan M
(Applicant) Publix Super Markets, Inc.

Sworn to and subscribed before me this 23 day of April, 2024. Affiant is personally known to me or has produced aka as identification.

Jessica Hernandez
(Notary Public)



JESSICA HERNANDEZ
Commission # HH 253135
Expires April 14, 2026

My commission expires 4/14/26

*Disclosure shall not be required of: 1) any entity, the equity interests in which are regularly traded on an established securities market in the United States or another country; or 2) pension funds or pension trusts of more than five thousand (5,000) ownership interests; or 3) any entity where ownership interests are held in a partnership, corporation or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership and where no one (1) person or entity holds more than a total of five per cent (5%) of the ownership interest in the partnership, corporation or trust. Entities whose ownership interests are held in a partnership, corporation, or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership, shall only be required to disclose those ownership interest which exceed five (5) percent of the ownership interest in the partnership, corporation or trust.

RECEIVED

MIAMI-DADE COUNTY
PROCESS NO. : Z24-083
DATE: AUG 21 2024
BY: ISA



RECEIVED

MIAMI-DADE COUNTY
PROCESS NO.: Z24-083
DATE: AUG 21 2024
BY: ISA



RECEIVED

MIAMI-DADE COUNTY
PROCESS NO.: Z24-083
DATE: AUG 21 2024
BY: ISA



**Miami-Dade County Department of Regulatory and Economic Resources
Staff Report to Community Zoning Appeals Board 12**

PH: Z24-160

May 29, 2025

Item No. 3

Recommendation Summary	
Commission District	7
Applicant	Boos Bird RD, LLC.
Summary of Request	The applicant is requesting to rezone the subject site from BU-1 (Business Use) and RU-1 (Single-Family Residential Use), to BU-1A (Limited Business District), in order to establish a unified zoning designation on the parcel. The proposed rezoning is intended to facilitate the development of the property with a bank that includes an ATM drive-thru facility.
Location	6420 Bird Road, Miami-Dade County, Florida.
Property Size	±0.77-gross (±0.46-net) acre
Existing Zoning	BU-1, Neighborhood Business District RU-1, Single-Family Residential District
Existing Land Use	Vacant
2030-2040 CDMP Land Use Designation	Office and Residential <i>(see attached Zoning Recommendation Addendum)</i>
Comprehensive Plan Consistency	Consistent with the LUP map, and the interpretative text and policies of the CDMP
Applicable Zoning Code Section(s)	Section 33-311, District Boundary Change, <i>(see attached Zoning Recommendation Addendum)</i>
Recommendation	Approval, subject to the Board's acceptance of the proffered covenant.

REQUEST:

District Boundary Change from BU-1, Neighborhood Business District and RU-1, Single-Family Residential District, to BU-1A, Limited Business District.

PROJECT HISTORY AND DESCRIPTION:

The ±0.46-acre subject property consists of three vacant lots (Lots 3–5), which previously contained a 3,242-square-foot commercial building that operated as a restaurant with outdoor dining. The structure was demolished in 2024. The property is located at 6420 Bird Road and has been the subject of multiple zoning actions over the years. In October 1958, pursuant to Resolution #2272, the Board of County Commissioners approved a district boundary change for the western portion of the property (Lots 3 and 4) from RU-1 (Single-Family Residential District) to BU-1 (Neighborhood Business District). Lot 5, which remained zoned RU-1, was referred back to the Zoning Commission for consideration of a special permit to allow parking in a more restrictive zoning district than the use it served. Subsequently, also in October 1958, the Board of County Commissioners approved Resolution #2341, granting a special permit for parking on Lot 5, despite it being located in a more restrictive zone (RU-1) than the commercial use it was intended to serve.

The applicant now seeks to rezone the entire subject site, identified as Lots 3–5 of Block 1, from BU-1 (Neighborhood Business District) and RU-1 (Single-Family Residential District) to BU-1A

(Limited Business District) to allow for the development of a 2,887-square-foot bank with an ATM drive-thru. As part of the application, the applicant has submitted a site plan illustrating the proposed one-story bank building, which will comply with all BU-1A development standards set forth in the Miami-Dade County Code. The site plan includes the required number of parking spaces and shows landscaping improvements such as trees and hedges surrounding the property on all sides (north, south, east, and west). Additionally, a 6-foot-high masonry wall is proposed along the rear (south) property line to provide a visual buffer for the adjacent single-family residences to the south.

<u>NEIGHBORHOOD CHARACTERISTICS</u>		
	Zoning and Existing Use	Land Use Designation
Subject Property	BU-1 & RU-1; vacant	Office/Residential
North	RU-5A & RU-1; offices	Office/Residential
South	RU-1; single-family residences	Low Density Residential 2.5-6 DU/AC
East	City of South Miami; shopping center	Office/Residential
West	BU-1; Tire shop	Office/Residential

NEIGHBORHOOD COMPATIBILITY:

The ±0.46-acre subject property, located at 6420 Bird Road (a section line right-of-way), consists of Lots 3–5 of Block 1. The surrounding area to the north, east, and west is characterized by a mix of commercial and office uses, while the properties directly to the south are developed with single-family residences.

SUMMARY OF THE IMPACTS:

The approval of this application will allow the applicant to rezone the property to BU-1A, in order to facilitate the development of the proposed bank with an ATM drive-thru. Based on memoranda from the departments reviewing this application, any additional impacts will not cause their facilities and services to operate below their adopted levels of service standards. The Platting and Traffic Review Section of the Department of Regulatory and Economic Resources (RER) state in their memorandum that this application meets the traffic concurrency criteria because it lies within the urban infill area where traffic concurrency does not apply. In addition, the proposed bank with ATM drive-thru will not create additional peak hour vehicle trips. Staff notes that the application may increase traffic and noise in the area. However, given that the surrounding area is primarily characterized by office and commercial uses, and that appropriate buffers will be required for the residential properties adjacent to the site, approval of the application is unlikely to negatively affect the character of the surrounding area.

COMPREHENSIVE DEVELOPMENT MASTER PLAN ANALYSIS:

The subject ±0.46-acre vacant property is designated as **Office/Residential** on the Comprehensive Development Master Plan (CDMP) Land Use Plan (LUP) map. This land use category is typically characterized by *both professional and clerical offices, hotels, motels, and residential uses. Office developments may range from small-scale professional office to large-scale office parks. Satellite telecommunication facilities that are ancillary uses to the businesses in a development are also allowed.* The purpose of rezoning the subject ±0.46-acre vacant site to

BU-1A district is to provide an ATM drive-thru for the 2,887 sq. ft. proposed bank. Staff notes that in addition, the BU-1A district allows all the permitted uses in the BU-1, Neighborhood Business District, such as banks, beauty parlors, antique shops, bakeries, restaurants, coffee houses, groceries, offices and drugstores. Additionally, the BU-1A district allows uses such as service stations, auto parts stores, drycleaners, retail stores and exercise clubs. As such, the proposed rezoning to BU-1A would be **consistent** with the CDMP LUP Map Office and Residential designation of the subject property.

The **Land Use Element Policy LU-4A** sets forth the criteria to determine compatibility and states *when evaluating compatibility among proximate land uses, the County shall consider such factors as noise, lighting, shadows, glare, vibration, odor, runoff, access, traffic, parking, height, bulk, scale of architectural elements, landscaping, hours of operation, buffering, and safety, as applicable.* Further, CDMP Land Use Element, **Policy LU-4D** states that *uses which are supportive but potentially incompatible shall be permitted on sites within functional neighborhoods, communities or districts only where proper design solutions can and will be used to integrate the complementary elements and buffer any potentially incompatible elements.* Staff opines that the proposed zoning change to BU-1A will provide a reasonable transition between the residential single-family residences that are located to the south of the subject property.

As previously mentioned, the proposed bank use is allowed in Office/Residential designation under the CDMP as interpreted by the Planning Division. Staff notes that the applicant has proffered a covenant that restricts the site to the submitted plans and limits the use of the subject property to a bank with an ATM drive-thru. Therefore, staff opines that approval of the application would be consistent with the CDMP Land Use Plan (LUP) map subject to the Board's acceptance of the proffered Declaration of Restrictions.

ZONING ANALYSIS:

The applicant seeks approval of a request for a District Boundary Change from BU-1, Neighborhood Business District and RU-1, Single-Family Residential District to BU-1A, Liberal Business District, on the ±0.46-acre subject vacant property. For the reasons stated above and below, staff opines that when the request to rezone these parcels to BU-1A, to unify the zoning on the subject site in order to develop a bank with an ATM drive-thru is analyzed under Section 33-311, District Boundary Change, the approval of the request would be **compatible** with the surroundings when considering the necessity and reasonableness in relation to the present and future development of the area concerned, and would not have an unfavorable impact on the environment, the natural resources, or the economy of the County. Section 33-311 of the Code states that the purpose of the Code is to provide a comprehensive plan and design to, among other things, lessen congestion on the highways and promote health, safety, morals, convenience and general welfare, with the view of giving reasonable consideration among other things to the character of the district or area and its peculiar suitability for particular uses. Staff supports the district boundary change and opines that approval of the BU-1A zoning district on the subject property would minimally alter the development fabric of the neighborhood and would create a harmonious transition between the residential uses to the south of the subject site. The applicant has provided a zoning covenant that among other things, would restrict the subject property to bank use with an ATM drive-thru which shows the necessary buffers between the proposed bank with an ATM drive-thru and the adjacent residential uses as reasonably consistent with the dissimilar use buffer requirements in the Miami-Dade County Code. Additionally, for the reasons explained in the Comprehensive Development Master Plan Analysis section of this application,

the request for a district boundary change to BU-1A would be **compatible** with the surrounding properties given that it will provide services for the areas businesses and residential neighborhood, and would be **consistent** with the Residential and Office designation of the site on the LUP map of the CDMP.

Staff notes that the ±0.46-acre subject property consists of three vacant lots, all fronting SW 40 Street (Bird Road). Lots 3 and 4, comprising approximately 12,715 square feet (±0.29 acres), were rezoned from RU-1 (Single-Family Residential District) to BU-1 (Neighborhood Business District) in October 1958, pursuant to Resolution #2272. Lot 5, which comprises approximately 7,705 square feet (±0.17 acres), remains zoned RU-1. However, in October 1958, pursuant to Resolution #2341, a special permit was granted to allow parking on Lot 5, despite it being located in a more restrictive zoning district than the commercial use it was intended to serve. It is important to note that the subject property has been used for commercial purposes for many years. The most recent use was a 3,242-square-foot restaurant with outdoor dining, which was demolished in 2024.

Staff notes that based on the memoranda submitted by other departments reviewing the application, approval of the application will not cause their facilities and services to operate below their adopted levels of service standards. Staff notes that the Platting and Traffic Review Section of the Department of Regulatory and Economic Resources (RER), does not object to the application and indicates in the attached memorandum, that this application meets the traffic concurrency criteria because it lies within the urban infill area where traffic concurrency does not apply. In addition, the proposed bank with ATM drive-thru use does not create additional peak hour vehicle trips. Further, the Division of Environmental Resources Management (DERM) of the Department of Regulatory and Economic Resources, in the attached memorandum, indicates that the application meets all applicable LOS standards for an initial development order as specified in the adopted CDMP for potable water service, wastewater disposal, and flood protection. In addition, the memoranda submitted by the Miami-Dade Fire Rescue Department and the Water and Sewer Department indicate no objection to the application as well. Based on the aforementioned department memoranda, staff opines that approval of the applicant's request for a district boundary change will not unduly burden the abutting roadways, will not have an unfavorable impact on the environmental resources of the County, or cause undue or excessive burden on public facilities.

As such, staff opines that approval of the request to rezone the subject parcel to the BU-1A zoning district would not be out of character with the area and would be **compatible** with same, when considering the necessity and reasonableness of the zone change in relation to the present and future development of the area. **Therefore, staff recommends approval of the district boundary change to BU-1A, Limited Business District, under Section 33-311, District Boundary Change, subject to the Board's acceptance of the proffered covenant.**

ACCESS, CIRCULATION AND PARKING: Not applicable.

NEIGHBORHOOD SERVICES PROVIDER REVIEW: See attached.

OTHER: Not applicable.

RECOMMENDATION:

Approval, subject to the Board's acceptance of the proffered covenant.

Boos Bird RD LLC

Z24-160

Page | 5

CONDITIONS FOR APPROVAL: None.

ES:JB:SS:EA:VM

Eric Silva

Eric Silva, AICP, Assistant Director
Development Services Division
Miami-Dade County Department of
Regulatory and Economic Resources

ZONING RECOMMENDATION ADDENDUM

Boos Bird RD, LLC.

PH: Z24-160

NEIGHBORHOOD SERVICES PROVIDER COMMENTS*	
Division of Environmental Resources Management (RER)	<i>No objection</i>
Platting and Traffic Review Section (RER)	<i>No objection*</i>
Miami-Dade Fire Rescue (MDFR)	<i>No objection</i>
Water and Sewer Department (WASD)	<i>No objection*</i>
Building and Neighborhood Compliance (BNC)	<i>No objection</i>
Department of Transportation and Public Works (DTPW)	<i>No objection*</i>
<i>*Subject to conditions in their memorandum.</i>	

COMPREHENSIVE DEVELOPMENT MASTER PLAN (CDMP) OBJECTIVES, POLICIES AND INTERPRETATIVE TEXT

Office/Residential <i>(Page I-42)</i>	<i>Office uses smaller than five acres in size may be approved in areas designated as Residential Communities where other office uses which are not inconsistent already lawfully exist on the same block face. However, where such an office, business, or industrial use exists only on a corner lot of a subject block face or block end, approval of office use elsewhere on the block is limited to the one block face or block end which is the more heavily trafficked side of the referenced corner lot.</i>
Policy LU-4A <i>(Page. I-11)</i>	<i>When evaluating compatibility among proximate land uses, the County shall consider such factors as noise, lighting, shadows, glare, vibration, odor, runoff, access, traffic, parking, height, bulk, scale of architectural elements, landscaping, hours of operation, buffering, and safety, as applicable.</i>
Policy LU-4D <i>(Page. I-8)</i>	<i>Uses which are supportive but potentially incompatible shall be permitted on sites within functional neighborhoods, communities or districts only where proper design solutions can and will be used to integrate the complementary elements and buffer any potentially incompatible elements.</i>

PERTINENT ZONING REQUIREMENTS/STANDARDS

Section 33-311 District Boundary Change	<p>(A) <i>The Community Zoning Appeals Boards are advised that the purpose of zoning and regulations is to provide a comprehensive plan and design to lessen the congestion in the highways; to secure safety from fire, panic and other dangers, to promote health, safety, morals, convenience and the general welfare; to provide adequate light and air; to prevent the overcrowding of land and water; to avoid undue concentration of population; to facilitate the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements, with the view of giving reasonable consideration among other things to the character of the district or area and its peculiar suitability for particular uses and with a view to conserving the value of buildings and property and encouraging the most appropriate use of land and water throughout the County.</i></p> <p>(F) Section 33-311 provides that the Board shall take into consideration, among other factors the extent to which:</p> <p>(1) <i>The development permitted by the application, if granted, conforms to the Comprehensive Development Master Plan for Miami-Dade County, Florida; is consistent with applicable area or neighborhood studies or plans, and would serve a public benefit warranting the granting of the application at the time it is considered;</i></p>
--	---

ZONING RECOMMENDATION ADDENDUM

Boos Bird Rd, LLC

PH: Z24-160

	<p>(2) <i>The development permitted by the application, if granted, will have a favorable or unfavorable impact on the environmental and natural resources of Miami-Dade County, including consideration of the means and estimated cost necessary to minimize the adverse impacts; the extent to which alternatives to alleviate adverse impacts may have a substantial impact on the natural and human environment; and whether any irreversible or irretrievable commitment of natural resources will occur as a result of the proposed development;</i></p> <p>(3) <i>The development permitted by the application, if granted, will have a favorable or unfavorable impact on the economy of Miami-Dade County, Florida;</i></p> <p>(4) <i>The development permitted by the application, if granted, will efficiently use or unduly burden water, sewer, solid waste disposal, recreation, education or other necessary public facilities which have been constructed or planned and budgeted for construction;</i></p> <p>(5) <i>The development permitted by the application, if granted, will efficiently use or unduly burden or affect public transportation facilities, including mass transit, roads, streets and highways which have been constructed or planned and budgeted for construction, and if the development is or will be accessible by public or private roads, streets or highways.</i></p>
--	---

Building and Neighborhood Compliance

ENFORCEMENT HISTORY

BOOS-BIRD RD, LLC/MEHRA,
SURYANSH

6420 BIRD RD
MIAMI-DADE COUNTY, FLORIDA.

APPLICANT

ADDRESS

PENDING

Z2024000160

DATE

HEARING NUMBER

FOLIO No: 30-4024-025-0030

REVIEW DATE OF CURRENT ENFORCEMENT HISTORY:

March 21, 2025

NEIGHBORHOOD REGULATIONS:

Case No. 202306004453 was opened on 12/04/2023, Companion citations T116637 and T116639 were issued on 12/04/2023 for FAILURE TO OBTAIN A CERTIFICATE OF USE, TO WIT: FIERRO ARGENTINE GRILL INC IS OPERATING WITH AN EXPIRED CU U2022005871. A compliance inspection conducted on 05/01/2024 revealed that the violation was corrected and citations paid. Case was closed on 08/27/2024.

BUILDING SUPPORT REGULATIONS:

Building Support Case F2020007605-U was opened on 10/21/2021 due the following unsafe structures: STRUC-A (BLDG-01) IS A 2,811 -SQFT, 1-STORY CBS BUILDING MISSING ITS 40-YEAR RECERTIFICATION --- Structural Report Not Approved. Comments: 1) Structural Report & Cover letter: The report indicates repairs are required (Sections 2b, 3e). The Re-certification can only be approved if repairs are not required. Please re-submit the report after repair permit is approved, repairs are done, inspected, and final approvals are obtained. 2) Section 6a1: Describe the conditions of the roof structure and roofing. 3) Section 6a3: Describe the type of drainage and condition (NA is no acceptable, as the roof must drain somehow. If sloped to the edges state it). 4) Section 6b1: Describe the condition of the floor system (Slab on grade). 5) Section 7a/b: There is steel framing in the roof, describe it here and provide condition. 6) The pictures provided show an exterior seating/dining area covered by awning/canopy type structure. Include the description and condition of its structure and roof cover under the respective sections of the report. 7) The Report is based on Minimum Inspection procedure, all sections shall be completed, if any section is not applicable, please enter N/A, do not leave it blank. --- AN ENGINEER'S REPORT ADDRESSING THE STRUCTURAL INTEGRITY OF THIS STRUCTURE IS REQUIRED. THIS STRUCTURE WAS PREVIOUSLY RECERTIFIED in

2010. Structure B is a 120 SQFT attached canopy built under permit Bldg 08 2015044629 no action is required. Notice of Violation was issued on 04/20/2023 and Notice of Violation mailed certified on 04/04/2024. Notice of Violation was recorded by the Clerk of Courts on 04/06/2024 under Book : 34167 Page: 901 Total Pages: 6. The Building Recertification Documents were received in Goldkey on 05/31/2024. The Electrical Report was approved on 05/31/2024. The structural report was disapproved on 06/10/2024. On 01/22/2025 it was noted the 40-year was exempted “ Structure has been demolished under Bldg15 permit 2025002333. Subsidiary Elec01 permit 2025011694 obtained final inspection approval 12/05/2024.” Case closed on 1/22/2025. No pending fees.

VIOLATOR:

BOOS-BIRD RD, LLC/MEHRA, SURYANSH

OUTSTANDING LIENS AND FINES:


There are no outstanding liens or fines.

Memorandum

MIAMI-DADE
COUNTY

Date: January 8, 2025

To: Lourdes M. Gomez, AICP, Director
Department of Regulatory and Economic Resources

From: Lisa M. Spadafina, RER Assistant Director
Division of Environmental Resources Management 

Subject: Z2024000160-3rd Review
Boos - Bird Rd., LLC
6420 Bird Road
DBC from RU-1 & BU-1 to BU-1A. Proposed bank with drive thru.
(RU-1 & BU-1) (0.56 acres)
24-54-40

The Department of Regulatory and Economic Resources – Division of Environmental Resources Management (DERM) has reviewed the above referenced zoning application for compliance with the requirements of Chapter 24 of the Miami-Dade County Code (the Code) for potable water service and wastewater disposal. Based on the information provided, this zoning application is approved pursuant to section 24-43.1 of the Code related to potable water service and wastewater disposal.

Potable Water Supply and Wastewater Disposal

Pursuant to the Code and based on the site plan submitted in support of the requested district boundary change, the proposed development is within feasible distance to connect to public water and public sanitary sewer. Therefore, the proposed development shall connect to public water and sanitary sewers in accordance with Code requirements. Please note that this development will need to obtain sanitary sewer extension permits prior to DERM approval of future development orders. To the extent that connection to the public sanitary sewer system is not approved due to a sanitary sewer moratorium, this memorandum shall not be interpreted as written approval from DERM to allow an alternative means of domestic wastewater disposal.

Be advised that the required water main extension permit is issued by the Florida Department of Health. Civil drawings for the water main extension will need to be approved by the Miami-Dade Water and Sewer Department and the Environmental Permitting Section of RER.

Civil drawing for the sewer extension permit required for connection to the abutting low-pressure force main will need to be approved by Miami-Dade Water and Sewer Department and the Water and Wastewater Division of DERM prior to approval of final development orders.

Since the applicant has proposed a site plan, which pursuant to the Code places the development within feasible distance to public sanitary sewers and the proposed development cannot be approved using an onsite sewage treatment and disposal system (OSTDS), the property has submitted a properly executed covenant running with the land in favor of Miami-Dade County, as required by section 24-43.1(6)(c) of the Code confirming that the proposed development will be connected to the public water supply and sanitary sewer system prior to DERM approval of any building permit, certificate of use and occupancy or municipal license for any nonresidential land use.

Existing public water and sewer facilities and services meet the Level of Service (LOS) standards set forth in the Comprehensive Development Master Plan (CDMP). Furthermore, the proposed development order, if approved, will not result in a reduction in the LOS standards subject to compliance with the conditions required by DERM for this proposed development order.

Please note that some of the collection/transmission facilities, which includes sanitary sewer gravity sewer mains, sanitary sewer force mains and sanitary sewer pump stations, throughout the County do not have adequate capacity, as defined in the Consent Decree between Miami-Dade County, Florida Department of Environmental Protection and the U.S. Environmental Protection Agency case 1:12-cv-24400-FAM. Under the terms of this Consent Decree, this approval does not constitute an allocation or certification of adequate treatment and transmission system capacity. At the time of building permits, DERM will evaluate and may reserve sanitary sewer capacity, through the DERM sanitary sewer certification process, if the proposed development complies with the provisions of the Consent Decree. Building permits for development in sanitary sewer basins that have been determined not to have adequate capacity cannot be approved until adequate capacity becomes available.

Please be advised, DERM review and approval is required for any proposed public or private sanitary sewer system. Each parcel within the proposed development that is required to be served by public sanitary sewers shall connect directly to the public sanitary sewer system, without traversing other parcels. Private sanitary sewer collection and transmission systems are limited to one building per parcel connecting directly to a public sanitary sewer system and cannot traverse other parcels to connect to the public sanitary sewer system. If multiple buildings are within a parcel, each building shall connect individually to a public sanitary sewer system without traversing other parcels.

Conditions of approval: None

Water Control Review

Stormwater shall be retained on site utilizing properly designed seepage or infiltration drainage system. Drainage plans shall provide for full on-site retention of the stormwater runoff generated by a 5-year storm event.

Site grading and development plans shall comply with the requirements of Chapter 11C of the Code, as well as with all state and federal criteria, and shall not cause flooding of adjacent properties.

Any proposed development shall comply with county and federal flood criteria requirements. The proposed development order, if approved, will not result in a reduction in the LOS standards for flood protection set forth in the CDMP subject to compliance with the conditions required for this proposed development order.

Pursuant to section 24-48.1(1)(f) of the Code, a Class VI Permit shall be required for the construction of the proposed surface water management system. The applicant is advised to contact the DERM Water Control Section (305)372-6681 for further information regarding permitting procedures and requirements.

Conditions of approval: None

Pollution Remediation Review

DERM has records of current contamination issues on the subject site tracked under Ardai Auto (DERM file no. UT-1209). All construction plans (inclusive of drainage) and dewatering plans shall require the review and approval from the Environmental Monitoring and Restoration Division of DERM (EMRD) as it relates to environmental contamination issues. Be advised that the EMRD review of this application does not constitute an approval of any site plans, drainage plans, or development plans that may be included as part of this application.

Any contaminated portion of the site that is proposed to be sold, transferred or dedicated (including, but not limited to, for public right-of-way) to any public entity shall be identified on the tentative and final plat plans for this development. If any contaminated portion of the site is proposed to be sold, transferred or dedicated to the County, please note that all soil, groundwater or surface water contaminants, solid waste, and methane must be disclosed to the applicable County department at the earliest stage possible. The applicable County departments would include all departments that would receive or manage the proposed property, and for example, would include PROS for a park and DTPW for road right-of-way. Please note that the presence of any such contamination, solid waste, or methane or a delay by the applicant in disclosing such contamination or impacts to the applicable County departments could result in the county declining to accept the proposed dedication. This may in turn result in the need for the developer to reconfigure or change previously approved site plans, or make other changes to the proposed development, which may require approval after public hearing.

If an applicant elects to address soil contamination, groundwater contamination, solid waste and methane via a No Further Action with Conditions, each individual property owner will be required to execute a restrictive covenant.

Please note that nothing stated herein may be interpreted to limit or restrict an engineers or other professionals responsibility to prepare plans accurately and completely for proposed rights-of-way as well as any other projects or plans.

Please contact Thomas Kux at Thomas.Kux@miamidade.gov if you have any questions.

Conditions of approval: None

Tree Preservation Review

An aerial review of the subject property indicates the presence of tree resources. Additionally, Tree Permit #2400948 was issued on November 27, 2024, for the subject property. All approved work shall be performed in accordance with this permit. Section 24-49 of the Code provides for the preservation and protection of tree resources. If any additional trees, subject to the tree preservation and protection provisions of the Code are to be removed/relocated and are not associated with Tree Permit #2400948, a new tree removal permit will be required.

A Miami-Dade County Tree Permit is required prior to the removal and/or relocation of any tree that is subject to the tree preservation and protection provisions of the Code. The applicant is advised that a tree survey that includes a tree disposition table will be required during the tree removal permit application process. Projects and permits shall meet the requirements of sections 24-49.2 and 24-49.4 of the Code, including the specimen tree standards.

In accordance with section 24-49.9 of the Code, all plants prohibited by Miami-Dade County shall be removed from all portions of the property prior to development, or redevelopment and developed parcels shall be maintained to prevent the growth or accumulation of prohibited species. Please contact Jackelyn Alberdi at Jackelyn.Alberdi@miamidade.gov regarding any additional information or concerns with this review.

Conditions of approval: None

Air Quality Preservation Review

The following advisory information is included in case demolition, or renovation activities will take place as part of the proposed development: 40 CFR Part 61 Subpart M - National Emission Standards for Hazardous Air Pollutants (NESHAP) for Asbestos provides that an asbestos survey from a Florida-licensed asbestos consultant is required is required for renovation activities surpassing the NESHAP threshold of suspect regulated asbestos containing materials (RACM), and for all demolition activities.

“Demolition” is defined as the wrecking or taking out of any load-supporting structural member of a facility together with any related handling operations, or the intentional burning of any facility.

The NESHAP thresholds for RACM are 260 linear feet of RACM on pipes, or 160 square feet of RACM on other facility components.

If the Asbestos Survey identifies materials (friable or to be made friable during the proposed renovation/demolition activities) containing more than 1 percent asbestos and the amount is over the regulated thresholds, then those materials must be removed/abated prior to renovation/demolition activities by a Florida-licensed asbestos abatement contractor. An Asbestos Renovation Notification must be filed, and obtain approval, with the Miami Dade County - Department of Regulatory and Economic Resources, Division of Environmental Resources Management - Air Quality Management (AQM), at least 10 working days (14 calendar days) prior to starting the abatement work. Regardless of asbestos content, prior to any demolition work, an Asbestos Demolition Notification must be submitted and approved, within the same timeframes.

For question regarding asbestos surveys and notifications, please contact the AQMD via email at asbestos@miamidade.gov.

DERM Enforcement History Review

The subject property has no open and three (3) closed enforcement records for violations of Chapter 24 of the Code. Please contact the Enforcement Section if you require additional information.

Additionally, a review records associated with the above DERM Enforcement case revealed the following:

ARDAI AUTO SERVICES, INC. (DERM Closed Case no. IW5-02893):

A review of records associated with the above DERM Enforcement case revealed the following associated with the executed Consent Agreement:

Paid Settlement: \$2,500.00

Paid Administrative Costs: \$2,553.40

Concurrency Review Summary

A concurrency review has been conducted for this application and DERM has determined that the same meets all applicable LOS standards for an initial development order as specified in the adopted CDMP

for potable water supply, wastewater disposal, and flood protection. This concurrency approval is valid only for this initial development order. Pursuant to Chapter 33G of the Code, a final concurrency statement will be issued at the time of final development order.

If you have any questions concerning the comments or wish to discuss this matter further, please contact Ninfa Rincon at (305) 372-6764.

cc: Eric Silva, Department of Regulatory and Economic Resources

Memorandum



Date: May 16, 2025

To: Eric Silva, AICP, Assistant Director
Development Services Division
Department of Regulatory and Economic Resources (RER)

Through: James B. Ferguson, P.E.
Assistant Director
Water and Sewer Department (WASD)

From: Maria A. Valdes, CSM, LEED® Green Associate
Chief, Planning & Water Certification Section
Water and Sewer Department (WASD)

Subject: **UPDATED** Zoning Application Comments - Boos - Bird Rd., LLC
Application No. Z2024000160 - (Pre-App. No. Z23P-295)

A handwritten signature in cursive script that reads "Maria Valdes".

The Water and Sewer Department has reviewed the proposed development for the subject zoning application. WASD has no objections to this Zoning Application, based on the information provided. Additional requirements may be needed at the time of permitting. The information provided below is preliminary and it does not affect the Zoning process.

Application Name: Boos - Bird Rd., LLC

Location: The proposed project is located at 6420 Bird Road Miami, with Folio No. 30-4024-025-0030, in unincorporated Miami-Dade County.

Proposed Development: The applicant is proposing to rezone the property from RU-1 (Single-family Residential District 7,500 ft² net) and BU-1 (Business Districts, neighborhood) to BU-1A (Business Districts, limited) in order to develop the property with a 2,887 square feet Bank with drive-through, as per site plan submitted.

The estimated total water/sewer demand for the proposed project will be 289 gallons per day (gpd).

Water: The proposed development is located within the WASD's water service area. The water supply is provided by the Alexander-Orr Water Treatment Plant (WTP). Currently, there is adequate treatment and water supply capacity at the WTP, consistent with Policy WS-2 A (1) of the CDMP.

There is an active WASD Agreement No. 32700 that was recorded October 17, 2024, for the subject development with approved points of connection (POC #3) dated October 1, 2024.

Per said points of connection (POC #3), since the existing water service appears to be connected to the existing 2-inch water main at the rear of the property (southern boundary), the developer shall retire such service and therefore, connect to any of the following:

1. An existing 12-inch water main (E12362-30) in SW 64th Avenue south of SW 40th Street, partially abutting the eastern boundary of the property.
2. An existing 16-inch water main (E12362-29) in SW 40th Street abutting the northern boundary of the property.

There are water mains at the rear (southern boundary) of the property, possibly in an easement, which needs to be removed and relocated if in conflict with the proposed development. Easements associated with mains to be removed and relocated shall be closed and vacated before starting construction in the easement(s) areas. Fire hydrants associated with mains to be removed and relocated shall be relocated as per Fire Department recommendations. Cutting and plugging of existing water mains shall be done by a licensed contractor under WASD supervision. Services to existing customers cannot be interrupted.

Any public water main extension shall be 12-inch minimum diameter. If two (2) or more fire hydrants and/or fire lines are to be connected to a public water main, then the water system shall be looped with two (2) P.O.C.

A Water Supply Certification (WSC) letter from WASD was issued on August 2, 2024, through WASD Agreement No. 32700. The WSC letter shall remain active in accordance with terms and conditions specified in said certification. The WSC is required consistent with Policy CIE-5D and WS-2C in the County's CDMP and in accordance with the permitted withdrawal capacity in the WASD's 20-year Water Use Permit.

For more information on the Water Supply Certification Program please go to <http://www.miamidade.gov/water/water-supply-certification.asp>

In addition, all future development will be required to comply with water use efficiency techniques for indoor water use and with landscape standards in accordance with Sections 8-31, 32-84, 18-A, and 18-B of the Miami-Dade County Code, consistent with Policies WS-5E and WS-5F of the CDMP.

For more information about our Water Conservation Program, please go to <http://www.miamidade.gov/conservation/home.asp>

For information concerning the Water-Use Efficiency Standards Manual please go to <http://www.miamidade.gov/waterconservation/library/instructions/water-use-efficiency-standards-manual.pdf>

Sewer: The proposed development is located within the WASD's sewer service area. The wastewater flows for the proposed development will be transmitted to the Central District Wastewater Treatment Plant (CDWWTP) for treatment and disposal. The CDWWTP is operating under a permit from the Florida Department of Environmental Protection. Currently, there is adequate sewer treatment and disposal capacity at the CDWWTP, consistent with Policy WS-2 A (2) of the CDMP.

Per points of connection (POC #3) dated October 1, 2024, connect to the service box assembly that connects to the 4-inch Low Pressure Force Main (ES10068-22) in SW 40th Street (Bird Rd.), abutting the northern boundary of the subject property. Please see sewer as-built ES 10068-22 showing that this property has a "service box assembly" near the northwestern corner of the property connected to the 4-inch Force Main. The proposed Low Pressure Sewer System (LPSS) connection shall consist of a Public Grinder Pump Station located at the project site.

Also, at the time of Plans Review, the developer shall submit the selected pump to the engineer reviewer to be sent to WASD's Planning and Modeling Section for evaluation.

Also, Unity of Title / Covenant for the proposed sewage pump station is not required, since it will be a public Pump Station.

The low-pressure sewer force main discharges into WASD's Pump Station (PS) No. 1228 and PS No. 1. These pump stations are currently in OK Moratorium Code Status.

Connection to the sanitary sewer system is subject to the following conditions:

- Adequate transmission and plant capacity exist at the time of the owner's request consistent with policy WS-2 A (2) of the CDMP. Capacity evaluations of the plant for average flow and peak flows will be required. Connection to the COUNTY'S sewage system will be subject to the terms, covenants and conditions set forth in court orders, judgments, consent orders, consent decrees and the like entered into between the COUNTY and the United States, the State of Florida and/or any other governmental entity, including but not limited to, the Consent Order entered on April 9, 2014 in the United States of America, State of Florida and State of Florida Department of Environmental Protection v. Miami-Dade County, Case No. 1:12-cv-24400-FAM, as well as all other current, subsequent or future enforcement and regulatory actions and proceedings.
- Approval of all applicable governmental agencies having jurisdiction over these matters are obtained.

Any public water or sewer infrastructure must be within a public right-of-way, or within a utility easement.

Below please find additional links to the WASD portal, which provides information on the Construction & Development process for water and sewer infrastructure.

<http://www.miamidade.gov/water/construction-development.asp>

<http://www.miamidade.gov/water/construction-service-agreement.asp>

<http://www.miamidade.gov/water/construction-existing-service.asp>

<http://www.miamidade.gov/water/library/forms/service-agreement.pdf>

Should you have any questions, please contact Maria A. Valdes, Chief, Planning & Water Certification Section at (786) 552-8198 or mavald@miamidade.gov, Alfredo B. Sanchez at (786) 552-8237 or sanalf@miamidade.gov, or Suyapa Carbajal at (786) 552-8124 or suyapa.carbajal@miamidade.gov.

Memorandum



Date: April 17, 2025

To: Eric Silva, AICP, Assistant Director
Department of Regulatory and Economic Resources

From: Raul A. Pino, PLS, Division Chief
Platting and Traffic Review Section
Department of Regulatory and Economic Resources

Subject: Z2024000160
Name: Boos – Bird Road LLC
Location: 6420 Bird Road
Section 24 Township 53 South Range 39 East

The Department of Regulatory and Economic Resources Platting and Traffic Review Section has reviewed the subject application and has **no objections with the conditions below.**

1. Wheelstops are required at all parking stalls.
2. Driveway connection along SW 40 Street must meet Florida Department of Transportation (FDOT) access management requirements if disapproved site plan is not acceptable. Contact the district office at 305-470-5367 for driveway and drainage permits. All improvements/dedications must be approved by FDOT.
3. This land **complies** with Chapter 28 of the Miami-Dade County Code. The property is platted as Lots 3, 4, and 5, Block 1, Plat Book 46, Page 32. A Unity of Title approved by the Platting and Traffic Review Section will be required.

This application meets the traffic concurrency criteria because it lies within the urban infill area where traffic concurrency does not apply. The proposed change in development does not create additional peak hour vehicle trips.

The request herein, constitutes an Initial Development Order only, and one or more traffic concurrency determinations will subsequently be required before development will be permitted.

Notes: PM =Post Meridiem

The PM peak hour refers to the highest hour of vehicle trips generated during the afternoon peak hours of 4-6 PM

Standard Conditions:

- A letter or a plan containing the following certification signed and sealed by a State of Florida registered engineer shall be submitted as part of the paving and drainage plans: "I hereby certify that the all of the roads for the subject project comply with all of the applicable portions of the Manual of Uniform Minimum Standards for Design, Construction and Maintenance for Streets and Highways (Florida Greenbook) regarding: design speed, lane widths, horizontal alignment, vertical alignment, stopping sight distance, sight distance, horizontal clearance, vertical clearance, superelevation, shoulder widths, grades, bridge widths, etc."
- All landscaping, walls, fences, entrance features, etc. will be subject to the Safe Sight Distance Triangle as per Section 33-11 of the Miami-Dade County Code and G5.3 of the Public Works and Waste Management Department Manual.

Memorandum



Date: May 15, 2025

To: Eric Silva, Assistant Director
Regulatory and Economic Resources

From: Alejandro G Cuello, Principal Planner
Miami-Dade Fire Rescue Department

Subject: Z2024000160

The Miami-Dade Fire Rescue Department has **no objection** to the site plan uploaded to “EnerGov” on 08/12/2025.

MDFR’s review of this zoning application is limited to assessing fire department access and does not effectuate an approval of the building design. The future building’s design must be in compliance with the applicable requirements for the proposed use:

Florida State Statute Chapter 633 (Fire Prevention & Control)
Florida Administrative Code 69A
Florida Fire Prevention Code (NFPA 1 and NFPA 101 (2018 edition))
Applicable adopted NFPA Standards
County Code Chapter 14

For additional information, please contact acuello@miamidade.gov or call 305-775-3357.

Memorandum



Date: March 28, 2025
Subject: Review of Z2024000160
Applicant Name: Boos - Bird Rd., LLC

Miami-Dade County Department of Transportation and Public Works (DTPW) Traffic Engineering Division has reviewed the subject application and has no objections to this application, subject to conditions in section I.

PROJECT LOCATION:

The property is located at 6420 Bird Road in Miami, Florida.

I. CONDITIONS:

- *SW 40 Street is part of the State of Florida Highway system (SR 976). Any improvements within the right of way of SW 40 Street require review and approval by the Florida Department of Transportation. Please note that driveway connections along SW 40 Street must meet FDOT access management requirements. Contact the district office at 305-470-5367 for driveway permits.*

If you have any questions concerning the comments, or wish to discuss this matter further, please contact Anamersy Arce at anamersy.arce@miamidade.gov.

SITE DATA

FOLIO NUMBER: 30-4024-025-0030
 ADDRESS: 6420 BIRD ROAD, MIAMI-DADE COUNTY, FL
 LOT/SITE AREA: 0.46 AC (20,426 SF)
 EXISTING BLDG. AREA: 3,232 SF
 PROPOSED BLDG. AREA: 2,887 SF

LAND USE
 EXISTING: OFFICE / RESIDENTIAL
 PROPOSED: COMMERCIAL

ZONING
 EXISTING: BU-1 NEIGHBORHOOD BUSINESS DISTRICT/
 RU-1 SINGLE FAMILY RESIDENTIAL DISTRICT
 PROPOSED: BU-1A LIMITED BUSINESS DISTRICT

BUILDING HEIGHT
 MAXIMUM ALLOWED: 3 STORIES - LESS THAN 45 FT
 PROPOSED: 1- STORY

MAXIMUM ALLOWED F.A.R.: 0.40
 PROPOSED F.A.R.: 0.14

OPEN SPACE
 REQUIRED OPEN SPACE: 18% = 3,677 SF (0.08 AC)
 PROPOSED OPEN SPACE: 35% = 7,237 SF (0.17 AC)

BUILDING SETBACKS	REQUIRED	PROVIDED
FRONT (N) (BIRD ROAD)	20'	53.26' MIN.
SIDE (W)	0'	81.86' MIN.
SIDE (E) (SW 64TH)	15'	15'
REAR (S) (RESIDENTIAL)	20'	20'

PARKING REQUIREMENTS
 TOTAL COMMERCIAL SPACE: 2,887 SF

COMMERCIAL PARKING CRITERIA:
 1 SPACES PER 250 SF — 12 SPACES
 TOTAL REQUIRED SPACES — 12 SPACES

PROPOSED PARKING SPACES
 OFF-STREET ADA ACCESSIBLE SPACES: 2 SPACES
 OFF-STREET STANDARD / LOADING SPACES: 14 SPACES
 TOTAL SPACES PROVIDED: 16 SPACES

ELECTRICAL VEHICLE PARKING
 TOTAL REQUIRED SPACES (20% TOTAL REQUIRED PARKING) 2 SPACES
 TOTAL PROPOSED SPACES 2 SPACES

TOTAL REQUIRED PARKING: 12 SPACES
TOTAL PROVIDED PARKING: 16 SPACES

GENERAL SITE NOTES

- FOR LEGAL DESCRIPTION, BOUNDARY INFO, AND BENCHMARK INFO. SEE SITE SURVEY SHEETS.
- PRIOR TO ANY CONSTRUCTION, CONTRACTOR SHALL FIELD STAKE ALL CENTERLINE GEOMETRY TO ENSURE PROPOSED DIMENSIONS FIT EXISTING CONDITIONS. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARISE.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS.
- CONTRACTOR SHALL MATCH PROPOSED CURB AND GUTTER, CONCRETE AND PAVEMENT TO EXISTING IN GRADE AND ALIGNMENT.
- THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL BUILDING PLANS, SPECIFICATIONS AND GEOTECHNICAL REPORT. THE MORE STRINGENT CRITERIA SHALL APPLY.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO, OR BETTER THAN EXISTING CONDITIONS.
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL COUNTY REGULATIONS, CODES, AND O.S.H.A. STANDARDS.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PRECISE BUILDING DIMENSIONS AND EXACT BUILDING AND UTILITY ENTRANCE LOCATIONS.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL RADII FOR PARKING ISLAND ARE 3' AND/OR 10' UNLESS OTHERWISE NOTED.
- SIGNAGE NOT PART OF APPLICATION AND SHOULD BE SUBMITTED SEPARATELY.

KEYNOTE LEGEND

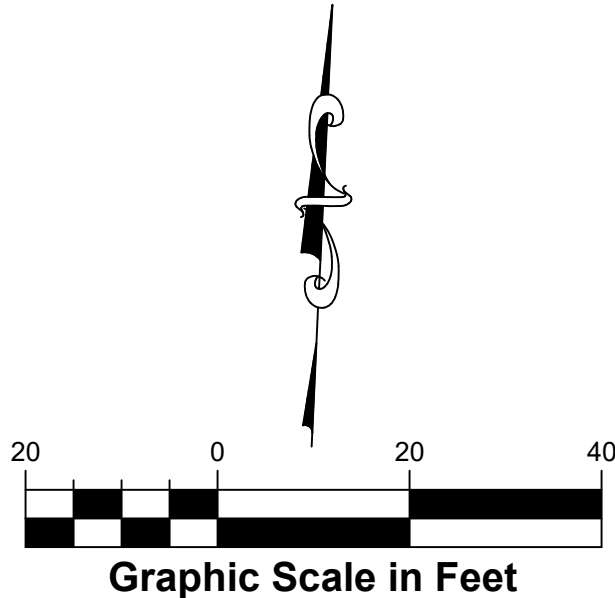
- PROP. 24" STOP BAR PER LATEST FDOT INDEX 711-001
- PROP. 25 LF 2-6" DOUBLE YELLOW STRIPING PER LATEST FDOT INDEX 711-001
- PROP. PAVEMENT MARKING PER LATEST FDOT INDEX 711-001
- PROP. WHITE DIRECTIONAL TRAFFIC ARROWS PER LATEST FDOT INDEX 711-001
- PROP. PEDESTRIAN CROSSWALK STRIPING
- PROP. 4" THICK CONCRETE SIDEWALK
- PROP. ENTRANCE / EXIT DOOR (REF. TO ARCH. PLANS)
- PROP. 5' ACCESSIBLE PARKING STRIPING
- PROP. SINGLE 4" YELLOW SOLID LINE
- PROP. TYPE "D" CURB
- PROP. DRIVE THRU ATM BUILDING AND SERVICE POINT (REF. TO ARCH. PLANS)
- EXIST. 6' HIGH CONCRETE WALL (TO REMAIN)
- PROP. 6" THICK CONCRETE DRIVEWAY PER LATEST FDOT STANDARDS INDEX 522-003 AND FDOT DESIGN MANUAL 2024 CHAPTER 214.1, S.P.1. 330-001
- PROP. SAFE SIGHT TRIANGLE PER FDOT DESIGN MANUAL 2024 CHAPTER 212.11, EXHIBIT 212-4. REFER TO SHEET C-5.1
- PROP. 10'x10' PEDESTRIAN SIGHT TRIANGLE. REFER TO SHEET C-5.1
- PROP. CHARGING STATION FOR ELECTRIC VEHICLES
- PROP. LANDSCAPE (REF. TO LANDSCAPE PLANS)
- EXIST. TREES (REF. TO LANDSCAPE PLANS)
- EXIST. CONCRETE SIDEWALK (TO REMAIN)
- EXIST. LIGHT POLE TO REMAIN AND TO BE PROTECTED DURING CONSTRUCTION
- EXIST. INLET TO REMAIN AND TO BE PROTECTED DURING CONSTRUCTION
- MATCH EXISTING CURB, CONC. SIDEWALK LINE AND GRADE
- MAINTENANCE OF TRAFFIC PER FDOT INDEX 102-613, 102-660
- PROP. 24 LF DROP CURB PER LATEST FDOT INDEX 520-001
- PROP. DETECTABLE WARNING PER FDOT INDEX 522-002
- EXIST. TYPE "F" CURB AND GUTTER
- PROP. CURB TRANSITION
- ADJUST UTILITY COVER TO BE FLUSH WITH, AND AT THE SAME SLOPE AS, THE ADJACENT SURFACE
- EXIST. PAVEMENT MARKING
- PROP. WRONG-WAY ARROWS, PER FDOT STANDARD PLANS INDEX 706-001 SHEET 2 OF 6 AND 711-001 SHEET 1 OF 13
- PROP. TYPE "F" CURB & GUTTER
- APPROXIMATE LIMITS OF EXISTING SEPTIC TANK TO BE REMOVED.
- EXIST. LIGHT POLE TO BE REMOVED AND/OR RELOCATED
- PROP. 6" THICK CONCRETE DRIVEWAY PER LATEST MIAMI-DADE COUNTY PUBLIC WORKS STANDARDS R 12.16

HATCH LEGEND

- PROPOSED 6" THICK CONCRETE DRIVEWAY
- PROPOSED 4" THICK CONCRETE SIDEWALK/PAD
- EXISTING CONCRETE SIDEWALK
- PROPOSED LANDSCAPE (REFER TO LANDSCAPE PLANS FOR DETAILS)
- EXISTING LANDSCAPE

SITE SYMBOLS / LEGEND

- (S) STOP SIGN (R1-1)
- (HC) HANDICAP PARKING SIGN
- (V) VAN PARKING SIGN
- (RO) RIGHT TURN ONLY, R3-5R, 24" X 30"
- (DN) DO NOT ENTER (R5-1)
- PROPOSED PARKING SPACE COUNT
- ACCESSIBLE PARKING SPACE
- PROPOSED SOLID DIRECTIONAL ARROW
- ACCESSIBLE SITE ACCESS ROUTE
- (IP1) FILTER SACKS INLET PROTECTION
- PROPOSED MONITORING WELL LOCATIONS (APPROX.)

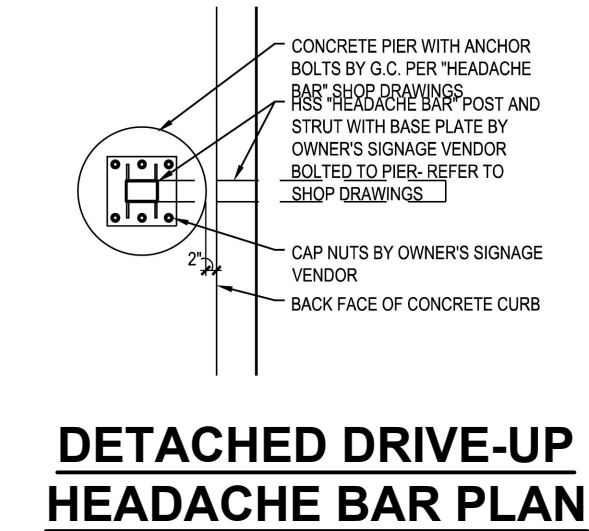


FDOT NOTES

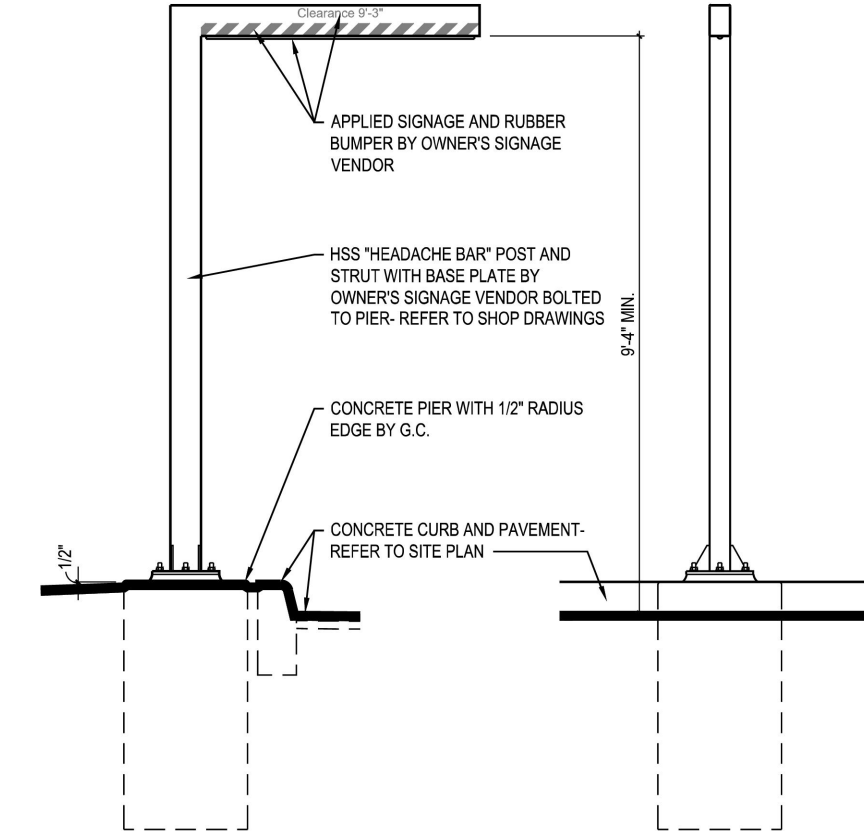
- ASPHALT AND SIDEWALK SHALL BE SAW CUT BEFORE REMOVING SHOULDER OR GUTTER TO PREVENT DAMAGE TO THE EXISTING ASPHALT.
- ANY DAMAGE PRODUCED BY THIS PROPOSED WORK SHALL BE RESTORED BY THE CONTRACTOR AT NO COST TO THE DEPARTMENT.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND AND ABOVE GROUND FACILITIES AND ASSUMES ALL RESPONSIBILITY FOR ANY DAMAGE DONE BY THE CONTRACTOR TO UNDERGROUND FACILITIES AND ABOVE GROUND FACILITIES.
- ANY DAMAGE TO SIDEWALK, RAMPS AND/OR CURB AND GUTTER SHOULD BE RESTORED PER FDOT 2023-2024 STANDARDS PLANS INDEX FOR ROAD CONSTRUCTION NO. 520-001, 522-001, 522-002, 522-003 AND FDOT STANDARD SPECIFICATION 522. REFER TO THE FDOT DESIGN STANDARDS IN THE GENERAL NOTES. MAKE SURE TO FURNISH APPROPRIATE EXPANSION JOINTS AS PER DS INDEX 305-001.
- EXISTING FDOT DRAINAGE SHALL BE PROTECTED ALWAYS BY THE CONTRACTOR. ANY DAMAGE TO THE FDOT DRAINAGE SYSTEM SHALL BE REPAIRED / REPLACED BY THE CONTRACTOR AT NO COST TO THE DEPARTMENT.
- CONTRACTOR MUST TAKE PICTURES OF THE EXISTING STREET LIGHTING SYSTEM WORKING-DURING NIGHT-TIME-WITHIN THE LIMITS OF THIS PROPOSED JOB PRIOR TO BEGIN SAID WORK. TO AVOID FUTURE DISPUTES ABOUT UNFORESEEN DAMAGE TO THE LIGHTING SYSTEM.
- CONTRACTOR SHALL CONTACT MR. JOAQUIN JR. RABASSA FROM MD-PW TRAFFIC SIGNAL & SIGNS DIVISION (305-592-0831/305-588-7570) AND MR. JULIO NAVARRO FROM MD-PW LIGHTNING DIVISION (305-679-0062/305-592-3580/786-469-2063) PRIOR TO ANY SUBSURFACE ACTIVITIES AND SHALL PROTECT EXISTING TRAFFIC SIGNAL POLES AND EQUIPMENT AND/OR EXISTING STREET LIGHTING POLES, EQUIPMENT, AND CONDUIT AT ALL TIMES DURING CONSTRUCTION ACTIVITIES. ANY DAMAGES TO EXISTING EQUIPMENT SHALL BE THE SOLELY RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AT THEIR OWN COST AND ALL RESTORATION WORK SHALL BE COORDINATED WITH MD-PW TRAFFIC SIGNAL DIVISION AND LIGHTING DIVISION.
- CONTRACTOR SHALL PROTECT ALL TREES AND LANDSCAPING MATERIAL WITHIN ITS LIMITS OF WORK, TREE PROTECTION MEASURES IN ACCORDANCE WITH FDOT 2023-2024 STANDARDS PLANS INDEX 110-100
- WORKING HOURS WITHIN THE F.D.O.T. RIGHT OF WAY SHALL BE BETWEEN THE HOURS OF 9:30 A.M. AND 3:30 P.M. AND OPTIONALLY FROM 9:00 P.M. TO 5:00 A.M. OR AS DIRECTED BY THE DEPARTMENT REPRESENTATIVE PRIOR TO COMMENCEMENT OF WORK.
- ANY DAMAGE PRODUCED BY THIS PROPOSED WORK SHALL BE RESTORED BY THE CONTRACTOR AT NO COST TO THE DEPARTMENT.

PAVEMENT NOTES:

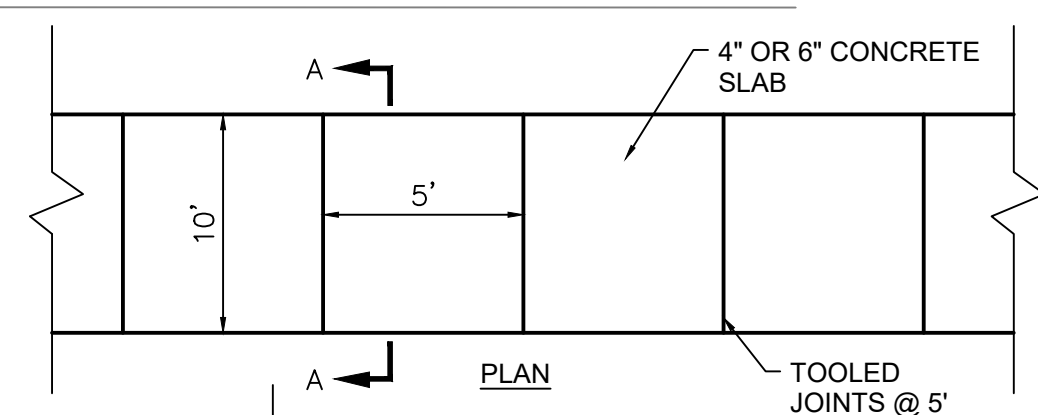
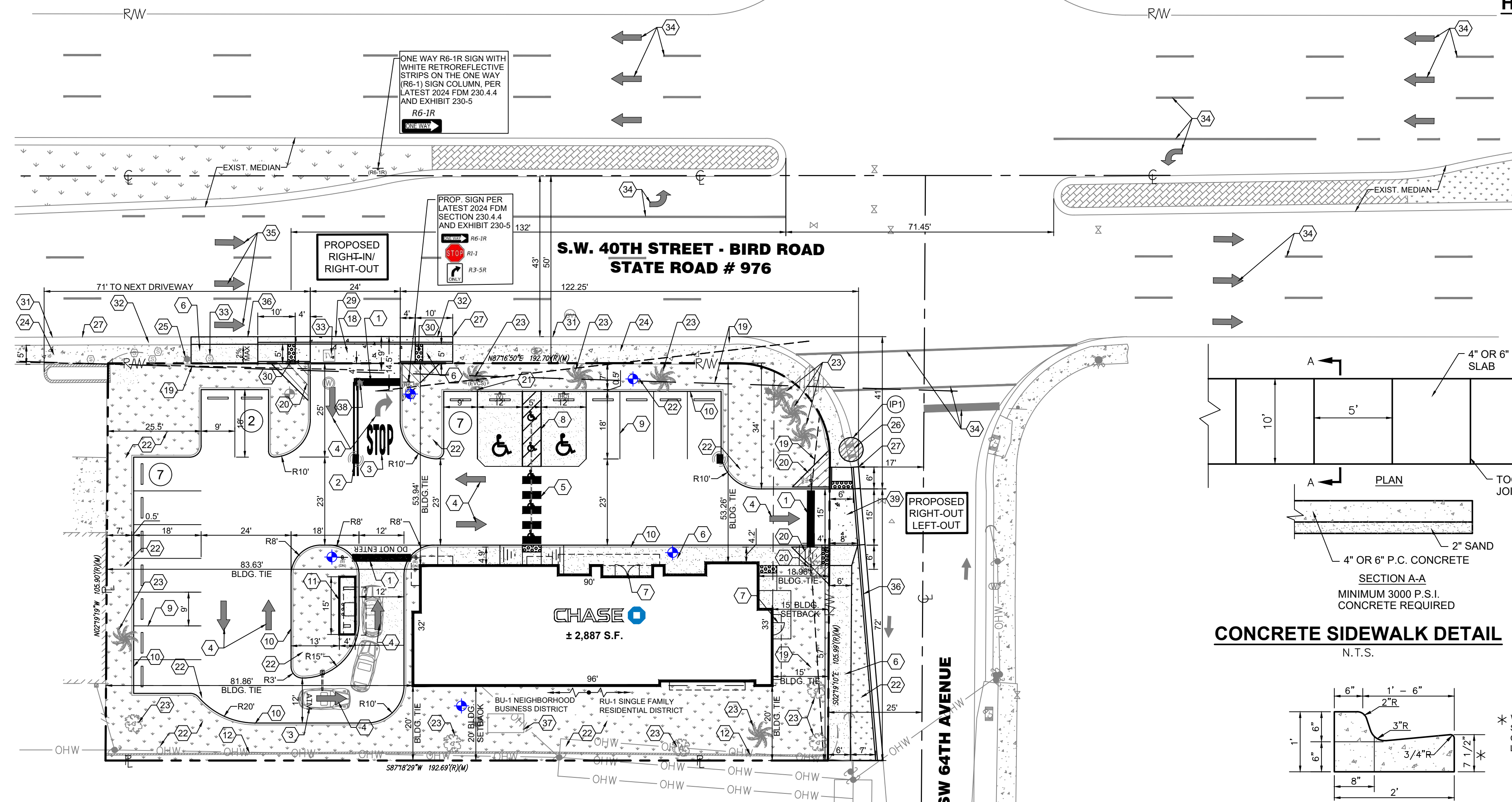
- ASPHALT ROADWAY MUST BE SAWCUT WHEN REMOVING CURB AND GUTTER TO AVOID DAMAGING THE ASPHALT.
- DAMAGED PAVEMENT MARKINGS (INCLUDING THERMOPLASTIC MARKINGS AND RPMS) SHALL BE RESTORED TO MEET FDOT STANDARDS AT THE PERMITTEE EXPENSE.
- DAMAGE TO SIDEWALK, RAMPS AND/OR CURB AND GUTTER SHOULD BE RESTORED PER FDOT 2023-24 STANDARD PLANS INDEX NO. 520-001, 522-001, NO. 522-003 AND 522-002 AND FDOT STANDARD SPECIFICATIONS.
- DAMAGED SIGNAL LOOPS SHALL BE RESTORED TO MEET FDOT STANDARDS AT THE PERMITTEE EXPENSE.
- CONTRACTOR TO PROVIDE INLET PROTECTION SYSTEM.



DETACHED DRIVE-UP HEADACHE BAR PLAN
N.T.S.



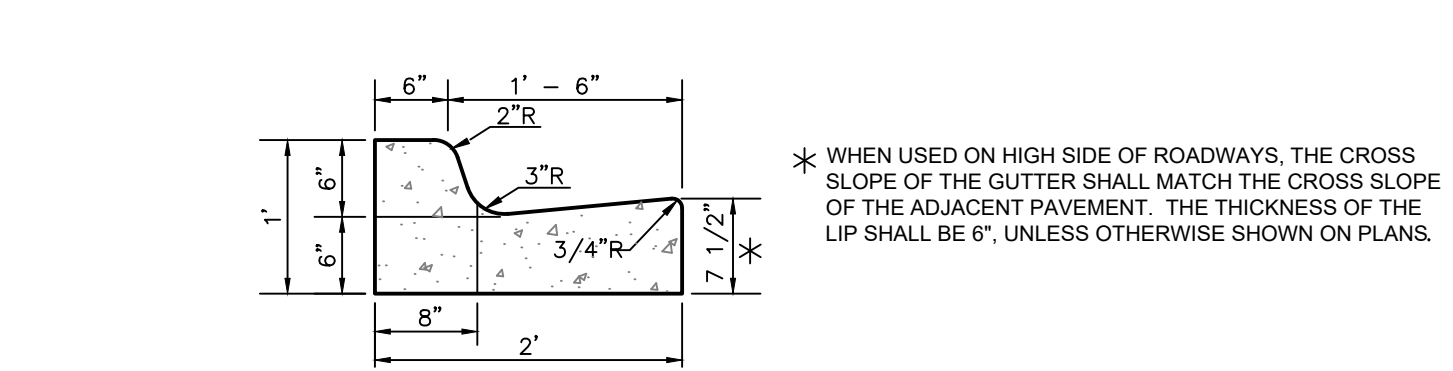
DETACHED DRIVE-UP HEADACHE BAR ELEVATIONS
N.T.S.



CONCRETE SIDEWALK DETAIL
N.T.S.

NOTES:

- 3/4"x4" PREMOLED EXPANSION MATERIALS AROUND P.P. OR OTHER STRUCTURES IN WALK.
- EXPANSION JOINTS MAXIMUM DISTANCE = 100'. USED 3/4"x4" PREMOLED EXPANSION MATERIAL.
- CONTRACTION JOINTS MAXIMUM DISTANCE = 21'. SAW CUT 2" DEEP AND FILL WITH HOT POURED SEALER.
- SAW CUT JOINTS WITHIN 24 HOURS.



STANDARD CONCRETE CURB & GUTTER
N.T.S.

GENERAL NOTES:

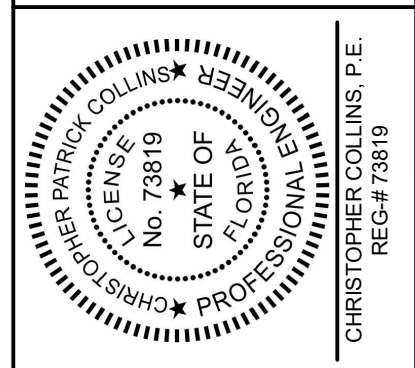
- THE CONCRETE FOR CURBS SHALL BE DEPARTMENT OF TRANSPORTATION CLASS "1" CONCRETE, AND HAVE A COMPRESSIVE STRENGTH OF 3,000 PSI.
- ALL CURBS SHALL HAVE CONTRACTION JOINTS AND SHALL BE CONSTRUCTED AT INTERVALS NOT TO EXCEED 10'-0" ON CENTERS FOR ALL CURBS.

CONCRETE SIDEWALK DETAIL

N.T.S.



666 N.E. 125th STREET,
 SUITE 247
 NORTH MIAMI, FL 33161
 Phone: 305.720.2079
 C.O.A. 33221



This item has been digitally signed and sealed by Christopher P. Collins, P.E. on the date adjacent to the seal.
 Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronics copies.

Revision	Date	Comment

Designed by:	C.P.C.
Drawn by:	A.T.S.
Checked by:	C.P.C.
Approved by:	C.P.C.
Scale:	1" = 20'
Date:	08/19/2024
Job No.:	B012
Plans for	

CHASE BANK
 6420 BIRD ROAD
 MIAMI-DADE COUNTY, FLORIDA

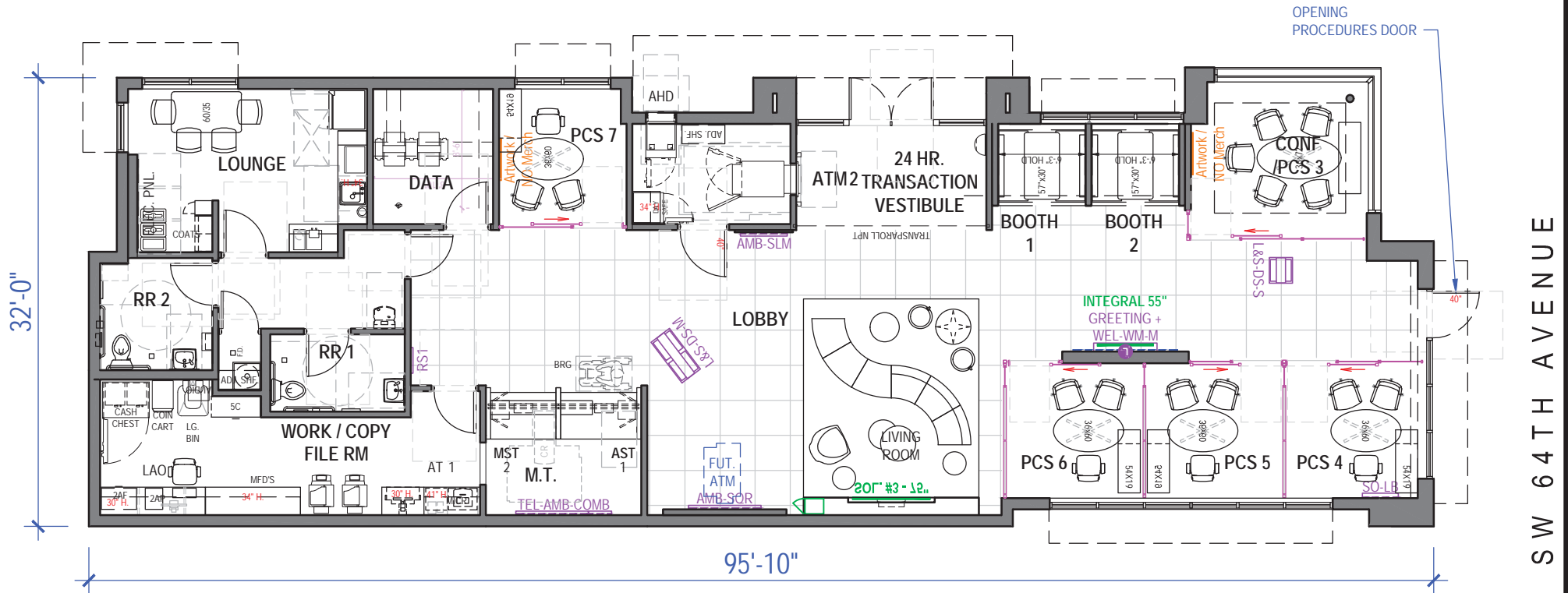
SITE PLAN
 Sheet No. C-5.0

RECEIVED

MIAMI-DADE COUNTY PROCESS NO.: Z24-160 DATE: AUG 12 2024 BY: CABR BIRD ROAD

NOTE: TILE SHOWN FOR PATTERN ONLY. ACTUAL TILE SIZE AND SPACING TO BE LAID OUT AND VERIFIED BY THE ARCHITECT OF RECORD TO REFLECT THE DESIGN INTENT. DO NOT REMOVE THIS TAG FROM FLOOR PLAN

PRIMARY PARKING



Regional Director (RD) _____ DATE _____

Operating Model Lead (OML) _____ DATE _____

REGION - SOUTH FLORIDA
PMWeb ID - 48100R014591

DESIGN STANDARDS	HARDINESS ZONE	10A	(1) OFFICE SHALL RECEIVE DUAL MONITORS & ARMS FOR CPC OR FUTURE CPC.
20.6	OVERHEAD DOOR ACCEPTABLE *		

*HARDINESS ZONES >= 7A



Proposed Floor Plan
BIRD LUDLAM
MIAMI, FL



DATE	DESIGNER	AREA	SCALE
02/28/2024	ML	+/- 2,887 SF	NONE

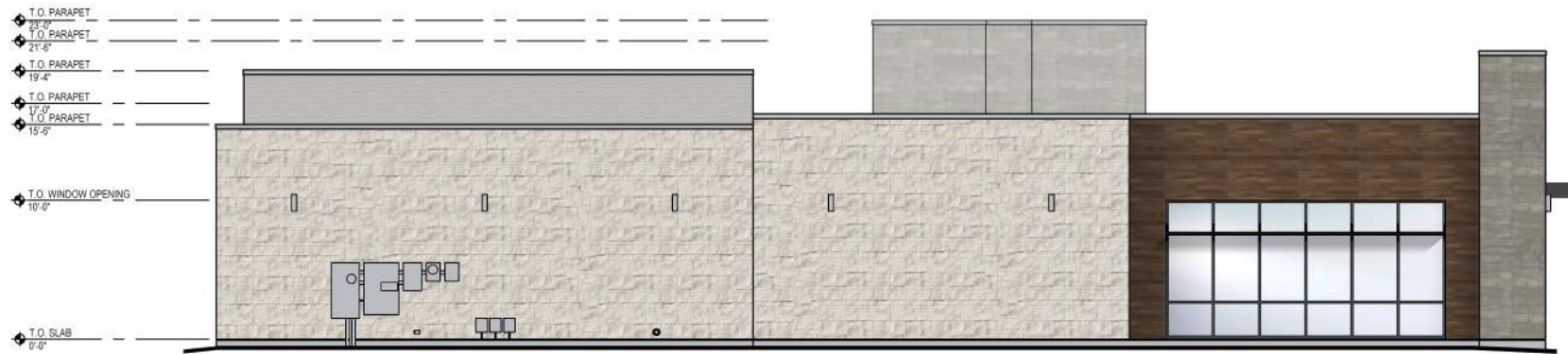
DRC Page 8



SOUTH ELEVATION (MAIN ENTRANCE)
PRIMARY PARKING



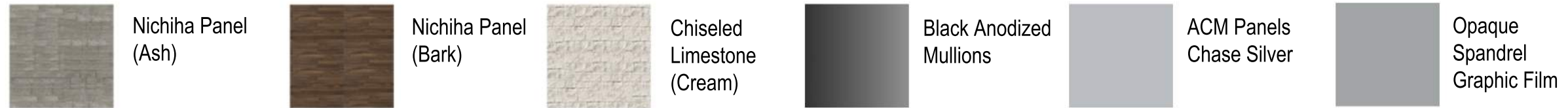
WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION (SW 64TH AVENUE)



TPGArchitecture

TPG ARCHITECTURE, LLP
31 PENN PLAZA
132 WEST 31ST STREET, 5TH FLOOR, NEW YORK, NY 10001
212.768.0800 | TPGARCHITECTURE.COM

PROJECT
BIRD LUDLAM
6420 BIRD RD,
MIAMI, FLORIDA

PROJECT NO.
1524075-00

DRAWN BY
TPG

DATE
04/16/2024

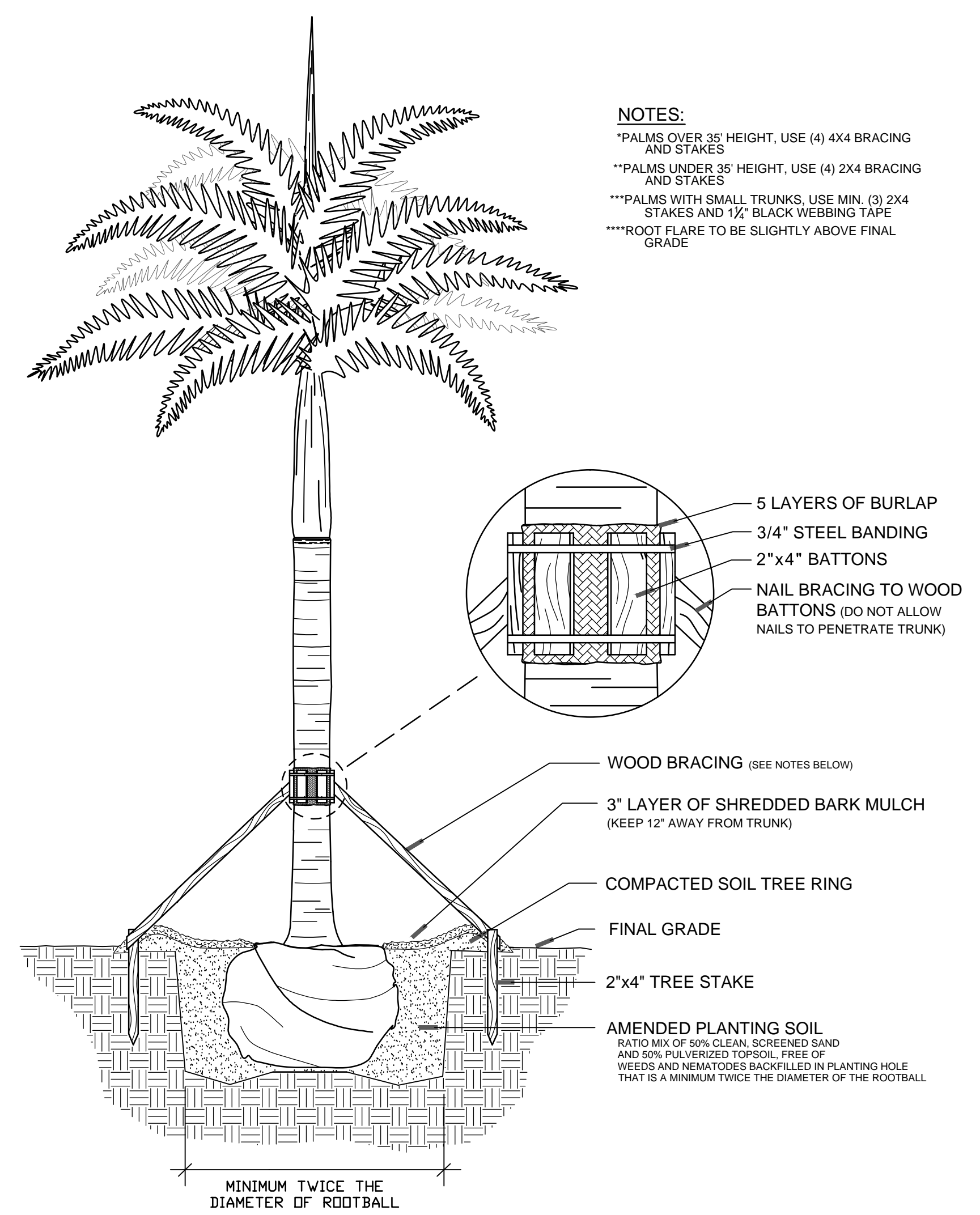
DRAWING
COLORED ELEVATIONS
(FOR REFERENCE ONLY)

SCALE
NTS

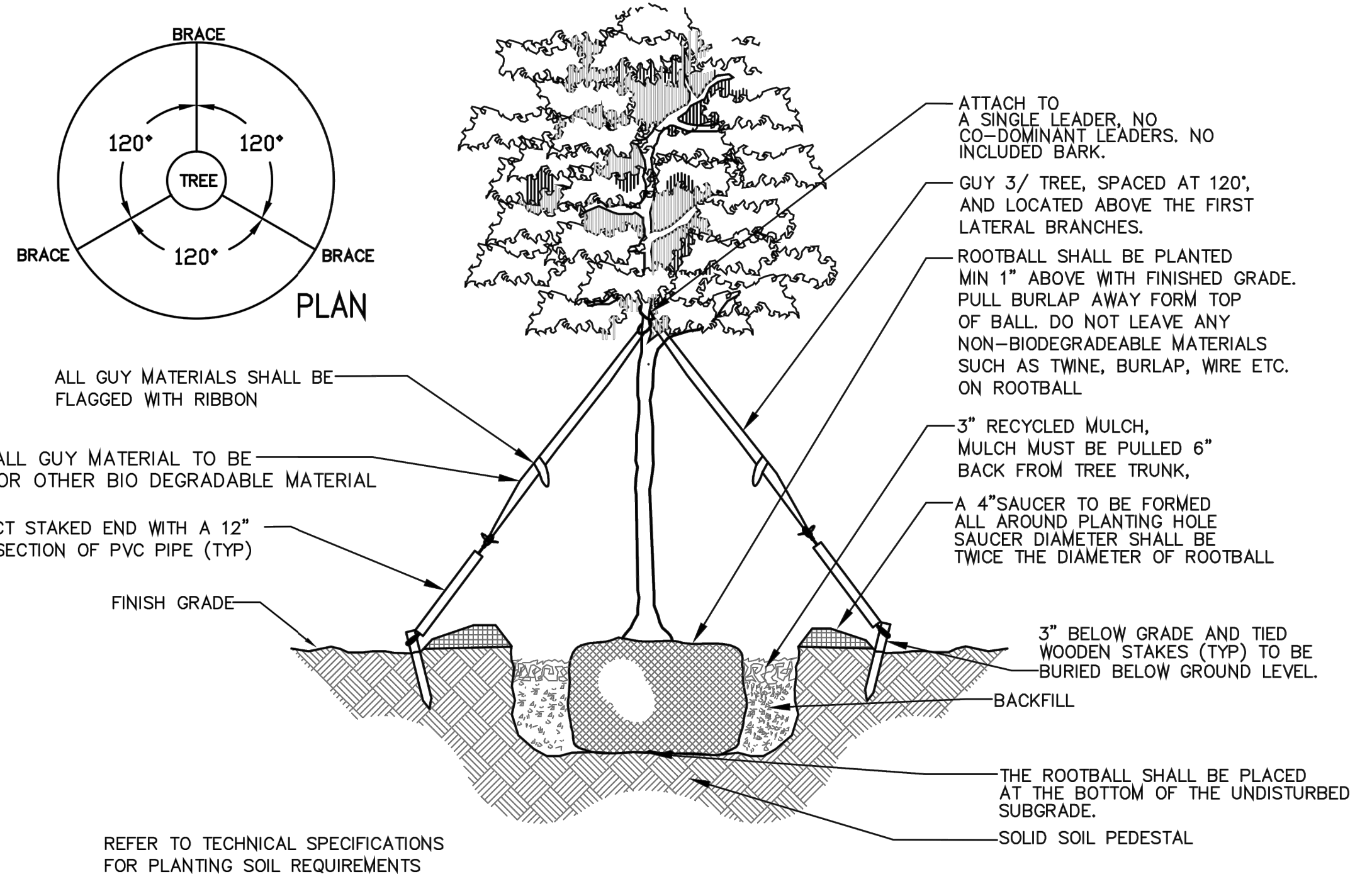
FLOOR
00

DRAWING
SK-001

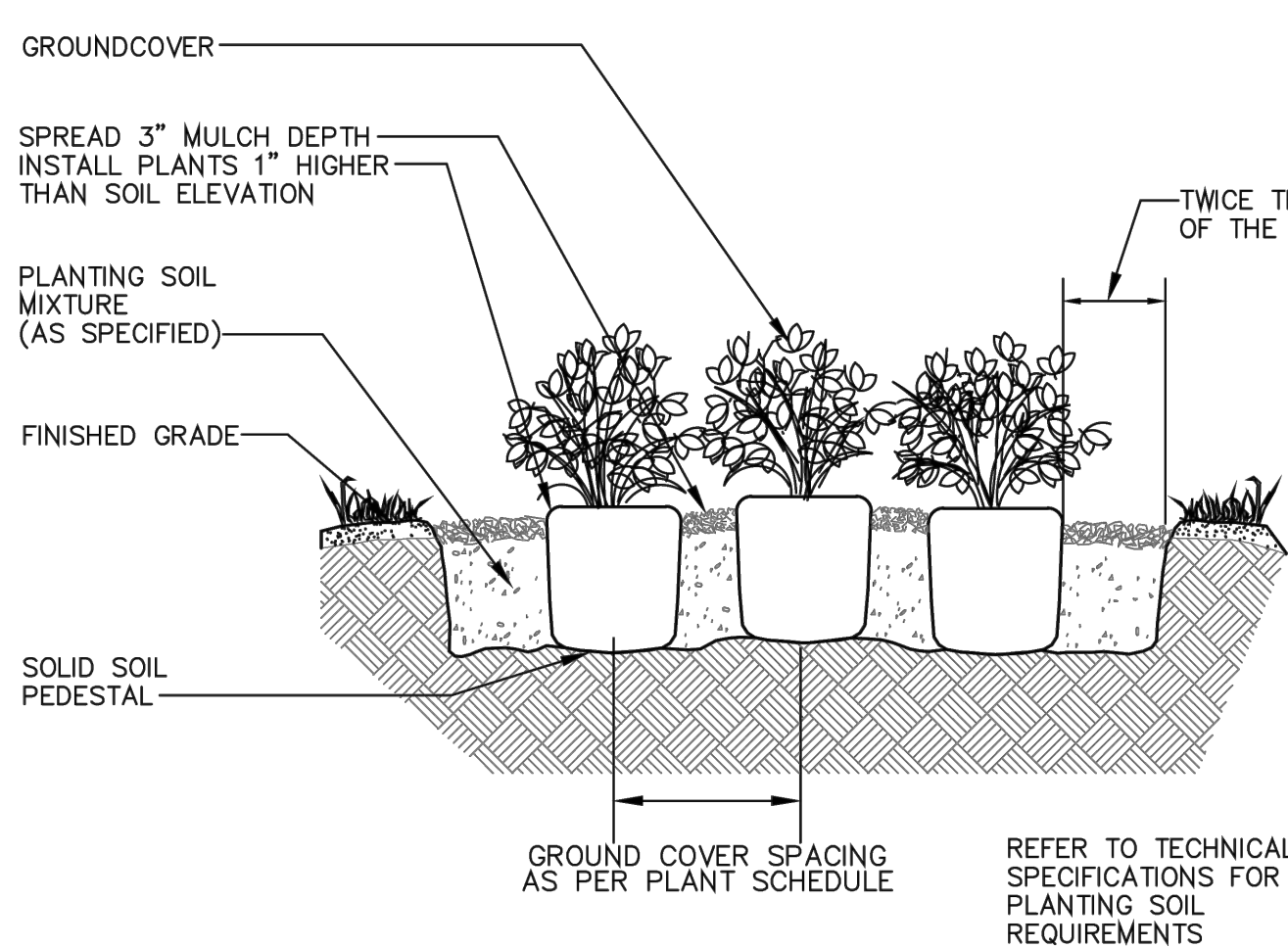
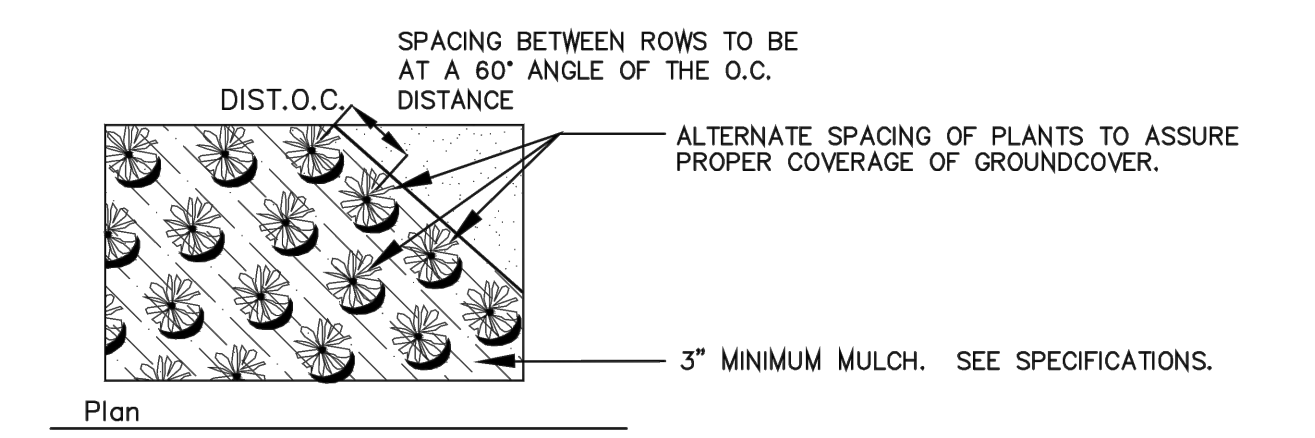
This document, together with the concepts and design presented herein, is an instrument of service, as an instrument of service, as intended only for the specific purpose and client for which it was prepared. Review and improper reliance on this document without written authorization and adaptation by Green Earth Landscape Architecture shall be without liability to Green Earth Landscape Architecture.



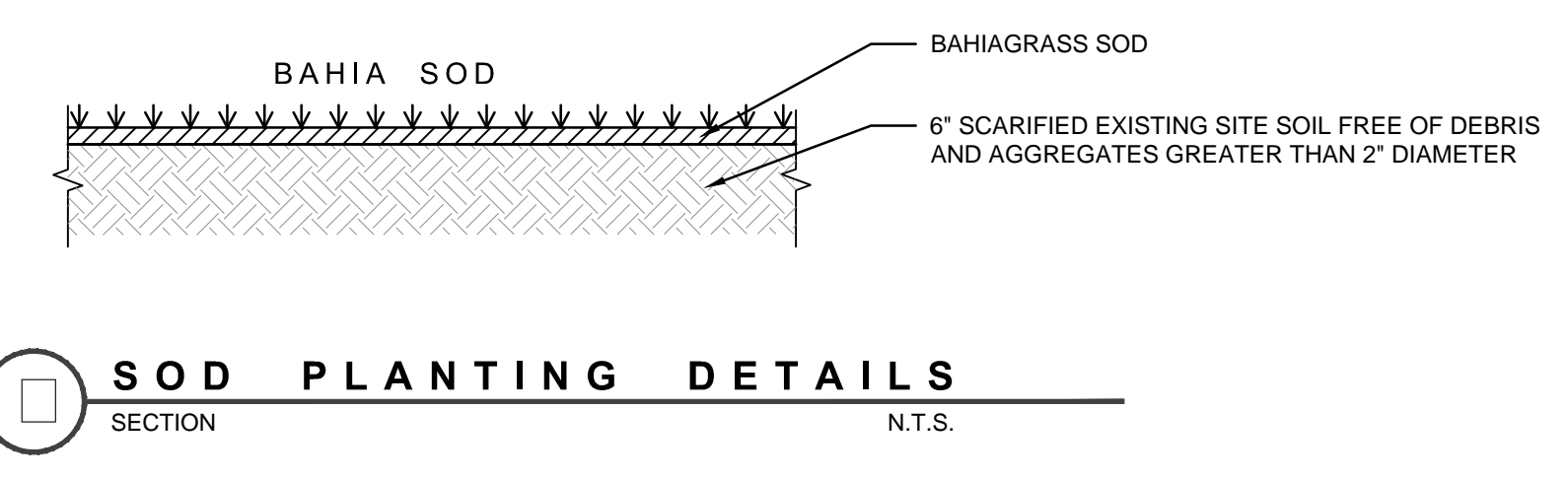
1 PALM PLANTING DETAIL
SECTION N.T.S.



TREE PLANTING DETAIL
SECTION N.T.S.



2 SHRUB/GROUND COVER DETAIL
SECTION N.T.S.



SOD PLANTING DETAILS
SECTION N.T.S.

24" DeepRoot Tree Root Barriers

Specified tree root barriers are a mechanical barrier and root deflector to prevent tree roots from damaging hardscapes and landscapes. Assembled in 2' long modules to create varying sizes of cylinders for surrounding root balls (Surround planting style) or for linear applications directly beside a hardscape adjacent to one side of the trees (Linear planting style).

A. Materials
1. The contractor shall furnish and install tree root barriers as specified. The tree root barriers shall be product # UB 24-2 as manufactured by Deep Root Partners, L.P. 345 Lorton Ave. #103, Burlingame, CA (800-458-7668), or approved equal. The barrier shall be Black, Injection Molded Panels, of 0.085" wall thickness in modules 24" long by 24" deep; manufactured with a minimum 50% post consumer recycled polypropylene plastic with added ultraviolet inhibitors; recyclable. Each panel shall have:

Not less than 4 Molded Integral Vertical Root Deflecting Ribs of at least 0.085" thickness protruding 1/2" at 90° from interior of the barrier panel, spaced 6" apart. (See panel drawing below)

A Double Top Edge consisting of two parallel, integral, horizontal ribs at the top of the panel of a minimum 0.085" thickness, 7/16" wide and 1/4" apart with the lower rib attached to the vertical root deflecting ribs. (See detail "A")

A minimum of 9 Anti-Lift Ground Lock Tabs consisting of integral horizontal ridges of a minimum 0.085" thickness in the shape of a segment of a circle, the 2" chord of the segment joining the panel wall and the segment, protruding 3/8" from the panel. The nine ground locks on each panel shall be about equally spaced between each of the vertical root deflecting ribs (3 between each set of ribs, see Detail "B").

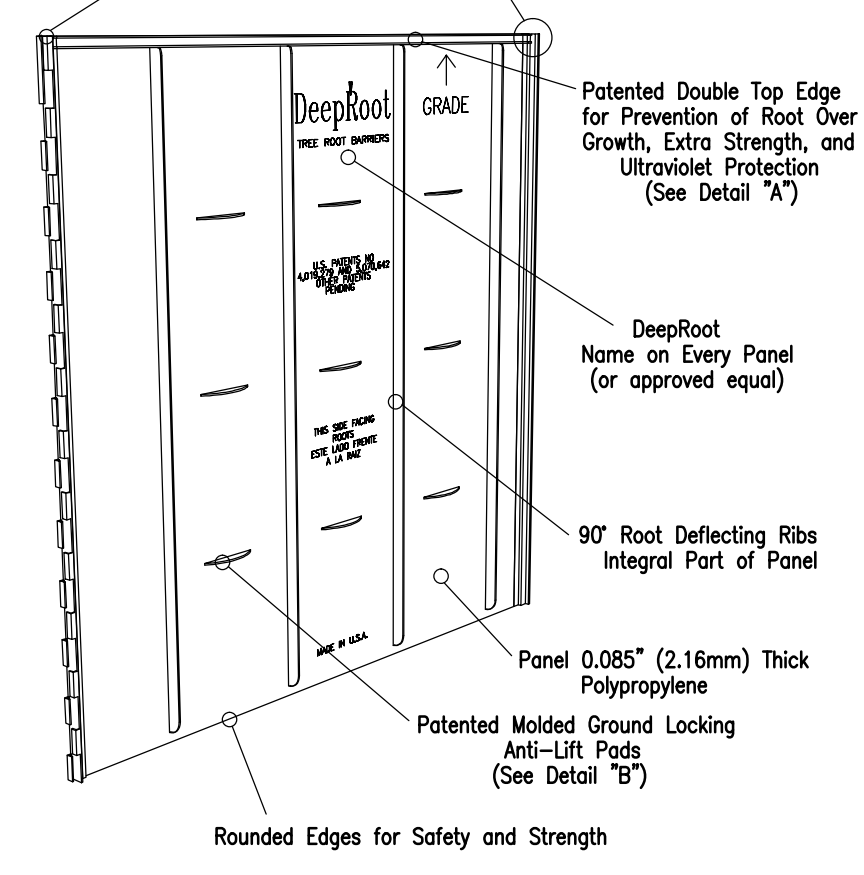
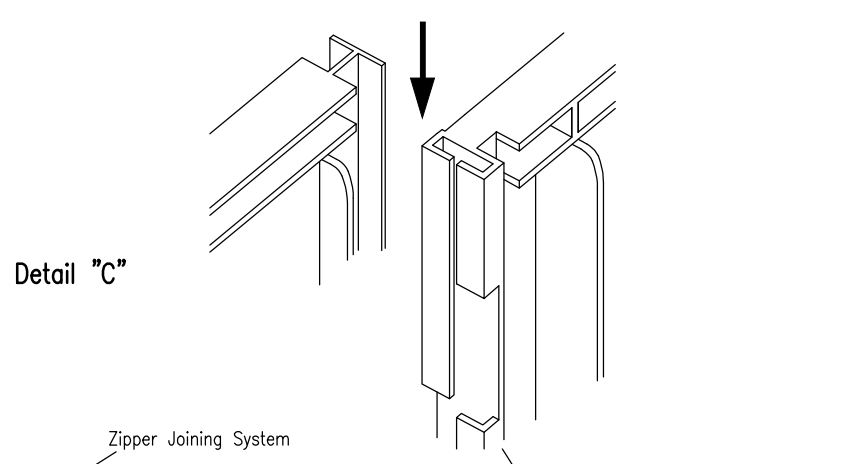
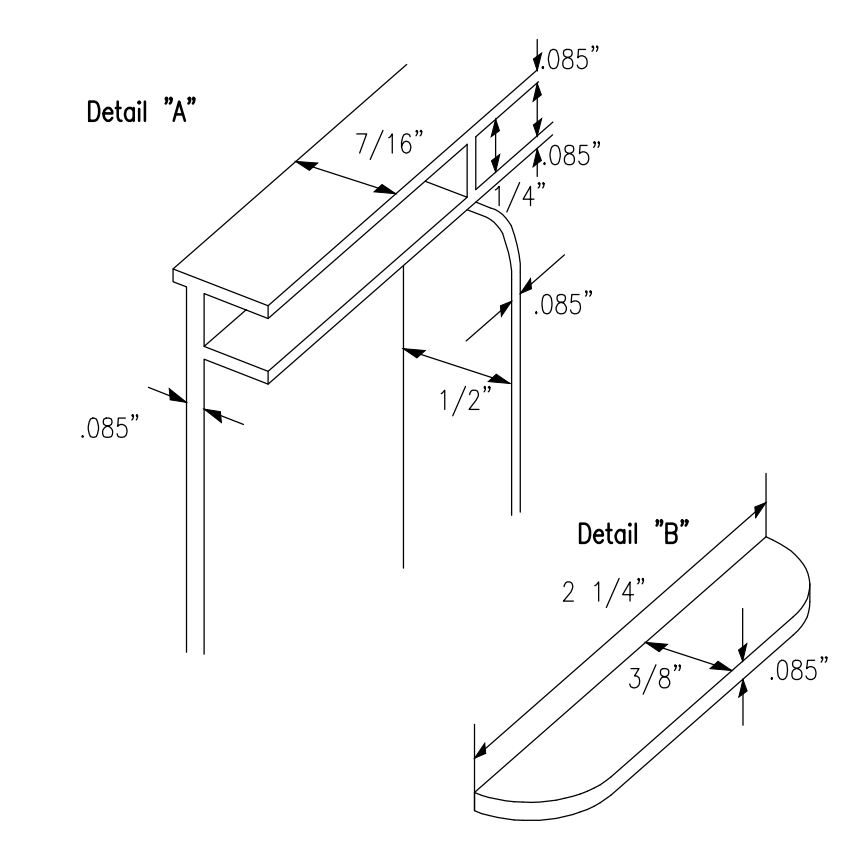
An integrated Zipper Joining System providing for instant assembly by sliding one panel into another. (See Detail "C")

2. The basic properties of the material shall be:

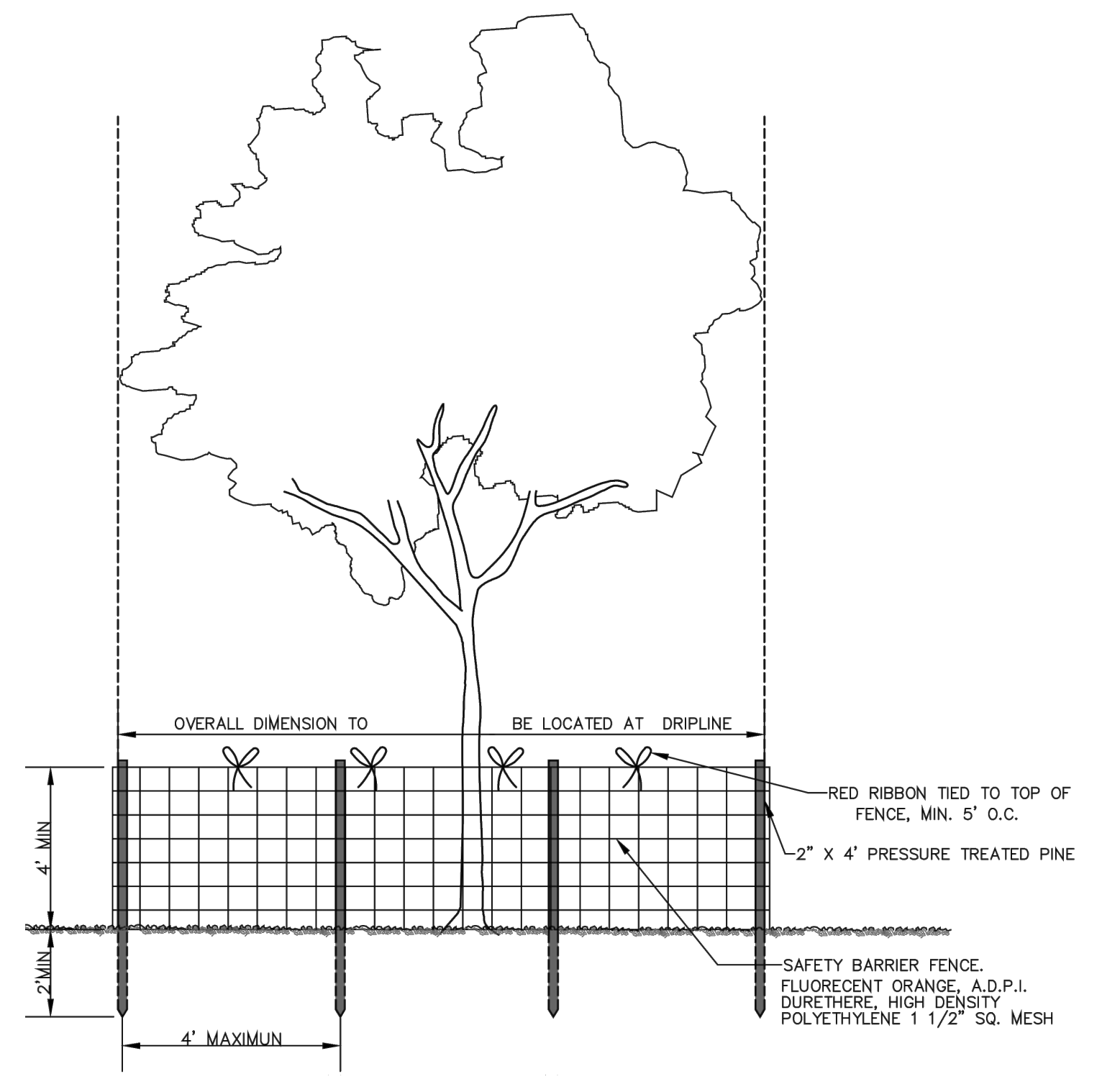
Test	ASTM Test Method	Value	Copolymer Polypropylene
Tensile stress @ yield	D638	3800	PSI
Elongation @ yield	D638	6.3%	
Flexural Modulus	D790B	155,000	PSI
Notched Izod Impact	D256A	7.1	
Rockwell Hardness r. scale	D785A	68	

U.S. Patents: 5,305,549 and 5,070,642. Other Patents Pending.

B. Construction and Installation
1. The contractor shall install the tree root barriers with the number of panels and in the manner shown on the Drawings. The vertical root deflecting ribs shall be facing inwards to the root ball and the top of the double edge shall be 1/2" above grade. Each of the required number of panels shall be connected to form a circle around the root ball or where specified joined in a linear fashion and placed along the adjacent hardscape.
2. Excavation and soil preparation shall conform to the Drawings



ROOT BARRIER DETAIL
SECTION N.T.S.



TREE PROTECTION BARRIER DETAIL
SECTION N.T.S.

BELOW IS AN AUTHORIZED DIGITAL SIGNATURE AND SEAL OF THE PROFESSIONAL LISTED BY WAY OF THIS SIGNATURE AND SEAL THAT THE DOCUMENTS HEREIN, IF UNDER A VERIFIED ELECTRONIC SEAL, WERE PREPARED, SIGNED AND AUTHORIZED FOR SUBMITTAL BY ME ON THE DATE OF SIGNING, WITH ALL AUTHORITY AND RIGHTS GRANTED TO ME BY THE STATE OF FLORIDA IN RELATION TO MY PROFESSIONAL REFERENCES THEREIN.

William Dale Bryant
DN: cn=William Dale Bryant, o=Green Earth Landscape Architecture LLC, ou=LA6666943, email=dale.bryant@greeneearthla.com, c=US
Date: 2024.07.18 15:57:35 -0400

GREEN EARTH LANDSCAPE ARCHITECTURE
HOLLYWOOD, FLORIDA
PHONE: 954-538-1827
EMAIL: dale.bryant@greeneearthla.com

CHASE BANK
6420 BIRD RD.
MIAMI DADE COUNTY, FL

LANDSCAPE DETAILS

William Dale Bryant
FL LICENSE NUMBER LA6666943

PROJECT # 24-1025
DATE 07-18-24
SCALE AS NOTED
DESIGNED BY WDB
DRAWN BY WDB
CHECKED BY WDB

REVISIONS
DATE BY

FLORIDA
MIAMI DADE COUNTY

SHEET NUMBER L-201

TREE DISPOSITION NOTES & SPECIFICATIONS

- NOTE: ALL LANDSCAPE REQUIREMENTS ARE IN COMPLIANCE WITH MIAMI-DADE COUNTY LANDSCAPE MANUAL AND SECTION 18a (AND OTHERS BY REFERENCE) CODE OF ORDINANCES. AT TIME OF FINAL APPROVAL, ALL APPLICABLE MIAMI-DADE COUNTY LANDSCAPE CODE REQUIREMENTS SHALL BE MET OR EXCEEDED.
- CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED BY CALLING SUNSHINE 811 PRIOR TO ANY DIGGING.
- CONTRACTOR SHALL FAMILIARIZE HIM/HERSELF WITH THE LIMITS OF WORK AND EXISTING CONDITIONS AND VERIFY ALL INFORMATION. IF DISCREPANCIES EXIST, CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE IN WRITING WITHIN SEVEN CALENDAR DAYS OF NOTICE TO PROCEED.
- AS PART OF MOBILIZATION AND PRIOR TO DEMOLITION/SITE WORK TREE PROTECTION BARRIER FENCING SHALL BE ERECTED PER LANDSCAPE DETAIL SHEET L-201 AND SHALL REMAIN DURING ENTIRETY OF CONSTRUCTION UNTIL FINAL COMPLETION OF PROJECT.
- CONTRACTOR SHALL TAKE CARE TO PROTECT EXISTING CONDITIONS TO REMAIN, AND SHALL BEAR ALL DIRECT AND INDIRECT COSTS TO RESTORE IN FULL ANY DAMAGED CONDITIONS AS A RESULT OF THE SCOPE HEREIN.
- CONTRACTOR SHALL BEAR ALL COSTS OF TESTING OF SOILS, AMENDMENTS, PROTECTION, DISCOVERY, VERIFICATION, CONSULTATION, ETC. THAT MAY BECOME NECESSARY WITH THE WORK ASSOCIATED HEREIN.
- AS MAY BE REQUIRED, ALL EXISTING MATERIALS TO REMAIN SHALL BE PROVIDED TEMPORARY MAINTENANCE INCLUDING, BUT NOT LIMITED TO; TRIMMING, FERTILIZATION, WATER SCHEDULE, BRACING, RELOCATION, UNFORESEEN CONDITIONS, ETC..
- FOR ANY VEGETATION REMOVALS, CONTRACTOR SHALL IMMEDIATELY FILL ROOT DEPRESSIONS WITH SUITABLE CLEAN SOIL IN 12" LIFTS, LIGHTLY COMPACTED TO AVOID TOPOGRAPHIC DEPRESSIONS, AND ROUGH GRADE AREAS OF WORK TO PRODUCE A SMOOTH, EVEN SURFACE.
- CONTRACTOR TO PRUNE SUCKER GROWTH OF GREEN BUTTWOOD TREES AS PART OF THIS SCOPE OF WORK. ALL PRUNING REQUIRED OF EXISTING TREES TO REMAIN SHALL BE IN STRICT ACCORDANCE WITH ANSI A300 PRUNING STANDARDS.
- ANY EXISTING PROHIBITED VEGETATION (SUCH AS CASUARINA, BRAZILIAN PEPPER, CARROTWOOD, ETC.) SHALL BE COMPLETELY REMOVED FROM SITE, INCLUDING ROOTS, BRANCHES, TRUNKS, SEEDS, FLOWERS, AND ANYTHING ASSOCIATED WITH EACH SPECIE. ALL INVASIVE EXOTIC MATERIAL AND THEIR PARTS SHALL BE COMPLETELY REMOVED FROM SITE AND PROPERLY DISPOSED OF OFFSITE.
- EXCEPT FOR TREES SPECIFIED TO REMAIN, ALL EXISTING GROUND VEGETATION WITHIN THE SITE SHALL BE REMOVED AND/OR PERPETUALLY ERADICATED AS PART OF SITE CLEARING. DURING CONSTRUCTION SITE SHALL BE MAINTAINED TO BE VOID OF ANY AND ALL INVASIVE, EXOTIC, AND NUISANCE VEGETATION, AND IN COMPLIANCE WITH MIAMI DADE COUNTY CODE OR ORDINANCES. FINE SURFACE GRADING IN PREPARATION FOR NEW LANDSCAPING, INCLUDING REMOVAL OF DEBRIS/ROCK/DELETERIOUS MATERIALS, SCARIFYING OF SOIL, AND INSTALLATION OF AMENDED PLANTING SOILS SHALL BE INCORPORATED AS PART OF THIS SCOPE BEFORE PLACING A BID. SEE LANDSCAPE DETAILS AND LANDSCAPE PLANTING PLAN FOR MORE INFORMATION RELATING TO PREPARATION OF ALL SOILS PRIOR TO PLANTING MATERIALS INSTALLATION, AND SEE GRADING PLAN FOR FINAL SURFACE GRADE LEVELS.
- EXISTING TREE SPECIES, SIZES, AND LOCATIONS ARE BASED ON EXISTING CONDITIONS AT THE TIME OF CREATING THIS PLAN.
- CONTRACTOR SHALL REQUIRE ALL NECESSARY PERMITS TO PERFORM THE WORK HEREIN.

*** TREE REMOVAL CHART**

No.	BOTANICAL NAME	COMMON NAME	DBH	HT. x SPR.	CONDITION	DISPOSITION	MITIGATION REQ'D	CANOPY LOSS
1	Cocos nucifera	Coconut Palm	10"	30' x 20'	70%	REMAIN	NO	0 SF
2	Cocos nucifera	Coconut Palm	10"	26' x 18'	70%	REMAIN	NO	0 SF
3	Cocos nucifera	Coconut Palm	10"	22' x 16'	70%	REMAIN	NO	0 SF
4	Cocos nucifera	Coconut Palm	10"	18' x 16'	70%	REMAIN	NO	0 SF
5	Cocos nucifera	Coconut Palm	10"	18' x 16'	65%	REMAIN	NO	0 SF
6	Cocos nucifera	Coconut Palm	10"	12' x 14'	65%	REMAIN	NO	0 SF
7	Cocos nucifera	Coconut Palm	10"	17' x 14'	65%	REMAIN	NO	0 SF
8	Hyophorbe verschaffeltii	Spindle Palm	8"	8' x 7'	70%	REMAIN	NO	0 SF
9	Hyophorbe verschaffeltii	Spindle Palm	8"	8' x 7'	70%	REMAIN	NO	0 SF
10	Hyophorbe verschaffeltii	Spindle Palm	8"	8' x 7'	70%	REMAIN	NO	0 SF
11	Conocarpus erectus	Green Buttonwood	6"	16' x 14'	65%	REMAIN	NO	0 SF
12	Conocarpus erectus	Green Buttonwood	8"	18' x 16'	65%	REMAIN	NO	0 SF
13	Hyophorbe verschaffeltii	Spindle Palm	8"	8' x 16'	65%	REMAIN	NO	0 SF
14	Hyophorbe verschaffeltii	Spindle Palm	8"	10' x 8'	65%	REMAIN	NO	0 SF
15	Conocarpus erectus	Green Buttonwood	10"	20' x 18'	65%	REMAIN	NO	0 SF
16	Conocarpus erectus	Green Buttonwood	16"	28' x 22'	60%	REMAIN	NO	0 SF
17	Cocos nucifera	Coconut Palm	12"	28' x 20'	80%	REMAIN	NO	0 SF
18	Conocarpus erectus	Green Buttonwood	10"	24' x 20'	70%	REMAIN	NO	0 SF
19	Conocarpus erectus	Green Buttonwood	8"	20' x 18'	35%	REMAIN	NO	0 SF
20	Cocos nucifera	Coconut Palm	10"	24' x 20'	70%	REMAIN	NO	0 SF
TOTAL CANOPY LOSS TO BE MITIGATED =			0 SF					

* ALL EXISTING TREES AND PALMS ARE SPECIFIED TO REMAIN IN PLACE AND BE PROTECTED DURING ENTIRE MOBILIZATION, DEMOLITION, AND CONSTRUCTION PROCESS. SEE TREE PROTECTION BARRIER FENCING DETAIL SHEET L-201 FOR ALL TREES AND PALMS TO REMAIN
 *N - INDICATES A SPECIES NATIVE TO FLORIDA

LANDSCAPE LEGEND INFORMATION

Zoning District: BU-1A (Limited Business District) Lot Area: 24,426sf Acres: .56

OPEN SPACE	REQUIRED/ ALLOWED	PROVIDED
A. Square feet of pervious area required by Landscape Manual as indicated on site plan (percent of pervious area required): 18%	4,397	7,242
B. Square feet of parking lot open space required by Landscape Manual as indicated on site plan (number of parking spaces X 10sf per parking space @ 17 spaces):	170	170
C. Total square feet of landscaping open space required (A+B) =	4,564	7,412
D. Maximum permitted non-drought lawn area allowed (20%) = 1,483 of (all proposed turf grass is Bahiagrass drought tolerant species)	1,483	0*

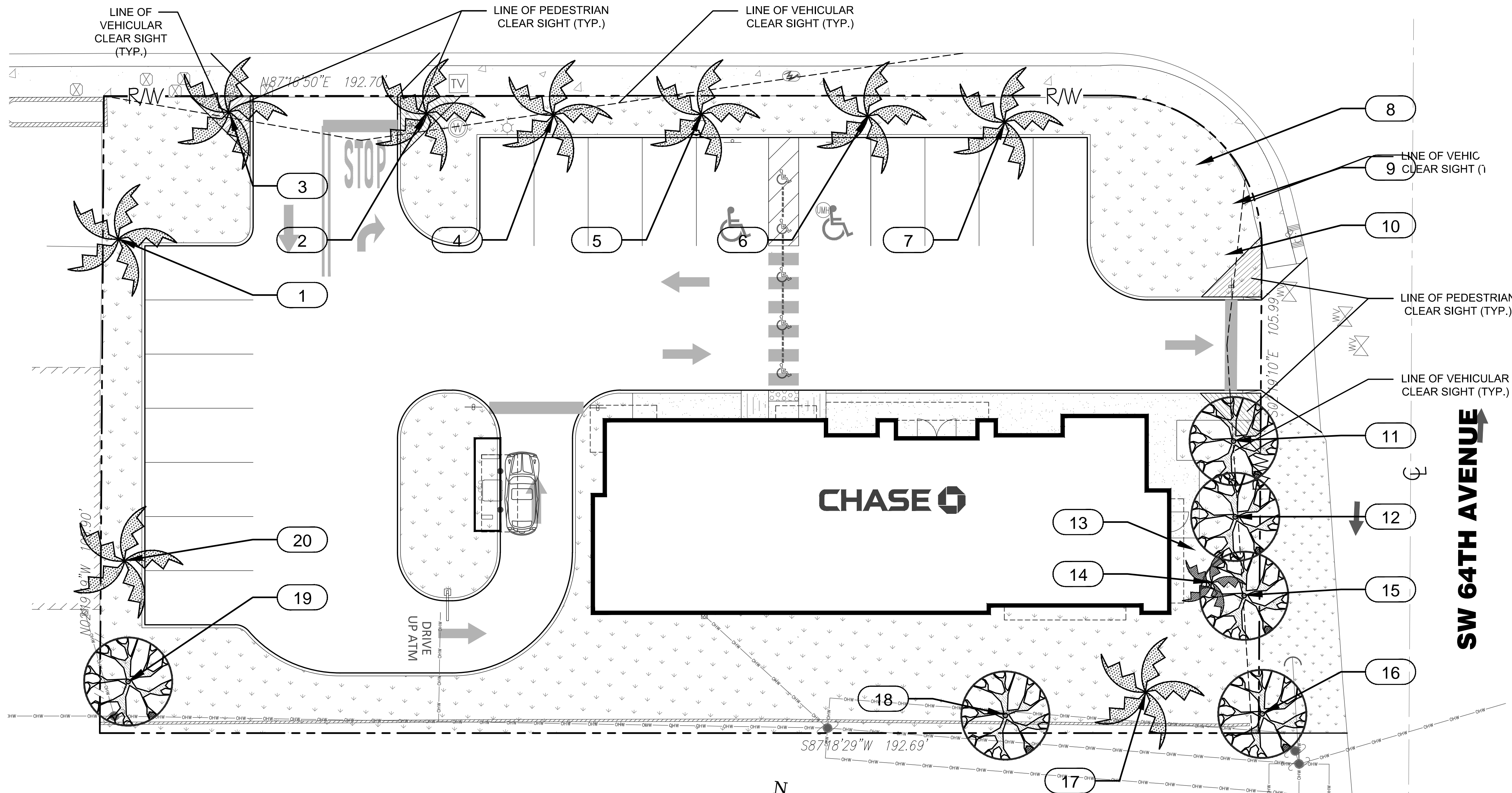
TREES	REQUIRED/ ALLOWED	PROVIDED
A. Number of trees required per net lot acre (Table A) less existing number of trees meeting minimum requirements = 22 trees x net lot acres (12 onsite existing trees) =	13	16 NEW/ONSITE
B. % Natives required: Number of trees provided x 30% =	10	25
C. Street Trees (maximum average spacing 25' o.c. where overhead lines exist): 260' along streets / 25' =	11	16
D. Total Trees required (A+C) =	24	32 NEW/ONSITE

SHRUBS	REQUIRED/ ALLOWED	PROVIDED
A. Number of shrubs required: Number of trees required x 10 =	240	356
B. No. of shrubs allowed x 30%: Number of native shrubs required:	72	356

IRRIGATION PLAN REQUIRED - Full irrigation plans will be provided at time of building permit

*12 additional trees 12" Ht./2" Cal. Category 1 trees are being specified for mitigation per Miami-Dade County DERM of existing trees that, in part or all, may be in conflict with proposed development and may be of a size/condition that do not make them suitable candidates for relocation.

S.W. 40TH STREET - BIRD ROAD - STATE ROAD # 976



TREE DISPOSITION PLAN

SCALE: 1" = 10'

SYMBOL LEGEND

- # [Palm Symbol] - EXISTING PALM TO REMAIN
SEE TREE PROTECTION FENCING DETAIL FOR FENCING TO BE ERECTED AND MAINTAINED DURING ENTIRE CONSTRUCTION PERIOD
- # [Tree Symbol] - EXISTING TREE TO REMAIN
SEE TREE PROTECTION FENCING DETAIL FOR FENCING TO BE ERECTED AND MAINTAINED DURING ENTIRE CONSTRUCTION PERIOD

Below is an authorized digital signature and seal of the professional listed by way of this signature. I certify that the documents herein, if under a verified electronic seal, were prepared, signed and authorized for submission by me on the date of signing, with all authority and rights granted to me by the State of Florida in all public and associated references therein.

William Dale Bryant
 Digitally signed by William Dale Bryant
 DN: cn=William Dale Bryant, o=Green Earth Landscape Architecture LLC, ou=LA6666943, email=dale.bryant@greeneearthla.com, c=US
 Date: 2024.07.18 15:56:47 -0400

GREEN EARTH LANDSCAPE ARCHITECTURE
 HOLLWOOD, FLORIDA
 PHONE: 954-551-1827
 EMAIL: dale.bryant@greeneearthla.com

CHASE BANK
 6420 BIRD RD.
 MIAMI DADE COUNTY, FL

TREE DISPOSITION PLAN

L-100

PROJECT # 24-1075
 DATE 07-18-24
 SCALE AS NOTED
 DESIGNED BY WDB
 DRAWN BY WDB
 CHECKED BY WDB

FLORIDA
 MIAMI DADE COUNTY
 LICENSED PROFESSIONAL
 William Dale Bryant
 FL LICENSE NUMBER LA6666943

DATE BY REVISIONS

LANDSCAPE NOTES & SPECIFICATIONS

- NOTE LANDSCAPE REQUIREMENTS PER MIAMI-DADE COUNTY LANDSCAPE MANUAL AND THE CODE OF ORDINANCES. ALL APPLICABLE MIAMI-DADE COUNTY LANDSCAPE CODE REQUIREMENTS SHALL BE MET.
- CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED BY CALLING SUNSHINE 811 PRIOR TO ANY DIGGING.
- PLANT LIST QUANTITIES ARE PROVIDED FOR CONVENIENCE. IN THE EVENT OF QUANTITY DISCREPANCIES THE DRAWING SHALL TAKE PRECEDENCE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BIDDING.
- ANY SUBSTITUTION IN SIZE AND/OR PLANT MATERIAL MUST BE APPROVED BY THE LANDSCAPE ARCHITECT IN WRITING. ALL PLANTS WILL BE SUBJECT TO APPROVAL BY LANDSCAPE ARCHITECT AND/OR OWNER'S REPRESENTATIVE BEFORE PLANTING CAN BEGIN.
- CONTRACTOR SHALL FIELD ADJUST LOCATION OF PLANT MATERIAL AS NECESSARY TO AVOID DAMAGE TO EXISTING UNDERGROUND UTILITIES AND/OR EXISTING ABOVE GROUND ELEMENTS. ALL CHANGES REQUIRED SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE AND SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL BEAR ALL COSTS OF TESTING OF SOILS, AMENDMENTS, ETC. ASSOCIATED WITH THE WORK AND INCLUDED IN THE SPECIFICATIONS.
- CONTRACTOR SHALL FAMILIARIZE HIM/HERSELF WITH THE LIMITS OF WORK AND EXISTING CONDITIONS AND VERIFY ALL INFORMATION. IF DISCREPANCIES EXIST, CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IN WRITING WITHIN SEVEN CALENDAR DAYS OF NOTICE TO PROCEED.
- ALL NEW PLANT MATERIAL SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. AT TIME OF BUILDING PERMIT, COMPLETE IRRIGATION PLANS FOR THE SITE WILL ACCOMPANY THESE LANDSCAPE PLANTING PLANS.
- ALL PVIOUS AREAS NOT TREATED WITH SHRUBS OR GROUNDCOVER TO RECEIVE ARGENTINE BAHIAGRASS SOD OVER 2" 50/50 TOPSOIL/SAND MIX.
- ALL PLANT MATERIAL SHALL BE IN STRICT ACCORDANCE WITH FLORIDA NO. 1 SPECIFICATIONS OR BETTER, AS DEFINED IN "GRADES AND STANDARDS FOR NURSERY PLANTS," PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, MOST CURRENT EDITION.
- ALL PLANT MATERIALS SHALL BE GUARANTEED TO BE IN A THRIVING CONDITION, TYPICAL OF THE SPECIES, FOR A PERIOD OF ONE (1) CALENDAR YEAR FROM TIME OF FINAL ACCEPTANCE. FAILING MATERIALS AND THOSE IN SEVERE DECLINE SHALL BE REPLACED IMMEDIATELY AT NO COST TO OWNER.
- ALL PLANTING SIZES LISTED IN THE PLANT LIST AND SPECIFICATIONS SCHEDULE ARE TO BE THE MINIMUM SIZES AT THE TIME OF PLANTING.
- CONTRACTOR SHALL REQUIRE ALL NECESSARY PERMITS TO PERFORM THE WORK HEREIN.

PLANT LIST AND SPECIFICATIONS

TREE AND PALMS					
SYMBOL	QUANTITY	LATIN NAME	COMMON NAME	SIZE AT TIME OF PLANTING	DESCRIPTION
N COC DIV	3	Coccoloba diversifolia	PIGEON PLUM	12 HT/2" DBH	STRAIGHT TRUNK, FULL RADIAL BRANCHING, 6' CT
N CON SER	8	Conocarpus erectus 'Sericeus'	SILVER BUTTONWOOD	10' MIN. HT.	SINGLE STRAIGHT TRUNK, FULL RADIAL BRANCHING, 6' CT
ST N QUE VIR	7	Quercus virginiana	LIVE OAK	12 HT/2" DBH	STRAIGHT TRUNK, FULL RADIAL BRANCHING, 6' CT
EXISTING TREES TO REMAIN (SEE SHEET L-100 TREE DISPOSITION PLAN)					
ST CALLOUT	9	Cocos nucifera (EXISTING)	EXISTING COCONUT PALMS	SIZES VARY SEE SHEET L-100	EXISTING TO REMAIN AND BE PROTECTED
ST N CALLOUT	7	Conocarpus erectus	EXISTING GREEN BUTTONWOOD TREES	SIZES VARY SEE SHEET L-100	EXISTING TO REMAIN AND BE PROTECTED
ST N CALLOUT	5	Hyophorbe verschaffeltii	EXISTING SPINDLE PALMS	SIZES VARY SEE SHEET L-100	EXISTING TO REMAIN AND BE PROTECTED
SHRUBS AND GROUNDCOVER					
SYMBOL	QUANTITY	LATIN NAME	COMMON NAME	SIZE AT TIME OF PLANTING	DESCRIPTION
N CLU GUT	214	Clusia guttifera	LITTLELEAF CLUSIA	24" X 24"	FULL, SPACE 30" ON CENTER
N MUH CAP	142	Muhlenbergia capillaris	PINK MUHL Y GRASS	24" X 24"	FULL, SPACE 36" ON CENTER

NOTE: ALL LANDSCAPE AREAS NOT TREATED WITH TREES, SHRUBS, OR GROUNDCOVER TO RECEIVE ARGENTINE BAHIAGRASS SOD.
 NOTE: ALL LANDSCAPE AREAS TO RECEIVE 3" FLORIMULCH OR EQUIVALENT MELALEUCA OR EUCALYPTUS SHREDDED WOOD MULCH, FREE OF SEEDS AND NEMATODES. REDUCE THICKNESS TO 1" OVER NEW PLANT ROOT SYSTEMS AND MAINTAIN A 6" MULCH-FREE ZONE FROM TRUNKS OF TREES.
 NOTE: ALL SIZES LISTED WITHIN THIS SCHEDULE ARE TO BE THE **MINIMUM** SIZES AT TIME OF PLANTING.

* N - INDICATES A SPECIES NATIVE TO FLORIDA

LANDSCAPE LEGEND INFORMATION

Zoning District: BU-1A (Limited Business District) Lot Area: 24,426sf Acres: .56

OPEN SPACE REQUIRED/ PROVIDED ALLOWED

A. Square feet of pervious area required by Landscape Manual as indicated on site plan (percent of pervious area required): 18% 4,397' 7,242'

B. Square feet of parking lot open space required by Landscape Manual as indicated on site plan (number of parking spaces X 10sf per parking space @ 17 spaces): 170' 170'

C. Total square feet of landscaping open space required (A+B) = 4,564' 7,412'

D. Maximum permitted non-drought lawn area allowed (20%) = 1,483 sf (all proposed turf grass is Bahiagrass drought tolerant species) 0'

TREES

A. Number of trees required per net lot acre (Table A) less existing number of trees meeting minimum requirements = 22 trees x net lot acres (12 onsite existing trees) = 13 16 NEW/ONSITE

B. % Natives required: Number of trees provided x 30% = 10 25

C. Street Trees (maximum average spacing 25' o.c. where overhead lines exist): 260' along streets / 25' = 11 16

D. Total Trees required (A+C) = 24 32 NEW/ONSITE

SHRUBS

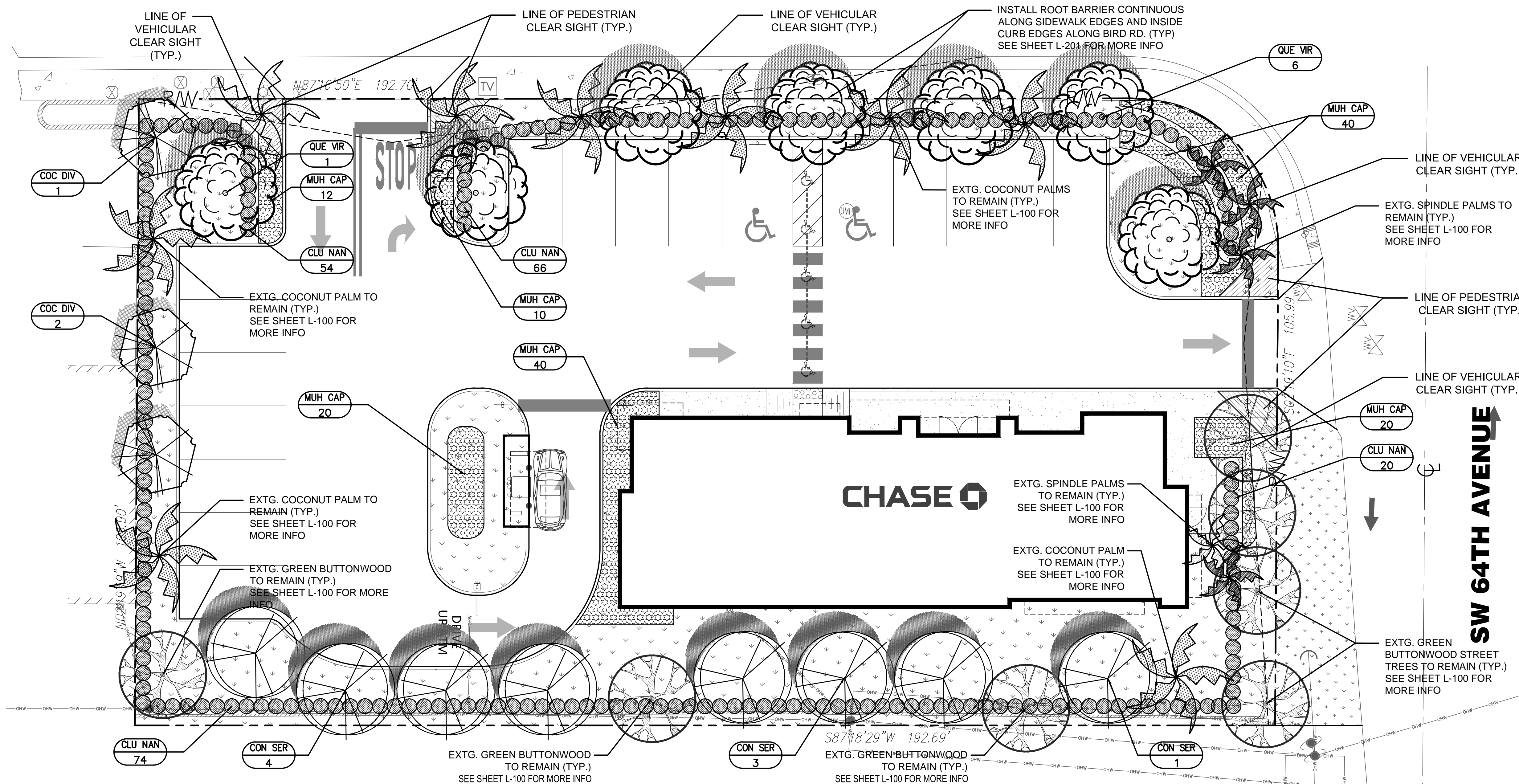
A. Number of shrubs required: Number of trees required x 10 = 240 356

B. No. of shrubs allowed x 30%: Number of native shrubs required: 72 356

IRRIGATION PLAN REQUIRED - Full irrigation plans will be provided at time of building permit

*12 additional trees 12" HT/2" Cal. Category 1 trees are being specified for mitigation per Miami-Dade County DERM of existing trees that, in part or all, may be in conflict with proposed development and may be of a size/condition that do not make them suitable candidates for relocation.

S.W. 40TH STREET - BIRD ROAD - STATE ROAD # 976



LANDSCAPE PLANTING PLAN

SCALE: 1" = 10'



BELOW IS AN AUTHORIZED DIGITAL SIGNATURE AND SEAL OF THE PROFESSIONAL LISTED, BY WAY OF THIS SIGNATURE I CERTIFY THAT THE DOCUMENTS HEREIN, IF UNDER A VERIFIED ELECTRONIC SEAL, WERE PREPARED, SIGNED AND AUTHORIZED FOR SUBMITTAL BY ME ON THE DATE OF SIGNING, WITH ALL AUTHORITY AND RIGHTS GRANTED TO ME BY THE STATE OF FLORIDA IN ALL RESPECTS AND ASSOCIATED REFERENCES THEREIN.

William Dale Bryant
 Digitally signed by William Dale Bryant, o=Green Earth Landscape Architecture LLC, ou=1-A666943, email=dale.bryant@greeneearthla.com, c=US
 Date: 2024.07.18 15:55:47 -0400'

PROJECT # 24-1025
 DATE 07-18-24
 SCALE AS NOTED
 DESIGNED BY WDB
 DRAWN BY WDB
 CHECKED BY WDB

NO.	REVISIONS	DATE	BY

PROJECT # 24-1025
 DATE 07-18-24
 SCALE AS NOTED
 DESIGNED BY WDB
 DRAWN BY WDB
 CHECKED BY WDB

CHASE BANK
 6420 BIRD RD.
 MIAMI DADE COUNTY, FL
 MIAMI DADE COUNTY

GREEN EARTH
 LANDSCAPE ARCHITECTURE
 HOLLYWOOD, FLORIDA
 PHONE: 954-534-1827
 E-MAIL: dale.bryant@greeneearthla.com

LANDSCAPE PLANTING PLAN
 SHEET NUMBER
L-200



666 N.E. 125th Street, Suite 247, North Miami, FL 33161, Phone: 305.720.2079, C.O.A. 33221



This item has been digitally signed and sealed by Christopher P. Collins P.E. on the date adjacent to the seal.

Digitally signed by Christopher Collins Date: 2024.10.21 16:22:06 -0400

Printed copies of this document are not considered signed and sealed unless a signature mark is verified on any electronic copy.

Chrisepher Collins

I. GENERAL PROVISIONS:

- 1. THE CONTRACTOR SHALL OBTAIN FROM THE OWNER COPIES OF ALL AVAILABLE REGULATORY AGENCY PERMITS AND LOCAL AGENCY FEES... 2. ALL WORK AND MATERIALS SHALL CONFORM TO CURRENT MIAMI-DADE COUNTY PUBLIC WORKS DEPARTMENT... 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION SHALL BE DONE IN A SAFE MANNER... 4. ALL CONSTRUCTION PROJECTS 1' OR MORE ACRE IN SIZE THAT DISBURGE TO FLUWENT AREAS ARE REQUIRED TO COMPLY WITH THE REQUIREMENTS OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT FOR DISCHARGES FROM SMALL LARGE CONSTRUCTION ACTIVITIES... 5. EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER... 6. BASE SURVEY INFORMATION INCLUDING BUT NOT LIMITED TO ELEVATIONS, EASEMENTS, RIGHTS OF WAY AND OTHER TOPOGRAPHIC INFORMATION SHOWN ON THE DRAWINGS HAVE BEEN PREPARED BY JORGE L. CARRERA... 7. THIS SET OF PLANS MAY CONTAIN DRAWINGS PREPARED BY OTHER PROFESSIONALS... 8. THE CONTRACTOR SHALL SUBMIT COPIES OF SHOP DRAWINGS TO THE ENGINEER FOR APPROVAL PRIOR TO ORDERING THE MATERIALS REQUIRED FOR CONSTRUCTION... 9. PROTECT BENCHMARKS, PROPERTY CORNERS, AND OTHER SURVEY MONUMENTS FROM DAMAGE OR DISPLACEMENT... 10. THE CONTRACTOR IS RESPONSIBLE FOR ALL QUALITY CONTROL TESTING... 11. ADDITION TO QUALITY CONTROL TESTING... 12. ANY DESIGN OR TESTING LABORATORY UTILIZED BY THE CONTRACTOR SHALL BE AN INDEPENDENT LABORATORY ACCEPTABLE TO THE OWNER AND THE ENGINEER... 13. THE ENTIRE PROJECT SITE SHALL BE THOROUGHLY CLEANED AT THE COMPLETION OF THE WORK... 14. THE UTILITY DATA SHOWN ON THESE PLANS WAS LOCATED BY THE RESPECTIVE UTILITY, OR IS BASED ON UTILITY DRAWINGS, MAPS, OR FIELD RECONNAISSANCE... 15. IF IT IS THE CONTRACTORS RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA... 16. A SINGLE POINT UTILITY IDENTIFICATION SERVICE HAS BEEN SET UP FOR EXISTING UTILITIES... 17. THE CONTRACTOR SHALL KEEP LOCATE TICKETS UP TO DATE AT ALL TIMES... 18. UPON THE RECEIPT OF THE NOTICE TO PROCEED... 19. THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION WITH EACH UTILITY AND ALL COSTS ASSOCIATED WITH THE PROTECTION OF EXISTING FACILITIES... 20. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO MAINTAIN SERVICE... 21. TYPICAL DETAILS AS SHOWN ARE TO ILLUSTRATE THE ENGINEERS INTENT AND ARE NOT PRESENTED AS A SOLUTION TO ALL METHODS TO THE ENGINEER... 22. FOR EACH RESPECTIVE PIPELINE CONSTRUCTION REQUIRED, THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION, DEPTH, AND ALIGNMENT OF ALL EXISTING PIPES...

III. SITE PREPARATION:

- 1. UNLESS OTHERWISE DIRECTED BY THE OWNER OR ENGINEER, THE CONTRACTOR IS EXPECTED TO CONTACT ALL CONSTRUCTION ACTIVITIES WITHIN THE PROJECTS RIGHT-OF-WAY AND ASSESSMENTS AS INDICATED ON THE DRAWINGS... 2. STAKE OUT THE CONSTRUCTION, ESTABLISH LINES AND LEVELS... 3. PROTECT ALL TREES AND SHRUBS LOCATED OUTSIDE THE RIGHT-OF-WAY... 4. WITHIN THE RIGHT-OF-WAY, EASEMENTS, AND OWNER SECURED PROPERTY... 5. TREES TO REMAIN IN THE CONSTRUCTION AREA SHALL BE CENCED, FENCED OR OTHERWISE PROTECTED... 6. AREAS TO RECEIVE CLEARING AND GRUBBING SHALL INCLUDE ALL AREAS TO BE OCCUPIED BY THE PROPOSED IMPROVEMENTS... 7. CLEARING SHALL CONSIST OF REMOVING TREES AND SHRUBS AND DISPOSAL OF OTHER MATERIALS... 8. EXERCISE EXTREME CARE DURING THE CLEARING AND GRUBBING OPERATIONS... 9. GRUBBING SHALL CONSIST OF REMOVING AND DISPOSING OF STAMPS, RODS, LOGS, LIMBS THAT ARE 4" IN DIAMETER AND MATTED ROOTS... 10. AMBULATORY DEBRIS AND REFUSE FROM SITE PREPARATION OPERATIONS SHALL BE REMOVED TO LEGAL OFFSITE DISPOSAL AREA... 11. DESIGN AND PROVIDE DETERMINING SYSTEMS INCLUDING ACCEPTED AND PROFESSIONAL METHODS... 12. CONTROL BY ADDITIONAL MEANS... 13. OPEN SUMPING WITH Sumps AND OTHERS SHALL BE ALLOWED... 14. DEWATERING EQUIPMENT NEEDS EXCESSIVE ANY OF THE FOLLOWING... 15. CONTINUOUSLY MAINTAIN EXCAVATIONS IN A DRY CONDITION... 16. WHEN CONSTRUCTION IS COMPLETE, REMOVE ALL DEWATERING EQUIPMENT FROM THE SITE...

IV. DEWATERING:

- 1. DESIGN AND PROVIDE DETERMINING SYSTEMS INCLUDING ACCEPTED AND PROFESSIONAL METHODS... 2. CONTROL BY ADDITIONAL MEANS... 3. OPEN SUMPING WITH Sumps AND OTHERS SHALL BE ALLOWED... 4. DEWATERING EQUIPMENT NEEDS EXCESSIVE ANY OF THE FOLLOWING... 5. CONTINUOUSLY MAINTAIN EXCAVATIONS IN A DRY CONDITION... 6. WHEN CONSTRUCTION IS COMPLETE, REMOVE ALL DEWATERING EQUIPMENT FROM THE SITE...

V. EROSION AND SEDIMENT CONTROL:

- 1. EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PROVIDED AND INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION... 2. MAINTAIN TEMPORARY EROSION CONTROL SYSTEMS AS DIRECTED BY OWNER OR GOVERNING AUTHORITIES... 3. CONTRACTOR SHALL RESPOND TO EROSION AND SEDIMENT CONTROL MAINTENANCE REQUIREMENTS... 4. CONTRACTOR WILL BE REQUIRED TO INCORPORATE PERMANENT EROSION CONTROL FEATURES INTO PROJECT AT EARLIEST PRACTICAL TIME... 5. THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS REPRESENT A MINIMUM REQUIREMENT... 6. GRASS AL DISTURBED AREAS WITHIN DAYS OF INITIAL DISTURBANCE... 7. INSPECT EVERY TWO WEEKS DURING CONSTRUCTION... 8. AREAS TO BE PAVED SHALL BE TREATED WITH A BITUMINOUS PRIME COAT... 9. THE CONTRACTOR SHALL SCHEDULE TO CONTACT WITHIN 24 HOURS AFTER INSTALLATION OF MAJOR CURB AND TO RECEIVE CONTRACTOR PAVING SUPERVISOR'S INSPECTION... 10. INSPECT EVERY TWO WEEKS DURING CONSTRUCTION... 11. AREAS TO BE PAVED SHALL BE TREATED WITH A BITUMINOUS PRIME COAT... 12. THE CONTRACTOR SHALL SCHEDULE TO CONTACT WITHIN 24 HOURS AFTER INSTALLATION OF MAJOR CURB...

VI. TRAFFIC CONTROL:

- 1. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING A MAINTENANCE OF TRAFFIC M.O.T. PLAN PRIOR TO CONSTRUCTION... 2. ALL CONSTRUCTION SIGNING AND MARKINGS SHALL BE INSTALLED PRIOR TO CONSTRUCTION... 3. INSPECT TRAFFIC CONTROL DEVICES ON A DAILY BASIS TO ENSURE PLACEMENT OF BARRICADES AND FUNCTION OF LIGHTS IS MAINTAINED THROUGHOUT CONSTRUCTION... 4. CONTACT PROPERTY OWNERS AFFECTED BY CONSTRUCTION... 5. WET UNSTABILIZED AREAS AS NECESSARY TO CONTROL DUST... 6. ADJUST TRAFFIC CONTROL DEVICES AS REQUIRED UNDER EMERGENCY CONDITIONS... 7. THE CONTRACTOR IS EXPECTED TO COORDINATE ITS ACTIVITIES WITH OTHER CONTRACTORS... 8. WHEN WORK OCCURS WITHIN 15 FT OF ACTIVE ROAD TRAVEL LANES... 9. PARTIAL OR TYPE II BARRICADES AT 20 FT CENTERS SHALL BE PLACED AND MAINTAINED ALONG THE EDGE OF THE ROAD... 10. TYPE III BARRICADES AT 35 FT CENTERS SHALL BE PLACED AND MAINTAINED ALONG THE EDGE OF THE ROAD... 11. TYPE I BARRICADES AT 45 FT CENTERS SHALL BE PLACED AND MAINTAINED ALONG THE EDGE OF THE ROAD... 12. TYPE IV BARRICADES AT 45 FT CENTERS SHALL BE PLACED AND MAINTAINED ALONG THE EDGE OF THE ROAD...

VII. STORM DRAINAGE:

- 1. EXCAVATION, TRENCHING, AND FILL... 2. ROUGH EXCAVATE AND GRADE AS PROPOSED STORMWATER POND... 3. STAKE OUT THE CONSTRUCTION, ESTABLISH LINES AND LEVELS... 4. FIELD DENSITY TESTING FREQUENCIES... 5. IT IS INTENDED THAT PREVIOUSLY EXCAVATED MATERIALS CONFORMING TO THE FOLLOWING REQUIREMENTS BE UTILIZED WHEREVER POSSIBLE... 6. PROVIDE BARRIERS, WARNING LIGHTS AND OTHER PROTECTIVE DEVICES AT ALL EXCAVATIONS... 7. SIDEWALKS, ROADS, STREETS, AND PAVEMENTS SHALL NOT BE CLOSED OR RESTRICTED BY EXCAVATED MATERIALS... 8. FURNISH INSTALL AND MAINTAIN WITHOUT ADDITIONAL COMPENSATION... 9. ALL EXCAVATIONS SHALL BE MADE BY OPEN CUT UNLESS OTHERWISE INDICATED... 10. EXCAVATE TRENCHES TO DEPTH INDICATED OR REQUIRED FOR INDICATED FLOW LINES... 11. EXCEPT AS OTHERWISE INDICATED... 12. TRENCH BOTTOMS AND THE BOTTOMS OF ALL STRUCTURES SHALL BE TOP DRY, COMPACTED, AND STABLE TO DEPTH TWO FEET BELOW THE BOTTOM OF THE TRENCH OR STRUCTURE... 13. ALL BEDDING, FILL, AND BACKFILL MATERIAL SHALL BE SUITABLE SOIL OR FLOWABLE FILL... 14. MINIMUM DENSITY REQUIREMENT... 15. ALL STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE (RCP) UNLESS OTHERWISE INDICATED ON THE DRAWINGS... 16. RCP PIPE SHALL NOT BE SHIPPED FROM MANUFACTURER UNTIL THE COMPRESSIVE STRENGTH OF THE PIPE HAS REACHED 400 PSI... 17. CORRUGATED POLYETHYLENE PIPE AND FITTINGS SHALL BE HIGH DENSITY... 18. UNDERDRAIN PIPE SHALL BE PERFORATED POLY-VINYL CHLORIDE PIPE... 19. ALL PIPE JOINTS SHALL BE WRAPPED WITH FILTER FABRIC... 20. INSTALL POLYETHYLENE PIPE IN ACCORDANCE WITH ASTM D3211... 21. ALL STORM PIPE SHALL BE CLEANED TO ELIMINATE ALL INTERNAL LINES AND STRUCTURES... 22. ALL STORM PIPE SHALL BE SUBJECT TO LEAKAGE TESTS... 23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A MAINTENANCE OF TRAFFIC M.O.T. PLAN PRIOR TO CONSTRUCTION... 24. CONTACT PROPERTY OWNERS AFFECTED BY CONSTRUCTION... 25. WET UNSTABILIZED AREAS AS NECESSARY TO CONTROL DUST... 26. ADJUST TRAFFIC CONTROL DEVICES AS REQUIRED UNDER EMERGENCY CONDITIONS... 27. THE CONTRACTOR IS EXPECTED TO COORDINATE ITS ACTIVITIES WITH OTHER CONTRACTORS... 28. WHEN WORK OCCURS WITHIN 15 FT OF ACTIVE ROAD TRAVEL LANES... 29. PARTIAL OR TYPE II BARRICADES AT 20 FT CENTERS SHALL BE PLACED AND MAINTAINED ALONG THE EDGE OF THE ROAD... 30. TYPE III BARRICADES AT 35 FT CENTERS SHALL BE PLACED AND MAINTAINED ALONG THE EDGE OF THE ROAD... 31. TYPE I BARRICADES AT 45 FT CENTERS SHALL BE PLACED AND MAINTAINED ALONG THE EDGE OF THE ROAD... 32. TYPE IV BARRICADES AT 45 FT CENTERS SHALL BE PLACED AND MAINTAINED ALONG THE EDGE OF THE ROAD...

VIII. PAVING AND GRADING:

- 1. PAVING, SIDEWALKS, AND CURBING... 2. MATERIALS AND CONSTRUCTION METHODS FOR ROADWAY AND PAVING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION... 3. SIDEWALKS ARE TO BE CONSTRUCTED IN THE AREAS AS SHOWN ON THE CONSTRUCTION PLANS... 4. CURBING SHALL BE CONSTRUCTED WHERE NOTED ON THE CONSTRUCTION PLANS... 5. INSTALL BARRIERS AND BASE COURSE MATERIALS WITHIN 48 HOURS OF THE REMOVAL OF POND CUTTING OF EXISTING WITHIN 1 DAYS AFTER REMOVAL OF EXISTING PAVEMENT... 6. AREAS TO RECEIVE ASPHALT PAVING SHALL BE PROTECTED WITH A LAYER OF FOOT COARSE AGGREGATE MATERIAL... 7. GRADING... 1. GRADING SHOWN ON THESE PLANS ARE PROVIDED TO THE CONTRACTOR TO EXPRESS THE GENERAL GRADING INTENT... 2. ALL PAVING SURFACES IN INTERSECTIONS AND ADJACENT SECTIONS SHALL BE GRADED TO DRAIN POSITIVELY... 3. UNIFORM SMOOTH GRADE... 4. SLOPE GRADIENTS TO DRAIN AWAY FROM STRUCTURES... 5. FINISHED SURFACES ADJACENT TO PAVED AREAS... 6. NEWLY GRADED AREAS SHALL BE PROTECTED FROM TRAFFIC AND EROSION... 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A MAINTENANCE OF TRAFFIC M.O.T. PLAN PRIOR TO CONSTRUCTION... 9. CONTACT PROPERTY OWNERS AFFECTED BY CONSTRUCTION... 10. WET UNSTABILIZED AREAS AS NECESSARY TO CONTROL DUST... 11. ADJUST TRAFFIC CONTROL DEVICES AS REQUIRED UNDER EMERGENCY CONDITIONS... 12. THE CONTRACTOR IS EXPECTED TO COORDINATE ITS ACTIVITIES WITH OTHER CONTRACTORS... 13. WHEN WORK OCCURS WITHIN 15 FT OF ACTIVE ROAD TRAVEL LANES... 14. PARTIAL OR TYPE II BARRICADES AT 20 FT CENTERS SHALL BE PLACED AND MAINTAINED ALONG THE EDGE OF THE ROAD... 15. TYPE III BARRICADES AT 35 FT CENTERS SHALL BE PLACED AND MAINTAINED ALONG THE EDGE OF THE ROAD... 16. TYPE I BARRICADES AT 45 FT CENTERS SHALL BE PLACED AND MAINTAINED ALONG THE EDGE OF THE ROAD... 17. TYPE IV BARRICADES AT 45 FT CENTERS SHALL BE PLACED AND MAINTAINED ALONG THE EDGE OF THE ROAD...

Table with 2 columns: Revision/Comment and Date. Contains 6 revision entries.

Table with 2 columns: Designed by, Drawn by, Checked by, Approved by, Scale, Date, Job No., and Plans for. Contains project information.

CHASE BANK 6420 BRD ROAD MIAMI, FLORIDA 33155

GENERAL NOTES

Sunshine logo and contact information for Sunshine LLC, including phone number and website.



DESIGN
666 N.E. 125th STREET,
SUITE 247
NORTH MIAMI, FL 33161
Phone: 305.720.2079
C.O.A. 33221



81170222
This item has been digitally signed and sealed by Christopher P. Collins, P.E. on the date adjacent to the seal.
Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Digitally signed by Christopher Collins
Date: 2024.10.21
16:26:04 -04'00'

Revision	▲	Date	Comment
Revision	▲	Date	Comment
Revision	▲	Date	Comment
Revision	▲	Date	Comment
Revision	▲	Date	Comment

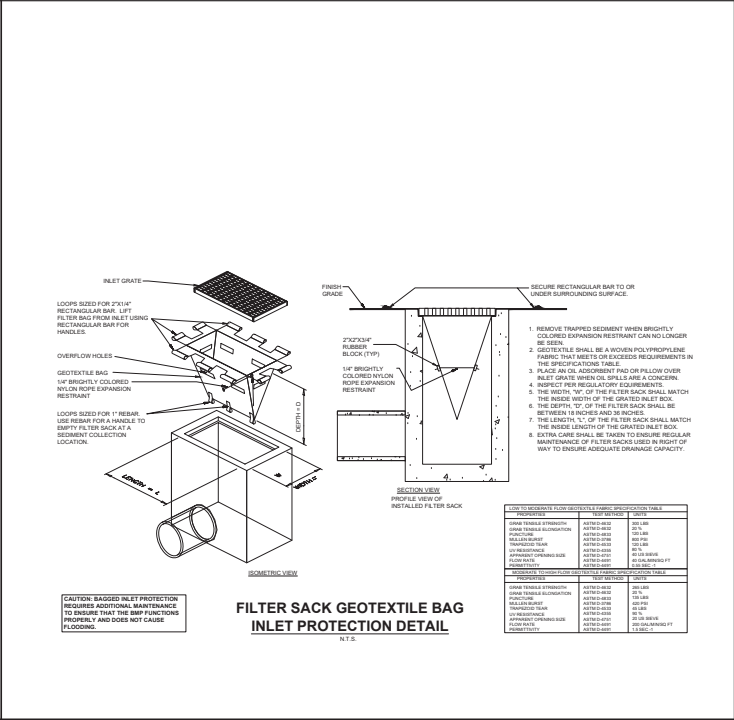
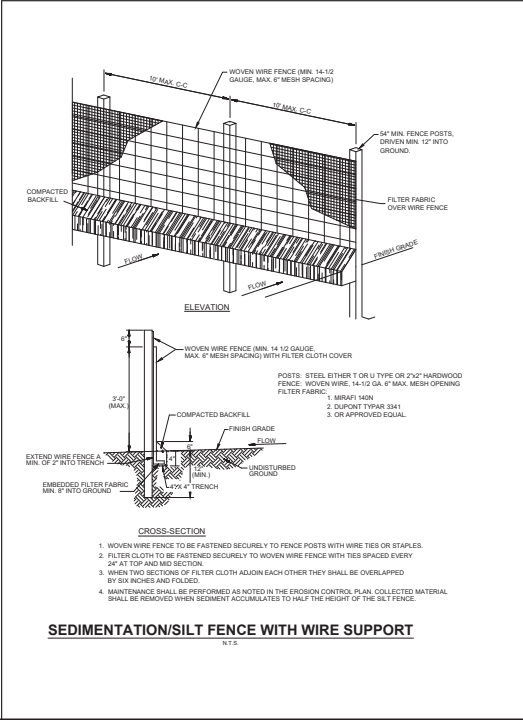
Designed by: C.P.C.
Drawn by: A.T.S.
Checked by: C.P.C.
Approved by: C.P.C.
Scale: N.T.S.
Date: 08/15/2024
Job No.: B012
© 2024

Plans for
CHASE BANK
6420 BIRD ROAD
MIAMI-DADE COUNTY, FLORIDA

EROSION CONTROL DETAILS

Sheet No.
C-3.1

Sunshine
Call 811 or visit sunshinefl.com two full business days before digging to have buried facilities located and marked.
Check positive response codes before you dig!





666 N.E. 125th STREET,
SUITE 247
NORTH MIAMI, FL 33161
Phone: 305.720.2079
C.O.A. 33221



This item has been digitally signed and sealed by Christopher P. Collins, P.E. on the date adjacent to the seal.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Digitally signed by Christopher Collins
Date: 2024.10.21 16:26:44 -04'00'

Revision	▲	Date	Comment

Designed by:	C.P.C.
Drawn by:	A.T.S.
Checked by:	C.P.C.
Approved by:	C.P.C.
Scale:	1" = 16'
Date:	07/31/2024
Job No.:	B012
© 2024	Plans for

CHASE BANK
6420 BIRD ROAD
MIAMI-DADE COUNTY, FLORIDA

SIGHT DISTANCE TRIANGLE

Sheet No.

C-5.1

INTERSECTION SIGHT DISTANCE: 6-LANE DIVIDED

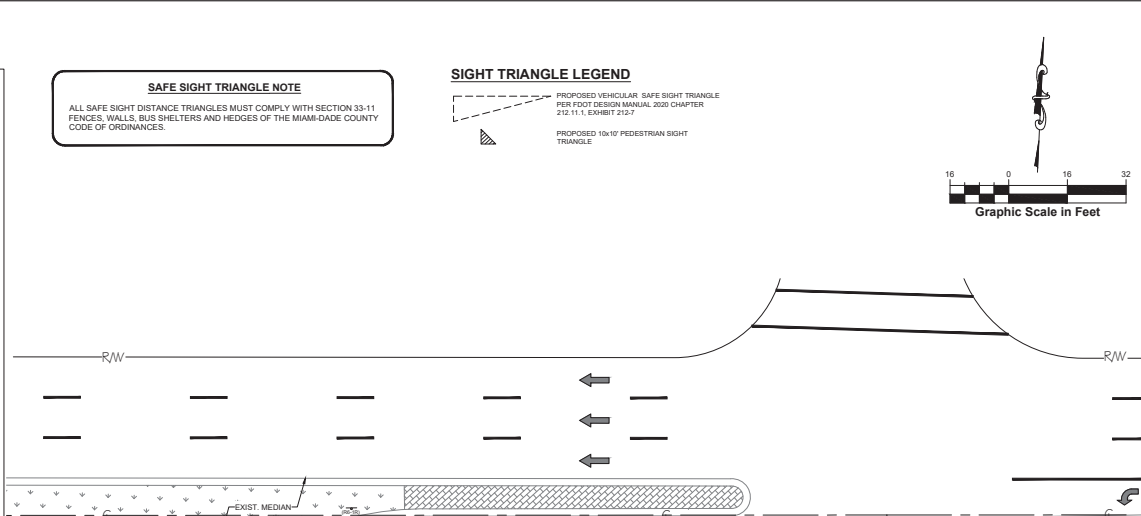
SAFE SIGHT TRIANGLE NOTE
ALL SAFE SIGHT DISTANCE TRIANGLES MUST COMPLY WITH SECTION 33-11 FENCES, WALLS, BUS SHELTERS AND HEDGES OF THE MIAMI-DADE COUNTY CODE OF ORDINANCES.

SIGHT TRIANGLE LEGEND
 - PROPOSED VEHICULAR SAFE SIGHT TRIANGLE PER FOOT DESIGN MANUAL 2020 CHAPTER 212.11, EXHIBIT 212-7
 - PROPOSED 10x10' PEDESTRIAN SIGHT TRIANGLE

NOTES FOR 6-LANE DIVIDED ROADWAY
 1. See Figure 212.11.1 for origin of clear sight triangles on the road side.
 2. Values shown in the tables are the general recommended side widths calculated based on 5000FT Case 2. Intersecting with Stop Control on the Road Side.

LEGEND
 - Green Line: Green Line of Sight Distances
 - Blue Line: Blue Line of Sight Distances

EXHIBIT 212-7 01/01/2023



S.W. 40TH STREET
SPEED LIMIT 40 MPH

FDOT DESIGN MANUAL 2024

Topic #625-000-002
FDOT Design Manual
January 1, 2024

212.11.1 Stop Control (AASHTO Case B)

Figure 212.11.1 illustrates clear sight triangles for intersections and driveways.

Figure 212.11.1 Clear Sight Triangles

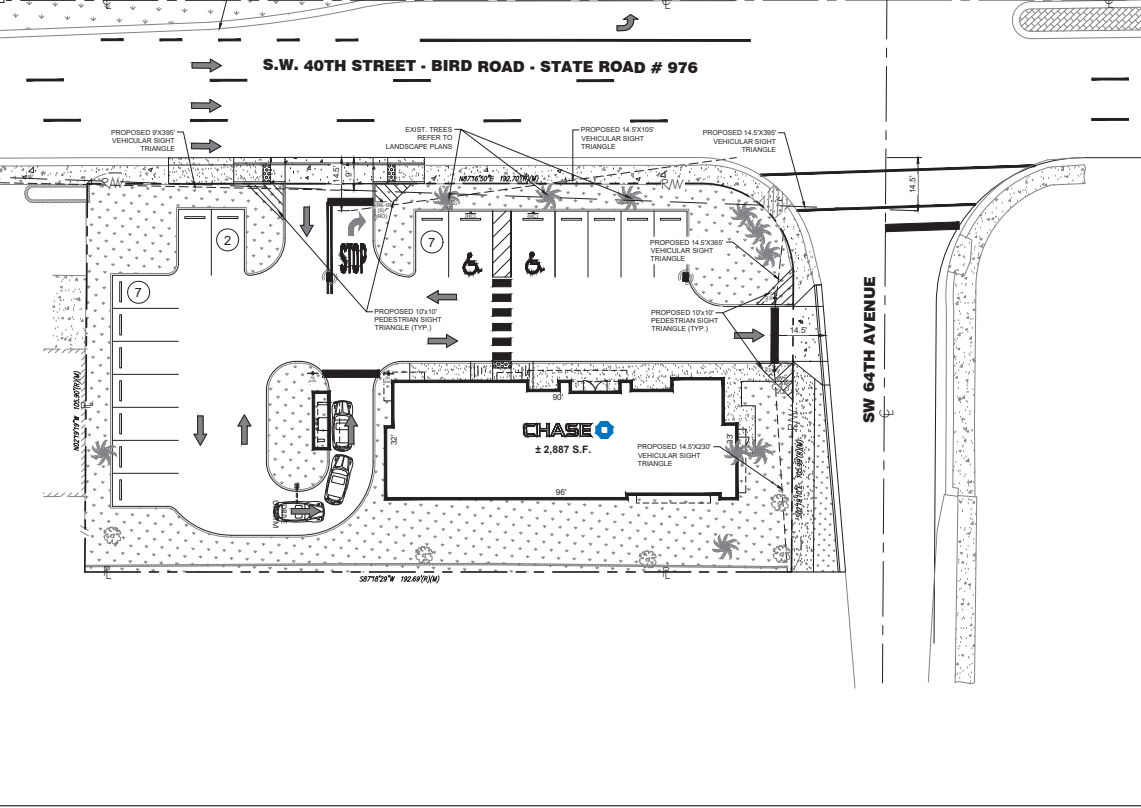
The minimum driver-eye setback of 14.5 feet from the edge of the traveled way may be adjusted on any intersection leg only when justified by a documented, site-specific field study of vehicle stopping position and driver-eye position.

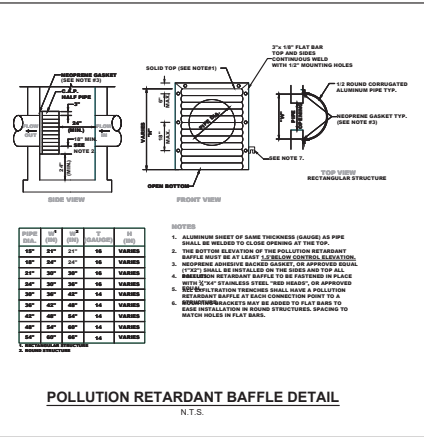
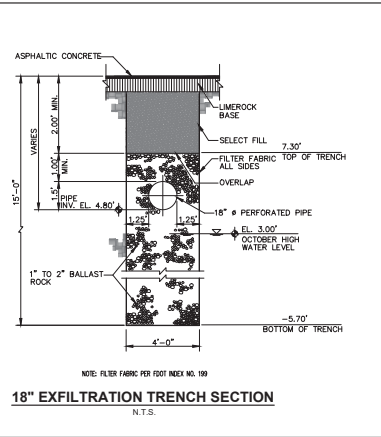
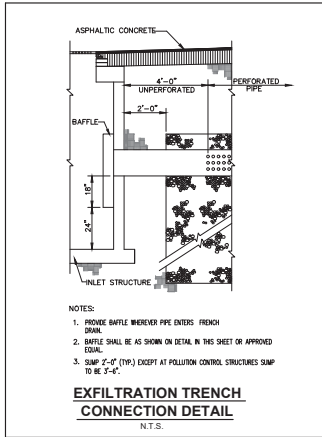
Exhibits 212-4 through 212-7 provide intersection sight distances for stop-controlled intersections. The tables in the exhibits provide sight distance values for Passenger vehicles, Single Unit (SU) Trucks, and Combination vehicles for design speeds ranging from 25 mph to 70 mph. Intersection sight distance based on Passenger vehicles is suitable for most intersections; however, consider the values for SU Vehicles or Combination vehicles for intersections with high truck volumes.

The following guidance applies to Exhibits 212-4 through 212-7:

- Limitations
 - The exhibits apply to intersections in all context classifications with stop control or flashing beacon control.
 - The exhibits apply only to intersections with intersecting angles between 60° and 120°, and where vertical and horizontal curves are not present.

212 - Intersections





PIPE DIA. (IN)	SPACING (IN)	NO. PER LIN. FT.	MIN. PERFORATION (IN)
18"	24"	21"	16
18"	30"	21"	16
24"	30"	21"	16
30"	30"	21"	16
36"	42"	14	14
42"	42"	14	14
48"	42"	14	14
54"	42"	14	14
60"	42"	14	14

- NOTES**
1. ALUMINUM SHEET OF SAME THICKNESS (GRADE) AS PIPE SHALL BE WELDED TO CLOSE OPENING AT THE TOP.
 2. THE BOTTOM SELECTION OF THE POLLUTION RETARDANT BAFFLE MUST BE AT LEAST 1/2 INCH ABOVE COLLECTION.
 3. NEOPRENE GASKETS SHALL BE USED TO SEAL JOINTS.
 4. NEOPRENE GASKETS SHALL BE INSTALLED ON THE SLOPE AND TOP ALL.
 5. NEOPRENE GASKETS SHALL BE INSTALLED ON THE SLOPE AND TOP ALL.
 6. NEOPRENE GASKETS SHALL BE INSTALLED ON THE SLOPE AND TOP ALL.
 7. NEOPRENE GASKETS SHALL BE INSTALLED ON THE SLOPE AND TOP ALL.
 8. NEOPRENE GASKETS SHALL BE INSTALLED ON THE SLOPE AND TOP ALL.
 9. NEOPRENE GASKETS SHALL BE INSTALLED ON THE SLOPE AND TOP ALL.
 10. NEOPRENE GASKETS SHALL BE INSTALLED ON THE SLOPE AND TOP ALL.
 11. NEOPRENE GASKETS SHALL BE INSTALLED ON THE SLOPE AND TOP ALL.

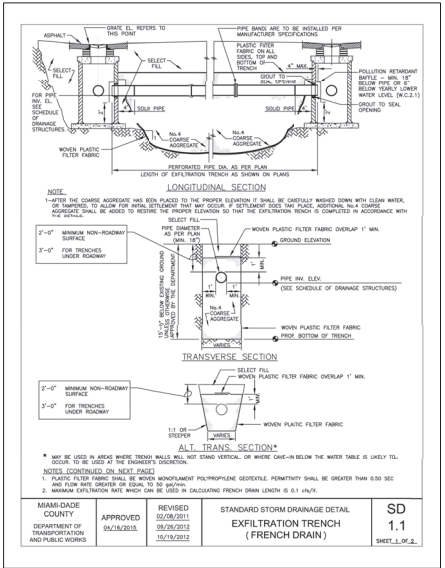
CRN DESIGN
666 N.E. 125th STREET, SUITE 247
NORTH MIAMI, FL 33161
Phone: 305.720.2079
C.O.A. 33221

10/14/2024

This item has been digitally signed and sealed by Christopher P. Collins, P.E. on the date adjacent to the seal.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Digitally signed by Christopher Collins
Date: 2024.10.21 16:27:16 -0400



GENERAL NOTES FOR PIPE CULVERTS

CONTRACTOR HAS THE OPTION OF INSTALLING ANY PIPE MEETING THE REQUIREMENTS OF SECTION 443-2 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AS LONG AS THE MANUFACTURER IS LISTED, AT THE TIME OF PIPE INSTALLATION. IN THE LIST OF APPROVED MANUFACTURERS QUALITY CONTROL PROGRAMS. PIPES WITH LESS THAN A 100-YEAR CERTIFICATION CANNOT BE USED ON SECTION LINE, HALF SECTION LINE, COLLECTOR ROADWAYS, AND ARTERIALS. 50-YEAR PIPE CERTIFICATION REQUIRED FOR ALL OTHER WORKLOAD ROADWAYS.

PIPE DIAMETER (IN)	OUTER SHELL	LINER
18	100	50
24	120	60
30	160	80
36	200	100
42	240	120
48	270	140
54	310	160
60	350	180
72	420	210
84	500	270

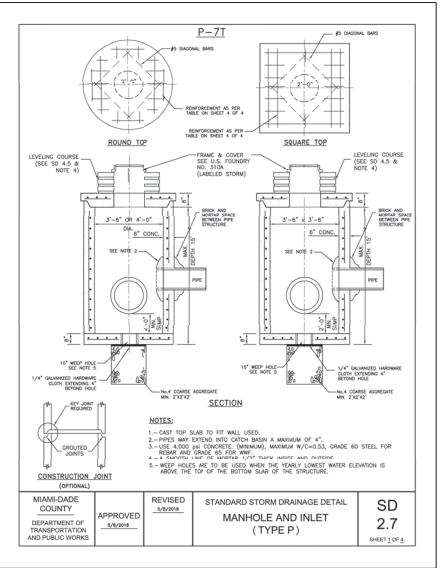
MINIMUM NUMBER OF PERFORATION IN PIPE CULVERTS

PIPE DIAMETER (IN)	NO. OF 1/2" DIA. HOLES (PER LN. FT. OF PIPE)	NO. OF 3/4" DIA. HOLES (PER LN. FT. OF PIPE)
18	100	50
24	120	60
30	160	80
36	200	100
42	240	120
48	270	140
54	310	160
60	350	180
72	420	210
84	500	270

NOTES

1. PERFORATION SHALL BE UNIFORMLY SPACED ALONG THE FULL PERIMETER OF THE PIPE TO WITHIN 4" OF EACH END OF EACH LENGTH OF PIPE. THE NUMBER OF PERFORATIONS PER LINEAR FOOT OF PIPE AND THE DIAMETER OF THE PERFORATIONS SHALL BE AS SHOWN ON THE ABOVE TABLE.
2. PERFORATION SHALL BE UNIFORMLY SPACED ALONG THE FULL PERIMETER OF THE PIPE TO WITHIN 4" OF EACH END OF EACH LENGTH OF PIPE. THE NUMBER OF PERFORATIONS PER LINEAR FOOT OF PIPE AND THE DIAMETER OF THE PERFORATIONS SHALL BE AS SHOWN ON THE ABOVE TABLE.
3. THE MINIMUM PIPE DIAMETER FOR DRAINAGE SYSTEM WITHIN THE ROADWAY RIGHT-OF-WAY SHALL BE 18 INCHES. 15 INCH PIPE MAY BE USED IN SPECIAL CIRCUMSTANCES.
4. THE MINIMUM PIPE DIAMETER SHALL BE 18 INCHES.
5. THE MINIMUM PIPE DIAMETER SHALL BE 18 INCHES.
6. THE MINIMUM PIPE DIAMETER SHALL BE 18 INCHES.
7. THE MINIMUM PIPE DIAMETER SHALL BE 18 INCHES.
8. THE MINIMUM PIPE DIAMETER SHALL BE 18 INCHES.
9. THE MINIMUM PIPE DIAMETER SHALL BE 18 INCHES.
10. THE MINIMUM PIPE DIAMETER SHALL BE 18 INCHES.
11. THE MINIMUM PIPE DIAMETER SHALL BE 18 INCHES.

MIAMI-DADE COUNTY
APPROVED: 04/18/2015
REVISOR: 05-22-13
STANDARD STORM DRAINAGE DETAIL
EXFILTRATION TRENCH (PIPE CULVERT NOTES)
SD 1.1
SHEET 2 OF 2



NOTES

1. CAST TOP SLAB TO FIT WALL USED.
2. PIPES MAY EXTEND INTO CATCH BASIN A MAXIMUM OF 4".
3. USE 4,000 PSI CONCRETE (MINIMUM). MINIMUM W/C=0.53. GRADE 80 STEEL FOR REINFORCING AND GRADE 60 FOR WELLS.
4. 1/4" GALVANIZED INVERT SHALL BE USED WITH THE YEAR'S LOWEST WATER ELEVATION IS ABOVE THE TOP OF THE BOTTOM SLAB OF THE STRUCTURE.

Standard Detail	Width (ft)	Length (ft)	Height (ft)	Wall Thickness (in)	SQUARE STRUCTURE			
					Top Slab Thickness (in)	Top Slab Steel	Bottom Slab Thickness (in)	Bottom Slab Steel
2.7	3.5	3.5	0.0-5.0	6.0	#4@10" E.W.	#4@7" E.W.	#4@10" E.W.	#4@10" E.W.
2.7	3.5	3.5	5.1-10.0	6.0	#4@10" E.W.	#4@7" E.W.	#4@10" E.W.	#4@10" E.W.
2.7	3.5	3.5	10.1-15.0	6.0	#5@8" E.W.	#4@6.5" E.W.	#4@10" E.W.	#4@10" E.W.

Standard Detail	Dia. (ft)	Dia. (ft)	Height (ft)	Wall Thickness (in)	ROUND STRUCTURE			
					Top Slab Thickness (in)	Top Slab Steel	Bottom Slab Thickness (in)	Bottom Slab Steel
2.7	3.5	4.0	0.0-5.0	6.0	#4@10" E.W.	#4@7" E.W.	#4@10" E.W.	#4@10" E.W.
2.7	3.5	4.0	5.1-10.0	6.0	#4@10" E.W.	#4@7" E.W.	#4@10" E.W.	#4@10" E.W.
2.7	3.5	4.0	10.1-15.0	6.0	#4@10" E.W.	#4@7" E.W.	#4@10" E.W.	#4@10" E.W.

MIAMI-DADE COUNTY
APPROVED: 04/18/2015
REVISOR: 05-22-13
STANDARD STORM DRAINAGE DETAIL
MANHOLE AND INLET (TYPE P)
SD 2.7
SHEET 1 OF 1

Revision **A** Date
Comment

Revision **A** Date
Comment

Revision **A** Date
Comment

Revision **A** Date
Comment

Revision **A** Date
Comment

Designed by: C.P.C.
Drawn by: A.T.S.
Checked by: C.P.C.
Approved by: C.P.C.
Scale: 1" = 10'
Date: 07/13/2024
Job No.: B012
© 2024
Plans for
CHASE BANK
6420 BIRD ROAD
MIAMI-DADE COUNTY, FLORIDA
GRADING & DRAINAGE DETAILS
Sheet No.
C-6.1



DESIGN

666 N.E. 125th STREET,
SUITE 247
NORTH MIAMI, FL 33161
Phone: 305.720.2079
C.O.A. 33221



9/20/2024

This item has been digitally signed and sealed by Christopher P. Collins, P.E. on the date adjacent to the seal.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Digitally signed by Christopher Collins

Date: 2024.10.21
16:27:49
0400*

Pressure Sanitary Sewer, Wastewater or Stormwater Force Main, or Reclaimed Water, at least 12 inches above or below.

* NOTE: CENTER 1-FULL LENGTH OF WATER MAIN PIPE AT CROSSINGS; ALTERNATIVELY ARRANGE PIPES SO JOINTS ARE AT LEAST 3 FEET FROM JOINTS IN VACUUM, STORM OR STORM FORCE MAINS, AT LEAST 6 FEET FROM JOINTS IN GRAVITY OR PRESSURE SEWERS, WASTEWATER FORCE MAINS OR RECLAIMED WATER.

Revision 1 Date Comment

Revision 1 Date Comment

Revision 1 Date Comment

Revision 1 Date Comment

Revision 1 Date Comment

Revision 1 Date Comment

Designed by: C.P.C.
Drawn by: A.T.S.
Checked by: C.P.C.
Approved by: C.P.C.
Scale: N.T.S.

Date: 09/19/2024

Job No.: B012

© 2024 Plans for

CHASE BANK
6420 BIRD ROAD
MIAMI-DADE COUNTY, FLORIDA

UTILITY NOTES

Sheet No. C-7.1

Sunshine
Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.
Check positive response codes before you dig!

HEALTH DEPARTMENT NOTES
(NOT A PART OF M-DWASD NOTES/NOR APPROVAL)

WATER MAIN HORIZONTAL SEPARATIONS

SEPARATIONS SHALL BE MEASURED ODDSIDE EDGE TO OUTSIDE EDGE BETWEEN WATER MAINS AND, STORM SEWERS, STORMWATER FORCE MAINS, OR RECLAIMED WATER LINES. SHALL BE 3 FT MINIMUM. BETWEEN WATER MAINS AND VACUUM TYPE SEWER PREFERABLY TO FT, AND AT LEAST 3 FT MINIMUM.

GRAVITY OR PRESSURE SANITARY SEWERS, WASTEWATER FORCE MAINS OR RECLAIMED WATER PREFERABLY 10 FT, AND AT LEAST 6 FT, MAY BE REUSED, TO 3 FT, FROM BOTTOM OF WATER MAINS TO AT LEAST 6 INCHES ABOVE TOP OF SEWER.

10 FT TO ANY PART OF ON-SITE SEWER TREATMENT OR DISPOSAL SYSTEM.

WATER MAIN VERTICAL SEPARATIONS

SEPARATIONS BETWEEN WATER MAINS AND GRAVITY SEWER, VACUUM TYPE SEWER, OR STORM SEWERS, TO BE PREFERABLY 12 INCHES, OR AT LEAST 6 INCHES ABOVE, OR AT LEAST 12 INCHES IF BELOW.

PRESSURE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR RECLAIMED WATER, AT LEAST 12 INCHES ABOVE OR BELOW.

* NOTE: CENTER 1-FULL LENGTH OF WATER MAIN PIPE AT CROSSINGS; ALTERNATIVELY ARRANGE PIPES SO JOINTS ARE AT LEAST 3 FEET FROM JOINTS IN VACUUM, STORM OR STORM FORCE MAINS, AT LEAST 6 FEET FROM JOINTS IN GRAVITY OR PRESSURE SEWERS, WASTEWATER FORCE MAINS OR RECLAIMED WATER.

(NOT PART OF MD-WASD NOTES NOR APPROVAL)
RER-DERM WATER-SEWER GENERAL NOTES

- A horizontal distance of at least 6 feet, and preferably 10 feet (outside to outside), shall be maintained between gravity or pressure sewer pipes and water pipes. The minimum horizontal separation can be reduced to 4 feet for non-pressurized water pipes for gravity sewers where the top of the sewer pipe is at least 4 inches below the bottom of the water pipe. When the above specified horizontal separation cannot be met due to an existing underground facility conflict, similar separations are allowed if one of the following is met:
 - The sewer pipe is designed and constructed equal to the water pipe and pressure tested at 350 psi.
 - The sewer is encased in a watertight carrier pipe or concrete.
 - The top of the carrier is at least 18 inches below the bottom of the water pipe.
- A vertical distance of at least 12 inches (outside to outside) shall be maintained between any water and sewer mains with sewer pipes, and utility crossing under sewer mains. The minimum vertical separation can be reduced to 6 inches if the maximum pipe sizes are 48 inches for water pipes and 36 inches for sewer pipes. The crossing shall be arranged so that all water main joints are at least 6 feet from all joints in gravity and pressure sewer pipes. This distance can be reduced to 3 feet for vacuum-type sewers. When the above specified vertical distance is not met due to an existing underground facility conflict, similar separations are allowed if one of the following is met:
 - The sewer pipe or designed and constructed equal to the water pipe and pressure tested at 350 psi.
 - The sewer is encased in a watertight carrier pipe or concrete.
- Air release valves shall be provided at high points of new force main sanitary sewers.
- Gravity sanitary sewers constructed with a public wellfield protection area shall be C900 PVC or Ductile Iron Pipe. The maximum allowable infiltration rate of gravity sanitary sewers constructed in a public wellfield protection area shall be:
 - Residential Land Uses: If they 500 gallons per inch pipe diameter per mile per day, based on a minimum two (2) hour test having a minimum of two (2) feet of positive head above the crown of the pipe.
 - Non-Residential Land Uses: If they 100 gallons per inch pipe diameter per mile per day, based on a minimum two (2) hour test having a minimum of two (2) feet of positive head above the crown of the pipe.
- Any observed leaks or any obviously defective joints or pipes shall be replaced even when the total leakage is below that allowed.
- The maximum allowable infiltration rate of gravity sanitary sewers constructed outside a public wellfield protection area shall be one hundred (100) gallons per inch pipe diameter per mile per day, based on a minimum two (2) hour test having a maximum of two (2) feet of positive head above the crown of the pipe. Any observed leaks or any obviously defective joints or pipes shall be replaced even when the total leakage is below that allowed.
- Force main sanitary sewers constructed within a public wellfield protection area shall be ductile iron, C-900 PVC, HDPE or reinforced concrete pressure sewer pipes.
- The maximum allowable infiltration/leakage rate of force main sanitary sewers shall be:
 - Ductile Iron, C-900 PVC, HDPE and PVC Pipe: The allowable leakage rate specified in American Water Works Association Standard (AWWA) C900 as at a test pressure of 350 psi for a duration of not less than two (2) hours.
 - Reinforced Concrete Pressure Pipe: Shall (12) the allowable leakage rate specified in AWWA C900-02 at a test pressure of 350 psi for a duration of not less than two (2) hours.
 - Any observed leaks or any obviously defective joints or pipes shall be replaced even when the total leakage is below that allowed.
- The contractor shall verify nature, depth, and character of existing underground utilities prior to construction.
- In no case shall a contractor install utility poles, conduits, cables, etc. in the same trench along an existing water or sewer pipe except where they cross.
- If any area of the work site is found to contain buried solid waste and/or ground or ground water contamination, the following shall apply:
 - Work in the area shall follow all applicable safety requirements (e.g., OSHA, etc.) and notification must be provided to the appropriate agencies.
 - Immediately notify the Environmental Monitoring and Restoration Division (EMRD). The EMRD can be contacted at (305) 372-6700.
 - If contaminated soils and/or buried solid waste material is encountered during construction, then they require proper handling and disposal in accordance with the local, state and federal regulations. Be advised that the landfill operator is the final authority on disposal and has been previously informed they are provided by permits. If disposal within a Miami-Dade County owned landfill (Class I landfill) is appropriate and selected, please contact the Miami-Dade County Department of Solid Waste Management at (305) 358-6468 for information.
 - The reuse of contaminated soils that are not returned to the original excavation requires prior approval of a Soil Management Plan from the Environmental Monitoring and Restoration Division. The EMRD can be contacted at (305) 372-6700.
- Pumps must comply with the National Electrical Code (NEC) requirements for Class I, Group D, Division 1 locations (Explosion Proof).
- The contractor is advised that a Tree Removal/Relocation Permit may be required prior to the removal and/or relocation of trees. Prior to removing or relocating any trees, the contractor shall notify the Tree and Forest Resources Section of DEM at (305) 372-6700 or via email at: tree@miami-dade.com, or contact the municipality with tree relocation jurisdiction to obtain any required permits. These trees must be identified with the construction shall be protected in place. In accordance with the provisions of Section 44-6.0 of the Miami-Dade Code.
- Please note that the demolition, removal and/or disturbance of existing underground utilities is prohibited. Any contractor who is subject to the provisions of Chapter 44-6.0, Subpart M, therefore, pursuant to the provisions of 40 CFR 41.144, a NOTICE OF DEMOLITION OR ASSISTED RENOVATION form must be filed with the Air Quality Management Division (AQMD) of DEMA, at least ten (10) working days prior to starting any work. Note that the handling and burial of legally "off" material from these locations to be considered active disposal sites and subject to 40 CFR 41.154, and 40 CFR 41.151 a year after permit completion. During standard operating procedures, as well as applicable federal, state and local regulatory criteria, must be followed and implemented to minimize any potential release of fugitive emissions, especially during project construction activities. The AQMD can be contacted via email at: aqmd@miami-dade.com or 305-372-6925.

- ALL MATERIALS AND LABOR UNDER THIS PROJECT SHALL BE IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE MIAMI-DADE WATER AND SEWER DEPARTMENT AND SHALL CONFORM TO THE CONDITIONS AND SPECIFICATIONS ANNEXED AND ON FILE WITH THE DEPARTMENT. SMALL RECORD DRAWINGS FOR ALL MATERIALS.
- COLOR CODE WATER OR SEWER FORCE MAINS SHALL BE 4" O.D. MIN.
- ALL MAIN LINE VALVES SHALL BE INSTALLED COMPLETE WITH 10" WIDER PIPES AND NO. 3 OR 10 INCH BOXES PER APPROVED AND SERVICE VALVES SHALL BE INSTALLED COMPLETE WITH 4" WIDER PIPES AND NO. 2 VALVE BOXES.
- ALL FORCE MAIN SERVICE CONNECTIONS AND PRESSURE TRANSMISSION MAINS SHALL HAVE A 5/8" O.D. VALVE AND CHECK VALVE AT THE POINT OF ENTRY.
- ALL GRUNDY SYSTEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH DEPARTMENT STANDARDS.
- ALL WATER METERS WILL BE INSTALLED BY THE MIAMI-DADE WATER AND SEWER DEPARTMENT, PROVIDING THE APPROPRIATE PROPERTY MAP WITH SERVICE.
- FIRE HYDRANT REQUIREMENTS (NUMBER AND LOCATION) SHALL BE AS REQUIRED BY MIAMI-DADE COUNTY FIRE DEPARTMENT OR THE APPROPRIATE FIRE AGENCY WITH INSTALLATION IN ACCORDANCE WITH DEPARTMENT STANDARDS.
- CONTRACTOR MUST CALL MIAMI-DERMS BEFORE BEGINNING TO WORK FOR A RECONSTRUCTION BEING A FULL BUSINESS DAY PRIOR TO PROPOSED START OF CONSTRUCTION. CONTACT ONE CALL CENTER 48 HRS PRIOR TO EXCAVATION.
- CONTRACTOR MUST VERIFY ANY FACILITIES APPROVED BY THE DEPARTMENT. ALL OTHER REQUIREMENTS OF THE PERMITTING AGENCY SHALL BE IN ACCORDANCE WITH THEIR STANDARDS AND REQUIREMENTS.
- WORK PERFORMED UNDER THIS PROJECT WILL NOT BE CONSIDERED AS COMPLETE UNTIL FINAL ACCEPTANCE OF THE SYSTEM BY THE DEPARTMENT AND UNTIL THE FOLLOWING DOCUMENTS ARE RECEIVED AND APPROVED BY THE DEPARTMENT:
 - CONTRACTS, IF REQUIRED.
 - CONTRACTOR'S WAIVER AND RELEASE OF JEN.
 - RESOLVE BILL OF SALE.
 - CONTRACTOR'S LETTER OF WAIVER (I.E. LETTER AGREEMENT).
 - LANDLORD'S CONTRACT BOND (I.E. CONTRACT AGREEMENT).
 - RECORD DRAWING PRINTS (I.E. ALL DRAWING SPECIFIC LOCATIONS, SEPTIC, ETC.) OF ALL WATER AND SEWER FACILITIES AS LOCATED BY A LICENSED SURVEYOR & MAPPER, ALONG WITH PRINTS OF "RECORD DRAWINGS" WHICH HAVE BEEN SIGNED AND SEALED BY A REGISTERED SURVEYOR & MAPPER (IN THE CASE OF PIPES 3-36" WATER < 48" DIAMETER SEWER) AND 3-48" FORCE MAIN OR PUMP STATION PROJECTS). Submittal of final CAD files required.
 - 1/8" X 6" LETTER OF RELEASE REQUIRED FOR ALL WATER PROJECTS.
 - BILL OF SALE SECTION (865-117) FOR WATER AND SEWER, SEPARATELY.
- ALL NEW CONNECTIONS FROM EXISTING MOVEMENT MAINS TO BE MADE BY DEPARTMENT FORCE ONLY. THE CONTRACTOR TO OBTAIN AT REQUIRED LOCATIONS, PRESSURE AND RESIDUAL MATERIAL WITH TENSILE PROOF TO APPROVAL OF WATER AND SEWER PLANT STAFFS, UPON REQUEST.
- UNLESS OTHERWISE SPECIFIED, ALL TAPS 3" INCHES AND SMALLER FOR CONNECTIONS TO EXISTING MAINS WILL BE DONE BY DEPARTMENT FORCE ONLY. UNLESS OTHERWISE SPECIFIED, UNDER NO CIRCUMSTANCES WILL THE CONTRACTOR BE PERMITTED TO USE EXISTING MAINS IN THE SAME RANGE SPECIFIED ABOVE. THE TAPPING SLICET AND TAPPING WELDS ARE FORMERED AND INSTALLED BY THE CONTRACTOR UNDER THE SUPERVISION OF THE INSPECTOR.

- AT THE COMPLETION OF ANY WATER AND SEWER JOB EITHER DONATION OR CONTRACT, THE CONTRACTOR SHALL SUBMIT:
 - RECORD DRAWING PRINTS WHICH HAVE BEEN SIGNED AND SEALED BY A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER (O.D. OF PRINTS AS REQUIRED BY THE DEPARTMENT).
- "RECORD DRAWING" FORMAT:
 - 4 1/2" X 6" PRINTS
 - PDF FILE
 - CAD FILE (DWG OR DWT) ROTATED AND SKEWED TO STATE PLANE COORDINATES NO. 83 FLORIDA EAST ZONE
 - THE WORDS "RECORD DRAWING" IN LARGE LETTERS
 - TITLE BLOCK WITH DEPARTMENT ID, DN OR ER NUMBER AND PERTINENT INFORMATION
 - REFERRED SCALE TO BE 1" = 4' HORIZONTALLY AND 1" = 4' VERTICALLY*
 - SEWER RECORD DRAWINGS FOR WATER AND SEWER
 - SEPARATE WATER AND SEWER PROFILE
 - STANDARD STARTING WITH ELEVATION AT PERMANENT REFERENCE POINT (I.E. 6.1, ETC.) AS SHOWN ON DESIGN PERMIT PLANS, AND TO RUN CONTINUOUSLY TO END OF MAIN
 - LEGENDS, IF ANY, TIED TO PERMANENT REFERENCE POINT
 - IDENTIFY ALL CONTROL LINES (I.E. B.O.C. LINE, PROPERTY LINE, E/WK, ETC.)
 - ALL "TYPED" INFORMATION TO BE REPRODUCED FROM PRINTS, LEAVING ONLY RECORD DRAWING INFORMATION REFLECTED IN DRAWINGS
- WATER "RECORD DRAWING" MUST INCLUDE:
 - PLANS SHOWING PIPE SIZE, MATERIAL AND OFFSET OF MAIN, DEFLECTIONS (IF ANY), CURVES OF SERVICE, FITTINGS, VALVES, FITTINGS, ETC. ALL IN STATE PLANE COORDINATES. UTILITY CROSSINGS SHALL BE CLEARLY IDENTIFIED AND LOCATED
 - PROFILE SHOWING TOP OF GROUND AND TOP OF PIPE ELEVATIONS AT EVERY 10' STATION AND AT ANY CHANGE IN CURVE (WITH CORRESPONDING STATION), PIPE SIZE AND PIPE MATERIALS REFERENCED TO PLAN
- SEWER "RECORD DRAWING" MUST INCLUDE:
 - PLAN SHOWING MANHOLE NUMBER PIPE SIZE AND PIPE MATERIAL, OF PIPE, DEFLECTION, SLOPE OF GRAVITY SEWER, LOCATION OF LATRINES WITH REFERENCE TO MANHOLE AND CLEANOUTS.
 - THE NATURE AND LOCATED COORDINATES ON ALL FIELD OBTAINED MEASUREMENTS NOT PROVIDED ON ALL RECORD DRAWING SUBMITTAL.
 - PROFILE SHOWING MANHOLE NUMBER (AS PER PLAN), IN AND INVERT ELEVATIONS (IF MORE THAN ONE INVERT, LABEL NORTH, SOUTH, ETC.), AND STATION STARTING AT 0+00 AND DOWNSTREAM MANHOLE.
- FORCE MAIN "RECORD DRAWING" SAME AS WATER MAIN
- EACH RECORD DRAWING SHALL SHOW THE FLORIDA STATE PLANE COORDINATES (CURRENT REQUIREMENT OF ALL THE MANHOLES AND VALVES AND OF AT LEAST THE HORIZONTAL CONTROL POINTS PROPERLY IDENTIFIED AND LOCATED WITHIN THE PROJECT.

* OTHER SCALE MAY BE PERMITTED, BUT MUST BE APPROVED BY THE DEPARTMENT PRIOR TO PREHENSION OF DRAWINGS.

DATE	APPROVED BY	STANDARD REQUIREMENTS WATER AND SEWER CONSTRUCTION	SCALE	SHEET
07/26/2016	[Signature]		0.5	1 of 2

DATE	APPROVED BY	STANDARD DETAIL REQUIREMENTS	SCALE	SHEET
07/20/2016	[Signature]		0.5	2 of 2



666 N.E. 125th STREET,
SUITE 247
NORTH MIAMI, FL 33161
Phone: 305.720.2079
C.O.A. 33221



This item has been digitally signed and sealed by Christopher P. Collins, P.E. on the date adjacent to the seal.

Digitally signed by Christopher Collins
Date: 2024.10.21 16:28:08 -04'00'

Revision	▲	Date
Comment		
Revision	▲	Date
Comment		
Revision	▲	Date
Comment		
Revision	▲	Date
Comment		
Revision	▲	Date
Comment		

Designed by: C.P.C.
 Drawn by: A.T.S.
 Checked by: C.P.C.
 Approved by: C.P.C.
 Scale: 1" = 10'
 Date: 09/19/2024
 Job No.: B012
 © 2024

Plans for
CHASE BANK
 6420 BIRD ROAD
 MIAMI-DADE COUNTY, FLORIDA

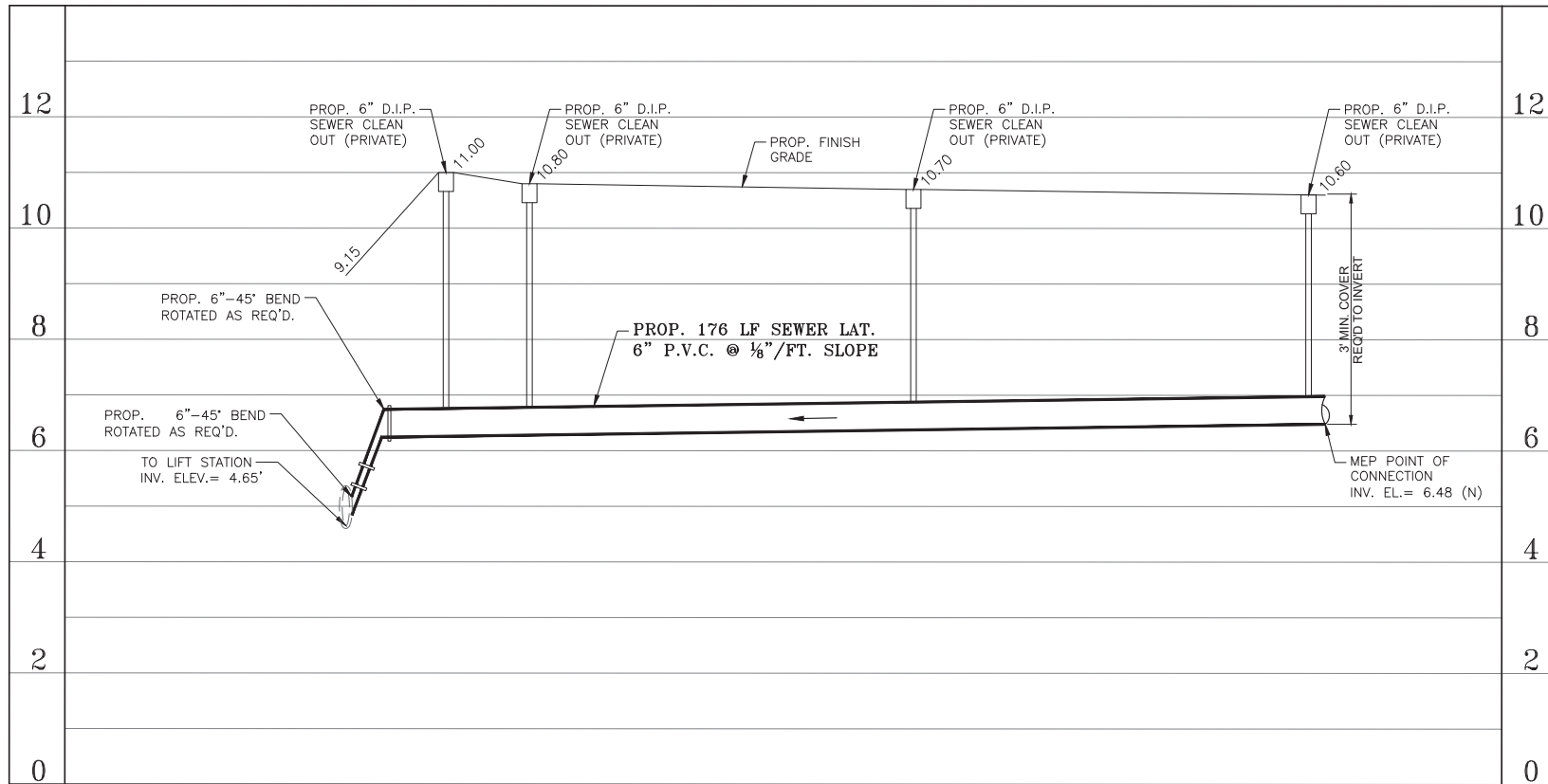
SEWER PROFILE

Sheet No.
C-7.2

MD-WASD CROSSING NOTE
 WATER AND SEWER/STORM PIPE JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING WITH NO LESS THAN 10 FEET BETWEEN ANY TWO JOINTS (TYP)

NOT PART OF M-DWASD NOTES NOR APPROVAL
 CONTRACTOR TO VERIFY LOCATION AND INVERT ELEVATION OF EXISTING WATER, STORM, SANITARY SEWER, AND ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF WORK.

MD-WASD NOTES
 ALL EXISTING MAINS BEING IMPACTED BY THIS PROJECT AND PROP WATER AND FORCE MAINS AND FITTINGS TO BE RESTRAINED PER GS 2.0.
 2.5 DEGREE MAXIMUM DEFLECTION (TYP)



PROP. 176 LF - 6" P.V.C. SAN. SEWER LATERAL (PRIVATE)
 HOR. 1"=20' VER. 1"=2'

Disclosure of Interest*

If a **CORPORATION** owns or leases the subject property, list principal stockholders and percent of stock owned by each. [Note: Where principal officers or stockholders consist of other corporation(s), trust(s), partnership(s) or other similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

CORPORATION NAME: Boos - Bird Rd, LLC

NAME AND ADDRESS	PERCENTAGE OF STOCK
Boos Florida Development, LLC	100%
380 Park Place Blvd., Suite 200	
Clearwater, FL 33759	
Robert (Rob) B. Boos - 50%; Robert (Bob) D. Boos - 50%	

If a **TRUST or ESTATE** owns or leases the subject property, list the trust beneficiaries and the percent of interest held by each. [Note: Where beneficiaries are other than natural persons, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

TRUST/ESTATE NAME: _____

NAME AND ADDRESS	PERCENTAGE OF INTEREST
_____	_____
_____	_____
_____	_____

If a **PARTNERSHIP** owns or leases the subject property, list the principals including general and limited partners. [Note: Where the partner(s) consist of another partnership(s), corporation(s), trust(s) or other similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

PARTNERSHIP OR LIMITED PARTNERSHIP NAME: _____

NAME AND ADDRESS	PERCENTAGE OF OWNERSHIP
_____	_____
_____	_____
_____	_____

**Disclosure shall not be required of: 1) any entity, the equity interests in which are regularly traded on an established securities market in the United States or another country; or 2) pension funds or pension trusts of more than five thousand (5,000) ownership interests; or 3) any entity where ownership interests are held in a partnership, corporation or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership and where no one (1) person or entity holds more than a total of five per cent (5%) of the ownership interest in the partnership, corporation or trust. Entities whose ownership interests are held in a partnership, corporation, or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership, shall only be required to disclose those ownership interest which exceed five (5) percent of the ownership interest in the partnership, corporation or trust.*

Disclosure of Interest

If there is a **CONTRACT FOR PURCHASE**, by a Corporation, Trust or Partnership list purchasers below, including principal officers, stockholders, beneficiaries or partners. [Note: Where principal officers, stockholders, beneficiaries or partners consist of other corporations, trusts, partnerships or other similar entities, further disclosure shall be made to identify natural persons having the ultimate ownership interests].

NAME OF PURCHASER: _____


NAME AND ADDRESS	PERCENTAGE OF INTEREST
_____	_____
_____	_____
_____	_____
_____	_____

If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership or trust:

_____	_____
_____	_____
_____	_____
_____	_____

NOTICE: For any changes of ownership or changes in purchase contracts after the date of the application, but prior to the date of final public hearing or zoning determination, a supplemental disclosure of interest is required.

The above is a full disclosure of all parties of interest in this application to the best of my knowledge and belief.

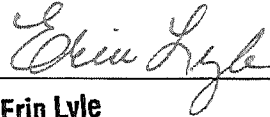


 Signature Curtis J. Neel
 Print Name

Sworn to and subscribed to before me on the 24th day of June, 2024

Affiant is personally known to me or has produced na as identification.



Notary: 
 Erin Lyle
 [Stamp/Seal]

Commission expires: 3/16/2025

This form is available online at www.miamidade.gov/zoning/forms.asp

FORM REVISION 2019/3

This instrument was prepared by:

Name: Jerry B. Proctor, Esq.
Jerry B. Proctor, PA
7600 SW 57 Avenue, Suite 210
South Miami, FL 33143

(Space reserved for Clerk)

DECLARATION OF RESTRICTIONS

Boos - Bird Rd., LLC

WHEREAS, the undersigned Owner, ~~Boos - Bird Rd., LLC~~ holds the fee simple title to the land in Miami-Dade County, Florida, described in Exhibit "A," attached hereto, and hereinafter called the "Property," which is supported by the attorney's opinion, and

IN ORDER TO ASSURE the County that the representations made by the owner during consideration of Public Hearing No. 22024000160 will be abided by the Owner freely, voluntarily and without duress makes the following Declaration of Restrictions covering and running with the Property:

- (1) The Property will be developed substantially in accordance with the plans submitted for the hearing entitled "Chase Bank", prepared by URBN Design, dated stamped received 11/18/2024 and consisting of 11 sheets, demolition plan and site plan dated stamped received 4/9/2025, and floor plan entitled, "Chase proposed floor plan", as prepared by Unknown, dated stamped received 8/12/2024, consisting of 1 sheet, Elevation plan entitled, "Bird Ludlam", as prepared by TPG Architecture, dated stamped received 8/12/2024, consisting of 1 sheet and landscape plan entitled "Chase Bank" as prepared by Green Earth Landscape Architecture, consisting of 3 sheets, dated stamped received 8/12/2024 for total of 18 sheets..

County Inspection. As further part of this Declaration, it is hereby understood and agreed that any official inspector of Miami-Dade County, or its agents duly authorized, may have the privilege at any time during normal working hours of entering and inspecting the use of the premises to determine whether or not the requirements of the building and zoning regulations and the conditions herein agreed to are being complied with.

Covenant Running with the Land. This Declaration on the part of the Owner shall constitute a covenant running with the land and may be recorded, at Owner's expense, in the public records of Miami-Dade County, Florida and shall remain in full force and effect and be binding upon the undersigned Owner, and their heirs, successors and assigns until such time as the same is modified or released. These restrictions during their lifetime shall be for the benefit of, and limitation upon, all present and future owners of the real property and for the benefit of Miami-Dade County and the public welfare. Owner, and their heirs, successors and assigns, acknowledge that acceptance of this Declaration does not in any way obligate or provide a limitation on the County.

Term. This Declaration is to run with the land and shall be binding on all parties and all persons claiming under it for a period of thirty (30) years from the date this Declaration is recorded after which time it shall be extended automatically for successive periods of ten (10) years each, unless an instrument signed by the, then, owner(s) of the Property has been recorded agreeing to change the covenant in whole, or in part, provided that the Declaration has first been modified or released by Miami-Dade County.

Modification, Amendment, Release. This Declaration may be modified, amended or released as to the Property, or any portion thereof, by a written instrument executed by the, then, owner(s) of the property, including joinders of all mortgagees, if any, provided that the same is also approved by the Board of County Commissioners or Community Zoning Appeals Board of Miami-Dade County, Florida, whichever by law has jurisdiction over such matters, or the Director as provided by the Miami-Dade County Code of Ordinances. It is provided, however, in the event that the Property is annexed to an existing municipality or the Property is incorporated into a new municipality, any modification, amendment, or release shall not become effective until it is approved by such municipality and is thereafter approved by the Board of County Commissioners, in accordance with applicable procedures.

Enforcement. Enforcement shall be by action against any parties or person violating, or attempting to violate, any covenants. The prevailing party in any action or suit pertaining to or arising out of this declaration shall be entitled to recover, in addition to costs and disbursements allowed by law, such sum as the Court may adjudge to be reasonable for the services of his attorney. This enforcement provision shall be in addition to any other remedies available at law, in equity or both.

Authorization for Miami-Dade County to Withhold Permits and Inspections. In the event the terms of this Declaration are not being complied with, in addition to any other remedies available, the County is hereby authorized to withhold any further permits, and refuse to make any inspections or grant any approvals, until such time as this declaration is complied with.

Election of Remedies. All rights, remedies and privileges granted herein shall be deemed to be cumulative and the exercise of any one or more shall neither be deemed to constitute an election of remedies, nor shall it preclude the party exercising the same from exercising such other additional rights, remedies or privileges.

Presumption of Compliance. Where construction has occurred on the Property or any portion thereof, pursuant to a lawful permit issued by the County, and inspections made and approval of occupancy given by the County, then such construction, inspection and approval shall create a rebuttable presumption that the buildings or structures thus constructed comply with the intent and spirit of this Declaration.

Severability. Invalidation of any one of these covenants, by judgment of Court, shall not affect any of the other provisions which shall remain in full force and effect. However, if any material portion is invalidated, the County shall be entitled to revoke any approval predicated upon the invalidated portion

Recording. This Declaration shall be filed of record in the public records of Miami-Dade County, Florida at the cost of the Owners following the approval of the Application. This Declaration shall become effective immediately upon recordation. Notwithstanding the previous sentence, if any appeal is filed, and the disposition of such appeal results in the denial of the application, in its entirety, then this Declaration shall be null and void and of no further effect. Upon the disposition of an appeal that results in the denial of the Application, in its entirety, and upon written request, the Director of the Regulatory and Economic Resources Department or the executive officer of the successor of said department, or in the absence of such director or executive officer by his/her assistant in charge of the office in his/her absence, shall forthwith execute a written instrument, in recordable form, acknowledging that this Declaration is null and void and of no further effect.

Acceptance of Declaration. Acceptance of this Declaration does not obligate the County in any manner, nor does it entitle the Owner to a favorable recommendation or approval of any application, zoning or otherwise, and the Board of County Commissioners and/or any appropriate Community Zoning Appeals Board retains its full power and authority to deny each such application in whole or in part and to decline to accept any conveyance or dedication.

Owner. The term Owner shall include the Owner, and its heirs, successors and assigns.

[Execution Pages Follow]

Signed, witnessed, executed and acknowledged this 9 day of May, 2025.

Witnesses:

BOOS - BIRD RD, LLC,
a Florida limited liability company

By: Boos Florida Development, LLC,
a Florida limited liability company,
its Manager

[Signature]

By: [Signature]

Print Name: Maureen Wolfe

380 Park Place Blvd, Suite 200
Clearwater, FL 33759

Curtis J Neel, Manager

Name
380 Park Place Blvd, Suite 200
Clearwater, FL 33759

Print Name: KARIZZE GOSE

380 Park Place Blvd, Suite 200
Clearwater, FL 33759

STATE OF FLORIDA)
 Pinellas
COUNTY OF ~~MIAMI-DADE~~)

The foregoing instrument was acknowledged before me this 9 day of May, 2025 by Curtis J Neel, on behalf of Boos Bird Rd, LLC, who is personally known to me or produced _____ as identification.

By: [Signature]
Notary Public

My Commission Expires:

Print Name: Maureen Wolfe

Serial No: HH 405496

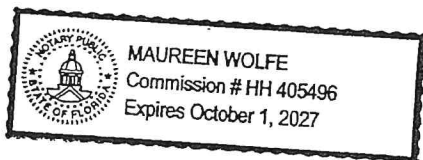


Exhibit "A"

Legal Description

Lots 3, 4, and 5, Block 1, "Lake Heights", according to the Plat thereof, as recorded in Plat Book 46, at Page 32 of the Public Records of Miami-Dade County, Florida.

Said lands situate, lying and being in Miami-Dade County, Florida

JOINDER BY MORTGAGEE CORPORATION

The undersigned United Community Bank, a South Carolina chartered bank (state) ~~corporation~~ and Mortgagee under that certain mortgage from Boos-Bird RD, LLC dated the 21st day of June, 2024, 34286, Page 2656, of the Public Records of Miami-Dade County, Florida, covering all/or a portion of the property described in the foregoing agreement, does hereby acknowledge that the terms of this agreement are and shall be binding upon the undersigned and its successors in title.

IN WITNESS WHEREOF, these presents have been executed this 12th day of May, 2025.

Witnesses:

Wilson
Signature
Penelope Wilson
Print Name
Melanie R. Morgan
Signature
Melanie R. Morgan
Print Name

United Community Bank, a south Carolina chartered bank
Name of Corporation
Address: 5426 Bay Center Drive
Suite 175
Tampa, FL 33609
By [Signature]
(President, Vice-President or CEO*)

Print Name: Timothy Sousa

[*Note: All others require attachment of original corporate resolution of authorization]

STATE OF Florida
COUNTY OF Hillsborough

The foregoing instrument was acknowledged before me by Timothy Sousa (Name)
the Senior Vice President of United Community Bank (Name) ~~corporation~~, on behalf of the Bank (Title) corporation. He/She is personally known to me or has produced _____, as identification.

Witness my signature and official seal this 10th day of May, 2025, in the County and State aforesaid.

Melanie R. Morgan
(Signature)
Notary Public-State of Florida
Melanie R. Morgan
(Print Name)

My Commission Expires: 5/5/2026

