



# Final Kit

**Community Zoning Appeals Board 14**  
**Naranja Park, 14150 SW 264 Street, Miami, FL**  
**Monday, March 17, 2025 at 6:30 pm**

**PREVIOUSLY DEFERRED**

A.	Z2022000312	VB BTS II, LLC	22-312	57-38-09	N
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**APPEALS**

**CURRENT**

1.	Z2024000227	Juan Peralta & Maria De Los Angeles Neyra	24-227	56-39-14	N
2.	Z2024000230	First Watch Restaurant	24-230	55-39-24	N



# Official Zoning Agenda

COMMUNITY ZONING APPEALS BOARD

**COMMUNITY ZONING APPEALS BOARD - AREA 14**

**MEETING OF MARCH 17, 2025**

**NARANJA PARK**

**14150 SW 264 STREET, MIAMI, FLORIDA**

**NOTICE: THE FOLLOWING HEARINGS ARE SCHEDULED FOR 6:30 P.M., AND**

**ALL PARTIES SHOULD BE PRESENT AT THAT TIME**

ANY PERSON MAKING IMPERTINENT OR SLANDEROUS REMARKS OR WHO BECOMES BOISTEROUS WHILE ADDRESSING THE COMMUNITY ZONING APPEALS BOARD SHALL BE BARRED FROM FURTHER AUDIENCE BEFORE THE COMMUNITY ZONING APPEALS BOARD BY THE PRESIDING OFFICER, UNLESS PERMISSION TO CONTINUE OR AGAIN ADDRESS THE BOARD BE GRANTED BY THE MAJORITY VOTE OF THE BOARD MEMBERS PRESENT.

NO CLAPPING, APPLAUDING, HECKLING OR VERBAL OUTBURSTS IN SUPPORT OR OPPOSITION TO A SPEAKER OR HIS OR HER REMARKS SHALL BE PERMITTED. NO SIGNS OR PLACARDS SHALL BE ALLOWED IN THE MEETING ROOM. PERSONS EXITING THE MEETING ROOM SHALL DO SO QUIETLY.

THE USE OF CELL PHONES IN THE MEETING ROOM IS NOT PERMITTED. RINGERS MUST BE SET TO SILENT MODE TO AVOID DISRUPTION OF PROCEEDINGS. INDIVIDUALS, INCLUDING THOSE ON THE DAIS, MUST EXIT THE MEETING ROOM TO ANSWER INCOMING CELL PHONE CALLS. COUNTY EMPLOYEES MAY NOT USE CELL PHONE CAMERAS OR TAKE DIGITAL PICTURES FROM THEIR POSITIONS ON THE DAIS.

THE NUMBER OF FILED PROTESTS AND WAIVERS ON EACH APPLICATION WILL BE READ INTO THE RECORD AT THE TIME OF HEARING AS EACH APPLICATION IS READ.

THOSE ITEMS NOT HEARD PRIOR TO THE ENDING TIME FOR THIS MEETING, WILL BE DEFERRED TO THE NEXT AVAILABLE ZONING HEARING MEETING DATE FOR THIS BOARD.

SWEARING IN OF WITNESSES

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**A. VB BTS II, LLC. Z2022000312**

**Area 14/District 08**

The application seeks to permit the installation of a 150' high wireless supported facility and ancillary service equipment.

UNUSUAL USE to permit a 150' high wireless supported facility and ancillary service equipment.

Plans are on file and may be examined in the Department of Regulatory and Economic Resources with site plan, tower elevations and civil plans entitled "Avocado Drive Site #: US-FL-7093", prepared by Tower Engineering Professionals, dated stamped received 11/4/2024, consisting of 11 sheets and landscape plans entitled "US-FL-7093 Avocado Miami-Dade", prepared by Kempton Rinard Landscape Architects, dated stamped received 3/6/23, consisting of 2 sheets, for a total of 13 sheets. Plans may be modified at public hearing.

**Location:** Lying approximately 1,100 feet north SW 312 Street and between SW 207 Avenue & SW 209 Avenue, Miami- Dade County, Florida.

**SIZE OF PROPERTY:** 31.27 Acres

Department of Regulatory and  
Economic Resources  
Recommendation:

**Approval with conditions.**

Protests: 0

Waivers: 0

APPROVED: \_\_\_\_\_

DENIED WITH PREJUDICE: \_\_\_\_\_

DENIED WITHOUT PREJUDICE: \_\_\_\_\_  
**Deferred from January 16, 2025**

DEFERRED: \_\_\_\_\_

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**1. JUAN PERALTA & MARIA DE LOS ANGELES NEYRA Z2024000227 Area 14/District 08**

The application is to allow an existing detached covered terrace to be located closer to the interior side property line, and a detached accessory shed structure to be located closer to the interior side and rear property lines than required by Code.

1) NON-USE VARIANCE to permit an existing detached covered terrace to setback a minimum of 5.5' (20' required) from the interior side (north) property line.

2) NON-USE VARIANCE to permit an existing detached shed to setback a minimum of 16.10' (20' required) from the interior side (south) and setback a minimum of 5.36' (7.5' required) from the rear (east) property lines.

Plans are on file and may be examined in the Department of Regulatory and Economic Resources, entitled, "Public Hearing Maria De Los Angeles Neyra & Juan Ramon Peralta", as prepared by Gray Dolphin Pools & Construction, Inc., dated stamped received 12/12/24 and 12/19/24 consisting of 2 sheets, Plans may be modified at public hearing.

**LOCATION:** 22505 SW 132 Court, Miami-Dade County, FL

**SIZE OF PROPERTY:** 0.323 Acre

Department of Regulatory and  
Economic Resources  
Recommendation:

**Approval with conditions.**

Protests: 0

Waivers: 0

APPROVED: \_\_\_\_\_

DENIED WITH PREJUDICE: \_\_\_\_\_

DENIED WITHOUT PREJUDICE: \_\_\_\_\_

DEFERRED: \_\_\_\_\_

**2. FIRST WATCH RESTAURANTS INC. Z2024000230**

**Area 14/District 09**

The application is to allow more signs than permitted per code.

NON-USE VARIANCE to permit a proposed restaurant to have 4 wall signs (1 sign per elevation) where only 2 are allowed per code.

Plans are on file and may be examined in the Department of Regulatory and Economic Resources, entitled, "First Watch" as prepared by Anchor Sign, dated stamped received 10/30/2024 and consisting of 19 sheets, and "Site Plan" as prepared by Bock & Clark, dated stamped received 10/30/2024 and consisting of 1 sheet for a total of 20 sheets. Plan may be modified at public hearing.

**LOCATION:** v, Miami-Dade County, FL

**SIZE OF PROPERTY:** 1.01 Acres

Department of Regulatory and  
Economic Resources  
Recommendation:

**Approval with conditions.**

Protests: 3

Waivers: 0

APPROVED: \_\_\_\_\_

DENIED WITH PREJUDICE: \_\_\_\_\_

DENIED WITHOUT PREJUDICE: \_\_\_\_\_

DEFERRED: \_\_\_\_\_

**NOTICE**

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THE FOLLOWING SUMMARY INFORMATION IS PROVIDED AS A COURTESY; IT SHOULD NOT BE TREATED AS LEGAL ADVICE AND IT SHOULD NOT BE RELIED UPON. LEGAL CONSULTATION MAY BE WARRANTED IF AN APPEAL OR OTHER LEGAL CHALLENGE IS BEING CONTEMPLATED.

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Decisions of the Community Zoning Appeals Board (CZAB) may be subject to appeal or other challenge. For example, depending upon the nature of the requests and applications addressed by the CZAB, a CZAB decision may be directly appealable to the Board of County Commissioners (BCC) or may be subject to challenge in Circuit Court. Challenges asserted in Circuit Court, where available, must ordinarily be filed within 30 days of the transmittal of the pertinent CZAB resolution to the Clerk of the BCC. Appeals to the BCC, where available, must be filed with the Zoning Hearing Section of the [Department of Regulatory and Economic Resources \(RER\)](#), or its successor Department, within 14 days after RER has posted a short, concise statement (such as that furnished above for the listed items) that sets forth the action that was taken by the CZAB. (RER's posting will be made on a bulletin board located in the office of RER.) All other applicable requirements imposed by rule, ordinance, or other law must also be observed when filing or otherwise pursuing any challenge to a CZAB decision.

Further information regarding options and methods for challenging a CZAB decision may be obtained from sources that include, but are not limited to, the following: Sections 33-312, 33-313, 33-314, 33-316, and 33-317 of the Code of Metropolitan Dade County, Florida; the Florida Rules of Appellate Procedure; and the Municode website ([www.municode.com](http://www.municode.com)). Miami-Dade County does not provide legal advice regarding potential avenues and methods for appealing or otherwise challenging CZAB decisions; however, a licensed attorney may be able to provide assistance and legal advice regarding any potential challenge or appeal.

**Miami-Dade County Department of Regulatory and Economic Resources  
Staff Report to Community Zoning Appeals Board No. 14**

PH: Z22-312

March 17, 2025

Item No. A

<b>Recommendation Summary</b>	
<b>Commission District</b>	9
<b>Applicant</b>	VB BTS II, LLC
<b>Summary of Request</b>	The applicant seeks approval to permit a 150' high wireless supported facility and ancillary service equipment on the subject property.
<b>Location</b>	Lying approximately 1,100 feet north SW 312 Street and between SW 207 Avenue & SW 209 Avenue, Miami-Dade County, Florida.
<b>Property Size</b>	31.27-acres
<b>Existing Zoning</b>	AU, Agricultural
<b>Existing Land Use</b>	Avocado groves, vacant land
<b>2030-2040 CDMP Land Use Designation</b>	Agriculture <i>(see attached Zoning Recommendation Addendum)</i>
<b>Comprehensive Plan Consistency</b>	Consistent with interpretative text, goals, objectives and policies of the CDMP
<b>Applicable Zoning Code Section(s)</b>	Section 33-311(A)(3)(a), Unusual Uses For Wireless Supported Service Facilities <i>(see attached Zoning Recommendation Addendum)</i>
<b>Recommendation</b>	<b>Approval with conditions.</b>

This item was deferred at the January 16, 2025, meeting of the Community Zoning Appeals Board (CZAB) 14 in order to allow the applicant to meet with the neighbors.

The public hearing was held for this item.

**REQUEST:**

UNUSUAL USE to permit a 150' high wireless supported facility and ancillary service equipment.

Plans are on file and may be examined in the Department of Regulatory and Economic Resources with site plan, tower elevations and civil plans entitled "Avocado Drive Site #: US-FL-7093", prepared by Tower Engineering Professionals, dated stamped received 11/4/2024, consisting of 11 sheets and landscape plans entitled "US-FL-7093 Avocado Miami-Dade", prepared by Kempton Rinard Landscape Architects, dated stamped received 3/6/23, consisting of 2 sheets, for a total of 13 sheets. Plans may be modified at public hearing.

**PROJECT DESCRIPTION:**

The site plan submitted by the applicant depicts a proposed 150' Cellular Communication Monopole Style Antenna Support Structure consisting of a unipole design with external antennas. The subject property is located in an area that is designated AU, Agricultural District containing existing avocado groves. Approval of this application would allow the applicant to provide additional wireless coverage in this area of the County.

<b><u>NEIGHBORHOOD CHARACTERISTICS</u></b>		
	<b>Zoning and Existing Use</b>	<b>Land Use Designation</b>
<b>Subject Property</b>	AU; avocado groves, vacant land	Agriculture
<b>North</b>	AU; canal	Water
<b>South</b>	AU; orchard groves, citrus, lime groves & vacant	Agriculture
<b>East</b>	AU; single-family residence & lime groves	Agriculture
<b>West</b>	AU; lime groves	Agriculture

**NEIGHBORHOOD COMPATIBILITY:**

The subject property is a ±31.27-acre vacant parcel of land that is being currently used as an avocado grove, and is located approximately 1,100 feet north SW 312 Street, between SW 207 Avenue and SW 209 Avenue. The surrounding area is characterized with vacant land and groves located to the south and west, and a canal to the north of the subject site. The properties to the east are developed with a single-family residence and lime groves. Additionally, the subject property is located west of and outside the Urban Development Boundary (UDB).

**SUMMARY OF THE IMPACTS:**

The approval of this application would allow the applicant to permit a proposed 150’ high cellular communication monopole style antenna support structure on the subject site, to provide additional wireless coverage in this area of the County. However, approval of a 150’ high unipole antenna structure may have a visual impact on the surrounding uses which the applicant plans on mitigating by providing adequate setbacks and landscaping.

**COMPREHENSIVE DEVELOPMENT MASTER PLAN ANALYSIS:**

The ±31.27-acre subject property is located outside the Urban Development Boundary (UDB) and the Comprehensive Development Master Plan (CDMP) Adopted 2030-2040 Land Use Plan (LUP) map designates the site as **Agriculture**. The applicant is requesting approval to permit a proposed 150’ high wireless supported facility within an existing plant nursery. The subject property is located approximately 1.02-miles west of and outside the Urban Development Boundary (UDB), which is located at SW 197 Avenue. The CDMP interpretative text for **Agriculture**, states; *“principal uses in this area should be agriculture, uses ancillary to and directly supportive of agriculture and farm residences.”* Additionally, said interpretative text also states that uses ancillary to, and “necessary to support the rural residential community of the agricultural area may also be approved...”, and that *“[o]ther uses, including utility uses compatible with agriculture and with the rural residential character may be approved in the Agriculture area only if deemed to be a public necessity, or if deemed to be in the public interest and the applicant demonstrates that **no suitable site for the use exists** outside the Agriculture area.”*

The applicant has submitted documentation (as also explained in the zoning analysis below) explaining the reasons why the proposed tower is needed. As indicated in the **Statement of Need**, the proposed tower would better serve the needs of the rural agricultural community and the areas outside of the UDB. In addition, the Statement of Needs explains that there has been

numerous upgrades and technology enhancement to the existing wireless supportive facilities that have led to quantifiable but insufficient improvements with **no feasible existing structure** of sufficient height to meet the 5G requirements. The applicant further indicated in **Radio Frequency (RF) Engineering Report** that approval of the proposed wireless facility will improve the coverage and service quality in parts of Homestead, where currently, overall signal levels are not sufficient to support advanced 4G or 5G services. Specifically, in areas west of SW 197<sup>th</sup> Avenue, north of SW 320<sup>th</sup> Street, and west of SW 202<sup>nd</sup> Avenue, where advanced 5G services are largely inaccessible. The Report analysis further states that an existing unipole tower ±1.85 miles north of the subject site will be decommissioned and replaced by the proposed structure with the feasibility to deploy 5G equipment to adequately serve the needs of the community. Per the Report, *“there are no existing structures of sufficient height or that can be upgraded to meet the network 5G requirements within the search ring radius.”* Based on the distances between the current 5G compatible facilities there is a network deficiency...”. Given the service area analysis, only areas outside the UDB would be serviced from this proposed tower.

Further, staff notes that the Land Use Element interpretative text for **Institutions and Utilities** states; *“[n]eighborhood or community-serving institutional uses, **cell towers** and utilities including schools, libraries, sanitary sewer pump stations and fire and rescue facilities in particular, and cemeteries may be approved where compatible in all land use categories, in keeping with any conditions specified in the applicable category, and where provided in certain Open Land subareas. Compatibility shall be determined in accordance to Policy LU-4A.”* Said text also states; *“[c]o-location of communication and utility facilities are encouraged”, and “[m]ajor utility and communication facilities should generally be guided away from residential areas; however, when considering such approvals, the County shall consider such factors as the type of function involved, the public need, existing land use patterns in the area and alternative locations for the facility.”*

Staff opines that the aforementioned information adequately explains the **public need and the public interest** for locating the proposed utility use outside the UDB, in an area designated Agriculture on the CDMP LUP map. As such, staff opines that approval of the application would be **consistent** with the CDMP Land Use Element interpretative text pertaining to the Agricultural designation of the subject property on the CDMP LUP map and interpretative text of the CDMP.

### **ZONING ANALYSIS:**

The submitted plans depict the proposed 150' high wireless support antenna, which is to be located towards the western section of the 31.27-acre subject parcel. The proposed wireless support antenna will be spaced 1,122' from the front (east) property line, which abuts NW 207 Avenue and 151' from the rear (west) property line, which abuts lime grove uses. Said plans also indicate that the proposed antenna is spaced 661' from the interior side (north) property line adjacent to a canal and 151' from the interior side (south) property line, abutting lime and orchard groves.

When the application, to permit a proposed 150' high wireless supported antenna is analyzed under Section 33-311(A)(3)(a), (Unusual Uses for Wireless Supported Service Facilities), staff opines that approval of the request would be **compatible** with the surrounding area. Section 33-311(A)(3)(a)(i) of the Code requires the applicant *to demonstrate that the proposed tower will cure signal interference problems, or the applicant's lack of wireless service coverage or capacity in the area intended to be served by the proposed wireless supported service facility.* The applicant is required to demonstrate that the proposed site will cure interference problems or the

lack of wireless service coverage or capacity in the area intended to be served by the proposed Wireless Supported Service Facility. The applicant has provided staff with coverage prediction and population service improvement maps that demonstrate a lack of service coverage or capacity in this area. Additionally, the County's Information Technology Department (ITD) has reviewed the documents submitted and confirmed that they meet the technical standards to continue the process of permitting the site. As such, staff opines that the applicant has satisfied the requirements of Section 33-311(A)(3)(a), pertaining to the signal interference problems and the wireless service coverage in this area. The subject site has adequate ingress, egress, parking and loading areas such that servicing the facility will not block vehicular or pedestrian traffic on abutting streets. Documentation supplied by the applicant indicates that the antenna support structure is designed in such a manner that in the event of a structural failure, the pole will fall or bend on itself so that the structure will remain wholly contained within the property.

Staff opines that based on the memoranda submitted by the Departments concerned with reviewing this application, including the Platting and Traffic Review Section and the Division of Environmental Resource Management of the Department of Regulatory and Economic Resources (RER), approval with standard conditions of this application will not generate excessive noise or traffic, tend to create fire or other equally dangerous hazard, provoke excessive overcrowding of people, or provoke a nuisance.

Staff notes that the applicant has submitted elevation plans along with a line of sight simulation, which indicates that, although the proposed 150' high tower will be visible from the surrounding properties, any visual impact will be minimal since the proposed wireless facility will be spaced adequately from all property line and will actually be spaced approximately 1,066' from the nearest neighboring residence to the north. Additionally, it is important to note that the initial request for the proposed cell tower specified a height of 155'. This request underwent evaluation by the Miami-Dade Aviation Department (MDAD), which conducted an Airspace/Land Use analysis and determined that the maximum allowable height for the proposed cell tower must be reduced to 156.6' Above Mean Sea Level (AMSL), which corresponds to the proposed height of 150' Above Ground Level (AGL). Therefore, staff opines that approval would be compatible with the area concerned, when considering the necessity and reasonableness of the applied for use in relation to the present and future development of the area concerned and the compatibility of the applied for use with such area and its development. **Therefore, staff recommends approval with conditions under Section 33-311(A)(3)(a), Unusual Uses for Wireless Supported Service Facilities.**

**ACCESS, CIRCULATION AND PARKING:** The submitted site plans indicate access to the site from SW 207<sup>th</sup> Avenue through a 15' wide access drive, to the proposed facility for service vehicles.

**NEIGHBORHOOD SERVICES PROVIDER REVIEW:** See attached.

**OTHER:** Not applicable.

**RECOMMENDATION:**

**Approval with conditions.**

**CONDITIONS FOR APPROVAL:**

1. That a site plan be submitted to and meet with the approval of the Director of the Department of Regulatory and Economic Resources upon the submittal of an application for a building permit and/or Certificate of Use; said plan must include among other things but not be limited to, location of structure or structures, exits and entrances, drainage, walls, fences, landscaping, and other requirements.
2. That in the approval of the plan, the same be substantially in accordance with that submitted for the hearing entitled "Avocado Drive Site #: US-FL-7093", prepared by Tower Engineering Professionals, dated stamped received 11/4/2024, consisting of 11 sheets and landscape plans entitled "US-FL-7093 Avocado Miami-Dade", prepared by Kempton Rinard Landscape Architects, dated stamped received 3/6/23, consisting of 2 sheets, for a total of 13 sheets. Except as may be specified by any zoning resolution applicable to the subject property, any future additions on the property which conform to Zoning Code requirements will not require further public hearing action.
3. That the use be established and maintained in accordance with the approved plan.
4. That the landscaping indicated on the submitted plans be installed prior to the issuance of a Certificate of Use for the proposed tower and be maintained as a visual buffer.
5. That the applicants obtain a Certificate of Use for the wireless supported service facility from the Department of Regulatory and Economic Resources upon compliance with all terms and conditions, the same subject to cancellation upon violation of any of the conditions.
6. That the unipole and flagpole towers be designed to allow collocation of other telecommunication service operators.
7. That the unipole and flagpole towers comply with all FAA and FCC lighting requirements and all Federal and State regulations governing the up-lighting of the United States flag.

ES:JB:SS:PM:EA



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Eric Silva, AICP, Assistant Director  
Development Services Division  
Miami-Dade County Department of  
Regulatory and Economic Resource

# ZONING RECOMMENDATION ADDENDUM

VB BTS II, LLC  
PH: Z22-312

<b>NEIGHBORHOOD SERVICES PROVIDER COMMENTS*</b>	
Division of Environmental Resources Management (RER)	<i>No objection</i>
Platting and Traffic Review Section (RER)	<i>No objection</i>
Information Technology Department	<i>No objection</i>
Aviation Department (MDAD)	<i>No objection</i>
Fire Rescue Department	<i>No objection</i>
Water and Sewer Department (WASD)	<i>No objection</i>
Building and Neighborhood Compliance	<i>No objection</i>
<i>*Subject to conditions in their memorandum.</i>	

## COMPREHENSIVE DEVELOPMENT MASTER PLAN (CDMP) OBJECTIVES, POLICIES AND INTERPRETATIVE TEXT

<p><b>Agriculture</b> (Pg. I-70)</p>	<p>The area designated as "Agriculture" contains the best agricultural land remaining in Miami-Dade County. As stated in the Miami-Dade County Strategic Plan, approved by the Board of County Commissioners, protection of viable agriculture is a priority. The principal uses in this area should be agriculture, uses ancillary to and directly supportive of agriculture and farm residences. Uses ancillary to and directly supportive of agriculture are defined as those uses related to preserving, processing, packaging or selling of agricultural products from Florida (except that wineries may utilize imported products for winemaking), and farm supplies, as well as sale and service of farm machinery and implements, subject to the requirements of Chapter 24 of the County Code. Uses that are directly supportive of agriculture but not ancillary to an on-site agricultural use may occur in this area where it can be demonstrated that the use is primarily addressing a need of the local agricultural industry or that the use significantly furthers agritourism to the agricultural area. Uses necessary to support the rural residential community of the agricultural area may also be approved, including houses of worship. However, schools shall not be approved in Agriculture areas but should be located inside the UDB in accordance with Policy EDU-3A. In order to protect the agricultural industry, uses incompatible with agriculture, and uses and facilities that support or encourage urban development are not allowed in this area. Residential development that occurs in this area is allowed at a density of no more than one unit per five acres. Creation of new parcels smaller than five acres for residential use may be approved in the Agriculture area only if the immediate area surrounding the subject parcel on three or more contiguous sides is predominantly and lawfully parcelized in a similar manner, and if a division of the subject parcel would not precipitate additional land division in the area. Unless expressly permitted elsewhere in this section, no business or industrial use should be approved in the area designated Agriculture unless the use is directly supportive of local agricultural production, and is located on an existing arterial roadway, and has adequate water supply and sewage disposal in accordance with Chapter 24 of the County Code, and the development order specifies the approved use(s); however, agricultural processing facilities for produce grown in Florida and uses that promote ecotourism and agritourism consistent with Policy LU-1P are not restricted to locating on an existing arterial roadway. Other uses, including utility uses compatible with agriculture and with the rural residential character may be approved in the Agriculture area only if deemed to be a public necessity, or if deemed to be in the public interest and the applicant demonstrates that no suitable site for the use exists outside the Agriculture area. Existing quarrying and ancillary uses in the Agriculture area may continue operation and be considered for approval of expansion. The parking and storage of operable, non-disabled commercial motor vehicles may be considered for approval on properties ten acres or greater in the area east of the Urban Development Boundary, south of the theoretical extension of SW 236 Street, and north of SW 248 Street, as depicted on Figure 5.1, subject to the following requirements: (a) commercial vehicle storage facilities shall obtain an annual operating permit from the Division of Environmental Resources Management in the Department of Regulatory and Economic Resources and be subject to required quarterly groundwater quality monitoring; (b) all vehicles and equipment shall be stored or parked only</p>
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	<p>on paved impervious surfaces with county-approved drainage systems; (c) truck washing, mechanical repair, or maintenance of any kind shall be prohibited; (d) the storage, handling, use, discharge and disposal of liquid wastes or hazardous wastes shall be prohibited; and (e) a vegetative buffer shall be provided along the perimeter of the property to provide visual screening.</p> <p>A Bed and Breakfast establishment that is owner-occupied, owner-operated, and located on a parcel with a current agricultural classification, as determined by the Property Appraiser's Office, may be allowed. A designated historic structure that is owner-occupied and owner-operated may be converted to a Bed and Breakfast use. An agricultural classification is not needed for a Bed and Breakfast use designated as a historic structure. In an effort to enable compatible diversification of the economy of Agriculture areas and provide additional land use options for owners of properties that surround structures having historical significance, after such time as the County adopts procedures for the establishment of Thematic Resource Districts (TRDs) pursuant to Policy LU-6L, and a TRD including architectural and landscape design guidelines is established in an area designated Agriculture, additional uses may be authorized in such TRDs established in Agriculture areas. Such additional uses must be designed and developed in accordance with TRD standards, must promote ecotourism or agritourism activities in the Agriculture area, and must not be incompatible with nearby agricultural activities. Also included in the Agriculture area are enclaves of estate density residential use approved and grandfathered by zoning, ownership patterns and platting activities which predate this Plan. The grandfather provisions of the Miami-Dade County Zoning Code shall continue to apply in this area except that lots smaller than 15,000 square feet in area are not grandfathered hereby. Moreover, all existing lawful uses and zoning are deemed to be consistent with this Plan unless such a use or zoning: (a) is found through a subsequent planning study, as provided in Policy LU-4E, to be inconsistent with the foregoing grandfather provisions or with the CDMP as provided in the section of this chapter titled "Concepts and Limitations of the Land Use Plan Map". This paragraph does not, however, authorize the approval or expansion of any use inconsistent with this plan. To the contrary, it is the intent of this Plan to contain and prevent the expansion of inconsistent development in the Agriculture area. It is provided, however, that existing parcels that: a) have existing lawful zoning of IU-1 (Industry-Light) since November 29, 1988; and b) are bifurcated by the UDB; and c) have any portion of the parcel located within a designated urban center, may be developed with any of the industrial uses permitted in the IU-1 zoning district, as long as adequate buffering and drainage is provided to limit impacts to adjacent agriculturally-designated properties.</p>
<p><b>Institutions, Utilities and Communications (Pg. I-64)</b></p>	<p>Neighborhood or community-serving institutional uses, <b>cell towers</b> and utilities including schools, libraries, sanitary sewer pump stations and fire and rescue facilities in particular, and cemeteries may be approved where compatible in all urban land use categories, in keeping with any conditions specified in the applicable category, and where provided in certain Open Land subareas. Compatibility shall be determined in accordance to Policy LU-4A. Co-location of communication and utility facilities are encouraged. Major utility and communication facilities should generally be guided away from residential areas; however, when considering such approvals, the County shall consider such factors as the type of function involved, the public need, existing land use patterns in the area and alternative locations for the facility. All approvals must be consistent with the goals, objectives and policies of the Comprehensive Development Master Plan.</p>
<p><b>Policy LU-4A (Page I-9)</b></p>	<p>When evaluating compatibility among proximate land uses, the County shall consider such factors as noise, lighting, shadows, glare, vibration, odor, runoff, access, traffic, parking, height, bulk, scale of architectural elements, landscaping, hours of operation, buffering, and safety, as applicable.</p>

**PERTINENT ZONING REQUIREMENTS/STANDARDS**

<p><b>Section Sec. 33-62. - Height and Setback.</b></p>	<p>No part of any tower, pole or mast shall be higher than ninety (90) percent of the horizontal distance from its foundation at ground elevation to the nearest point on adjacent property under another ownership or to the nearest edge of a highway right-of-way. It is provided, however, that in the BU-3 or IU zoning districts, the following structures 150 feet or less in height above ground elevation shall not be subject to the required setback: (a) radio towers where incidental to a business or industrial use on the premises, or (b) wireless supported service facilities whether a principal or incidental use; provided, however, that such installation under (a) or (b) shall conform to the provisions of all airport zoning regulations contained herein.</p>
<p><b>Section 33-63.2(c)(2)(B) Wireless Supported Facilities</b></p>	<p>(c) Permitted Districts and Criteria for Antenna Support Structures.</p> <p>(2) Criteria.</p> <p>(B) Zoning District. Antenna Support Structures considered for approval under section 33-311(A)(18) of this Code shall meet each of the following requirements, as applicable, except as alternative development options may be approved pursuant to section 33-311(A)(18)(b).</p> <p>2. In the AU zoning district and the GU zoning district with an agricultural trend determination:</p> <ul style="list-style-type: none"> <li>a. non-camouflaged Antenna Support Structures shall be located on a minimum five (5) gross acre parent tract, and</li> <li>b. no Antenna Support Structures shall exceed 200 feet in height.</li> </ul>
<p><b>Section 33-311(A)(3)(a) Unusual uses for Wireless Supported Facilities</b></p>	<p>Hear application for and grant or deny unusual uses for Wireless Supported Service Facilities, which by the regulations are only permitted upon approval after public hearing; provided the applied for use, in the opinion of the Community Zoning Appeals Board, would not have an unfavorable effect on the economy of Miami-Dade County, Florida, would not generate or result in excessive noise or traffic, cause undue or excessive burden on public facilities, including water, sewer, solid waste disposal, recreation, transportation, streets, roads, highways or other such facilities which have been constructed or which are planned and budgeted for construction, are accessible by private or public roads, streets or highways, tend to create a fire or other equally or greater dangerous hazards, or provoke excessive overcrowding or concentration of people or population, when considering the necessity for and reasonableness of such applied for use in relation to the present and future development of the area concerned and the compatibility of the applied for use with such area and its development, provided that:</p> <ul style="list-style-type: none"> <li>i. The applicant shall demonstrate that the proposed Wireless Supported Service Facility will cure:       <ul style="list-style-type: none"> <li>a. signal interference problems; or</li> <li>b. the applicant's lack of wireless service coverage or capacity in the area intended to be served by the proposed Wireless Supported Service Facility</li> </ul> </li> <li>ii. The applicant shall provide information to permit independent verification of factual data relied upon by the applicant to establish 3(a)(i) above, including, but not limited to the following:       <ul style="list-style-type: none"> <li>a. the purpose for the proposed Wireless Supported Service Facility; and</li> <li>b. the following technical data for the proposed Wireless Supported Service Facility and for each existing, authorized, pending and proposed adjacent facility:           <ul style="list-style-type: none"> <li>i. site name or other reference;</li> </ul> </li> </ul> </li> </ul>


	<ul style="list-style-type: none"><li>ii. <i>facility latitude and longitude;</i></li><li>iii. <i>site elevation;</i></li><li>iv. <i>for each antenna at each of the included facilities:</i><ul style="list-style-type: none"><li>1. <i>height of antenna radiation center;</i></li><li>2. <i>antenna type and manufacturer;</i></li><li>3. <i>maximum effective radiated output power, including the maximum total power radiated from all channels;</i></li><li>4. <i>azimuth of main antenna lobe; and</i></li><li>5. <i>beam tilt and null-fill of each antenna.</i></li></ul></li><li>c. <i>a complete up- and down-link power budget for the proposed Wireless Supported Service Facility, including any differences that may exist with the power budgets of the adjacent facilities, to ensure that all of the gain and loss factors used by the applicant are included in a verification analysis.</i></li><li>d. <i>complete descriptions of methodology, formulas, data presented in appropriate parameter data units (e.g., Erlangs, Watts, dBm, ft.), existing traffic studies and trend analyses if the proposed facility is intended to cure a lack of capacity, and any other information necessary for an independent engineer to verify statements concerning signal interference or lack of capacity or coverage; and</i></li><li>e. <i>identification of any equipment that differs from industry standards.</i></li></ul> <p>iii. <i>that the applicant shall reimburse the department for fees charged to the department for independent verification of factual data relied upon by the applicant, as required pursuant to paragraph 3 a ii above.</i></p>
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# Memorandum

**Date:** January 6, 2025

**To:** Lourdes M. Gomez, AICP, Director  
Department of Regulatory and Economic Resources

**From:** Lisa M. Spadafina, RER Assistant Director  
Division of Environmental Resources Management 

**Subject:** Z2022000312-6<sup>th</sup> Review  
VB BTS LLC c/o Mattaniah S. Jahn, PA  
South of C-113 Canal, west of SW 207<sup>th</sup> Avenue  
Unusual Use for proposed monopole telecommunications tower  
(AU) (31.27 Acres)  
09-57-38

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The Department of Regulatory and Economic Resources – Division of Environmental Resources Management (DERM) has reviewed the above referenced zoning application for compliance with the requirements of Chapter 24 of the Miami-Dade County Code (the Code) for potable water service and wastewater disposal. Based on the information provided, this zoning application is approved pursuant to section 24-43.1 of the Code related to potable water supply and wastewater disposal.

#### Potable Water Service and Wastewater Disposal

Based on feasible distance requirements in the Code and the site plan submitted with this application, the property is not currently within feasible distance to connect to public water and public sanitary sewers. According to DERM records, the existing property is served by an onsite domestic well system for potable water and an onsite sewage treatment and disposal system (OSTDS) for wastewater disposal. The site plan submitted with the requested special exception for a monopole antenna does not indicate structures that would require potable water and domestic wastewater disposal.

Section 24-43.1(6) of the Code states no County or municipal officer, agent, employee, or Board shall approve, grant or issue any building permit, certificate of use and occupancy, municipal occupational license, platting action (final plat, waiver of plat or equivalent municipal platting action) or zoning action (district boundary change, unusual use, use variance or equivalent municipal zoning action) for any nonresidential land use served or to be served by any liquid waste storage, disposal or treatment method other than utility sanitary sewers or any source of potable water supply other than a utility water main without obtaining the prior written approval of the Director.

Section 24-43.1(6)(b)(viii) provides that the Director can approve certain unusual uses, including but not limited to, radio and television towers and transmitting stations at a property that is not connected to the public water and sewer system. Pursuant to this section of the Code, DERM does not object to the proposed unusual use for unmanned telecommunications tower.

In accordance with section 24-43.1(4)(a) of the Code, the property has submitted a covenant running with the land in favor of Miami-Dade County Book 34210, Page 70, acknowledging that the only liquid waste, less and except the exclusions contained therein, which shall be generated, disposed of, discharged, or stored on the property shall be domestic sewage discharged into an OSTDS.

**Conditions of Approval: None**

### Wetlands

The subject property does not currently contain wetlands as defined by section 24-5 of the Code; therefore, it is anticipated that a Class IV permit will not be required for this property. For additional information please contact Jennifer Snell at Jennifer.Snell@miamidade.gov.

The applicant is advised that permits from the Army Corps of Engineers (305-526-7181), the Florida Department of Environmental Protection (561-681-6600) and the South Florida Water Management District (1-800-432-2045) may be required for the proposed project. It is the applicant's responsibility to contact these agencies.

### **Conditions of Approval: None**

### Tree Preservation

An aerial review of the subject property indicates the presence of tree resources. A site plan entitled "Avocado Drive VB Site #: US-FL-7093 TMO Site ID: 6MD2267A" prepared by Joshua H. Carden, P.E., and dated as received by Miami-Dade County on June 06, 2024, was submitted in support of the subject application, and indicates the removal/relocation of non-specimen (a tree with a trunk diameter at breast height less than 18 inches) tree resources. Section 24-49 of the Code provides for the preservation and protection of tree resources. DERM has no objection to this application provided that the applicant obtains a Miami-Dade County Tree Removal Permit prior to the removal or relocation of the non-specimen trees on site.

A Miami-Dade County Tree Permit is required prior to the removal and/or relocation of any tree that is subject to the tree preservation and protection provisions of the Code. The applicant is advised that a tree survey that includes a tree disposition table will be required during the tree removal permit application process. Projects and permits shall comply with the requirements of sections 24-49.2 and 24-49.4 of the Code, including the specimen tree standards.

In accordance with section 24-49.9 of the Code, all plants prohibited by Miami-Dade County shall be removed from all portions of the property prior to development, or redevelopment and developed parcels shall be maintained to prevent the growth or accumulation of prohibited species. Please contact Jackelyn Alberdi at Jackelyn.Alberdi@miamidade.gov for additional information or concerns regarding this review.

### **Conditions of Approval: None**

### Pollution Remediation

DERM has no records of current contamination issues on the subject site. However, based on the current/past agricultural use of the site, DERM review and approval of a Phase 1 and Phase 2 Environmental Site Assessment prepared in accordance with ASTM standards may be required at the site prior to site development and prior to the submittal of site development plans through the building department review process. DERM review and approval of said documents may be required. Further, all construction plans (inclusive of drainage) and dewatering plans may require the review and approval from the Environmental Monitoring and Restoration Division of DERM (EMRD) as it relates to environmental contamination issues. Be advised that the EMRD review of this application does not constitute an approval of any site plans, drainage plans, or development plans that may be included as part of this application.

Please note that this information relates to future reviews and assessments. For property that is classified as agricultural by the Miami-Dade County Property Appraiser, under certain circumstances, certain DERM activities would be preempted to the Florida Department of Environmental Protection, and such matters would be reviewed on a case-by-case basis to ensure compliance with applicable state law.

Any contaminated portion of the site that is proposed to be sold, transferred, or dedicated (including, but not limited to, for public right-of-way) to any public entity shall be identified on the tentative and final plat plans for this development. If any contaminated portion of the site is proposed to be sold, transferred, or dedicated to the County, please note that all soil, groundwater or surface water contaminants, solid waste, and methane must be disclosed to the applicable County department at the earliest stage possible. The applicable County departments would include all departments that would receive or manage the proposed property, and for example, would include Department of Parks and Recreation and Open Spaces (PROS) for a park and Department of Transportation and Public Works (DTPW) for road right-of-way. This may in turn result in the need for the developer to reconfigure or change previously approved site plans, or make other changes to the proposed development, which may require approval after public hearing.

If an applicant elects to address soil contamination, groundwater contamination, solid waste, and methane via a No Further Action with Conditions, each individual property owner will be required to execute a restrictive covenant.

Please note that nothing stated herein may be interpreted to limit or restrict an engineer's or other professional's responsibility to prepare plans accurately and completely for proposed rights-of-way as well as any other projects or plans.

Please contact Thomas Kux, P.G. of the DERM Environmental Monitoring and Restoration Division at [Thomas.kux@miamidade.gov](mailto:Thomas.kux@miamidade.gov) or (305)372-6700 should you have any questions.

**Conditions of Approval: None**

Enforcement History

There are no open or closed enforcement records for violations of Chapter 24 of the Code for the subject property. There are no outstanding DERM liens or fines for the subject property.

Concurrency Review Summary

A concurrency review has been conducted for this application and DERM has determined that the same meets all applicable LOS standards for an initial development order as specified in the adopted CDMP for potable water supply, wastewater disposal, and flood protection. This concurrency approval is valid only for this initial development order. Pursuant to Chapter 33G of the Code, a final concurrency statement will be issued at the time of final development order.

If you have any questions concerning the comments or wish to discuss this matter further, please contact Ninfa Rincon at (305) 372-6764.

cc: Eric Silva, Department of Regulatory and Economic Resources

# Memorandum



**Date:** March 30, 2023

**To:** Nathan Kogon, Assistant Director  
Development Services  
Department of Regulatory and Economic Resources (RER)

**From:** Maria A. Valdes, CSM, LEED® Green Associate  
Chief, Planning & Water Certification Section  
Water and Sewer Department (WASD)

A handwritten signature in black ink, appearing to be "M. Valdes", written over the printed name of Maria A. Valdes.

**Subject:** Zoning Application Comments - VB BTS II, LLC / US-FL-7093 Avocado Drive  
Application No. Z2022000312 - (Pre-App. No. Z22P-202)

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The Water and Sewer Department has reviewed the proposed development for the subject zoning application. WASD has no objections to this application. The information provided below is preliminary and it does not affect the Zoning process.

Application Name: VB BTS II, LLC / US-FL-7093 Avocado Drive

Location: The proposed project is located approximately 659 Linear Feet northwest of the intersection of SW 312<sup>th</sup> Street and SW 207<sup>th</sup> Avenue with Folio No. 30-7809-000-0230, in unincorporated Miami-Dade County, **Outside the Urban Development Boundary (UDB).**

Proposed Development: The applicant is proposing the construction of a 155 feet AGL Monopole style Antenna Support Structure (Monopole) and related fenced compound and power meter/telco rack.

Recommendation: WASD has no objection to this application. There is no water and sewer infrastructure outside the UDB. Per CDMP policy, water and sewer infrastructure outside the UDB is not allowed unless found consistent with the goals and policies of the CDMP.

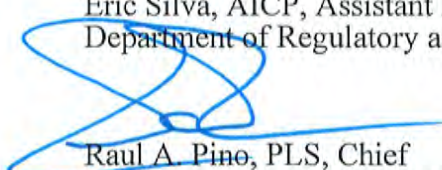
Should you have any questions, please contact Maria A. Valdes, Chief, Planning & Water Certification Section at (786) 552-8198 or [mavald@miamidade.gov](mailto:mavald@miamidade.gov), Alfredo B. Sanchez at (786) 552-8237 or [sanalf@miamidade.gov](mailto:sanalf@miamidade.gov), or Suyapa Carbajal at (786) 552-8124 or [suyapa.carbajal@miamidade.gov](mailto:suyapa.carbajal@miamidade.gov).

# Memorandum



Date: July 1, 2024

To: Eric Silva, AICP, Assistant Director  
Department of Regulatory and Economic Resources

From:  Raul A. Pino, PLS, Chief  
Platting and Traffic Review Section  
Department of Regulatory and Economic Resources

Subject: Z2022000312  
Name: Tower Engineering Professionals  
Location: SW 207 Avenue  
Section 09 Township 57 South Range 38 East

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The Department of Regulatory and Economic Resources Platting and Traffic Review Section has reviewed the subject application and has **no objections**.

This land **requires** platting in accordance with Chapter 28 of the Miami-Dade County Code. Any right-of-way dedications per Miami-Dade Chapter 33-133 and Chapter 28 and/or improvements required will be accomplished thru the recording of a plat.

This application does not generate any trips.

## Standard Conditions:

- A letter or a plan containing the following certification signed and sealed by a State of Florida registered engineer shall be submitted as part of the paving and drainage plans: "I hereby certify that the all of the roads for the subject project comply with all of the applicable portions of the Manual of Uniform Minimum Standards for Design, Construction and Maintenance for Streets and Highways (Florida Greenbook) regarding: design speed, lane widths, horizontal alignment, vertical alignment, stopping sight distance, sight distance, horizontal clearance, vertical clearance, superelevation, shoulder widths, grades, bridge widths, etc."
- All landscaping, walls, fences, entrance features, etc. will be subject to the Safe Sight Distance Triangle as per Section 33-11 of the Miami-Dade County Code and G5.3 of the Public Works and Waste Management Department Manual.

# Memorandum



**Date:** June 06, 2024

**To:** Nathan M. Kogon, Assistant Director  
Regulatory and Economic Resources

**From:** Alejandro G Cuello, Principal Planner  
Miami-Dade Fire Rescue Department

**Subject:** Z2022000312

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The Miami-Dade Fire Rescue Department has **no objection** to the site plan uploaded in “EnerGov” on 6/6/2024.

MDFR’s review of this zoning application is limited to assessing fire department access and does not effectuate an approval of the building design. The future building’s design must be in compliance with the applicable requirements for the proposed use:

Florida State Statute Chapter 633 (Fire Prevention & Control)  
Florida Administrative Code 69A  
Florida Fire Prevention Code (NFPA 1 and NFPA 101 (2018 edition))  
Applicable adopted NFPA Standards  
County Code Chapter 14

For additional information, please contact [acuello@miamidade.gov](mailto:acuello@miamidade.gov) or call 305-775-3357.



**Miami-Dade Aviation Department**

P.O. Box 025504  
Miami, Florida 33102  
T 305-876-7000 F 305-876-0948  
www.miami-airport.com

**Commercial Airport:**

Miami International Airport

**General Aviation Airports:**

Dade-Collier Training & Transition Airport

Miami Homestead General Aviation Airport

Miami Executive Airport

Miami-Opa Locka Executive Airport

[miamidade.gov](http://miamidade.gov)

August 23, 2024

Mattaniah S. Jahn, Esq.  
935 Main Street, Suite C4  
Safety Harbor, FL 34695

RE: Determination Number DN-24-08-4485 Land-Use/Airspace Analysis for the Proposed US-FL-7093 Avocado Drive Monopole Project (VB BTS II, LLC) located at SW 207 Avenue and North of SW 312 Street in Miami-Dade County, Florida (Folio No. 30-7809-000-0230) Zoning Hearing Application No. Z22-312

Dear Ms. Jahn:

The Miami-Dade Aviation Department (MDAD) is in receipt of your submittal for a land-use/airspace analysis and determination for the proposed US-FL-7093 Avocado Drive Monopole (VB BTS II, LLC, Z22-312) with a maximum elevation of 156.6 feet Above Mean Sea Level (AMSL) / North American Vertical Datum of 1988 (NAVD88). The site is located at located at SW 207 Avenue and North of SW 312 Street in Miami, Florida.

**Land Use Review:**

Subject to the comments below and pending review by the Federal Aviation Administration (FAA), the proposed use at this location conforms to Code of Miami-Dade County, Chapter 33, Article XXXVII Airport Zoning, Section 33-333 (A) Land use Compatibility Regulations.

**Airspace Review:**

Our review of the plans and data provided finds that the maximum elevation of 156.6 feet AMSL/NAVD88 for the proposed permanent structure at the referenced location conforms to the requirements of Code of Miami-Dade County, Chapter 33, Article XXXVII Airport Zoning, Sec. 33-333 (B) Height/Airspace Regulations.

MDAD is in receipt and does not object to the Federal Aviation Administration (FAA) Aeronautical Study Number: 2022-ASO-11718-OE issued for this structure, for a Determination of "No Hazard to Air Navigation". The FAA Determination was required to coordinate frequency activation and verify that no interference is caused to FAA facilities prior to beginning any transmission from the site.

AIRSPACE REVIEW TABLE			
POINT	LATITUDE	LONGITUDE	MAXIMUM ALLOWABLE HEIGHT (AMSL / NAVD88)
Point 1	25° 28' 48.31"	80° 31' 47.05"	156.6 Feet AMSL

Please be advised that in accordance with Code of Federal Regulation (CFR) Title 14 Part 77, any cranes or equipment for this project reaching or exceeding 93 feet Above Ground Level (AGL) at this location will also need to be filed by the contractor using FAA form 7460-1. The form is available through the FAA website: <https://oeaaa.faa.gov> where the contractor may "e-file" the information. In addition, MDAD's Aviation Planning Division will need to review and approve the cranes heights and locations associated with the project, if the crane heights reach or exceed 93 feet AGL. You may file by completing the "MDAD Permissible Crane Height Determination Form" available through this office or our website, [http://www.miami-airport.com/planning\\_forms\\_maps.asp](http://www.miami-airport.com/planning_forms_maps.asp).

The analysis in this letter is based, in part, on the information you provided which includes specific structure locations and heights. Any changes in the structure locations/layouts or heights will void this analysis. Any future construction or alteration, including an increase to heights requires separate notice to the FAA and MDAD.

This determination expires one year from the date of issuance unless extended, revised or terminated by MDAD's Aviation Planning, Land-Use and Grants Division. Any requests for an extension of the effective period of this determination must be submitted by the applicant prior to the expiration date. At such time, staff will re-evaluate the application or structure to determine if any significant changes to the structure and/or to the review criteria have occurred. MDAD's Aviation Planning, Land-Use and Grants Division will then decide if the determination in this letter may be eligible for an extension of the effective period.

Should you have any questions, please feel free to contact me at 305-876-7036.

Respectfully,



Ammad Riaz, P.E.  
Chief of Aviation Planning

C: J. Ramos  
Jim Byers, RER Permitting

Memorandum 

**Date:** January 7, 2025

**To:** Nathan Kogon, Assistant Director  
Department of Regulatory and Economic Resources

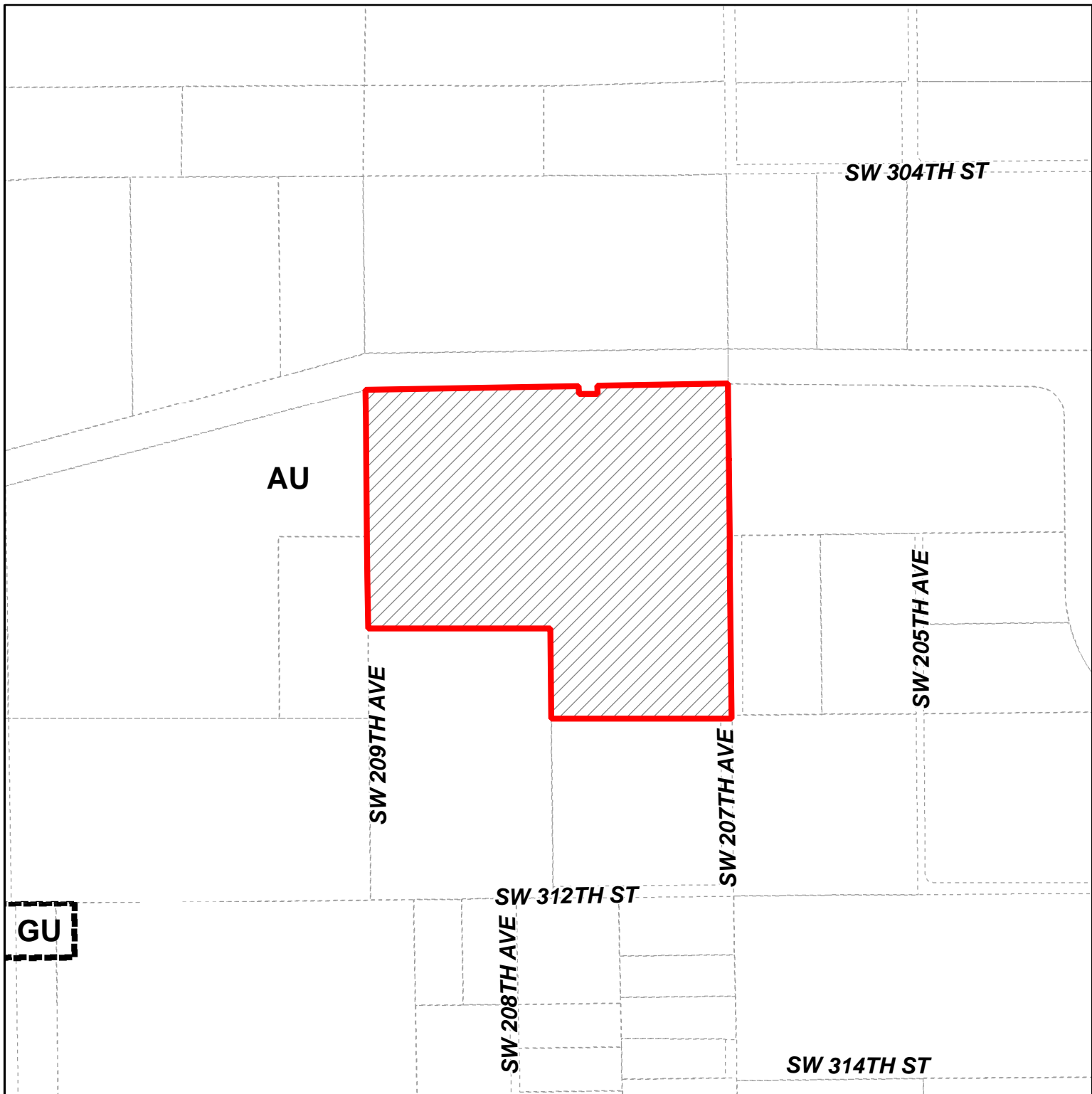
**From:** Martin Rose,  
Radio Division Director  
Information Technology Department



**Subject:** ITD review, case # Z2022000312

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The Radio Division of the Information Technology Department has reviewed the subject application and found no objections to the site deployment.





**MIAMI-DADE COUNTY**  
**HEARING MAP**

Process Number  
**Z2022000312**



Section: 09 Township: 57 Range: 38  
 Applicant: VB BTS II, LLC c/o Mattniah S. Jahn, P.A.  
 Zoning Board: C14  
 Commission District: 8  
 Drafter ID: EDUARDO CESPEDES  
 Scale: NTS

**Legend**

-  Subject Property Case
-  Zoning




REVISION	DATE	BY



**MIAMI-DADE COUNTY**  
**AERIAL YEAR 2021**

Process Number  
**Z2022000312**

**Legend**  
 Subject Property

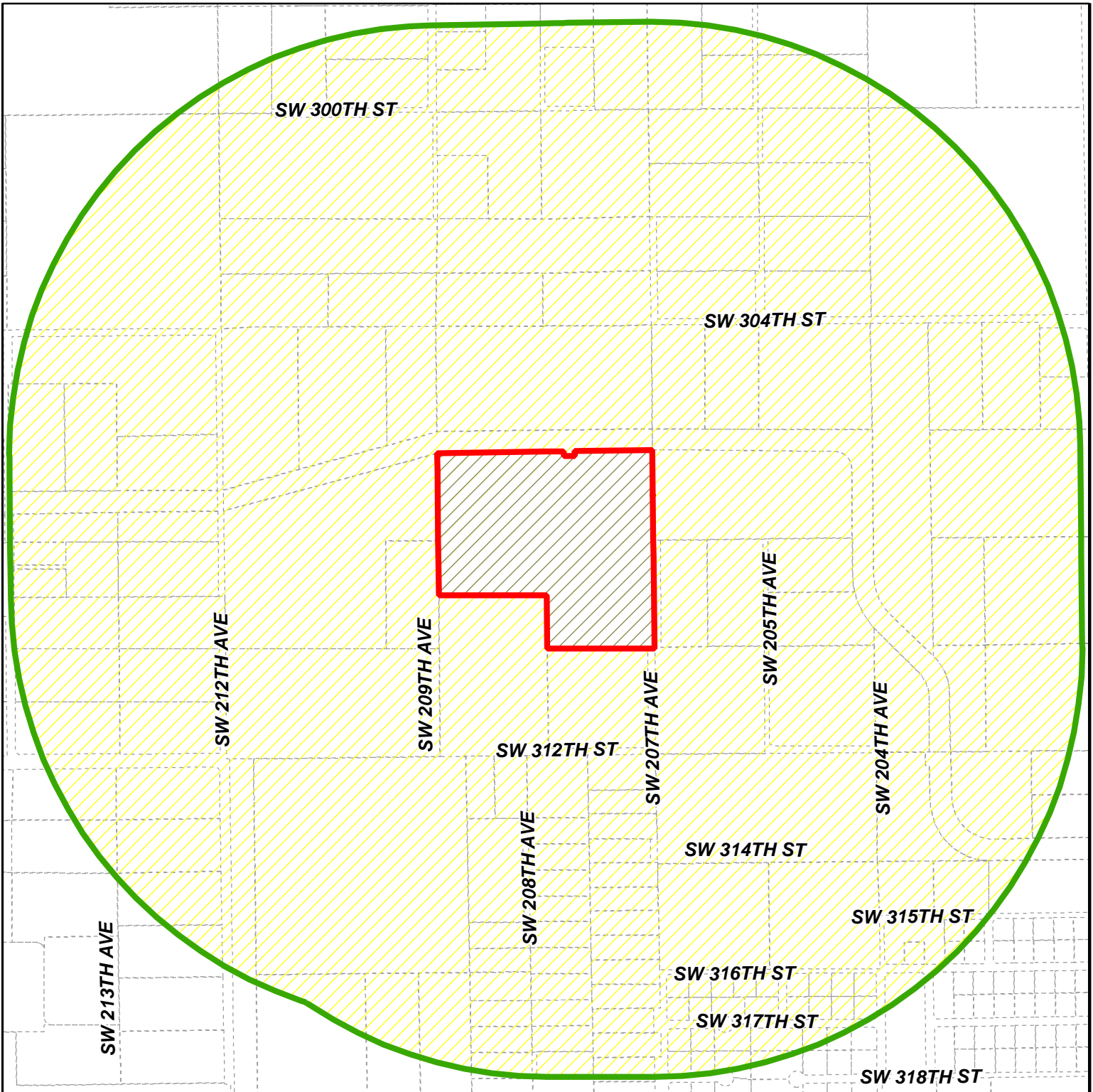


**Section: 09 Township: 57 Range: 38**  
**Applicant: VB BTS II, LLC c/o Mattniah S. Jahn, P.A.**  
**Zoning Board: C14**  
**Commission District: 8**  
**Drafter ID: EDUARDO CESPEDES**  
**Scale: NTS**



SKETCH CREATED ON: Thursday, March 16, 2023

REVISION	DATE	BY






**MIAMI-DADE COUNTY**  
**RADIUS MAP**

Process Number  
**Z2022000312**  
 RADIUS: 2640

Section: 09 Township: 57 Range: 38  
 Applicant: VB BTS II, LLC c/o Mattniah S. Jahn, P.A.  
 Zoning Board: C14  
 Commission District: 8  
 Drafter ID: EDUARDO CESPEDES  
 Scale: NTS

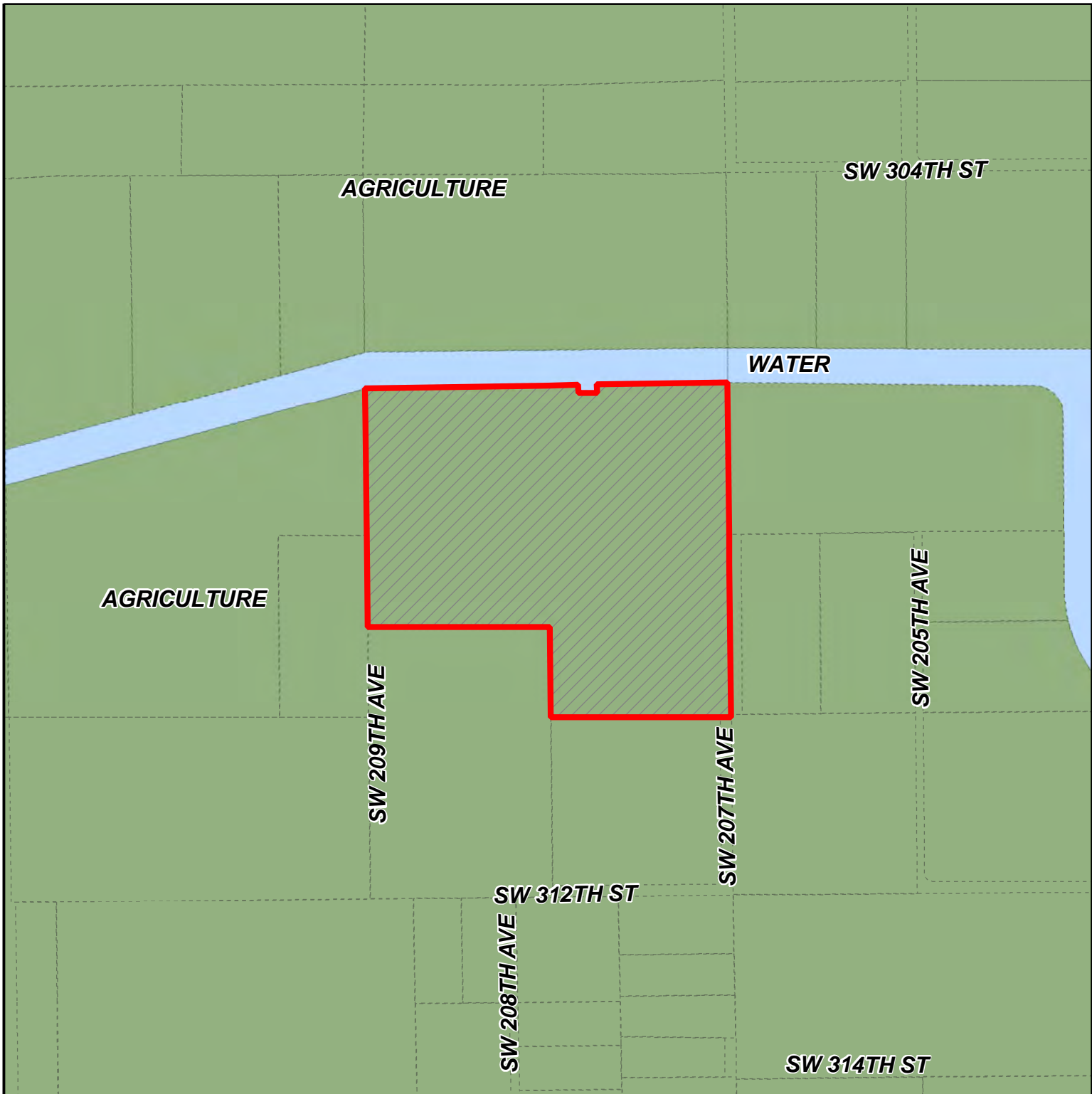
**Legend**

-  Subject Property
-  Buffer
-  Property Boundaries



SKETCH CREATED ON: Thursday, March 16, 2023

REVISION	DATE	BY



**MIAMI-DADE COUNTY**

**CDMP MAP**

Process Number

**Z2022000312**

Section: 09 Township: 57 Range: 38  
 Applicant: VB BTS II, LLC c/o Mattniah S. Jahn, P.A.  
 Zoning Board: C14  
 Commission District: 8  
 Drafter ID: EDUARDO CESPEDES  
 Scale: NTS

**Legend**

 Subject Property Case



SKETCH CREATED ON: Thursday, March 16, 2023

REVISION	DATE	BY



# RECEIVED

MIAMI-DADE COUNTY  
 PROCESS NO.: Z22-312  
 DATE: NOV 4 2024  
 BY: GONGOL

**NOTES:**

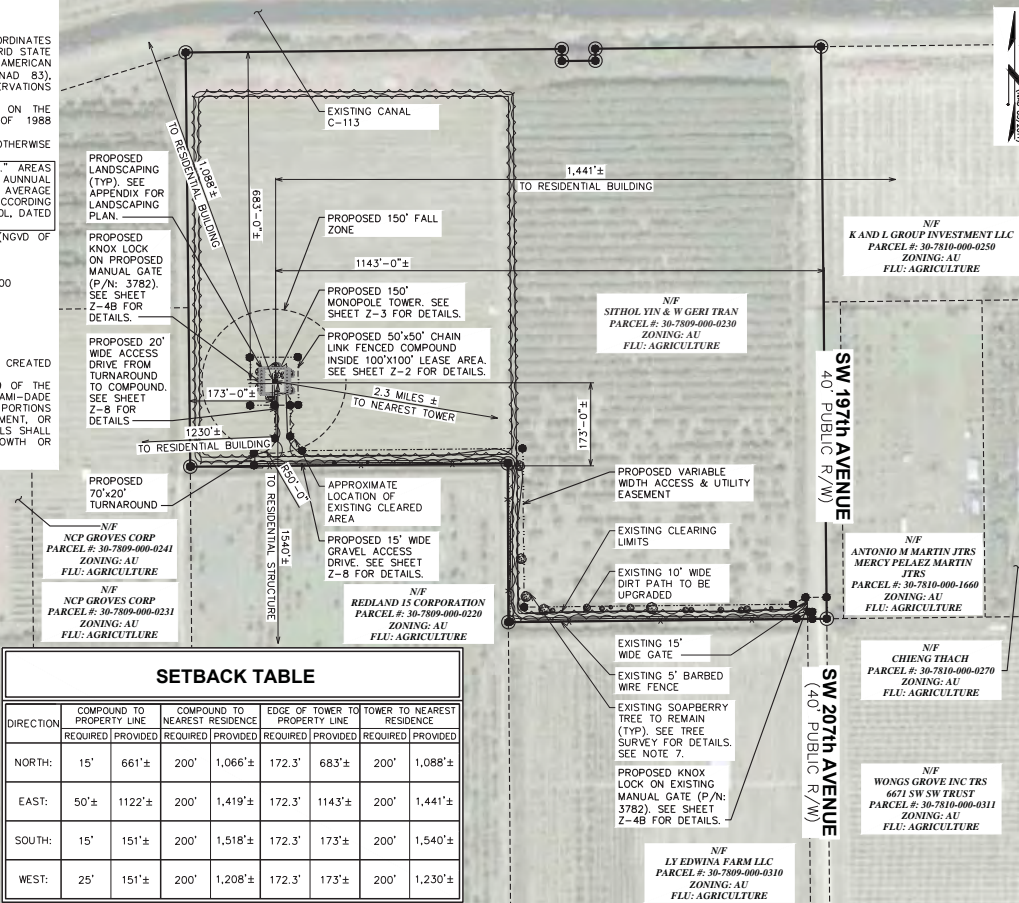
- THE BASIS OF THE MERIDIANS AND COORDINATES FOR THIS PLAN IS THE FLORIDA EAST GRID STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM 1983 (FL EAST GRID SPCS NAD 83), BASED ON DIFFERENTIAL GPS OBSERVATIONS PERFORMED ON MARCH 2, 2022.
- VERTICAL INFORMATION SHOWN, BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD '88) IN FEET. ALL DISTANCES ARE GROUND UNLESS OTHERWISE NOTED.
- THE TOWER IS LOCATED IN ZONE "AH." AREAS SUBJECT TO INUNDATION BY 1% ANNUAL CHANCE SHALLOW FLOODING WHERE AVERAGE DEPTHS ARE BETWEEN 1 AND 3 FEET ACCORDING TO FEMA COMMUNITY PANEL #12086C0710L, DATED SEPTEMBER 11, 2009.
- BASE FLOOD ELEVATION = 8.2' AMSL (NGVD OF 1929)
- LESSEE INFORMATION:  
 VB BTS, LLC  
 750 PARK OF COMMERCE DRIVE, SUITE 200  
 BOCA RATON, FL 33487  
 (954) 608-9338
- PROPERTY OWNER INFORMATION:  
 SITHOL YIN & W GERI TRAN  
 32 BEADEL ST  
 BROOKLYN, NY 11222
- SEE APPENDIX FOR LANDSCAPING PLAN CREATED BY LICENSED LANDSCAPE ARCHITECT.
- IN ACCORDANCE WITH SECTION 24-49.9 OF THE CODE, ALL PLANTS PROHIBITED BY MIAMI-DADE COUNTY SHALL BE REMOVED FROM ALL PORTIONS OF THE PROPERTY PRIOR TO DEVELOPMENT, OR REDEVELOPMENT AND DEVELOPED PARCELS SHALL BE MAINTAINED TO PREVENT THE GROWTH OR ACCUMULATION OF PROHIBITED SPECIES.

**LEGEND**

- EXIST. PROPERTY LINE
- ADJ. PROPERTY LINE
- EXIST. UTILITY POLE
- ⊙ EXIST. LIGHT POLE
- ⊕ EXIST. HYDRANT
- EXIST. TELCO PEDESTAL
- PROPERTY CORNER
- LEASE/EASE. CORNER
- 200--- EXIST. CONTOUR LINE
- ==== EDGE OF PAVEMENT
- OHW--- OVERHEAD WIRE
- R/W--- RIGHT-OF-WAY
- x— CHAIN LINK FENCE
- ~~~~~ EXISTING TREE LINE

**SETBACK TABLE**

DIRECTION	COMPOUND TO PROPERTY LINE		COMPOUND TO NEAREST RESIDENCE		EDGE OF TOWER TO PROPERTY LINE		TOWER TO NEAREST RESIDENCE	
	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED
NORTH:	15'	661'±	200'	1,066'±	172.3'	683'±	200'	1,088'±
EAST:	50'±	1122'±	200'	1,419'±	172.3'	1143'±	200'	1,441'±
SOUTH:	15'	151'±	200'	1,518'±	172.3'	173'±	200'	1,540'±
WEST:	25'	151'±	200'	1,208'±	172.3'	173'±	200'	1,230'±



PLANS PREPARED FOR:  
**verticalbridge**  
 750 PARK OF COMMERCE DRIVE, STE 200  
 BOCA RATON, FL 33487  
 (954) 608-9338

PROJECT INFORMATION:  
**AVOCADO DRIVE**  
**VB SITE #: US-FL-7093**  
**TMO SITE ID: 6MD2267A**  
 SW 207TH AVE  
 HOMESTEAD, FL 33030  
 (MIAMI-DADE COUNTY)

PLANS PREPARED BY:  
**TOWER ENGINEERING PROFESSIONALS**  
 326 TRYON ROAD  
 RALEIGH, NC 27603-3530  
 OFFICE: (919) 661-6351  
 www.tepgroup.net  
 FL COA # 31011

DIGITAL SEAL:  
 THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY JOSHUA H. GARDEN ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

SEAL:  
  
 JOSHUA H. GARDEN  
 LICENSE  
 No 83511  
 STATE OF FLORIDA  
 PROFESSIONAL ENGINEER  
 August 07, 2024

15	08-07-24	CONSTRUCTION
14	05-17-24	CONSTRUCTION
REV	DATE	ISSUED FOR:
DRAWN BY: DAD		CHECKED BY: TDS

SHEET TITLE:  
**SITE PLAN**

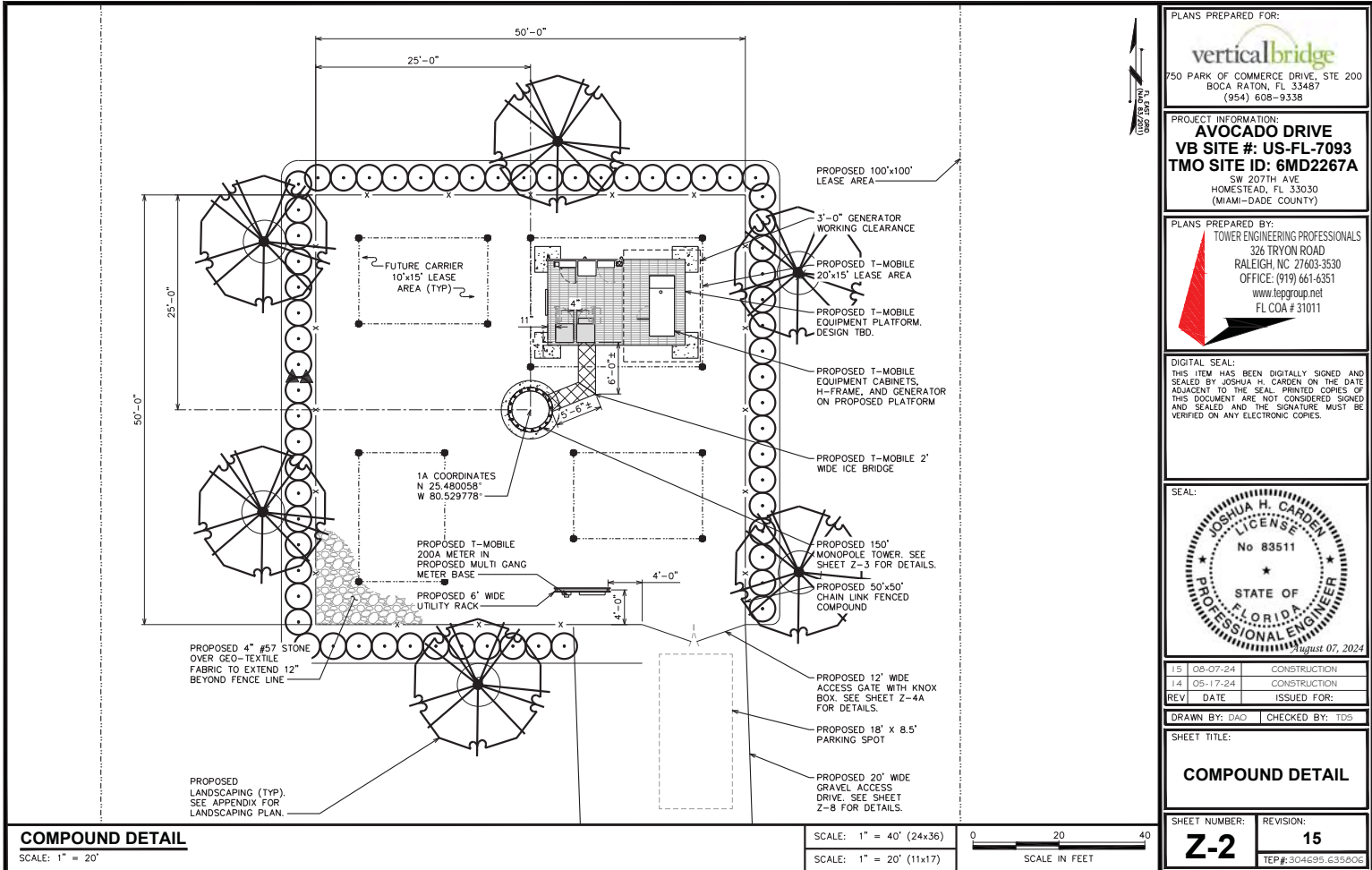
**SITE PLAN**  
 SCALE: 1" = 200'

SCALE: 1" = 400' (24x36)  
 SCALE: 1" = 200' (11x17)  
 SCALE IN FEET

SHEET NUMBER: **Z-1**  
 REVISION: **15**  
 TEP#: 304695.635806

# RECEIVED

MIAMI-DADE COUNTY  
 PROCESS NO.: Z22-312  
 DATE: NOV 4 2024  
 BY: GONGOL

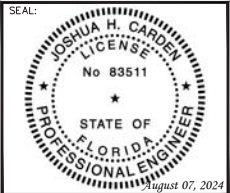


PLANS PREPARED FOR:  
**verticalbridge**  
 750 PARK OF COMMERCE DRIVE, STE 200  
 BOCA RATON, FL 33487  
 (954) 608-9338

PROJECT INFORMATION:  
**AVOCADO DRIVE**  
**VB SITE #: US-FL-7093**  
**TMO SITE ID: 6MD2267A**  
 SW 207TH AVE  
 HOMESTEAD, FL 33030  
 (MIAMI-DADE COUNTY)

PLANS PREPARED BY:  
**TOWER ENGINEERING PROFESSIONALS**  
 326 TRYON ROAD  
 RALEIGH, NC 27603-3530  
 OFFICE: (919) 661-6351  
 www.tepgroup.net  
 FL COA # 31011

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15	08-07-24	CONSTRUCTION
14	05-17-24	CONSTRUCTION
REV	DATE	ISSUED FOR:
DRAWN BY: DAD		CHECKED BY: TDS

SHEET TITLE:

**COMPOUND DETAIL**

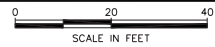
SHEET NUMBER:	REVISION:
<b>Z-2</b>	<b>15</b>
TEP#:304695.635806	

**COMPOUND DETAIL**

SCALE: 1" = 20'

SCALE: 1" = 40' (24x36)

SCALE: 1" = 20' (11x17)



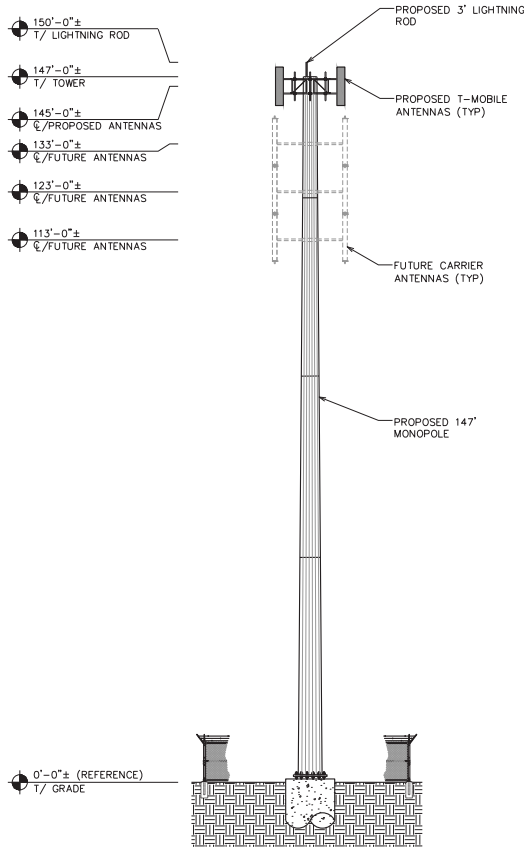
SCALE IN FEET

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MIAMI-DADE COUNTY  
 PROCESS NO.: Z22-312  
 DATE: NOV 4 2024  
 BY: GONGOL

**NOTES:**

1. PROPOSED CABLES TO BE RUN AS PER SPECIFICATIONS OF PASSING STRUCTURAL ANALYSIS. IF PROPOSED CABLES TO BE RUN INSIDE TOWER USING HOISTING GRIPS (AS DIRECTED BY TOWER MANUFACTURER).
2. TOWER ELEVATION SHOWN FOR REFERENCE ONLY. VERIFY ACTUAL TOWER DESIGN & LOADING WITH TOWER DRAWINGS FROM MANUFACTURER AND/OR PASSING STRUCTURAL ANALYSIS PRIOR TO CONSTRUCTION.
3. CONTRACTOR TO VERIFY PROPOSED LOADING WITH PASSING STRUCTURAL ANALYSIS PRIOR TO CONSTRUCTION. CONTACT T-MOBILE OR TOWER OWNER IN THE EVENT OF ANY DISCREPANCIES.
4. TOWER SHALL BE ILLUMINATED AS REQUIRED BY THE FEDERAL AVIATION ADMINISTRATION (FAA).
5. PROPOSED TOWER TO BE PAINTED TO MATCH SURROUNDING DEVELOPMENT.

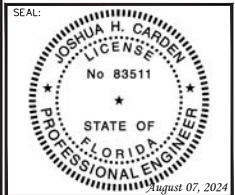


PLANS PREPARED FOR:  
  
 750 PARK OF COMMERCE DRIVE, STE 200  
 BOCA RATON, FL 33487  
 (954) 608-9338

PROJECT INFORMATION:  
**AVOCADO DRIVE**  
**VB SITE #: US-FL-7093**  
**TMO SITE ID: 6MD2267A**  
 SW 207TH AVE  
 HOMESTEAD, FL 33030  
 (MIAMI-DADE COUNTY)

PLANS PREPARED BY:  
 TOWER ENGINEERING PROFESSIONALS  
 326 TRYON ROAD  
 RALEIGH, NC 27603-3530  
 OFFICE: (919) 661-6351  
 www.tepgroup.net  
 FL COA # 31011

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15	08-07-24	CONSTRUCTION
14	05-17-24	CONSTRUCTION
REV	DATE	ISSUED FOR:

DRAWN BY: DAD | CHECKED BY: TDS

SHEET TITLE:

**TOWER ELEVATION**

**TOWER ELEVATION**

SCALE: 1" = 20'

SCALE: 1" = 40' (24x36)

SCALE: 1" = 20' (11x17)

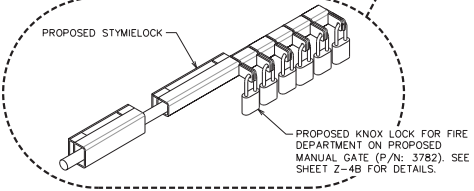
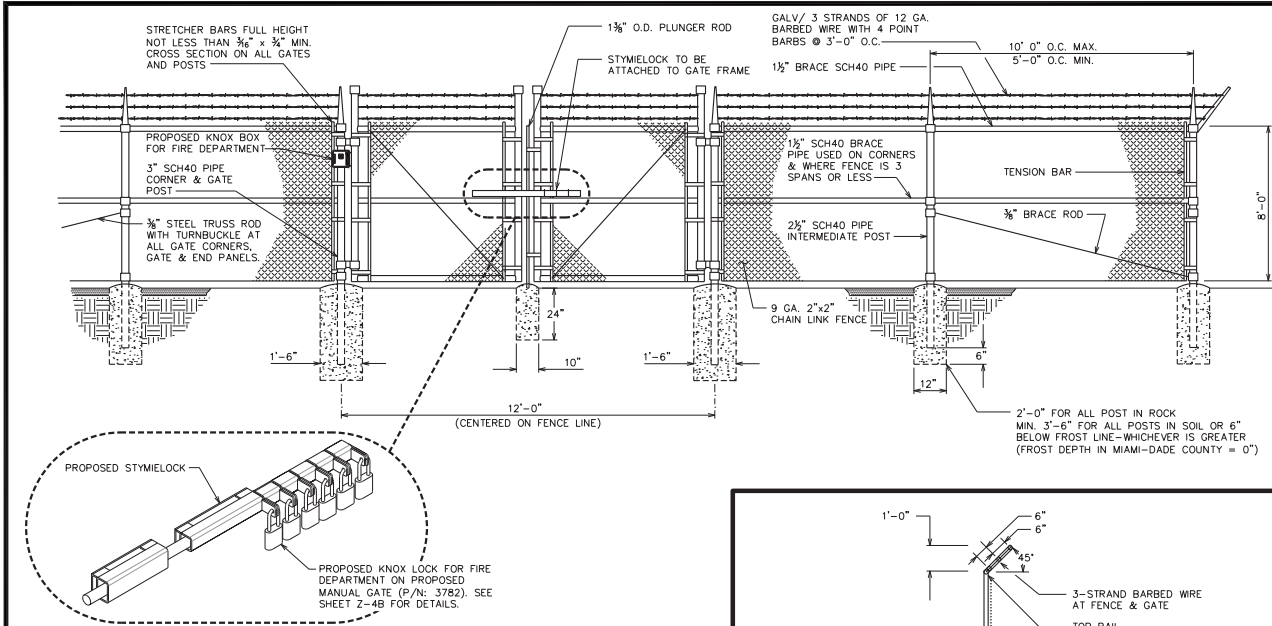
0 20 40

SCALE IN FEET

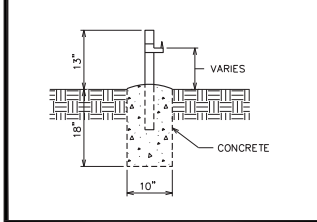
SHEET NUMBER: **Z-3** REVISION: **15**  
 TEP#:304695.635806

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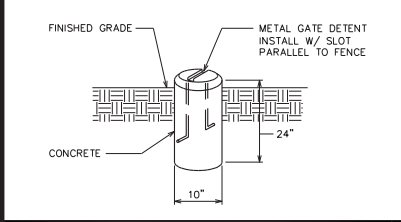
MIAMI-DADE COUNTY  
 PROCESS NO.: Z22-312  
 DATE: NOV 4 2024  
 BY: GONGOL



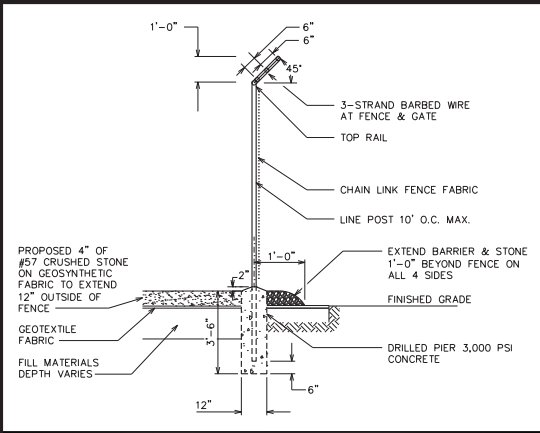
**TYPICAL FENCE ELEVATION**  
 SCALE: N.T.S.



**GATE STOP / KEEPER DETAIL**  
 SCALE: N.T.S.



**GATE DETENT DETAIL**  
 SCALE: N.T.S.



**FENCE / BARBED WIRE ARM DETAIL**  
 SCALE: N.T.S.

PLANS PREPARED FOR:  
**verticalbridge**  
 750 PARK OF COMMERCE DRIVE, STE 200  
 BOCA RATON, FL 33487  
 (954) 608-9338

PROJECT INFORMATION:  
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**VB SITE #: US-FL-7093**  
**TMO SITE ID: 6MD2267A**  
 SW 207TH AVE  
 HOMESTEAD, FL 33030  
 (MIAMI-DADE COUNTY)

PLANS PREPARED BY:  
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SEAL:  
**JOSHUA H. GARDEN**  
 LICENSE  
 No 83511  
 STATE OF  
 FLORIDA  
 PROFESSIONAL ENGINEER  
 July 11, 2023

12	07-11-23	CONSTRUCTION
11	07-05-23	CONSTRUCTION
REV	DATE	ISSUED FOR:
DRAWN BY: DAO		CHECKED BY: TDS

SHEET TITLE:  
**COMPOUND FENCE DETAILS**

SHEET NUMBER: **Z-4A** REVISION: **12**  
 TEP#:304695.635806

# RECEIVED

MIAMI-DADE COUNTY  
 PROCESS NO.: Z22-312  
 DATE: NOV 4 2024  
 BY: GONGOL



## KNOX ePADLOCKS™



Model KLS-3781



Model KLS-3782

**Model KLS-3783**



Model KLS-3783

**Model KLS-3784**



Model KLS-3784

**Model KLS-3785**



Model KLS-3785

**Model KLS-3786**



Model KLS-3786

**FEATURES**


- All-weather rust-free, stainless steel Grade 6 shackle
- Weather resistant body with durable cover (KNOX® cylinder protector, sealed shackle roller and drainage system)
- Available in 4", 3" and 2" shackle heights
- Anti-drift hardware
- Key retaining (when open)
- High-security shrouded version available
- Authorized agency identification label options: Fire (red), EMS (white), Police (blue), Sheriff (gold) and Security (white)

**BENEFITS**


- New shackle lengths support additional applications
- Improved attack resistance provides longer service life
- The eLock can be reprogrammed - rekeying is now obsolete
- Reduced maintenance
- Easy to share access for mutual aid (no additional keys needed)
- Key retention prevents dropped/lost keys
- Accessed with the same key as your KNOXBox, even when lock codes are different

MODEL #	KLS-3781	KLS-3782	KLS-3783	KLS-3784
WHERE USED	Exits with visible heads	Most e-padlock applications and traps	Exits with limited space or clearance	Exits prone to attack or vandalism
TOTAL HEIGHT	7"	5-1/2"	4-5/8"	4-5/8"
SHACKLE LENGTH	3-7/8"	2-5/8"	1-1/4"	1-1/8"
SHACKLE DIAMETER	7/8"			
BODY DIMENSIONS	2-1/2" W x 3-5/8" D			
MATERIAL	Solid brass lock body with all-weather plastic cover, stainless steel ASTM Grade 6 shackle			
LOCK	KNOX eLock electronic cylinder			
ENVIRONMENTAL	IP57 (water and dust resistant)			
OPERATION TEMPERATURE	-40C to +50C			

1601 W. DEER VALLEY ROAD, PHOENIX, AZ 85027 | T: 800-552-5669 | F: 602-487-2290 | INFO@KNOXBOX.COM | KNOXBOX.COM  
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## KNOX ePADLOCKS™



**MODEL # CROSS REFERENCE TABLE**


The table below shows the recommended replacement model for your existing Knox mechanical master key padlock.

PADLOCK TYPE	IF YOU HAVE KNOX PADLOCK MODEL:	USE KLS PADLOCK MODEL:
MEDIUM SHACKLE	3770	3782 - 2-5/8" shackle
	3771	Ensure traps can accommodate thicker shackle when replacing 3771 shackle with a 3/8" shackle
ALL WEATHER SHROUDED	3772	3784 - 1-1/4" shackle
SHORT SHACKLE	3774	3783 - 1-1/4" shackle
		Ensure traps can accommodate thicker shackle when replacing 3774 shackle with a 3/8" shackle

**ABOUT KNOX COMPANY**


Over forty years ago, a unique concept in rapid access for emergency response was born. The KnoxBox™, a high-security key lock box, was designed to provide rapid access for emergency responders to reduce response times, minimize injuries and protect property from forced entry.

Today, one revolutionary lock box has grown into a complete system providing rapid access for public safety agencies, industries, military, and property owners across the world. The Knox Company is trusted by over 14,000 fire departments, law enforcement agencies, and governmental entities.



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PLANS PREPARED FOR:

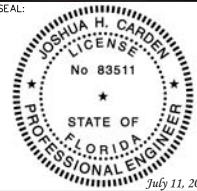
  
 750 PARK OF COMMERCE DRIVE, STE 200  
 BOCA RATON, FL 33487  
 (954) 608-9338

PROJECT INFORMATION:  
**AVOCADO DRIVE**  
**VB SITE #: US-FL-7093**  
**TMO SITE ID: 6MD2267A**  
 SW 207TH AVE  
 HOMESTEAD, FL 33030  
 (MIAMI-DADE COUNTY)

PLANS PREPARED BY:  
**TOWER ENGINEERING PROFESSIONALS**  
 326 TRYON ROAD  
 RALEIGH, NC 27603-3530  
 OFFICE: (919) 661-6351  
 www.tepgroup.net  
 FL COA # 31011

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SEAL:



July 11, 2023

12	07-11-23	CONSTRUCTION
11	07-05-23	CONSTRUCTION
REV	DATE	ISSUED FOR:
DRAWN BY: DAD		CHECKED BY: TDS

**KNOX LOCK DETAIL**

SHEET NUMBER:	REVISION:
Z-4B	12
TEP#:304695.635806	

**KNOX LOCK DETAILS**  
 SCALE: N.T.S.

# RECEIVED

MIAMI-DADE COUNTY  
 PROCESS NO.: Z22-312  
 DATE: NOV 4 2024  
 BY: GONGOL

**NOTES:**

- SIGNS SHALL BE FABRICATED FROM CORROSION RESISTANT PRESSED METAL, AND PAINTED WITH LONG LASTING UV RESISTANT COATINGS.
- SIGNS (EXCEPT WHERE NOTED OTHERWISE) SHALL BE MOUNTED TO THE TOWER, GATE AND FENCE USING A MINIMUM OF 9 GAUGE ALUMINUM WIRE, HOG RINGS (AS UTILIZED IN FENCE INSTALLATIONS) OR BRACKETS WHERE NECESSARY. BRACKETS SHALL BE OF SIMILAR METAL AS THE STRUCTURE TO AVOID GALVANIC CORROSION.
- ADDITIONAL E911 ADDRESS SIGNS ARE REQUIRED AT EACH ACCESS ROAD GATE LEADING TO THE COMPOUND AS WELL AS ON THE COMPOUND GATE ITSELF.
- ADDITIONAL FCC REGISTRATION # SIGNS ARE REQUIRED AT EACH ACCESS ROAD GATE LEADING TO THE COMPOUND AS WELL AS ON THE COMPOUND GATE ITSELF. SIGN SHALL MEASURE (20" LONG x 4" TALL), THE LETTERS SHALL BE 1" AND THE NUMBERS SHALL BE 2".
- RECOMMENDED SOURCES FOR OBTAINING SIGNAGE:

ST. CLAIR SIGNS  
 3184 WADE HAMPTON BOULEVARD  
 TAYLORS, SC 29687  
 (864) 244-0040

RF EXPOSURE SIGNS  
 RICHARD TELL ASSOCIATES  
 3433 RINGSTAR ROAD, SUITE 3  
 NORTH LAS VEGAS, NV 89030  
 (702) 645-3338

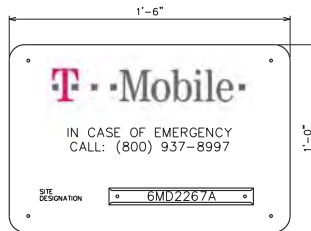
EXCEL SIGN & DECAL  
 1509 NORTH MILPITAS BLVD.  
 MILPITAS, CA 95035  
 (408) 942-8881

**ATTENTION**  
 THE SITE SHALL ONLY CONTAIN SIGNAGE AS MANDATED BY THE FCC.

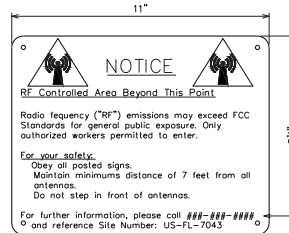


④ WHITE BACKGROUND WITH BLACK LETTERING  
 QUANTITY: (2)  
 TO BE MOUNTED ON: COMPOUND ACCESS GATE  
 ACCESS DRIVE GATE  
 (SEE NOTE 4)

NOTE:  
 NUMBER SHOWN IS GENERIC,  
 CONTRACT CONSTRUCTION MANAGER  
 FOR ACTUAL FCC TOWER REG. #.



EMERGENCY SIGN  
 (RED METAL W/ WHITE LETTERING)



RF NOTICE SIGN  
 (WHITE METAL SIGN W/BLACK LETTERING)



CONTRACTOR SHALL VERIFY ADDRESS PRIOR TO ORDERING SIGNAGE.

RED LETTERS (ALL OTHERS BLACK)  
 CONTRACTOR TO COORDINATE NUMBERS (TYP)

CONTRACTOR TO COORDINATE NUMBERS (TYP)

PLANS PREPARED FOR:  
  
 750 PARK OF COMMERCE DRIVE, STE 200  
 BOCA RATON, FL 33487  
 (954) 608-9338

PROJECT INFORMATION:  
**AVOCADO DRIVE**  
**VB SITE #: US-FL-7093**  
**TMO SITE ID: 6MD2267A**  
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 HOMESTEAD, FL 33030  
 (MIAMI-DADE COUNTY)

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SHEET TITLE:  
**SIGNAGE DETAILS**

SHEET NUMBER: <b>Z-5</b>	REVISION: <b>12</b>
TEP#304695.635806	

**TYPICAL SIGNS AND SPECIFICATIONS**

SCALE: N.T.S.

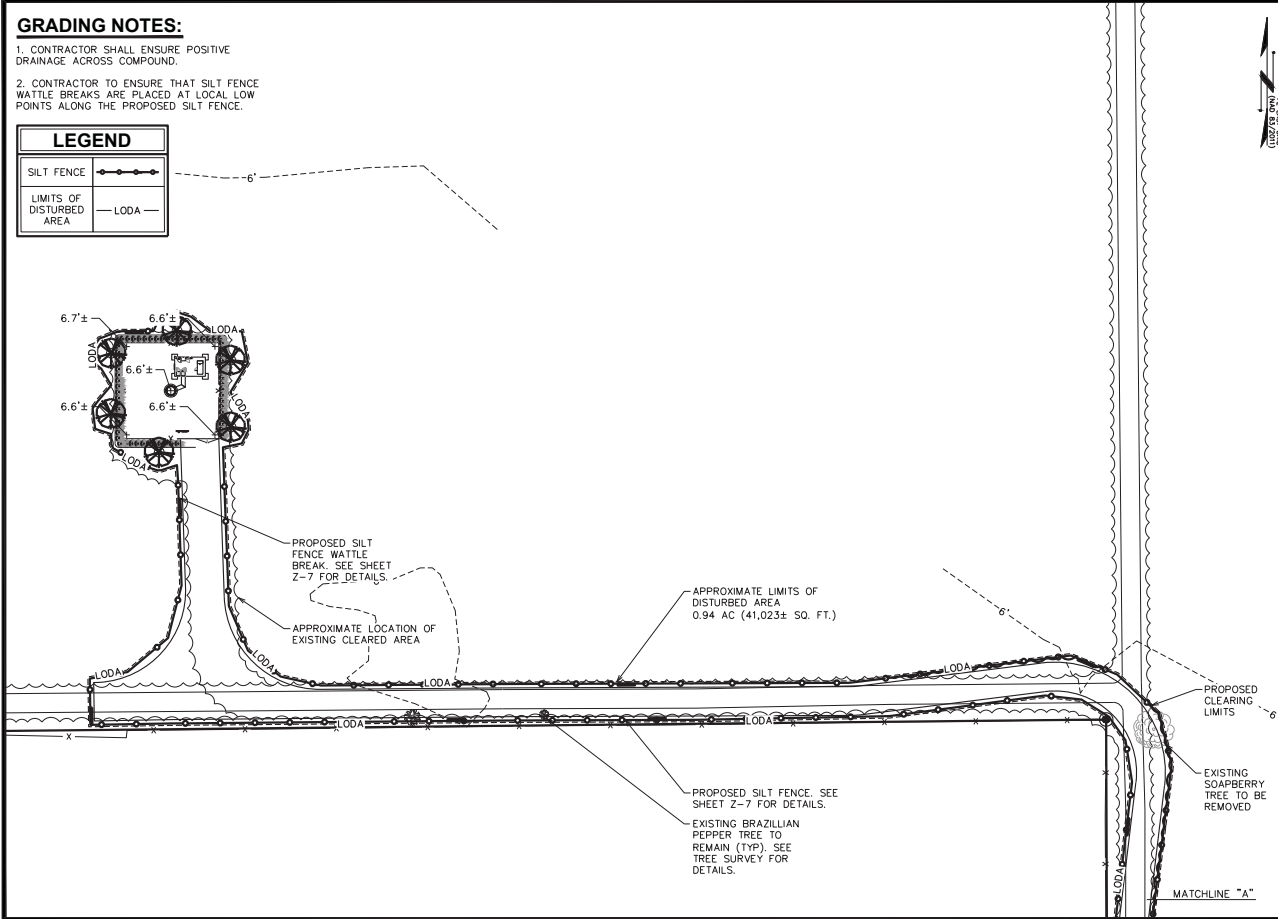
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 PROCESS NO.: Z22-312  
 DATE: NOV 4 2024  
 BY: GONGOL

**GRADING NOTES:**

1. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE ACROSS COMPOUND.
2. CONTRACTOR TO ENSURE THAT SILT FENCE WATTLE BREAKS ARE PLACED AT LOCAL LOW POINTS ALONG THE PROPOSED SILT FENCE.

LEGEND	
SILT FENCE	
LIMITS OF DISTURBED AREA	

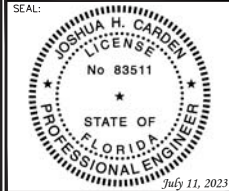


PLANS PREPARED FOR:  
  
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 BOCA RATON, FL 33487  
 (954) 608-9338

PROJECT INFORMATION:  
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SHEET TITLE:  
**GRADING & EROSION CONTROL PLAN I**

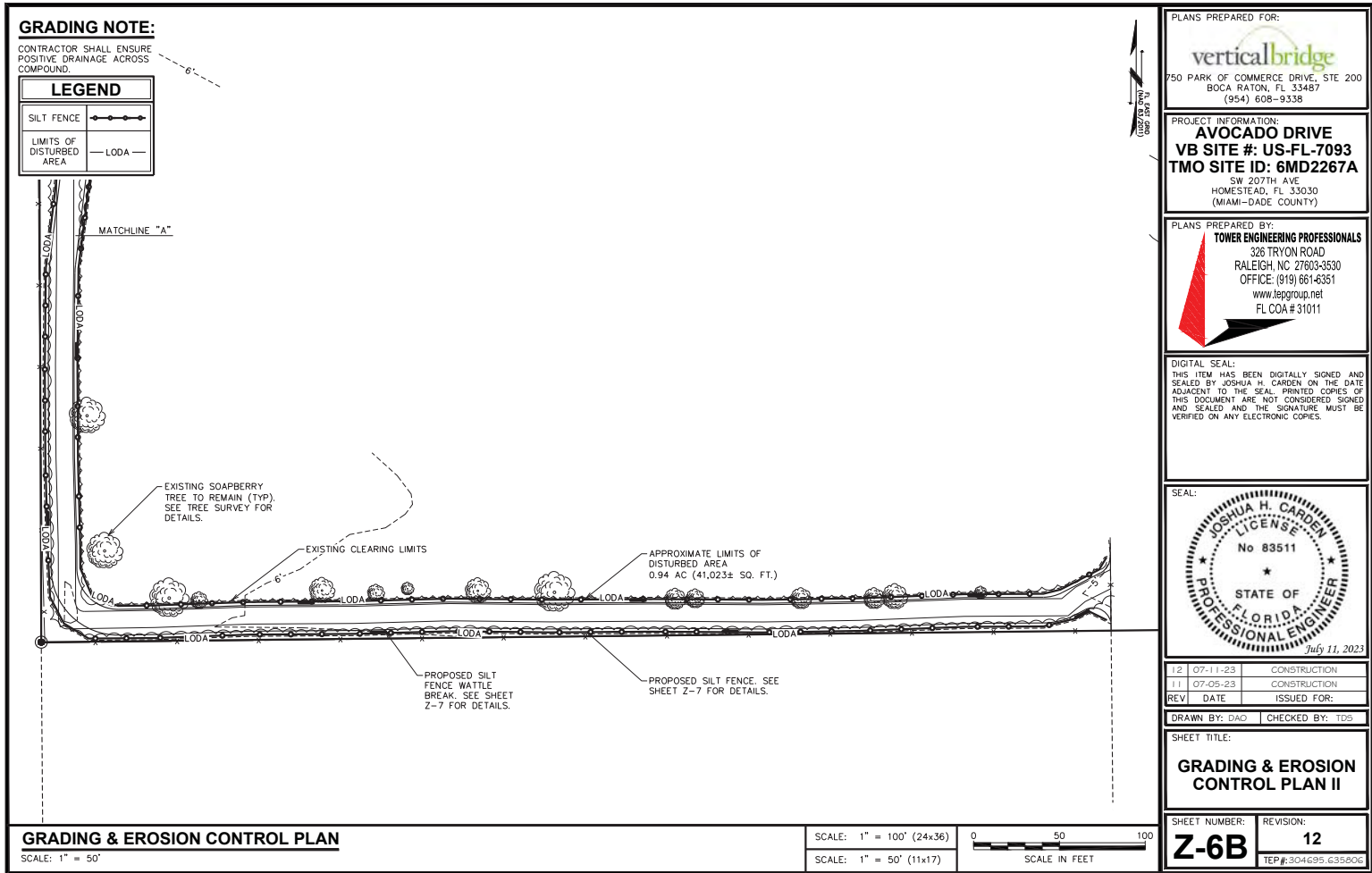
**GRADING & EROSION CONTROL PLAN**  
 SCALE: 1" = 50'

SCALE: 1" = 100' (24x36)  
 SCALE: 1" = 50' (11x17)  
 0 50 100  
 SCALE IN FEET

SHEET NUMBER: **Z-6A**  
 REVISION: **12**  
 TEP#: 304695.635806

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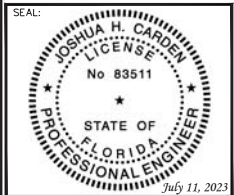


PLANS PREPARED FOR:  
**verticalbridge**  
 750 PARK OF COMMERCE DRIVE, STE 200  
 BOCA RATON, FL 33487  
 (954) 608-9338

PROJECT INFORMATION:  
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SHEET TITLE:  
**GRADING & EROSION CONTROL PLAN II**

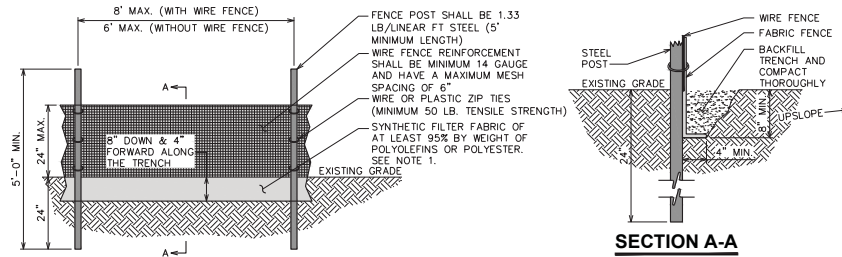
SHEET NUMBER: **Z-6B**  
 REVISION: **12**  
 TEP#304695.635806

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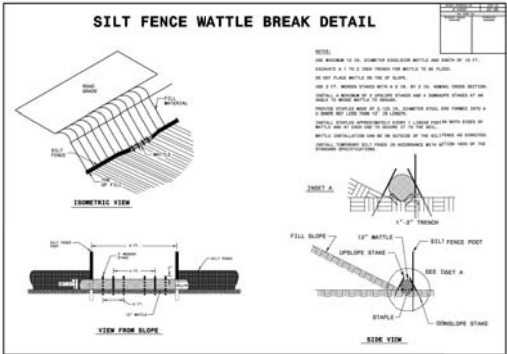
**NOTES:**

1. FILTER FABRIC SHALL CONFORM TO THE REQUIREMENTS LISTED IN ASTM D 6461.
2. ENDS OF INDIVIDUAL FILTER FABRIC SHALL BE SECURELY FASTENED AT A SUPPORT POST WITH 4 FEET MINIMUM OVERLAP TO THE NEXT POST
3. PLACE 10 INCHES OF FABRIC ALONG THE BOTTOM AND SIDE OF THE TRENCH.
4. INSPECT SEDIMENT FENCE(S) AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL.
5. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE.
6. AFTER CONSTRUCTION IS COMPLETE, THE CONTRACTOR SHALL REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS, BRING THE AREA TO GRADE AND PROPERLY STABILIZE THE SITE.



**SILT FENCE DETAIL**

SCALE: N.T.S.



**STANDARD SILT FENCE WATTLE BREAK DETAIL**

SCALE: N.T.S.

PLANS PREPARED FOR:

750 PARK OF COMMERCE DRIVE, STE 200  
 BOCA RATON, FL 33487  
 (954) 608-9338

PROJECT INFORMATION:

**AVOCADO DRIVE**  
**VB SITE #: US-FL-7093**  
**TMO SITE ID: 6MD2267A**

SW 2077th AVE  
 HOMESTEAD, FL 33030  
 (MIAMI-DADE COUNTY)

PLANS PREPARED BY:

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11	07-05-23	CONSTRUCTION
REV	DATE	ISSUED FOR:

DRAWN BY: DAO | CHECKED BY: TDS

SHEET TITLE:  
**SILT FENCE DETAILS**

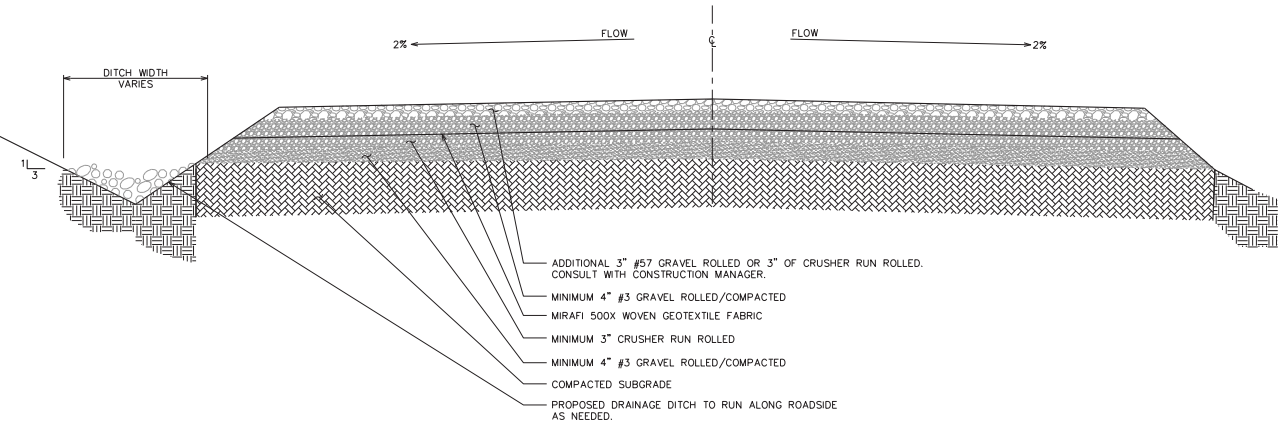
SHEET NUMBER:	REVISION:
<b>Z-7</b>	<b>12</b>
TEP#: 304695.635806	

# RECEIVED

MIAMI-DADE COUNTY  
 PROCESS NO.: Z22-312  
 DATE: NOV 4 2024  
 BY: GONGOL

**NOTES:**

ACCESS ROAD IS DESIGNED TO SUPPORT 32 TONS.



- ADDITIONAL 3" #57 GRAVEL ROLLED OR 3" OF CRUSHER RUN ROLLED. CONSULT WITH CONSTRUCTION MANAGER.
- MINIMUM 4" #3 GRAVEL ROLLED/COMPACTED
- MIRAFI 500X WOVEN GEOTEXTILE FABRIC
- MINIMUM 3" CRUSHER RUN ROLLED
- MINIMUM 4" #3 GRAVEL ROLLED/COMPACTED
- COMPACTED SUBGRADE
- PROPOSED DRAINAGE DITCH TO RUN ALONG ROADSIDE AS NEEDED.


PLANS PREPARED FOR:  
  
 750 PARK OF COMMERCE DRIVE, STE 200  
 BOCA RATON, FL 33487  
 (954) 608-9338

PROJECT INFORMATION:  
**AVOCADO DRIVE**  
**VB SITE #: US-FL-7093**  
**TMO SITE ID: 6MD2267A**  
 SW 207TH AVE  
 HOMESTEAD, FL 33030  
 (MIAMI-DADE COUNTY)

PLANS PREPARED BY:  
**TOWER ENGINEERING PROFESSIONALS**  
 326 TRYON ROAD  
 RALEIGH, NC 27603-3530  
 OFFICE: (919) 661-6351  
 www.tepgroup.net  
 FL COA # 31011



DIGITAL SEAL:  
 THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY JOSHUA H. GARDEN ON THE DATE ADJACENT TO THIS SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

SEAL:  
  
 JOSHUA H. GARDEN  
 LICENSE  
 No 83511  
 STATE OF  
 FLORIDA  
 PROFESSIONAL ENGINEER  
 July 11, 2023

12	07-11-23	CONSTRUCTION
11	07-05-23	CONSTRUCTION
REV	DATE	ISSUED FOR:

DRAWN BY: DAO | CHECKED BY: TDS

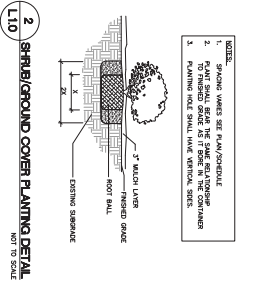
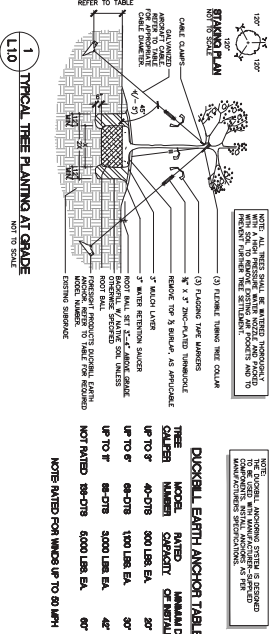
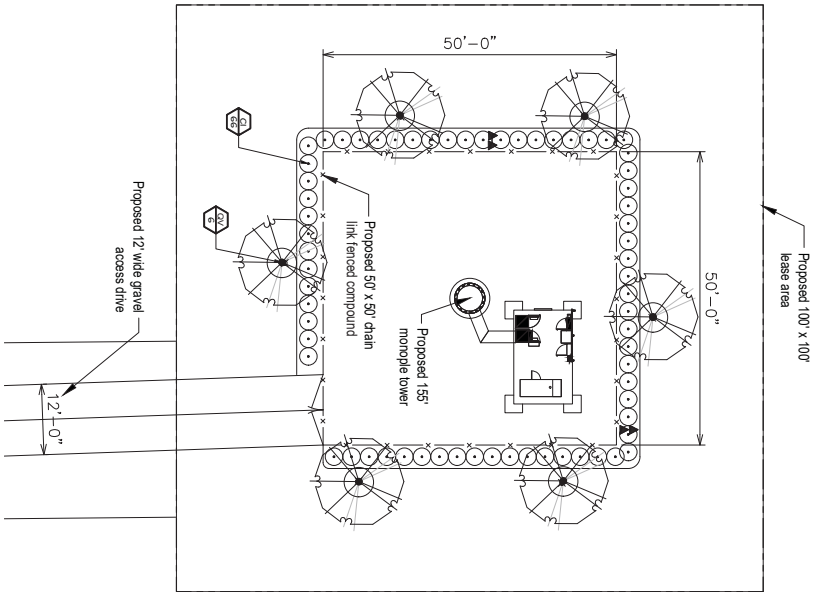
SHEET TITLE:

**ACCESS ROAD  
 DETAILS**

**STANDARD ROAD SECTION**  
 SCALE: N.T.S.

SHEET NUMBER: **Z-8** REVISION: **12**  
 TEP#: 304695.635806





**NOT TO SCALE**

TREE CALIBER	MODEL NUMBER	RATED WEIGHT	MINIMUM PERCENTAGE OF INSTALLATION
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**GENERAL LANDSCAPE NOTES**

- All landscape material shall be in full compliance with the standards for nursery plants, parts and II, by Division of Plant Industry, Florida Department of Agriculture and Consumer Services, and shall conform to current American Association of Nurserymen Standard for Nursery Stock. Landscape materials shall be planted according to Standard Nursery Practices.
- All shrubs shall be a minimum of 30" high at the time of planting and spread no greater than 30". All trees shall be a minimum of 10" dbh and 7' caliper at time of planting. All required trees shall be a minimum of 10" dbh and 7' caliper at time of planting. All required trees shall be a minimum of 5 feet from impervious surfaces, all shrubs 2 feet.
- The contractor shall be responsible for the clean up of premises and removal of all discarded and surplus materials, and rubbish.
- Verify the locations of existing trees, lawns, and shrubs. Remove existing materials such as rocks, branches, building materials or incompatible soils prior to planting soil, trees, and shrubs, where encountered.
- Contractor shall become acquainted with the related paving, site grading, and all related utility work (water, sewer, gas, etc.) prior to planting.
- The exact location of all existing structures, underground utilities, and pipes may not be as indicated on drawings. The contractor shall determine the location of these items and shall conduct the work in a manner to prevent obstruction or damage to existing structures and utilities, which may include removal, relocation and shall be responsible for their replacement if damaged by him.
- Contractor shall call Sunshine State One-Call at least 48 hours prior to digging.
- Quantities on plan take precedence over materials list. Quantities on materials list are provided as a courtesy only.

**LANDSCAPE REQUIREMENTS**

As per Miami-Dade County Landscape Code requirements (Section 16A-4)

Lot Tree Calculations: Zoned CU Interim Use  
 Max. required lot trees = required - (9) trees per lot = 10,000 sq ft / 43,580 - 423 = 23 x 3' - (2) trees req'd and prov'd

Max. Lawn Area Calculation  
 The maximum lawn area requirement = 10,000 sq ft - 6,000 sq ft max lawn area = 4,000 sq ft

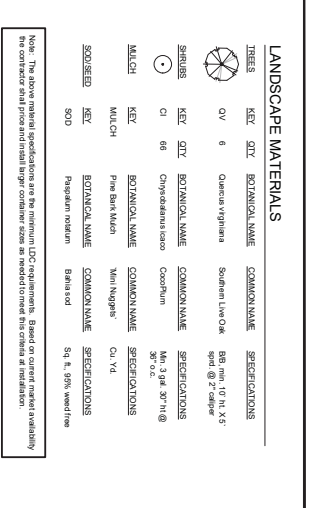
Barriers between dissimilar land uses  
 Where chain-link fencing is used, shrubs shall also be planted. The shrubs shall be a minimum of thirty (30") in height at time of planting, and shall be planted at a maximum average spacing of thirty-six (36") on center. Barriers shall include trees planted at a minimum of 10 feet from the fence and shall be within a minimum five (5) foot landscaped strip (180' / 36" = (6) trees req'd and prov'd)

Native Species Requirement  
 30% of total trees and shrubs shall be native species. 100% of the trees and shrubs provided are native species.

**ADDITIONAL NOTES:**  
 All landscape materials shall be planted with grade. All Pine Bark Mulch or approved equivalent as mandated by Miami-Dade County. Areas not planted with trees, shrubs, or groundcover shall be sodded with Bahiá sod.  
 Contractor shall install new irrigation system to provide 100% coverage to all landscape areas.

**LANDSCAPE MATERIALS**

TREES	KEY	QTY	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS
	QV	6	Quercus virginiana	Southern Live Oak	888 mm (1'0" H), 2.5" dbh @ 1.37m
	CI	66	Chrysanthemum leucanthemum	Chrysanthemum	18" x 18" x 30" H @ 30" W.C.
	MULCH		Pine Bark Mulch	3/4" - 1" Particle Size	10,000 sq ft
	SODDED		Bahiá sod	Bahiá sod	54 sq ft, 30% coverage



ALL CONCEPTS, LAYOUTS, DIMENSIONS AND PLANS DEPICTED BY THIS DRAWING ARE THE PROPERTY OF KEMPION FINARD, INC. AND WERE DEVELOPED FOR THIS SPECIFIC PROJECT. THESE CONCEPTS, LAYOUTS, PLANS AND DIMENSIONS ARE NOT TO BE TRANSFERRED TO ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN APPROVAL OF KEMPION FINARD, INC.

<p><b>Revisions:</b></p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>10/10/22</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>2</td> <td>10/10/22</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>3</td> <td>10/10/22</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>4</td> <td>10/10/22</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>5</td> <td>10/10/22</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>6</td> <td>10/10/22</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>7</td> <td>10/10/22</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>8</td> <td>10/10/22</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>9</td> <td>10/10/22</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>10</td> <td>10/10/22</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>11</td> <td>10/10/22</td> <td>ISSUED FOR</td></tr></tbody></table>	NO.	DATE	DESCRIPTION	1	10/10/22	ISSUED FOR PERMIT	2	10/10/22	ISSUED FOR PERMIT	3	10/10/22	ISSUED FOR PERMIT	4	10/10/22	ISSUED FOR PERMIT	5	10/10/22	ISSUED FOR PERMIT	6	10/10/22	ISSUED FOR PERMIT	7	10/10/22	ISSUED FOR PERMIT	8	10/10/22	ISSUED FOR PERMIT	9	10/10/22	ISSUED FOR PERMIT	10	10/10/22	ISSUED FOR PERMIT	11	10/10/22	ISSUED FOR
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MIAMI-DADE COUNTY  
PROCESS NO.: Z22-312

DATE: NOV 4 2024

**DISCLOSURE OF INTEREST\***

If a **CORPORATION** owns or leases the subject property, list principal stockholders and percent of stock owned by each. [Note: Where principal officers or stockholders consist of other corporation(s), trust(s), partnership(s) or similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

CORPORATION NAME: VB BTS II, LLC

**NAME AND ADDRESS**

**Percentage of Stock**

VB BTS II, LLC is ultimately 100% owned by Vertical Bridge REIT, LLC through wholly owned subsidiaries. Vertical Bridge REIT, LLC is an entity with 5000 or more individual ownership interests and no real person or entity owns more than 5% of Vertical Bridge REIT, LLC.  
Please see the attached Secretary's Certificate.

100%

If a **TRUST or ESTATE** owns or leases the subject property, list the trust beneficiaries and percent of interest held by each. [Note: Where beneficiaries are other than natural persons, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

TRUST/ESTATE NAME: \_\_\_\_\_

**NAME AND ADDRESS**

**Percentage of Interest**

\_\_\_\_\_  
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If a **PARTNERSHIP** owns or leases the subject property, list the principals including general and limited partners. [Note: Where partner(s) consist of other partnership(s), corporation(s), trust(s) or similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interests].

PARTNERSHIP OR LIMITED PARTNERSHIP NAME: \_\_\_\_\_

**NAME AND ADDRESS**

**Percent of Ownership**

\_\_\_\_\_  
\_\_\_\_\_  
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DATE: NOV 4 2024

BY: GONGOL

If there is a **CONTRACT FOR PURCHASE** by a Corporation, Trust or Partnership, list purchasers below including principal officers, stockholders, beneficiaries or partners. [Note: Where principal officers, stockholders, beneficiaries or partners consist of other corporations, trusts, partnerships or similar entities, further disclosure shall be made to identify natural persons having ultimate ownership interests].

NAME OF PURCHASER: \_\_\_\_\_

NAME, ADDRESS AND OFFICE (if applicable)	Percentage of Interest
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

Date of contract: \_\_\_\_\_

If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership or trust:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

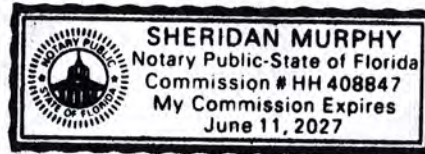
**NOTICE:** For changes of ownership or changes in purchase contracts after the date of the application, but prior to the date of final public hearing, a supplemental disclosure of interest is required.

The above is a full disclosure of all parties of interest in this application to the best of my knowledge and belief.

Signature: *Clayton S. Son* as agent of record.  
(Applicant)

Sworn to and subscribed before me this 17<sup>th</sup> day of October, 2024. Affiant is personally known to me or has produced N/A as identification.

*[Signature]*  
(Notary Public)



My commission expires 6-11-2027

\*Disclosure shall not be required of: 1) any entity, the equity interests in which are regularly traded on an established securities market in the United States or another country; or 2) pension funds or pension trusts of more than five thousand (5,000) ownership interests; or 3) any entity where ownership interests are held in a partnership, corporation or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership and where no one (1) person or entity holds more than a total of five per cent (5%) of the ownership interest in the partnership, corporation or trust. Entities whose ownership interests are held in a partnership, corporation, or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership, shall only be required to disclose those ownership interest which exceed five (5) percent of the ownership interest in the partnership, corporation or trust.

RECEIVED

MIAMI-DADE COUNTY  
PROCESS NO.: Z22-312  
DATE: NOV 4 2024  
BY: GONGOL

SECRETARY'S CERTIFICATE  
VERTICAL BRIDGE REIT, LLC  
SEPTEMBER 27, 2024

BEFORE ME, the undersigned authority, personally appeared Allison Cannella, as Senior Vice President, General Counsel and Corporate Secretary of **VERTICAL BRIDGE REIT, LLC** (the "**Company**"), who being by me first duly sworn, on oath deposes the following:

RECITALS

WHEREAS, the Company is the Sole Member of VB LPE Parent LLC, a Delaware limited liability company (the "**LPE Parent**");

WHEREAS, LPE Parent is the Sole Member of VB LPE, LLC, a Delaware limited liability company (the "**LPE**");

WHEREAS, LPE is the Sole Member of VB B2, LLC, a Delaware limited liability company (the "**VB B2**");

WHEREAS, VB B2 is the Sole Member of VB BTS II, LLC, a Delaware limited liability company (the "**BTS II**");

WHEREAS, LPE Parent, LPE, VB B2, and BTS II are all disregarded entities of the Company.

WHEREAS, Company is an entity with 5,000 or more individual ownership interests and no real person or entity own more than 5% of the Company.

[Signature appears on the following page]

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MIAMI-DADE COUNTY  
PROCESS NO.: Z22-312  
DATE: NOV 4 2024  
BY: GONGOL

**VERTICAL BRIDGE REIT, LLC**  
a Delaware limited liability company

By: Allison Cannella  
Name: Allison Cannella  
Title: Senior Vice President, General  
Counsel and Corporate Secretary

STATE OF Florida  
COUNTY OF Palm Beach

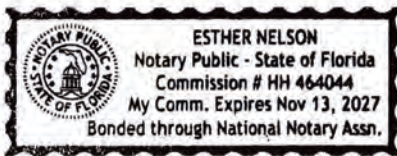
The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization this 14<sup>th</sup> day of ~~September~~ <sup>October</sup>, 2024, by Allison Cannella, as Senior Vice President, General Counsel and Corporate Secretary of Vertical Bridge REIT, LLC, a Delaware limited liability company, on behalf of the company,  who is personally known to me or  produced \_\_\_\_\_ as identification.

Esther Nelson  
Notary Public

Printed Name: Esther Nelson

My Commission Expires: 11/13/2027

Commission # HH464044



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Avocado Drive (US-FL-7093)

MIAMI-DADE COUNTY  
PROCESS NO: Z22-312  
DATE: MAR 6 2023  
BY: GONGOL

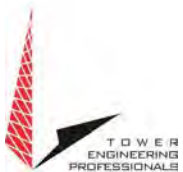
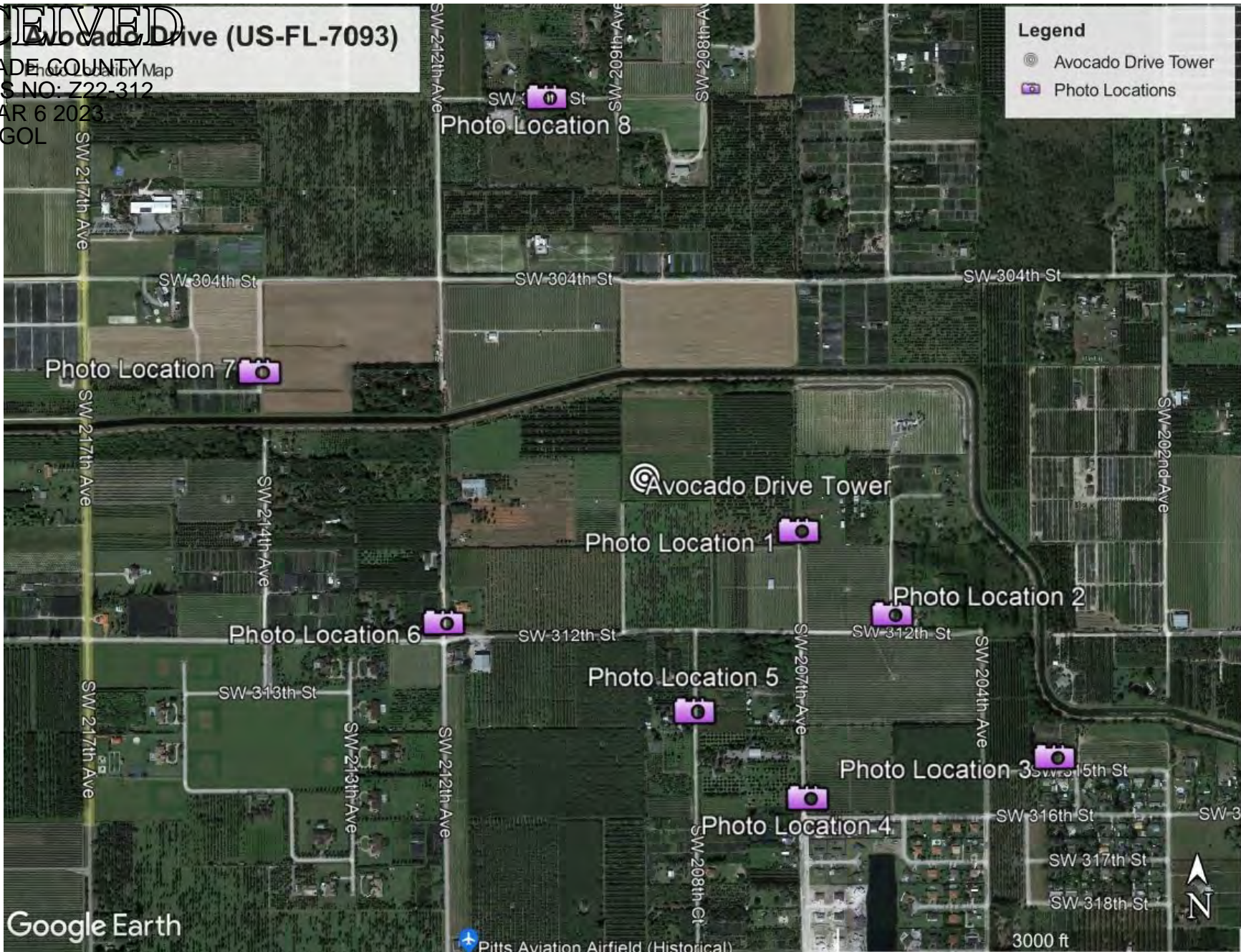


Photo Locations

Avocado Drive (US-FL-7093)  
SW 207th Ave  
Homestead, FL 33030

RECEIVED

MIAMI-DADE COUNTY  
PROCESS NO: Z22-312  
DATE: MAR 6 2023  
BY: GONGOL



verticalbridge

**Monopole Tower Simulation**

**155-ft AGL Overall**

**Photo #1 - approx. 1,300' ESE of site**

**Avocado Drive (US-FL-7093)**

**SW 207th Ave**

**Homestead, FL 33030**

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MIAMI-DADE COUNTY  
PROCESS NO: Z22-312  
DATE: MAR 6 2023  
BY: GONGOL



verticalbridge

**Monopole Tower Simulation**

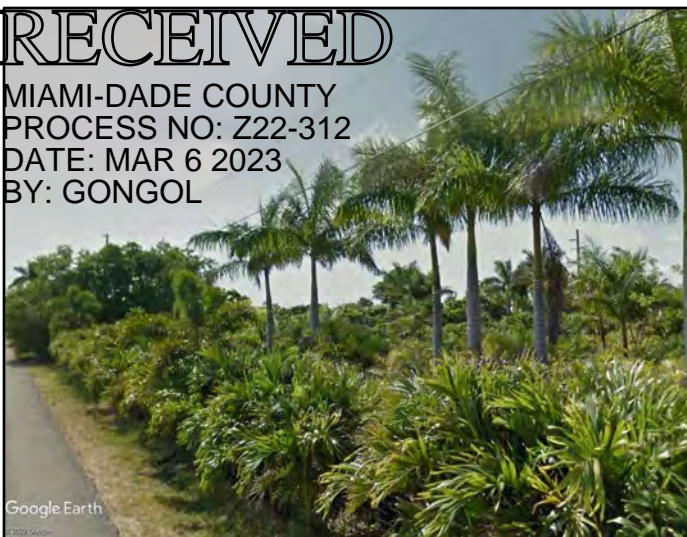
**155-ft AGL Overall**

**Photo #2 - approx. 2,233' SE of site**

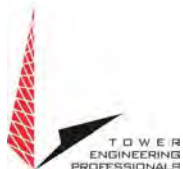
**Avocado Drive (US-FL-7093)  
SW 207th Ave  
Homestead, FL 33030**

**RECEIVED**

MIAMI-DADE COUNTY  
PROCESS NO: Z22-312  
DATE: MAR 6 2023  
BY: GONGOL



Google Earth



**verticalbridge**

**Monopole Tower Simulation**

**155-ft AGL Overall**

**Photo #3 - approx. 3,747' SE of site**

**Avocado Drive (US-FL-7093)  
SW 207th Ave  
Homestead, FL 33030**

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PROCESS NO: Z22-312  
DATE: MAR 6 2023  
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**Monopole Tower Simulation**

**155-ft AGL Overall**

**Photo #4 - approx. 2,788' SSE of site**

**Avocado Drive (US-FL-7093)**

**SW 207th Ave**

**Homestead, FL 33030**

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PROCESS NO: Z22-312  
DATE: MAR 6 2023  
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**Monopole Tower Simulation**

**155-ft AGL Overall**

**Photo #5 - approx. 1,903' SSE of site**

**Avocado Drive (US-FL-7093)  
SW 207th Ave  
Homestead, FL 33030**

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PROCESS NO: Z22-312  
DATE: MAR 6 2023  
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Google Earth  
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**Monopole Tower Simulation**

**155-ft AGL Overall**

**Photo #6 - approx. 1,913' SW of site**

**Avocado Drive (US-FL-7093)  
SW 207th Ave  
Homestead, FL 33030**

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MIAMI-DADE COUNTY  
PROCESS NO: Z22-312  
DATE: MAR 6 2023  
BY: GONGOL



**Monopole Tower Simulation**

**155-ft AGL Overall**

**Photo #7 - approx. 2,971' WNW of site**

**Avocado Drive (US-FL-7093)  
SW 207th Ave  
Homestead, FL 33030**

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PROCESS NO: Z22-312  
DATE: MAR 6 2023  
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**Monopole Tower Simulation**

**155-ft AGL Overall**

**Photo #8 - approx. 2,915' NNW of site**

**Avocado Drive (US-FL-7093)  
SW 207th Ave  
Homestead, FL 33030**

**6MD3267A**

Avocado Drive

6MD3267 / US-FL-7093

Wireless Telecommunication Facility

**Radio Frequency (RF) Engineering Report**

Last Updated	06/03/22
Revision Number	V1.1

## Table of Contents

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5G Coverage Predictions .....	3
II Search Ring Area – Network Expansion .....	4
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III Certification Statement of Non-interference .....	7
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### I - Search Ring Area

**Statement of Need**

To comply with FCC guidelines as defined in the Code of Federal Regulations Title 47, T-Mobile is deploying 5G services nationwide.

In order to utilize the full suite of 5G services, equipment specifications for these technologies requires the installation of radio transceivers or “radios”, in close proximity to the antennas.

- the transmit/receive components are physically part of the antenna for some 5G antennas
- 5G antennas and transceivers will not physically fit in most enclosed unipole and flagpole towers at elevation.
- 5G equipment is susceptible to overheating in enclosed unipole and flagpole towers that do not have active or passive cooling

Currently, 4G service is provided to residential and agricultural areas in parts of Homestead by a tower with T-Mobile antennas at forty-seven feet elevation. This tower, located at 20437 SW 296TH St is a fifty foot unipole/micropole design with canisters that enclose the antennas. The design of the enclosures is not compatible with deployment of most advanced 4G services and no 5G services. The diameter is not sufficient to house the antennas and radios and there is no active or passive cooling. This precludes the deployment of most 4G and all 5G equipment due to space and operational constraints.

In figure 1, the T-Mobile facilities currently providing service in this area are shown. There are no existing structures of sufficient height or that can be upgraded to meet the network 5G requirements within the search ring radius. Based on the distances between the current 5G compatible facilities there is a network deficiency as shown in figure 2.

In addition, there is planning to replace another unipole/micropole to the north of the proposed facility. Located at 20304 SW 280 Street this structure has the same limitations as the unipole/micropole that is the focus of this report. Although the details for this network expansion is outside the scope of this report results are included in section II.

Handover matrix for neighboring sites is shown in table 1. The magenta line item represents the new tower and the yellow line item represents the network upgrade site used for the propagation maps in section II.

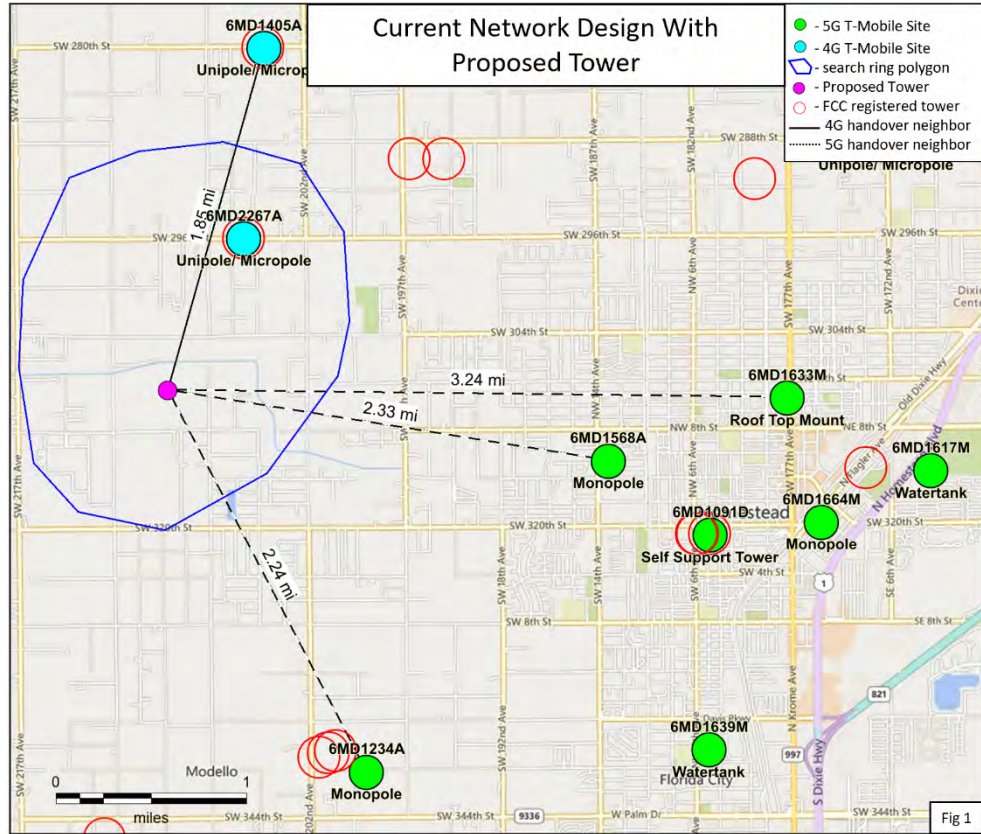
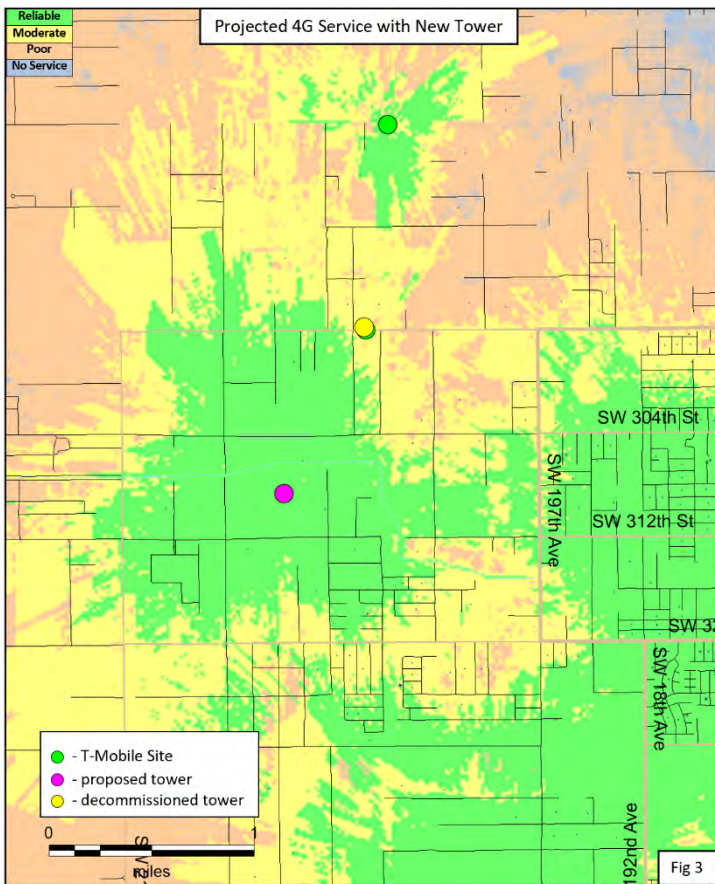
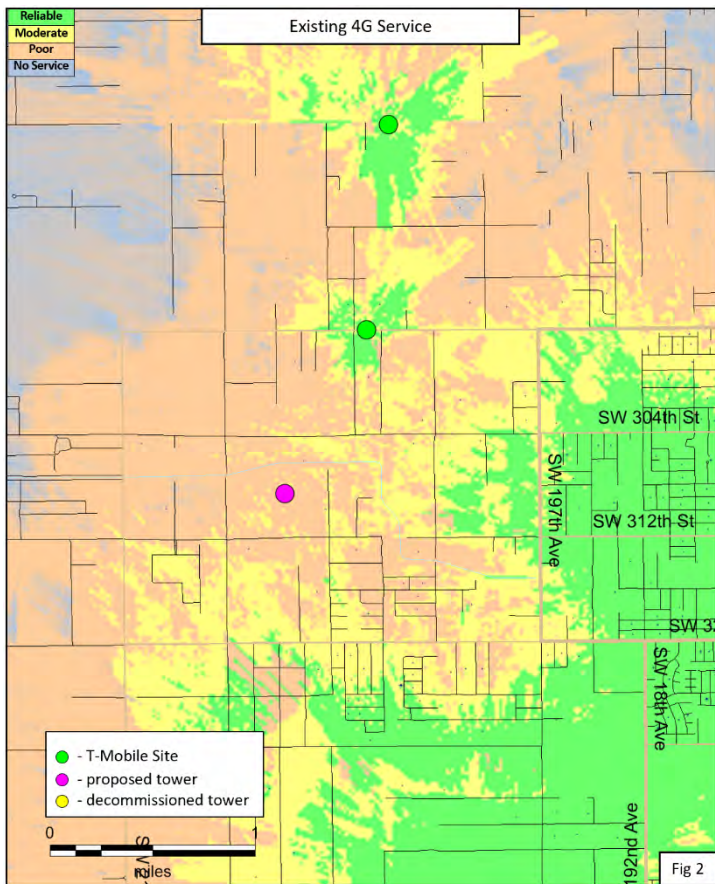


Fig 1

Table 1

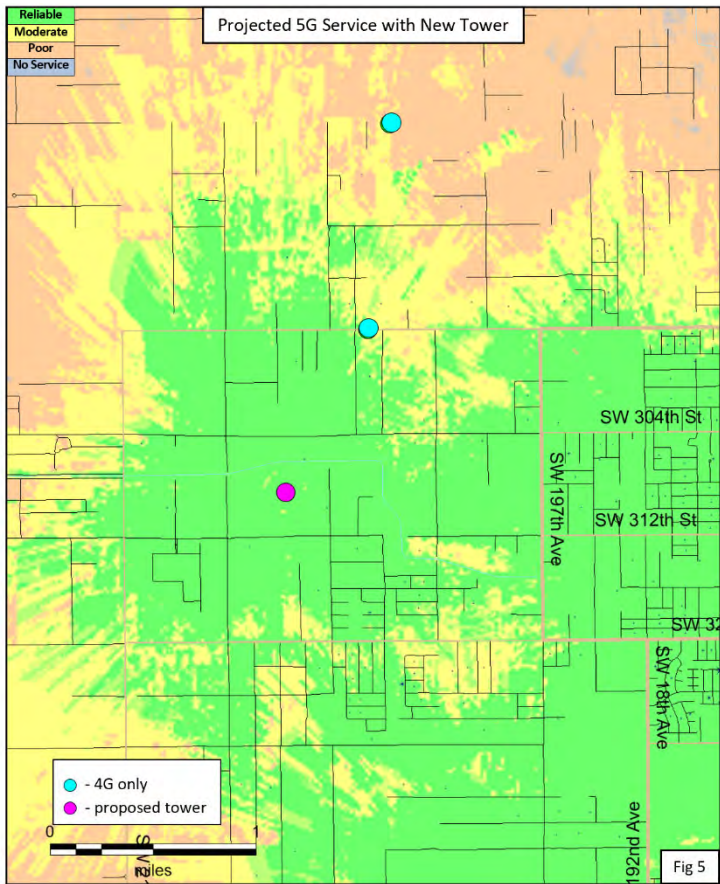
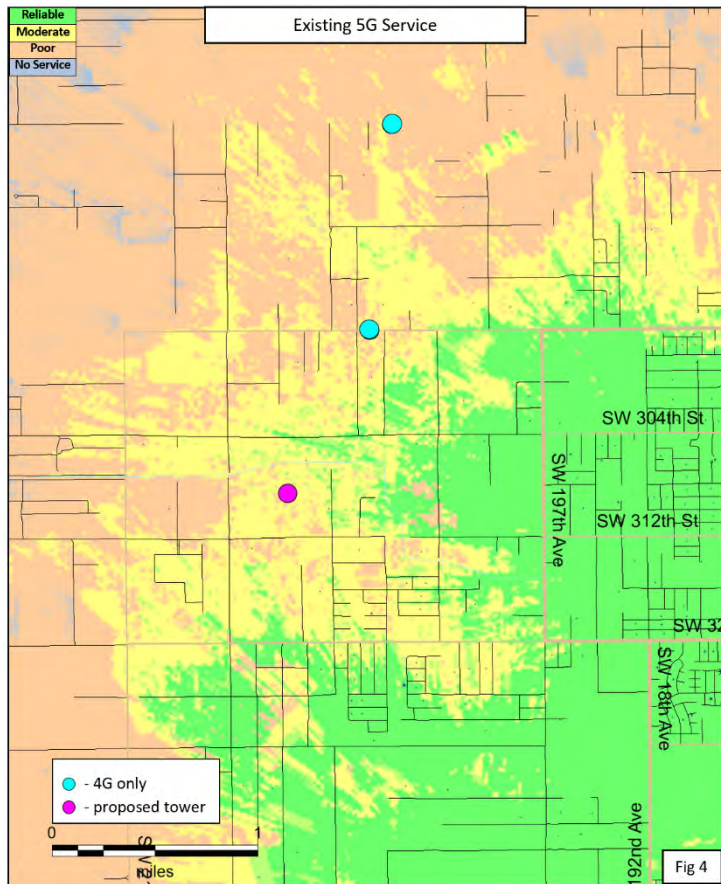
TMO ID	Name	Class	Address	City	Antenna Elevation (ft)	Structure Height (ft)	Distance (mi)
6MD1234A	Sprint Florida City	Monopole	34010 SW 197TH AV	Homestead	140	153	2.2
6MD1568A	Eco-site FL-0090 6th Street	Monopole	1211 NW 6th St	Homestead	141	145	2.3
6MD1633M	Krome Center	Roof Top Mount	950 N. Krome Avenue	Homestead	64	70	3.2
6MD2267A	(147) ROW - SW 296 St.	Unipole/ Micropole	20437 SW 296TH St	Homestead	48	50	NA
6MD1405A	1- (60) ROW- Mandrake 1	Unipole/ Micropole	20304 SW 280 Street	Miami	65	50	1.9
6MD3267A	Avocado Drive	Monopole	Agricultural parcel to the west of 30955 SW 207th Ave	Homestead	145	150	NA
6MD2405A	Brooks Tropical	Monopole	SW 280th St.	Homestead	145	150	1.9

### 4G Coverage Predictions



The current 4G signal levels in this part of the network are inadequate due to the low elevation of the unipole towers that serve the area. In figure 2, areas west of SW 197th Ave and north of SW 320th St show poor service. By decommissioning the existing unipole tower and adding a new tower with the capacity to deploy 4G and 5G equipment, these poor signal levels will be mitigated. (figure 3)

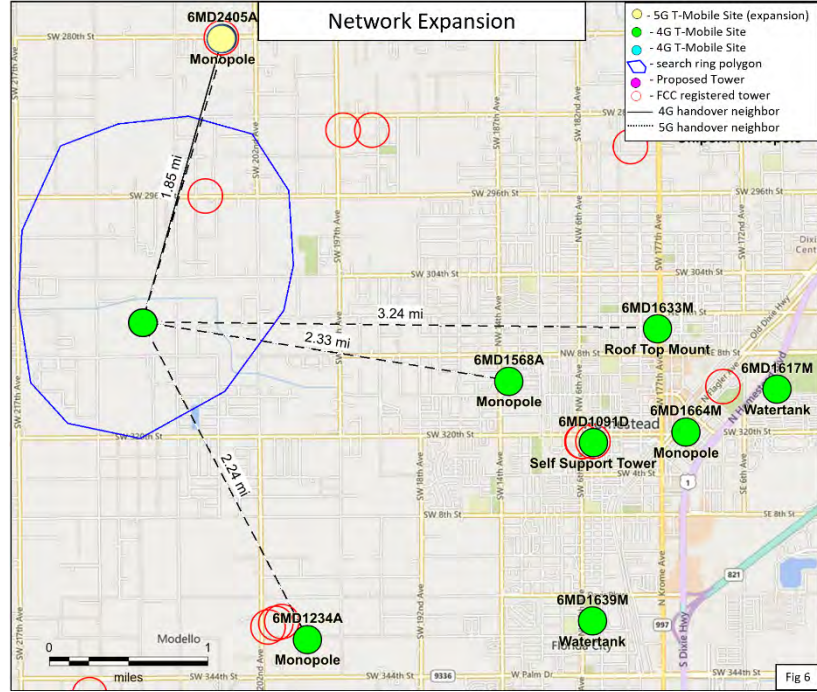
### 5G Coverage Predictions



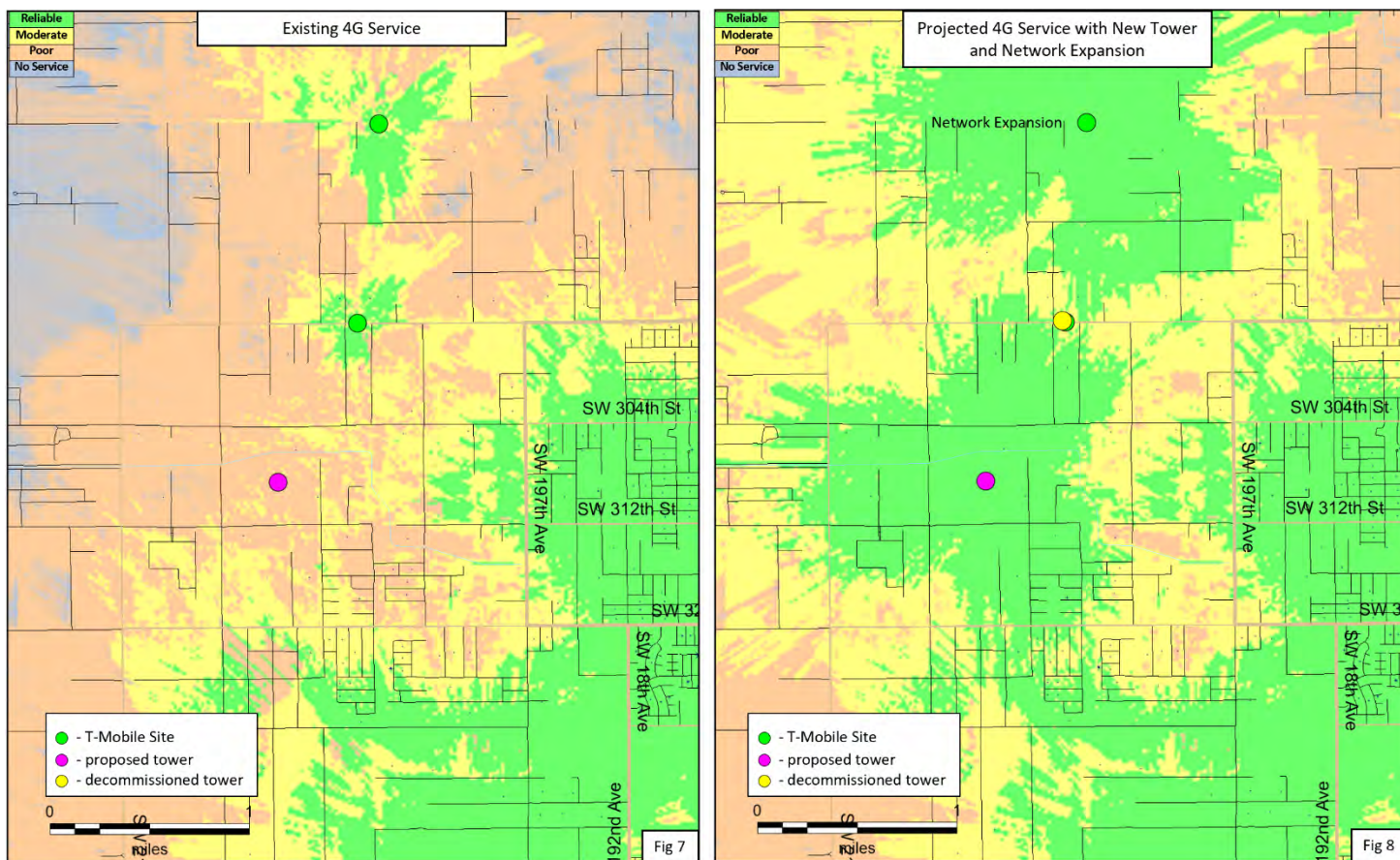
The current 5G signal levels in this part of the network are inadequate due to the inability of the unipole towers that serve the area to support 5G equipment. In figure 4, areas west of SW 202nd Ave and north of SW 320th St show poor service. By adding a new tower with the capacity to deploy 5G equipment, most of the poor signal levels will be mitigated. (figure 5)

II - Search Ring Area – Network Expansion

The facility located north of the proposed tower, located at 20304 SW 280 Street is the same type of structure and has the same limitations as the unipole/micropole that is the focus of this report. Although the details for this network expansion is outside the scope of this report, results are included. In this propagation analysis, the unipole/micropole has been replaced with a tower that can deploy 4G and 5G equipment.

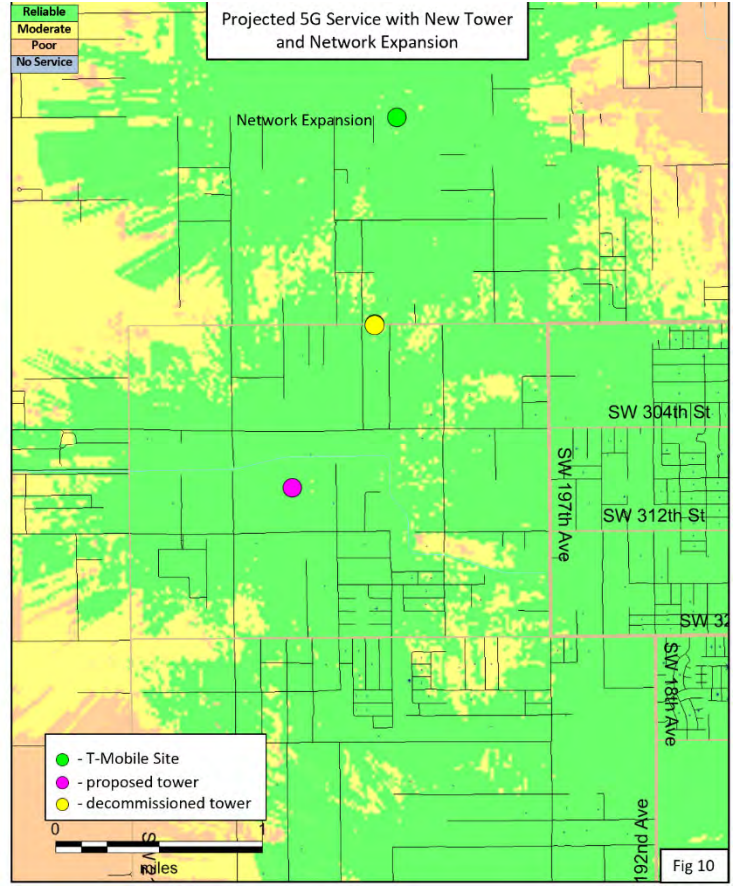
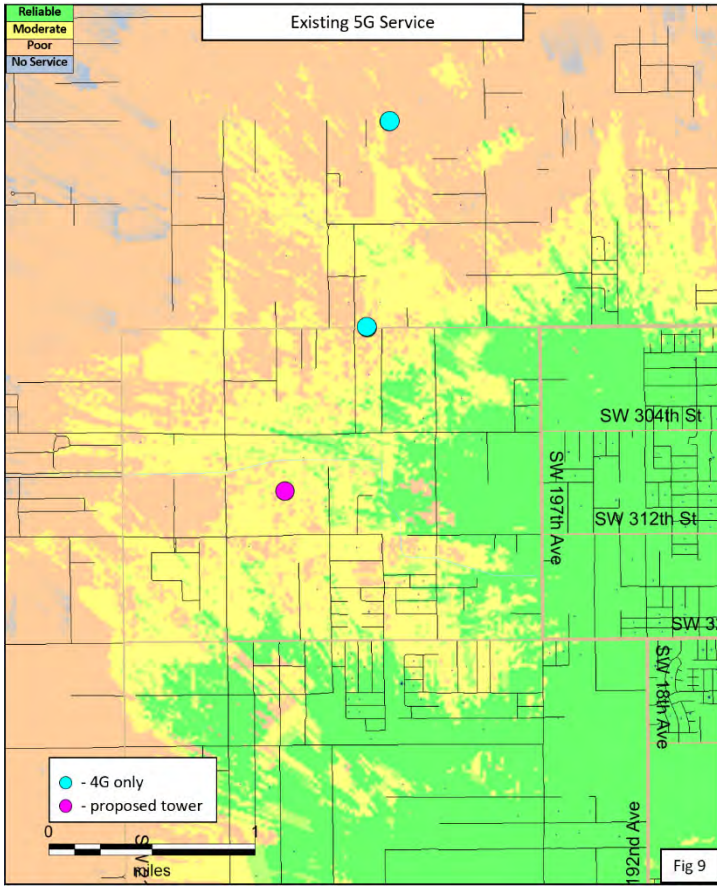


4G Coverage Predictions - Network Expansion



The current 4G signal levels in this part of the network are inadequate due to the low elevation of the unipole towers that serve the area. In figure 7, areas west of SW 197th Ave and north of SW 320th St show poor service. By decommissioning the existing unipole tower and adding a new towers with the capacity to deploy 4G and 5G equipment, these poor signal levels will be mitigated for a much larger area. (figure 8)

5G Coverage Predictions - Network Expansion



The current 5G signal levels in this part of the network are inadequate due to the inability of the unipole towers that serve the area to support 5G equipment. In figure 9, areas west of SW 202nd Ave and north of SW 320th St show poor service. By adding a new towers with the capacity to deploy 5G equipment, most of the poor signal levels will be mitigated over a much larger area. (figure 10)

**III - Certification Statement of Non-interference**

This letter provides information about the proposed T-Mobile transceiving equipment on an addition to an existing facility in Homestead and its potential interference with communication facilities located nearby; as well as the FCC rules governing the human exposure to radio frequency energy (OET 65 guidelines). T-Mobile shall comply with all FCC rules regarding interference to other radio services and T-Mobile shall comply with all FCC rules regarding human exposure to radio frequency energy. The proposed monopole tower, and reception and transmission functions will not interfere with the visual and customary transmission or reception of radio, television or similar services as well as other wireless services enjoyed by surrounding properties.

The Federal Communication Commission (FCC) has allocated these frequencies exclusively for use by cellular service providers. Each cellular service provider is assigned specific frequencies (channels) on which to transmit and receive radio signals.

Cellular transmitters must be type-accepted by the FCC to ensure compliance with technical standards that limit the frequencies, output power, radio frequency emissions, spurious radio noise and other technical parameters. Cellular licensees like T-Mobile owns are required to use type-accepted equipment. The assignment of frequencies and FCC rules keep cellular radio signals from interfering with or being interfered with by other radio transmissions and provide guidelines outlining the limits for permissible human RF exposure. In the event of a complaint of interference or other concerns about cellular antenna facilities, the FCC has a resolution process to determine the source of interference and whether a facility is in compliance with FCC rules.

In the event of interference or other known issues with the transmission facility contact with the T-Mobile Network Operations Center (NOC) can be established 24 hours a day, 7 days a week 365/366 days per year at the following numbers: (877) 611-5868 (DAY), (877) 611-5868 (NIGHT)

Name Patrick Keane

Title T-Mobile Sr Engineer, Radio Frequency



Signature \_\_\_\_\_

## IV – Antenna Specifications

## FFVV-65C-R3-V1

8-port sector antenna, 4x 617-894 and 4x 1695–2690 MHz, 65° HPBW, 3x RET



## General Specifications

<b>Antenna Type</b>	Sector
<b>Band</b>	Multiband
<b>Color</b>	Light gray
<b>Grounding Type</b>	RF connector inner conductor and body grounded to reflector and mounting bracket
<b>Performance Note</b>	Outdoor usage
<b>Radome Material</b>	Fiberglass, UV resistant
<b>Radiator Material</b>	Low loss circuit board
<b>Reflector Material</b>	Aluminum
<b>RF Connector Interface</b>	4.3-10 Female
<b>RF Connector Location</b>	Bottom
<b>RF Connector Quantity, high band</b>	4
<b>RF Connector Quantity, low band</b>	4
<b>RF Connector Quantity, total</b>	8

## Remote Electrical Tilt (RET) Information

<b>RET Interface</b>	8-pin DIN Female   8-pin DIN Male
<b>RET Interface, quantity</b>	1 female   1 male
<b>Input Voltage</b>	10–30 Vdc
<b>Internal RET</b>	High band (2)   Low band (1)
<b>Power Consumption, idle state, maximum</b>	1 W
<b>Power Consumption, normal conditions, maximum</b>	10 W
<b>Protocol</b>	3GPP/AISG 2.0 (Single RET)

# FFVV-65C-R3-V1

## Dimensions

<b>Width</b>	640 mm   25.197 in
<b>Depth</b>	235 mm   9.252 in
<b>Length</b>	2437 mm   95.945 in
<b>Net Weight, without mounting kit</b>	56.5 kg   124.561 lb

## Array Layout



Array	Freq (MHz)	Conns	RET (SRET)	AISG RET UID
R1	617-894	1-2	1	ANxxxxxxxxxxxxxxxxx1
R2	617-894	3-4		
Y1	1695-2690	5-6	2	ANxxxxxxxxxxxxxxxxx2
Y2	1695-2690	7-8	3	ANxxxxxxxxxxxxxxxxx3

Left Bottom Right

(Sizes of colored boxes are not true depictions of array sizes)

## Port Configuration

# FFVW-65C-R3-V1



## Electrical Specifications

<b>Impedance</b>	50 ohm
<b>Operating Frequency Band</b>	1695 – 2690 MHz   617 – 894 MHz
<b>Polarization</b>	±45°
<b>Total Input Power, maximum</b>	900 W @ 50 °C

## Electrical Specifications

Frequency Band, MHz	617–698	698–894	1695–1880	1850–1990	1920–2200	2300–2500	2500–2690
<b>Gain, dBi</b>	16	16.3	17.6	18	18.6	18.5	18.6
<b>Beamwidth, Horizontal, degrees</b>	65	63	68	65	61	57	61
<b>Beamwidth, Vertical, degrees</b>	10.2	8.5	5.6	5.4	5.1	4.4	4.1
<b>Beam Tilt, degrees</b>	2–13	2–13	2–12	2–12	2–12	2–12	2–12
<b>USLS (First Lobe), dB</b>	17	19	19	20	22	19	18
<b>Front-to-Back Ratio at 180°, dB</b>	30	33	34	38	36	31	32
<b>Isolation, Cross Polarization, dB</b>	25	25	25	25	25	25	25
<b>Isolation, Inter-band, dB</b>	28	28	28	28	28	28	28
<b>VSWR   Return loss, dB</b>	1.5   14.0	1.5   14.0	1.5   14.0	1.5   14.0	1.5   14.0	1.5   14.0	1.5   14.0



# FFVV-65C-R3-V1

<b>PIM, 3rd Order, 2 x 20 W, dBc</b>	-150	-153	-153	-153	-153	-153	-153
<b>Input Power per Port at 50°C, maximum, watts</b>	250	250	200	200	200	200	200

## Electrical Specifications, BASTA

<b>Frequency Band, MHz</b>	<b>617–698</b>	<b>698–894</b>	<b>1695–1880</b>	<b>1850–1990</b>	<b>1920–2200</b>	<b>2300–2500</b>	<b>2500–2690</b>
<b>Gain by all Beam Tilts, average, dBi</b>	15.5	15.8	17.3	17.7	18.2	18.2	18.2
<b>Gain by all Beam Tilts Tolerance, dB</b>	±0.5	±0.6	±0.3	±0.4	±0.6	±0.4	±0.5
<b>Gain by Beam Tilt, average, dBi</b>	2°   15.4 7°   15.7 13°   15.6	2°   15.7 7°   16.0 13°   15.6	2°   17.2 7°   17.4 12°   17.3	2°   17.7 7°   17.8 12°   17.6	2°   18.0 7°   18.3 12°   18.2	2°   18.1 7°   18.5 12°   18.1	2°   18.1 7°   18.5 12°   18.0
<b>Beamwidth, Horizontal Tolerance, degrees</b>	±4.0	±5.9	±3.1	±3.9	±7	±7	±7.2
<b>Beamwidth, Vertical Tolerance, degrees</b>	±0.6	±1.1	±0.3	±0.4	±0.4	±0.3	±0.3
<b>USLS, beampeak to 20° above beampeak, dB</b>	16	12	14	16	17	15	14
<b>Front-to-Back Total Power at 180° ± 30°, dB</b>	22	22	28	30	27	26	27
<b>CPR at Boresight, dB</b>	15	15	20	22	19	16	23
<b>CPR at Sector, dB</b>	7	7	6	6	5	6	9

## Mechanical Specifications

<b>Effective Projective Area (EPA), frontal</b>	0.99 m <sup>2</sup>   10.656 ft <sup>2</sup>
<b>Effective Projective Area (EPA), lateral</b>	0.33 m <sup>2</sup>   3.552 ft <sup>2</sup>
<b>Wind Loading @ Velocity, frontal</b>	1,055.0 N @ 150 km/h (237.2 lbf @ 150 km/h)
<b>Wind Loading @ Velocity, lateral</b>	355.0 N @ 150 km/h (79.8 lbf @ 150 km/h)
<b>Wind Loading @ Velocity, maximum</b>	1,433.0 N @ 150 km/h (322.2 lbf @ 150 km/h)
<b>Wind Loading @ Velocity, rear</b>	1,086.0 N @ 150 km/h (244.1 lbf @ 150 km/h)
<b>Wind Speed, maximum</b>	241 km/h   149.75 mph

## Packaging and Weights

<b>Width, packed</b>	752 mm   29.606 in
<b>Depth, packed</b>	380 mm   14.961 in
<b>Length, packed</b>	2590 mm   101.969 in
<b>Weight, gross</b>	83.2 kg   183.424 lb

**Miami-Dade County Department of Regulatory and Economic Resources  
Staff Report to Community Zoning Appeal Board No. 14**

**PH: Z24-227**

**March 17, 2025**

**Item No.1**

	<b>Recommendation Summary</b>
<b>Commission District</b>	8
<b>Applicants</b>	Juan Ramon Peralta & Maria De Los Angeles Neyra
<b>Summary of Requests</b>	The applicants seek to allow an existing detached pergola and a detached accessory shed structure to setback less than required from the rear and interior side property lines.
<b>Location</b>	22505 SW 132 Court, Miami-Dade County, Florida
<b>Property Size</b>	0.32 Acres
<b>Existing Zoning</b>	EU-M, Estate Modified District
<b>Existing Land Use</b>	Single-family Residence
<b>2030-2040 CDMP Land Use Designation</b>	Estate Density Residential, 1-2.5 DU/AC (see attached Zoning Recommendation Addendum)
<b>Comprehensive Plan Consistency</b>	Consistent with interpretative text, goals, objectives and policies of the CDMP
<b>Applicable Zoning Code Section(s)</b>	Non-Use Variances from Other Than Airport Regulations Sec 33-311. (A) (4) (b) (see attached Zoning Recommendation Addendum)
<b>Recommendation</b>	<b>Approval with conditions.</b>

**REQUESTS:**

- 1) NON-USE VARIANCE to permit an existing detached pergola to setback 5.50' (20' required) from the Interior side (north) property line.
- 2) NON-USE VARIANCE to permit an existing detached shed to setback a minimum of 16.10' (20' required) from the interior side (south) and setback a minimum of 5.36' (7.5' required) from the rear (east) property lines.

Plans are on file and may be examined in the Department of Regulatory and Economic Resources, entitled, "Public Hearing Maria De Los Angeles Neyra & Juan Ramon Peralta", as prepared by Gray Dolphin Pools & Construction, INC., dated stamped received 12/12/24 and 12/19/24 consisting of 2 sheets, Elevation Plan and Site Plan entitled, "Public Hearing Maria De Los Angeles Neyra & Juan Ramon Peralta", as prepared by Gray Dolphin Pools & Construction, Inc., dated stamped received 12/12/24 and 12/19/24 consisting of a total of 2 sheets. Plans may be modified at public hearing.

**PROJECT DESCRIPTION AND HISTORY:**

On January 19, 2016, pursuant to Resolution #CZAB14-1-16, the subject property was part of a larger tract of land that was approved for a district boundary change from AU, Agriculture District to EU-M, Estate Modified District, Single-Family Residential District.

The 0.32-acre subject property is an interior lot, that consists of an existing one (1)-story single-family residence. Under the current zoning application, the applicants seek to permit an existing detached aluminum covered pergola structure to encroach 14.5’ into the interior side (north) setback area, and for an existing detached accessory use shed structure to encroach 3.9’ into the interior side (south) and 2.24’ into the rear (east) setback areas. The submitted plans and survey map indicate an existing 4’ high perimeter metal fence located along the rear and interior side property lines of the subject site.

<b><u>NEIGHBORHOOD CHARACTERISTICS</u></b>		
	<b>Zoning and Existing Use</b>	<b>Land Use Designation</b>
<b>Subject Property</b>	EU-M; single-family residence	Estate Density Residential (1-2.5 du/ac)
<b>North</b>	EU-M; single-family residence	Estate Density Residential (1-2.5 du/ac)
<b>South</b>	EU-M; single-family residence	Estate Density Residential (1-2.5 du/ac)
<b>East</b>	EU-M; single-family residence	Estate Density Residential (1-2.5 du/ac)
<b>West</b>	AU; single-family residence and groves	Estate Density Residential (1-2.5 du/ac)

**NEIGHBORHOOD COMPATIBILITY:**

The subject property consists of an existing single-family residence that is on a 13,941 sq. ft., EU-M, Estate Modified District, zoned interior lot, located at 22505 SW 132 Court. The surrounding area is characterized by existing single-family residences to the north, south and east, that are also developed under the EU-M district zoning regulations whereas a single-family residence and groves are located on a AU-zoned property to the west of the subject site.

**SUMMARY OF THE IMPACTS:**

Approval of this application will allow the applicants to legalize and continue to use the existing detached covered pergola and shed structures that are setback less than required from the property lines. Staff opines that since the rear yard area is enclosed with a 4’ high metal fence along the rear and interior side property lines, together with the existing landscaping on the property, any visual impact that the pergola and shed may have on the surrounding properties is minimal and would be sufficiently mitigated.

**COMPREHENSIVE DEVELOPMENT MASTER PLAN ANALYSIS:**

The ±0.32-acre subject property is located within the Urban Development Boundary (UDB) and the Comprehensive Development Master Plan (CDMP) Adopted 2030-2040 Land Use Plan (LUP) map designates the site as **Estate Density Residential**. The CDMP Land Use Element interpretative text for Estate Density Residential states that *this density range is typically characterized by detached estates which utilize only a small portion of the total parcel. Clustering, and a variety of housing types may, however, be authorized. The residential densities allowed in this category shall range from a minimum of 1.0 to a maximum of 2.5 dwelling units per gross*

acre. Staff opines that the approval of the requests for reduced setbacks sought in the application for an existing pergola and shed located on the property will not add additional dwelling units to the site beyond what is allowed by the LUP map of the CDMP. Since the applicants are not requesting to add additional dwelling units or change the single-family detached use on the property, staff opines that approval of the application with conditions would be **consistent** with the Estate Density Residential Communities designation of the CDMP LUP map.

### **ZONING ANALYSIS:**

When the request to permit an existing detached covered pergola structure to setback 5.5' (20' required) from the interior side (north) property line (request #1), and to permit an existing detached wood shed structure to setback a minimum of 16.1' (20' required) from the interior side (south) and 5.26' (7.5' required) from the rear (east) property line (request #2), are analyzed under the Non-Use Variances From Other Than Airport Regulations, Section 33-311(A)(4)(b), staff opines that the approval with conditions of this request would be **compatible** with the surrounding area, would not be detrimental to the neighborhood and would not affect the appearance of the community.

The plans submitted in conjunction with this application depict the existing single-family residence on an interior lot, with an existing detached pergola and shed structure located towards the rear of the subject property. The detached pergola structure encroaches into the interior side setback area, whereas the shed is located closer from both the rear and interior side property lines than is permitted under the zoning standards. Staff supports the requests and opines that approval with conditions of these non-use variances would maintain the basic intent and purpose of the zoning, subdivision and other land use regulations. Staff notes from plans and photographs submitted by the applicants as well as the County's Geographic Information System (GIS) that any impact of the requests is adequately mitigated by an existing 4' high metal fence located along the rear and interior side property lines of the subject property, which, staff opines, buffers any visual intrusion of the encroachments on the surrounding properties, especially to the parcel to the north and east of the subject property. Staff further opines that the existing encroachments of the detached structures towards the rear and interior side property lines are internal to the site and any negative visual impacts generated from the encroachments would be adequately mitigated by the aforementioned existing 4' high fence as well as ample landscaping in the form of a row of trees that exist along the perimeter of the property lines. Staff recommends as a condition for approval that the fence along the rear and interior side property lines be maintained as a visual buffer, and, if said fence is destroyed or removed, it must be replaced by an opaque fence at a maximum height of 6', or a fence with a hedge 3' high at the time of planting, which shall grow to and be maintained at a minimum height of 6', in accordance with Section 33-11(h) of the County Code. Additionally, staff also notes that by itself, the request #2, to permit the existing detached shed to setback a minimum of 16.10' (20' required) from the interior side (south) and setback a minimum of 5.36' (7.5' required) from the rear (east) property lines, could have been obtained through the Administrative Adjustment Procedure pursuant to Section 33-36.1 of the County Code. Such procedure allows a setback reduction of 50% and lot coverage increase for a principal and/or accessory structure of 15% and shall be accompanied by the signed consent of all contiguous property owners, including those located across the street(s) from the subject site. However, because request #1 is not eligible for this administrative adjustment procedure, request #2 is part of this application together with request #1.

Staff's research of the surrounding area did not find any similar approvals within the neighborhood for variances of the setback requirements for detached accessory structures. Notwithstanding,

staff notes that based on memoranda from the departments reviewing this application, any impacts from the reduced setbacks will not cause their facilities and services to operate below their adopted levels of service standards. The memorandum from the Platting and Traffic Review Section of the Department of Regulatory and Economic Resources (RER) indicates that the application does not generate any new additional daily peak hour trips, and the Division of Environmental Resources Management of the Department of Regulatory and Economic Resources memorandum indicates that approval will not result in a reduction in the LOS standards for potable water supply, wastewater disposal, or flood protection. Additionally, the memorandum from Miami-Dade Water and Sewer Department indicates that they do not have objections, and that the County's Fire Rescue Department in their memorandum indicate that approval of this application would not create a fire or become a hazard on the subject site. Furthermore, staff opines that the architectural style and scale of the pergola and the accessory shed structure are designed and arranged in a manner that would not be detrimental to the neighborhood or create adverse privacy impacts on the abutting properties, and that approval with conditions of the requested setbacks would be **compatible** with the surrounding residences and with the aesthetic character of the immediate vicinity. **Based on the foregoing analysis, staff recommends approval with conditions of the application under Section 33-311(A)(4)(b), the Non-Use Variance (NUV) From Other Than Airport Regulations Standards.**

**ACCESS, CIRCULATION AND PARKING:** Not applicable.

**NEIGHBORHOOD SERVICES PROVIDER REVIEW:** See attached.

**RECOMMENDATION:**

**Approval with conditions.**

**CONDITIONS FOR APPROVAL:**

1. That a site plan be submitted to and meet with the approval of the Director of the Department of Regulatory and Economic Resources upon the submittal of an application for a building permit and/or Certificate of Use; said plan must include among other things but not be limited to, location of structure or structures, exits and entrances, drainage, walls, fences, landscaping, and other requirements.
2. That in the approval of the plan, the same be substantially in accordance with that submitted for the hearing entitled, "Public Hearing Maria De Los Angeles Neyra & Juan Ramon Peralta", as prepared by Gray Dolphin Pools & Construction, INC., dated stamped received 12/12/24 and 12/19/24 consisting of 2 sheets, Elevation Plan and Site Plan entitled, "Public Hearing Maria De Los Angeles Neyra & Juan Ramon Peralta", as prepared by Gray Dolphin Pools & Construction, Inc., dated stamped received 12/12/24 and 12/19/24 consisting of a total of 2 sheets.
3. That the use be established and maintained in accordance with the approved plan.
4. That the applicants obtain a building permit for all non-permitted structures, if applicable, from the Department of Regulatory and Economic Resources within 90 days of the expiration of the final appeal period of this application, unless a time extension is granted by the Director of the Department.

5. That the 4' high metal fence located along the rear and interior side property lines be maintained as a visual buffer, and that if the wall is removed or destroyed, the applicant shall install a cbs wall, opaque fence or hedge that must be 3' high at the time of planting and that shall grow to and be maintained at a minimum height of 6' in accordance with Section 33-11(h) of the County Code.

ES:JB:SS:PM:JH



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Erick Silva, AICP, Assistant Director  
Development Services Division  
Miami-Dade County Department of  
Regulatory and Economic Resources

## ZONING RECOMMENDATION ADDENDUM

Juan Ramon Peralta & Maria De Los Angeles Neyra  
PH: Z24-227

<b>NEIGHBORHOOD SERVICES PROVIDER COMMENTS*</b>	
Division of Environmental Resources Management (RER)	<i>No objection</i>
Platting and Traffic Review Section (RER)	<i>No objection</i>
Fire Rescue Department	<i>No objection</i>
Water and Sewer Department (WASD)	<i>No objection</i>
Building and Neighborhood Compliance (BNC)	<i>No objection</i>
<i>*Subject to conditions in their memorandum.</i>	

### COMPREHENSIVE DEVELOPMENT MASTER PLAN (CDMP) OBJECTIVES, POLICIES AND INTERPRETATIVE TEXT

<b>Estate Density Residential (Pg. I-31)</b>	<i>This density range is typically characterized by detached estates which utilize only a small portion of the total parcel. Clustering, and a variety of housing types may, however, be authorized. The residential densities allowed in this category shall range from a minimum of 1.0 to a maximum of 2.5 dwelling units per gross acre.</i>
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### PERTINENT ZONING REQUIREMENTS/STANDARDS

<b>ARTICLE XX. EU-M, ESTATE MODIFIED DISTRICT</b>  <b>Sec. 33-50 setback parameters.</b>	<p><i>All applications for Estate Modified District shall comply with the following applicable development parameters as stated in 33-50</i></p> <p><i>EU-M; Accessory Structure setback.</i></p> <p><i>Front setback: All accessory structures shall be set back a minimum of seventy-five (75) feet from the front property line.</i></p> <p><i>Interior Side Setback: All accessory structures shall be set back a minimum of twenty (20) feet from all side property lines.</i></p> <p><i>Rear setback. All accessory structures shall be set back a minimum of seven and half (7'6") from the rear property line.</i></p> <p><i>Side street setback. All Accessory structures shall be set back a minimum of thirty (30) feet from the side street property line.</i></p> <p><i>Accessory buildings structures shall comply with the following minimum setback requirements.</i></p>
<b>33-311(A)(4)(b) Non-Use Variances From Other Than Airport Regulations</b>	<p><i>Upon appeal or direct application in specific cases, the Board shall hear and grant applications for non-use variances from the terms of the zoning and subdivision regulations and may grant a non-use variance upon a showing by the applicant that the non-use variance maintains the basic intent and purpose of the zoning, subdivision and other land use regulations, which is to protect the general welfare of the public, particularly as it affects the stability and appearance of the community and provided that the non-use variance will be otherwise compatible with the surrounding land uses and would not be detrimental to the community. No showing of unnecessary hardship to the land is required.</i></p>

*Building and Neighborhood Compliance*

**ENFORCEMENT HISTORY**

JUAN PERALTA & MARIA DE LOS  
ANGELES NEYRA

22505 SW 132 CT  
MIAMI-DADE COUNTY, FLORIDA.

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**APPLICANT**

**ADDRESS**

PENDING

Z2024000227

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**DATE**

**HEARING NUMBER**

**FOLIO: 30-6914-016-0880**

**REVIEW DATE OF CURRENT ENFORCEMENT HISTORY:**

December 30, 2024

**NEIGHBORHOOD REGULATIONS:**

There are no open/closed cases.

**BUILDING SUPPORT REGULATIONS:**

There are no open/closed cases.

**OUTSTANDING LIENS AND FINES:**


There are no outstanding Liens, fines, or fees.

# Memorandum



**Date:** January 3, 2025

**To:** Lourdes M. Gomez, AICP, Director  
Department of Regulatory and Economic Resources

**From:** Lisa M. Spadafina, RER Assistant Director  
Division of Environmental Resources Management 

**Subject:** Z2024000227-2<sup>nd</sup> Review  
Juan Peralta and Maria De Los Angeles Neyra  
22505 SW 132<sup>nd</sup> Court  
Non-Use Variance for setback requirements for the legalization of a pergola and shed.  
(EU-M) (0.32 acres)  
14-56-39

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The Department of Regulatory and Economic Resources – Division of Environmental Resources Management (DERM) has reviewed the above referenced zoning application for compliance with the requirements of Chapter 24 of the Miami-Dade County Code (the Code) for potable water service and wastewater disposal. Based on the information provided, this zoning application is approved pursuant to section 24-43.1 of the Code related to potable water supply and wastewater disposal.

#### Potable Water Supply and Wastewater Disposal

According to DERM records, the subject property is currently connected to public water and sanitary sewers. Pursuant to the Code, the structures to be legalized are required to connect to public water and sanitary sewers to the extent that they have plumbing connections for potable water and/or wastewater.

#### **Conditions of Approval: None**

#### Water Control Review

Stormwater should be retained on site utilizing designed seepage or infiltration drainage system. Drainage plans shall provide on-site retention of the stormwater runoff generated by a 5-year storm event.

Site grading shall not cause flooding of adjacent properties.

#### **Conditions of Approval: None**

#### Tree Preservation Review

An aerial review of the subject property indicates the presence of tree resources; however, the site plan entitled “Public hearing” prepared by Alexander Alvarez, P.E., and dated as received by Miami-Dade County on December 12, 2024, was submitted with the subject application and indicates that tree resources onsite will not be removed. Please note that a Miami-Dade County Tree Permit is required prior to the removal and/or relocation of any tree that is subject to the tree preservation and protection

provisions of the Code. Projects and permits shall comply with the requirements of sections 24-49.2 and 24-49.4 of the Code.

In accordance with section 24-49.9 of the Code, all plants prohibited by Miami-Dade County shall be removed from all portions of the property prior to development, or redevelopment and developed parcels shall be maintained to prevent the growth or accumulation of prohibited species. Please contact Jackelyn Alberdi at Jackelyn.Alberdi@miamidade.gov regarding any additional information or concerns with this review.

**Conditions of Approval: None**

DERM Enforcement History Review

There are no open or closed enforcement records for violations of Chapter 24 of the Code for the subject property. There are no outstanding DERM liens or fines for the subject property.

Concurrency Review Summary

A concurrency review has been conducted for this application and DERM has determined that the same meets all applicable LOS standards for an initial development order as specified in the adopted CDMP for potable water supply, wastewater disposal, and flood protection. This concurrency approval is valid only for this initial development order. Pursuant to Chapter 33G of the Code, a final concurrency statement will be issued at the time of final development order.

If you have any questions concerning the comments or wish to discuss this matter further, please contact Ninfa Rincon at (305) 372-6764.


cc: Eric Silva, Department of Regulatory and Economic Resources

# Memorandum



**Date:** December 23, 2024

**To:** Eric Silva, AICP, Assistant Director  
Development Services Division  
Department of Regulatory and Economic Resources (RER)

**From:** Maria A. Valdes, CSM, LEED® Green Associate  
Chief, Planning & Water Certification Section  
Water & Sewer Department (WASD) 

**Subject:** Zoning Application Comments - Juan Peralta & Maria DLA Neyra  
Application No. 2024000227- Revision No. 1

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The Water and Sewer Department has reviewed the proposed development for the subject zoning application. WASD has no objection to this zoning application, based on the information provided. Additional requirements may be needed at the time of permitting. The information provided below is preliminary and it does not affect the Zoning process.

Application Name: Juan Peralta & Maria DLA Neyra

Location: The proposed project is located at 22505 SW 132<sup>nd</sup> Court with Folio No. 30-6914-016-0880, in unincorporated Miami-Dade County.

Proposed Development: The Applicant is requesting to legalize a Pergola and Shed addition at the rear of the existing Single Family Residence (2,693 square feet under A/C), without the required setbacks.

This project results in a no-net-increase in the water demand.

***Please note that the subject property has a 10 feet Utility Easement within and along the western boundary of the subject property. Permanent structures, trees or palms are not allowed within said utility easement (only passive landscaping along the Utility Easement).***

Water/Sewer: The subject site is located within the WASD's water and sewer service area. The subject property is currently connected to water and sewer.

Should you have any questions, please contact Maria A. Valdes, Chief, Planning & Water Certification Section at (786) 552-8198 or [mavald@miamidade.gov](mailto:mavald@miamidade.gov), Alfredo B. Sanchez at (786) 552-8237 or [sanalf@miamidade.gov](mailto:sanalf@miamidade.gov), or Benita Ramirez at (786) 552-8121 or [benram@miamidade.gov](mailto:benram@miamidade.gov).

# Memorandum



Date: December 4, 2024

To: Eric Silva, AICP, Assistant Director  
Department of Regulatory and Economic Resources

From: Raul A. Pino, PLS, Division Chief  
Platting and Traffic Review Section  
Department of Regulatory and Economic Resources

Subject: Z2024000227  
Name: Juan Peralta & Maria de los Angeles Neyra  
Location: 22505 SW 132 Court  
Section 14 Township 56 South Range 39 East

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The Department of Regulatory and Economic Resources Platting and Traffic Review Section has reviewed the subject application and has **no objections**.

This land complies with Chapter 28 of the Miami-Dade County Code. The property is platted as Lot 4, Block 7, Plat Book 173, Page 63.

This application does not generate any additional trips.

#### Standard Conditions:

- A letter or a plan containing the following certification signed and sealed by a State of Florida registered engineer shall be submitted as part of the paving and drainage plans: "I hereby certify that the all of the roads for the subject project comply with all of the applicable portions of the Manual of Uniform Minimum Standards for Design, Construction and Maintenance for Streets and Highways (Florida Greenbook) regarding: design speed, lane widths, horizontal alignment, vertical alignment, stopping sight distance, sight distance, horizontal clearance, vertical clearance, superelevation, shoulder widths, grades, bridge widths, etc."
- All landscaping, walls, fences, entrance features, etc. will be subject to the Safe Sight Distance Triangle as per Section 33-11 of the Miami-Dade County Code and G5.3 of the Public Works and Waste Management Department Manual.

# Memorandum



**Date:** December 16, 2024

**To:** Eric Silva, Assistant Director  
Regulatory and Economic Resources

**From:** Alejandro G Cuello, Principal Planner  
Miami-Dade Fire Rescue Department

**Subject:** Z2024000227

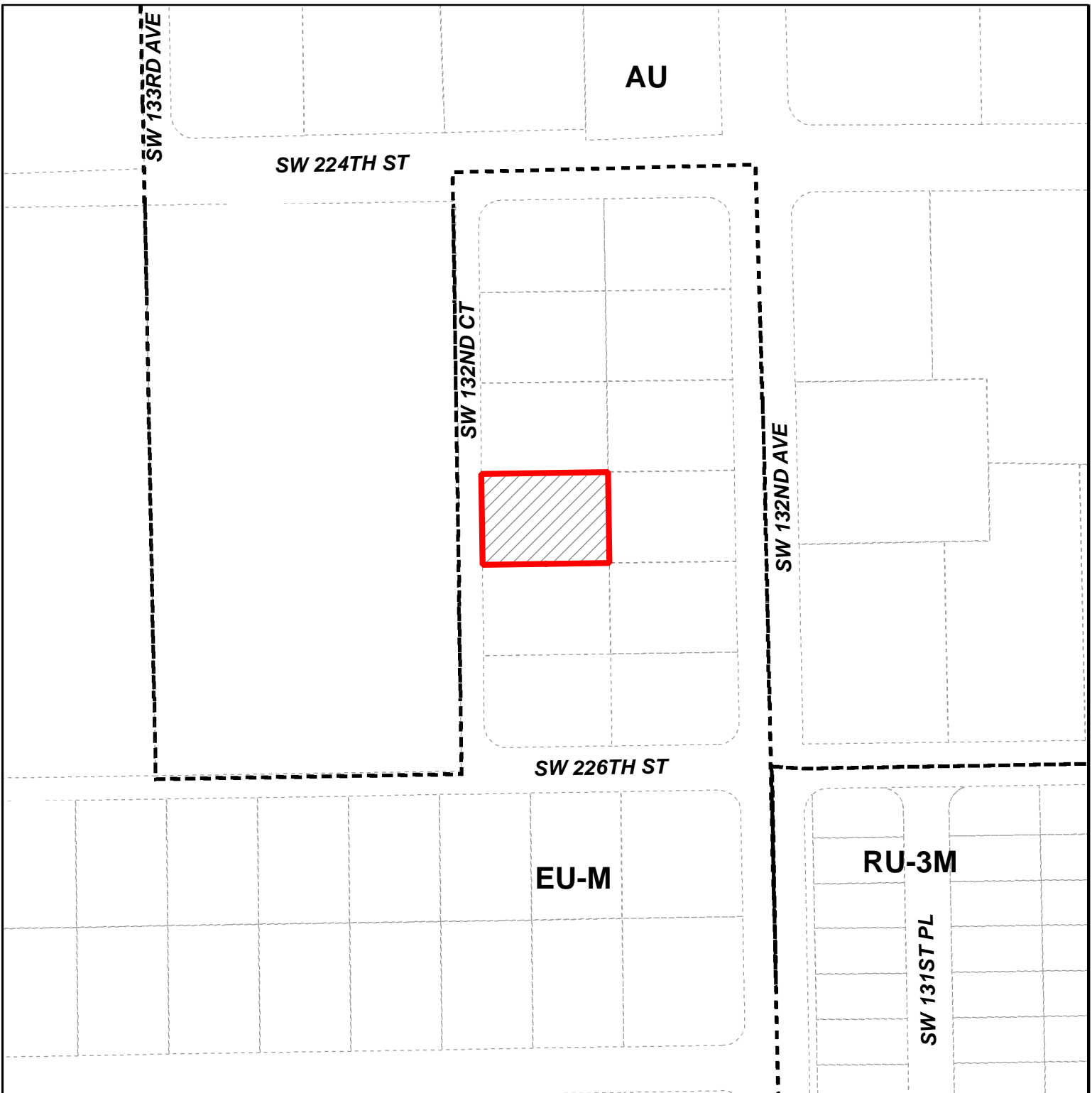
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The Miami-Dade Fire Rescue Department has **no objection** to the site plan uploaded in “EnerGov” on 12/12/2024. Single family home.

MDFR’s review of this zoning application is limited to assessing fire department access and does not effectuate an approval of the building design. The future building’s design must be in compliance with the applicable requirements for the proposed use:

Florida State Statute Chapter 633 (Fire Prevention & Control)  
Florida Administrative Code 69A  
Florida Fire Prevention Code (NFPA 1 and NFPA 101 (2018 edition))  
Applicable adopted NFPA Standards  
County Code Chapter 14

For additional information, please contact [acuello@miamidade.gov](mailto:acuello@miamidade.gov) or call 305-775-3357.



**MIAMI-DADE COUNTY**

**HEARING MAP**



Process Number

**Z2024000227**



Section: 14 Township: 56 Range: 39  
 Applicant: Juan Peralta and Maria DLA Neyra  
 Zoning Board: C14  
 Commission District: 8  
 Drafter ID: EDUARDO CESPEDES  
 Scale: NTS

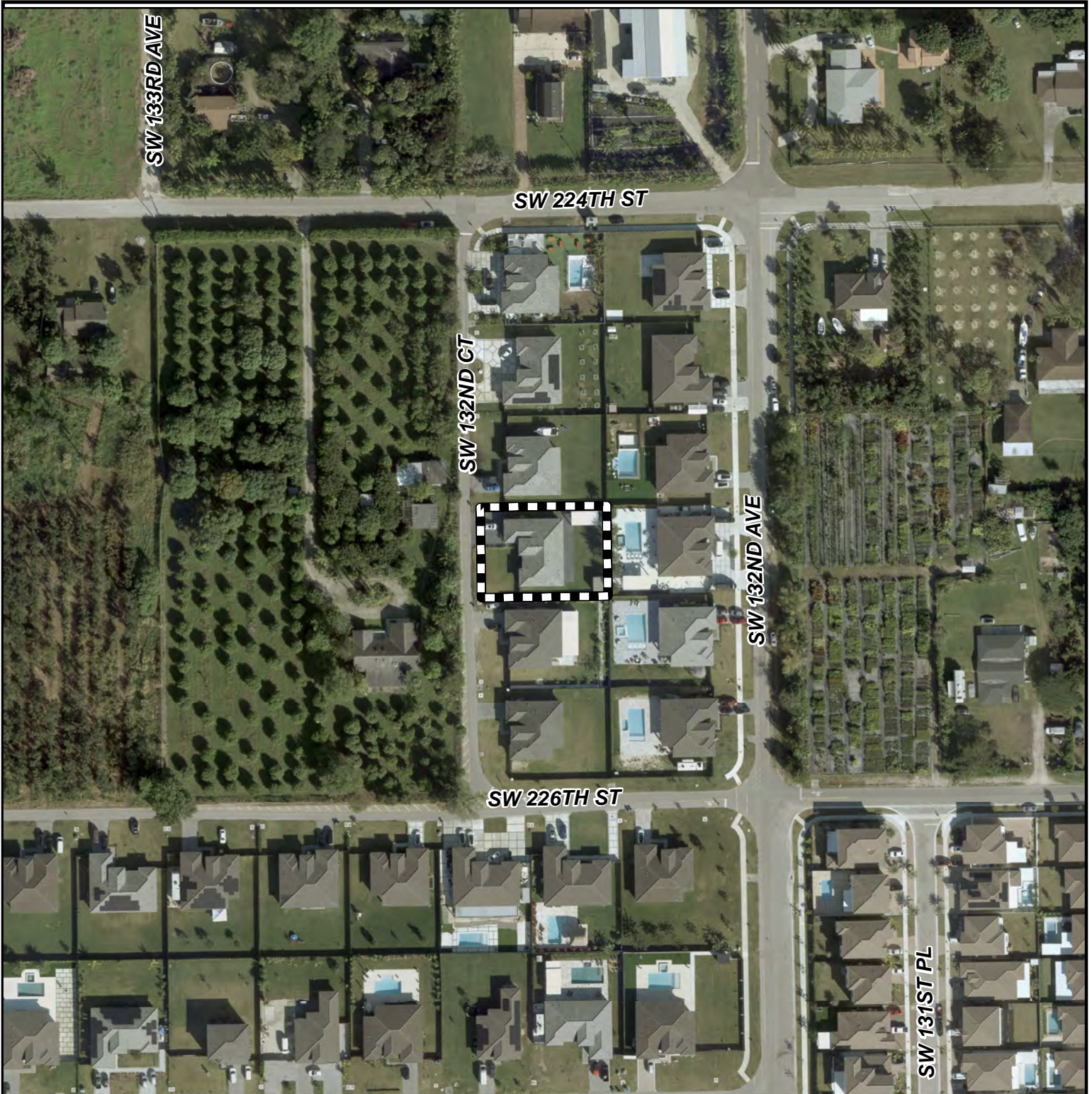
**Legend**

-  Subject Property Case
-  Zoning




SKETCH CREATED ON: Friday, November 8, 2024

REVISION	DATE	BY



**MIAMI-DADE COUNTY**  
**AERIAL YEAR 2024**

**Process Number**  
**Z2024000227**

**Legend**  
 Subject Property

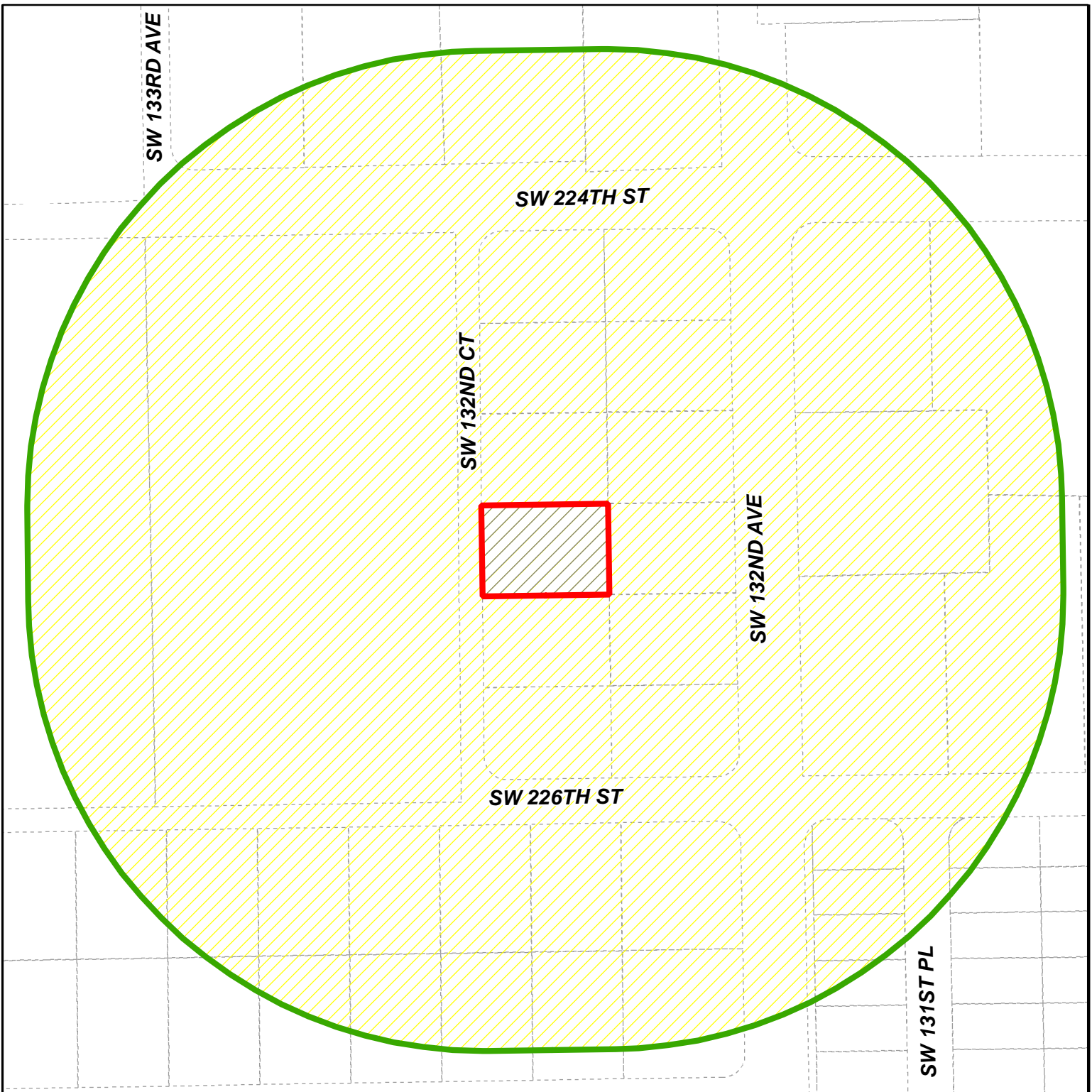


**Section: 14 Township: 56 Range: 39**  
**Applicant: Juan Peralta and Maria DLA Neyra**  
**Zoning Board: C14**  
**Commission District: 8**  
**Drafter ID: EDUARDO CESPEDES**  
**Scale: NTS**



SKETCH CREATED ON: Friday, November 8, 2024

REVISION	DATE	BY






**MIAMI-DADE COUNTY**  
**RADIUS MAP**

Section: 14 Township: 56 Range: 39  
 Applicant: Juan Peralta and Maria DLA Neyra  
 Zoning Board: C14  
 Commission District: 8  
 Drafter ID: EDUARDO CESPEDES  
 Scale: NTS

Process Number  
**Z2024000227**  
 RADIUS: 500

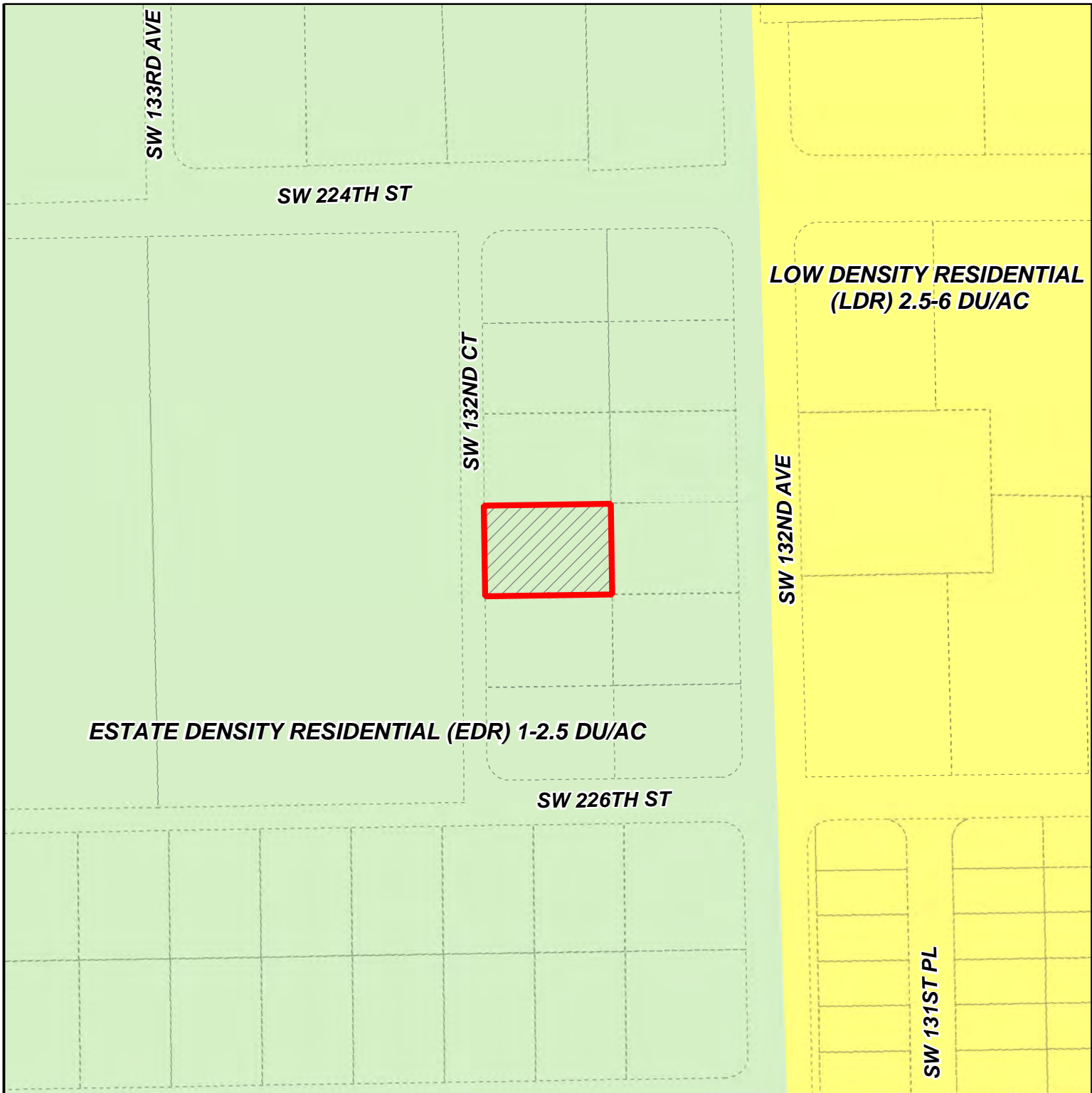
**Legend**

-  Subject Property
-  Buffer
-  Property Boundaries



SKETCH CREATED ON: Friday, November 8, 2024

REVISION	DATE	BY



**MIAMI-DADE COUNTY**

**CDMP MAP**

Process Number

**Z2024000227**

Section: 14 Township: 56 Range: 39  
 Applicant: Juan Peralta and Maria DLA Neyra  
 Zoning Board: C14  
 Commission District: 8  
 Drafter ID: EDUARDO CESPEDES  
 Scale: NTS



**Legend**

 Subject Property Case



SKETCH CREATED ON: Friday, November 8, 2024

REVISION	DATE	BY

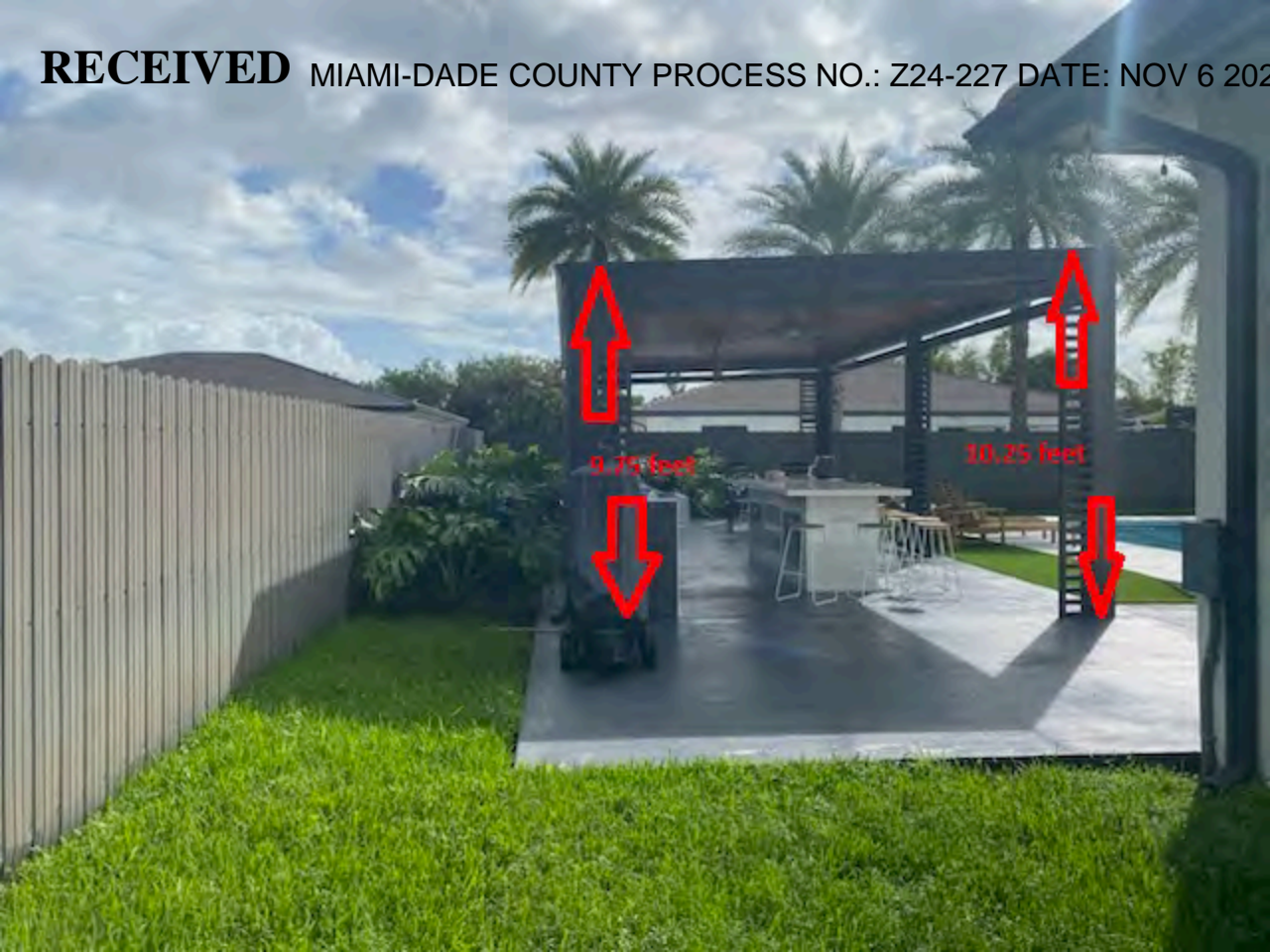




**RECEIVED** MIAMI-DADE COUNTY PROCESS NO.: Z24-227 DATE: NOV 6 2024 BY: CABR

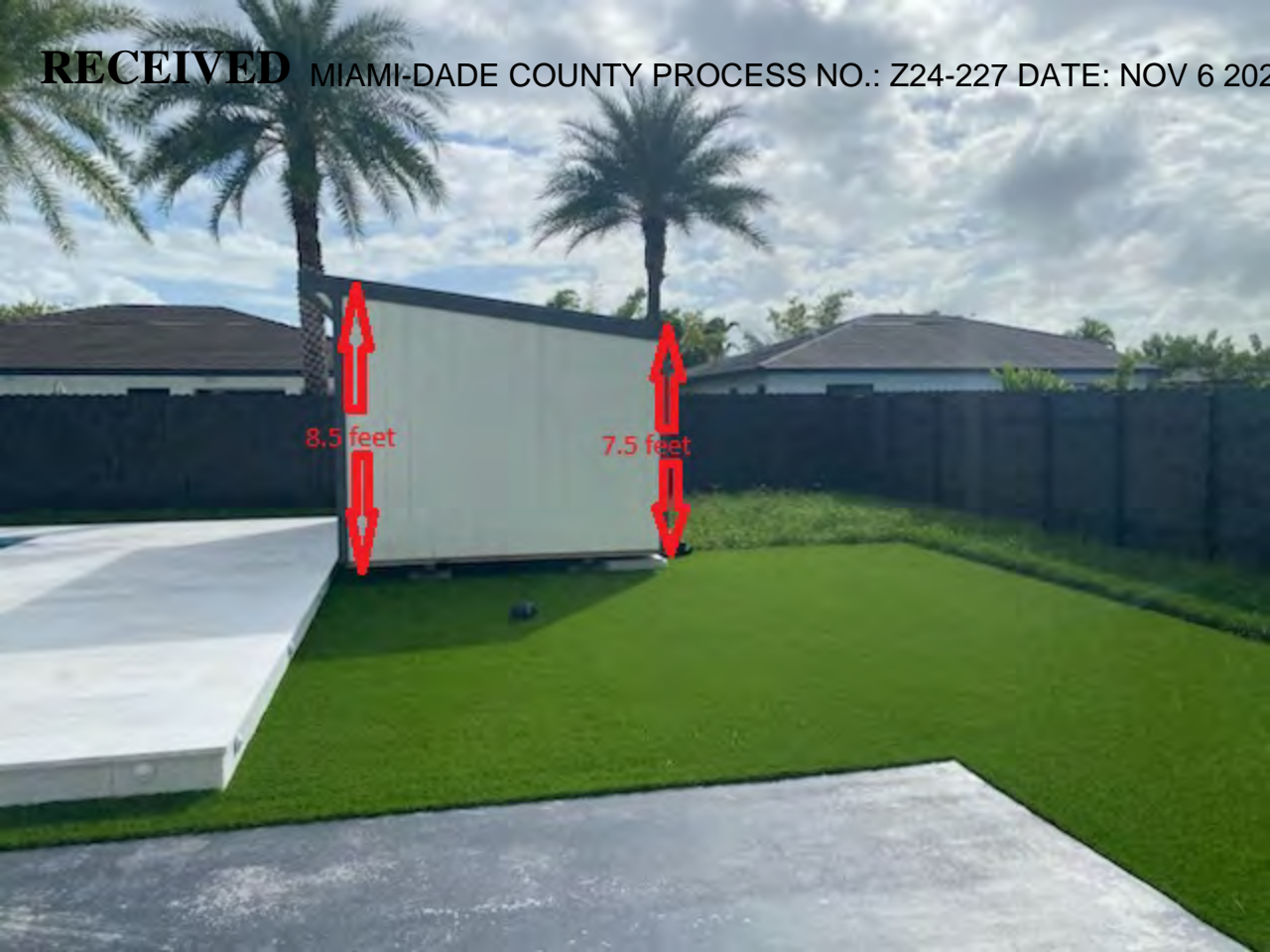


**RECEIVED** MIAMI-DADE COUNTY PROCESS NO.: Z24-227 DATE: NOV 6 202



**RECEIVED**

MIAMI-DADE COUNTY PROCESS NO.: Z24-227 DATE: NOV 6 202



**RECEIVED**

MIAMI-DADE COUNTY PROCESS NO.: Z24-227 DATE: NOV 6 2024 BY: CABR



8.5 feet

8.5 feet















**Miami-Dade County Department of Regulatory and Economic Resources  
Staff Report to Community Zoning Appeals Board No. 14**

**PH: Z24-230**

**March 17, 2025**

**Item No. 2**

<b>Recommendation Summary</b>	
<b>Commission District</b>	9
<b>Applicant</b>	First Watch Restaurant, Inc.
<b>Summary of Requests</b>	The applicant seeks to permit a restaurant building (First Watch Restaurant) to have more wall signs than permitted by code.
<b>Location</b>	12075 SW 152 Street, Miami-Dade County, Florida.
<b>Property Size</b>	1.01 Acres
<b>Existing Zoning</b>	BU-2, Special Business District.
<b>Existing Land Use</b>	Retail outlet (restaurant)
<b>2030-2040 CDMP Land Use Designation</b>	Business and Office <i>(see attached Zoning Recommendation Addendum)</i>
<b>Comprehensive Plan Consistency</b>	Consistent with interpretative text, goals, objectives, and policies of the CDMP
<b>Applicable Zoning Code Section(s)</b>	Section 33-311(A)(4)(b) Non-Use Variances From Other Than Airport Regulations. <i>(see attached Zoning Recommendation Addendum)</i>
<b>Recommendation</b>	<b>Approval with conditions.</b>

**REQUEST:**

NON-USE VARIANCE to permit a proposed restaurant to have 4 wall signs (1 sign per elevation) where only 2 are allowed per code.

Plans are on file and may be examined in the Department of Regulatory and Economic Resources, entitled, "First Watch" as prepared by Anchor Sign, dated stamped received 10/30/2024 and consisting of 19 sheets, and "Site Plan" as prepared by Bock & Clark, dated stamped received 10/30/2024 and consisting of 1 sheet for a total of 20 sheets. Plan may be modified at public hearing.

**PROJECT HISTORY AND DESCRIPTION:**

Originally the subject parcel was part of a larger tract of land, however, staff notes that in 2003 there was a re-plat of the Deerwood Center, at which time this property, as well as certain other parcels, were left out of that larger tract of land.

Between 1980 and 2007, the subject site has been part of multiple zoning applications. In 1980, pursuant to Resolution #Z-98-80, the subject site was part of a much larger tract of land that was approved for a rezoning to BU-2. In August 1983, pursuant to Resolution #4-ZAB-262-83, the subject property was approved for an unusual use to permit outdoor seating in connection with a restaurant. In October 1985, pursuant to Resolution #4-ZAB-387-85, the subject property was approved for a special exception to permit a proposed liquor package store to be spaced less than 500' from an existing place of business having an alcoholic beverage use. In October 1993, pursuant to Resolution #4-ZAB-374-93, the subject property was approved for a modification of a covenant running with the land and non-use variance of zoning regulations requiring all uses to be conducted from within a building or within enclosed walls; to waive same to permit a proposed garden center to be enclosed by chain-link fence with a maximum height of 15' (8'permitted).

Additionally, in January 2007, pursuant to Resolution #CZAB14-3-07, the subject property was approved with conditions for a special exception of the spacing requirements as applied to alcoholic beverage uses to permit a proposed liquor package store to be spaced less than 2,500' from a religious facility and a public school and spaced less than 1,500' from another similar alcoholic beverage use. In November 2024, pursuant to resolution #CZAB14-11-24, the subject property was approved with conditions for a non-use variance to permit a proposed restaurant to have sales of alcoholic beverages Monday through Saturday between the hours of 7:00 am and 1:00 am the following day (8:00 am to 1:00 am the following day permitted) and a non-use variance to permit the proposed restaurant to have sales of alcoholic beverages on Sundays between the hours of 7:00 am to 1:00 am the following day (sales of beer 10:00 am to 1:00 am the following day permitted; sales of other alcoholic beverages 1:00 pm to 1:00 am the following day permitted).

The current zoning application pertains to the 1.01-acre subject property that is currently developed with an existing 1-story, 5,406 sq. ft. restaurant building (set to reopen as First Watch Restaurant). This property is an outparcel to an existing shopping center that is anchored by a Home Depot. Under the current zoning application, the applicant seeks to allow the proposed restaurant to have four (4) wall signs (1 wall sign on each elevation) where only a maximum of two (2) wall signs are allowed as per code.

<b><u>NEIGHBORHOOD CHARACTERISTICS</u></b>		
	<b>Zoning and Existing Use</b>	<b>Land Use Designation</b>
<b>Subject Property</b>	BU-2; retail outlet (restaurant)	Business and office
<b>North</b>	BU-2; shopping center	Business and office
<b>South</b>	AU; US Coast Guard	Zoo Miami Entertainment Area
<b>East</b>	BU-2; shopping center	Business and office
<b>West</b>	BU-2; shopping center	Business and office

**NEIGHBORHOOD COMPATIBILITY:**

The subject property consists of an existing, stand-alone restaurant building that is located at 12075 SW 152 Street, and is one of the outparcels of an existing shopping center directly facing SW 152 Street, a well-traveled roadway. The surrounding area consists of commercial, and retail uses to the north, east and west of the subject site. These retail uses include a dry cleaner, barber shop, subway, pet stores and others to the west, a restaurant to the east, and a Home Depot store to the north. The large parcel to the south of the site is owned by the U.S. Coast Guard.

**SUMMARY OF THE IMPACTS:**

Approval of this application would allow the existing restaurant to have more signs than permitted per code, the applicant proposed a total of four (4) signs (1 sign per elevation) where only two (2) are allowed per code. Staff opines that granting approval of the request to allow more signs than permitted per code will not create additional traffic impacts on the surrounding neighborhood or any significant new impacts on the County resources in this area. Furthermore, the proposed signage would provide the subject site with greater visibility on the well-traveled roadway of SW 152 Street and may facilitate a smoother flow of traffic within the site. Based on memoranda from

the departments reviewing this application, staff opines that approval of same will not create any significant negative impacts on the surrounding area.

### **COMPREHENSIVE DEVELOPMENT MASTER PLAN ANALYSIS:**

The ±1.01-acre subject property is located within the Urban Development Boundary (UDB) and designated as **Business and Office** on the Comprehensive Development Master Plan (CDMP) Adopted 2030-2040 Land Use Plan (LUP) map. *This category accommodates the full range of sales and service activities. Included are retail, wholesale, personal and professional services, call centers, commercial and professional offices, hotels, motels, hospitals, medical buildings, nursing homes, entertainment and cultural facilities, amusements, and commercial recreation establishments such as private commercial marinas.* The purpose of the BU-2, Special Business District is to provide for retail and service convenience facilities which satisfy the essential and frequent needs of the adjacent residential neighborhood as well as the more specialized commercial facilities which may serve several neighborhoods. The applicant's intent is to allow more signs than permitted per code for the restaurant located within the existing shopping center. Staff opines that the approval of the request will not change the commercial use on the subject property. As such, staff opines that approval of the request would be **compatible** with the surrounding area and **consistent** with the CDMP Business and Office Land Use Element interpretive text for the Business and Office land use category and with the Business and Office category for the parcel on the CDMP LUP map.

### **ZONING ANALYSIS:**

When the applicant's request to permit the proposed restaurant with a total of four (4) wall signs, where a maximum of two (2) signs (1 sign on each elevation) would otherwise be permitted by Code, is analyzed under 33-311(A)(4)(b), Non-Use Variance Standards, staff opines that approval with conditions of the request would be **compatible** with the surrounding area, would maintain the basic intent and purpose of the zoning, subdivision and other land use regulations, and not affect the appearance of the community. Staff further opines that the proposed signs provide identification for the store, which is a common feature in similar shopping center developments. Approval of the request would allow the applicant to install a tenant-identifying wall sign, helping to notify motorists of the tenant's presence and potentially facilitating a smoother flow of traffic to and from the site.

It's important to note that the subject site has already obtained building permits for two (2) of the proposed signs as allowed under the code. Said building permits, #2025015992 and #2025015990, allow for wall signs on the south and west elevations that amount to a total of 105.56 sq. ft. in area (52.78 sq. ft. on each elevation). Additionally, and the reason for this zoning hearing, the applicant proposes an additional 2 more wall signs, 1-each for its north and east elevations, and these signs amount to a total of 36.18 sq. ft. in area. As such, these proposed smaller signs from all 4-elevations, collectively total approximately 141.74 sq. ft. in area. Staff notes that the code permits each sign to cover 10 percent of the wall area for a building that does not exceed 15 feet in height. Staff further notes that each building elevation is approximately 1,458 sq. ft. in area, which requires that the total wall coverage by signage of a singular building facade shall not exceed 145.8 sq. ft. (10% coverage per elevation). Since a total of two (2)-wall signs are permitted by code, the area for the 2-signs would amount up to a maximum of 291.6 sq. ft. Based on the foregoing, staff notes that the collective total area of 141.74 sq. ft. for the 4 proposed signs, is significantly lower than the total maximum area of 291.6 sq. ft. that would otherwise be allowed under the code.

Staff also notes that based on the memoranda submitted by other departments reviewing the application, approval of this application would not have an unfavorable effect on the economy of Miami-Dade County, would not tend to create a fire or other equally or greater dangerous hazard, or provoke excessive overcrowding of people, or provoke a nuisance, and would not be incompatible with the area concerned. The Platting and Traffic Review Section of the Department of Regulatory and Economic Resources (RER) in their memorandum dated December 4, 2024, state that they have no objections to the application and that this application will not generate any additional vehicular trips. Further, the Division of Environmental Resources Management of the Department of Regulatory and Economic Resources in their memorandum dated November 22, 2024, indicate that the request under this application does not entail any environmental concerns and that they have no objections to the application and that approval of the request will not impact services in the area. In addition, the memorandum from the Miami-Dade Fire Rescue Department and the Water and Sewer Department indicate no objection to the application as well. Based on the aforementioned department memoranda, staff opines that the request will not result in, among other things, excessive noise or cause undue or excessive burden on public facilities.

The 1.01-acre subject site is one of the outparcels to an existing shopping center, currently occupied by a 1-story restaurant building that is set to reopen as First Watch Restaurant. The site is surrounded by commercial and retail uses to the north, east, and west, with a large U.S. Coast Guard property located immediately to the south. Staff notes that the requested number of signs may be similar to other such restaurant or retail uses that may be found in the surrounding areas and opines that the proposed number of signs for a total four (4)-wall signs (1 wall sign on each building elevation) will not have a significant impact on the neighborhood, which is mostly characterized by existing commercial uses along SW 152 Street, which itself is a well-traveled east-west section-line roadway. In the submitted letter of intent, the applicant indicates that The First Watch Restaurant, located on a multi-tenant parcel, is approximately 40 feet from its primary roadway, the approval of the application will benefit the surrounding neighborhoods and the greater Miami community. Specifically, allowing for additional exterior signage significantly increases the restaurant's visibility, enhancing access for the restaurant's employees, customers, and delivery vehicles entering and exiting the shopping center, as well as for the larger community traveling in both directions along SW 152nd Street at its posted 40 mph speed limit, ultimately improving public safety.

Based on the foregoing, staff supports the requested four (4) wall signs (1 sign per elevation) where only two (2) are allowed per code and opines that approval of same will not create the intrusion of any additional uses into the area, and would maintain the basic intent and purpose of the zoning, subdivision and other land use regulations, would not affect the stability and appearance of the community and that the requests would be **compatible** with the surrounding commercial uses in the area. **Therefore, staff recommends approval with conditions of the application under Section 33-311(A)(4)(b) (Non-Use Variances From Other Than Airport Regulations).**

**ACCESS, CIRCULATION AND PARKING: N/A**

**NEIGHBORHOOD SERVICES PROVIDER COMMENTS:** See attached.

**OTHER: N/A**

**RECOMMENDATION:**

**Approval with conditions.**

**CONDITIONS FOR APPROVAL:**

1. That a site plan be submitted to and meet with the approval of the Director upon the submittal of an application for a building permit and/or Certificate of Use; said plan must include among other things but not be limited to, location of structure or structures, exits and entrances, drainage, walls, fences, landscaping, etc.
2. That in the approval of the plan, the same be substantially in accordance with that submitted for the hearing entitled, entitled, "First Watch" as prepared by Anchor Sign, dated stamped received 10/30/2024 and consisting of 19 sheets, and "Site Plan" as prepared by Bock & Clark, dated stamped received 10/30/2024 and consisting of 1 sheet, for a total of 20 sheets.
3. That the use be established and maintained in accordance with the approved plan.
4. That the applicants obtain a building permit for the signs, from the Department of Regulatory and Economic Resources with 90 days of the expiration of the final appeal of this application, unless a time extension is granted by the Director of the Department.

ES:JB:SS:EA:PM



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Eric Silva, AICP, Assistant Director  
Development Services Division  
Miami-Dade County Department of  
Regulatory and Economic Resources

# ZONING RECOMMENDATION ADDENDUM

First Watch Restaurant Inc.  
PH: Z24-230

NEIGHBORHOOD SERVICES PROVIDER COMMENTS	
Building and Neighborhood Compliance (BNC)	No objection
Division of Environmental Resource Management (RER)	No objection
Platting and Traffic Review Section (RER)	No objection
Fire Rescue	No objection
Water & Sewer WASD	No objection
*Subject to conditions in their memorandum.	

## COMPREHENSIVE DEVELOPMENT MASTER PLAN (CDMP) OBJECTIVES, POLICIES AND INTERPRETATIVE TEXT

<p><b>Business and Office</b> (Page I-40)</p>	<p><i>This category accommodates the full range of sales and service activities. Included are retail, wholesale, personal and professional services, call centers, commercial and professional offices, hotels, motels, hospitals, medical buildings, nursing homes (also allowed in the institutional category), entertainment and cultural facilities, amusements and commercial recreation establishments such as private commercial marinas. Also allowed are telecommunication facilities (earth stations for satellite communication carriers, satellite terminal stations, communications telemetry facilities and satellite tracking stations). These uses may occur in self-contained centers, high-rise structures, campus parks, municipal central business districts or strips along highways. In reviewing zoning requests or site plans, the specific intensity and range of uses, and dimensions, configuration and design considered to be appropriate will depend on locational factors, particularly compatibility with both adjacent and adjoining uses, and availability of highway capacity, ease of access and availability of other public services and facilities. Uses should be limited when necessary to protect both adjacent and adjoining residential use from such impacts as noise or traffic, and in most wellfield protection areas uses are prohibited that involved the use, handling, storage, generation or disposal of hazardous material or waste, and may have limitations as to the maximum buildable area, as defined in Chapter 24 of the County Code. When the land development regulations are amended pursuant to Land Use Element Policies LU-9P and LU-9Q, live-work and work-live developments shall be permitted on land designated as Business and Office, as transitional uses between commercial and residential areas.</i></p> <p><i>Residential uses, and mixing of residential use with commercial, office and hotels are also permitted in Business and Office areas provided that the scale and intensity, including height and floor area ratio of the residential or mixed use development, is not out of character with that of adjacent or adjoining development and zoning, and it does not detrimentally impact, and it provides a sensitive well designed transition to any adjacent or adjoining residentially developed or designated areas of different development intensity. Where these conditions are met residential development may be authorized to occur in the Business and Office category at a density up to one density category higher than the LUP-designated density of the adjacent or adjoining residentially designated area on the same side of the abutting principal roadway, or up to the density of any such existing residential development, or zoning if the adjacent or adjoining land is undeveloped, whichever is higher. If there is no adjacent or adjoining residential use existing, zoned or designated on the same side of the roadway, the maximum allowable residential density will be that which exists or which this plan allows across the roadway. Where there is no residential use, zoning or designation on either side of the roadway, the intensity of residential development, including height, bulk and floor area ratio shall be no greater than that which would be permitted for an exclusively commercial use of the site. Where SURs or TDRs are transferred to Business-</i></p>
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# ZONING RECOMMENDATION ADDENDUM

First Watch Restaurant Inc.  
PH: Z24-230

Page | 7

	designated parcels which are zoned or to be used for residential development, or when a residential project utilizes the inclusionary zoning program the allowances of the Residential communities' section may be used within the limits provided in this paragraph.
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## PERTINENT ZONING REQUIREMENTS/STANDARDS

<p><b>Sec. 33-105.</b> <b>- Permanent point of sale signs for shopping centers.</b></p>	<p>Type of signs permitted: Detached; attraction board; flat; pylon; awning, canopy, roller curtain, umbrella; semaphore.</p> <table border="1" style="width: 100%; border-collapse: collapse; margin-top: 10px;"> <thead> <tr> <th style="text-align: center;">Type of Signs</th> <th style="text-align: center;">Size</th> <th style="text-align: center;">Number</th> <th style="text-align: center;">Setbacks and Spacing</th> <th style="text-align: center;">Illumination</th> <th style="text-align: center;">Maximum Height</th> <th style="text-align: center;">Special Conditions*</th> </tr> </thead> <tbody> <tr> <td>Flat (wall and cantilever)</td> <td>10 percent of the wall area for a building that does not exceed 15 feet in height, then 1.5 percent increase for each foot of building height above grade measured to the bottom of the sign</td> <td>Only 2 signs of a type selected by applicant</td> <td>Not applicable</td> <td>Same as detached</td> <td>Not applicable</td> <td>Signs permitted only individual tenants shopping center must be placed flat against building or on a cantilever or pylon</td> </tr> </tbody> </table>	Type of Signs	Size	Number	Setbacks and Spacing	Illumination	Maximum Height	Special Conditions*	Flat (wall and cantilever)	10 percent of the wall area for a building that does not exceed 15 feet in height, then 1.5 percent increase for each foot of building height above grade measured to the bottom of the sign	Only 2 signs of a type selected by applicant	Not applicable	Same as detached	Not applicable	Signs permitted only individual tenants shopping center must be placed flat against building or on a cantilever or pylon
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<p><b>Section 33-311(A)(4)(b)</b> <b>Non-Use Variances From Other Than Airport Regulations.</b></p>	<p>Upon appeal or direct application in specific cases, the Board shall hear and grant applications for <b>non-use variances</b> from the terms of the zoning and subdivision regulations and may grant a non-use variance upon a showing by the applicant that the non-use variance maintains the basic intent and purpose of the zoning, subdivision and other land use regulations, which is to protect the general welfare of the public, particularly as it affects the stability and appearance of the community and provided that the non-use variance will be otherwise compatible with the surrounding land uses and would not be detrimental to the community. No showing of unnecessary hardship to the land is required.</p>														

*Building and Neighborhood Compliance*

**ENFORCEMENT HISTORY**

FIRST WATCH RESTAURANT

12075 SW 152 ST  
MIAMI-DADE COUNTY, FLORIDA.

---

**APPLICANT**

**ADDRESS**

PENDING

Z2024000230

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**DATE**

**HEARING NUMBER**

**FOLIO: 30-5924-005-0035**

**REVIEW DATE OF CURRENT ENFORCEMENT HISTORY:**

December 30, 2024

**NEIGHBORHOOD REGULATIONS:**

There are no open/closed cases.

**BUILDING SUPPORT REGULATIONS:**

There are no open/closed cases.

**OUTSTANDING LIENS AND FINES:**

There are no outstanding Liens, fines, or fees.

# Memorandum

**Date:** November 22, 2024

**To:** Lourdes M. Gomez, AICP, Director  
Department of Regulatory and Economic Resources

**From:** Lisa M. Spadafina, RER Assistant Director  
Division of Environmental Resources Management



**Subject:** Z2024000230-1<sup>st</sup> Review  
First Watch Restaurants  
12075 SW 152<sup>nd</sup> Street  
Non-Use Variance for signage requirements for a proposed restaurant.  
(BU-2) (1.01 acres)  
24-55-39

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The Department of Regulatory and Economic Resources – Division of Environmental Resources Management (DERM) has reviewed the above referenced zoning application for compliance with the requirements of Chapter 24 of the Miami-Dade County Code (the Code). Based on the information provided, this zoning application is approved pursuant to section 24-43.1 of the Code related to potable water service and wastewater disposal.

If you have any questions concerning the comments or wish to discuss this matter further, please contact Ninfa Rincon at (305) 372-6764.


cc: Eric Silva, Department of Regulatory and Economic Resources

# Memorandum



**Date:** November 21, 2024

**To:** Eric Silva, AICP, Assistant Director  
Development Services Division  
Department of Regulatory and Economic Resources (RER)

**From:** Maria A. Valdes, CSM, LEED® Green Associate  
Chief, Planning & Water Certification Section  
Water and Sewer Department (WASD) 

**Subject:** Zoning Application Comments - First Watch Restaurants  
Application No. Z2024000230 - Previous Application Z2024000146

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The Water and Sewer Department has reviewed the proposed development for the subject zoning application. WASD has no objections to this Zoning Application, based on the information provided. Additional requirements may be needed at the time of permitting. The information provided below is preliminary and it does not affect the Zoning process.

Application Name: First Watch Restaurants

Location: The proposed project is located at 12075 SW 152<sup>nd</sup> Street, with Folio No. 30-5924-005-0035, in unincorporated Miami-Dade County.

Proposed Development: The applicant is requesting a Non-Use Variance of SEC 33-105, to allow for 36.18 square feet of additional signage on the east and north elevations of the building.

This project results in a no-net-increase in water demand.

***Please note that the subject property has a 10 feet Utility Easement within and along the southern boundary of the property. Permanent structures, trees or palms are not allowed within said utility easement (only passive landscaping along the Utility Easement).***

Water: The proposed development is located within the WASD's water service area. The subject property is connected to water.

There are water mains within the property, either in existing dedicated Right-of-Way (R/W) or easements, which need to be removed and relocated if in conflict with the proposed development. In addition, no trees or palms should be planted within five (5) feet of any WASD facility. Easements associated with mains to be removed and relocated shall be closed and vacated before starting construction in the easement(s) areas. In case of R/W to be closed and vacated within the property, mains shall be removed and relocated, if needed, before closing/vacating them. Fire hydrants associated with mains to be removed and relocated shall be relocated as per Fire Department recommendations. Cutting and plugging of existing water mains shall be done by a licensed contractor under WASD supervision. Services to existing customers cannot be interrupted.

Sewer: The proposed development is located within the WASD's sewer service area. The subject property is connected to sewer.

There are sewer mains within the property, either in existing dedicated R/W or easements, which need to be removed and relocated if in conflict with the proposed development. In addition, no trees or palms should be planted within five (5) feet of any WASD facility. Easements associated with mains to be removed and relocated shall be closed and vacated before starting construction in the easement(s) areas. In case of R/W to be closed and vacated within the property, mains shall be removed and relocated, if needed, before closing/vacating them. Services to existing customers cannot be interrupted.

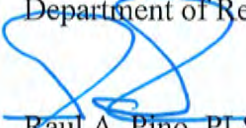
Should you have any questions, please contact Maria A. Valdes, Chief, Planning & Water Certification Section at (786) 552-8198 or [mavald@miamidade.gov](mailto:mavald@miamidade.gov), Alfredo B. Sanchez at (786) 552-8237 or [sanalf@miamidade.gov](mailto:sanalf@miamidade.gov), or Benita Ramirez at (786) 552-8121 or [benita.ramirez@miamidade.gov](mailto:benita.ramirez@miamidade.gov).

# Memorandum



Date: December 4, 2024

To: Eric Silva, AICP, Assistant Director  
Department of Regulatory and Economic Resources

From:  Raul A. Pino, PLS, Division Chief  
Platting and Traffic Review Section  
Department of Regulatory and Economic Resources

Subject: Z2024000230  
Name: First Watch Restaurants  
Location: 12075 SW 152 Street  
Section 24 Township 55 South Range 39 East

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The Department of Regulatory and Economic Resources Platting and Traffic Review Section has reviewed the subject application and has **no objections**.

This land complies with Chapter 28 of the Miami-Dade County Code. The property is platted as Tract A, Plat Book 119, Page 40.

This application does not generate any additional trips.

#### Standard Conditions:

- A letter or a plan containing the following certification signed and sealed by a State of Florida registered engineer shall be submitted as part of the paving and drainage plans: "I hereby certify that the all of the roads for the subject project comply with all of the applicable portions of the Manual of Uniform Minimum Standards for Design, Construction and Maintenance for Streets and Highways (Florida Greenbook) regarding: design speed, lane widths, horizontal alignment, vertical alignment, stopping sight distance, sight distance, horizontal clearance, vertical clearance, superelevation, shoulder widths, grades, bridge widths, etc."
- All landscaping, walls, fences, entrance features, etc. will be subject to the Safe Sight Distance Triangle as per Section 33-11 of the Miami-Dade County Code and G5.3 of the Public Works and Waste Management Department Manual.

# Memorandum



**Date:** November 06, 2024

**To:** Eric Silva, Assistant Director  
Regulatory and Economic Resources

**From:** Alejandro G Cuello, Principal Planner  
Miami-Dade Fire Rescue Department

**Subject:** Z2024000030

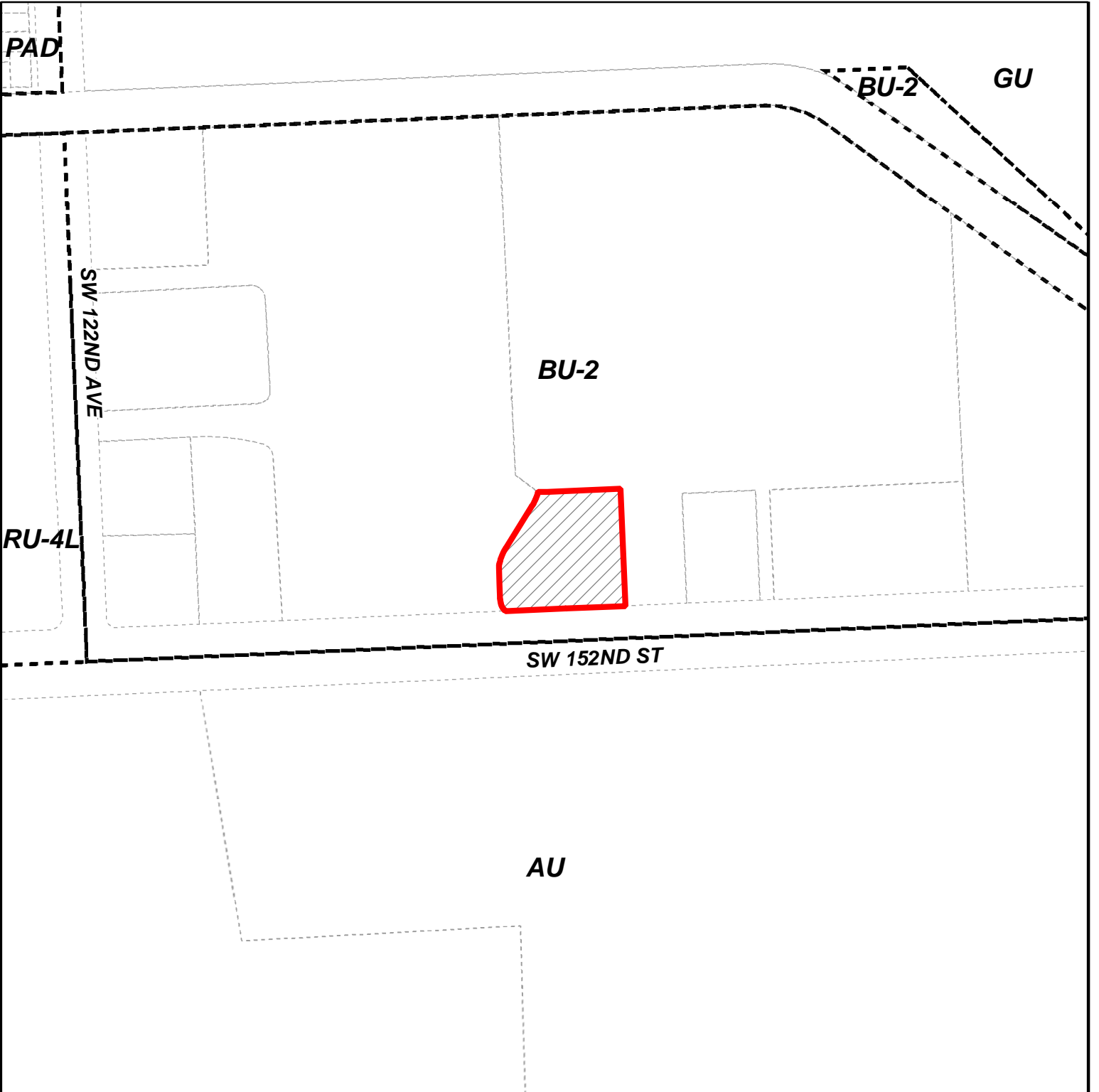
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The Miami-Dade Fire Rescue Department has **no objection** to the site plan uploaded in “EnerGov” on 11/4/2024. Note the response comments uploaded appear to be related to the fire department review for building permit application C2024006279. This review is limited to assessing fire department access and does not effectuate an approval of the building design.

MDFR’s review of this zoning application is limited to assessing fire department access and does not effectuate an approval of the building design. The future building’s design must be in compliance with the applicable requirements for the proposed use:

Florida State Statute Chapter 633 (Fire Prevention & Control)  
Florida Administrative Code 69A  
Florida Fire Prevention Code (NFPA 1 and NFPA 101 (2018 edition))  
Applicable adopted NFPA Standards  
County Code Chapter 14

For additional information, please contact [acuello@miamidade.gov](mailto:acuello@miamidade.gov) or call 305-775-3357.





**MIAMI-DADE COUNTY**  
**HEARING MAP**

Process Number  
**Z2024000230**



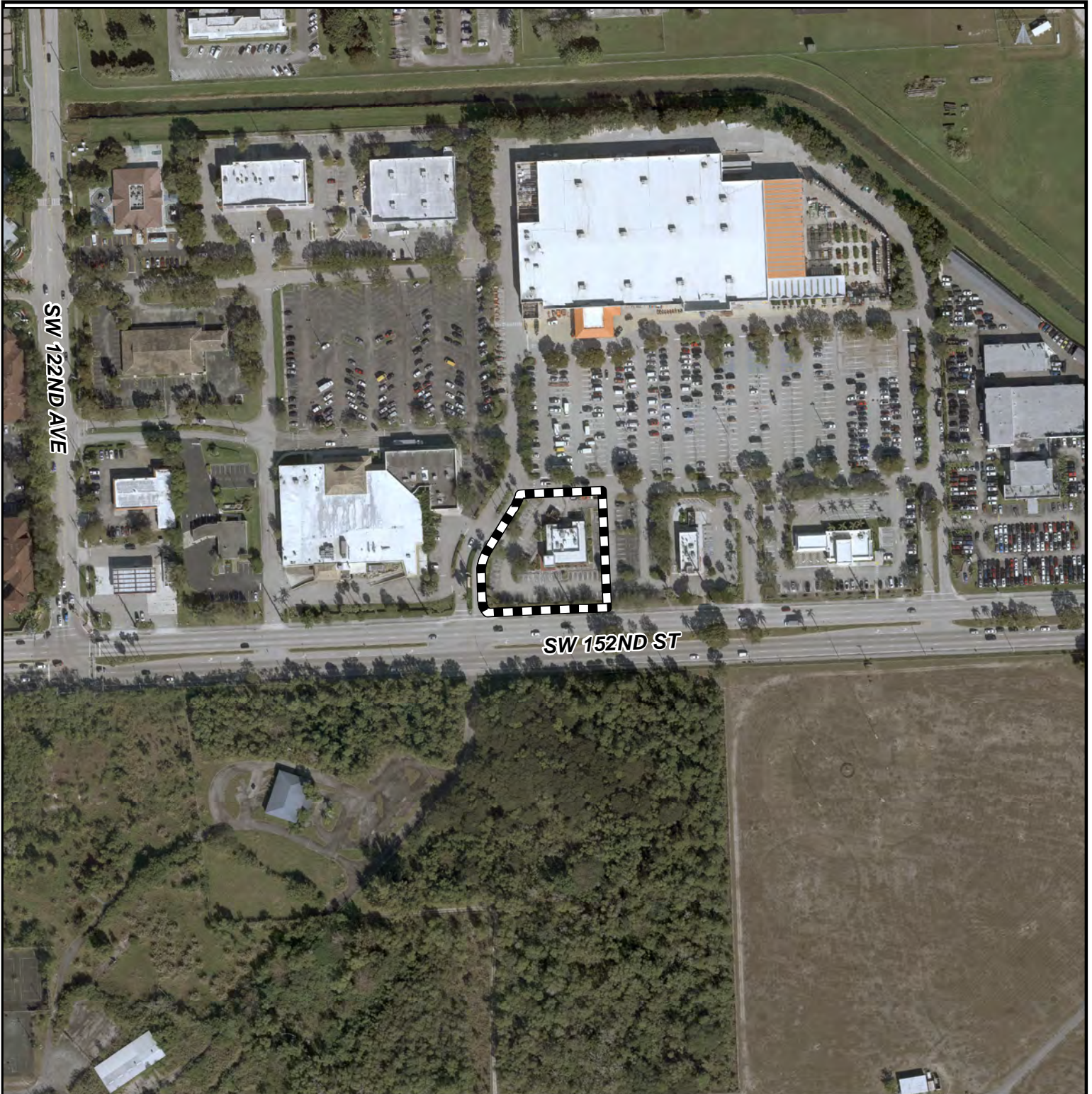
Section: 24 Township: 55 Range: 39  
 Applicant: First Watch Restaurants Inc.  
 Zoning Board: C14  
 Commission District: 9  
 Drafter ID: EDUARDO CESPEDES  
 Scale: NTS

**Legend**

-  Subject Property Case
-  Zoning



REVISION	DATE	BY



SW 122ND AVE

SW 152ND ST

**MIAMI-DADE COUNTY**  
**AERIAL YEAR 2024**

Process Number  
**Z2024000230**

**Legend**



Subject Property

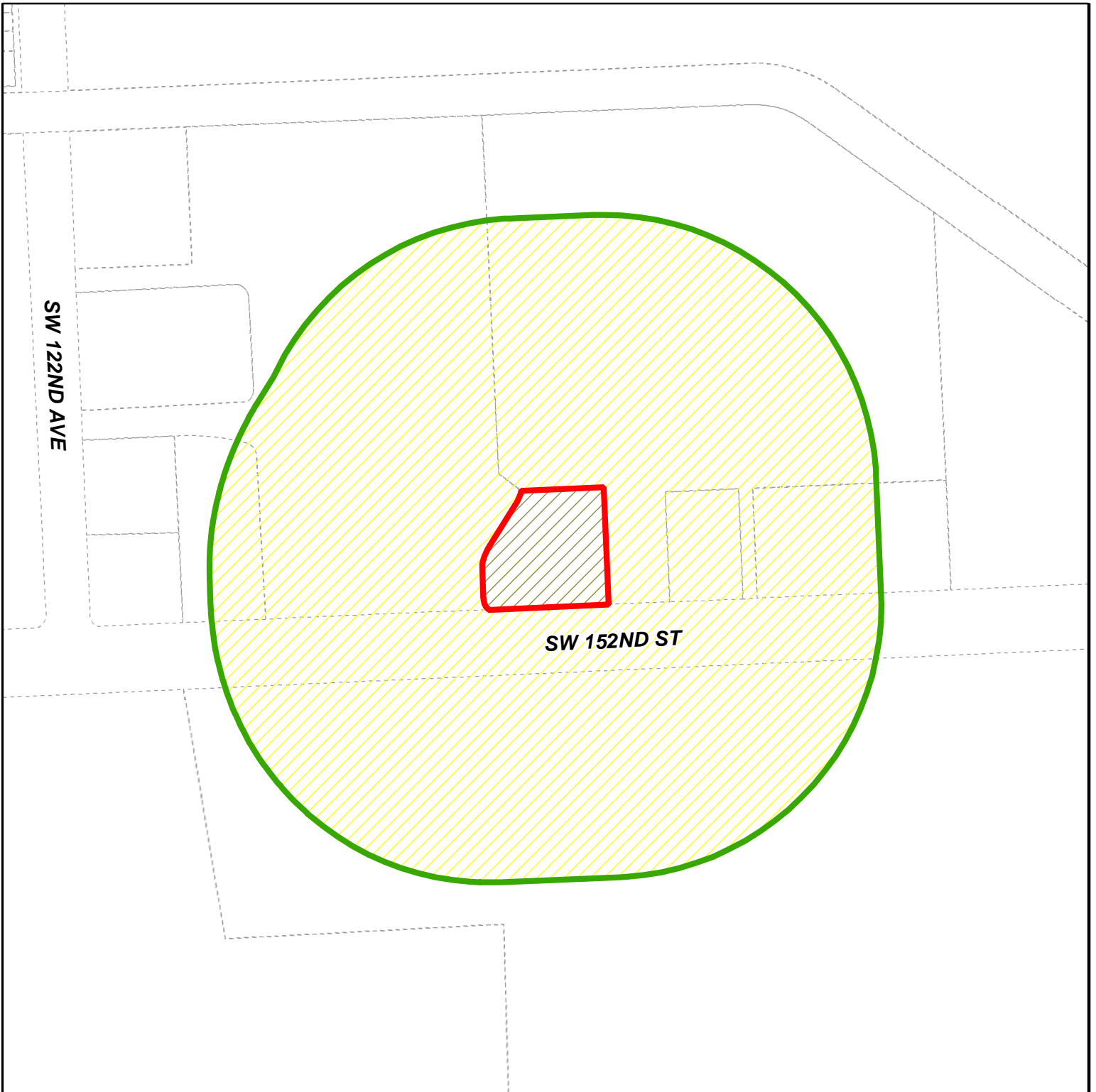


**Section: 24 Township: 55 Range: 39**  
**Applicant: First Watch Restaurants Inc.**  
**Zoning Board: C14**  
**Commission District: 9**  
**Drafter ID: EDUARDO CESPEDES**  
**Scale: NTS**



SKETCH CREATED ON: Tuesday, November 5, 2024

REVISION	DATE	BY






**MIAMI-DADE COUNTY**  
**RADIUS MAP**

**Section: 24 Township: 55 Range: 39**  
**Applicant: First Watch Restaurants Inc.**  
**Zoning Board: C14**  
**Commission District: 9**  
**Drafter ID: EDUARDO CESPEDES**  
**Scale: NTS**

**Process Number**  
**Z2024000230**  
**RADIUS: 500**

**Legend**

-  Subject Property
-  Buffer
-  Property Boundaries



SKETCH CREATED ON: Tuesday, November 5, 2024

REVISION	DATE	BY

**INSTITUTIONS, UTILITIES AND COMMUNICATION**

**WATER**

**BUSINESS AND OFFICE**

**ZOO MIAMI ENTERTAINMENT AREA**

**SW 122ND AVE**

**SW 152ND ST**

**MIAMI-DADE COUNTY**

**CDMP MAP**

**Process Number**

**Z2024000230**

**Section: 24 Township: 55 Range: 39  
Applicant: First Watch Restaurants Inc.  
Zoning Board: C14  
Commission District: 9  
Drafter ID: EDUARDO CESPEDES  
Scale: NTS**

**Legend**

 **Subject Property Case**



SKETCH CREATED ON: Tuesday, November 5, 2024

REVISION	DATE	BY

RECEIVED

MIAMI-DADE COUNTY  
PROCESS NO.: Z24-230  
DATE: OCT 30 2024  
BY: GONGOL

**FIRST  
WATCH®**

## **Sign Survey**

**FW at Miami, FL**

**Store # A28376**

Monday, April 15, 2024

Revised on: Tuesday, October 15, 2024



# FIRST WATCH<sup>®</sup>

RECEIVED  
Miami, FL

MIAMI-DADE COUNTY

PROCESS NO.: Z24-230

DATE: OCT 30 2024

BY: GONGOL

<b>SIGN A</b>	27" First Watch [Stacked]
Type:	Individual Channel Letters
Illumination:	Internally Illuminated LED
Square Footage:	34.29
To Grade:	Top of Sign to Grade = 19'-7" Bottom of Sign to Grade = 14'-9 1/4"

<b>SIGN F</b>	5 3/8" BBL
Type:	Individual Channel Letters
Illumination:	Internally Illuminated LED
Square Footage:	4.41
To Grade:	Top of Sign to Grade = 12'-6 1/2" Bottom of Sign to Grade = 12'-1"

<b>SIGN B</b>	11" BBL
Type:	Channel Letters on Raceway
Illumination:	Internally Illuminated LED
Square Footage:	18.49
To Grade:	Top of Sign to Grade = 12'-5 1/4" Bottom of Sign to Grade = 11'-6 1/4"

<b>SIGN G</b>	15" First Watch   3 3/4" BBL
Type:	Individual Channel Letters
Illumination:	Internally Illuminated LED
Square Footage:	18.27
To Grade:	Top of Sign to Grade = 14'-1 3/4" Bottom of Sign to Grade = 11'-9"

<b>SIGN C</b>	27" First Watch [Stacked]
Type:	Individual Channel Letters
Illumination:	Internally Illuminated LED
Square Footage:	34.29
To Grade:	Top of Sign to Grade = 19'-7" Bottom of Sign to Grade = 14'-9 1/4"

<b>AWNINGS A</b>	Metal Awning
Type:	43" Standing Seam Awnings
Illumination:	Non-Illuminated
To Grade:	Bottom of Awning to Grade = 7'-4"

<b>SIGN D</b>	11" BBL
Type:	Channel Letters on Raceway
Illumination:	Internally Illuminated LED
Square Footage:	18.49
To Grade:	Top of Sign to Grade = 12'-3" Bottom of Sign to Grade = 11'-6"

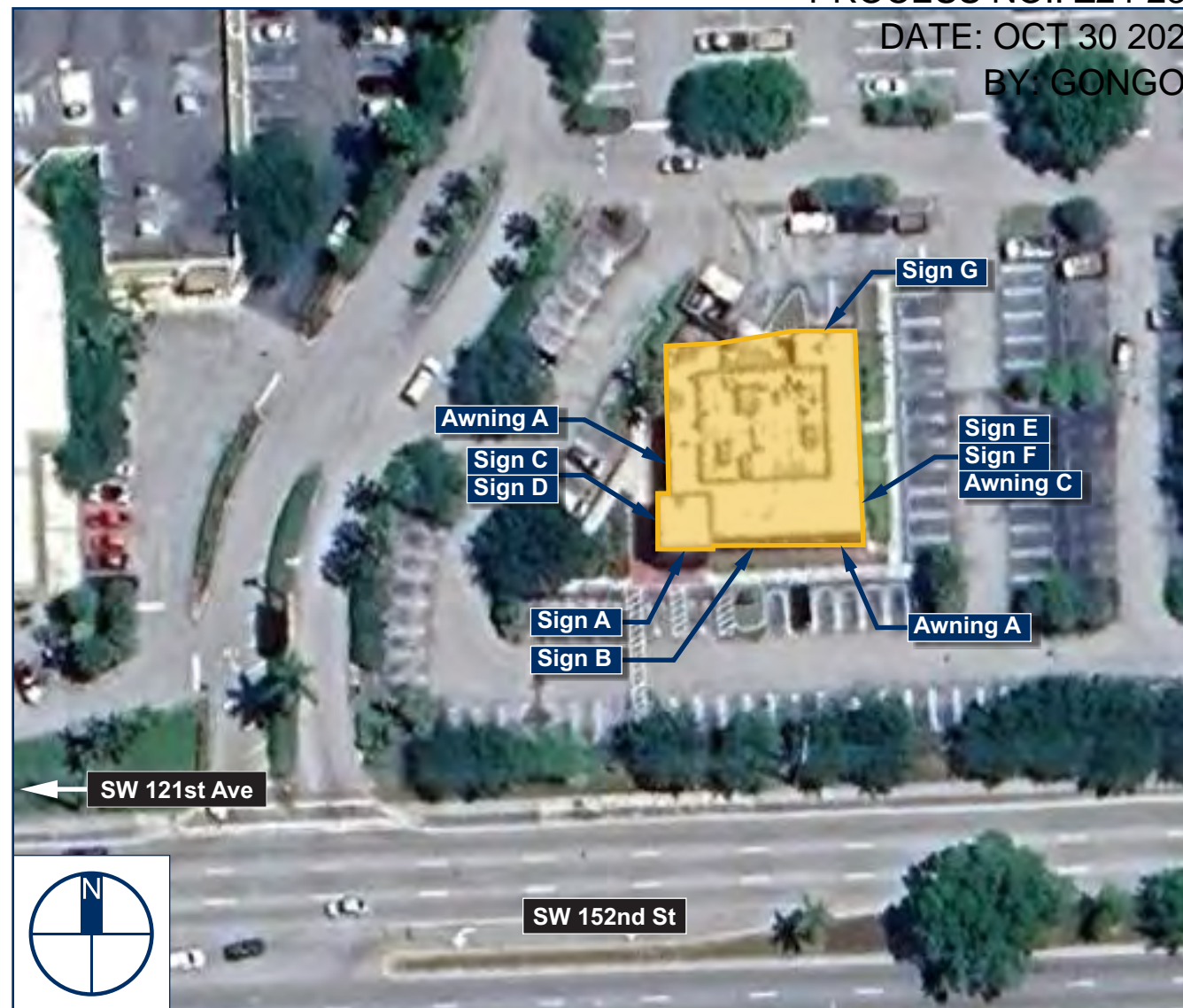
<b>AWNINGS B</b>	Metal Awning
Type:	43" Standing Seam Awnings
Illumination:	Non-Illuminated
To Grade:	Bottom of Awning to Grade = 7'-4"

<b>SIGN E</b>	18" First Watch
Type:	Individual Channel Letters
Illumination:	Internally Illuminated LED
Square Footage:	13.50
To Grade:	Top of Sign to Grade = 13'-7" Bottom of Sign to Grade = 12'-1"

<b>AWNINGS C</b>	Metal Awning
Type:	43" Standing Seam Awnings
Illumination:	Non-Illuminated
To Grade:	Bottom of Awning to Grade = 7'-4"

Qualifier -David W. Jackson - ES-0000291

1.800.213.3331



Client:	First Watch
Site #:	FW-A28376
Address:	12075 Southwest 152nd Street Miami, Florida, 33177

REVISION INFO	06/14/2024	Updated Elevations pt.2 and upsized signs A and C	LB
	06/24/2024	Updated sign B and D	AB
	07/18/2024	Updated Facade & Mounting Hardware	KH
	07/23/2024	Added ENG	SS
	08/09/2024	Added Drop Shadow Detail	KH
	08/29/2024	updated disconnect switch	AB
	10/15/2024	updated awning measurements	AB

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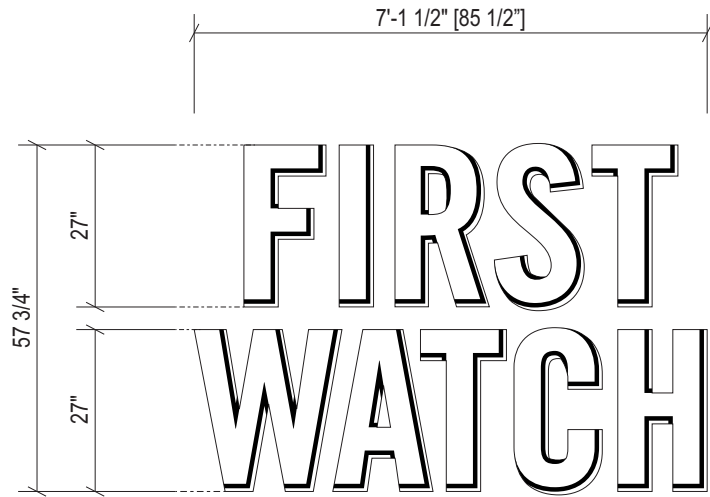
1.800.213.3331



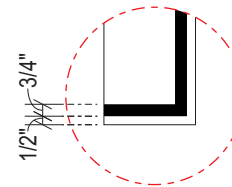
<b>SIGN A</b>	27" First Watch [Stacked]
<b>Type:</b>	Individual Channel Letters
<b>Illumination:</b>	Internally Illuminated LED
<b>Square Footage:</b>	34.29
<b>To Grade:</b>	Top of Sign to Grade = 19'-7" Bottom of Sign to Grade = 14'-9 1/4"

# RECEIVED

MIAMI-DADE COUNTY  
PROCESS NO.: Z24-230  
DATE: OCT 30 2024  
BY: GONGOL



**Sign Layout Detail**  
Scale: 3/8" = 1'-0"



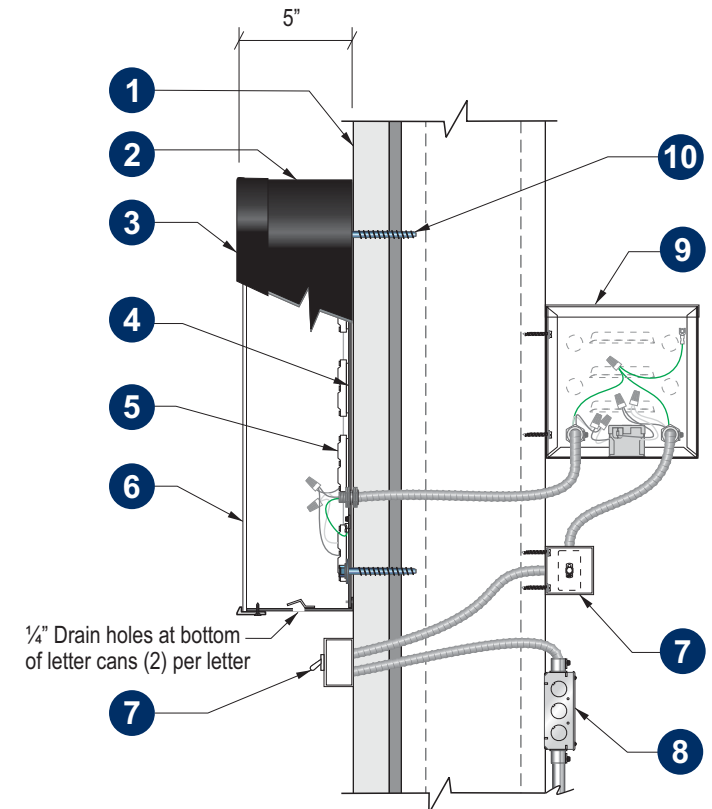
**Drop Shadow Detail**  
Scale: 1" = 1'-0"

Qualifier -David W. Jackson - ES-0000291  
1.800.213.3331

Electrical Detail:	
White LEDs	
(1) 60w Transformer	
Total Amps: 1.1	
(1) 20 amp 120V Circuit Req.	

General Notes:	
This sign is to be installed in accordance with the requirements of NEC-2020 Article 600.6(A)(2) & FBC-2023, 8th Edition of the National Electrical Code.	
1) Grounded and bonded per NEC 600.7/NEC 250	
2) Existing branch circuit in compliance with NEC 600.5, not to exceed 20 amps	
3) Sign is to be UL listed per NEC 600.3	
4) UL disconnect switch per NEC-2020 Article 600.6(A)(1) required per sign component before leaving manufacturer*	
*For multiple signs, a disconnect is permitted but not required for each section	

Specifications: Channel Letters	
1. Existing Facade: EIFS   CMU	
2. 0.040 Aluminum letter returns (pre-finished black)	
3. 1" Jewelite trimcap (pre-finished black) bonded to face and #8 pan head screws to returns	
4. 3mm Signabond Lite composite backs fastened to returns w/ 1/2" 18 gauge staples. Seal w/ VOC compliant 360 white latex caulk to prevent moisture penetration. (interior of sign can painted white for maximum illumination)	
5. White LEDs	
6. 3/8" White 7328 acrylic faces w/ first surface vinyl	
■ 3M 7725-12 Black	
□ 3M 3630-20 White	
7. Stand alone lockable disconnect switch UL Outdoor rated toggle type w/ neoprene boot per NEC-2020	
8. Primary electrical feed in UL conduit / customer supplied UL junction box	
9. Transformers within UL enclosure (removable lid), 1/4" x 1" min screws	
10. Mounting hardware: 3/8" Large Diameter Tapcons	



**Section @ LED Channel Letter**  
**Front-Lit (Remote)** Scale: N.T.S.



Client:	First Watch
Site #:	FW-A28376
Address:	12075 Southwest 152nd Street Miami, Florida, 33177

REVISION INFO	DATE	DESCRIPTION	BY
	06/14/2024	Updated Elevations pt.2 and upsized signs A and C	LB
	06/24/2024	Updated sign B and D	AB
	07/18/2024	Updated Facade & Mounting Hardware	KH
	07/23/2024	Added ENG	SS
	08/09/2024	Added Drop Shadow Detail	KH
	08/29/2024	updated disconnect switch	AB
	10/15/2024	updated awning measurements	AB

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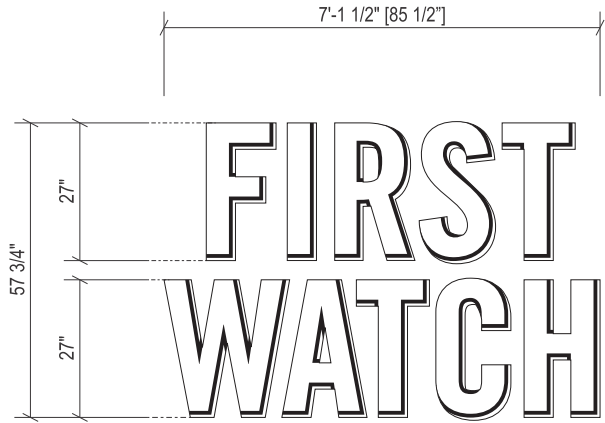
1.800.213.3331

ME #: 67563  
SIGN - A

<b>SIGN A</b>	27" First Watch [Stacked]
Type:	Individual Channel Letters
Illumination:	Internally Illuminated LED
Square Footage:	34.29
To Grade:	Top of Sign to Grade = 19'-7" Bottom of Sign to Grade = 14'-9 1/4"

<b>Electrical Detail:</b>
White LEDs (1) 60w Transformer Total Amps: 1.1 (1) 20 amp 120V Circuit Req.

<b>General Notes:</b>
This sign is to be installed in accordance with the requirements of NEC-2020 Article 600.6(A)(2) & FBC-2023, 8th Edition of the National Electrical Code.
1) Grounded and bonded per NEC 600.7/NEC 250 2) Existing branch circuit in compliance with NEC 600.5, not to exceed 20 amps 3) Sign is to be UL listed per NEC 600.3 4) UL disconnect switch per NEC-2020 Article 600.6(A)(1) required per sign component before leaving manufacturer* *For multiple signs, a disconnect is permitted but not required for each section

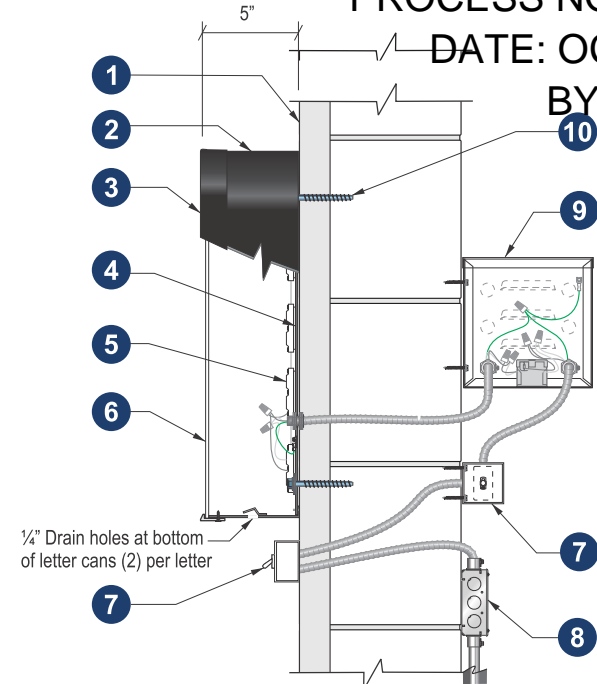


**Sign Layout Detail**  
Scale: 3/8" = 1'-0"

<b>Specifications: Channel Letters</b>
1. Existing Facade: EIFS   CMU 2. 0.040 Aluminum letter returns (pre-finished black) 3. 1" Jewelite trimcap (pre-finished black) bonded to face and #8 pan head screws to returns 4. 3mm Signabond Lite composite backs fastened to returns w/ 1/2" 18 gauge staples. Seal w/ VOC compliant 360 white latex caulk to prevent moisture penetration. (interior of sign can painted white for maximum illumination) 5. White LEDs 6. 3/8" White 7328 acrylic faces w/ first surface vinyl ■ 3M 7725-12 Black □ 3M 3630-20 White 7. Stand alone lockable disconnect switch UL Outdoor rated toggle type w/ neoprene boot per NEC-2020 8. Primary electrical feed in UL conduit / customer supplied UL junction box 9. Transformers within UL enclosure (removable lid), 1/4" x 1" min screws 10. Mounting hardware: See following sheet for connector options

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MIAMI-DADE COUNTY  
PROCESS NO.: Z24-230  
DATE: OCT 30 2024  
BY: GONGOL



**Section @ LED Channel Letter**  
Front-Lit (Remote) Scale: N.T.S.

ASCE 7-22, 180 mph Wind, Exposure C  
This design Complies with the High Velocity Hurricane Zone Code and with the 2023 FBC 8th Ed.

 183 Edgewater Ct Mocksville, NC 27028	Ph: (281) 813-7439 Email: sean@signstructures.com Web: www.signstructures.com
	Structural Sign Design & Engineering Services

<b>FIRST WATCH FW-A28376</b>  Address: 12075 SW 152ND ST City/State: MIAMI, FL  Client ANCHOR SIGN INC
---

ENGINEERING OF ATTACHMENT TO WALL ONLY. NO CABINET ENGINEERING OR EVALUATION OF AS BUILT WALL CONDITIONS PROVIDED OR IMPLIED.

DocuSigned by:  
*Sean M. McFarland*  
18DD4704DCE5406

**SEAN M. MCFARLAND**  
LICENSE No. 61049  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

This item has been electronically signed and sealed by Sean M. McFarland, P.E. using a Digital Signature and date. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Sean M. McFarland  
2024.07.19  
16:45:25 -04'00'  
2024.002.20895

<small>The electronic seal appearing on this document was authorized by Sean M. McFarland, PE on July 19, 2024</small>	
Date:	7-19-2024
Sheet #:	3 OF 6
NC Firm Registration: F-1136 Florida License Number: 61049 Florida License Expires: Feb. 28, 2025	



Client:	First Watch
Site #:	FW-A28376
Address:	12075 Southwest 152nd Street Miami, Florida, 33177

<b>REVISION INFO</b>	06/14/2024	Updated Elevations pt.2 and upsized signs A and C	LB
	06/24/2024	Updated sign B and D	AB
	07/18/2024	Updated Facade & Mounting Hardware	KH
	07/23/2024	Added ENG	SS
	08/09/2024	Added Drop Shadow Detail	KH
	08/29/2024	updated disconnect switch	AB
	10/15/2024	updated awning measurements	AB

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ME #: 67563

SIGN - A

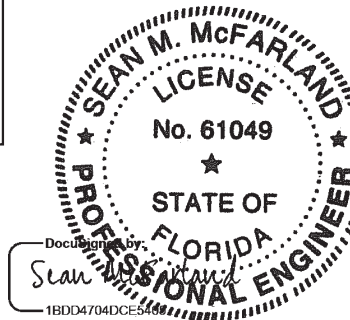
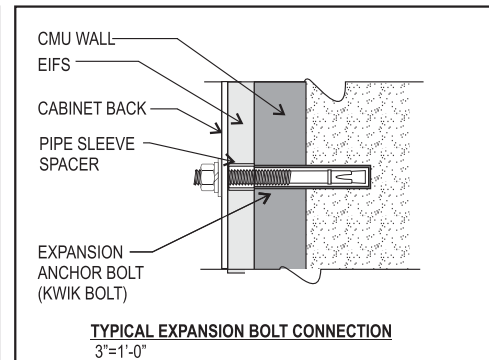
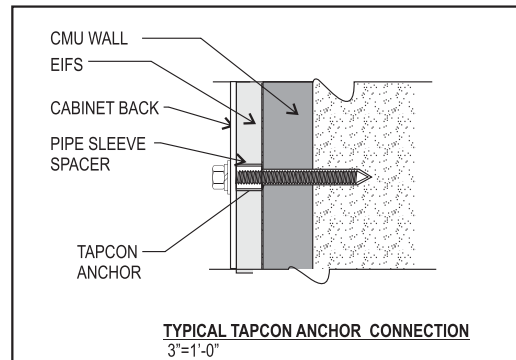
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MIAMI-DADE COUNTY  
 PROCESS NO.: Z24-230  
 DATE: OCT 30 2024  
 BY: GONGOL

**Connection Specifications: Sign - A**  
 Attach Channel Letters to Wall with Evenly Spaced Connectors. See Drawings for Complete Fabrication Specifications. Don't Overtighten Connectors.

CONNECTION QUANTITY	1	2
	3/8" TAPCONS	3/8" KWIK BOLTS
LETTERS (EA)	5	5

Embed Tapcons - 1 1/2" Min. into Solid Wall  
 Kwik Bolts - 1 1/2" Min. Embed. into Solid Wall  
 (or Hollow CMU w/ Screens)



Sean M.  
 McFarland  
 2024.07.19  
 16:45:40 -04'00'  
 2024.002.20895

ASCE 7-22, 180 mph Wind, Exposure C  
 This design Complies with the High Velocity  
 Hurricane Zone Code and with the 2023 FBC 8th Ed.

This item has been electronically signed and sealed by Sean M. McFarland, P.E. using a Digital Signature and date. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

183 Edgewater Ct  
 Mocksville, NC 27028

Structural Sign Design  
 &  
 Engineering Services

Ph: (281) 813-7439  
 Email: sean@signstructures.com  
 Web: www.signstructures.com

**FIRST WATCH FW-A28376**

Address: 12075 SW 152ND ST  
 City/State: MIAMI, FL  
 Client: ANCHOR SIGN INC

ENGINEERING OF  
 ATTACHMENT TO WALL ONLY.  
 NO CABINET ENGINEERING  
 OR EVALUATION OF AS  
 BUILT WALL CONDITIONS  
 PROVIDED OR IMPLIED.

Initial Drawing: (67563) DS

The electronic seal appearing on this document was authorized by Sean M. McFarland, PE on July 19, 2024

Date: 7-19-2024  
 Sheet #: 4 OF 6  
 NC Firm Registration: F-1136  
 Florida License Number: 61049  
 Florida License Expires: Feb. 28, 2025



Client: First Watch  
 Site #: FW-A28376  
 Address: 12075 Southwest 152nd Street  
 Miami, Florida, 33177

REVISION INFO	DATE	DESCRIPTION	BY
	06/14/2024	Updated Elevations pt.2 and upsized signs A and C	LB
	06/24/2024	Updated sign B and D	AB
	07/18/2024	Updated Facade & Mounting Hardware	KH
	07/23/2024	Added ENG	SS
	08/09/2024	Added Drop Shadow Detail	KH
	08/29/2024	updated disconnect switch	AB
	10/15/2024	updated awning measurements	AB

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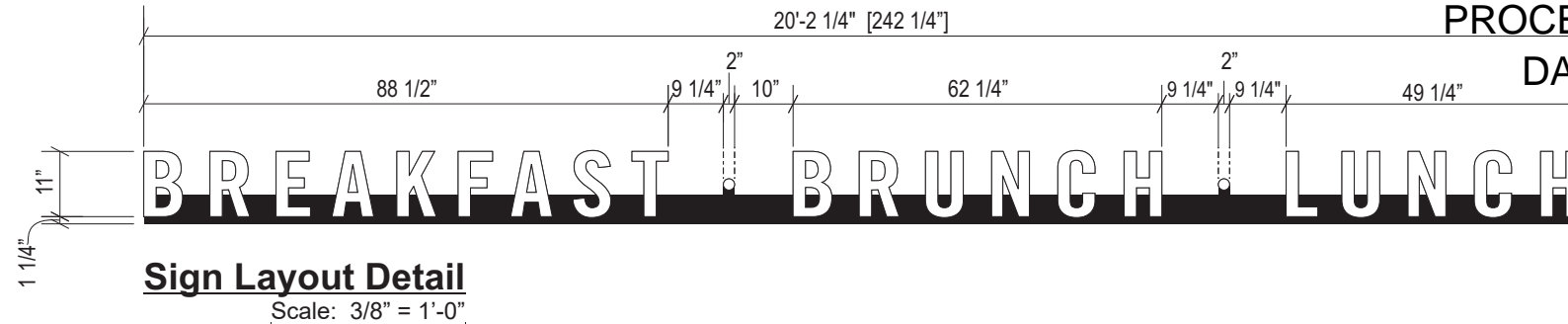
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MIAMI-DADE COUNTY  
PROCESS NO.: Z24-230

DATE: OCT 30 2024

BY: GONGOL

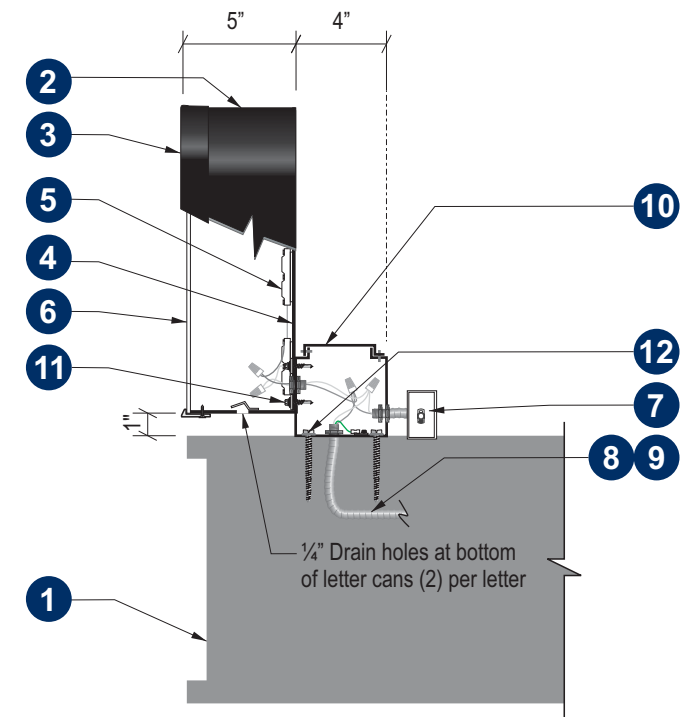
<b>SIGN B</b>	11" BBL
<b>Type:</b>	Channel Letters on Raceway
<b>Illumination:</b>	Internally Illuminated LED
<b>Square Footage:</b>	18.49
<b>To Grade:</b>	Top of Sign to Grade = 12'-5 1/4" Bottom of Sign to Grade = 11'-6 1/4"



Electrical Detail:	
White LEDs	
(1) 60w Transformer	
Total Amps: 1.1	
(1) 20 amp 120V Circuit Req.	

General Notes:	
This sign is to be installed in accordance with the requirements of Article 600 of the National Electrical Code.	
1) Grounded and bonded per NEC 600.7/NEC 250	
2) Existing branch circuit in compliance with NEC 600.5, not to exceed 20 amps	
3) Sign is to be UL listed per NEC 600.3	
4) UL disconnect switch per NEC 600.6- required per sign component before leaving manufacturer*	
*For multiple signs, a disconnect is permitted but not required for each section	

Specifications: Channel Letters on Canopy Mounted Raceway	
1. Existing Facade: Canopy	
2. .040 Aluminum returns pre-finished Black	
3. 1" Jewelite trimcap painted to match pre-finished Black bonded to face, #8 pan head screws to returns	
4. 3mm Signabond Lite composite backs, painted Black, fastened to returns w/ 1/2" 18 gauge staples. Seal w/ VOC compliant 360 white latex caulk to prevent moisture penetration. (interior of sign can painted white for maximum illumination)	
5. White LEDs	
6. 0.15" White lexan w/ first surface applied vinyl □ 3M 3630-20 White	
7. Stand alone lockable disconnect switch UL Outdoor rated toggle type w/ neoprene boot per NEC-2020	
8. Primary electrical feed in UL conduit / customer supplied UL junction box	
9. Transformers within UL enclosure (removable lid), 1/4" x 1" min screws	
10. 0.080" Aluminum raceway (4"x4") painted Black	
11. #12 x 1" TEC screws with 11/4" fender washers	
12. Mounting hardware: Screwed down to existing canopy	



**Section @ LED Channel Letter Raceway (Bottom)**  
Scale: N.T.S.



Client:	First Watch
Site #:	FW-A28376
Address:	12075 Southwest 152nd Street Miami, Florida, 33177

REVISION INFO	DATE	DESCRIPTION	BY
	06/14/2024	Updated Elevations pt.2 and upsized signs A and C	LB
	06/24/2024	Updated sign B and D	AB
	07/18/2024	Updated Facade & Mounting Hardware	KH
	07/23/2024	Added ENG	SS
	08/09/2024	Added Drop Shadow Detail	KH
	08/29/2024	updated disconnect switch	AB
	10/15/2024	updated awning measurements	AB

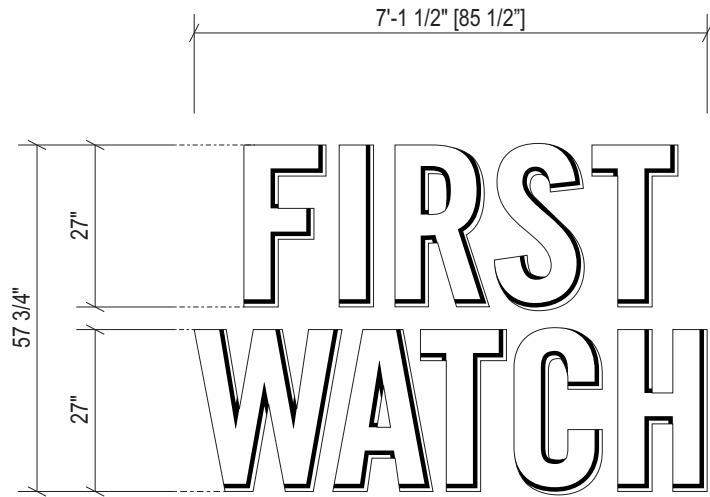
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1.800.213.3331

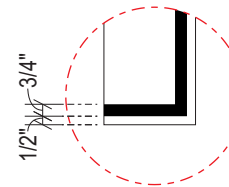
<b>SIGN C</b>	27" First Watch [Stacked]
<b>Type:</b>	Individual Channel Letters
<b>Illumination:</b>	Internally Illuminated LED
<b>Square Footage:</b>	34.29
<b>To Grade:</b>	Top of Sign to Grade = 19'-7" Bottom of Sign to Grade = 14'-9 1/4"

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MIAMI-DADE COUNTY  
PROCESS NO.: Z24-230  
DATE: OCT 30 2024  
BY: GONGOL



**Sign Layout Detail**  
Scale: 3/8" = 1'-0"



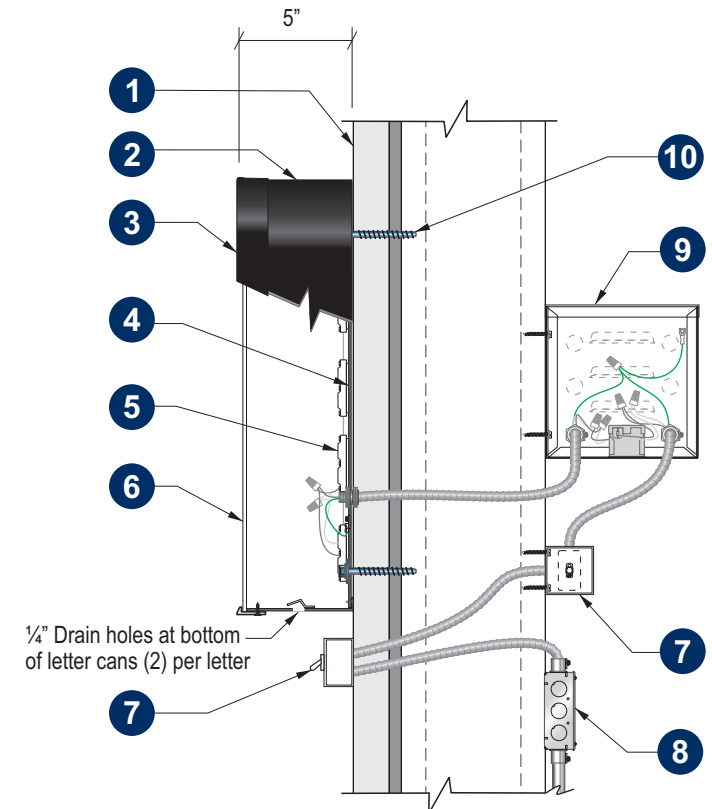
**Drop Shadow Detail**  
Scale: 1" = 1'-0"

Qualifier -David W. Jackson - ES-0000291  
1.800.213.3331

Electrical Detail:	
White LEDs	
(1) 60w Transformer	
Total Amps: 1.1	
(1) 20 amp 120V Circuit Req.	

General Notes:	
This sign is to be installed in accordance with the requirements of NEC-2020 Article 600.6(A)(2) & FBC-2023, 8th Edition of the National Electrical Code.	
1) Grounded and bonded per NEC 600.7/NEC 250	
2) Existing branch circuit in compliance with NEC 600.5, not to exceed 20 amps	
3) Sign is to be UL listed per NEC 600.3	
4) UL disconnect switch per NEC-2020 Article 600.6(A)(1) required per sign component before leaving manufacturer*	
*For multiple signs, a disconnect is permitted but not required for each section	

Specifications: Channel Letters	
1. Existing Facade: EIFS   CMU	
2. 0.040 Aluminum letter returns (pre-finished black)	
3. 1" Jewelite trimcap (pre-finished black) bonded to face and #8 pan head screws to returns	
4. 3mm Signabond Lite composite backs fastened to returns w/ 1/2" 18 gauge staples. Seal w/ VOC compliant 360 white latex caulk to prevent moisture penetration. (interior of sign can painted white for maximum illumination)	
5. White LEDs	
6. 3/8" White 7328 acrylic faces w/ first surface vinyl	
■ 3M 7725-12 Black	
□ 3M 3630-20 White	
7. Stand alone lockable disconnect switch UL Outdoor rated toggle type w/ neoprene boot per NEC-2020	
8. Primary electrical feed in UL conduit / customer supplied UL junction box	
9. Transformers within UL enclosure (removable lid), 1/4" x 1" min screws	
10. Mounting hardware: 3/8" Large Diameter Tapcons	



**Section @ LED Channel Letter**  
**Front-Lit (Remote)**  
Scale: N.T.S.



Client:	First Watch
Site #:	FW-A28376
Address:	12075 Southwest 152nd Street Miami, Florida, 33177

REVISION INFO	DATE	DESCRIPTION	BY
	06/14/2024	Updated Elevations pt.2 and upsized signs A and C	LB
	06/24/2024	Updated sign B and D	AB
	07/18/2024	Updated Facade & Mounting Hardware	KH
	07/23/2024	Added ENG	SS
	08/09/2024	Added Drop Shadow Detail	KH
	08/29/2024	updated disconnect switch	AB
	10/15/2024	updated awning measurements	AB

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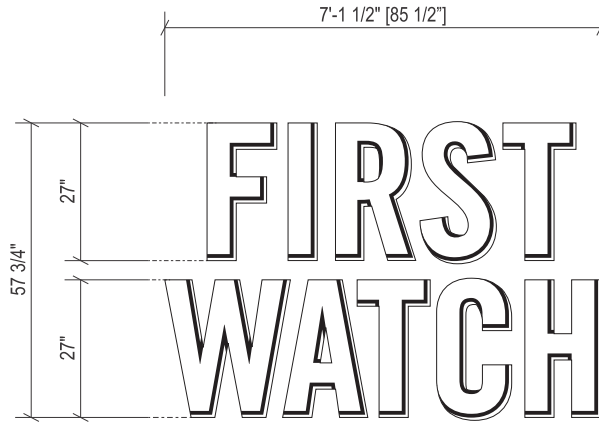
ME #: 67563

SIGN - C

<b>SIGN C</b>	27" First Watch [Stacked]
Type:	Individual Channel Letters
Illumination:	Internally Illuminated LED
Square Footage:	34.29
To Grade:	Top of Sign to Grade = 19'-7" Bottom of Sign to Grade = 14'-9 1/4"

Electrical Detail:	
White LEDs (1) 60w Transformer Total Amps: 1.1 (1) 20 amp 120V Circuit Req.	

General Notes:	
This sign is to be installed in accordance with the requirements of NEC-2020 Article 600.6(A)(2) & FBC-2023, 8th Edition of the National Electrical Code.	
1) Grounded and bonded per NEC 600.7/NEC 250	
2) Existing branch circuit in compliance with NEC 600.5, not to exceed 20 amps	
3) Sign is to be UL listed per NEC 600.3	
4) UL disconnect switch per NEC-2020 Article 600.6(A)(1) required per sign component before leaving manufacturer*	
*For multiple signs, a disconnect is permitted but not required for each section	



Sign Layout Detail

Scale: 3/8" = 1'-0"

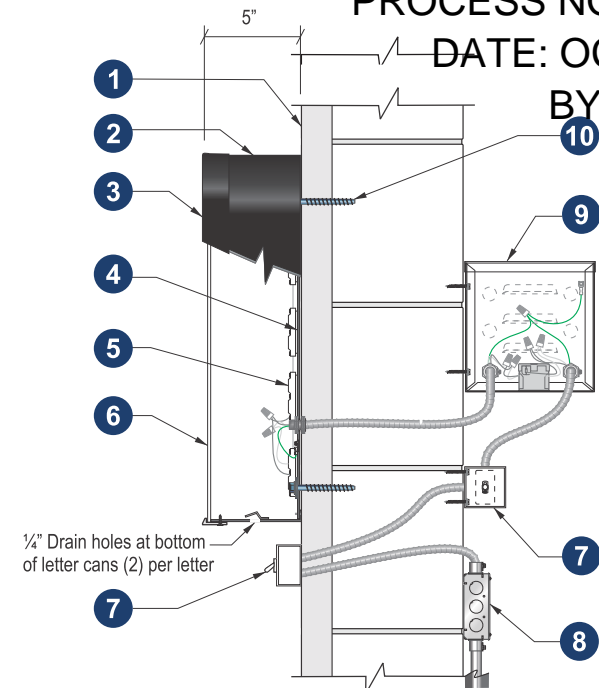
Specifications: Channel Letters	
1. Existing Facade: EIFS   CMU	
2. 0.040 Aluminum letter returns (pre-finished black)	
3. 1" Jewelite trimcap (pre-finished black) bonded to face and #8 pan head screws to returns	
4. 3mm Signabond Lite composite backs fastened to returns w/ 1/2" 18 gauge staples. Seal w/ VOC compliant 360 white latex caulk to prevent moisture penetration. (interior of sign can painted white for maximum illumination)	
5. White LEDs	
6. 3/8" White 7328 acrylic faces w/ first surface vinyl	
■ 3M 7725-12 Black	
□ 3M 3630-20 White	
7. Stand alone lockable disconnect switch UL Outdoor rated toggle type w/ neoprene boot per NEC-2020	
8. Primary electrical feed in UL conduit / customer supplied UL junction box	
9. Transformers within UL enclosure (removable lid), 1/4" x 1" min screws	
10. Mounting hardware: See following sheet for connector options	

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MIAMI-DADE COUNTY  
PROCESS NO.: Z24-230

DATE: OCT 30 2024

BY: GONGOL



Section @ LED Channel Letter  
Front-Lit (Remote) Scale: N.T.S.

ASCE 7-22, 180 mph Wind, Exposure C  
This design Complies with the High Velocity  
Hurricane Zone Code and with the 2023 FBC 8th Ed.

 183 Edgewater Ct Mocksville, NC 27028	Ph: (281) 813-7439
	Email: sean@signstructures.com Web: www.signstructures.com
Structural Sign Design & Engineering Services	

<b>FIRST WATCH FW-A28376</b>
Address: 12075 SW 152ND ST
City/State: MIAMI, FL
Client: ANCHOR SIGN INC

ENGINEERING OF  
ATTACHMENT TO WALL ONLY.  
NO CABINET ENGINEERING  
OR EVALUATION OF AS  
BUILT WALL CONDITIONS  
PROVIDED OR IMPLIED.

DocuSigned by:  
Sean M. McFarland, P.E.  
1BDD4704DC

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Sean M.  
McFarland  
2024.07.19  
16:45:58 -04'00"  
2024.002.20895

The electronic seal appearing on this document was authorized by Sean M. McFarland, PE on July 19, 2024	
Date:	7-19-2024
Sheet #:	5 OF 6
NC Firm Registration: F-1136	
Florida License Number: 61049	
Florida License Expires: Feb. 28, 2025	



Client:	First Watch
Site #:	FW-A28376
Address:	12075 Southwest 152nd Street Miami, Florida, 33177

REVISION INFO	DATE	DESCRIPTION	BY
	06/14/2024	Updated Elevations pt.2 and upsized signs A and C	LB
	06/24/2024	Updated sign B and D	AB
	07/18/2024	Updated Facade & Mounting Hardware	KH
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	08/29/2024	updated disconnect switch	AB
	10/15/2024	updated awning measurements	AB

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ME #: 67563

SIGN - C

# RECEIVED

MIAMI-DADE COUNTY  
PROCESS NO.: Z24-230

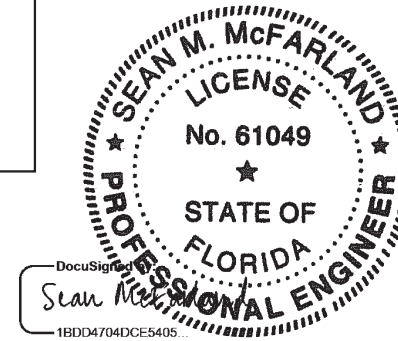
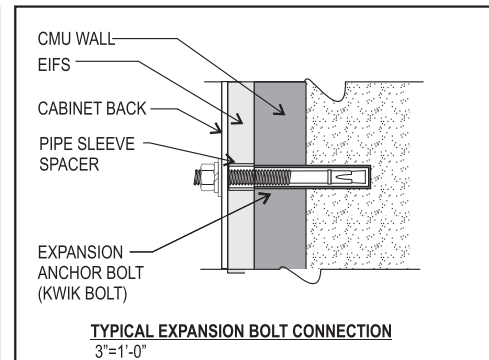
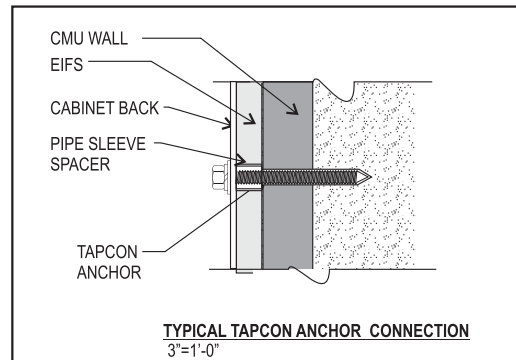
DATE: OCT 30 2024

BY: GONGOL

**Connection Specifications: Sign - C**  
Attach Channel Letters to Wall with Evenly Spaced Connectors. See Drawings for Complete Fabrication Specifications. Don't Overtighten Connectors.

CONNECTION QUANTITY	1	2
	3/8" TAPCONS	3/8" KWIK BOLTS
LETTERS (EA)	5	5

Embed Tapcons - 1 1/2" Min. into Solid Wall  
Kwik Bolts - 1 1/2" Min. Embed. into Solid Wall  
(or Hollow CMU w/ Screens)



This item has been electronically signed and sealed by Sean M. McFarland, P.E. using a Digital Signature and date. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Sean M.  
McFarland  
2024.07.19  
16:46:14 -04'00'  
2024.002.20895

ASCE 7-22, 180 mph Wind, Exposure C  
This design Complies with the High Velocity Hurricane Zone Code and with the 2023 FBC 8th Ed.

183 Edgewater Ct  
Mocksville, NC 27028

Structural Sign Design & Engineering Services

Ph: (281) 813-7439  
Email: sean@signstructures.com  
Web: www.signstructures.com

**FIRST WATCH FW-A28376**

Address: 12075 SW 152ND ST  
City/State: MIAMI, FL

Client ANCHOR SIGN INC

ENGINEERING OF ATTACHMENT TO WALL ONLY. NO CABINET ENGINEERING OR EVALUATION OF AS BUILT WALL CONDITIONS PROVIDED OR IMPLIED.

Initial Drawing: (67563) DS

The electronic seal appearing on this document was authorized by Sean M. McFarland, PE on July 19, 2024

Date: 7-19-2024

Sheet #: 6 OF 6

NC Firm Registration: F-1136  
Florida License Number: 61049  
Florida License Expires: Feb. 28, 2025



Client: First Watch  
Site #: FW-A28376  
Address: 12075 Southwest 152nd Street  
Miami, Florida, 33177

REVISION INFO	DATE	DESCRIPTION	BY
	06/14/2024	Updated Elevations pt.2 and upsized signs A and C	LB
	06/24/2024	Updated sign B and D	AB
	07/18/2024	Updated Facade & Mounting Hardware	KH
	07/23/2024	Added ENG	SS
	08/09/2024	Added Drop Shadow Detail	KH
	08/29/2024	updated disconnect switch	AB
	10/15/2024	updated awning measurements	AB

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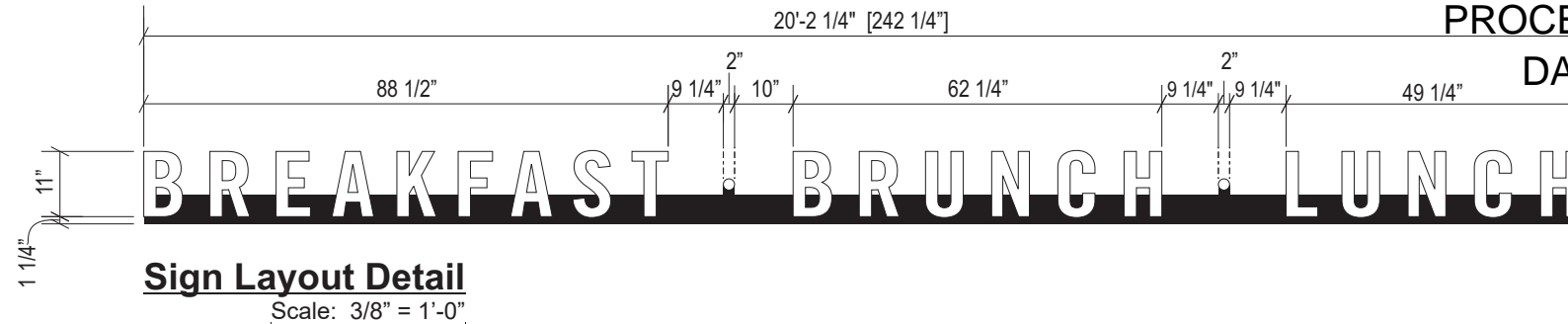
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MIAMI-DADE COUNTY  
PROCESS NO.: Z24-230

DATE: OCT 30 2024

BY: GONGOL

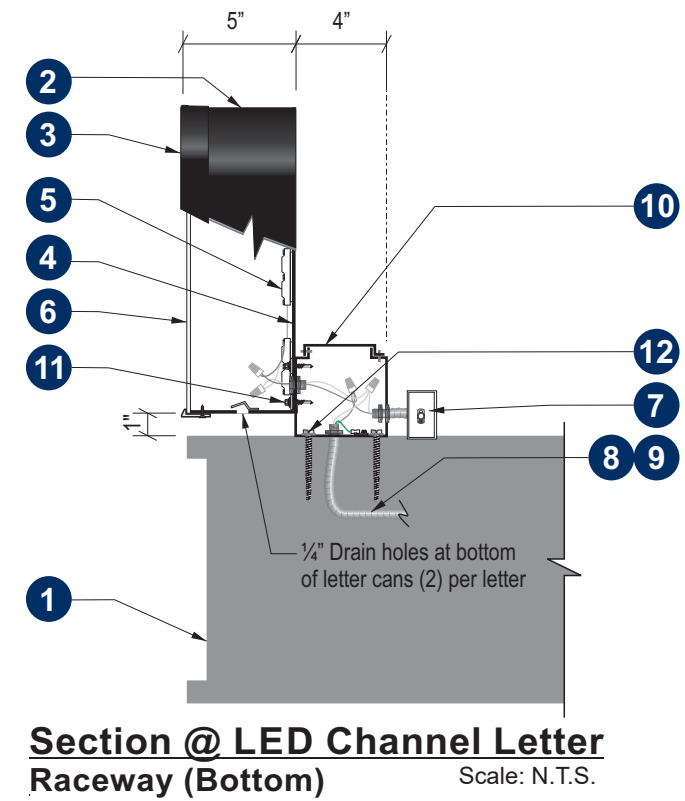
<b>SIGN D</b>	11" BBL
<b>Type:</b>	Channel Letters on Raceway
<b>Illumination:</b>	Internally Illuminated LED
<b>Square Footage:</b>	18.49
<b>To Grade:</b>	Top of Sign to Grade = 12'-3" Bottom of Sign to Grade = 11'-6"



Electrical Detail:	
White LEDs	
(1) 60w Transformer	
Total Amps: 1.1	
(1) 20 amp 120V Circuit Req.	

General Notes:	
This sign is to be installed in accordance with the requirements of Article 600 of the National Electrical Code.	
1) Grounded and bonded per NEC 600.7/NEC 250	
2) Existing branch circuit in compliance with NEC 600.5, not to exceed 20 amps	
3) Sign is to be UL listed per NEC 600.3	
4) UL disconnect switch per NEC 600.6- required per sign component before leaving manufacturer*	
*For multiple signs, a disconnect is permitted but not required for each section	

Specifications: Channel Letters on Canopy Mounted Raceway	
1. Existing Facade: Canopy	
2. .040 Aluminum returns pre-finished Black	
3. 1" Jewelite trimcap painted to match pre-finished Black bonded to face, #8 pan head screws to returns	
4. 3mm Signabond Lite composite backs, painted Black, fastened to returns w/ 1/2" 18 gauge staples. Seal w/ VOC compliant 360 white latex caulk to prevent moisture penetration. (interior of sign can painted white for maximum illumination)	
5. White LEDs	
6. 0.15" White lexan w/ first surface applied vinyl □ 3M 3630-20 White	
7. Disconnect switch UL Outdoor rated toggle type w/ neoprene boot per NEC 600-6	
8. Primary electrical feed in UL conduit / customer supplied UL junction box	
9. Transformers within UL enclosure (removable lid), 1/4" x 1" min screws	
10. 0.080" Aluminum raceway (4"x4") painted Black	
11. #12 x 1" TEC screws with 11/4" fender washers	
12. Mounting hardware: Screwed down to existing canopy	



Client:	First Watch
Site #:	FW-A28376
Address:	12075 Southwest 152nd Street Miami, Florida, 33177

REVISION INFO	DATE	DESCRIPTION	BY
	06/14/2024	Updated Elevations pt.2 and upsized signs A and C	LB
	06/24/2024	Updated sign B and D	AB
	07/18/2024	Updated Facade & Mounting Hardware	KH
	07/23/2024	Added ENG	SS
	08/09/2024	Added Drop Shadow Detail	KH
	08/29/2024	updated disconnect switch	AB
	10/15/2024	updated awning measurements	AB

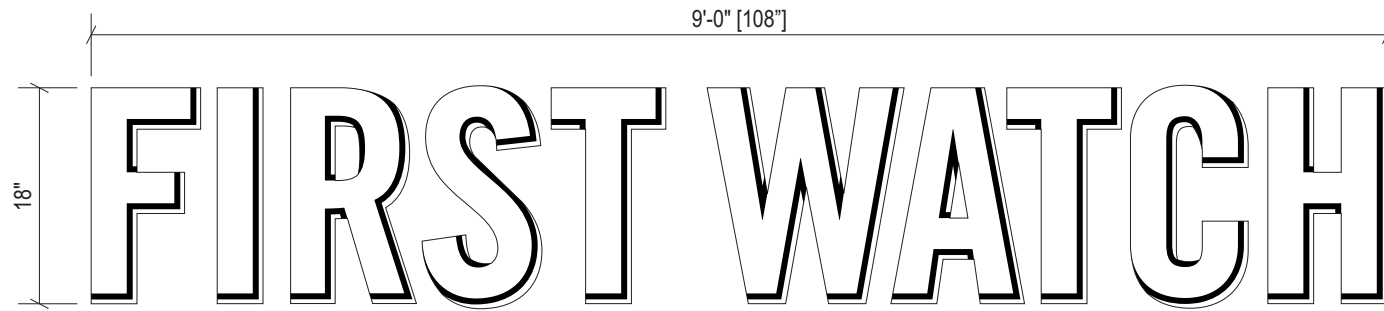
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<b>SIGN E</b>	18" First Watch
<b>Type:</b>	Individual Channel Letters
<b>Illumination:</b>	Internally Illuminated LED
<b>Square Footage:</b>	13.50
<b>To Grade:</b>	Top of Sign to Grade = 13'-7" Bottom of Sign to Grade = 12'-1"

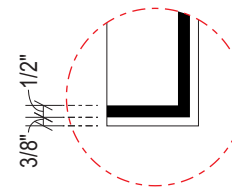
# RECEIVED

MIAMI-DADE COUNTY  
PROCESS NO.: Z24-230  
DATE: OCT 30 2024  
BY: GONGOL



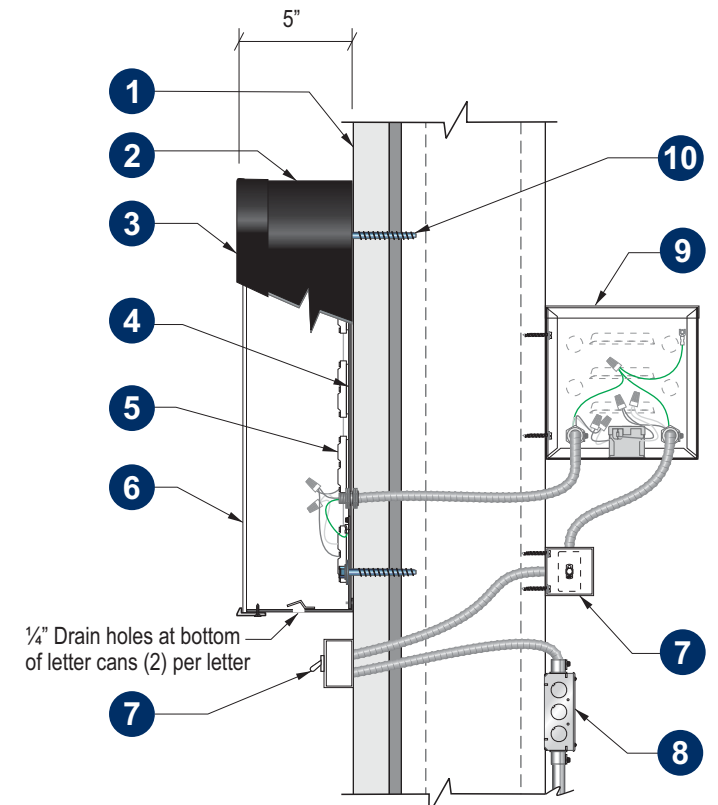
**Sign Layout Detail**

Scale: 3/4" = 1'-0"



**Drop Shadow Detail**

Scale: 1 1/2" = 1'-0"



**Section @ LED Channel Letter  
Front-Lit (Remote)**  
Scale: N.T.S.

Qualifier -David W. Jackson - ES-0000291

1.800.213.3331

Electrical Detail:	
White LEDs	
(1) 60w Transformer	
Total Amps: 1.1	
(1) 20 amp 120V Circuit Req.	

General Notes:	
This sign is to be installed in accordance with the requirements of NEC-2020 Article 600.6(A)(2) & FBC-2023, 8th Edition of the National Electrical Code.	
1) Grounded and bonded per NEC 600.7/NEC 250	
2) Existing branch circuit in compliance with NEC 600.5, not to exceed 20 amps	
3) Sign is to be UL listed per NEC 600.3	
4) UL disconnect switch per NEC-2020 Article 600.6(A)(1) required per sign component before leaving manufacturer*	
*For multiple signs, a disconnect is permitted but not required for each section	

Specifications: Channel Letters	
1. Existing Facade: EIFS   CMU	
2. 0.040 Aluminum letter returns (pre-finished black)	
3. 1" Jewelite trimcap (pre-finished black) bonded to face and #8 pan head screws to returns	
4. 3mm Signabond Lite composite backs fastened to returns w/ 1/2" 18 gauge staples. Seal w/ VOC compliant 360 white latex caulk to prevent moisture penetration. (interior of sign can painted white for maximum illumination)	
5. White LEDs	
6. 3/8" White 7328 acrylic faces w/ first surface vinyl	
■ 3M 7725-12 Black	
□ 3M 3630-20 White	
7. Stand alone lockable disconnect switch UL Outdoor rated toggle type w/ neoprene boot per NEC-2020	
8. Primary electrical feed in UL conduit / customer supplied UL junction box	
9. Transformers within UL enclosure (removable lid), 1/4" x 1" min screws	
10. Mounting hardware: 3/8" Large Diameter Tapcons	



Client:	First Watch
Site #:	FW-A28376
Address:	12075 Southwest 152nd Street Miami, Florida, 33177

REVISION INFO	DATE	DESCRIPTION	BY
	06/14/2024	Updated Elevations pt.2 and upsized signs A and C	LB
	06/24/2024	Updated sign B and D	AB
	07/18/2024	Updated Facade & Mounting Hardware	KH
	07/23/2024	Added ENG	SS
	08/09/2024	Added Drop Shadow Detail	KH
	08/29/2024	updated disconnect switch	AB
	10/15/2024	updated awning measurements	AB

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1.800.213.3331

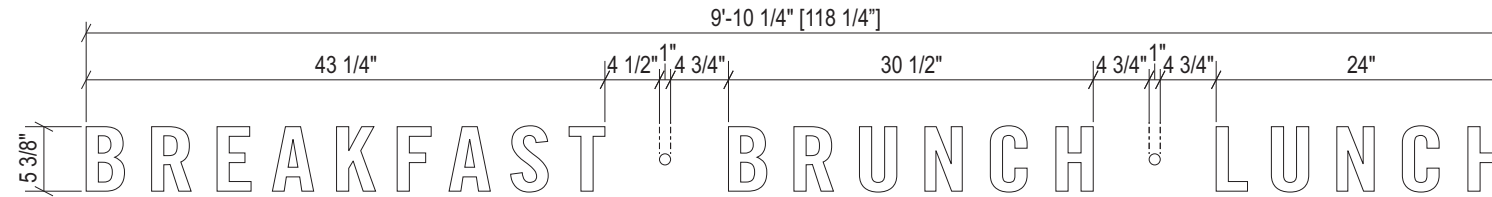
<b>SIGN F</b>	5 3/8" BBL
<b>Type:</b>	Individual Channel Letters
<b>Illumination:</b>	Internally Illuminated LED
<b>Square Footage:</b>	4.41
<b>To Grade:</b>	Top of Sign to Grade = 12'-6 1/2" Bottom of Sign to Grade = 12'-1"

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MIAMI-DADE COUNTY  
PROCESS NO.: Z24-230

DATE: OCT 30 2024

BY: GONGOL



### Sign Layout Detail

Scale: 3/4" = 1'-0"

Qualifier -David W. Jackson - ES-0000291

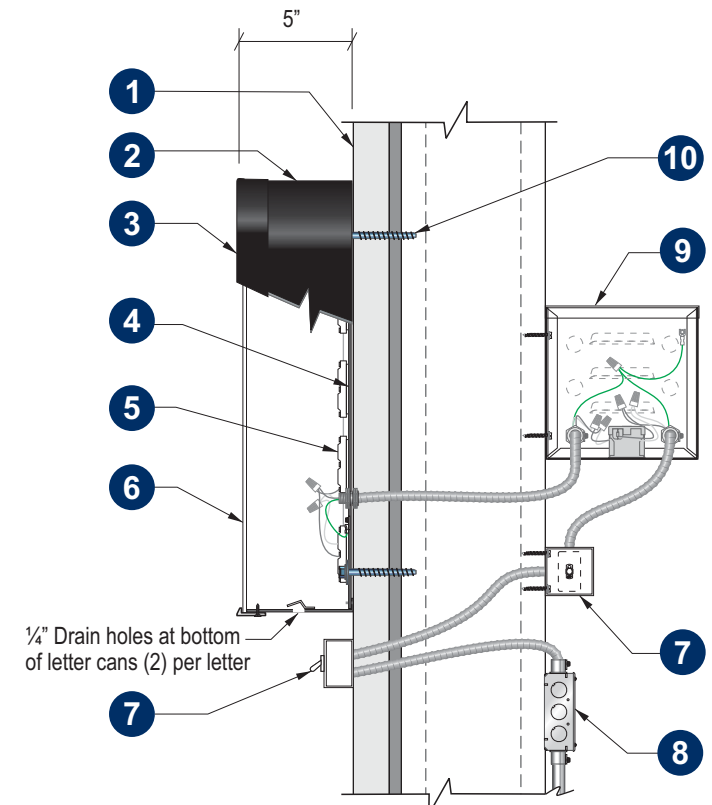
1.800.213.3331

Electrical Detail:	
White LEDs	
(1) 60w Transformer	
Total Amps: 1.1	
(1) 20 amp 120V Circuit Req.	



General Notes:	
This sign is to be installed in accordance with the requirements of NEC-2020 Article 600.6(A)(2) & FBC-2023, 8th Edition of the National Electrical Code.	
1) Grounded and bonded per NEC 600.7/NEC 250	
2) Existing branch circuit in compliance with NEC 600.5, not to exceed 20 amps	
3) Sign is to be UL listed per NEC 600.3	
4) UL disconnect switch per NEC-2020 Article 600.6(A)(1) required per sign component before leaving manufacturer*	
*For multiple signs, a disconnect is permitted but not required for each section	

Specifications: Channel Letters	
1. Existing Facade: EIFS   CMU	
2. 0.040 Aluminum letter returns (pre-finished black)	
3. 1" Jewelite trimcap (pre-finished black) bonded to face and #8 pan head screws to returns	
4. 3mm Signabond Lite composite backs fastened to returns w/ 1/2" 18 gauge staples. Seal w/ VOC compliant 360 white latex caulk to prevent moisture penetration. (interior of sign can painted white for maximum illumination)	
5. White LEDs	
6. 3/8" White 7328 acrylic faces w/ first surface vinyl	
■ 3M 7725-12 Black	
□ 3M 3630-20 White	
7. Stand alone lockable disconnect switch UL Outdoor rated toggle type w/ neoprene boot per NEC-2020	
8. Primary electrical feed in UL conduit / customer supplied UL junction box	
9. Transformers within UL enclosure (removable lid), 1/4" x 1" min screws	
10. Mounting hardware: 3/8" Large Diameter Tapcons	



**Section @ LED Channel Letter**  
**Front-Lit (Remote)** Scale: N.T.S.



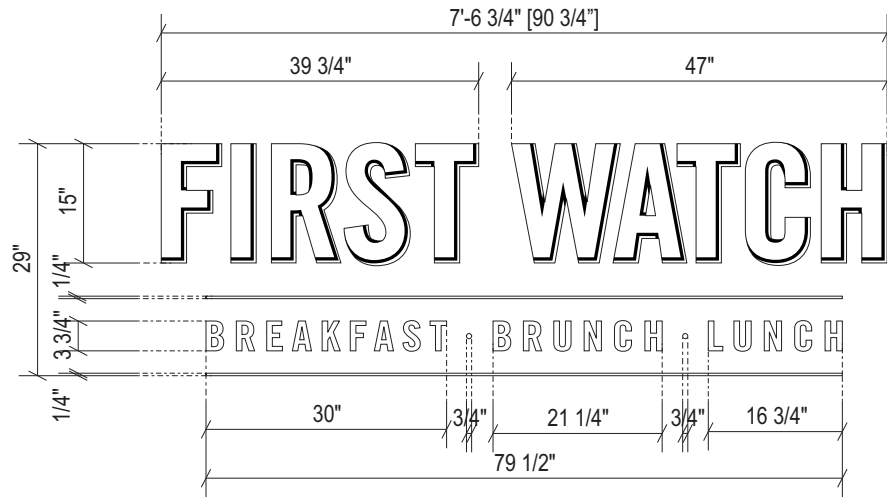
Client:	First Watch
Site #:	FW-A28376
Address:	12075 Southwest 152nd Street Miami, Florida, 33177

REVISION INFO	DATE	DESCRIPTION	BY
	06/14/2024	Updated Elevations pt.2 and upsized signs A and C	LB
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	07/18/2024	Updated Facade & Mounting Hardware	KH
	07/23/2024	Added ENG	SS
	08/09/2024	Added Drop Shadow Detail	KH
	08/29/2024	updated disconnect switch	AB
	10/15/2024	updated awning measurements	AB

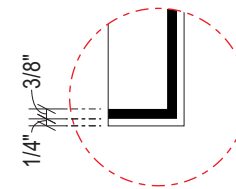
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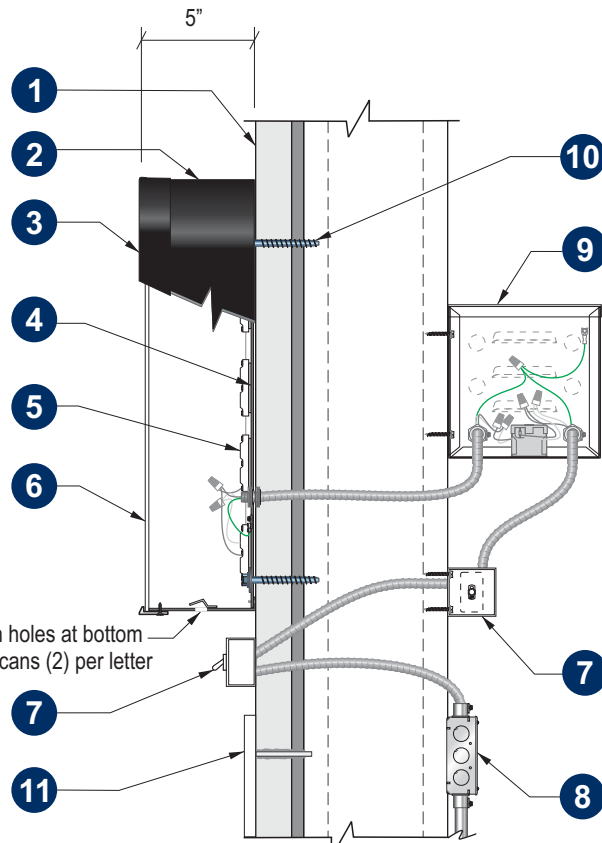
<b>SIGN G</b>	15" First Watch   3 3/4" BBL
<b>Type:</b>	Individual Channel Letters
<b>Illumination:</b>	Internally Illuminated LED
<b>Square Footage:</b>	18.27
<b>To Grade:</b>	Top of Sign to Grade = 14'-1 3/4" Bottom of Sign to Grade = 11'-9"



**Sign Layout Detail**  
Scale: 1/2" = 1'-0"



**Drop Shadow Detail**  
Scale: 1 1/2" = 1'-0"



**Section @ LED Channel Letter**  
**Front-Lit (Remote)**  
Scale: N.T.S.

Qualifier -David W. Jackson - ES-0000291

1.800.213.3331

<b>Electrical Detail:</b>
White LEDs
(1) 60w Transformer
Total Amps: 1.1
(1) 20 amp 120V Circuit Req.

<b>General Notes:</b>
This sign is to be installed in accordance with the requirements of NEC-2020 Article 600.6(A)(2) & FBC-2023, 8th Edition of the National Electrical Code.
1) Grounded and bonded per NEC 600.7/NEC 250
2) Existing branch circuit in compliance with NEC 600.5, not to exceed 20 amps
3) Sign is to be UL listed per NEC 600.3
4) UL disconnect switch per NEC-2020 Article 600.6(A)(1) required per sign component before leaving manufacturer*
*For multiple signs, a disconnect is permitted but not required for each section

<b>Specifications: Channel Letters w/ FCO Letters</b>
1. Existing Facade: EIFS   CMU
2. 0.040 Aluminum letter returns (pre-finished black)
3. 1" Jewelite trimcap (pre-finished black) bonded to face and #8 pan head screws to returns
4. 3mm Signabond Lite composite backs fastened to returns w/ 1/2" 18 gauge staples. Seal w/ VOC compliant 360 white latex caulk to prevent moisture penetration. (interior of sign can painted white for maximum illumination)
5. White LEDs
6. 3/8" White 7328 acrylic faces w/ first surface vinyl
■ 3M 7725-12 Black
□ 3M 3630-20 White
7. Stand alone lockable disconnect switch UL Outdoor rated toggle type w/ neoprene boot per NEC-2020
8. Primary electrical feed in UL conduit / customer supplied UL junction box
9. Transformers within UL enclosure (removable lid), 1/4" x 1" min screws
10. Mounting hardware: 3/8" Large Diameter Tapcons
11. 1/2" Routed acrylic letters painted to match White mounted w/ studs and silicone or VHB D/F tape and silicone - <b>BBL, Lines, &amp; Dots</b>



Client:	First Watch
Site #:	FW-A28376
Address:	12075 Southwest 152nd Street Miami, Florida, 33177

<b>REVISION INFO</b>	06/14/2024	Updated Elevations pt.2 and upsized signs A and C	LB
	06/24/2024	Updated sign B and D	AB
	07/18/2024	Updated Facade & Mounting Hardware	KH
	07/23/2024	Added ENG	SS
	08/09/2024	Added Drop Shadow Detail	KH
	08/29/2024	updated disconnect switch	AB
	10/15/2024	updated awning measurements	AB

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**AnchorSign**  
1.800.213.3331

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DATE: OCT 30 2024  
BY: GONGOL

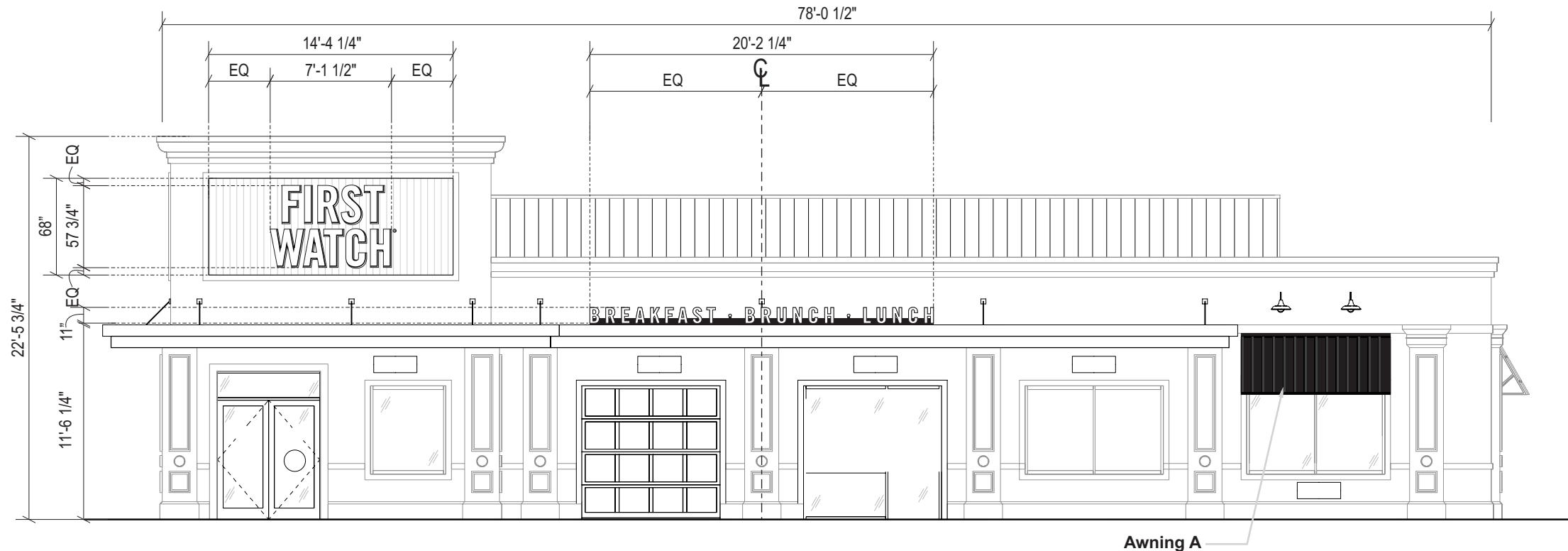
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MIAMI-DADE COUNTY  
 PROCESS NO.: Z24-230  
 DATE: OCT 30 2024  
 BY: GONGOL

<b>SIGN A</b>	27" First Watch [Stacked]
Type:	Individual Channel Letters
Illumination:	Internally Illuminated LED
Square Footage:	34.29
To Grade:	Top of Sign to Grade = 19'-7" Bottom of Sign to Grade = 14'-9 1/4"

<b>SIGN B</b>	11" BBL
Type:	Channel Letters on Raceway
Illumination:	Internally Illuminated LED
Square Footage:	18.49
To Grade:	Top of Sign to Grade = 12'-5 1/4" Bottom of Sign to Grade = 11'-6 1/4"

<b>AWNINGS A</b>	Metal Awning
Type:	43" Standing Seam Awnings
Illumination:	Non-Illuminated
To Grade:	Bottom of Awning to Grade = 7'-4"



**Front Elevation (South)**  
 Scale: 1/8" = 1'-0"

Allowable Square Footage this Elevation:	100
Formula: 10% of wall	
Actual Square Footage this Elevation:	52.78

Qualifier -David W. Jackson - ES-0000291  
 1.800.213.3331

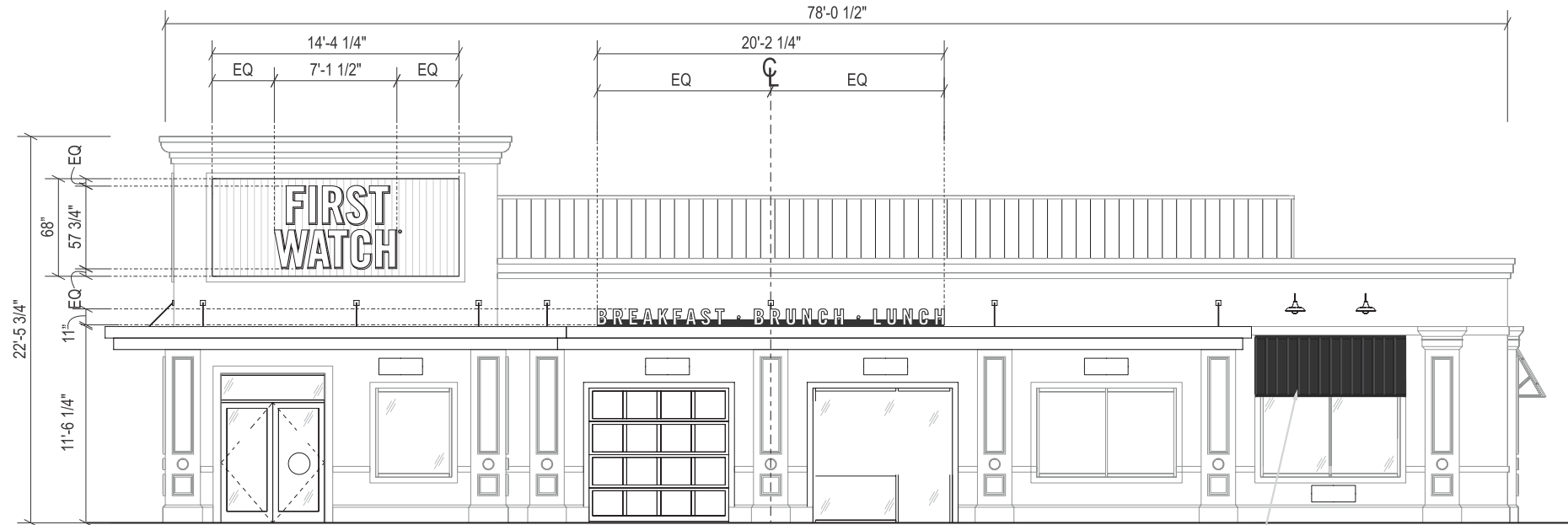
	Client:	First Watch	<b>REVISION INFO</b>	06/14/2024	Updated Elevations pt.2 and upsized signs A and C	LB	This rendering is the property of Anchor Sign, Inc. It is for the exclusive use of Anchor Sign, Inc. and the party which requested the rendering. It is an unpublished original drawing not to be distributed, reproduced or exhibited without the consent of Anchor Sign, Inc. Please contact your account manager with questions regarding this statement.
	Site #:	FW-A28376		06/24/2024	Updated sign B and D	AB	
	Address:	12075 Southwest 152nd Street		07/18/2024	Updated Facade & Mounting Hardware	KH	
		Miami, Florida, 33177		07/23/2024	Added ENG	SS	
				08/09/2024	Added Drop Shadow Detail	KH	
		08/29/2024	updated disconnect switch	AB			
		10/15/2024	updated awning measurements	AB			

1.800.213.3331

<b>ME #:</b> 67563	<b>SIGN A</b>	27" First Watch [Stacked]
<b>SIGN - A</b>	<b>Type:</b>	Individual Channel Letters
	<b>Illumination:</b>	Internally Illuminated LED
	<b>Square Footage:</b>	34.29
	<b>To Grade:</b>	Top of Sign to Grade = 19'-7" Bottom of Sign to Grade = 14'-9 1/4"

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 PROCESS NO.: Z24-230  
 DATE: OCT 30 2024  
 BY: GONGOL



**Front Elevation (South)**  
 Scale: 1/8" = 1'-0"

Allowable Square Footage this Elevation:	100
Formula:	10% of wall
Actual Square Footage this Elevation:	52.78

ASCE 7-22, 180 mph Wind, Exposure C  
 This design Complies with the High Velocity  
 Hurricane Zone Code and with the 2023 FBC 8th Ed.

183 Edgewater Ct  
 Mocksville, NC 27028

Structural Sign Design  
 &  
 Engineering Services

Ph: (281) 813-7439  
 Email: sean@signstructures.com  
 Web: www.signstructures.com

**FIRST WATCH FW-A28376**

Address: 12075 SW 152ND ST  
 City/State: MIAMI, FL

Client: ANCHOR SIGN INC

ENGINEERING OF  
 ATTACHMENT TO WALL ONLY.  
 NO CABINET ENGINEERING  
 OR EVALUATION OF AS  
 BUILT WALL CONDITIONS  
 PROVIDED OR IMPLIED.

Doors Signed by:  
 Sean M. McFarland  
 1BDD4704DCE5468

This item has been electronically signed and sealed by Sean M. McFarland, P.E. using a Digital Signature and date. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Sean M.  
 McFarland  
 2024.07.19  
 16:44:53 -04'00'  
 2024.002.20895

The electronic seal appearing on this document was authorized by Sean M. McFarland, PE on July 19, 2024

Date:	7-19-2024
Sheet #:	1 OF 6
NC Firm Registration:	F-1136
Florida License Number:	61049
Florida License Expires:	Feb. 28, 2025



Client: First Watch  
 Site #: FW-A28376  
 Address: 12075 Southwest 152nd Street  
 Miami, Florida, 33177

REVISION INFO	DATE	DESCRIPTION	BY
	06/14/2024	Updated Elevations pt.2 and upsized signs A and C	LB
	06/24/2024	Updated sign B and D	AB
	07/18/2024	Updated Facade & Mounting Hardware	KH
	07/23/2024	Added ENG	SS
	08/09/2024	Added Drop Shadow Detail	KH
	08/29/2024	updated disconnect switch	AB
	10/15/2024	updated awning measurements	AB

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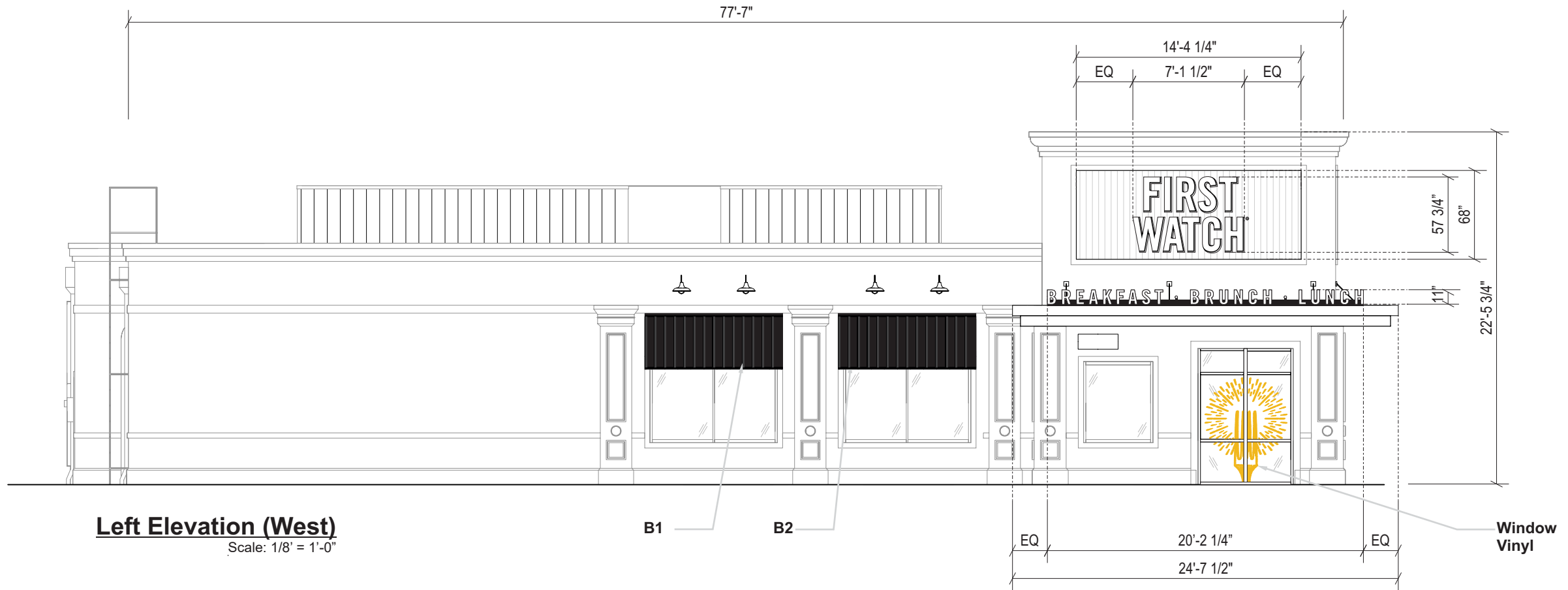
DATE: OCT 30 2024

BY: GONGOL

<b>SIGN C</b>	27" First Watch [Stacked]
Type:	Individual Channel Letters
Illumination:	Internally Illuminated LED
Square Footage:	34.29
To Grade:	Top of Sign to Grade = 19'-7" Bottom of Sign to Grade = 14'-9 1/4"

<b>SIGN D</b>	11" BBL
Type:	Channel Letters on Raceway
Illumination:	Internally Illuminated LED
Square Footage:	18.49
To Grade:	Top of Sign to Grade = 12'-3" Bottom of Sign to Grade = 11'-6"

<b>AWNINGS B</b>	Metal Awning
Type:	43" Standing Seam Awnings
Illumination:	Non-Illuminated
To Grade:	Bottom of Awning to Grade = 7'-4"



**Left Elevation (West)**  
Scale: 1/8" = 1'-0"

Allowable Square Footage this Elevation:	100
Formula: 10% of wall	
Actual Square Footage this Elevation:	52.78

Qualifier -David W. Jackson - ES-0000291  
1.800.213.3331

	Client:	First Watch	<b>REVISION INFO</b>	06/14/2024	Updated Elevations pt.2 and upsized signs A and C	LB	This rendering is the property of Anchor Sign, Inc. It is for the exclusive use of Anchor Sign, Inc. and the party which requested the rendering. It is an unpublished original drawing not to be distributed, reproduced or exhibited without the consent of Anchor Sign, Inc. Please contact your account manager with questions regarding this statement.
	Site #:	FW-A28376		06/24/2024	Updated sign B and D	AB	
	Address:	12075 Southwest 152nd Street		07/18/2024	Updated Facade & Mounting Hardware	KH	
		Miami, Florida, 33177		07/23/2024	Added ENG	SS	
		08/09/2024	Added Drop Shadow Detail	KH			
		08/29/2024	updated disconnect switch	AB			
		10/15/2024	updated awning measurements	AB			

1.800.213.3331

ME #: 67563

**SIGN C**

27" First Watch [Stacked]

SIGN - C

Type: Individual Channel Letters

Illumination: Internally Illuminated LED

Square Footage: 34.29

To Grade: Top of Sign to Grade = 19'-7"

Bottom of Sign to Grade = 14'-9 1/4"

Allowable Square Footage this Elevation: 100

Formula: 10% of wall

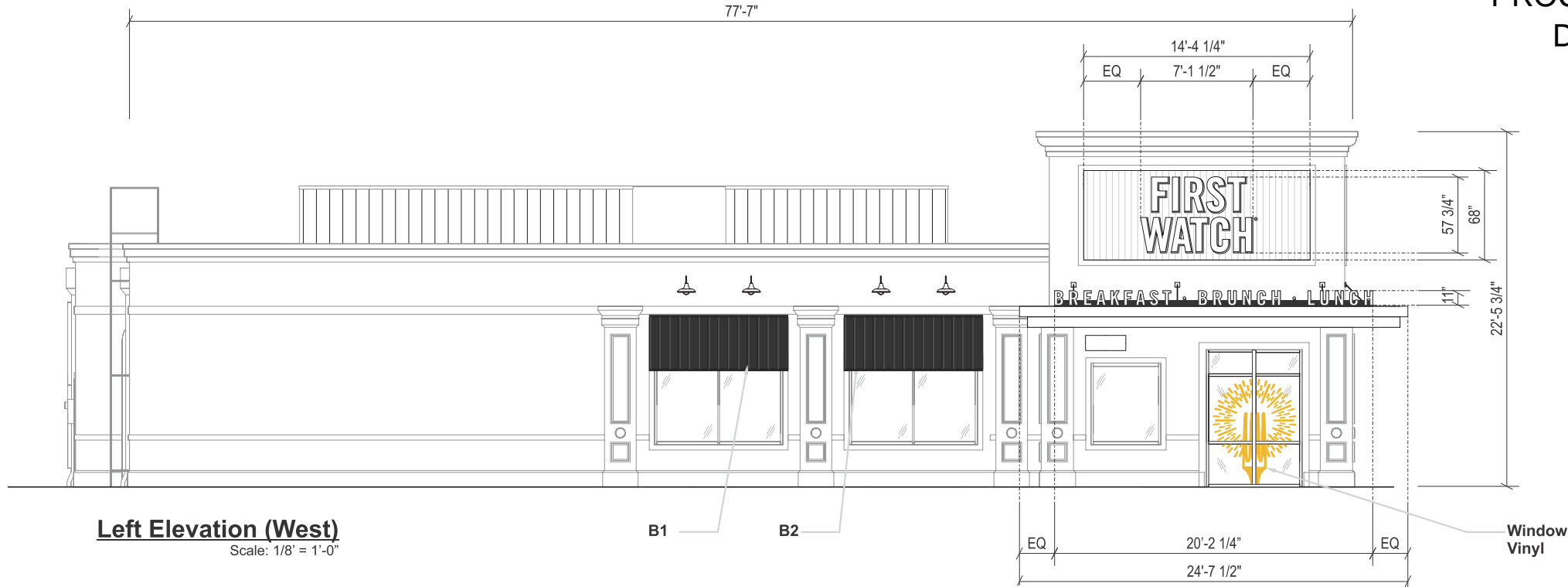
Actual Square Footage this Elevation: 52.78

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MIAMI-DADE COUNTY  
PROCESS NO.: Z24-230

DATE: OCT 30 2024

BY: GONGOL



**Left Elevation (West)**

Scale: 1/8" = 1'-0"

ASCE 7-22, 180 mph Wind, Exposure C  
This design Complies with the High Velocity  
Hurricane Zone Code and with the 2023 FBC 8th Ed.

183 Edgewater Ct  
Mocksville, NC 27028

Structural Sign Design  
&  
Engineering Services

Ph: (281) 813-7439  
Email: sean@signstructures.com  
Web: www.signstructures.com

**FIRST WATCH FW-A28376**

Address: 12075 SW 152ND ST  
City/State: MIAMI, FL

Client ANCHOR SIGN INC

ENGINEERING OF  
ATTACHMENT TO WALL ONLY.  
NO CABINET ENGINEERING  
OR EVALUATION OF AS  
BUILT WALL CONDITIONS  
PROVIDED OR IMPLIED.

DocuSigned by:  
Sean M. McFarland

18DD4704DCE540E

This item has been electronically signed and sealed by Sean M. McFarland, P.E. using a Digital Signature and date. Printed copies of the document are not considered signed and sealed and the signature must be verified on any electronic copies.

Sean M.  
McFarland  
2024.07.19  
16:45:07 -04'00"  
2024.002.20895

The electronic seal appearing on this document was authorized by Sean M. McFarland, PE on July 19, 2024	
Date:	7-19-2024
Sheet #:	2 OF 6
NC Firm Registration:	F-1136
Florida License Number:	61049
Florida License Expires:	Feb. 28, 2025



Client: First Watch  
Site #: FW-A28376  
Address: 12075 Southwest 152nd Street  
Miami, Florida, 33177

REVISION INFO	DATE	DESCRIPTION	BY
	06/14/2024	Updated Elevations pt.2 and upsized signs A and C	LB
	06/24/2024	Updated sign B and D	AB
	07/18/2024	Updated Facade & Mounting Hardware	KH
	07/23/2024	Added ENG	SS
	08/09/2024	Added Drop Shadow Detail	KH
	08/29/2024	updated disconnect switch	AB
	10/15/2024	updated awning measurements	AB

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# RECEIVED

MIAMI-DADE COUNTY  
PROCESS NO.: Z24-230

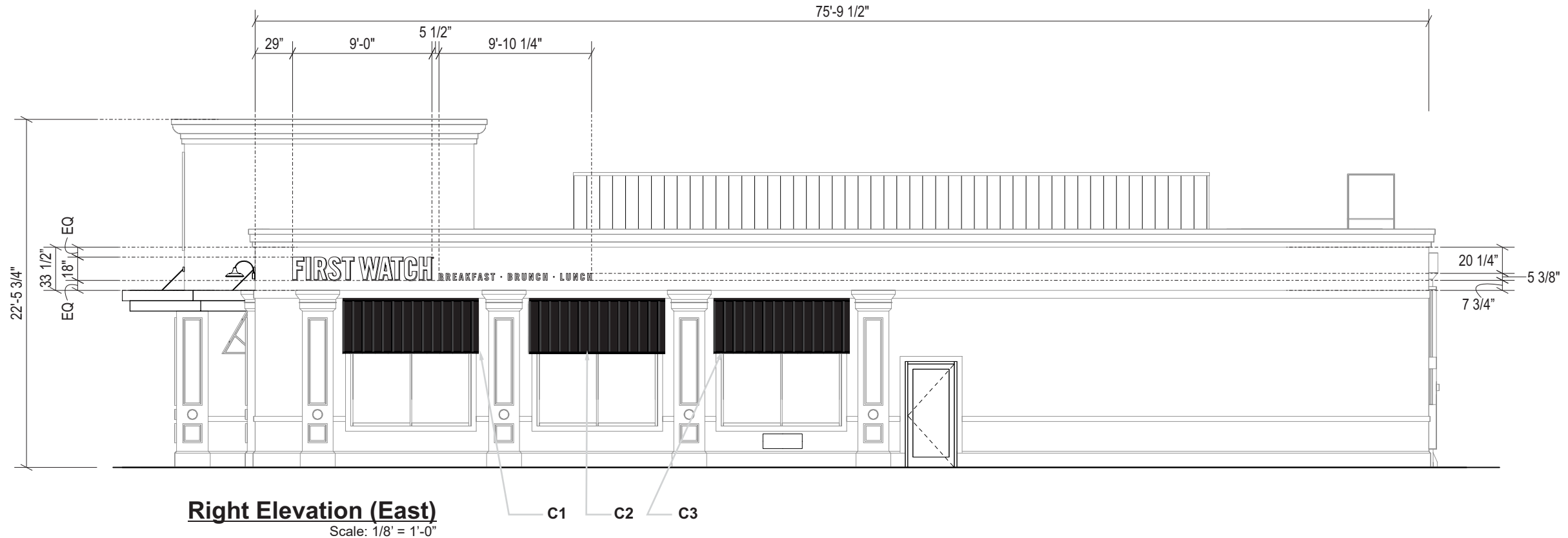
DATE: OCT 30 2024

BY: GONGOL

<b>SIGN E</b>	18" First Watch
<b>Type:</b>	Individual Channel Letters
<b>Illumination:</b>	Internally Illuminated LED
<b>Square Footage:</b>	13.50
<b>To Grade:</b>	Top of Sign to Grade = 13'-7" Bottom of Sign to Grade = 12'-1"

<b>SIGN F</b>	5 3/8" BBL
<b>Type:</b>	Individual Channel Letters
<b>Illumination:</b>	Internally Illuminated LED
<b>Square Footage:</b>	4.41
<b>To Grade:</b>	Top of Sign to Grade = 12'-6 1/2" Bottom of Sign to Grade = 12'-1"

<b>AWNINGS C</b>	Metal Awning
<b>Type:</b>	43" Standing Seam Awnings
<b>Illumination:</b>	Non-Illuminated
<b>To Grade:</b>	Bottom of Awning to Grade = 7'-4"



Qualifier -David W. Jackson - ES-0000291

1.800.213.3331

Allowable Square Footage this Elevation:	100
Formula: 10% of wall	
Actual Square Footage this Elevation:	17.91

<b>FIRST WATCH</b>	Client: First Watch
	Site #: FW-A28376
	Address: 12075 Southwest 152nd Street
	Miami, Florida, 33177

<b>REVISION INFO</b>	06/14/2024	Updated Elevations pt.2 and upsized signs A and C	LB
	06/24/2024	Updated sign B and D	AB
	07/18/2024	Updated Facade & Mounting Hardware	KH
	07/23/2024	Added ENG	SS
	08/09/2024	Added Drop Shadow Detail	KH
	08/29/2024	updated disconnect switch	AB
	10/15/2024	updated awning measurements	AB

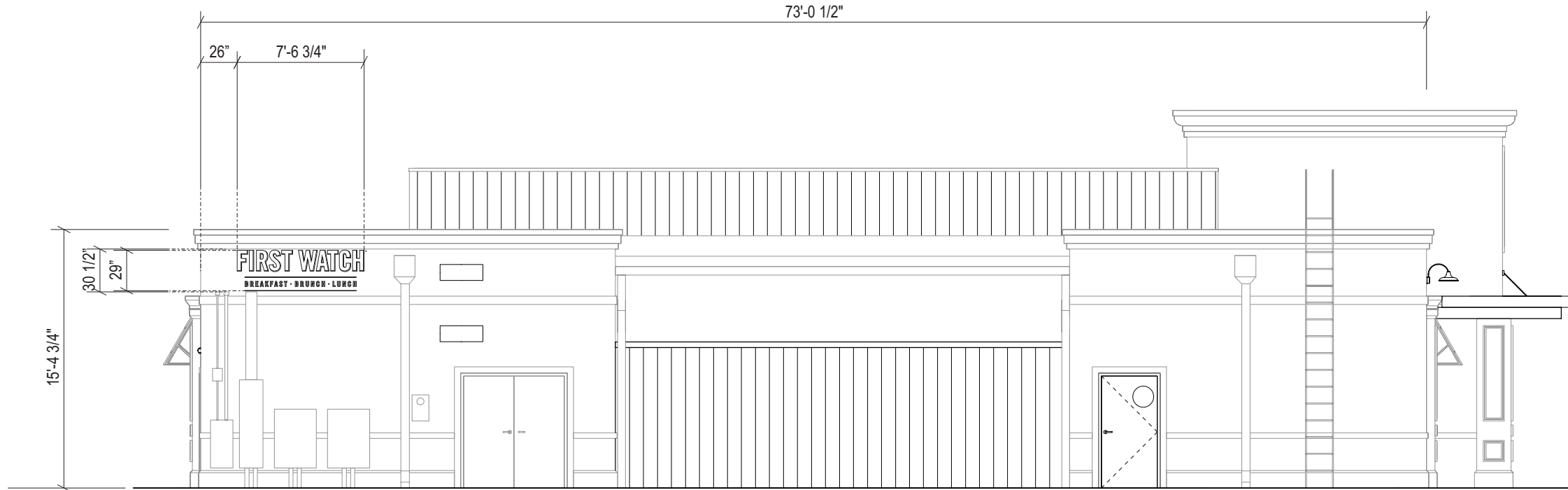
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**AnchorSign**  
1.800.213.3331

<b>SIGN G</b>	15" First Watch   3 3/4" BBL
<b>Type:</b>	Individual Channel Letters
<b>Illumination:</b>	Internally Illuminated LED
<b>Square Footage:</b>	18.27
<b>To Grade:</b>	Top of Sign to Grade = 14'-1 3/4" Bottom of Sign to Grade = 11'-9"

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MIAMI-DADE COUNTY  
 PROCESS NO.: Z24-230  
 DATE: OCT 30 2024  
 BY: GONGOL



**Rear Elevation (North)**  
 Scale: 1/8" = 1'-0"

Qualifier -David W. Jackson - ES-0000291  
 1.800.213.3331

Allowable Square Footage this Elevation:	80.0
Formula: 10% of wall	
Actual Square Footage this Elevation:	18.27

	Client: First Watch	<b>REVISION INFO</b>	06/14/2024	Updated Elevations pt.2 and upsized signs A and C	LB	This rendering is the property of Anchor Sign, Inc. It is for the exclusive use of Anchor Sign, Inc. and the party which requested the rendering. It is an unpublished original drawing not to be distributed, reproduced or exhibited without the consent of Anchor Sign, Inc. Please contact your account manager with questions regarding this statement.
	Site #: FW-A28376		06/24/2024	Updated sign B and D	AB	
	Address: 12075 Southwest 152nd Street		07/18/2024	Updated Facade & Mounting Hardware	KH	
	Miami, Florida, 33177		07/23/2024	Added ENG	SS	
			08/09/2024	Added Drop Shadow Detail	KH	
			08/29/2024	updated disconnect switch	AB	
	10/15/2024	updated awning measurements	AB			



**DISCLOSURE OF INTEREST\***

If a **CORPORATION** owns or leases the subject property, list principal stockholders and percent of stock owned by each. [Note: Where principal officers or stockholders consist of other corporation(s), trust(s), partnership(s) or similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

CORPORATION NAME: Coral Martes LLC

<u>NAME AND ADDRESS</u>	<u>Percentage of Stock</u>
<u>Fereus Corp., 200 S. Biscayne Blvd, Miami, FL 33131 (100% member)</u>	<u>100% Membership</u>
<u>Ralph Hermann, Florence, Italy (ultimate beneficial ownership)</u>	<u>50%</u>
<u>Vivian Strosek, Hamburg, Germany (ultimate beneficial ownership)</u>	<u>50%</u>
<u> </u>	<u> </u>
<u> </u>	<u> </u>
<u> </u>	<u> </u>

If a **TRUST or ESTATE** owns or leases the subject property, list the trust beneficiaries and percent of interest held by each. [Note: Where beneficiaries are other than natural persons, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

TRUST/ESTATE NAME: \_\_\_\_\_

<u>NAME AND ADDRESS</u>	<u>Percentage of Interest</u>
<u> </u>	<u> </u>
<u> </u>	<u> </u>
<u> </u>	<u> </u>
<u> </u>	<u> </u>
<u> </u>	<u> </u>

If a **PARTNERSHIP** owns or leases the subject property, list the principals including general and limited partners. [Note: Where partner(s) consist of other partnership(s), corporation(s), trust(s) or similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interests].

PARTNERSHIP OR LIMITED PARTNERSHIP NAME: \_\_\_\_\_

<u>NAME AND ADDRESS</u>	<u>Percent of Ownership</u>
<u> </u>	<u> </u>
<u> </u>	<u> </u>
<u> </u>	<u> </u>
<u> </u>	<u> </u>
<u> </u>	<u> </u>

If there is a **CONTRACT FOR PURCHASE** by a Corporation, Trust or Partnership, list purchasers below, including principal officers, stockholders, beneficiaries or partners. [Note: Where principal officers, stockholders, beneficiaries or partners consist of other corporations, trusts, partnerships or similar entities, further disclosure shall be made to identify natural persons having ultimate ownership interests].

NAME OF PURCHASER: \_\_\_\_\_

NAME, ADDRESS AND OFFICE (if applicable) Percentage of Interest

<u>NAME, ADDRESS AND OFFICE (if applicable)</u>	<u>Percentage of Interest</u>
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

Date of contract: \_\_\_\_\_

If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership or trust:

\_\_\_\_\_

\_\_\_\_\_

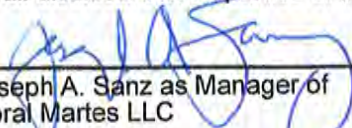
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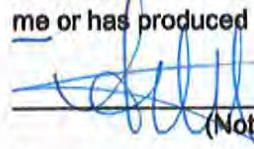
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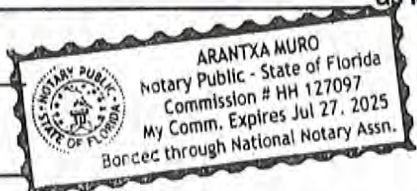
**NOTICE:** For changes of ownership or changes in purchase contracts after the date of the application, but prior to the date of final public hearing, a supplemental disclosure of interest is required.

The above is a full disclosure of all parties of interest in this application to the best of my knowledge and belief.

Signature:   
Joseph A. Sanz as Manager of Coral Martes LLC (Applicant)

Sworn to and subscribed before me this 24 day of JUNE, 2024. Affiant is personally known to me or has produced \_\_\_\_\_ as identification.

  
(Notary Public)



My commission expires \_\_\_\_\_

\*Disclosure shall not be required of: 1) any entity, the equity interests in which are regularly traded on an established securities market in the United States or another country; or 2) pension funds or pension trusts of more than five thousand (5,000) ownership interests; or 3) any entity where ownership interests are held in a partnership, corporation or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership and where no one (1) person or entity holds more than a total of five per cent (5%) of the ownership interest in the partnership, corporation or trust. Entities whose ownership interests are held in a partnership, corporation, or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership, shall only be required to disclose those ownership interest which exceed five (5) percent of the ownership interest in the partnership, corporation or trust.

**DISCLOSURE OF INTEREST\***

If a **CORPORATION** owns or leases the subject property, list principal stockholders and percent of stock owned by each. [Note: Where principal officers or stockholders consist of other corporation(s), trust(s), partnership(s) or similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

CORPORATION NAME: First Watch Restaurants, Inc.

<u>NAME AND ADDRESS</u>	<u>Percentage of Stock</u>
<u>FWR Holding Corporation</u>	<u>100%</u>
<u> </u>	<u> </u>
<u> </u>	<u> </u>
<u> </u>	<u> </u>
<u> </u>	<u> </u>
<u> </u>	<u> </u>

If a **TRUST or ESTATE** owns or leases the subject property, list the trust beneficiaries and percent of interest held by each. [Note: Where beneficiaries are other than natural persons, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

TRUST/ESTATE NAME: \_\_\_\_\_

<u>NAME AND ADDRESS</u>	<u>Percentage of Interest</u>
<u> </u>	<u> </u>
<u> </u>	<u> </u>
<u>N/A</u>	<u> </u>
<u> </u>	<u> </u>
<u> </u>	<u> </u>

If a **PARTNERSHIP** owns or leases the subject property, list the principals including general and limited partners. [Note: Where partner(s) consist of other partnership(s), corporation(s), trust(s) or similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interests].

PARTNERSHIP OR LIMITED PARTNERSHIP NAME: \_\_\_\_\_

<u>NAME AND ADDRESS</u>	<u>Percent of Ownership</u>
<u> </u>	<u> </u>
<u> </u>	<u> </u>
<u>N/A</u>	<u> </u>
<u> </u>	<u> </u>
<u> </u>	<u> </u>

If there is a **CONTRACT FOR PURCHASE** by a Corporation, Trust or Partnership, list purchasers below, including principal officers, stockholders, beneficiaries or partners. [Note: Where principal officers, stockholders, beneficiaries or partners consist of other corporations, trusts, partnerships or similar entities, further disclosure shall be made to identify natural persons having ultimate ownership interests].

NAME OF PURCHASER: \_\_\_\_\_

NAME, ADDRESS AND OFFICE (if applicable) Percentage of Interest

<u>NAME, ADDRESS AND OFFICE (if applicable)</u>	<u>Percentage of Interest</u>
_____	_____
_____	_____
N/A	_____
_____	_____
_____	_____

Date of contract: \_\_\_\_\_

If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership or trust:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

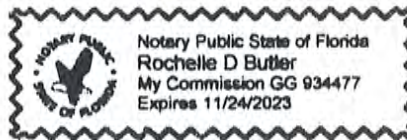
**NOTICE:** For changes of ownership or changes in purchase contracts after the date of the application, but prior to the date of final public hearing, a supplemental disclosure of interest is required.

The above is a full disclosure of all parties of interest in this application to the best of my knowledge and belief.

Signature: \_\_\_\_\_  
(Applicant)

Sworn to and subscribed before me this 16<sup>th</sup> day of May, 2023. Affiant is personally known to me or has produced \_\_\_\_\_ as identification.

R. D. Butler  
(Notary Public)



My commission expires 11/24/2023

\*Disclosure shall not be required of: 1) any entity, the equity interests in which are regularly traded on an established securities market in the United States or another country; or 2) pension funds or pension trusts of more than five thousand (5,000) ownership interests; or 3) any entity where ownership interests are held in a partnership, corporation or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership and where no one (1) person or entity holds more than a total of five per cent (5%) of the ownership interest in the partnership, corporation or trust. Entities whose ownership interests are held in a partnership, corporation, or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership, shall only be required to disclose those ownership interest which exceed five (5) percent of the ownership interest in the partnership, corporation or trust.

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MIAMI-DADE COUNTY  
PROCESS NO.: Z24-230

DATE: 06/30/2024  
BY: GONGOL

**DISCLOSURE OF INTEREST\***

If a **CORPORATION** owns or leases the subject property, list principal stockholders and percent of stock owned by each. [Note: Where principal officers or stockholders consist of other corporation(s), trust(s), partnership(s) or similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

CORPORATION NAME: **First Watch Restaurants Inc.**

<u>NAME AND ADDRESS</u>	<u>Percentage of Stock</u>
<b>FWR Holding Corporation</b>	<b>100%</b>
<b>8725 Penderly Place, Ste. 201</b>	
<b>Bradenton, FL 34201</b>	
<b>*see attached organization chart for further ownership information</b>	

If a **TRUST or ESTATE** owns or leases the subject property, list the trust beneficiaries and percent of interest held by each. [Note: Where beneficiaries are other than natural persons, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

TRUST/ESTATE NAME: \_\_\_\_\_

<u>NAME AND ADDRESS</u>	<u>Percentage of Interest</u>

If a **PARTNERSHIP** owns or leases the subject property, list the principals including general and limited partners. [Note: Where partner(s) consist of other partnership(s), corporation(s), trust(s) or similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interests].

PARTNERSHIP OR LIMITED PARTNERSHIP NAME: \_\_\_\_\_

<u>NAME AND ADDRESS</u>	<u>Percent of Ownership</u>

RECEIVED

MIAMI-DADE COUNTY  
PROCESS NO: 24-230  
DATE: 09/13/2024  
BY: SONGOL

If there is a **CONTRACT FOR PURCHASE** by a Corporation, Trust or Partnership, list purchasers below including principal officers, stockholders, beneficiaries or partners. [Note: Where principal officers, stockholders, beneficiaries or partners consist of other corporations, trusts, partnerships or other entities, further disclosure shall be made to identify natural persons having ultimate ownership interests.]

NAME OF PURCHASER: \_\_\_\_\_

NAME, ADDRESS AND OFFICE (if applicable)	Percentage of Interest
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

Date of contract: \_\_\_\_\_

If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership or trust:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**NOTICE:** For changes of ownership or changes in purchase contracts after the date of the application, but prior to the date of final public hearing, a supplemental disclosure of interest is required.

The above is a full disclosure of all parties of interest in this application to the best of my knowledge and belief.

Signature: *[Handwritten Signature]* (Applicant)

Sworn to and subscribed before me this 6<sup>th</sup> day of September, 2024. Affiant is personally known to me or has produced \_\_\_\_\_ as identification.

*[Handwritten Signature]*  
(Notary Public)



My commission expires \_\_\_\_\_

\*Disclosure shall not be required of: 1) any entity, the equity interests in which are regularly traded on an established securities market in the United States or another country; or 2) pension funds or pension trusts of more than five thousand (5,000) ownership interests; or 3) any entity where ownership interests are held in a partnership, corporation or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership and where no one (1) person or entity holds more than a total of five per cent (5%) of the ownership interest in the partnership, corporation or trust. Entities whose ownership interests are held in a partnership, corporation, or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership, shall only be required to disclose those ownership interest which exceed five (5) percent of the ownership interest in the partnership, corporation or trust.

# First Watch Restaurant Group, Inc. & subsidiaries

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BY: GONGOL



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