



# FINAL AGENDA

Community Zoning Appeals Board 14  
Naranja Park, 14150 SW 264 Street, Miami, FL  
Monday, September 15, 2025 at 6:30 pm

## PREVIOUSLY DEFERRED

## APPEALS

### CURRENT

1.	Z2023000033	Joma Homes Investment and Management LLC	23-33	56-39-12	N
2.	Z2024000073	Javier Alvarez	24-73	56-39-21	N
3.	Z2024000156	Mahe Barbara Davila Perez and Gonzalo Estevez Aparicio	24-156	56-40-06	N



# Official Zoning Agenda

COMMUNITY ZONING APPEALS BOARD

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COMMUNITY ZONING APPEALS BOARD - AREA 14

MEETING OF SEPTEMBER 15, 2025

NARANJA PARK

14150 SW 264 STREET, MIAMI, FLORIDA

NOTICE: THE FOLLOWING HEARINGS ARE SCHEDULED FOR 6:30 P.M., AND

ALL PARTIES SHOULD BE PRESENT AT THAT TIME

ANY PERSON MAKING IMPERTINENT OR SLANDEROUS REMARKS OR WHO BECOMES BOISTEROUS WHILE ADDRESSING THE COMMUNITY ZONING APPEALS BOARD SHALL BE BARRED FROM FURTHER AUDIENCE BEFORE THE COMMUNITY ZONING APPEALS BOARD BY THE PRESIDING OFFICER, UNLESS PERMISSION TO CONTINUE OR AGAIN ADDRESS THE BOARD BE GRANTED BY THE MAJORITY VOTE OF THE BOARD MEMBERS PRESENT.

NO CLAPPING, APPLAUDING, HECKLING OR VERBAL OUTBURSTS IN SUPPORT OR OPPOSITION TO A SPEAKER OR HIS OR HER REMARKS SHALL BE PERMITTED. NO SIGNS OR PLACARDS SHALL BE ALLOWED IN THE MEETING ROOM. PERSONS EXITING THE MEETING ROOM SHALL DO SO QUIETLY.

THE USE OF CELL PHONES IN THE MEETING ROOM IS NOT PERMITTED. RINGERS MUST BE SET TO SILENT MODE TO AVOID DISRUPTION OF PROCEEDINGS. INDIVIDUALS, INCLUDING THOSE ON THE DAIS, MUST EXIT THE MEETING ROOM TO ANSWER INCOMING CELL PHONE CALLS. COUNTY EMPLOYEES MAY NOT USE CELL PHONE CAMERAS OR TAKE DIGITAL PICTURES FROM THEIR POSITIONS ON THE DAIS.

THE NUMBER OF FILED PROTESTS AND WAIVERS ON EACH APPLICATION WILL BE READ INTO THE RECORD AT THE TIME OF HEARING AS EACH APPLICATION IS READ.

THOSE ITEMS NOT HEARD PRIOR TO THE ENDING TIME FOR THIS MEETING, WILL BE DEFERRED TO THE NEXT AVAILABLE ZONING HEARING MEETING DATE FOR THIS BOARD.



2. JAVIER ALVAREZ Z2024000073

Area 14/District 08

The application is to allow an existing roofed bar and gazebo structures to be located in front of an existing single-family residence which is not allowed by the Code. In addition, the application seeks to allow the existing roofed bar, gazebo and reflecting pond with water feature structures to be located closer to the front, side street and interior side property lines than required by code.

- (1) NON-USE VARIANCE to permit existing detached accessory (roofed bar and gazebo) structures to be located in front of the principal building (not permitted).
- (2) NON-USE VARIANCE to permit an existing detached accessory (roofed bar) structure to setback 43' (75' required) from the front (west) property line and to have a setback of 13'-5" (20' required) from the interior side (south) property line.
- (3) NON-USE VARIANCE to permit an existing detached accessory (gazebo) structure to setback 8'-5" (20' required) from the interior side (south) property line.
- (4) NON-USE VARIANCE to permit an existing detached accessory (reflecting pond with water feature) structure to setback 13' (30' required) from the side street (north) property line.

Plans are on file and may be examined in the Department of Regulatory and Economic Resources entitled "24001 Residence | Exterior Features Legalization", as prepared by JAH Design Studio, Sheets A100, A200, A300, A400, A500 and A600 dated stamped received 7/30/2024 consisting of 6 sheets and Sheet SP100 dated stamped received 11/25/2024 for a total of 7 sheets. Plans may be modified at public hearing.

**LOCATION:** 24001 SW 157 Avenue, Miami-Dade County, Florida  
**SIZE OF PROPERTY:** 1.17 Acres

Department of Regulatory and  
Economic Resources  
Recommendation:

**Approval with conditions.**

Protests: 0

Waivers: 0

APPROVED: \_\_\_\_\_

DENIED WITH PREJUDICE: \_\_\_\_\_

DENIED WITHOUT PREJUDICE: \_\_\_\_\_

DEFERRED: \_\_\_\_\_

3. MAHE BARBARA DAVILA PEREZ & GONZALO ESTEVEZ APARICIO Z2024000156

Area 14/District 09

The application is to allow an existing single-family to be located closer to front the property line than required by Code. In addition, the application seeks to allow an existing utility shed structure to be located closer to the side street property line than required by code.



Decisions of the Community Zoning Appeals Board (CZAB) may be subject to appeal or other challenge. For example, depending upon the nature of the requests and applications addressed by the CZAB, a CZAB decision may be directly appealable to the Board of County Commissioners (BCC) or may be subject to challenge in Circuit Court. Challenges asserted in Circuit Court, where available, must ordinarily be filed within 30 days of the transmittal of the pertinent CZAB resolution to the Clerk of the BCC. Appeals to the BCC, where available, must be filed with the Zoning Hearing Section of the Department of Regulatory and Economic Resources (RER), or its successor Department, within 14 days after RER has posted a short, concise statement (such as that furnished above for the listed items) that sets forth the action that was taken by the CZAB. (RER's posting will be made on a bulletin board located in the office of RER.) All other applicable requirements imposed by rule, ordinance, or other law must also be observed when filing or otherwise pursuing any challenge to a CZAB decision.

Further information regarding options and methods for challenging a CZAB decision may be obtained from sources that include, but are not limited to, the following: Sections 33-312, 33-313, 33-314, 33-316, and 33-317 of the Code of Metropolitan Dade County, Florida; the Florida Rules of Appellate Procedure; and the Municode website ([www.municode.com](http://www.municode.com)). Miami-Dade County does not provide legal advice regarding potential avenues and methods for appealing or otherwise challenging CZAB decisions; however, a licensed attorney may be able to provide assistance and legal advice regarding any potential challenge or appeal.

**Miami-Dade County Department of Regulatory and Economic Resources  
Staff Report to Community Zoning Appeals Board 14**

PH: Z23-033

September 15, 2025

Item No. 1

<b>Recommendation Summary</b>	
<b>Commission District</b>	9
<b>Applicant</b>	Joma Homes Investment and Management, LLC.
<b>Summary of Requests</b>	The applicant seeks to rezone the subject property from AU (Agricultural District, minimum 5-gross acre lots) to RU-1 (Single-Family Residential District, minimum 7,500 sq. ft. lots) to allow for the development of a proposed day nursery. Additionally, the applicant also seeks to permit for the day nursery use with a total enrollment of 120 children, to permit parking and a driveway within 25' of the right of way, and to permit the proposed day nursery building to setback less than required by code from the rear and interior side property line.
<b>Location</b>	Lying on the northwest corner of SW 124 Place and SW 216 Street, Miami-Dade County, Florida.
<b>Property Size</b>	±0.68 Acres
<b>Existing Zoning</b>	AU, Agricultural District
<b>Existing Land Use</b>	Vacant
<b>2030-2040 CDMP Land Use Designation</b>	Low Density Residential, 2.5 to 6 du <i>(see attached Zoning Recommendation Addendum)</i>
<b>Comprehensive Plan Consistency</b>	Consistent with the LUP map, and the interpretative text, goals, objectives and policies of the CDMP
<b>Applicable Zoning Code Section(s)</b>	Section 33-311 District Boundary Change; Section 33-311(A)(3), Standards For Special Exceptions, Unusual Uses and New Uses and Section 33-311(A)(4)(b), Non-Use Variances From Other Than Airport Regulations <i>(see attached Zoning Recommendation Addendum)</i>
<b>Recommendation</b>	<b>Approval of request #1, and approval with conditions of requests #2 through #4.</b>

**REQUESTS:**

- (1) DISTRICT BOUNDARY CHANGE from AU, Agricultural District, to RU-1, Single-Family Residential District.
- (2) UNUSUAL USE to permit a day nursery.
- (3) NON-USE VARIANCE to permit parking and a driveway within 25' of an official right-of-way (not permitted).
- (4) NON-USE VARIANCE of setback requirements to permit the proposed day nursery building to setback 35'-10" from the rear (north) property line and to setback a minimum of 14'-11" from the interior side (west) property line (50' required).

Plans are on file in the Department of Regulatory and Economic Resources entitled "Child Day Care", as prepared by LanMar Design Group, and consisting of 4 sheets and civil plans as

prepared by CARLAB, INC., consisting of 4 sheets, all date-stamped received 05/22/2025, for a total of 8 sheets. Plans may be modified at Public Hearing.

**PROJECT HISTORY AND DESCRIPTION:**

The ±0.68-acre site consists of a single parcel zoned AU, Agricultural District, located at the northwest corner of SW 124 Place and SW 216 Street. In 2007, pursuant to Resolution No. CZAB14-33-07, the Miami-Dade County Community Zoning Appeals Board No. 14 (CZAB 14) denied without prejudice a request to rezone the subject property from AU, Agricultural District, to RU-1, Single-Family Residential District. The application was accompanied by a covenant that restricted development of the site to the submitted plans and limited the density to a maximum of four (4) units through the utilization of Severable Use Rights (SUR's).

The applicant now seeks to rezone the subject parcel from AU, Agricultural District, to RU-1, Single Family Residential District (request #1), in order to develop a proposed daycare facility on the subject site with a total enrollment of 120 children (request #2), to permit parking within 25' of the right of way (request #3), and to permit the proposed day nursery building to setback less than required by code from the rear and interior side property line (request #4). The plans indicate a proposed 7,096 sq. ft. building is to be located on the northern portion of the subject property that would include six (6) classrooms, an administrative office, a kitchen, and multiple bathrooms to accommodate 120 children ages 1 to 4, along with six (6) teachers and three (3) administrative/clerical staff. Staff notes that the required number of parking spaces, including stacking spaces for pick-up and drop-off, have been provided on site. The proposed auto-stacking spaces are shown along SW 216 Street and designated as parking spaces. A playground area exceeding the minimum requirement is also provided toward the rear of the building (north) property line. In addition, the submitted landscape plan depicts ample landscaping, including trees and shrubs around the perimeter, the required street trees along SW 216 Street and SW 124 Place, as well as buffer fencing along the property lines abutting adjoining vacant and single-family home parcels.

<b><u>NEIGHBORHOOD CHARACTERISTICS</u></b>		
	<b>Zoning and Existing Use</b>	<b>Land Use Designation</b>
<b>Subject Property</b>	AU; vacant	Low Density Residential (2.5 to 6 dua)
<b>North</b>	RU-1MB; vacant	Low Density Residential (2.5 to 6 to dua)
<b>South</b>	AU; charter school	Low Density Residential (2.5 to 6 dua)
<b>East</b>	RU-1; Single-family residences	Low Density Residential (2.5 to 6 dua)
<b>West</b>	AU; Single-family residence	Low Density Residential (2.5 to 6 dua)

**NEIGHBORHOOD COMPATIBILITY:**

The subject property is a ±0.68 acre, currently vacant parcel that is located at the northwest corner of SW 124 Place and SW 216 Street. The surrounding area is characterized by an RU-1MB zoned vacant parcel to the north, AU-zoned property that is developed with a charter school to the south,

single-family residences that are zoned RU-1 to the east, and an AU-zoned property with a single-family residence located to the west of the subject site.

### **SUMMARY OF THE IMPACTS:**

Approval of this application will allow the applicant to establish a daycare facility on the subject property for up to 120 children, ages 1 through 4, to serve families in the surrounding area. Based on memoranda from the reviewing departments, staff opines that approval of the request will not create significant traffic or environmental impacts on the surrounding area. The Platting and Traffic Review Section of the Department of Regulatory and Economic Resources (RER) notes in its memorandum that the property lies within a Community Development Block Grant (CDBG)-eligible area, where traffic concurrency does not apply, but that the proposed use is projected to generate 109 PM peak-hour vehicle trips. Staff acknowledges that, as the site is currently vacant, approval of a child daycare facility will introduce additional traffic and could result in visual impacts on the surrounding properties. However, based on staff's analysis provided below, such impacts have been adequately mitigated.

### **COMPREHENSIVE DEVELOPMENT MASTER PLAN ANALYSIS:**

The Land Use Plan (LUP) map of the Comprehensive Development Master Plan (CDMP) designates this property for **Low Density Residential** use. The CDMP Land Use Element Interpretative text indicates that *if located in Estate, Low or Low-Medium Density neighborhoods, congregate residential uses, and daytime service uses such as **day care centers**, shall locate only in activity nodes, transition areas and section centers as indicated in the Guidelines for Urban Form, or on sites that are transitional to higher density or higher intensity land uses, to public uses or to other areas of high activity or accessibility.* Furthermore, The CDMP Land Use Element Interpretative text under **Residential Communities** also permits *neighborhood and community services including schools, **daycare centers** and houses of worship, only when consistent with other goals, objectives and policies of this Plan and compatible with the neighborhood.* The criteria to evaluate compatibility among proximate land uses is outlined in the CDMP Land Use Element, **Policy LU-4A**, among which are *access, traffic, parking, height, bulk scale of architectural elements, buffering, and landscaping as applicable.* Said interpretative text under the Residential Communities also states that the *areas **along section line roads** between transition areas are also authorized for eligible higher residential densities, **public** and **semi-public** uses.*

Staff notes that the proposed child daycare facility is located within a *low-density neighborhood* at the corner of SW 124 Place, a local roadway, and SW 216 Street, a well-traveled major roadway. The site benefits from its location within an area characterized by activity nodes such as school, churches, commercial and an existing mix of uses of varying intensities, and high accessibility. Therefore, staff opines that the proposed use complies with the criteria outlined under the CDMP Land Use Element Interpretative text and policy for daycare centers and would be located along a section line roadway that is transitional to areas of high activity and intensities, including existing public and semi-public uses on activity nodes that are located in close proximity to the subject site. Staff further notes that the proposed building on the site will be constructed as a one-story structure and will maintain the single-family residential scale commonly found in the surrounding residential areas abutting the subject property to the north, east, and west. Furthermore, the proposed child daycare facility complies with all applicable zoning regulations, including open space, playground area, parking requirements, and stacking spaces, except for the requested variances to permit parking and a driveway within 25' of an official right-of-way and the building setbacks. Staff also notes that the proposed site plan provides adequate buffering

along the property lines through a combination of walls and landscaping. Based on the aforementioned, and for the reasons further set forth in the zoning analysis below, staff opines that the development would satisfy the criteria for compatibility outlined in the CDMP Land Use Element, **Policy LU-4A**. As such, staff is of the opinion that the approval with conditions of the proposed daycare use is **consistent** with the CDMP Land Use Element interpretative text for the **Residential Communities**, and with the CDMP Land Use Plan map **Low Density Residential** designation for the subject property. Furthermore, approval of the rezoning to RU-1 will also be consistent with the existing Low Density Residential Land Use designation.

### **ZONING ANALYSIS:**

The applicant seeks approval of a district boundary change from AU, Agricultural District, to RU-1, Single-Family Residential District, on the subject parcel (Request #1). Staff finds that the proposed rezoning to RU-1, to allow the development of a child daycare facility, is compatible with the surrounding area under Section 33-311, District Boundary Change, of the Code. The RU-1 zoning is appropriate for the site and consistent with the proposed use, as child daycare facilities are permitted in the RU-1 District. Section 33-311 provides that the purpose of the Zoning Code is to establish a comprehensive plan and design intended to, among other things, lessen congestion on highways and promote the convenience and general welfare, while giving reasonable consideration to the character and suitability of the district or area for particular uses. Staff opines that approval of the requested zoning change will permit the proposed child daycare facility to conform with the regulations of the RU-1 District. While schools are a permitted use in the existing AU zoning district, development of the site under AU would have required additional variances, including meeting the minimum separation requirement of 250 feet from the boundary, property, or lot line, as well as variances for lot coverage. Furthermore, as previously noted, the proposed rezoning is **consistent** with the Low Density Residential designation of the CDMP Land Use Plan map and interpretative text, and thereby supports the objectives of LU-4, which state that Miami-Dade County shall continue to reduce the number of land uses that are inconsistent with the uses designated on the LUP map and interpretative text, or with the character of the surrounding community. Therefore, staff supports the request and opines that based on the Comprehensive Development Master Plan land use designations of Low Density Residential, and for the reasons explained in the Comprehensive Development Master Plan Analysis section, the request for a zone change on the subject property to RU-1 is **consistent** with the CDMP designation of the parcel on the CDMP Land Use Plan map and would be **compatible** with the surrounding area when considering the necessity and reasonableness of the request in relation to the present and future development of the area. **As such, staff recommends approval of request #1, for a district boundary change to RU-1, Single Family Residential District, under Section 33-311, District Boundary Change.**

When analyzing request #2 to permit a day nursery under Section 33-311(A)(3), Special Exceptions, Unusual Uses, and New Uses, staff finds that approval with conditions would be compatible with the surrounding area. Based on memoranda from the Division of Environmental Resource Management (DERM), Miami-Dade Fire Rescue Department (MDFR), and the Platting and Traffic Review Section of RER, staff finds that the proposed use would not generate excessive traffic or burden public facilities, create a fire or other hazard, provoke overcrowding, or disrupt the overall welfare and privacy of the area. Staff also notes that the proposed child daycare facility is not expected to conflict with the existing charter school to the south. The daycare will serve children ages one (1) through four (4) and operate Monday through Friday from 6:30 a.m. to 6:00 p.m., while the charter school serves grades K-12 (ages four (4) through eighteen (18)) with operating hours from 7:00 a.m. to 4:00 p.m. The difference in age groups

ensures that the two facilities will serve distinct populations, minimizing overlap in student activities and drop-off/pick-up periods. Additionally, the staggered operating hours reduce potential traffic congestion along the adjacent roadways, and the proposed site plan includes adequate buffering through landscaping and walls, which further mitigates any potential noise or visual impacts. These factors collectively support compatibility between the proposed daycare and the existing charter school.

Staff notes that the proposed daycare building will be one story in height, maintaining the single-family residential scale typical of the areas abutting the site to the north, east, and west. The property is a corner lot at SW 124 Place and SW 216 Street. Vehicular access is proposed as a one-way circulation pattern, with entry from SW 124 Place and exit onto SW 216 Street, a well-traveled section line roadway. The submitted plans indicate six classrooms, an administrative office, a kitchen, and multiple bathrooms to accommodate 120 children, six teachers, and three administrative/clerical staff.

The proposed child daycare facility complies with all applicable zoning regulations regarding outdoor playground areas, parking, auto-stacking spaces, and street trees, with the exception of the requested setback variances. Buffers along property lines adjacent to residential uses are provided through a six-foot (6') fence, shrubs with a minimum height of 30 inches at planting, spaced 36 inches on center, and trees planted 35 feet on center within a minimum five-foot landscaped strip. Staff finds these measures sufficient to mitigate potential visual and aural impacts on neighboring properties.

As part of this application, the applicant submitted a Traffic Statement and site plans to the Traffic Engineering Division (TED) of DTPW for review. The Platting and Traffic Review Section of RER notes that the property lies within a Community Development Block Grant (CDBG)-eligible area where traffic concurrency does not apply. The proposed use is projected to generate 109 PM peak-hour trips. Based on the queuing analysis, DTPW has determined that there is adequate on-site space to accommodate vehicle queuing. Staff therefore concludes that the proposed daycare would not have significant traffic impacts on the abutting roadways as discussed further below.

Further, staff opines that based on the memoranda submitted by other departments reviewing the application, approval of the request would not have an unfavorable effect on the environment, the natural resources, or the economy of Miami-Dade County, and would not be incompatible with the area concerned. The Division of Environmental Resources Management (DERM) of the Department of Regulatory and Economic Resources, in attached memorandum, indicate that the application meets all applicable LOS standards for potable water supply, wastewater disposal, and flood protection. In addition, the memoranda submitted by the Departments of Water and Sewer indicate no objections to the application as well. Based on the aforementioned department memoranda, staff opines that the application will not result in, among other things, excessive noise or cause undue or excessive burden on public facilities. As such, staff opines that the request would be **compatible** with the area concerned, when considering the necessity and reasonableness of the expansion in relation to the present and future development of the area. **Therefore, staff recommends approval with conditions of request #2 under Section 33-311(A)(3), Special Exceptions, Unusual Uses and New Uses.**

In order to establish the proposed daycare facility on the property, the applicant requests ancillary non-use variances to permit parking and driveways within 25' of the right of way of SW 124 Place and SW 216 Street (request #3) and to allow the building to setback 35'-10" from the rear (north)

property line and 14'-11" from the interior side (west) property line (50' required) (request #4). When analyzed under Section 33-311(A)(4)(b), Non-Use Variances From Other Than Airport Regulations, staff finds that these requests are inextricably intertwined with the development of the proposed day care use on the site, which staff supports and opines that the approval of the request with conditions would be **compatible** with the surrounding area. Pursuant to Sec. 33-127, parking areas and driveways in RU Districts must be located at least 25' from the official right-of-way, with exceptions for certain residential uses. The proposed plans show that the ingress driveway along SW 124 Place meets this requirement, with a setback of 34'-3". However, the proposed parking along SW 124 Place is setback 16'-4" (where 25' is required), and the parking along SW 216 Street is setback 20'. The 25-foot setback is intended to prevent traffic from spilling onto the street and to provide a visual buffer for parked cars. In this case, traffic will be one-way, entering through SW 124 Place and exiting via SW 216 Street, which will prevent congestion. Additionally, the applicant has provided a sufficient landscape buffer along both streets to reduce the visibility of the parking. The Platting and Traffic Department has no objections to the request. Therefore, staff supports granting the variance to allow the parking and driveways within 25' of the right-of-way. Regarding the encroachment of the one-story building into the rear and interior side property lines, this will allow for the construction of a child daycare facility on a narrow parcel while maintaining a design consistent with the area's character. The proposed encroachments are located internally on the site, adequately buffered, and are not expected to create significant visual impacts on neighboring properties. The landscape plans show ample trees and shrubs providing a buffer around both the existing and proposed structures, as well as along the parcel's perimeter. Additionally, the setback reduction will be further mitigated by a proposed fence within a minimum five-foot landscaped strip, with trees and shrubs spaced at an average of thirty-five feet apart. **Therefore, staff recommends approval with conditions of requests #3 and #4 under Section 33-311(A)(4)(b) Non-Use Variances From Other Than Airport Regulations.**

**ACCESS, CIRCULATION AND PARKING:** The submitted plans indicate that the subject property has one ingress along SW 124 Place and one egress along SW 216 Street, configured as a one-way drive providing vehicular and pedestrian access to the parking area. Ample parking is proposed to accommodate auto stacking, as well as parking for teachers and administrative personnel. The site provides a total of 21 parking spaces, which is seven (7) more than the required 14 spaces.

**NEIGHBORHOOD SERVICES PROVIDER COMMENTS:** See attached.

**OTHER:** Not applicable.

**RECOMMENDATION:** Approval of request #1, and approval with conditions of requests #2 through #4.


**CONDITIONS FOR APPROVAL:** For requests #2 through #4 only.

1. That a site plan be submitted to and meet with the approval of the Director upon the submittal of an application for a building permit; said plan to include among other things but not be limited thereto, location of structure or structures, types, sizes and location of signs, light standards, off-street parking areas, exits and entrances, drainage, walls, fences, landscaping, etc.
2. That in the approval of the plan, the same be substantially in accordance with that submitted for the hearing entitled "Child Day Care", as prepared by LanMar Design Group, and

consisting of 4 sheets and civil plans as prepared by CARLAB, INC., consisting of 4 sheets, all date-stamped received 05/22/2025, for a total of 8 sheets.

3. That the child daycare facility be limited to a maximum of 120 children.
4. The hours of operation for the child daycare facility shall be limited to Monday through Friday, from 6:30 AM to 6:00 PM.
5. That no outside speakers other than in connection with emergency systems shall be permitted on the property.
6. That the waste pick-up for the child daycare facility shall be performed by a private commercial entity and shall be limited to pick-up between the hours of 9:00 a.m. and 4:00 p.m., Monday through Friday, except during arrival and dismissal times.
7. That the applicant provide shrubs a minimum of 30 inches at time of planting and shall be planted at a spacing of 36" on center to grow to a minimum of 6' along the north and west property lines in order to provide additional buffer for the existing single-family residences.
8. That of the 21 parking spaces provided on-site, five (5) shall be designated and clearly marked for auto stacking. The designated auto stacking spaces shall be maintained and used exclusively for that purpose at all times, in accordance with the requirements of the Code.
9. That the applicant complies with all the applicable conditions, requirements, recommendations, requests, and other provisions of the Division of Environmental Resources Management of the Department of Regulatory and Economic Resources as contained in the attached memorandum.
10. That the applicant complies with all applicable conditions, requirements, recommendations, requests, and other provisions of the Miami-Dade County Department of Transportation and Public Works (DTPW) Traffic Engineering Division as indicated in the attached memorandum.
11. That the applicant obtain a Certificate of Use from and promptly renew the same annually with the Department of Regulatory and Economic Resources, upon compliance with all terms and conditions, the same subject to cancellation upon violation of any of the conditions.
12. That at the time of Certificate of Use renewal and each subsequent renewal, the owner shall submit to the Department of Regulatory and Economic Resources a letter from the principal of the school detailing the number of students and the grade levels that are currently enrolled in said facility.

ES:JB:SS:EA



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Eric Silva, AICP, Assistant Director  
Development Services Division  
Miami-Dade County Department of  
Regulatory and Economic Resources

# ZONING RECOMMENDATION ADDENDUM

Joma Homes Investment and Management, LLC  
PH: Z23-033

<b>NEIGHBORHOOD SERVICES PROVIDER COMMENTS*</b>	
Division of Environmental Resources Management (RER)	<i>No objection*</i>
Platting and Traffic Review Section (RER)	<i>No objection</i>
Department of Transportation and Public Works (DTPW)	<i>No objection*</i>
Miami-Dade Fire Rescue (MDFR)	<i>No objection</i>
Water and Sewer Department (WASD)	<i>No objection</i>
Building and Neighborhood Compliance (BNC)	<i>No objection</i>
<i>*Subject to conditions in their memorandum.</i>	

## COMPREHENSIVE DEVELOPMENT MASTER PLAN (CDMP) OBJECTIVES, POLICIES AND INTERPRETATIVE TEXT

<b>Low Density Residential</b> <i>(Pg. I-31)</i>	<i>The residential densities allowed in this category shall range from a minimum of 2.5 to a maximum of 6.0 units per gross acre. This density category is generally characterized by single family housing, e.g., single-family detached, cluster, zero lot line and townhouses. It could include low-rise apartments with extensive surrounding open space or a mixture of housing types provided that the maximum gross density is not exceeded.</i>
<b>Residential Communities</b> <i>(Pg. I-26)</i>	<i>The areas designated Residential Communities permit housing types ranging from detached single-family to attached multifamily buildings, as well as different constructions systems. Also permitted in residential Communities are neighborhood and community services including schools, parks, houses of worship, <b>day care centers</b>, group housing facilities, and utility facilities only when consistent with other goals, objectives and policies of this Plan and compatible with the neighborhood. The character of the “neighborhood” reflects the intensity and design of developments mix of land uses, and their relationship.</i>
<b>Policy LU-4</b> <i>(Page. I-9)</i>	<i>Miami-Dade County shall continue to reduce the number of land uses, which are inconsistent with the uses designated on the LUP map and interpretive text, or with the character of the surrounding community.</i>
<b>Policy LU-4A</b> <i>(Page. I-9)</i>	<i>When evaluating compatibility among proximate land uses, the County shall consider such factors as noise, lighting, shadows, glare, vibration, odor, runoff, access, traffic, parking, height, bulk, scale of architectural elements, landscaping, hours of operation, buffering, and safety, as applicable.</i>

## PERTINENT ZONING REQUIREMENTS/STANDARDS

<b>Section 33-311 District Boundary Change</b>	<p>(A) <i>The Community Zoning Appeals Boards are advised that the purpose of zoning and regulations is to provide a comprehensive plan and design to lessen the congestion in the highways; to secure safety from fire, panic and other dangers, to promote health, safety, morals, convenience and the general welfare; to provide adequate light and air; to prevent the overcrowding of land and water; to avoid undue concentration of population; to facilitate the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements, with the view of giving reasonable consideration among other things to the character of the district or area and its peculiar suitability for particular uses and with a view to conserving the value of buildings and property and encouraging the most appropriate use of land and water throughout the County.</i></p> <p>(F) <b>Section 33-311</b> provides that the Board shall take into consideration, among other factors the extent to which:</p>
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# ZONING RECOMMENDATION ADDENDUM

Joma Homes Investment and Management, LLC  
PH: Z23-033

	<p>(1) The development permitted by the application, if granted, conforms to the Comprehensive Development Master Plan for Miami-Dade County, Florida; is consistent with applicable area or neighborhood studies or plans, and would serve a public benefit warranting the granting of the application at the time it is considered;</p> <p>(2) The development permitted by the application, if granted, will have a favorable or unfavorable impact on the environmental and natural resources of Miami-Dade County, including consideration of the means and estimated cost necessary to minimize the adverse impacts; the extent to which alternatives to alleviate adverse impacts may have a substantial impact on the natural and human environment; and whether any irreversible or irretrievable commitment of natural resources will occur as a result of the proposed development;</p> <p>(3) The development permitted by the application, if granted, will have a favorable or unfavorable impact on the economy of Miami-Dade County, Florida;</p> <p>(4) The development permitted by the application, if granted, will efficiently use or unduly burden water, sewer, solid waste disposal, recreation, education or other necessary public facilities which have been constructed or planned and budgeted for construction;</p> <p>(5) The development permitted by the application, if granted, will efficiently use or unduly burden or affect public transportation facilities, including mass transit, roads, streets and highways which have been constructed or planned and budgeted for construction, and if the development is or will be accessible by public or private roads, streets or highways.</p>
<p><b>Section 33-311(A)(3) Special Exception, Unusual and New Uses.</b></p>	<p>Special exceptions (for all applications other than public charter schools), <b>unusual</b> and new uses. Hear application for and grant or deny special exceptions, except applications for public charter schools; that is, those exceptions permitted by the regulations only upon approval after public hearing, new uses and unusual uses which by the regulations are only permitted upon approval after public hearing; provided the applied for exception or use, including exception for site or plot plan approval, in the opinion of the Community Zoning Appeals Board, would not have an unfavorable effect on the economy of Miami-Dade County, Florida, would not generate or result in excessive noise or traffic, cause undue or excessive burden on public facilities, including water, sewer, solid waste disposal, recreation, transportation, streets, roads, highways or other such facilities which have been constructed or which are planned and budgeted for construction, are accessible by private or public roads, streets or highways, tend to create a fire or other equally or greater dangerous hazards, or provoke excessive overcrowding or concentration of people or population, when considering the necessity for and reasonableness of such applied for exception or use in relation to the present and future development of the area concerned and the compatibility of the applied for exception or use with such area and its development.</p>
<p><b>Section 33-311(A)(4)(b) Non-Use Variances From Other Than Airport Regulations</b></p>	<p>Upon appeal or direct application in specific cases, the Board shall hear and grant applications for <b>non-use variances</b> from the terms of the zoning and subdivision regulations and may grant a non-use variance upon a showing by the applicant that the non-use variance maintains the basic intent and purpose of the zoning, subdivision and other land use regulations, which is to protect the general welfare of the public, particularly as it affects the stability and appearance of the community and provided that the non-use variance will be otherwise compatible with the surrounding land uses and would not be detrimental to the community. No showing of unnecessary hardship to the land is required.</p>

***Building and Neighborhood Compliance***

**ENFORCEMENT HISTORY**

JOMA HOMES INVESTMENT AND  
MANAGEMENT LLC

N/A  
MIAMI-DADE COUNTY, FLORIDA.

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**APPLICANT**

**ADDRESS**

Pending

Z2023000033

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**DATE**

**HEARING NUMBER**

**FOLIO: 30-6912-006-0030**

**REVIEW DATE OF CURRENT ENFORCEMENT HISTORY:**

June 17, 2025

**NEIGHBORHOOD REGULATIONS:**

There are no open/closed cases in CMS.

**BUILDING SUPPORT REGULATIONS:**

There are no open/closed cases in BSS.

**VIOLATOR:**

JOMA HOMES INVESTMENT AND MANAGEMENT LLC

**OUTSTANDING LIENS AND FINES:**


There are no outstanding Liens, Fines, or Fees.

# Memorandum

MIAMI-DADE  
COUNTY

**Date:** June 10, 2025

**To:** Lourdes M. Gomez, AICP, Director  
Department of Regulatory and Economic Resources

**From:** Lisa M. Spadafina, RER Assistant Director  
Division of Environmental Resources Management 

**Subject:** Z2023000033-3<sup>rd</sup> Review  
Joma Homes Investment and Management LLC  
NW Corner of SW 216<sup>th</sup> Street and SW 124<sup>th</sup> Place  
DBC from AU to RU-1 and an unusual use to permit a childcare  
facility for 138 children.  
(AU) (0.62 acres)  
12-56-39

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The Department of Regulatory and Economic Resources – Division of Environmental Resources Management (DERM) has reviewed the above referenced zoning application for compliance with the requirements of Chapter 24 of the Miami-Dade County Code (the Code) for potable water service and wastewater disposal. Based on the information provided, this zoning application is approved pursuant to Section 24-43.1 of the Code related to potable water supply and wastewater disposal.

#### Potable Water Supply and Wastewater Disposal

Pursuant to the Code and based on the site plan submitted in support of the requested district boundary change and unusual use, the proposed childcare facility is within feasible distance to connect to public water and public sanitary sewer. Therefore, the proposed development shall connect to public water and sanitary sewers in accordance with Code requirements. Please note that this development will need to obtain a water extension permit prior to DERM approval of future development orders. To the extent that connection to the public sanitary sewer system is not approved due to a sanitary sewer moratorium, this memorandum shall not be interpreted as written approval from DERM to allow an alternative means of domestic wastewater disposal.

Be advised that the required water main extension permit is issued by the Florida Department of Health. Civil drawings for the water main extension will need to be approved by the Miami-Dade Water and Sewer Department and the Environmental Permitting Section of RER.

Under section 24-43.4(2)(b)(iii) of the Code, once a property or portion thereof is determined to be within feasible distance, the owner shall record, in the Public Records of Miami-Dade County and at the owner's expense, a covenant in a form acceptable to the Director acknowledging that the property shall be required to connect to the applicable public infrastructure as a condition of any building permit for development on the property or portion thereof. Please contact [Glennys.Fernandez-Martinez@miamidade.gov](mailto:Glennys.Fernandez-Martinez@miamidade.gov) or [Faith.Kenyon@miamidade.gov](mailto:Faith.Kenyon@miamidade.gov) for information regarding this covenant.

Existing public water and sewer facilities and services meet the Level of Service (LOS) standards set forth in the Comprehensive Development Master Plan (CDMP). Furthermore, the proposed development order, if approved, will not result in a reduction in the LOS standards subject to compliance with the conditions required by DERM for this proposed development order.

Please note that some of the collection/transmission facilities, which includes sanitary sewer gravity sewer mains, sanitary sewer force mains and sanitary sewer pump stations, throughout the County do not have adequate capacity, as defined in the Consent Decree between Miami-Dade County, Florida Department of Environmental Protection, and the U.S. Environmental Protection Agency case 1:12-cv-24400-FAM. Under the terms of this Consent Decree, this approval does not constitute an allocation or certification of adequate treatment and transmission system capacity. At the time of building permits, DERM will evaluate and may reserve sanitary sewer capacity, through the DERM sanitary sewer certification process, if the proposed development complies with the provisions of the Consent Decree. Building permits for development in sanitary sewer basins that have been determined not to have adequate capacity cannot be approved until adequate capacity becomes available.

**Conditions of Approval: That the property owner submits a covenant in accordance with the requirements of section 24-43.4(2)(b)(iii) of the Code.**

Water Control Review

Stormwater shall be retained on site utilizing properly designed seepage or infiltration drainage system. Drainage plans shall provide for full on-site retention of the stormwater runoff generated by a 5 25-year, 6-hour storm event.

Site grading and development plans shall comply with the requirements of Chapter 11C of the Code, as well as with all state and federal criteria, and shall not cause flooding of adjacent properties.

Any proposed development shall comply with county and federal flood criteria requirements. The proposed development order, if approved, will not result in a reduction in the LOS standards for flood protection set forth in the CDMP subject to compliance with the conditions required for this proposed development order.

**Conditions of Approval: None**

Tree Preservation Review

An aerial review of the subject property indicates the presence of tree resources. A landscape plan entitled "Child Day Care" prepared by Juan Castillo, R.A., and dated as received by Miami-Dade County on May 22, 2025, was submitted in support of the subject application and indicates the removal/relocation of non-specimen (a tree with a trunk diameter at breast height less than 18 inches) tree resources. Section 24-49 of the Code provides for the preservation and protection of tree resources. DERM has no objection to this application provided that the applicant obtains a Miami-Dade County Tree Removal Permit prior to the removal or relocation of the non-specimen trees on site.

A Miami-Dade County Tree Permit is required prior to the removal and/or relocation of any tree that is subject to the tree preservation and protection provisions of the Code. The applicant is advised that a tree survey that includes a tree disposition table will be required during the tree removal permit application process. Projects and permits shall comply with the requirements of sections 24-49.2 and 24-49.4 of the Code, including the specimen tree standards.

In accordance with section 24-49.9 of the Code, all plants prohibited by Miami-Dade County shall be removed from all portions of the property prior to development, or redevelopment and developed parcels shall be maintained to prevent the growth or accumulation of prohibited species. Please contact Jackelyn Alberdi at Jackelyn.Alberdi@miamidade.gov for additional information or concerns regarding this review.

**Conditions of Approval: None**

DERM Enforcement History Review

There are no open or closed enforcement records for violations of Chapter 24 of the Code for the subject property. There are no outstanding DERM liens or fines for the subject property.

Concurrency Review Summary

A concurrency review has been conducted for this application and DERM has determined that the same meets all applicable LOS standards for an initial development order as specified in the adopted CDMP for potable water supply, wastewater disposal, and flood protection. This concurrency approval is valid only for this initial development order. Pursuant to Chapter 33G of the Code, a final concurrency statement will be issued at the time of final development order.

If you have any questions concerning the comments or wish to discuss this matter further, please contact Ninfa Rincon at (305) 372-6764.

cc: Eric Silva, Department of Regulatory and Economic Resources

# Memorandum



**Date:** June 11, 2025

**To:** Eric Silva, AICP, Assistant Director  
Development Services Division  
Department of Regulatory and Economic Resources (RER)

**Through:** James B. Ferguson, P.E.  
Assistant Director  
Water and Sewer Department (WASD)

**From:** Maria A. Valdes, CSM, LEED® Green Associate  
Chief, Planning & Water Certification Section  
Water and Sewer Department (WASD)

**Subject:** Zoning Application Comments - Joma Homes Investment and Management LLC  
Application No. Z2023000033 (Revision No. 2) - (Pre-app. No. Z22P-009)

A handwritten signature in black ink that reads "Maria Valdes". The signature is written in a cursive, flowing style.

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The Water and Sewer Department has reviewed the proposed development for the subject zoning application. WASD has no objections to this Zoning Application, based on the information provided. Additional requirements may be needed at the time of permitting. The information provided below is preliminary and it does not affect the Zoning process.

At the time of development, the applicant is advised to consult with the project's engineer and WASD's Plans Review staff to finalize points of connection and capacity approval. A WASD Agreement and/or Verification form will be required.

Application Name: Joma Homes Investment and Management LLC

Location: The proposed project is approximately 0.62 acres located at the northwest corner of the intersection of SW 124<sup>th</sup> Place and SW 216<sup>th</sup> Street, with Folio No. 30-6912-006-0030, in unincorporated Miami-Dade County.

Proposed Development: The applicant is seeking to develop a 6,478 square feet (under A/C) Day Care, as per Floor Plan submitted.

The estimated total water demand for the proposed project will be 648 gallons per day (gpd).

Water: The proposed development is located within the WASD's water service area. The water supply will be provided by the Alexander-Orr Water Treatment Plant (WTP). Currently, there is adequate treatment and water supply capacity at the WTP, consistent with Policy WS-2 A (1) of the CDMP.

There is an existing water service lateral (fronting SW 216<sup>th</sup> Street) for this property per water as-built (E23983D00A-2). Therefore, if this site requires a new connection, the developer may connect to an existing 16-inch water main (E23983D00A-2), abutting the property along SW 216<sup>th</sup> Street to provide water service to the proposed development.

Any public water main extension within the property shall be 12-inch minimum diameter. If two (2) or more fire hydrants are to be connected to a public water main extension, then the water system shall be looped with two (2) points of connections. *Final points of connections and capacity approval to connect*

*to the water system will be provided at the time the applicant requests connection to the water infrastructure.*

A Water Supply Certification (WSC) will be required for the proposed development. Said Certification will be issued at the time the applicant requests connection to the water system. The WSC letter shall remain active in accordance with terms and conditions specified in said certification. The WSC required is consistent with Policy CIE-5D and WS-2C in the County's CDMP and in accordance with the permitted withdrawal capacity in the WASD's 20-year Water Use Permit.

For more information on the Water Supply Certification Program please go to <http://www.miamidade.gov/water/water-supply-certification.asp>

In addition, all future development will be required to comply with water use efficiency techniques for indoor water use and with landscape standards in accordance with Sections 8-31, 32-84, 18-A and 18-B of the Miami-Dade County Code and consistent with Policies WS-5E and WS-5F of the CDMP.

For more information about our Water Conservation Program, please go to <http://www.miamidade.gov/conservation/home.asp>

For information concerning the Water-Use Efficiency Standards Manual please go to <http://www.miamidade.gov/waterconservation/library/instructions/water-use-efficiency-standards-manual.pdf>

Sewer: The proposed development is located within the WASD's sewer service area. The wastewater flows for the proposed development will be transmitted to the South District Wastewater Treatment Plant (SDWWTP) for treatment and disposal. The SDWWTP is operating under a permit from the Florida Department of Environmental Protection. Currently, there is adequate sewer treatment and disposal capacity at the SDWWTP, consistent with Policy WS-2 A (2) of the CDMP.

There is an existing 8-inch gravity sewer, abutting the subject property along SW 124<sup>th</sup> Place and another 8-inch gravity sewer main along SW 216<sup>th</sup> Street, to where the developer may connect to provide sewer service to the proposed development. *Final points of connection and capacity approval to connect to the sewer system will be provided at the time the applicant requests connection to the sewer infrastructure.*

If unity of title does not apply, thence any gravity sewer within the property shall be public and 8-inch minimum diameter.

The sewage flow from the proposed development will be transmitted to Pump Station (PS) No. 564 and PS No. 522. Said pump stations are currently in OK Moratorium Code Status. Below is the existing and projected Nominal Average Pump Operating Time (NAPOT) for both pump stations.

P.S. 564

Existing NAPOT: 5.04 hrs.

Proposed Development: 648 gpd

Proposed Projected NAPOT: 5.07 hrs.

P.S. 522

Existing NAPOT: 4.43 hrs.

Proposed Development: 648 gpd

Proposed Projected NAPOT: 4.43 hrs.

Connection to the sanitary sewer system is subject to the following conditions:

- Adequate transmission and plant capacity exist at the time of the owner's request consistent with policy WS-2 A(2) of the CDMP. Capacity evaluations of the plant for average flow and peak flows will be required. Connection to the COUNTY'S sewage system will be subject to the terms, covenants and conditions set forth in court orders, judgments, consent orders, consent decrees and the like entered into between the COUNTY and the United States, the State of Florida and/or any other governmental entity, including but not limited to, the Consent Order entered on April 9, 2014 in the United States of America, State of Florida and State of Florida Department of Environmental Protection v. Miami-Dade County, Case No. 1:12-cv-24400-FAM, as well as all other current, subsequent or future enforcement and regulatory actions and proceedings.
- Approval of all applicable governmental agencies having jurisdiction over these matters are obtained.

Any public water or sewer infrastructure must be within a public right-of-way, or within a utility easement.

Below please find additional links to the WASD portal, which provides information on the Construction & Development process for water and sewer infrastructure.

<http://www.miamidade.gov/water/construction-development.asp>

<http://www.miamidade.gov/water/construction-service-agreement.asp>

<http://www.miamidade.gov/water/construction-existing-service.asp>

<http://www.miamidade.gov/water/library/forms/service-agreement.pdf>

Should you have any questions, please contact Maria A. Valdes, Chief, Planning & Water Certification Section at (786) 552-8198 or [mavald@miamidade.gov](mailto:mavald@miamidade.gov), Alfredo B. Sanchez at (786) 552-8237 or [sanalf@miamidade.gov](mailto:sanalf@miamidade.gov), or Suyapa Carbajal at (786) 552-8124 or [suyapa.carbajal@miamidade.gov](mailto:suyapa.carbajal@miamidade.gov).

# Memorandum



Date: May 7, 2024

To: Eric Silva, AICP, Assistant Director  
Department of Regulatory and Economic Resources

From: Raul A. Pino, PLS, Chief  
Platting and Traffic Review Section  
Department of Regulatory and Economic Resources

Subject: Z2024000033  
Name: Joma Homes Investment and Management LLC  
Location: Northwest Corner of SW 216 Street and SW 124 Place  
Section 12 Township 56 South Range 39 East

The Department of Regulatory and Economic Resources Platting and Traffic Review Section has reviewed the subject application and has **no objections**.

This land **complies** with Chapter 28 of the Miami-Dade County Code, the property is platted as Lot 11, Plat Book 6, Page 179.

This application meets the traffic concurrency criteria because it lies within a Community Development Block Grant (CDBG)-eligible area where traffic concurrency does not apply. It will generate approximately **109 PM** peak hour vehicle trips.

The request herein, constitutes an Initial Development Order only, and one or more traffic concurrency determinations will subsequently be required before development will be permitted.

Notes: PM =Post Meridiem

The PM peak hour refers to the highest hour of vehicle trips generated during the afternoon peak hours of 4-6 PM

## Standard Conditions:

- A letter or a plan containing the following certification signed and sealed by a State of Florida registered engineer shall be submitted as part of the paving and drainage plans: "I hereby certify that the all of the roads for the subject project comply with all of the applicable portions of the Manual of Uniform Minimum Standards for Design, Construction and Maintenance for Streets and Highways (Florida Greenbook) regarding: design speed, lane widths, horizontal alignment, vertical alignment, stopping sight distance, sight distance, horizontal clearance, vertical clearance, superelevation, shoulder widths, grades, bridge widths, etc."
- All landscaping, walls, fences, entrance features, etc. will be subject to the Safe Sight Distance Triangle as per Section 33-11 of the Miami-Dade County Code and G5.3 of the Public Works and Waste Management Department Manual.

# Memorandum



**Date:** May 22, 2025

**To:** Eric Silva, Assistant Director  
Regulatory and Economic Resources

**From:** Alejandro G Cuello, Principal Planner  
Miami-Dade Fire Rescue Department

**Subject:** Z2023000033

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The Miami-Dade Fire Rescue Department has **no objection** to the site plan uploaded to “EnerGov” on 05/22/2025.

MDFR’s review of this zoning application is limited to assessing fire department access and does not effectuate an approval of the building design. The future building’s design must be in compliance with the applicable requirements for the proposed use:

Florida State Statute Chapter 633 (Fire Prevention & Control)  
Florida Administrative Code 69A  
Florida Fire Prevention Code (NFPA 1 and NFPA 101 (2018 edition))  
Applicable adopted NFPA Standards  
County Code Chapter 14

For additional information, please contact [acuello@miamidade.gov](mailto:acuello@miamidade.gov) or call 305-775-3357.

# Memorandum



**Date:** May 5, 2025

**Subject:** Z2023000033 – Joma Homes Daycare

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## **PROJECT LOCATION**

The proposed development is located on NWC of SW 216 Street and SW 124 Place.

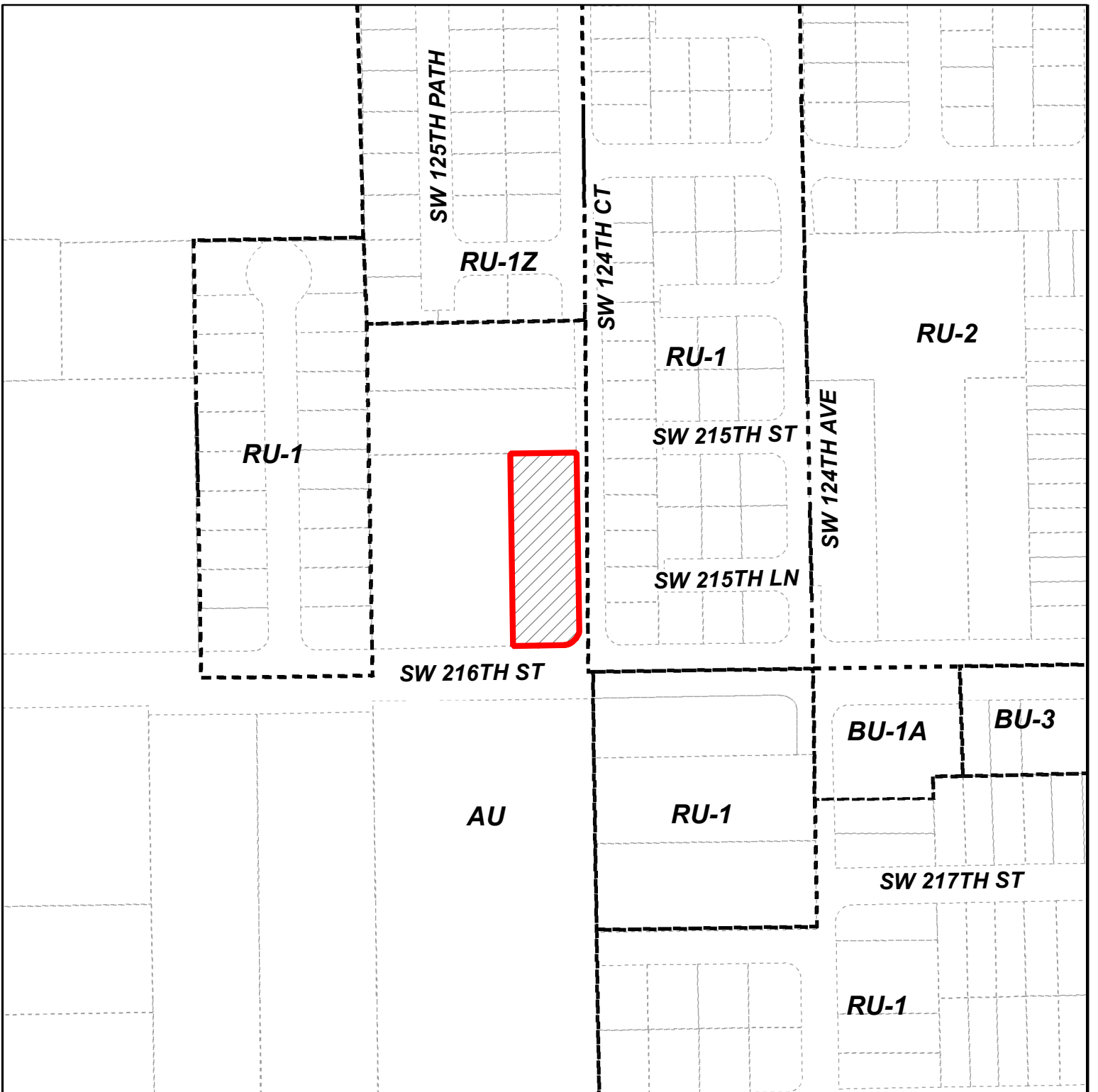
## **COMMENTS/RECOMMENDATION:**

**Miami-Dade County Department of Transportation and Public Works (DTPW) Traffic Engineering Division has reviewed the subject application and has no objections to this application, subject to the following conditions:**

### **CONDITIONS:**

Development of this site requires that the following improvements are performed prior to issuance of the final Certificate of Use/Certificate of Occupancy, whichever applies.

1. The application proposes a daycare facility with a maximum enrollment of 120 children and 9 staff members, with no instructional shifts. If an educational component with instructional shift is proposed, a new traffic review and approval will be required.
2. All exit driveways must comply with clear sight visibility requirements for both pedestrians and vehicular traffic as per FDOT Design Manual, Section 212.11 Clear Sight Triangles.
3. A minimum of 10% of the total number of children must be designated for parents/visitors parking spaces, plus one parking space for each staff member.





**MIAMI-DADE COUNTY**  
**HEARING MAP**

Process Number  
**Z2023000033**



Section: 12 Township: 56 Range: 39  
 Applicant: JOMA HOMES INVESTMENT AND MANAGEMENT LLC  
 Zoning Board: C14  
 Commission District: 9  
 Drafter ID: EDUARDO CESPEDES  
 Scale: NTS

**Legend**

-  Subject Property Case
-  Zoning




REVISION	DATE	BY



**MIAMI-DADE COUNTY**  
**AERIAL YEAR 2021**

**Process Number**  
**Z2023000033**

**Legend**  
 Subject Property



**Section: 12 Township: 56 Range: 39**  
**Applicant: JOMA HOMES INVESTMENT AND MANAGEMENT LLC**  
**Zoning Board: C14**  
**Commission District: 9**  
**Drafter ID: EDUARDO CESPEDES**  
**Scale: NTS**



SKETCH CREATED ON: Friday, March 3, 2023

REVISION	DATE	BY






**MIAMI-DADE COUNTY**  
**RADIUS MAP**

Section: 12 Township: 56 Range: 39  
 Applicant: JOMA HOMES INVESTMENT AND MANAGEMENT LLC  
 Zoning Board: C14  
 Commission District: 9  
 Drafter ID: EDUARDO CESPEDES  
 Scale: NTS

Process Number  
**Z2023000033**  
 RADIUS: 2640

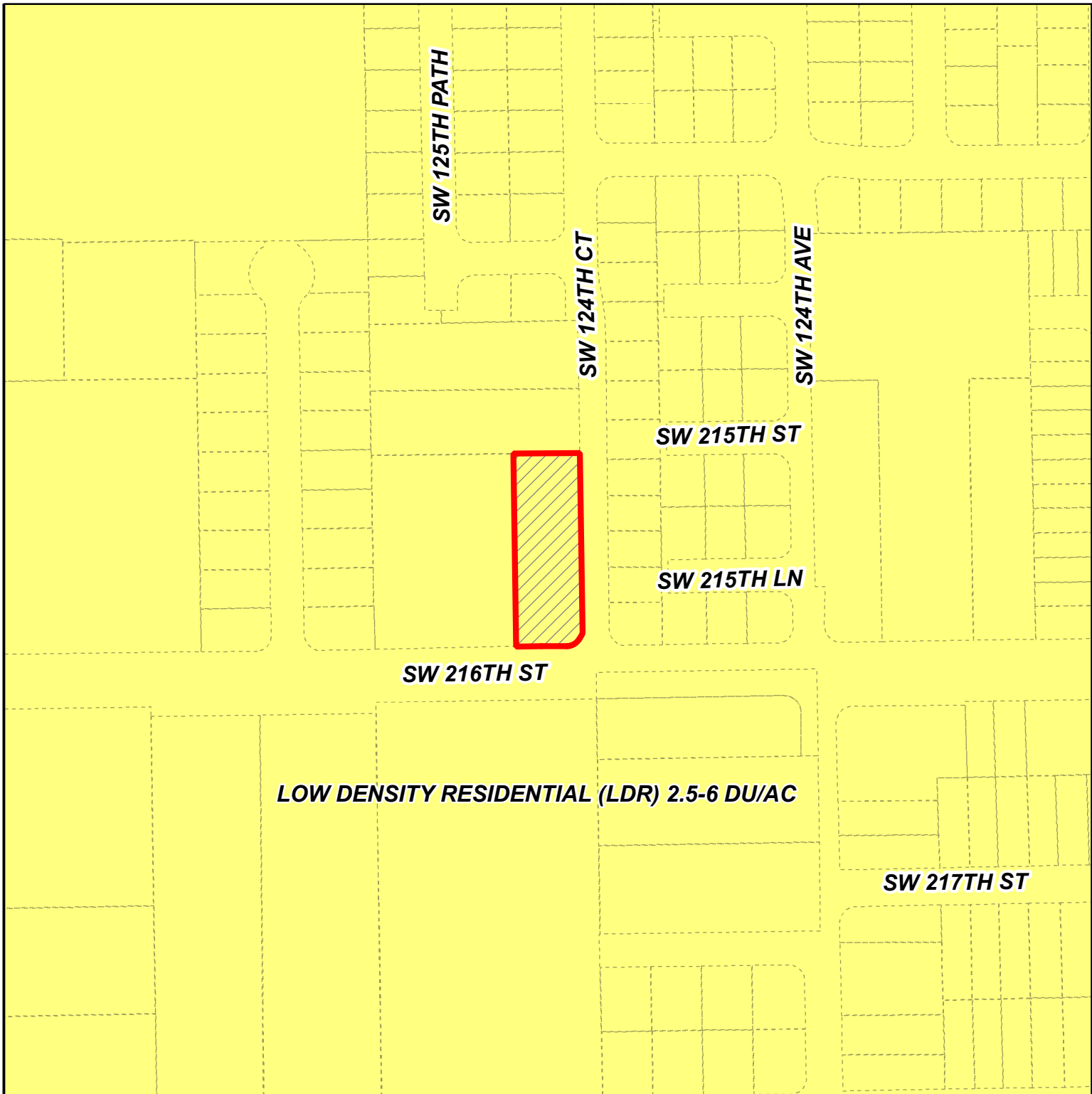
**Legend**

-  Subject Property
-  Buffer
-  Property Boundaries



SKETCH CREATED ON: Friday, March 3, 2023

REVISION	DATE	BY



**MIAMI-DADE COUNTY**

**CDMP MAP**

Process Number

**Z2023000033**

Section: 12 Township: 56 Range: 39

Applicant: JOMA HOMES INVESTMENT AND MANAGEMENT LLC

Zoning Board: C14

Commission District: 9

Drafter ID: EDUARDO CESPEDES

Scale: NTS

**Legend**



Subject Property Case



SKETCH CREATED ON: Friday, March 3, 2023

REVISION	DATE	BY

RECEIVED

MIAMI-DADE COUNTY  
PROCESS NO.: Z23-033  
DATE: JULY 16, 2025  
BY: EA

Child Care Check List for

Day Nursery, Day Care Center, Kindergarten and Private School

School Name: Joma Homes Day Care

School Address: NW corner of SW 124 Place and SW 216 Street Tax Folio #30 - 69120060030

1. Is this an expansion to an existing school  Yes  No If yes, indicated the number of students: \_\_\_\_\_ and age and grade ranges originally approved: \_\_\_\_\_.
2. Total size of site: \_\_\_\_\_ x \_\_\_\_\_ = \_\_\_\_\_ + 43,560 sq. ft. = 0.62 acres
3. Number of children or students requested: 120 Ages: 1-4 years
4. Number of teachers: 6 Number of administrative & clerical personnel: 3
5. Number of classrooms: 6 Total square footage of classroom area: 4,380 SF
6. Total square footage of non-classroom area (offices, bathrooms, kitchens, closets):  
2,098 SF
7. Amount of outdoor recreation/play area in square footage: 2,722 SF

NOTE: Location requirement for outdoor recreation/play areas must conform to §33-151.18(j)

8. Number & type of vehicle(s) that will be used in conjunction with the operation of the facility:  
0
9. Number of parking spaces provided for staff, visitors and transportation vehicles: parking spaces provided 21 parking spaces required by §33-124(L) 21
10. Indicate the number of auto stacking spaces: 5 provided 5 required.
11. Proposed height for the structure(s): 17 FT See §33-151.18(g).
12. Size of identification sign: \_\_\_\_\_ x \_\_\_\_\_ = N/A sq. ft. See §33-151.18(c).  
Signage will require a separate permit. Contact the Permit Section at (786) 315-2100.
13. Days and hours of operation: 6:30 AM to 6 PM, Monday to Friday.
14. Does the subject facility share the site with other facilities:  Yes  No. (If yes, the space which will be used solely for the school facility during the hours of operation must be indicated on the plans, pursuant to §33-151.16).
15. If the school will include residential uses, do such uses meet the standards provided in §33-151.17?  
 Yes  No (If yes, describe the residential uses and indicate same on the plans).

PHYSICAL STANDARDS: OUTDOOR RECREATION SPACE AND CLASSROOM SPACE MUST BE CALCULATED IN TERMS OF THE MAXIMUM NUMBER OF CHILDREN IN ATTENDANCE AT ANY ONE TIME.

The following information will determine the maximum number of children permitted at the facility. WHEN GRADE LEVELS OVERLAP, THE MORE RESTRICTIVE SHALL BE USED.

CLASSROOM SPACE: Calculated by grade levels.

a. Day Nursery/Kindergarten, preschool and after-school care

$$35 \text{ sq. ft.} \times \underline{120} \text{ (number of children)} = \underline{4,200} \text{ sq. ft. of classroom area required.}$$

b. Elementary Grades 1-6

$$30 \text{ sq. ft.} \times \underline{N/A} \text{ (number of children)} = \underline{\hspace{2cm}} \text{ sq. ft. of classroom area required.}$$

c. Junior High and Senior High Schools (Grades 7-12)

$$25 \text{ sq. ft.} \times \underline{N/A} \text{ (number of children)} = \underline{\hspace{2cm}} \text{ sq. ft. of classroom area required.}$$

**TOTAL SQUARE FOOTAGE OF CLASSROOM AREA REQUIRED:** 4,200 SF  
**TOTAL SQUARE FOOTAGE OF CLASSROOM AREA PROVIDED:** 4,380 SF

OUTDOOR RECREATION SPACE:

a. Day Nursery/Kindergarten, preschool and after-school care

$$45 \text{ sq. ft.} \times \underline{60} \text{ (}\frac{1}{2}\text{ of children)} = \underline{2,700}$$

b. Grades 1-6 500 sq. ft. x  $\underline{0}$  (first 30 children) =                     

300 sq. ft. x  $\underline{0}$  (remaining children) =                     

c. Grades 7-12 800 sq. ft. x  $\underline{0}$  (first 30 children) =                     

300 sq. ft. x  $\underline{0}$  (next 300 children) =                     

150 sq. ft. x  $\underline{0}$  (remaining children) =                     

**TOTAL SQUARE FOOTAGE OF OUTDOOR RECREATION SPACE REQUIRED:** 2,700  
**TOTAL SQUARE FOOTAGE OF OUTDOOR RECREATION SPACE PROVIDED:** 2,722

TREES: See §33-151.18(g), and the Planning Division (12<sup>th</sup> Floor) for additional requirements.

a. 28 trees are required per net acre. Trees required: 18 Trees provided: 18

b. Ten shrubs are required for each tree required. Shrubs required 290 Shrubs provided 290

c. Grass area for organized sports/play area in square feet: 2,304

d. Lawn area in square feet (exclusive of organized sports/play area): 2,764

School Address: NW corner of SW 124 Place and SW 216 Street Zip Code: 33177

THE INFORMATION ABOVE IS COMPLETE AND IS CORRECT TO THE BEST OF MY KNOWLEDGE.

Signed, witnessed, executed and acknowledged on this 7 day of APRIL, 2025.

**WITNESSES:**

Maria del e Gonzalez  
Signature

maria del e Gonzalez  
Print Name

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Print Name

[Signature]  
Signature

JOSE M. GONZALEZ  
Print Name

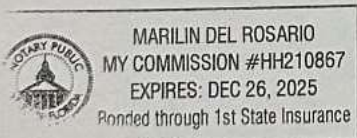
Address: 14137 SW 168 LN  
MIAMI FLA. 33177

**STATE OF FLORIDA  
COUNTY OF MIAMI-DADE**

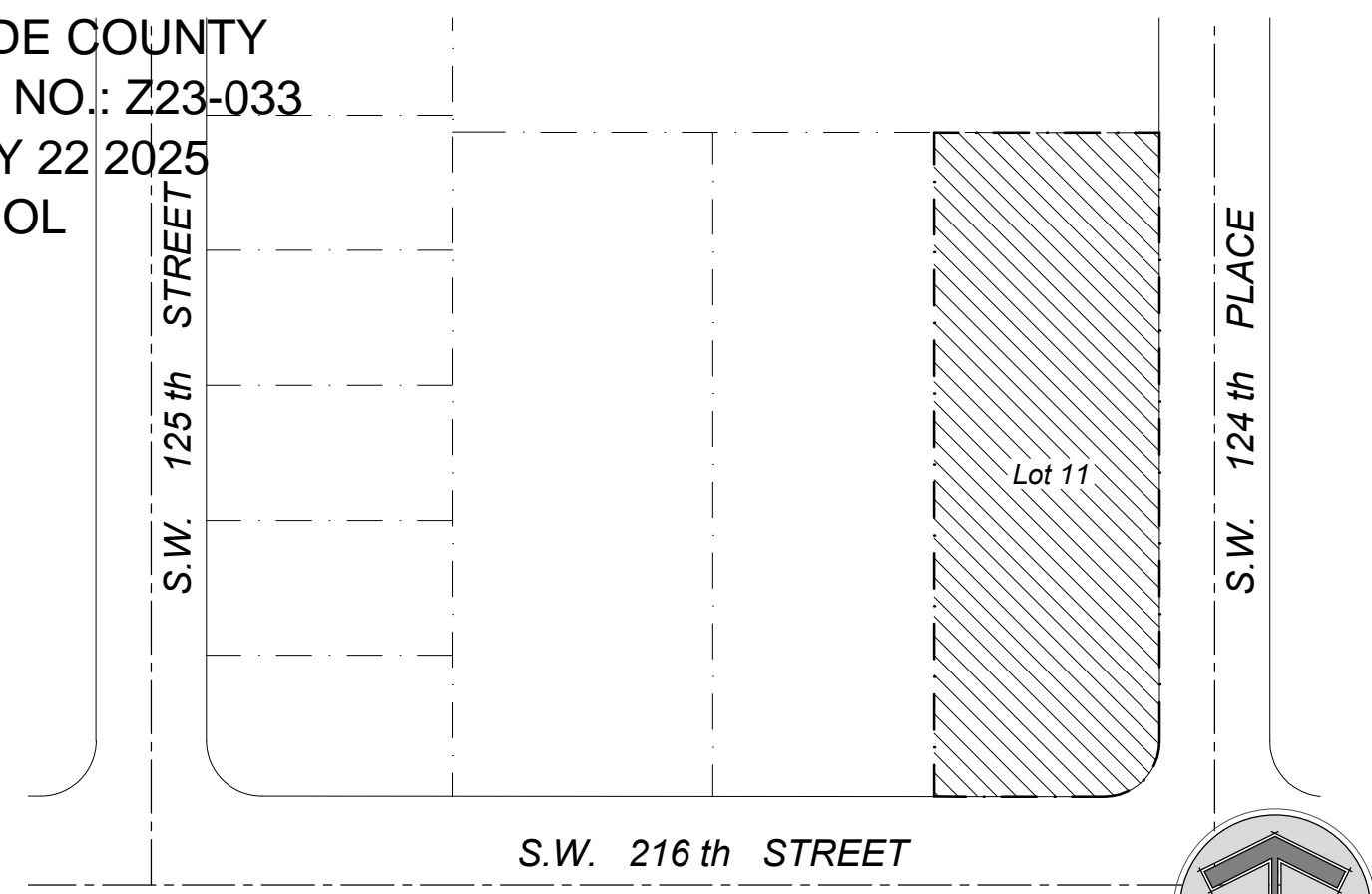
The foregoing instrument was acknowledged before me by JOSE M. GONZALEZ who is personally known to me or has produced \_\_\_\_\_, as identification.

Witness my signature and official seal this 7 day of April, 2025, in the County and State aforesaid.

Florida  
Notary Public-State of Miami-Dade  
Marilyn Del Rosario  
Print Name



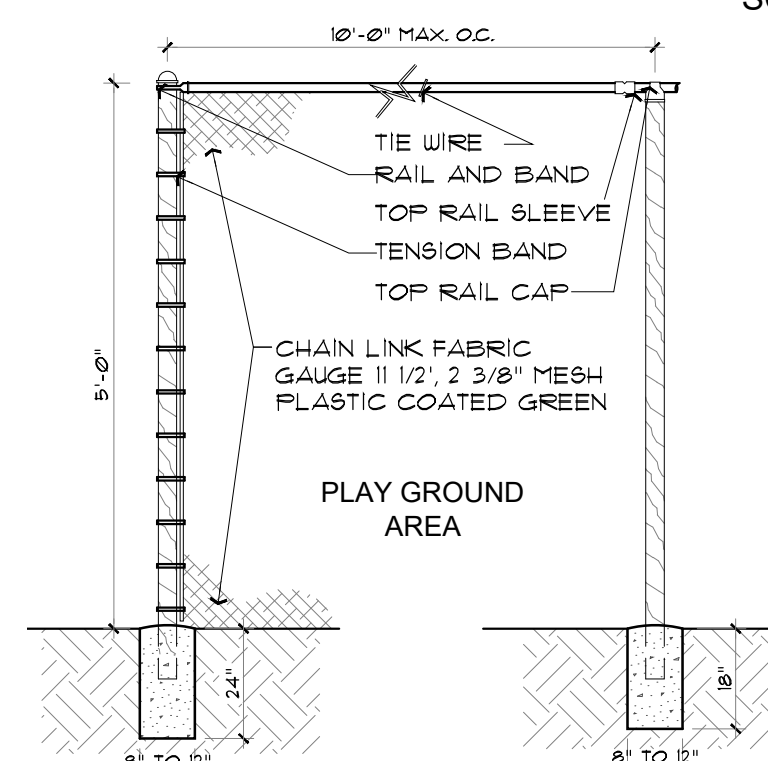
My Commission Expires: DEC 26, 2025



LOCATION MAP

SCALE: N.T.S.

NORTH



CHAIN LINK FENCE DTL.

(@ PLAY GROUND AREA) N.T.S.

ZONING LEGEND		
EXISTING ZONING: AU	PROPOSED ZONING: RU-1	
PROPOSED LAND USE: PRIVATE EDUCATIONAL FACILITIES - DAY NURSERY	HEIGHT (TO HIGHEST ROOF PARAPET) 16'-10" A.F.F. (17'-10" A.F.G.)	
NET LOT AREA	26,798 S.F. (0.62 ACRE)	
LOT COVERAGE	ALLOWED	PROPOSED
EVERYTHING UNDER ROOF	10,719 S.F. 40%	7,096 S.F. 26.5%
SETBACKS		
FRONT (W/ SW 216th STREET)	25'-0"	137'-0"
INTERIOR SIDE (W/ LOT-12 - AGRICULTURAL)	50'-0"	14'-11 1/2"
STREET SIDE (W/ SW 124th PLACE)	15'-0"	17'-0"
REAR (W/ LOT-10 - AGRICULTURAL)	50'-0"	35'-10"
PARKING REQUIREMENTS		
STAFF PARKING - 9 (9 STAFF)	14 (REQUIRED BY ZONING)	21 (PROVIDED)
5 STACKING = 5 PARKING		
STAFF PARKING: 9 (9 STAFF)	21 (REQUIRED BY DTPW)	
PARENTS/VISITORS: 12 (10% x 120 CHILD)		
HANDICAPPED PARKING - 17' x 18'	(1)	(1)
REGULAR PARKING - 8'-6" x 18'	--	(20)

### LEGAL DESCRIPTION

LOT 11:  
 LOT-11, LESS THE SOUTH 25.00 FEET, OF 'AUGUSTUS PARK ADDITION TO GOULD', ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6 AT PAGE 179, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

PROPERTY ADDRESS:  
 SW 216th STREET AND 124th PLACE, MIAMI, FLORIDA, 33170.  
 FOLIO NUMBER: 30-6912-006-0030

### PLAYGROUND AREA CALCULATION

FLORIDA STATUTES SECTION 402.26-402.319.  
 45 S.F./CHILD (HALF OF 120 MAX. NUMBER OF CHILDREN)

60 CHILD x 45 S.F. =	2,700 SQ.FT.	REQUIRED	2,722 SQ.FT.	PROPOSED
<small>(UNCOVERED: 2,384 SF + COVERED: 418 SF) FOR MORE INFO SEE POLYLINE PLAN @ SHEET A-1</small>				

### PLAYGROUND OCCUPANT LOAD

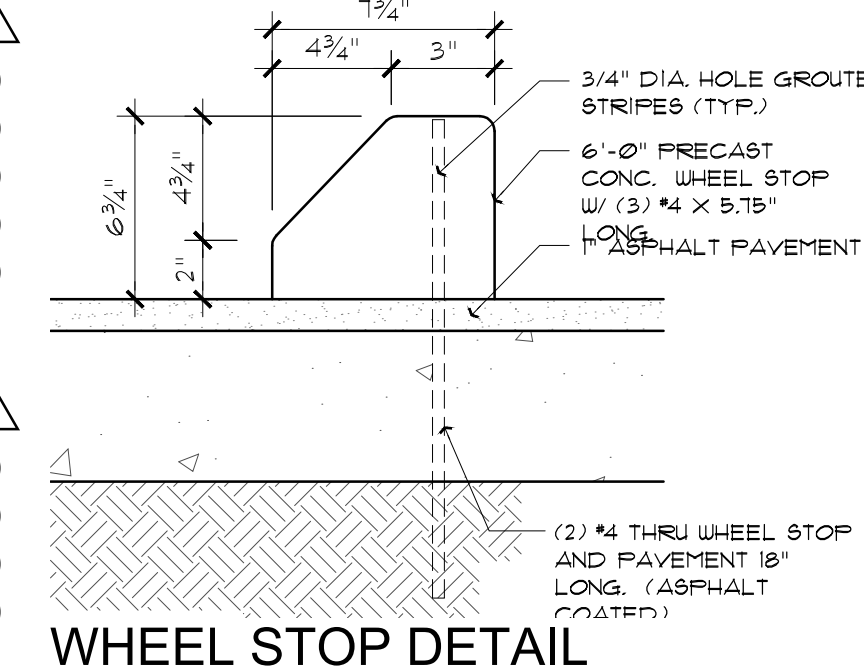
AS PER NFPA 101: 15 SQ.FT./ PERSON  
 (PLAYGROUND PROPOSED AREA: 2,722 S.F.)  
 2,722 S.F. / 15 S.F. = 181 OCCUPANTS MAXIMUM

### NOTES

- FOR TRASH COLLECTION TRUCK MANEUVERING WHEEL PATH SEE CIVIL PLANS SHEET C-3
- FOR FIRE TRUCK MANEUVERING WHEEL PATH SEE CIVIL PLANS SHEET C-3
- FOR VISIBILITY TRIANGLE MORE INFO SEE CIVIL PLANS SHEET C-2

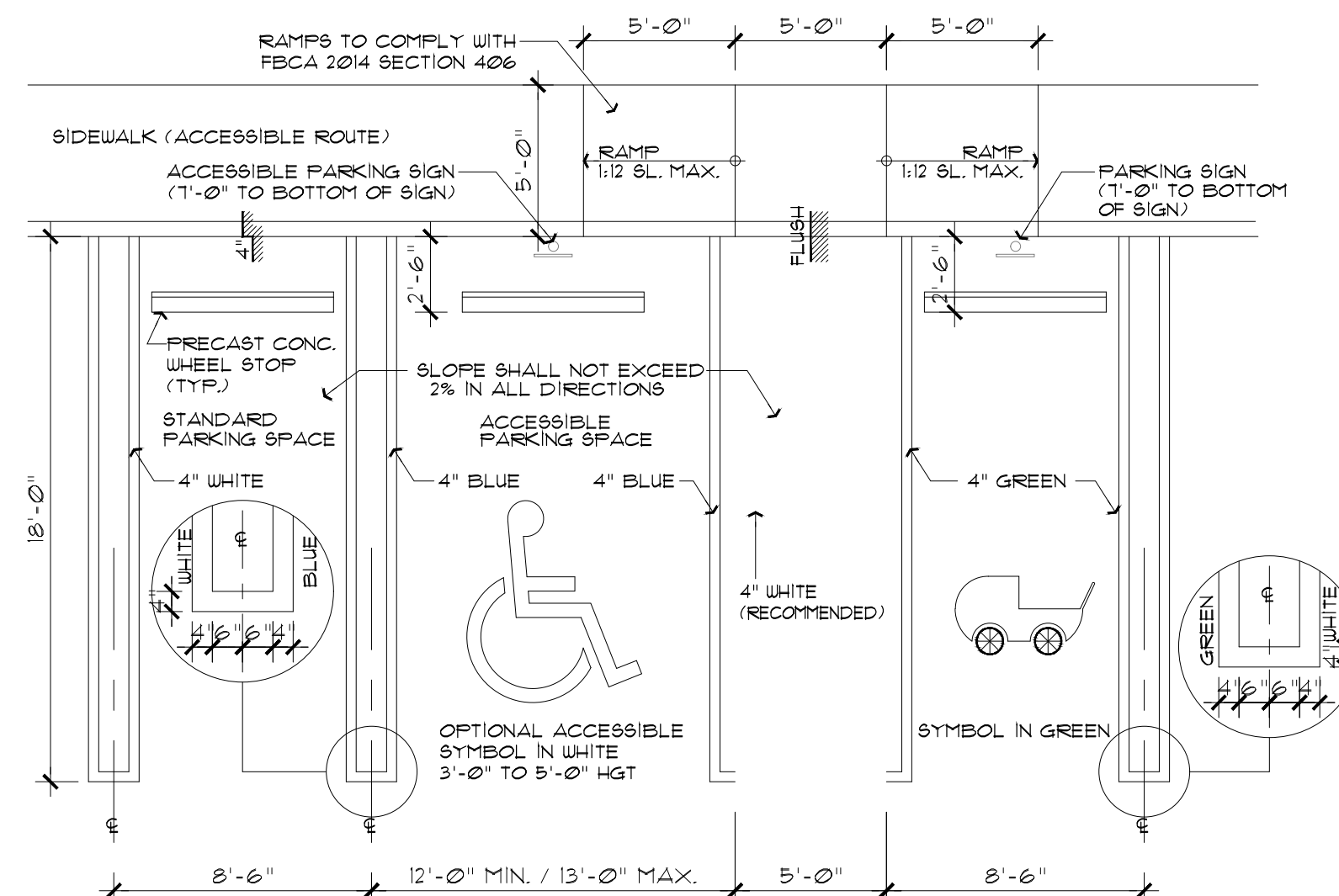
### NOTES

- ADDITIONAL VARIANCES WILL BE REQUESTED FOR:
- INTERIOR SIDE SETBACK
  - REAR SETBACK
  - SETBACK FROM PROPERTY TO PARKING SPACE ALONG SW 216TH STREET (THROAT DISTANCE)



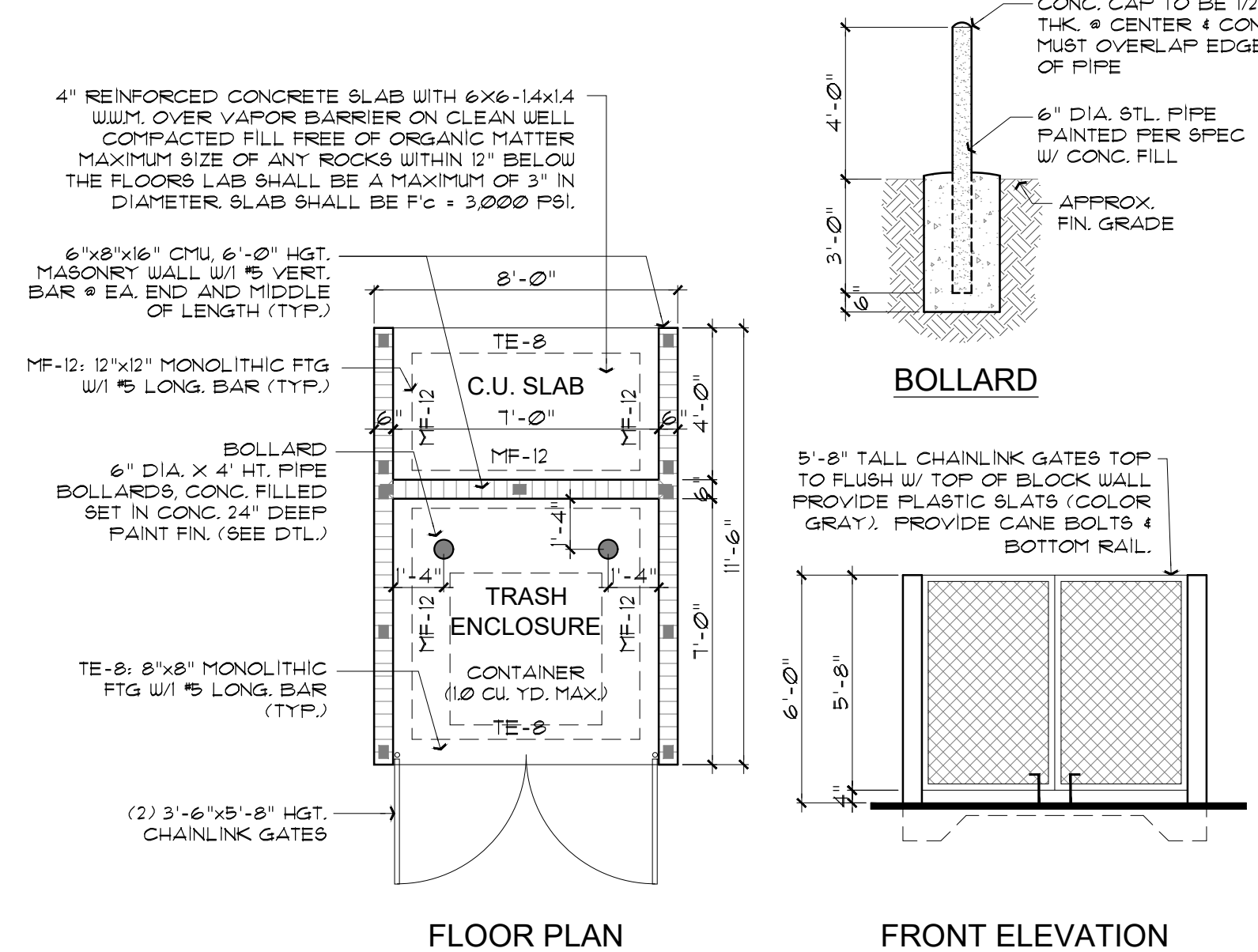
WHEEL STOP DETAIL

SCALE: N.T.S.



STANDARD AND ACCESSIBLE PARKING SPACE FOR MIAMI-DADE COUNTY

SCALE: N.T.S.

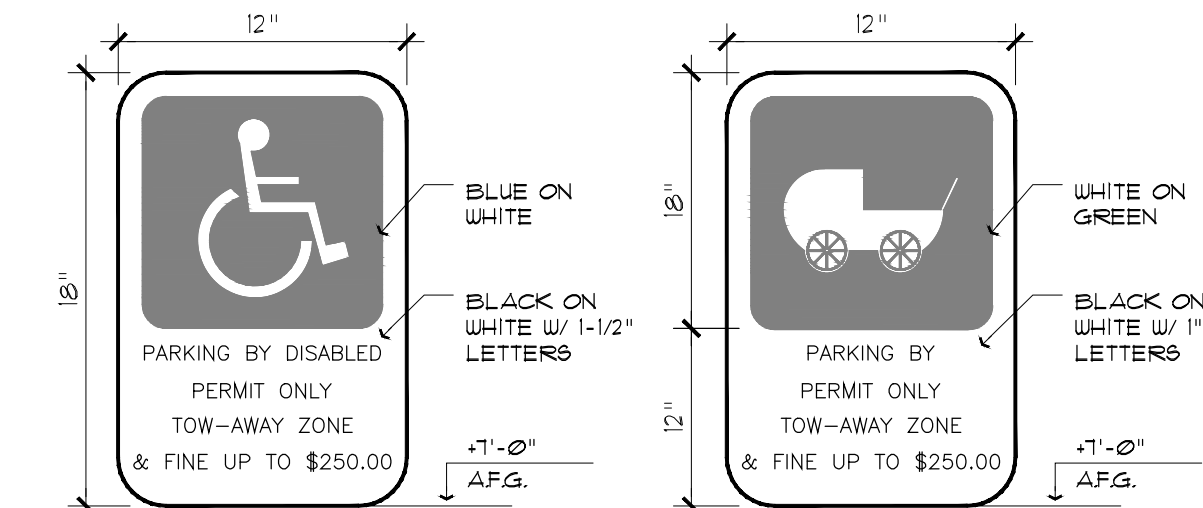


FLOOR PLAN

FRONT ELEVATION

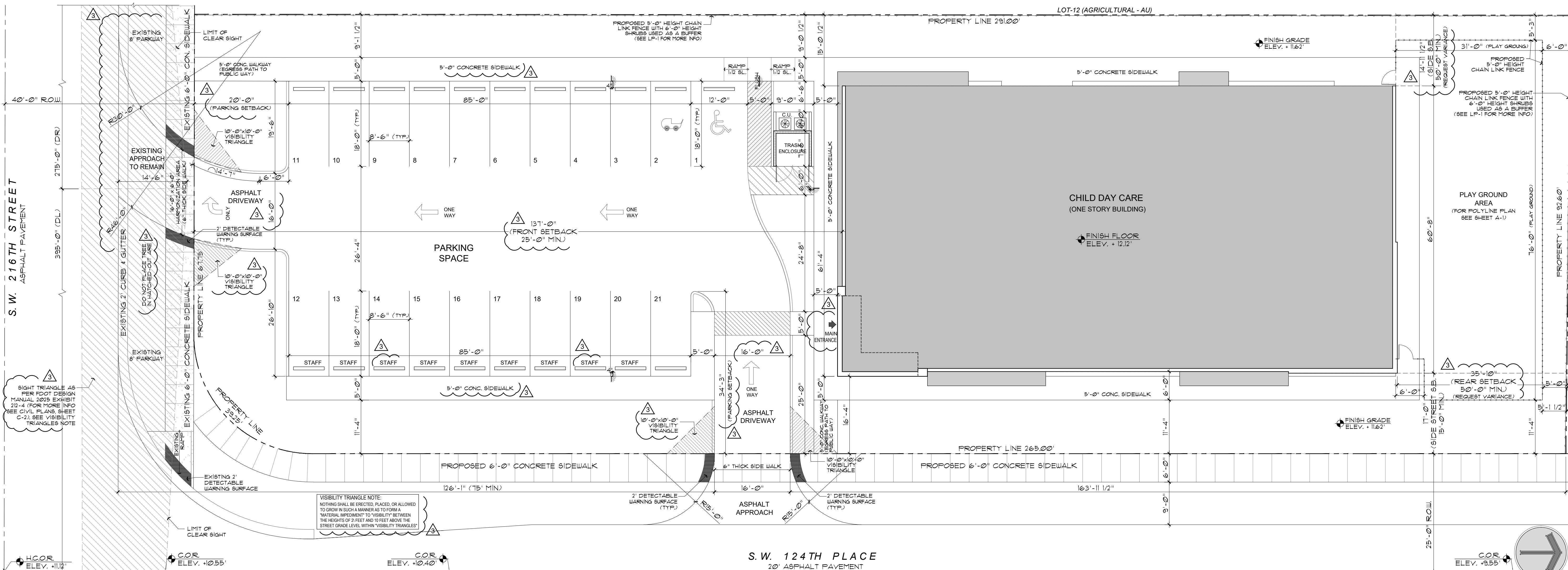
TRASH ENCLOSURE DETAIL

SCALE: 1/4"=1'-0"



PARKING SIGN DETAIL

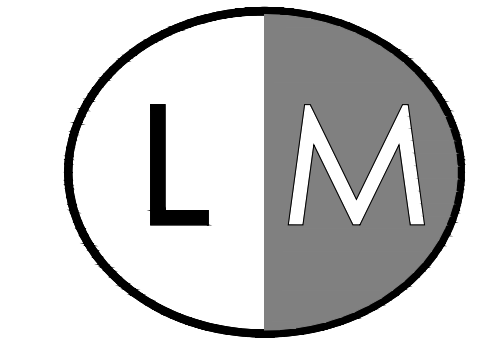
SCALE: N.T.S.



SITE PLAN

SCALE: 3/32"=1'-0"

NORTH

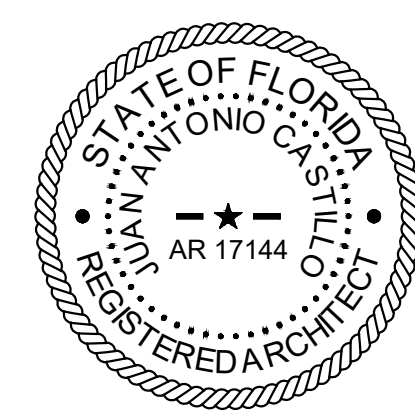


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 DESIGN GROUP

Architecture · Planning

9415 Southwest 72nd Street  
 Suite #282  
 Miami, Florida 33173  
 305.733.5833

CHILD DAY CARE  
 Joma Homes Investment & Management, LLC  
 Southwest 216th Street and 124th Place  
 Miami, Florida 33177

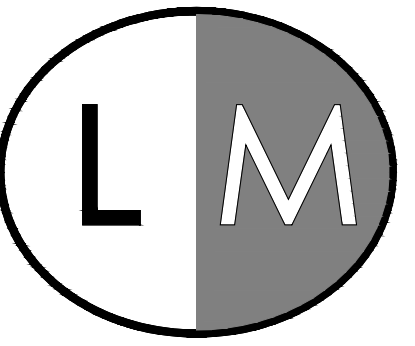


Revisions:

No.	Date	Dept/Section	By
1			
2			
3	02.05.25	BDC	MRR
4			
5			
6			

Date: 08.30.21  
 Scale: As Shown  
 Job No: 21-1237  
 Drawn by: M.R.R.  
 Checked by: H.O.A.

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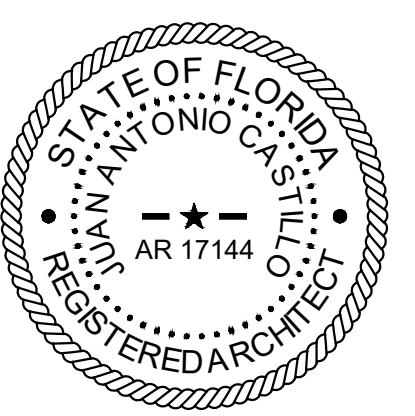


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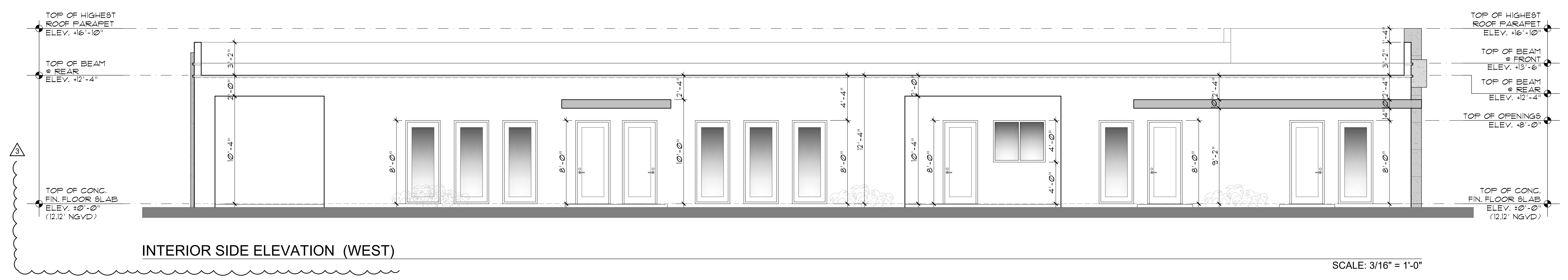
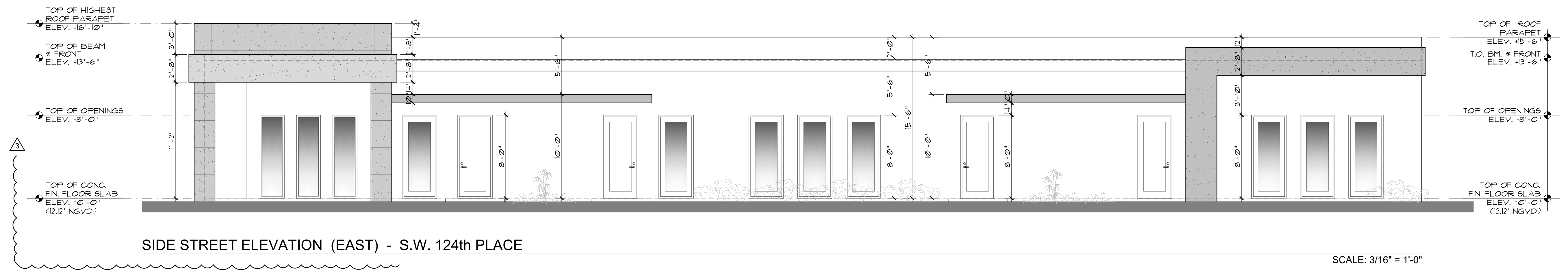
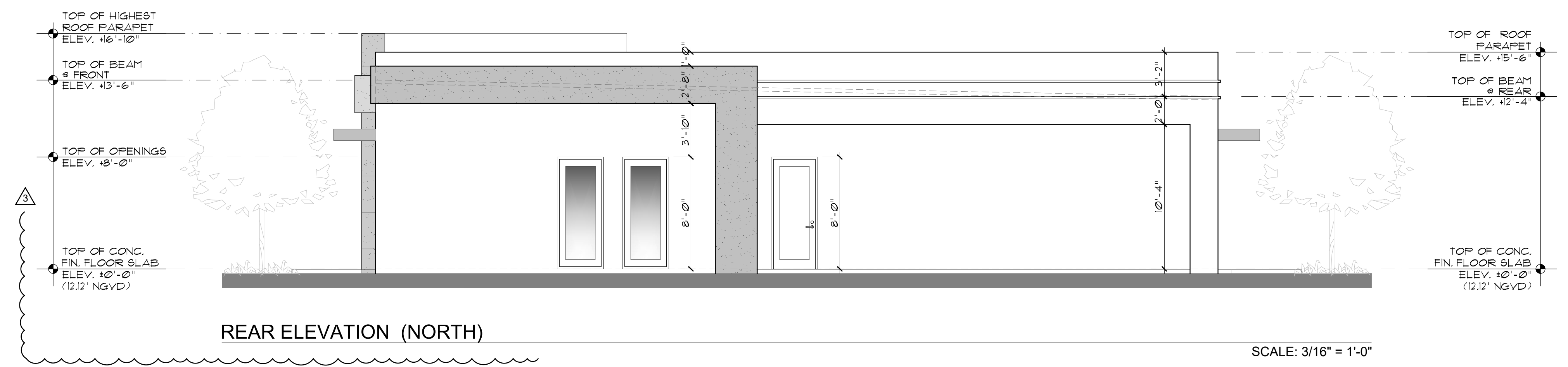
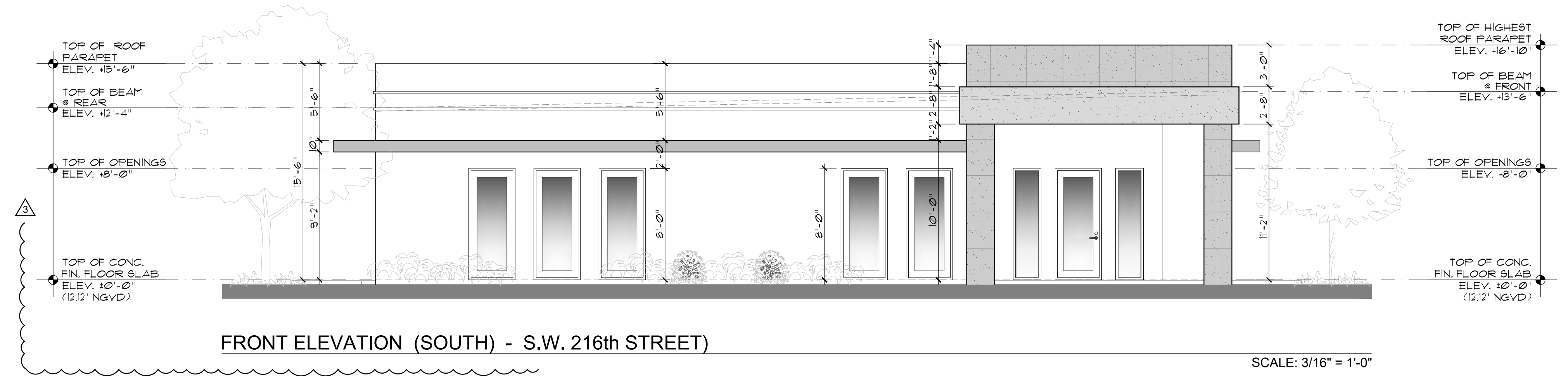
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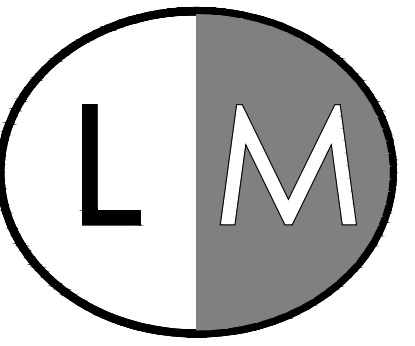
Revisions:

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2			
3	02.05.25	BDC	MRR
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Date: 08.30.21  
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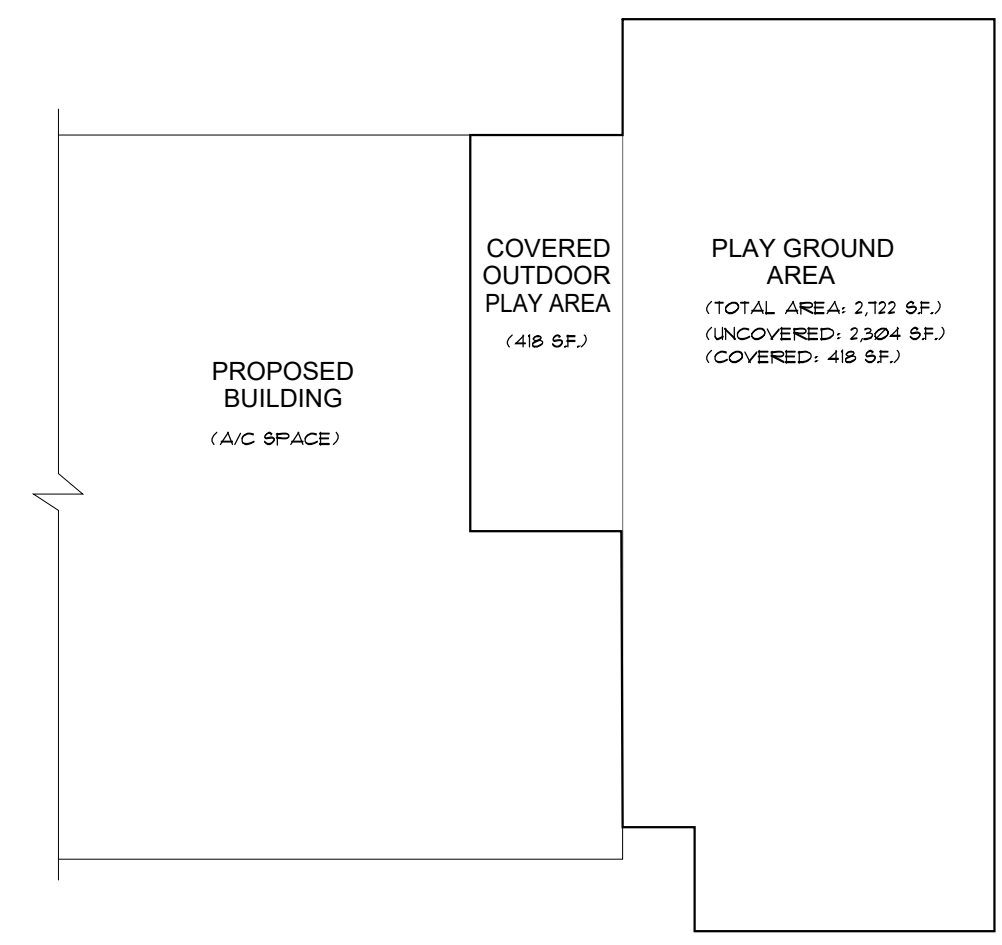
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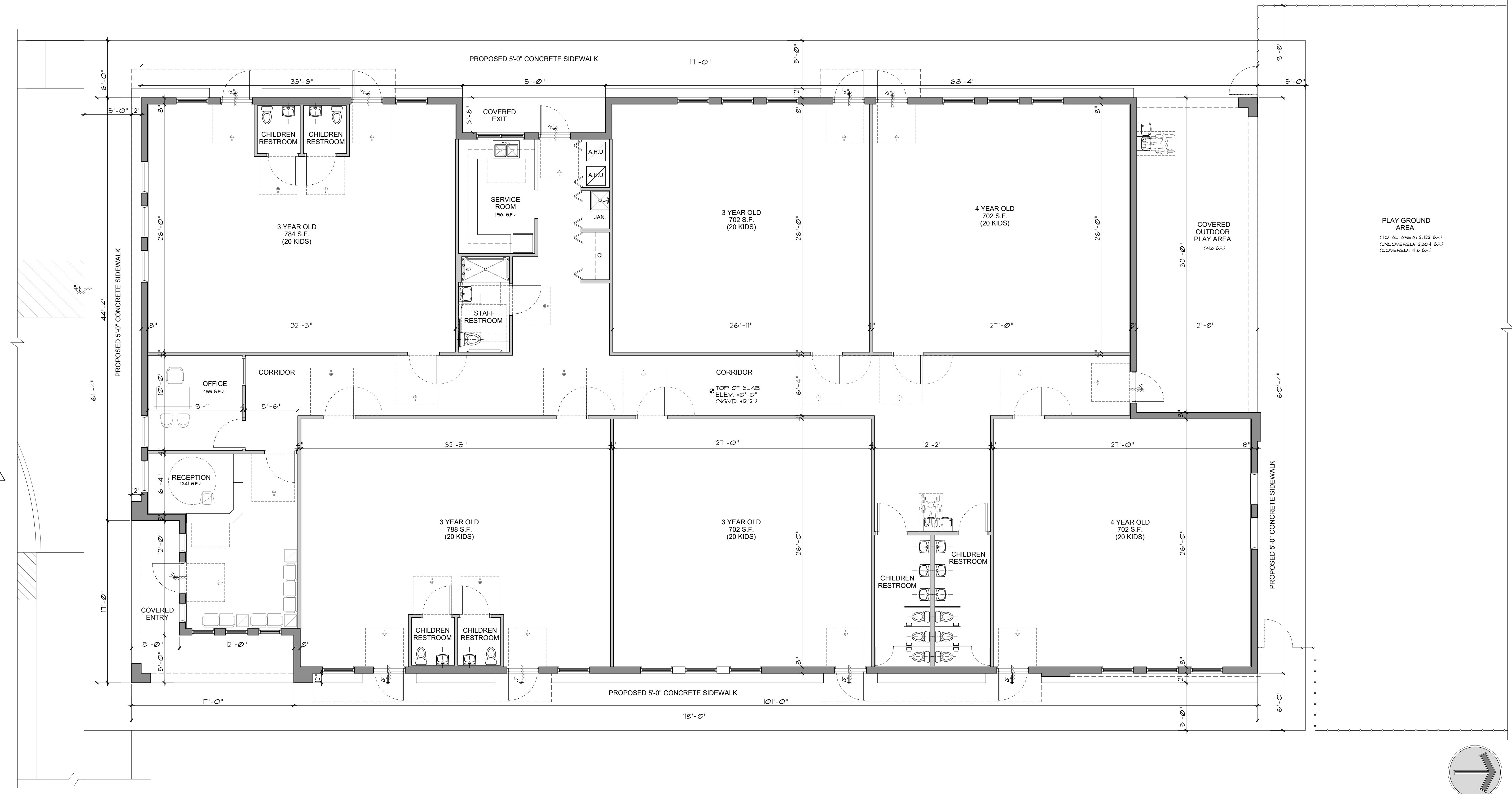
AREA TABULATION	
<b>PROPOSED 1 STORY DAYCARE BUILDING</b>	
CLASSROOM (NET AREA):	4,380.00 S.F.
OFFICE AREA:	109.00 S.F.
RECEPTION:	271.00 S.F.
SERVICE ROOM:	96.00 S.F.
RESTROOMS, JANITOR SPACE, CLOSETS & CORRIDOR:	1,622.00 S.F.
A/C SPACE (INDOOR AREA):	6,478.00 S.F.
COVERED ENTRY:	145.00 S.F.
COVERED OUTDOOR PLAY AREA:	418.00 S.F.
COVERED EXIT:	55.00 S.F.
<b>TOTAL AREA:</b>	<b>7,096.00 S.F.</b>

CLASSROOM AREAS		
CLASSROOM DESCRIPTION	TOTAL AREA	TOTAL KIDS
(4) CLASSROOM 3 YEARS OLD (20 KIDS):	2,976.00 S.F.	80 KIDS
(2) CLASSROOM 4 YEARS OLD (20 KIDS):	1,404.00 S.F.	40 KIDS
<b>TOTALS:</b>	<b>4,380.00 S.F.</b>	<b>120 KIDS</b>

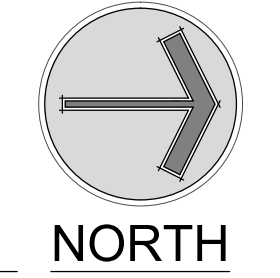
STAFF CALCULATION		
(4) CLASSROOM 3 YEARS OLD (1 TEACHER):		4
(2) CLASSROOM 4 YEARS OLD (1 TEACHER):		2
ADMINISTRATIVE STAFF:		3
<b>TOTALS STAFF:</b>		<b>9</b>



RECREATIONAL AREA  
 POLYLINE PLAN  
 SCALE: N.T.S.



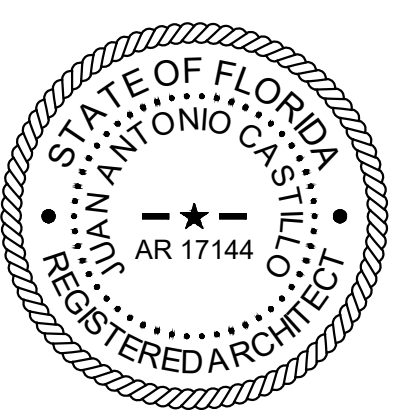
FLOOR PLAN



SCALE: 3/16" = 1'-0"

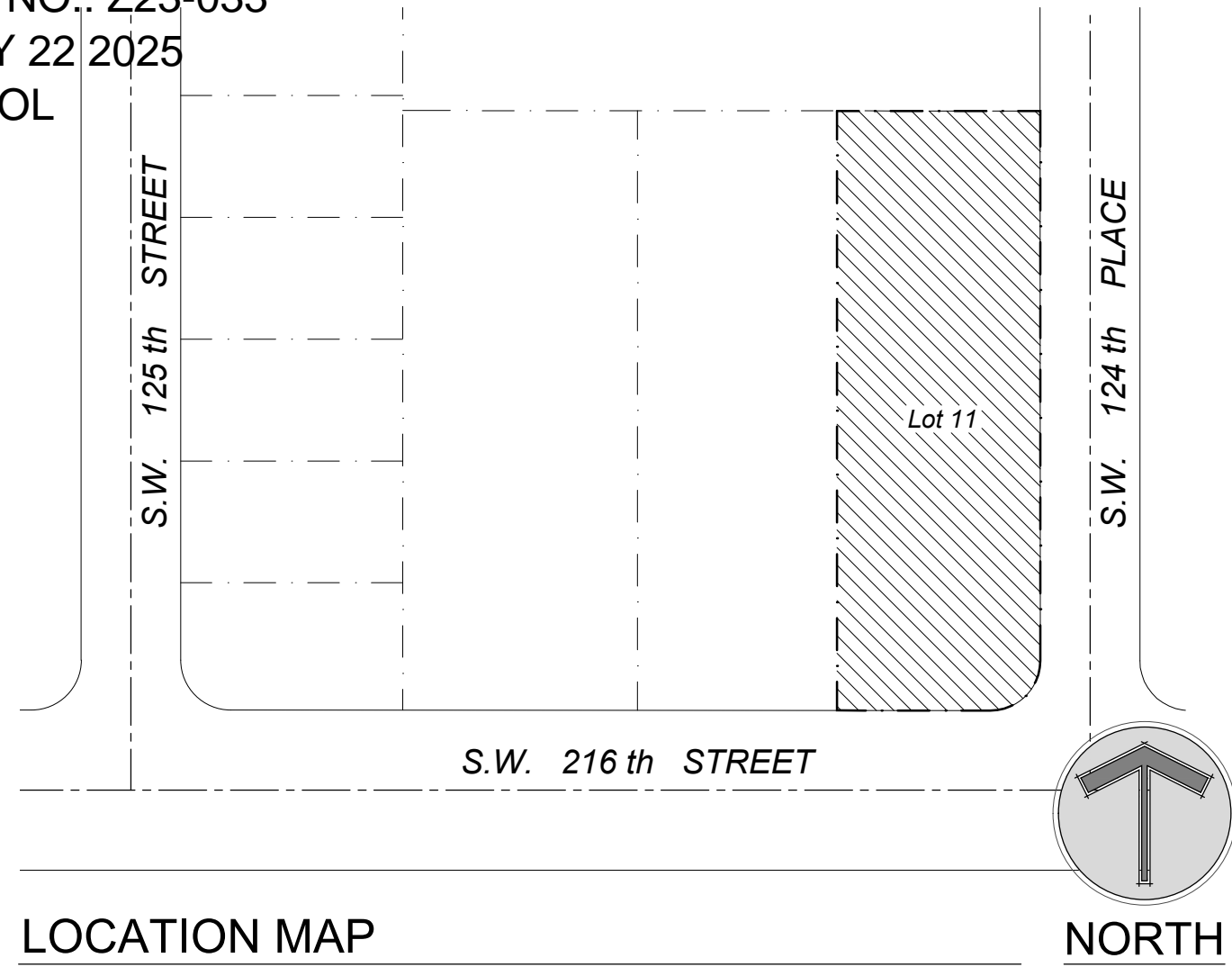
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**CHILD DAY CARE**  
 Joma Homes Investment & Management, LLC  
 Southwest 216th Street and 124th Place  
 Miami, Florida 33177



Revisions:			
No.	Date	Dept/Section	By
1			
2			
3	02.05.25	BDC	M.R.R.
4			
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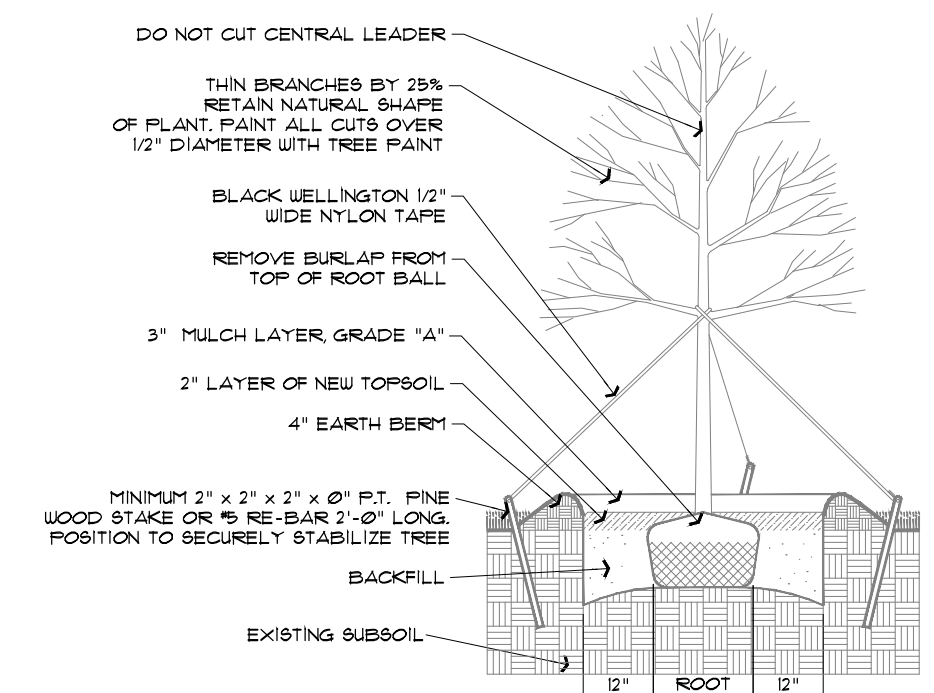


LANDSCAPE LEGEND (CHAPTER 18A)		
EXISTING ZONING DISTRICT: AU PROPOSED ZONING: RU-1		
PROPOSED LAND USE: PRIVATE EDUCATIONAL FACILITIES - DAY NURSERY		
NET LOT AREA: 26,798 S.F. / 0.62 ACRE		
OPEN SPACE	REQUIRED	PROVIDED
A. SQUARE FEET OF OPEN SPACE REQUIRED BY CHAPTER 33, AS INDICATED ON SITE PLAN: NET LOT AREA = 26,798 SF x 25% = 6,700 SF	6,700 SF	13,872 SF
B. SQUARE FEET OF PARKING LOT OPEN SPACE REQUIRED BY CHAPTER 18A, AS INDICATED ON SITE PLAN: NO. OF PARKING SPACE: 21 x 10 SF PER PARKING SPACE.	210 SF	210 SF
C. TOTAL SQUARE FEET OF LANDSCAPED OPEN SPACE REQUIRED BY CHAPTER 33 = A + B	6,910 SF	14,082 SF
LAWN AREA CALCULATION		
A. TOTAL SQUARE FEET OF LANDSCAPED OPEN SPACE REQUIRED BY CHAPTER 33 =	6,910 SF	
B. MAXIMUM LAWN AREA (St. Augustine sod) PERMITTED = 40% x 6,910 SF	2,764 SF	2,764 SF
TREES	REQUIRED	PROVIDED
A. THE NUMBER OF TREES REQUIRED PER NET LOT ACRE = 28 TREES x NET LOT ACRE 0.62 ACRE =	18	18
B. 30% PALM TREE ALLOWED (TWO PALMS = ONE TREE) PALMS PROVIDED = 0	5	0
C. PERCENTAGE OF NATIVE TREES REQUIRED = THE NUMBER OF TREE PROVIDED x 30% =	5	18
D. STREET TREES (MAX. AVERAGE SPACING OF 35' O.C.): 372' LINEAR FEET ALONG STREET x 35' =	11	11
E. STREET TREES LOCATED DIRECTLY BENEATH POWER LINES (MAX. AVERAGE SPACING OF 25' O.C.): _____ LINEAR FEET ALONG STREET x 25' =	N/A	N/A
F. TOTAL NUMBER OF TREES PROVIDED	29	29
SHRUBS	REQUIRED	PROVIDED
A. THE NUMBER OF TREES REQUIRED x 10 = THE NUMBERS OF SHRUBS REQUIRED	290	290
B. THE NUMBER OF SHRUBS REQUIRED x 30% = THE NUMBER OF NATIVE SHRUBS REQUIRED	87	290
IRRIGATION PLAN		
REQUIRED BY CHAPTER 33. AUTO IRRIGATION <input checked="" type="checkbox"/> OR HOSE BIB <input type="checkbox"/> PROVIDED		

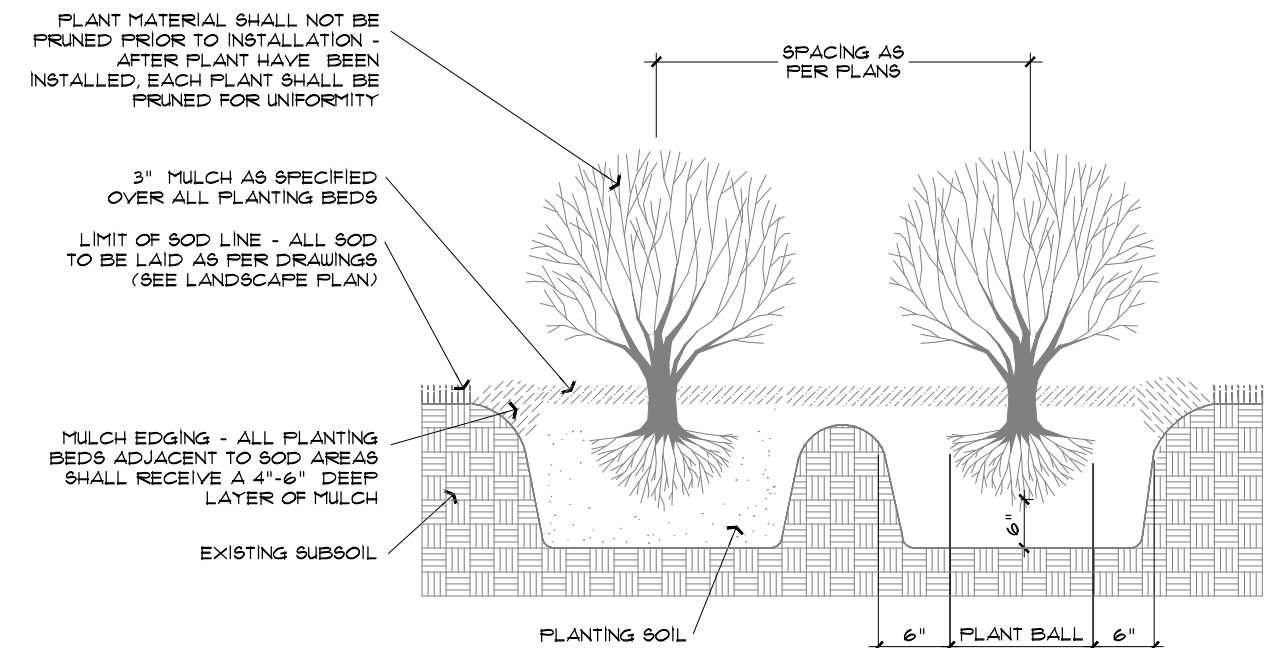
PLANT SCHEDULE							
SYMB.	QTY.	NEW	BOTANICAL NAME	COMMON NAME	NATIVE	MIN. @ PLANTING TIME	CAL. (MIN.)
TREES							
(A)	6	YES	CONOCARPUS ERECTUS	BUTTONWOOD	YES	14' HGT. X 5' SPRD. MIN.	4"
(B)	6	YES	BURSERA SIMARUBA	GUMBO LIMBO	YES	14' HGT. X 5' SPRD. MIN.	4"
(C)	7	YES	QUERCUS VIRGINIANA	LIVE OAK	YES	14' HGT. X 5' SPRD. MIN.	4"
SHRUBS							
(E)	56	YES	FICUS MICROCARPA	GREEN ISLAND FICUS	YES	18" MIN - 24" MAX. HGT.	18" MIN
(F)	56	YES	LANTANA OVATIFOLIA VAR. RECLINATA	GOLD LANTANA	YES	18" MIN - 24" MAX. SPRD.	18" MIN
(G)	50	YES	NEOMARICA COERULEA	MARICA IRIS	YES	18" MIN - 24" MAX. HGT.	18" MIN

BUFFERS SCREENING - PLANT SCHEDULE							
SYMB.	QTY.	NEW	BOTANICAL NAME	COMMON NAME	NATIVE	MIN. @ PLANTING TIME	CAL. (MIN.)
TREES							
(D)	10	YES	CORDIA SEBESTENA	ORANGE GEIGER	YES	12' HGT. X 5' SPRD. MIN. @ 35' MAX. (O.C.)	2"
SHRUBS							
(H)	128	YES	SCHEFFLERA ARBORICOLA	DWARF SCHEFFLERA (GREEN)	YES	@ 30" MIN. - 36" MAX. (O.C.) & 30" MIN. HGT.	18" MIN

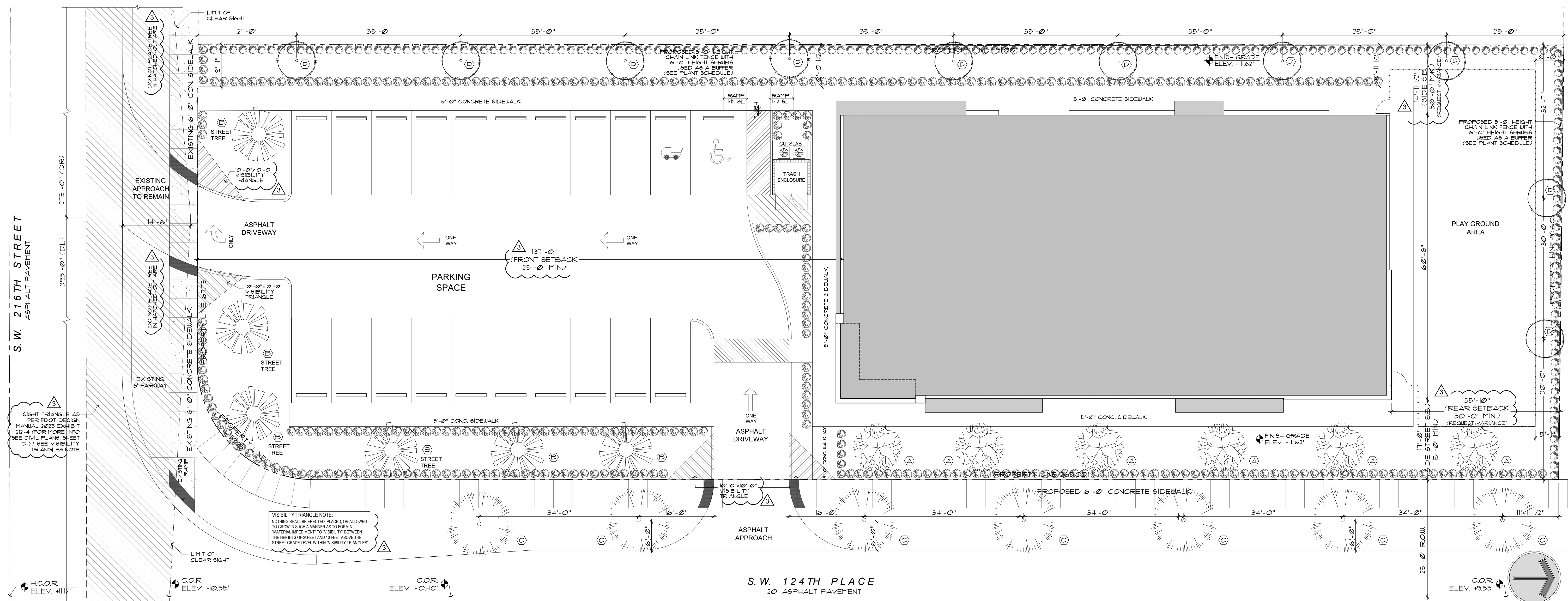
- ### LANDSCAPE NOTES
- ALL PLANTS MATERIAL SHALL BE FL. No. 1 OR BETTER IN GRADE AND QUALITY.
  - THE SOD MATERIAL TO BE PLANTED SHALL BE ST. AUGUSTINE FLORATUM.
  - PLANTING AREAS NOT COVERED BY GRASS SHALL BE MULCHED, TO A DEPTH OF 3 INCHES TO PRESENT A FINISH APPEARANCE. THIS INCLUDES, BUT NOT LIMITED TO, ALL SHRUB AND GROUND COVER.
  - ANY SHRUBS LOCATED WITHIN THE SAFE SIGHT DISTANCE TRIANGLE SHALL NOT EXCEED 30" IN HEIGHT



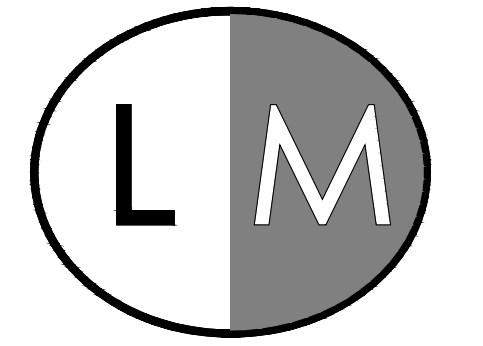
LARGE TREES PLANTING DTL. N.T.S.



TYPICAL SHRUBS PLANTING DTL. N.T.S.



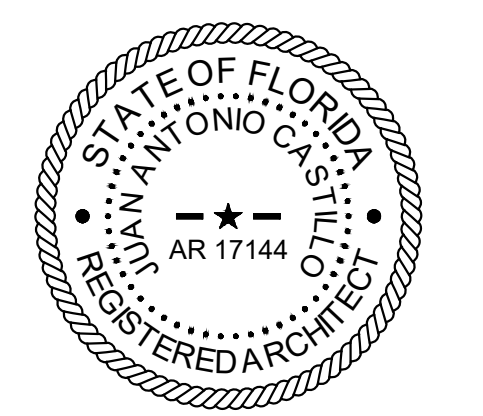
LANDSCAPING PLAN NORTH SCALE: 3/32"=1'-0"



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CHILD DAY CARE  
 Joma Homes Investment & Management, LLC  
 Southwest 216th Street and 124th Place  
 Miami, Florida 33177



Revisions:

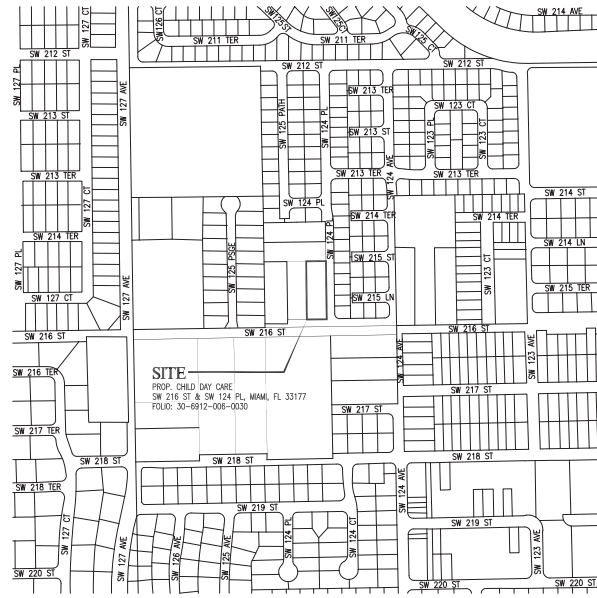
No.	Date	Dept/Section	By
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2			
3	02.05.25	BDC	MRR
4			
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Date: 08.30.21  
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 Checked by: H.O.A.

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# RECEIVED

MIAMI-DADE COUNTY  
PROCESS NO.: Z23-033  
DATE: MAY 22 2025  
BY: GONGOL



**LOCATION MAP**  
SCALE 1" = 300' 512-156-R39

### LEGAL DESCRIPTION

LOT 11 LESS THE SOUTH 25.00 FEET, OF "AUGUSTUS PARK ADDITION TO GOULF", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6 AT PAGE 179 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.  
FOLIO : 30-6912-006-0030



**CARLAB, INC.**  
ENGINEER AND PLANNER  
CERTIFICATE OF AUTHORIZATION #419  
8732 SW 26 STREET, MIAMI, FL 33156  
TEL: 781.365.4000 | FAX: 305.224.0438  
E-MAIL: SLABISTE@CARLABINC.COM

PROJECT NAME:  
**CHILD DAY CARE**  
216XX SW 124 PL, MIAMI, FL 33177  
FOLIO NO: 30-6912-006-0030

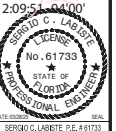
REVISIONS	DATE	BY

CARLAB, INC. PROJECT NUMBER  
2502-2308

DRAWN	CRD
CHECKED	RAM
DESIGNED	CRD
SCALE	AS SHOWN
DATE	03/05/25

**PLAT, PLAT BOOK AND PAGE NO.**  
**DATE OF RECORDING**

12:09:51.0400  
SERGIO LABISTE  
2025.03.28



SERGIO LABISTE, P.E., #61733  
PRINT TITLE

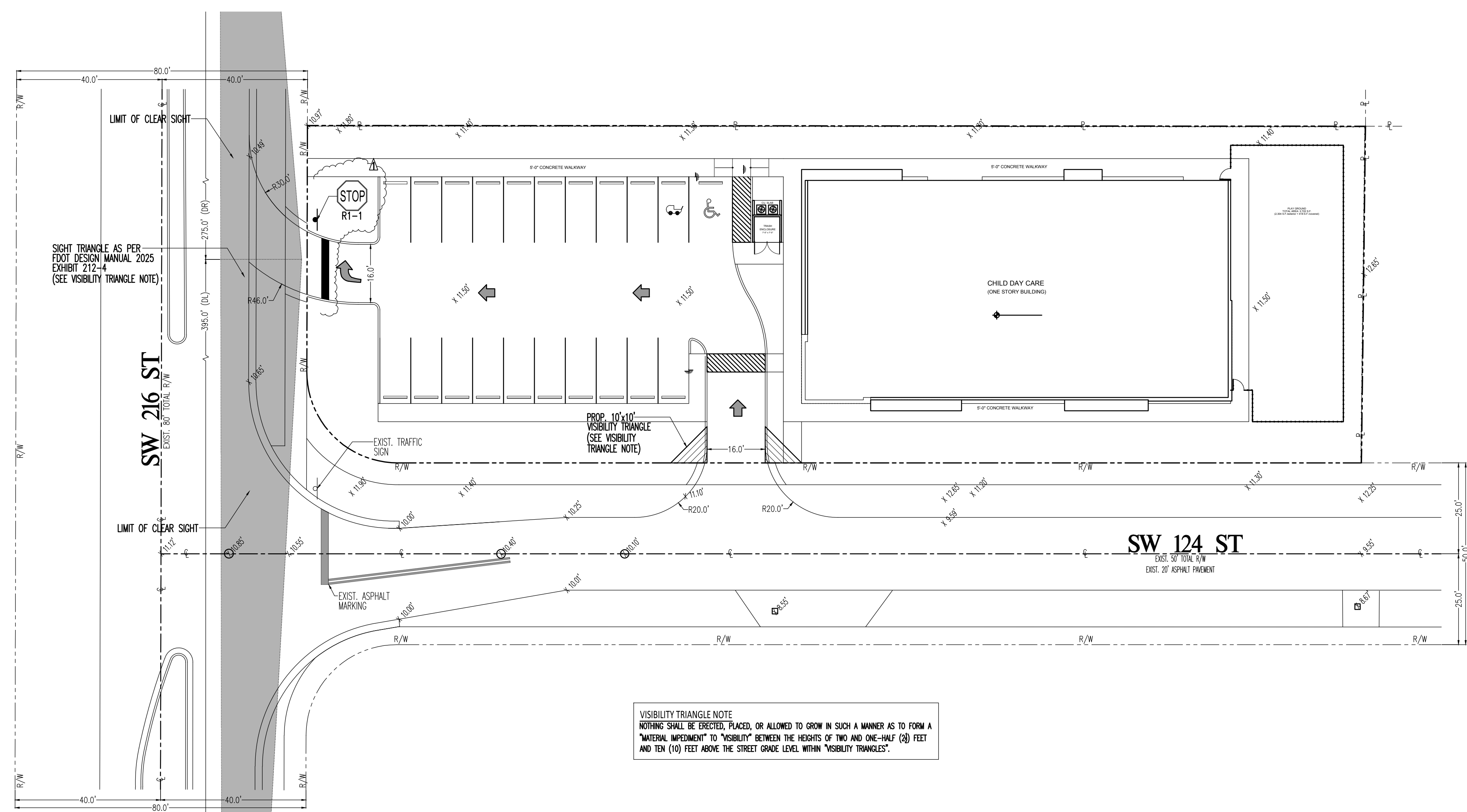
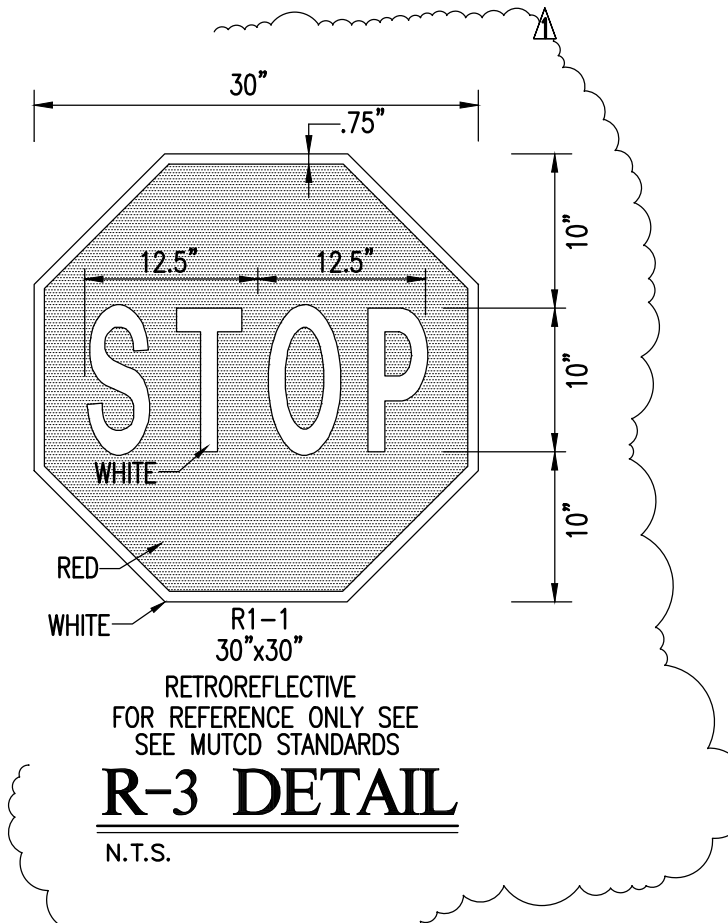
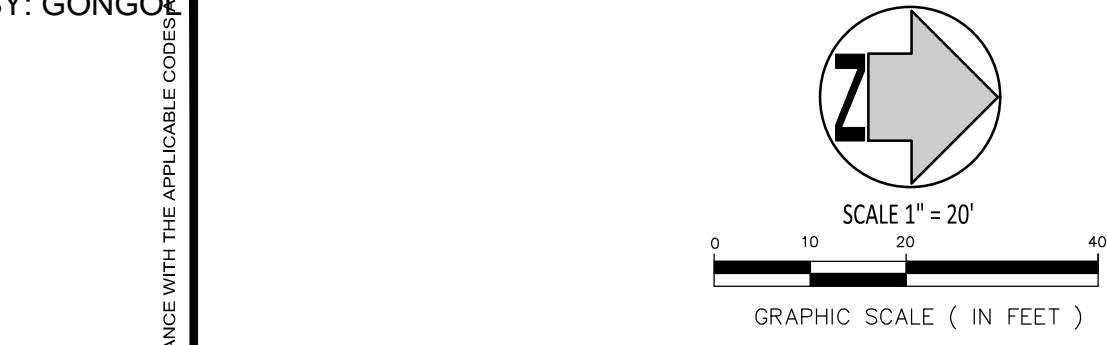
### INDEX OF SHEETS:

- C-1 CIVIL COVER SHEET AND NOTES
- C-2 VISIBILITY TRIANGLE PLAN
- C-3 AUTOTURN ANALYSIS
- C-4 VISIBILITY TRIANGLE SKETCH

CIVIL COVER SHEET AND NOTES

SHEET NUMBER  
**C-1**

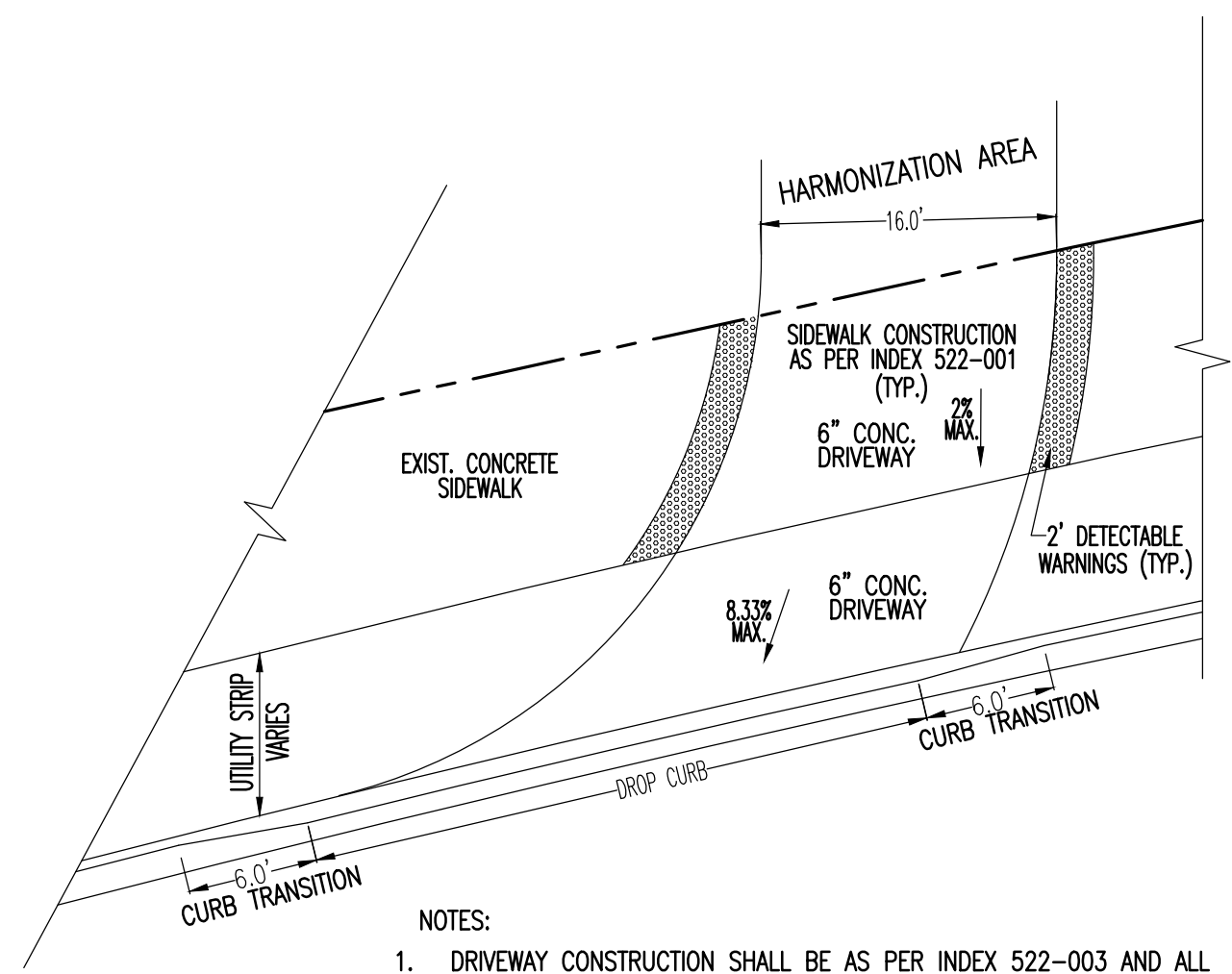
THESE PLANS ARE FOR ILLUMINATING DEPARTMENT USE ONLY. THEY ARE NOT TO BE CONSIDERED AS FINAL. CONTRACTORS SHOULD CONSULT WITH THE ILLUMINATING DEPARTMENT FOR ANY NECESSARY REVISIONS. APPROVAL AND SEAL ARE REQUIRED TO ASSURE COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS.



**LEGEND**

- RIGHT-OF-WAY
- MONUMENT LINE
- PROPERTY LINE
- CENTER LINE
- BASE LINE
- EDGE OF PAVEMENT
- EXISTING OVERHEAD WIRE
- EXISTING CHAIN LINK FENCE
- DENOTES PROPOSED
- DENOTES EXISTING
- DENOTES SIDEWALK
- DENOTES INVERT
- DENOTES TOP OF PIPE
- DENOTES TYPICAL
- TO BE FIELD VERIFIED
- EXISTING UTILITY BOX
- PROPOSED WATER METER
- EXISTING WATER METER
- EXISTING SIGN
- EXISTING UTILITY POLE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM DRAINAGE MANHOLE
- EXISTING ELECTRIC MANHOLE
- EXISTING WATER MANHOLE
- EXISTING AT&T MANHOLE
- EXISTING TRAFFIC SIGN
- EXISTING TELEPHONE UTILITY
- EXISTING TRAFFIC SIGN
- EXISTING ELECTRICAL UTILITY
- EXISTING TRAFFIC SIGN POLE
- PROPOSED CLEAN-OUT
- PROPOSED CORPORATION STOP
- PROPOSED TEE
- PROPOSED REDUCER
- DENOTES EXIST. FLOW DIRECTION
- PROPOSED TAPPING SLEEVE
- PROPOSED BACKFLOW
- PROPOSED WATER VALVE
- EXISTING WATER VALVE
- EXISTING ELEVATION
- PROPOSED ELEVATION
- MATCH EXISTING ELEVATION
- EXISTING CATCH BASIN
- PROPOSED CATCH BASIN AND FRENCH DRAIN

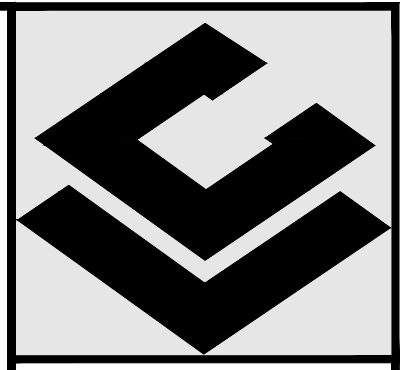
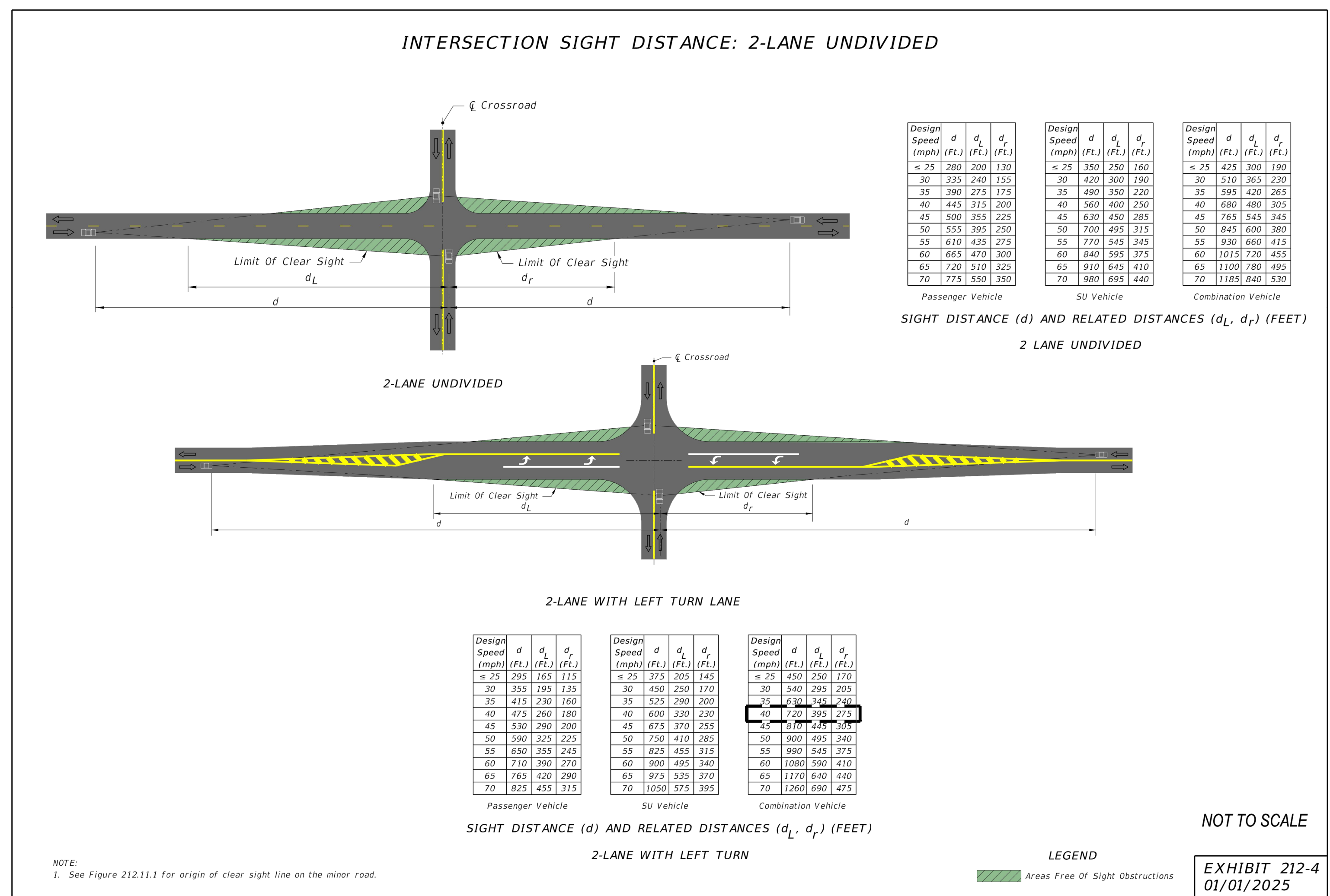
**VISIBILITY TRIANGLE NOTE**  
 NOTHING SHALL BE ERECTED, PLACED, OR ALLOWED TO GROW IN SUCH A MANNER AS TO FORM A "WATERAL IMPEDIMENT" TO "VISIBILITY" BETWEEN THE HEIGHTS OF TWO AND ONE-HALF (2) FEET AND TEN (10) FEET ABOVE THE STREET GRADE LEVEL WITHIN "VISIBILITY TRIANGLES".



- NOTES:**
- DRIVEWAY CONSTRUCTION SHALL BE AS PER INDEX 522-003 AND ALL OTHER APPLICABLE INDEXES, EXCEPT AS PER SPECIAL CONDITIONS SHOWN ON THESE DETAILS.
  - CONCRETE JOINTS SHALL BE AS PER INDEXES 522-003 AND 522-001.

**DRIVEWAY SECTIONS**

N.T.S.



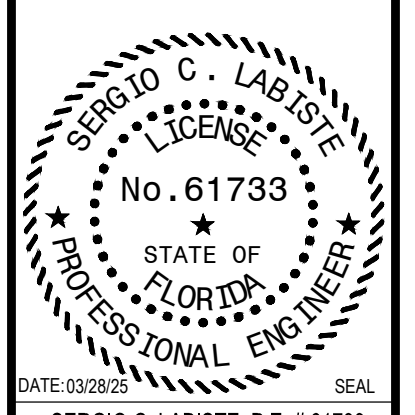
**CARLAB, INC.**  
 ENGINEER AND PLANNERS  
 CERTIFICATE OF AUTHORIZATION 6419  
 8730 S.W. 25 STREET MIAMI, FL 33165  
 TEL: 786 385 4053 FAX: 305 226-0438  
 E-MAIL: SLABISTE@CARLABINC.COM

PROJECT NAME:  
**CHILD DAY CARE**  
 210XX SW 124 PL, MIAMI, FL 33177  
 FOLIO No. 30-6912-006-0030

REVISIONS	DATE	BY
TRAFFIC	03/26/25	DRD

CARLAB, INC PROJECT NUMBER	2502-2308
DRAWN	DRD
CHECKED	RMMA
DESIGNED	DRD
SCALE	AS SHOWN
DATE	03/05/25

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 ANY ELECTRONIC COPIES ARE VOID.



DATE: 03/28/25  
 SERGIO C. LABISTE P.E. # 61733

SHEET TITLE:  
**VISIBILITY TRIANGLE PLAN**

SHEET NUMBER:  
**C-2**

NOT TO SCALE

**LEGEND**  
 Areas Free Of Sight Obstructions

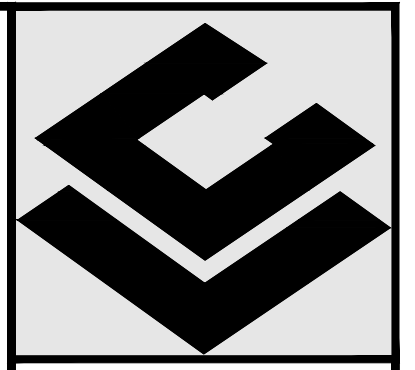
EXHIBIT 212-4  
 01/01/2025

THESE PLANS ARE FOR BUILDING DEPARTMENT REVIEW. THEY ARE NOT TO BE CONSTRUED AS FINAL CONSTRUCTION DOCUMENTS UNTIL ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED AND COMMENTS INCORPORATED INTO THESE DWGS. DUE TO THE VARIATIONS IN INTERPRETATIONS OF THE CODE THAT OCCUR IN DIFFERENT MUNICIPALITIES FINAL APPROVAL AND REVIEW IS NEEDED TO ASSURE COMPLIANCE WITH THE APPLICABLE CODES.

RECEIVED

MIAMI-DADE COUNTY  
PROCESS NO.: Z23-033  
DATE: MAY 24, 2025  
BY: GONGOR

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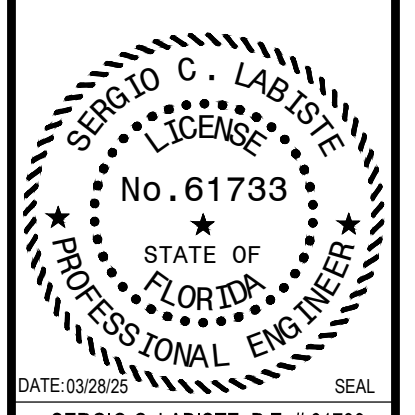
PROJECT NAME:  
**CHILD DAY CARE**  
218X SW 124 PL, MIAMI, FL 33177  
FOLIO No. 30-6912-006-0030

REVISIONS	DATE	BY
TRAFFIC	03/26/25	DRD

CARLAB, INC PROJECT NUMBER  
2502-2308

DRAWN	DRD
CHECKED	RMMA
DESIGNED	DRD
SCALE	AS SHOWN
DATE	03/05/25

THIS SEAL HAS BEEN DIGITALLY SIGNED AND SEALED BY SERGIO C. LABISTE, P.E. OF THE STATE BOARD OF PROFESSIONAL ENGINEERS, FLORIDA. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED VALID UNLESS THEY ARE SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

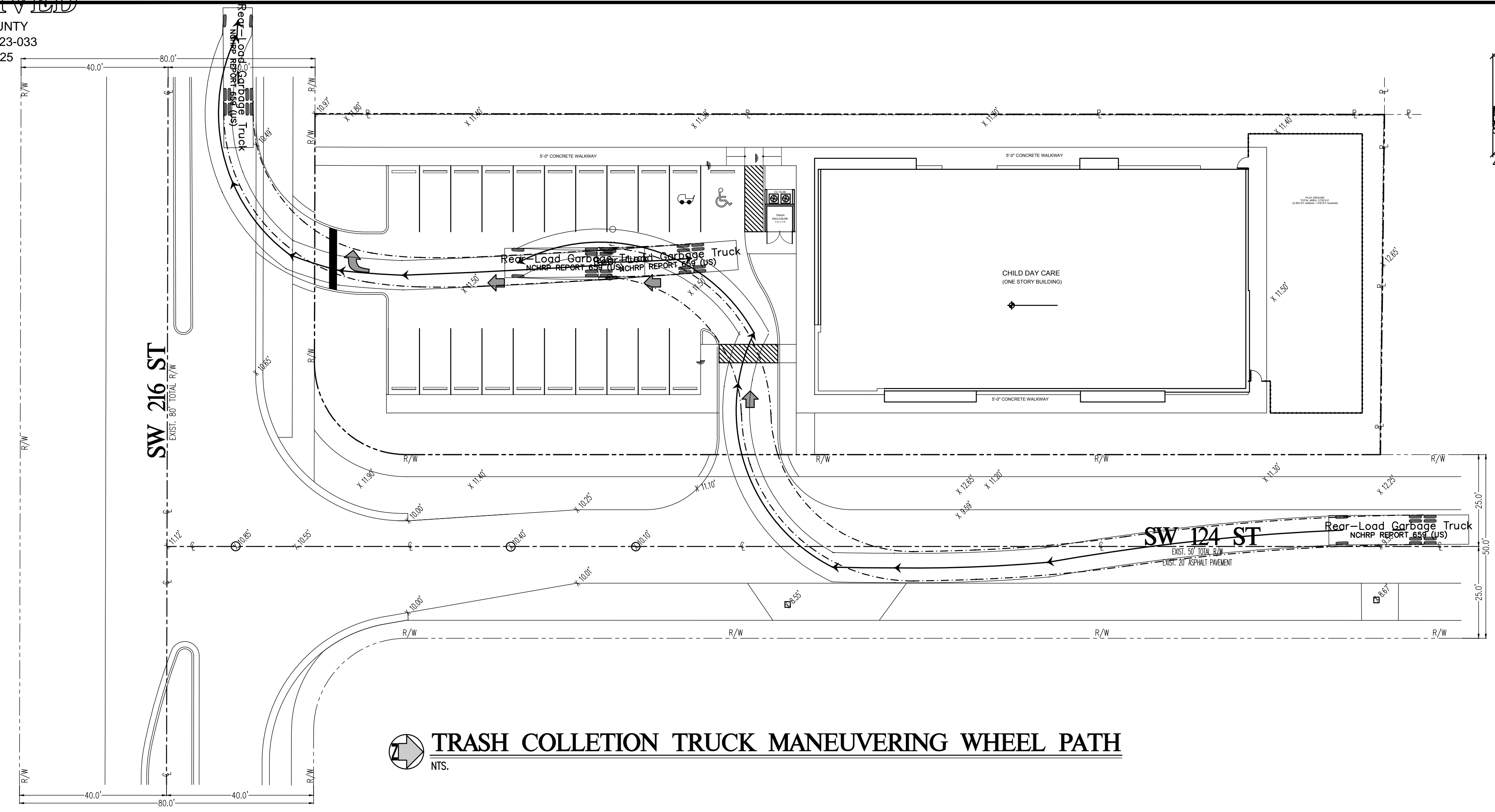


DATE: 03/28/25  
SERGIO C. LABISTE P.E. # 61733

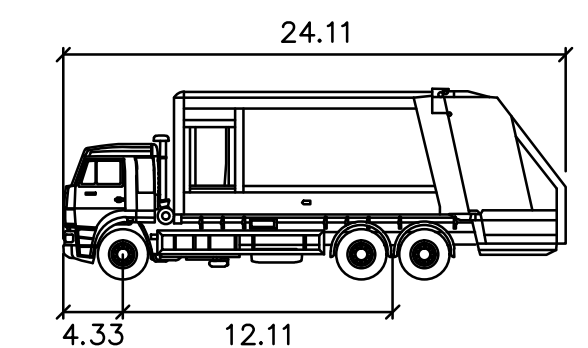


SHEET NUMBER  
**C-4**

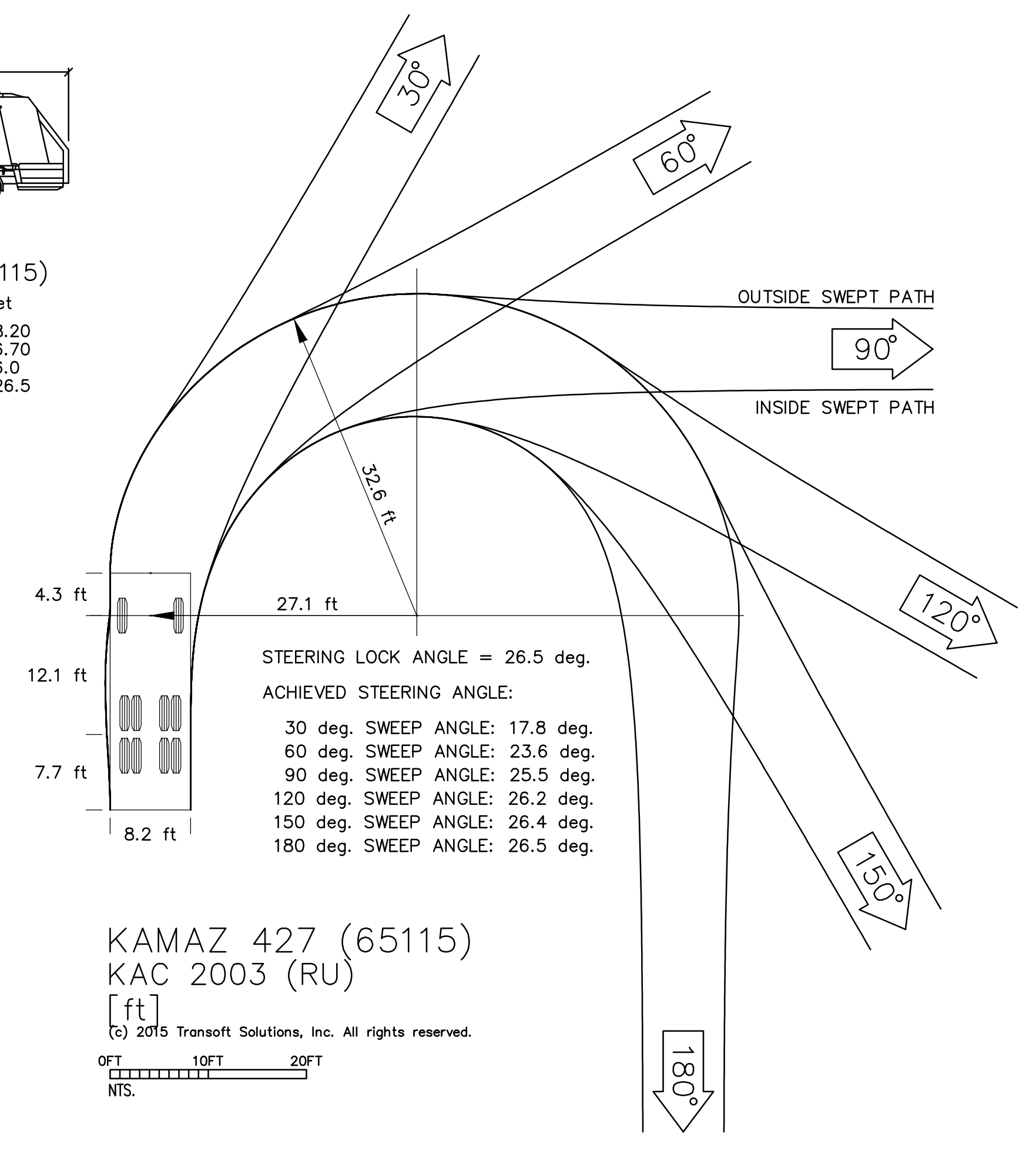
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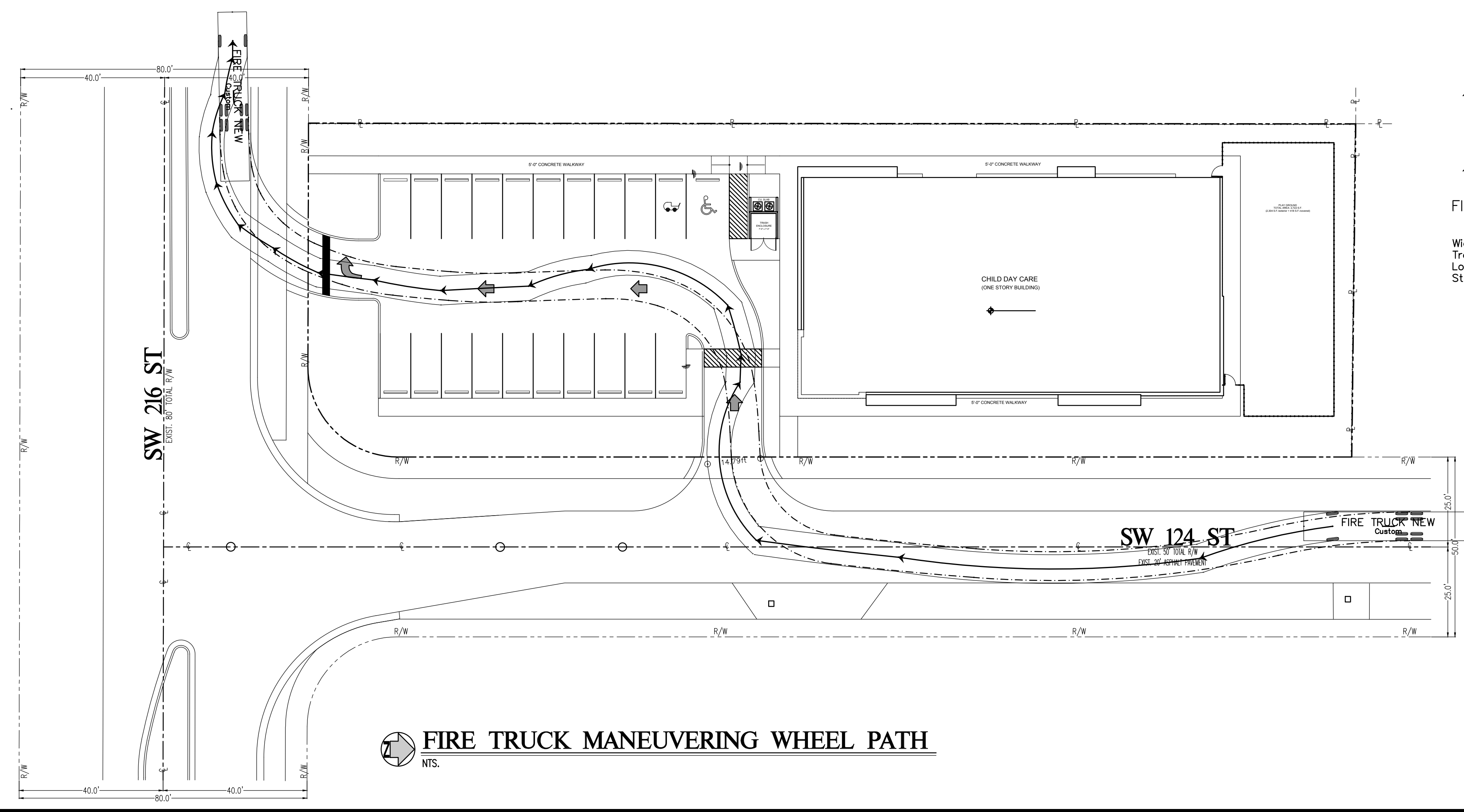
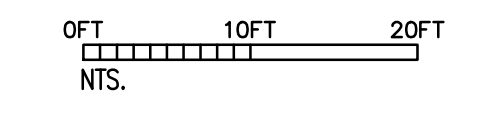
**TRASH COLLETION TRUCK MANEUVERING WHEEL PATH**  
 NTS.



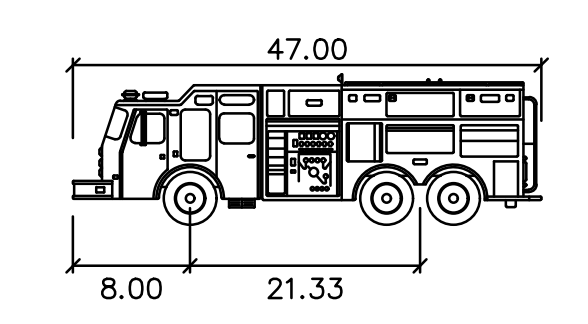
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 feet  
 Width : 8.20  
 Track : 6.70  
 Lock to Lock Time : 6.0  
 Steering Angle : 26.5



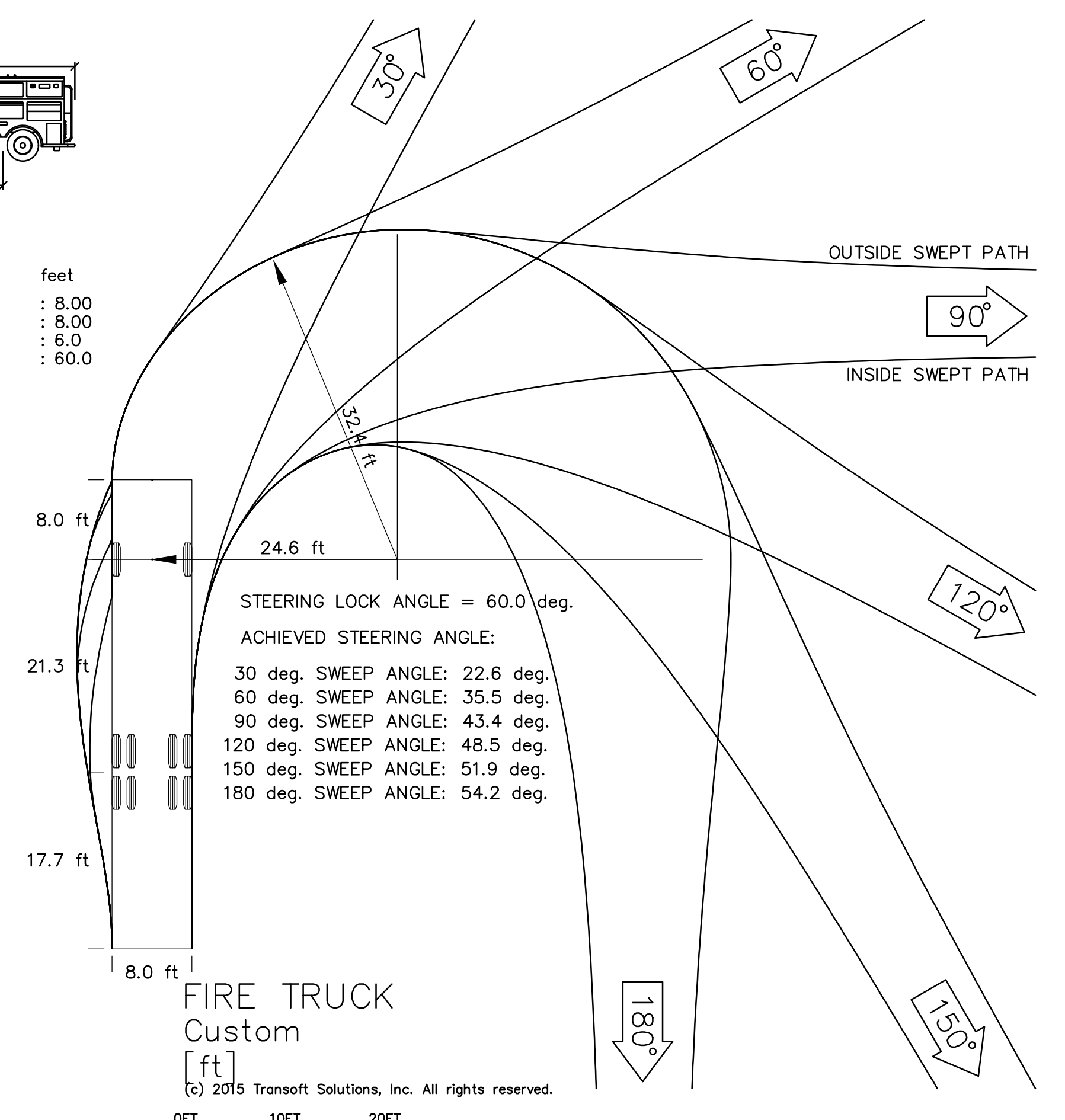
**KAMAZ 427 (65115)**  
**KAC 2003 (RU)**  
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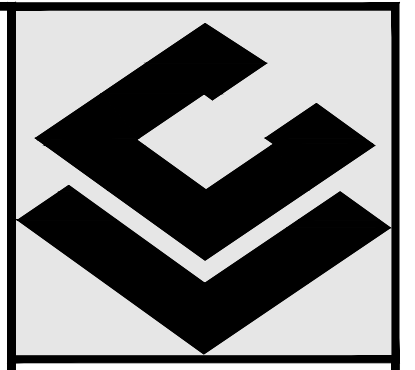
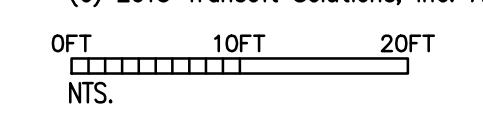
**FIRE TRUCK MANEUVERING WHEEL PATH**  
 NTS.



**FIRE TRUCK NEW**  
 feet  
 Width : 8.00  
 Track : 8.00  
 Lock to Lock Time : 6.0  
 Steering Angle : 60.0



**FIRE TRUCK**  
**Custom**  
 [ft]  
 (c) 2015 Transoft Solutions, Inc. All rights reserved.



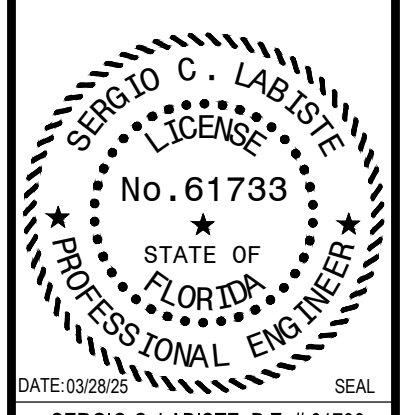
**CARLAB, INC.**  
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PROJECT NAME:  
**CHILD DAY CARE**  
 218X SW 124 PL, MIAMI, FL 33177  
 FOLIO No. 30-6912-006-0030

REVISIONS	DATE	BY

CARLAB, INC PROJECT NUMBER	
2502-2308	
DRAWN	DRD
CHECKED	RMH
DESIGNED	DRD
SCALE	AS SHOWN
DATE	03/05/25

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DATE: 03/28/25  
 SERGIO C. LABISTE P.E. # 61733

SHEET TITLE:  
**AUTOTURN ANALYSIS**

SHEET NUMBER

**DISCLOSURE OF INTEREST\***

If a **CORPORATION** owns or leases the subject property, list principal stockholders and percent of stock owned by each. [Note: Where principal officers or stockholders consist of other corporation(s), trust(s), partnership(s) or similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

CORPORATION NAME: JOMA HOMES INVESTMENT & MANAGEMENT LLC

<u>NAME AND ADDRESS</u>	<u>Percentage of Stock</u>
<u>JOSE M GONZALEZ</u>	<u>100%</u>
<u>14137 SW 168TH LN, MIAMI, FL 33177</u>	<u></u>
<u></u>	<u></u>
<u></u>	<u></u>
<u></u>	<u></u>
<u></u>	<u></u>

If a **TRUST or ESTATE** owns or leases the subject property, list the trust beneficiaries and percent of interest held by each. [Note: Where beneficiaries are other than natural persons, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

TRUST/ESTATE NAME: \_\_\_\_\_

<u>NAME AND ADDRESS</u>	<u>Percentage of Interest</u>
<u></u>	<u></u>
<u></u>	<u></u>
<u></u>	<u></u>
<u></u>	<u></u>
<u></u>	<u></u>

If a **PARTNERSHIP** owns or leases the subject property, list the principals including general and limited partners. [Note: Where partner(s) consist of other partnership(s), corporation(s), trust(s) or similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interests].

PARTNERSHIP OR LIMITED PARTNERSHIP NAME: \_\_\_\_\_

<u>NAME AND ADDRESS</u>	<u>Percent of Ownership</u>
<u></u>	<u></u>
<u></u>	<u></u>
<u></u>	<u></u>
<u></u>	<u></u>
<u></u>	<u></u>

If there is a **CONTRACT FOR PURCHASE** by a Corporation, Trust or Partnership, list purchasers below, including principal officers, stockholders, beneficiaries or partners. [Note: Where principal officers, stockholders, beneficiaries or partners consist of other corporations, trusts, partnerships or similar entities, further disclosure shall be made to identify natural persons having ultimate ownership interests].

NAME OF PURCHASER: \_\_\_\_\_

<u>NAME, ADDRESS AND OFFICE (if applicable)</u>	<u>Percentage of Interest</u>
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

Date of contract: \_\_\_\_\_

If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership or trust:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

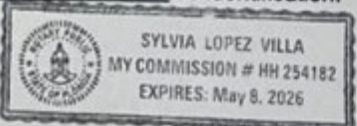
**NOTICE:** For changes of ownership or changes in purchase contracts after the date of the application, but prior to the date of final public hearing, a supplemental disclosure of interest is required.

The above is a full disclosure of all parties of interest in this application to the best of my knowledge and belief.

Signature: [Handwritten Signature] (Applicant)

Sworn to and subscribed before me this 28<sup>th</sup> day of August, 2025. Affiant is personally known to me or has produced Fla. Dr. License as identification.

[Handwritten Signature]  
(Notary Public)



My commission expires 5-8-26

\*Disclosure shall not be required of: 1) any entity, the equity interests in which are regularly traded on an established securities market in the United States or another country; or 2) pension funds or pension trusts of more than five thousand (5,000) ownership interests; or 3) any entity where ownership interests are held in a partnership, corporation or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership and where no one (1) person or entity holds more than a total of five per cent (5%) of the ownership interest in the partnership, corporation or trust. Entities whose ownership interests are held in a partnership, corporation, or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership, shall only be required to disclose those ownership interest which exceed five (5) percent of the ownership interest in the partnership, corporation or trust.

**Miami-Dade County Department of Regulatory and Economic Resources  
Staff Report to Community Zoning Appeals Board 14**

**PH: Z24-073**

**September 15, 2025**

**Item No. 2**

<b>Recommendation Summary</b>	
<b>Commission District</b>	8
<b>Applicant</b>	Javier Alvarez
<b>Summary of Request</b>	The applicant seeks to allow an existing roofed bar and gazebo to be located in front of the principal residence on the subject site, which is not permitted by Code. Additionally, the applicant seeks to allow the existing roofed bar, gazebo and pond structures to setback less than required from the front, side street and interior side property lines than permitted by code.
<b>Location</b>	24001 SW 157 Avenue, Miami-Dade County, Florida
<b>Property Size</b>	±1.17 acres
<b>Existing Zoning</b>	AU, Agriculture District
<b>Existing Land Use</b>	Single-family residence
<b>2030-2040 CDMP Land Use Designation</b>	Agriculture <i>(See attached Zoning Recommendation Addendum)</i>
<b>Comprehensive Plan Consistency</b>	Consistent with the LUP map, and the interpretative text and policies of the CDMP
<b>Applicable Zoning Code Section(s)</b>	Section 33-311(A)(4)(b), Non-Use Variances From Other Than Airport Regulations <i>(See attached Zoning Recommendation Addendum)</i>
<b>Recommendation</b>	<b>Approval with conditions.</b>

**REQUESTS:**

- (1) NON-USE VARIANCE to permit existing detached accessory (roofed bar and gazebo) structures to be located in front of the principal building (not permitted).
- (2) NON-USE VARIANCE to permit an existing detached accessory (roofed bar) structure to setback 43' (75' required) from the front (west) property line and to have a setback of 13'-5" (20' required) from the interior side (south) property line.
- (3) NON-USE VARIANCE to permit an existing detached accessory (gazebo) structure to setback 8'-5" (20' required) from the interior side (south) property line.
- (4) NON-USE VARIANCE to permit an existing detached accessory (reflecting pond with water feature) structure to setback 13' (30' required) from the side street (north) property line.

Plans are on file and may be examined in the Department of Regulatory and Economic Resources entitled "24001 Residence | Exterior Features Legalization", as prepared by JAH Design Studio, Sheets A100, A200, A300, A400, A500 and A600 dated stamped received 7/30/2024 consisting of 6 sheets and Sheet SP100 dated stamped received 11/25/2024 for a total of 7 sheets. Plans may be modified at public hearing.

**PROJECT DESCRIPTION:**

The submitted plans show an existing 2,952 sq. ft. single-family residence located centrally on the corner lot subject property, an existing roofed bar with a building footprint of 57 sq. ft., and gazebo with a building footprint of 574 sq. ft that are located in front of the principal residence. The existing roofed bar is shown encroaching 32’ into the front setback area and by 6’-7” into the interior side setback area, whereas the existing gazebo structure encroaches 11’-7” into the interior side setback area. Plans also show an existing reflecting pond with water feature in the rear of the property that encroaches 17 feet into the side street setback area. The submitted site plan and the County’s GIS aerial map show the landscaping of the property in the form of trees, hedges and a 6-foot-high fence surrounding the subject property along the south and west property lines.

<b><u>NEIGHBORHOOD CHARACTERISTICS</u></b>		
	<b>Zoning and Existing Use</b>	<b>Land Use Designation</b>
<b>Subject Property</b>	AU; single-family residence	AU, Agriculture District
<b>North</b>	AU; single-family residence, agricultural uses	AU, Agriculture District
<b>South</b>	AU; single-family residence	AU, Agriculture District
<b>East</b>	AU; single-family residence	AU, Agriculture District
<b>West</b>	AU; single-family residences	AU, Agriculture District

**NEIGHBORHOOD COMPATIBILITY:**

The ±1.17-acre subject property is located Outside Urban Development Boundary (UBD) and is located at 24001 SW 157 Avenue. The surrounding area is characterized by AU, Agriculture District zoned parcels, that consist of single-family residences to the north, east and west and a single-family residence with plant nursery to the south.

**SUMMARY OF THE IMPACTS:**

Approval of this application will allow the applicant to legalize a roofed bar and gazebo to be located in front of the principal residence, with a reduced setback from the front and interior side property lines, and a reflecting pond with water feature that is located towards the side street and rear of the lot. Staff opines that since the rear yard area is enclosed with a 6’ high wood fence along both the interior side and rear property lines, and hedges along the front and side street property lines, together with the existing landscaping on the property, any visual impact that the roofed bar, gazebo, and reflecting pond with water feature may have on the surrounding properties is minimal and would be sufficiently mitigated.

**COMPREHENSIVE DEVELOPMENT MASTER PLAN ANALYSIS:**

The ±1.17-acre subject property is located outside the Urban Development Boundary (UDB), and the Comprehensive Development Master Plan (CDMP) Adopted 2030–2040 Land Use Plan (LUP) map designates the site as **Agriculture**. The CDMP interpretative text for the agriculture land use category states that *the principal uses in this area should be agriculture, uses ancillary to and directly supportive of agriculture and farm residences*. Staff opines that the approval of the requests for reduced setbacks sought in the application for an existing roofed bar, gazebo and

reflecting pond with water feature structures located on the property will not add additional dwelling units to the site beyond what is allowed by the LUP map of the CDMP. Since the applicant are not requesting to add additional dwelling units or change the single-family detached use on the property, staff opines that approval of the application with conditions would be consistent with the Agricultural designation on the CDMP LUP map.

### **ZONING ANALYSIS:**

When requests #1, #2 and #3 are analyzed under the Non-Use Variances From Other Than Airport Regulations, Section 33-311(A)(4)(b), staff opines that the approval with conditions of these requests would be **compatible** with the surrounding area, would not be detrimental to the neighborhood and would not affect the appearance of the community. The applicant seeks to permit the existing roofed bar and gazebo structures on the AU zoned subject property to be located in front of the principal residence (request #1), roofed bar with a reduced setback from the front and interior side property lines (request #2), and the gazebo with a reduced setback from the interior side property line (request #3). Staff opines that approval with conditions of these requests would maintain the basic intent and purpose of the zoning, subdivision and other land use regulations. Staff further opines that the requested variances for the roofed bar and gazebo are internal to the site and that the location of these structures on a subject site that is a corner lot and fronts along both SW 240 Avenue and SW 242 Street roadways, would not result in any significant visual impact on the surrounding properties. Staff notes that except from the front and interior side property lines, the existing roofed bar and gazebo would be located well in excess of the required setbacks under AU. Specifically, the roofed bar structure would be located 270'-6" where 7'-6" is required from the rear (east) property line, 116'-1" where 30' is required from the side street (north) property line, and the gazebo structure would be located 93'-11" where 75' is required from the front (north) property line, 197'-11" where 7'-6" is required from the rear (east) property line and 100'-4" where 30' is required from side street property. Staff notes that the principal residence itself is accessed from both SW 157 Avenue and SW 240 Street (west and north property lines). Notwithstanding, the shorter frontage for this corner lot is along SW 157 Avenue, and based on zoning criteria, this (west) property line is to be considered as the front property line. Therefore, the existing roofed bar being located closer to the west and south property lines and gazebo being located closer to the west property, is not only considered as setback less than required from the front and interior side, but also as located in front of the principal building. Staff opines that the existing encroachments of the roofed bar towards the front and interior side property lines and encroachment of the gazebo towards the interior side property line are internal to the site and any negative visual impacts generated from the setback encroachments would be adequately mitigated by the aforementioned existing 6' high wood fence as well as ample landscaping in the form of a dense hedge and rows of palm trees that exist along the perimeter of the property lines.

When the requests to permit an existing reflecting pond with water feature to setback 13' (30' required) from the side street (north) property line (request #4), are analyzed under the Non-Use Variances From Other Than Airport Regulations, Section 33-311(A)(4)(b), staff opines that the approval with conditions of this request would be **compatible** with the surrounding area, would not be detrimental to the neighborhood and would not affect the appearance of the community. Although said reflective pond with water feature is situated closer to the side street (north) property line, it is obstructed from view from the outside by the existing hedges and would not have any significant visual impacts on the single-family residence to the north which is further separated by the SW 240 Street right-of-way.

The plans submitted in conjunction with this application depict the existing single-family residence on a corner lot, with an existing roofed bar, gazebo and a reflecting pond with water feature located towards the front and rear of the subject property. The roofed bar structure encroaches into the front and interior side setback areas, whereas the gazebo is located closer from the interior side property line and the reflecting pond with water feature is located closer from the side street property line than is permitted under the zoning standards. Staff supports the requests and opines that approval with conditions of these non-variances would maintain the basic intent and purpose of the zoning, subdivision and other land use regulations. Staff notes from plans and photographs submitted by the applicant as well as the County's Geographic Information System (GIS) that any impact of the request is adequately mitigated by existing landscaping and shade trees, as well as an existing 6' high wood fence along both the interior side and rear property line, and hedges along both the front and side street property lines of the subject property, which, staff opines, buffers any visual intrusion of the encroachments on the surrounding properties, especially to the parcels to the north, south and west of the subject property. Staff recommends as a condition for approval that the said fence along both the rear and interior side the property lines and hedges along both the front and side street property lines be maintained as a visual buffer, and, if said fence is destroyed or removed, it must be replaced by an opaque fence at a maximum height of 6', or a fence with a hedge 3' high at the time of planting, which shall grow to and be maintained at a minimum height of 6,' in accordance with Section 33-11(h) of the County Code.

Although staff's research did not find any other similar approvals in the surrounding area, staff opines that the existing roofed bar, gazebo and reflecting pond with water feature would not be out of character with the surrounding area and does not result in overutilization of the lot. Notwithstanding, staff notes that based on memoranda from the departments reviewing this application, any impacts from the reduced setbacks will not cause their facilities and services to operate below their adopted levels of service standards. The memorandum from the Platting and Traffic Review Section of the Department of Regulatory and Economic Resources (RER) indicates that the application does not generate any new additional daily peak hour trips, and the Division of Environmental Resources Management of the Department of Regulatory and Economic Resources memorandum indicates that approval will not result in a reduction in the LOS standards for potable water supply, wastewater disposal, or flood protection. Additionally, the memorandum from Miami-Dade Water and Sewer Department indicates that they do not have objections, and that the County's Fire Rescue Department in their memorandum indicates that approval of this application would not create a fire or become a hazard on the subject site. Furthermore, staff opines that the architectural style and scale of the roofed bar, gazebo and the reflecting pond with water feature are designed and arranged in a manner that would not be detrimental to the neighborhood or create adverse privacy impacts on the abutting properties, and that approval with conditions of the requested setbacks would be **compatible** with the surrounding residences and with the aesthetic character of the immediate vicinity. **Based on the foregoing analysis, staff recommends approval with conditions of the application under Section 33-311(A)(4)(b), the Non-Use Variance (NUV) From Other Than Airport Regulations Standards.**

**ACCESS, CIRCULATION AND PARKING:** Not applicable.

**NEIGHBORHOOD SERVICES PROVIDER REVIEW:** See attached.

**OTHER:** Not applicable.

**RECOMMENDATION:**

**Approval with conditions.**

**CONDITIONS FOR APPROVAL:**

1. That a site plan be submitted to and meet with the approval of the Director of the Department of Regulatory and Economic Resources upon the submittal of an application for a building permit and/or Certificate of Use; said plan must include among other things but not be limited to, location of structure or structures, exits and entrances, drainage, walls, fences, landscaping, and other requirements.
2. That in the approval of the plan, the same be substantially in accordance with that submitted for the hearing, entitled, "24001 Residence | Exterior Features Legalization", as prepared by JAH Design Studio, Sheets A100, A200, A300, A400, A500 and A600 dated stamped received 7/30/2024 consisting of 6 sheets and Sheet SP100 dated stamped received 11/25/2024 for a total of 7 sheets. Except as may be specified by any zoning resolution applicable to the subject property, any future additions on the property which conform to zoning code requirements will not require further public hearing action.
3. That the use be established and maintained in accordance with the approved plan.
4. That the applicant obtain a building permit for all non-permitted structures, if applicable, from the Department of Regulatory and Economic Resources.
5. That the existing 6' wood fence along both the rear and interior side the property lines and hedges along both the front and side street property lines be maintained as a visual buffer, and, if said fence and/or hedges are destroyed or removed, it must be replaced by an opaque fence at a maximum height of 6', or a fence with a hedge 3' high at the time of planting, which shall grow to and be maintained at a minimum height of 6,' in accordance with Section 33-11(h) of the County Code.

ES:JB:SS:VM

*Eric Silva*

---

Eric Silva, AICP Assistant Director  
Development Services Division  
Miami-Dade County Department of  
Regulatory and Economic Resources

## ZONING RECOMMENDATION ADDENDUM

Javier Alvarez  
Z24-073

<b>NEIGHBORHOOD SERVICES PROVIDER COMMENTS</b>	
<i>Division of Environmental Resource Management (RER)</i>	<i>No objection</i>
<i>Platting and Traffic Review Section (RER)</i>	<i>No objection</i>
<i>Fire Rescue</i>	<i>No objection</i>
<i>Water and Sewer Department</i>	<i>No objection</i>
<i>Department of Transportation and Public Works</i>	<i>No objection</i>
<i>*Subject to conditions in their memorandum.</i>	

### COMPREHENSIVE DEVELOPMENT MASTER PLAN (CDMP) OBJECTIVES, POLICIES AND INTERPRETATIVE TEXT

<b>Agriculture (page I-71)</b>	<p><i>The area designated as "Agriculture" contains the best agricultural land remaining in Miami-Dade County. As stated in the Miami-Dade County Strategic Plan, approved by the Board of County Commissioners, protection of viable agriculture is a priority. The principal uses in this area should be agriculture, uses ancillary to and directly supportive of agriculture and farm residences. Uses ancillary to and directly supportive of agriculture are defined as those uses related to preserving, processing, packaging or selling of agricultural products from Florida (except that wineries may utilize imported products for winemaking), and farm supplies, as well as sale and service of farm machinery and implements, subject to the requirements of Chapter 24 of the County Code. Uses that are directly supportive of agriculture but not ancillary to an on-site agricultural use may occur in this area where it can be demonstrated that the use is primarily addressing a need of the local agricultural industry or that the use significantly furthers agritourism to the agricultural area. Uses necessary to support the rural residential community of the agricultural area may also be approved, including houses of worship. However, schools shall not be approved in Agriculture areas but should be located inside the UDB in accordance with Policy EDU-3A. In order to protect the agricultural industry, uses incompatible with agriculture, and uses and facilities that support or encourage urban development are not allowed in this area. Residential development that occurs in this area is allowed at a density of no more than one unit per five acres. Creation of new parcels smaller than five acres for residential use may be approved in the Agriculture area only if the immediate area surrounding the subject parcel on three or more contiguous sides is predominantly and lawfully parcelized in a similar manner, and if a division of the subject parcel would not precipitate additional land division in the area. Unless expressly permitted elsewhere in this section, no business or industrial use should be approved in the area designated Agriculture unless the use is directly supportive of local agricultural production, and is located on an existing arterial roadway, and has adequate water supply and sewage disposal in accordance with Chapter 24 of the County Code, and the development order specifies the approved use(s); however, agricultural processing facilities for produce grown in Florida and uses that promote ecotourism and agritourism consistent with Policy LU-1P are not restricted to locating on an existing arterial roadway. Other uses, including utility uses compatible with agriculture and with the rural residential character may be approved in the Agriculture area only if deemed to be a public necessity, or if deemed to be in the public interest and the applicant demonstrates that no suitable site for the use exists outside the Agriculture area. Existing quarrying and ancillary uses in the Agriculture area may continue operation and be considered for approval of expansion. The parking and storage of operable, non-disabled commercial motor vehicles may be considered for approval on properties ten acres or greater in the area east of the Urban Development Boundary, south of the theoretical extension of SW 236 Street, and north of SW 248 Street, as depicted on Figure 5.1, subject to the following requirements: (a) commercial vehicle storage facilities shall obtain an annual operating permit from the Division of Environmental Resources Management in the</i></p>
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## ZONING RECOMMENDATION ADDENDUM

Javier Alvarez  
Z24-073

	<p><i>Department of Regulatory and Economic Resources and be subject to required quarterly groundwater quality monitoring; (b) all vehicles and equipment shall be stored or parked only on paved impervious surfaces with county-approved drainage systems; (c) truck washing, mechanical repair, or maintenance of any kind shall be prohibited; (d) the storage, handling, use, discharge and disposal of liquid wastes or hazardous wastes shall be prohibited; and (e) a vegetative buffer shall be provided along the perimeter of the property to provide visual screening. I-71 A Bed and Breakfast establishment that is owner-occupied, owner-operated, and located on a parcel with a current agricultural classification, as determined by the Property Appraiser's Office, may be allowed. A designated historic structure that is owner-occupied and owner-operated may be converted to a Bed and Breakfast use. An agricultural classification is not needed for a Bed and Breakfast use designated as a historic structure. In an effort to enable compatible diversification of the economy of Agriculture areas and provide additional land use options for owners of properties that surround structures having historical significance, after such time as the County adopts procedures for the establishment of Thematic Resource Districts (TRDs) pursuant to Policy LU-6L, and a TRD including architectural and landscape design guidelines is established in an area designated Agriculture, additional uses may be authorized in such TRDs established in Agriculture areas. Such additional uses must be designed and developed in accordance with TRD standards, must promote ecotourism or agritourism activities in the Agriculture area, and must not be incompatible with nearby agricultural activities. Also included in the Agriculture area are enclaves of estate density residential use approved and grandfathered by zoning, ownership patterns and platting activities which predate this Plan. The grandfather provisions of the Miami-Dade County Zoning Code shall continue to apply in this area except that lots smaller than 15,000 square feet in area are not grandfathered hereby. Moreover, all existing lawful uses and zoning are deemed to be consistent with this Plan unless such a use or zoning: (a) is found through a subsequent planning study, as provided in Policy LU-4E, to be inconsistent with the foregoing grandfather provisions or with the CDMP as provided in the section of this chapter titled "Concepts and Limitations of the Land Use Plan Map". This paragraph does not, however, authorize the approval or expansion of any use inconsistent with this plan. To the contrary, it is the intent of this Plan to contain and prevent the expansion of inconsistent development in the Agriculture area. It is provided, however, that existing parcels that: a) have existing lawful zoning of IU-1 (Industry-Light) since November 29, 1988; and b) are bifurcated by the UDB; and c) have any portion of the parcel located within a designated urban center, may be developed with any of the industrial uses permitted in the IU-1 zoning district, as long as adequate buffering and drainage is provided to limit impacts to adjacent agriculturally-designated properties</i></p> <p><i>Miami-Dade County shall continue to reduce the number of land uses, which are inconsistent with the uses designated on the LUP map and interpretive text, or with the character of the surrounding community.</i></p>
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### PERTINENT ZONING REQUIREMENTS/STANDARDS

<p><b>Sec. 33-20. - Accessory structures and ancillary uses.</b></p>	<p><i>Decorative Elements. Decorative elements shall be permitted on lots developed with a residential structure in the AU, EU, GU, and RU Districts, provided that the decorative element is in front of the building line of the principal structure and complies with the following:(1)For lots in the RU Districts, decorative elements shall be setback at least ten (10) feet from the front and side property lines and shall not exceed six (6) feet in height and fifty (50) square feet in area.(2)For lots in the AU, EU, and GU Districts, decorative elements shall be setback at least ten (10) feet from the front and side property lines. The maximum height of decorative elements shall be six (6) feet at a setback of ten (10) feet, except that the maximum height may increase an additional 0.6 feet per additional foot of setback to a maximum height not to exceed twelve (12) feet.(3)A Zoning Improvement Permit shall be obtained prior to construction of a decorative element that is permanently affixed to the ground. Additional or alternative permits may be required when decorative elements include electrical or plumbing connections.</i></p>
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## ZONING RECOMMENDATION ADDENDUM

Javier Alvarez  
Z24-073

<b>Section 33-311(A)(4)(b) Non-Use Variances From Other Than Airport Regulations</b>	<i>Upon appeal or direct application in specific cases, the Board shall hear and grant applications for non-use variances from the terms of the zoning and subdivision regulations and may grant a non-use variance upon a showing by the applicant that the non-use variance maintains the basic intent and purpose of the zoning, subdivision and other land use regulations, which is to protect the general welfare of the public, particularly as it affects the stability and appearance of the community and provided that the non-use variance will be otherwise compatible with the surrounding land uses and would not be detrimental to the community. No showing of unnecessary hardship to the land is required.</i>
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**Building and Neighborhood Compliance**

**ENFORCEMENT HISTORY**

ALVAREZ, JAVIER

24001 SW 157 AVE  
MIAMI-DADE COUNTY, FLORIDA.

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**APPLICANT**

**ADDRESS**

Pending

Z2024000073

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**DATE**

**HEARING NUMBER**

**FOLIO: 30-6921-000-0312**

**REVIEW DATE OF CURRENT ENFORCEMENT HISTORY:**

March 18, 2025

**NEIGHBORHOOD REGULATIONS:**

There are no open/closed cases in CMS.

**BUILDING SUPPORT REGULATIONS:**

**Building Support Case 20220215111-B** was opened on 04/08/2022. A Notice of Violation was issued on 04/11/2022 for "Failure to obtain required building permit(s) prior to commencing work on: Wood fence around the property. Various detached structures. Two ponds with electricity and plumbing" Since compliance was not met the following citations were issued on 08/23/2024: P053879 "**SECTION 105.1 OF THE FLORIDA BUILDING CODE: FAILURE OF OWNER-BUILDER OR CONTRACTOR TO OBTAIN A PERMIT PRIOR TO COMMENCING WORK on detached structure "A" to include electrical at South side of property.**"; P053880 "**SECTION 105.1 OF THE FLORIDA BUILDING CODE: FAILURE OF OWNER-BUILDER OR CONTRACTOR TO OBTAIN A PERMIT PRIOR TO COMMENCING WORK on detached structure "B" at Southwest section of property.**"; P053881 "**SECTION 105.1 OF THE FLORIDA BUILDING CODE: FAILURE OF OWNER-BUILDER OR CONTRACTOR TO OBTAIN A PERMIT PRIOR TO COMMENCING WORK on detached structure / shed "C" at south side of the property.**"; P053882 "**SECTION 105.1 OF THE FLORIDA BUILDING CODE: FAILURE OF OWNER-BUILDER OR CONTRACTOR TO OBTAIN A PERMIT PRIOR TO COMMENCING WORK on detached structure / shed "D" at south side of the property.**"; P053883 "**SECTION 105.1 OF THE FLORIDA BUILDING CODE: FAILURE OF OWNER-BUILDER OR CONTRACTOR TO OBTAIN A PERMIT PRIOR TO COMMENCING WORK on pond / water feature structure "E" to include electrical**

*and plumbing at North side of property.”; P053884 “SECTION 105.1 OF THE FLORIDA BUILDING CODE: FAILURE OF OWNER-BUILDER OR CONTRACTOR TO OBTAIN A PERMIT PRIOR TO COMMENCING WORK on pond / water feature structure "F" to include electrical and plumbing at Northwest section of property.”; P053885 “SECTION 105.1 OF THE FLORIDA BUILDING CODE: FAILURE OF OWNER-BUILDER OR CONTRACTOR TO OBTAIN A PERMIT PRIOR TO COMMENCING WORK on wood fence "G" at East and South side of property.” All citations were paid on 01/08/2025 and the assesses penalties are on appeal. There are no outstanding fees.*

**VIOLATOR:**

ALVAREZ, JAVIER

**OUTSTANDING LIENS AND FINES:**


There are no outstanding liens or fines.

# Memorandum



**Date:** December 13, 2024

**To:** Eric Silva, AICP, Assistant Director  
Development Services Division  
Department of Regulatory and Economic Resources (RER)

**From:** Maria A. Valdes, CSM, LEED® Green Associate  
Chief, Planning & Water Certification Section  
Water and Sewer Department (WASD) 

**Subject:** Zoning Application Comments - Javier Alvarez  
Application No. Z2024000073 - Revision # 1

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The Water and Sewer Department has reviewed the proposed development for the subject zoning application. WASD has no objection to this zoning application, based on the information provided. Additional requirements may be needed at the time of permitting. The information provided below is preliminary and it does not affect the Zoning process.

Application Name: Javier Alvarez

Location: The proposed project is located on approximately 1.17 acres at 24001 SW 157<sup>th</sup> Avenue, with Folio No. 30-6921-000-0312, **Outside the Urban Development Boundary (UDB)**, in unincorporated Miami-Dade County.

Proposed Development: The Applicant is requesting a zoning hearing in order to legalize two (2) existing ponds, an existing exterior roofed bar, and an existing detached gazebo structure, without the required setbacks at the existing 2,952 sq. ft. single family residence, as per site plan submitted.

Water and Sewer: The subject site is on well and septic. There is no connection to public water and sewer infrastructure outside the UDB. Per CDMP policy, water and sewer infrastructure outside the UDB is not allowed unless found consistent with the goals and policies of the CDMP.

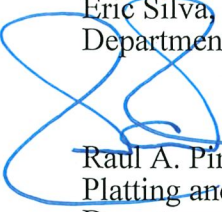
Should you have any questions, please contact Maria A. Valdes, Chief, Planning & Water Certification Section at (786) 552-8198 or [mavald@miamidade.gov](mailto:mavald@miamidade.gov), Alfredo B. Sanchez at (786) 552-8237 or [sanalf@miamidade.gov](mailto:sanalf@miamidade.gov), or Pedro P. Vera Carballes at (786) 552-8144 or [pedro.veracarballes@miamidade.gov](mailto:pedro.veracarballes@miamidade.gov).

# Memorandum



Date: August 29, 2024

To: Eric Silva, AICP, Assistant Director  
Department of Regulatory and Economic Resources

From:  Raul A. Pino, PLS, Chief  
Platting and Traffic Review Section  
Department of Regulatory and Economic Resources

Subject: Z2024000073  
Name: Jose Alvarez  
Location: 24001 SW 157 Avenue  
Section 21 Township 56 South Range 39 East

---

The Department of Regulatory and Economic Resources Platting and Traffic Review Section has reviewed the subject application and has **no objections**.

This land requires platting in accordance with Chapter 28 of the Miami-Dade County Code. Any right-of-way dedication per Miami-Dade Chapter 33-133 and Chapter 28 and/or improvements required will be accomplished thru the recording of the plat.

This application does not generate any additional trips.

#### Standard Conditions:

- A letter or a plan containing the following certification signed and sealed by a State of Florida registered engineer shall be submitted as part of the paving and drainage plans: "I hereby certify that the all of the roads for the subject project comply with all of the applicable portions of the Manual of Uniform Minimum Standards for Design, Construction and Maintenance for Streets and Highways (Florida Greenbook) regarding: design speed, lane widths, horizontal alignment, vertical alignment, stopping sight distance, sight distance, horizontal clearance, vertical clearance, superelevation, shoulder widths, grades, bridge widths, etc."
- All landscaping, walls, fences, entrance features, etc. will be subject to the Safe Sight Distance Triangle as per Section 33-11 of the Miami-Dade County Code and G5.3 of the Public Works and Waste Management Department Manual.

# Memorandum



**Date:** November 27, 2024

**To:** Eric Silva, Assistant Director  
Regulatory and Economic Resources

**From:** Alejandro G Cuello, Principal Planner  
Miami-Dade Fire Rescue Department

**Subject:** Z2024000073

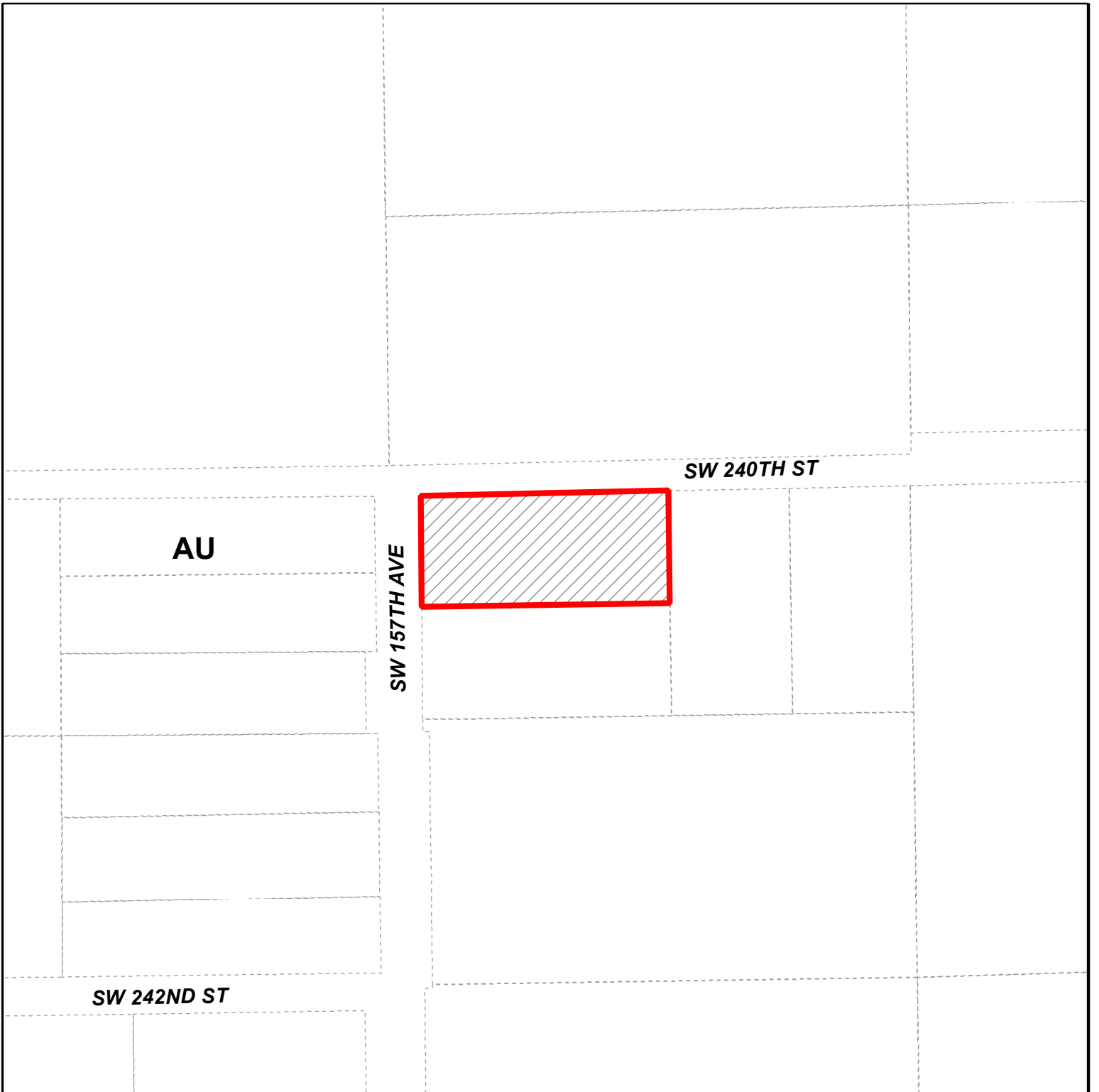
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The Miami-Dade Fire Rescue Department has **no objection** to the site plan uploaded to “EnerGov” on 11/25/2024. Single family home.

MDFR’s review of this zoning application is limited to assessing fire department access and does not effectuate an approval of the building design. The future building’s design must be in compliance with the applicable requirements for the proposed use:

Florida State Statute Chapter 633 (Fire Prevention & Control)  
Florida Administrative Code 69A  
Florida Fire Prevention Code (NFPA 1 and NFPA 101 (2018 edition))  
Applicable adopted NFPA Standards  
County Code Chapter 14

For additional information, please contact [acuello@miamidade.gov](mailto:acuello@miamidade.gov) or call 305-775-3357.





**MIAMI-DADE COUNTY**  
**HEARING MAP**

Process Number  
**Z2024000073**



Section: 21 Township: 56 Range: 39  
 Applicant: Javier Alvarez  
 Zoning Board: C14  
 Commission District: 8  
 Drafter ID: EDUARDO CESPEDES  
 Scale: NTS

**Legend**

-  Subject Property Case
-  Zoning



SKETCH CREATED ON: Friday, August 2, 2024

REVISION	DATE	BY



SW 240TH ST


SW 157TH AVE

SW 242ND ST

**MIAMI-DADE COUNTY**  
**AERIAL YEAR 2023**

Process Number  
**Z2024000073**

**Legend**

 Subject Property

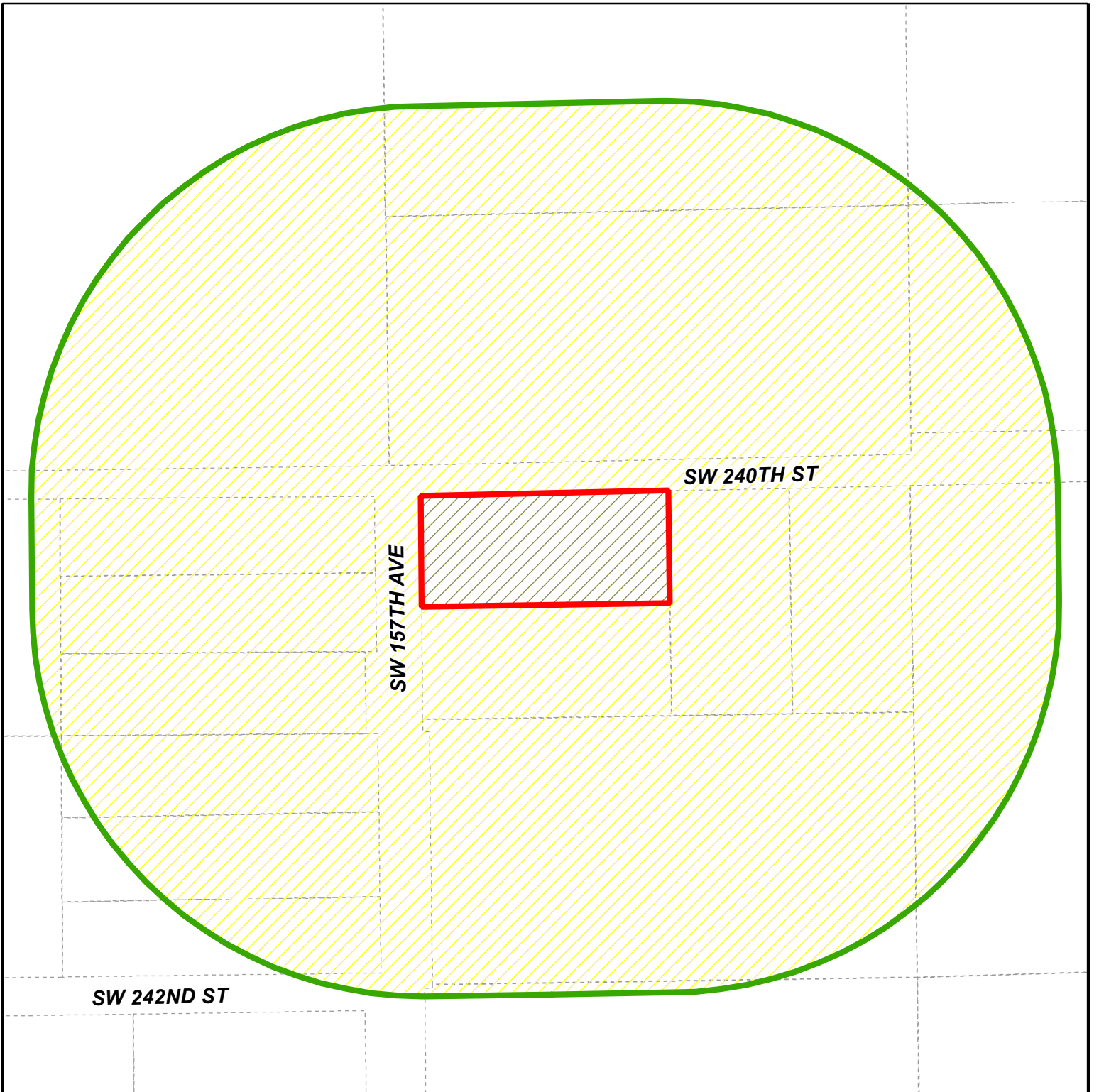


Section: 21 Township: 56 Range: 39  
 Applicant: Javier Alvarez  
 Zoning Board: C14  
 Commission District: 8  
 Drafter ID: EDUARDO CESPEDES  
 Scale: NTS



SKETCH CREATED ON: Friday, August 2, 2024

REVISION	DATE	BY






**MIAMI-DADE COUNTY**  
**RADIUS MAP**

Section: 21 Township: 56 Range: 39  
 Applicant: Javier Alvarez  
 Zoning Board: C14  
 Commission District: 8  
 Drafter ID: EDUARDO CESPEDES  
 Scale: NTS

Process Number  
**Z2024000073**  
 RADIUS: 500

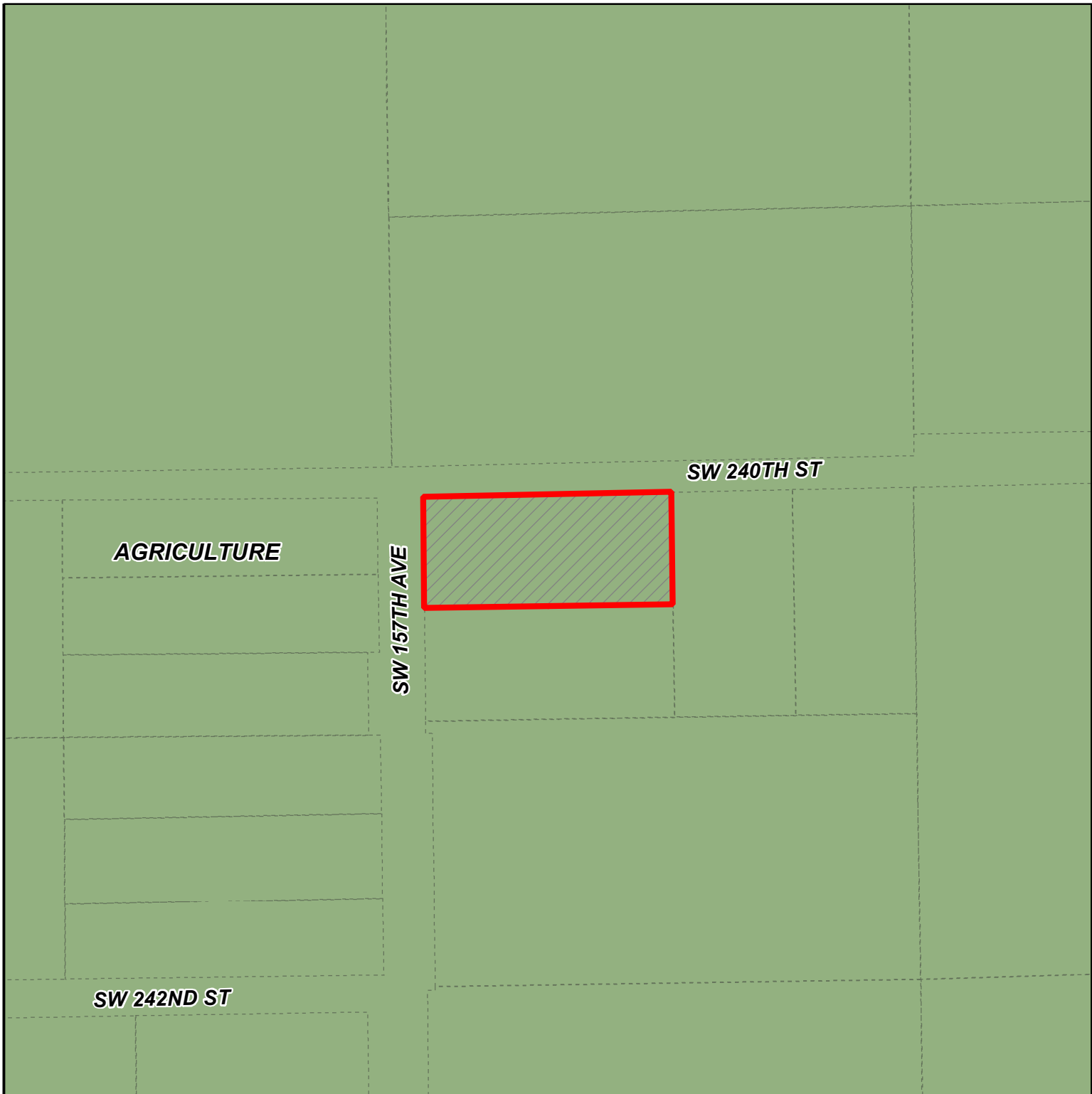
**Legend**

-  Subject Property
-  Buffer
-  Property Boundaries



SKETCH CREATED ON: Friday, August 2, 2024

REVISION	DATE	BY



**MIAMI-DADE COUNTY**  
**CDMP MAP**

Process Number  
**Z2024000073**



Section: 21 Township: 56 Range: 39  
 Applicant: Javier Alvarez  
 Zoning Board: C14  
 Commission District: 8  
 Drafter ID: EDUARDO CESPEDES  
 Scale: NTS

**Legend**

 Subject Property Case



SKETCH CREATED ON: Friday, August 2, 2024

REVISION	DATE	BY

SITE DATA			
ZONING	AU		
SITE DATA	EXISTING	ALLOWED / REQUIRED	PROPOSED
LOT COVERAGE (TOTAL LOT AREA = 45,701 S.F.)	3,933 S.F. (8.6%)	6,855 S.F. (15%)	3,720 S.F. (8.5%)
OPEN SPACE	37,496 S.F. (82%)	-	38,728 S.F. (84.74%)
PAVING / CONCRETE	3,010 S.F. (6.6%)	-	3,010 S.F. (6.6%)
FLOOR FINISH ELEVATION	NA	NA	NA
SETBACKS	EXISTING	ALLOWED / REQUIRED	PROPOSED
<b>MAIN BUILDING</b>			
FRONT	127'-3"	50'	127'-3"
REAR	164'-10"	25'	164'-10"
INTERIOR	52'-11"	15'	52'-11"
SIDE STREET	54'-11"	25'	54'-11"
<b>EXTERIOR BAR</b>			
FRONT	43'-0"	75'	43'-0"
REAR	270'-6"	7'-6"	270'-6"
INTERIOR	13'-5"	20'	13'-5"
SIDE STREET	116'-1"	30'	116'-1"
<b>GAZEBO TO BE LEGALIZED</b>			
FRONT	93'-11"	75'	93'-11"
REAR	197'-11"	7'-6"	197'-11"
INTERIOR	8'-5"	20'	8'-5"
SIDE STREET	100'-4"	30'	100'-4"
<b>POND #1</b>			
FRONT	51'-1"	75'	51'-1"
REAR	261'-7"	7'-6"	261'-7"
INTERIOR	101'-0"	20'	101'-0"
SIDE STREET	27'-7"	30'	27'-7"
<b>POND #2</b>			
FRONT	201'-7"	75'	201'-7"
REAR	86'-7"	7'-6"	86'-7"
INTERIOR	92'-2"	20'	92'-2"
SIDE STREET	13'-0"	30'	13'-0"
<b>100 SF SHED (TO BE DEMOLISHED)</b>			
FRONT	137'-7"	75'	137'-7"
REAR	138'-7"	7'-6"	138'-7"
INTERIOR	2'-6"	20'	2'-6"
SIDE STREET	130'-2"	30'	130'-2"
<b>113 SF SHED (TO BE DEMOLISHED)</b>			
FRONT	255'-7"	75'	201'-7"
REAR	61'-10"	7'-6"	86'-7"
INTERIOR	6'-8"	20'	92'-2"
SIDE STREET	117'-10"	30'	13'-0"
FLOOD DATA			
FEMA FLOOD ZONE	ZONE X		
BASE FLOOR ELEVATION	NA		
FLOOD INSURANCE RATE MAP (FIRM) PANEL	12086C0590L EFFECTIVE 9/11/2009		

**NOTES**

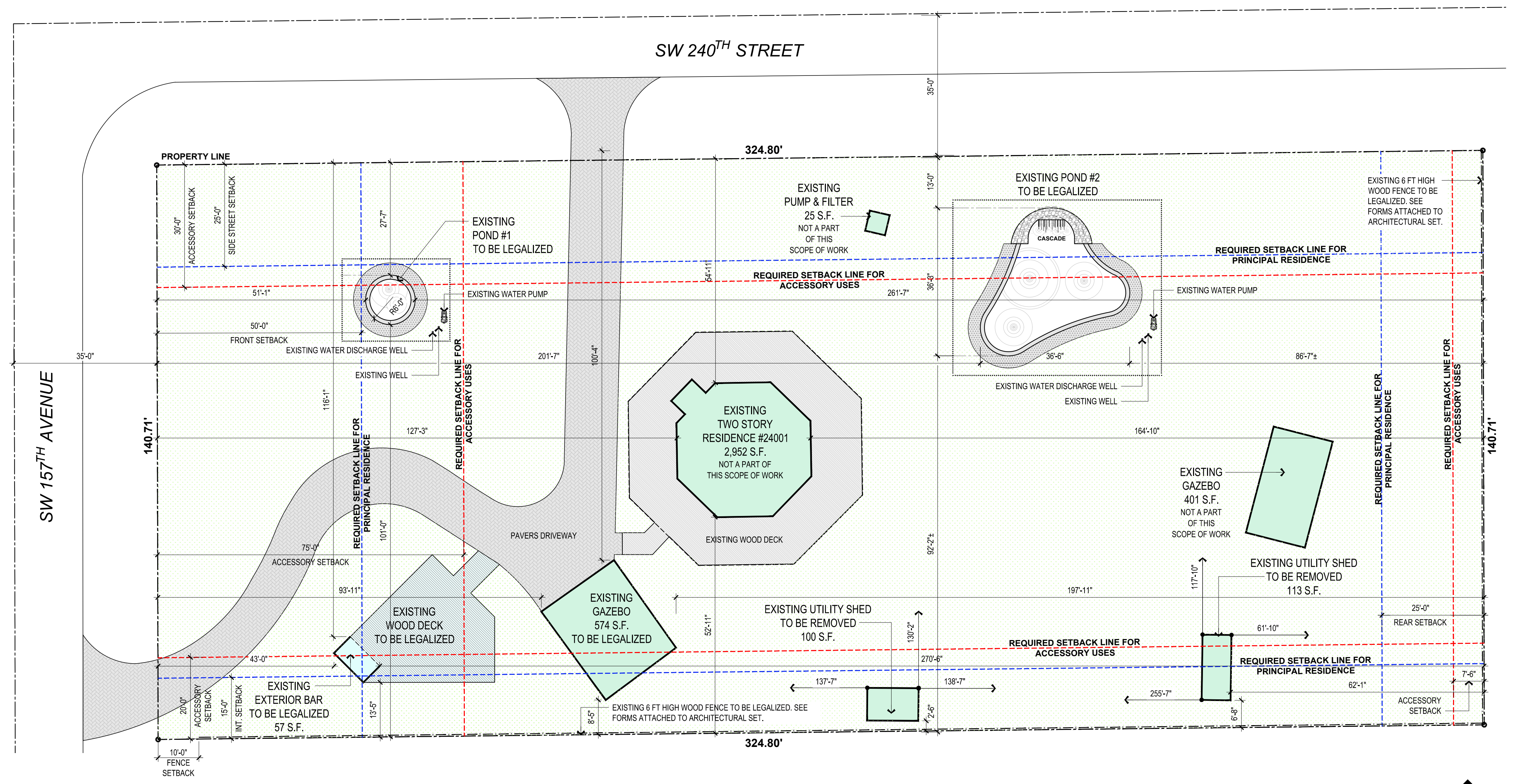
- LOT WILL BE GRADED SO AS TO PREVENT DIRECT OVERLAND DISCHARGE OF STORM WATER INTO ADJACENT PROPERTY. GRADING WILL REMAIN LEVELED TO NEIGHBORING PROPERTY GRADE.
- TRIANGLES OF VISIBILITY SHALL BE KEPT CLEAR OF VISUAL OBSTRUCTIONS BETWEEN A HEIGHT OF 2.5 FEET AND 8 FEET ABOVE THE ESTABLISHED GRADE.
- NO LANDSCAPE REMOVAL OR CHANGES, NO MAJOR TREES INSIDE THE PROPERTY.

**AREA SUMMARY**

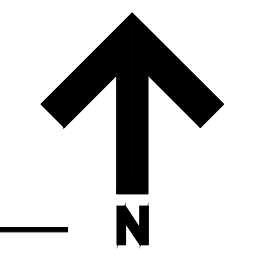
NAME	AREA
EXISTING UNDER-A/C SPACE (2-LEVELS)	2,952 S.F.
DEMOLITION / REMOVAL	213 S.F.
MAIN HOUSE FOOTPRINT	1,476 S.F.
TERRACE	1,212 S.F.
CARPORT	574 S.F.
TIKI HUT	401 S.F.
UTILITY SHED 1 (TO BE REMOVED)	113 S.F.
UTILITY SHED 2 (TO BE REMOVED)	100 S.F.
EXTERIOR BAR	57 S.F.
<b>PROPOSED LOT COVERAGE</b>	<b>3,720 S.F.</b>

**TERMITE PROTECTION**

ALL BUILDINGS SHALL HAVE PRE-CONSTRUCTION TREATMENT PROTECTION AGAINST TERMITES AS PER F.B.C. 1816.1.7 A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES." TREATMENT IS IN ACCORDANCE WITH THE RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPT OF AGRICULTURE AND CONSUMER SERVICES.



**1 EXISTING SITE PLAN**  
SCALE: 1/16" = 1'-0"



**DESIGN STUDIO**  
15278 SW 33rd Ln  
Miami, FL 33147  
Tel: 786.308.0992  
e: jhernandez.architect@gmail.com

ARCHITECT OF RECORD:  
**Juan A Hernandez**  
License Number: AR101854  
REGISTERED ARCHITECT  
STATE OF FLORIDA

SEAL:  
DRAWN BY:  
**CEPC**  
REVISED BY:  
**JAHL**

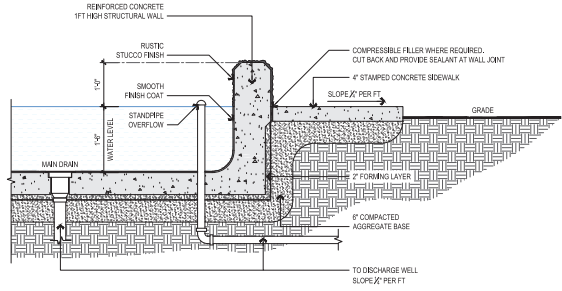
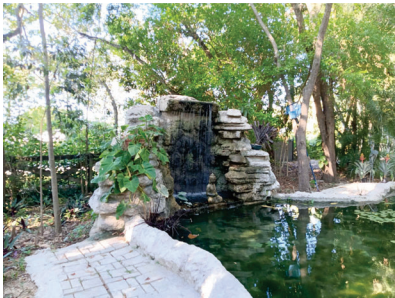
Ownership and use of these drawings and specifications as instruments of professional service are and shall remain the property of the Architect and cannot be used, altered or reproduced as a whole or in part, unless authorization is so granted in writing by the Architect.

PROJECT NAME:  
**24001 RESIDENCE | EXTERIOR FEATURES LEGALIZATION**  
24001 SW 157 TH AVENUE, MIAMI, FL 33031  
OWNERS INFORMATION:  
**JAVIER ALVAREZ**  
alvarez@infioridawelding.com

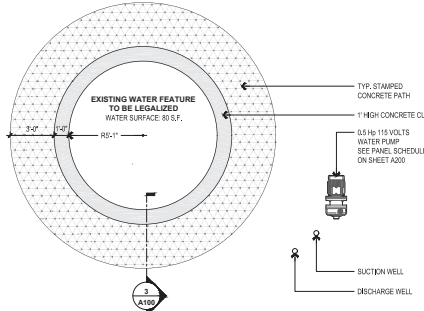
PROJECT HISTORY:  
PROJECT INFORMATION:  
DATE: 12/17/2022  
PROJECT NUMBER: 22-041

SHEET TITLE:  
**EXISTING & PROPOSED SITE PLAN AND SITE DATA**

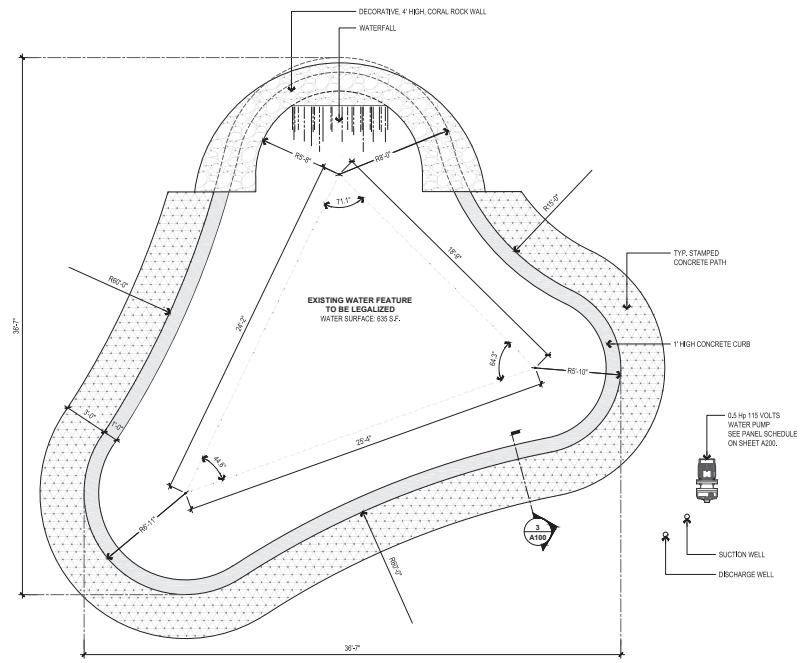
SHEET NUMBER:  
**SP100**  
SHEET: 2 OF: 5



**3 TYP. FOUNTAIN SECTION**  
SCALE: N.T.S.



**2 FOUNTAIN #1. PLAN**  
SCALE: 1/4\"/>



**1 FOUNTAIN #2 PLAN**  
SCALE: 1/4\"/>



ARCHITECT OF RECORD:  
**Juan A Hernandez**  
License Number: AR10184

**Juan A Hernandez**  
Architect

DRAWN BY: CEPC  
REVISED BY: JAHL

Ownership and use of these drawings and specifications as instruments of professional service are and shall remain the property of the Architect and cannot be used, altered or reproduced as a whole or in part, unless authorization is so granted in writing by the Architect.

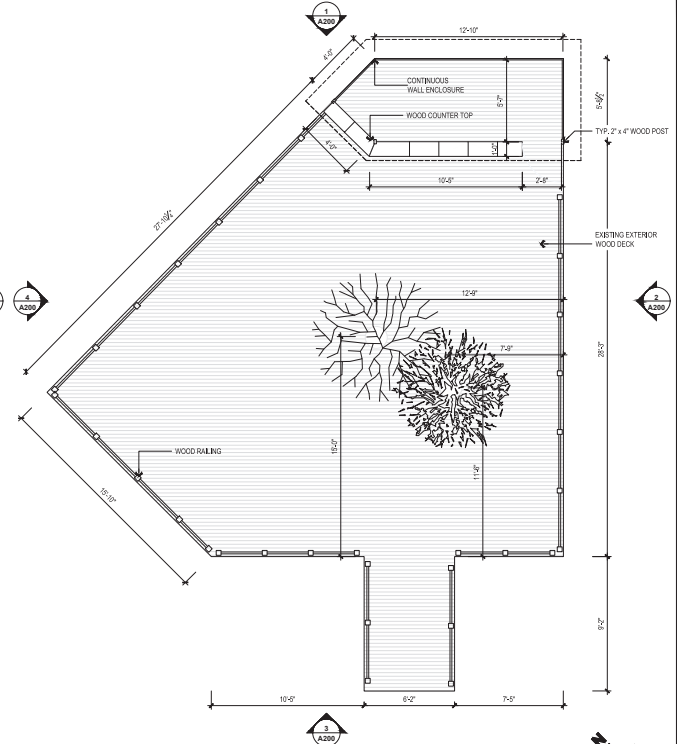
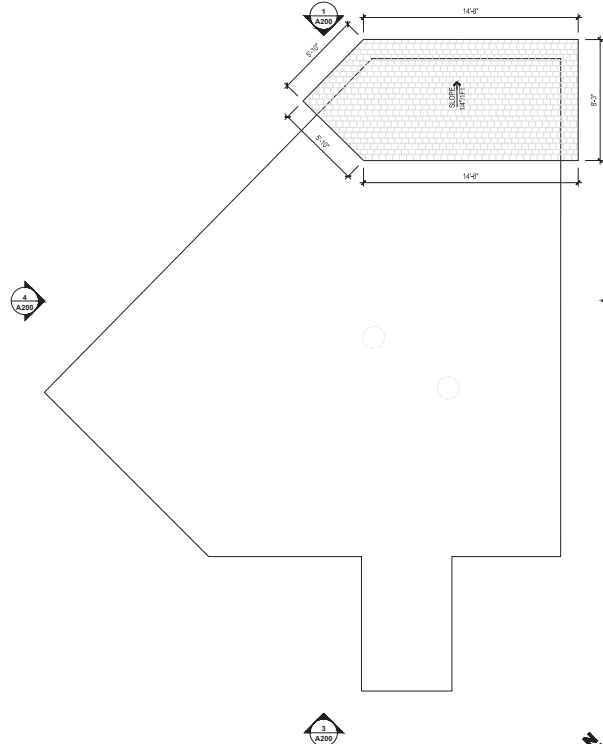
PROJECT NAME:  
**24001 RESIDENCE | EXTERIOR FEATURES LEGALIZATION**  
24001 SW 157 TH AVENUE, MIAMI, FL 33031  
OWNERS INFORMATION:  
**JAVIER ALVAREZ**  
alvarez@infjordawelding.com

PROJECT HISTORY:  
DATE: 05/20/2024  
PROJECT NUMBER: 22-041

SHEET TITLE:  
**FOUNTAINS PLANS & TYP. SECTION**

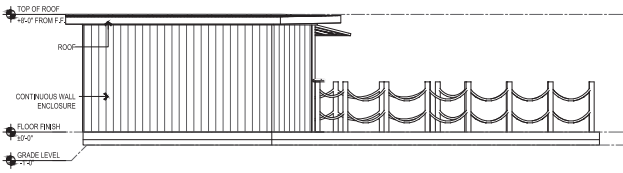
SHEET NUMBER:  
**A100**

SHEET: 3 OF: 8

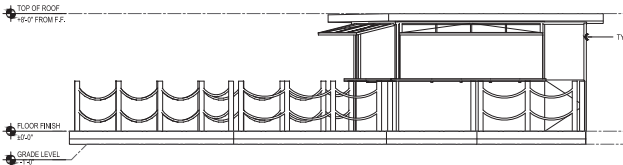


**5 ROOF PLAN**  
SCALE: 1/4" = 1'-0"

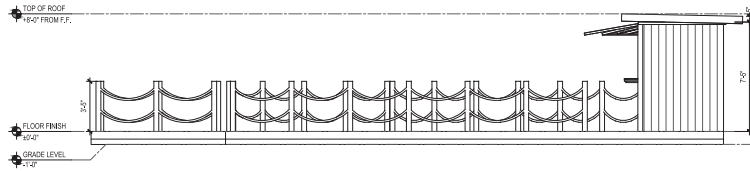
**6 FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



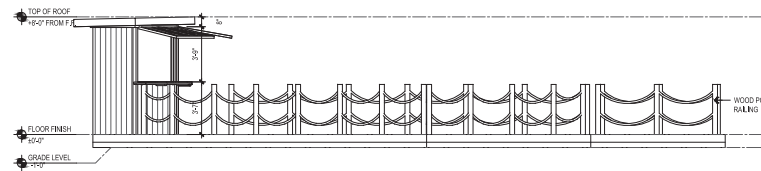
**1 MAIN ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 MAIN ELEVATION**  
SCALE: 1/4" = 1'-0"



**3 MAIN ELEVATION**  
SCALE: 1/4" = 1'-0"



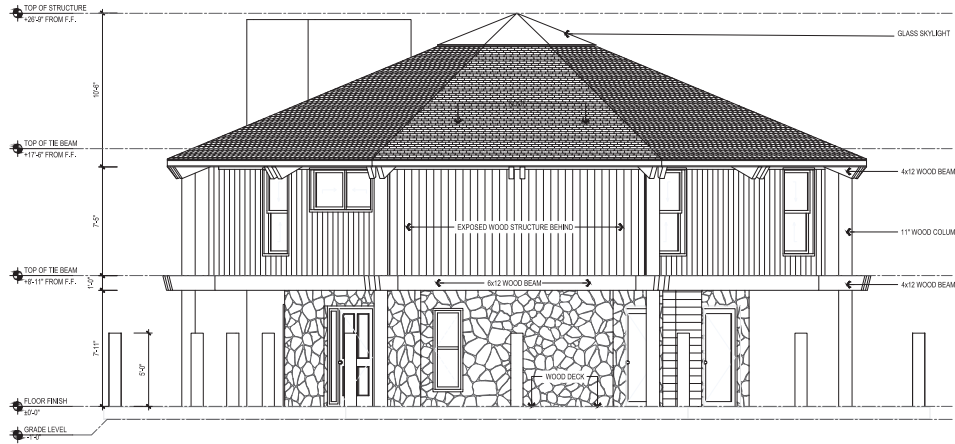
**4 MAIN ELEVATION**  
SCALE: 1/4" = 1'-0"



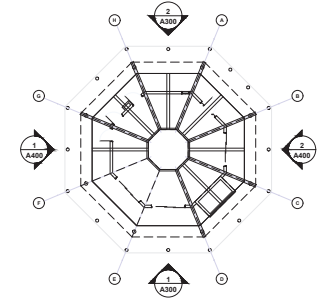
<p>DESIGN STUDIO 3201 SW 24th Ln Miami, Florida 33135 a. info@jah.com   jah.com</p>	<p>ARCHITECT OF RECORD:  <b>Juan A Hernandez</b>                  License Number: AR10184</p>	<p>Digitally signed by                  Juan A Hernandez                  DN: cn=JA, o=Florida,                  c=US, email=jah@jah.com,                  #1.3.6.1.5.5.2.1.1                  CN=Juan A Hernandez                  Reason: I am the                  author of this document                  Date: 2024.05.05                  13:30:18-0400                  Form: PDF Reader                  Version: 2024.2.0</p>	<p>DRAWN BY: CEPC</p> <p>REVISED BY: J AHL</p>	<p>Ownership and use of these drawings and specifications as instruments of professional service are and shall remain the property of the Architect and cannot be used, altered or reproduced as a whole or in part, unless authorization is so granted in writing by the Architect.</p>	<p>PROJECT NAME:  <b>24001 RESIDENCE   EXTERIOR FEATURES LEGALIZATION</b>                  24001 SW 157 TH AVENUE, MIAMI, FL 33031</p>	<p>PROJECT HISTORY:</p>	<p>PROJECT INFORMATION:                  DATE: 05/20/2024                  PROJECT NUMBER: 22-041</p>	<p>SHEET TITLE:  <b>EXTERIOR BAR PLANS &amp; ELEVATIONS</b></p>	<p>SHEET NUMBER:  <b>A200</b></p>
					<p>OWNERS INFORMATION:  <b>JAVIER ALVAREZ</b>                  alvarez@infjordawelding.com</p>	<p>SHEET: 4 OF: 8</p>			



**1 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**3 REFERENCE PLAN**  
SCALE: 1/16" = 1'-0"



ARCHITECT OF RECORD:  
**Juan A Hernandez**  
License Number: AR18184

**Juan A Hernandez**  
Architect

DRAWN BY: CEPC  
REVISED BY: JAHL

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PROJECT NAME:  
**24001 RESIDENCE | EXTERIOR FEATURES LEGALIZATION**  
24001 SW 157 TH AVENUE, MIAMI, FL 33031

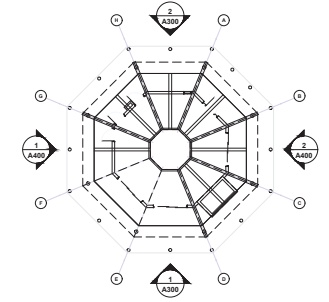
OWNERS INFORMATION:  
**JAVIER ALVAREZ**  
alvarez@infjordawelding.com

PROJECT HISTORY:

PROJECT INFORMATION:  
DATE: 05/20/2024  
PROJECT NUMBER: 22-041

SHEET TITLE:  
REFERENCE HOUSE PLAN, ELEVATIONS & PICTURES

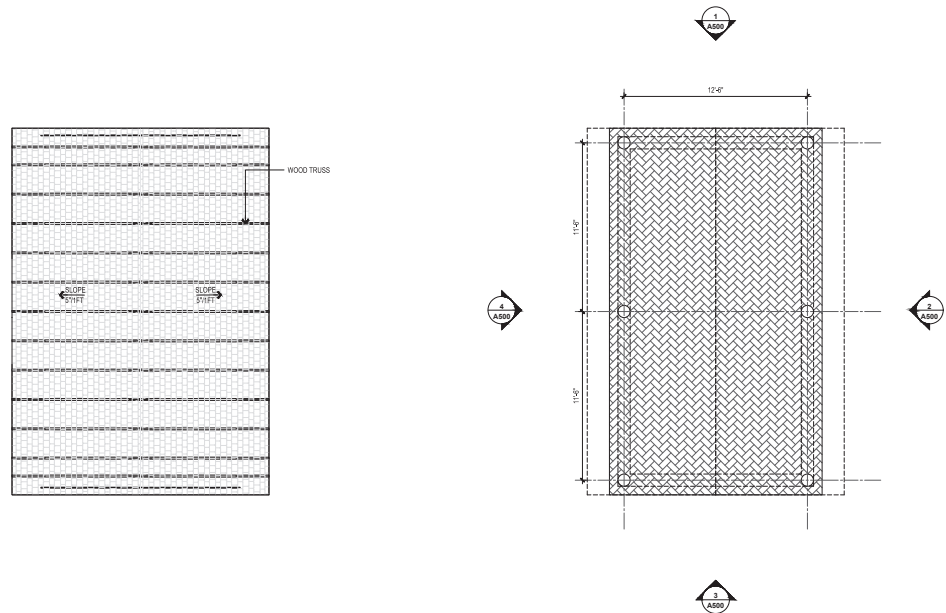
SHEET NUMBER:  
**A300**  
SHEET: 5 OF: 8



**3 REFERENCE PLAN**  
SCALE: 1/16" = 1'-0"

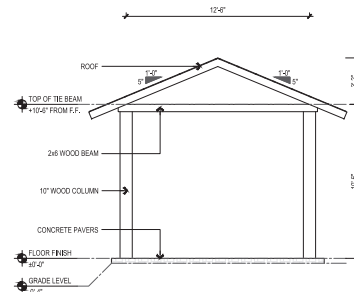


<p><b>JAH</b> DESIGN STUDIO 3278 SW 24th Ln Miami, Florida 33135 a.jah@jahstudio.com</p>	<p>ARCHITECT OF RECORD: <b>Juan A Hernandez</b> License Number: AR18184</p>	<p>Digitally signed by Juan A Hernandez, DN: cn=JA Hernandez, o=JAH, ou=JAH, email=jah@jahstudio.com, c=US, postalCode=33135, serial=18184, version=1.0, reason: I am the author of this document Date: 2024.05.05 13:30:32-0400 Form PDF Reader Version: 2024.2.0</p>	<p>DRAWN BY: CEPC</p>	<p>PROJECT NAME: <b>24001 RESIDENCE   EXTERIOR FEATURES LEGALIZATION</b> 24001 SW 157 TH AVENUE, MIAMI, FL 33031</p> <p>OWNERS INFORMATION: <b>JAVIER ALVAREZ</b> alvarez@infjordawelding.com</p>	<p>PROJECT HISTORY:</p>	<p>PROJECT INFORMATION: DATE: 05/20/2024 PROJECT NUMBER: 22-041</p>	<p>SHEET TITLE: REFERENCE HOUSE PLAN, ELEVATIONS &amp; PICTURES</p>	<p>SHEET NUMBER: <b>A400</b></p>
			<p>REVISED BY: JAH</p>		<p>Ownership and use of these drawings and specifications as instruments of professional service are and shall remain the property of the Architect and cannot be used, altered or reproduced as a whole or in part, unless authorization is so granted in writing by the Architect.</p>	<p>SHEET 6 OF 8</p>		

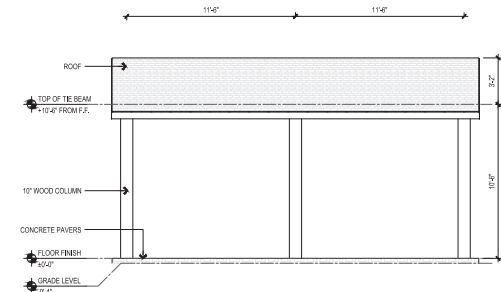


**2 ROOF PLAN**  
SCALE: 1/4" = 1'-0"

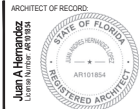
**1 FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**4 NORTH & SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**3 EAST & WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**Juan A. Hernandez**  
Architect

Drawn by: **CEPC**  
Revised by: **J AHL**

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**PROJECT NAME:**  
24001 RESIDENCE | EXTERIOR FEATURES LEGALIZATION  
24001 SW 157 TH AVENUE, MIAMI, FL 33031

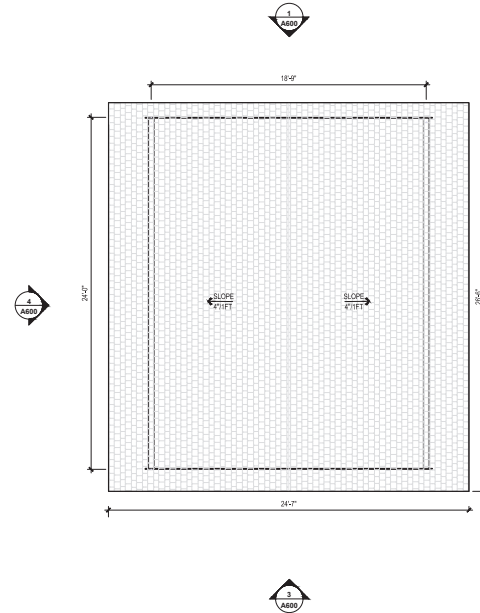
**OWNERS INFORMATION:**  
JAVIER ALVAREZ  
alvarez@infloreidawelding.com

**PROJECT HISTORY:**

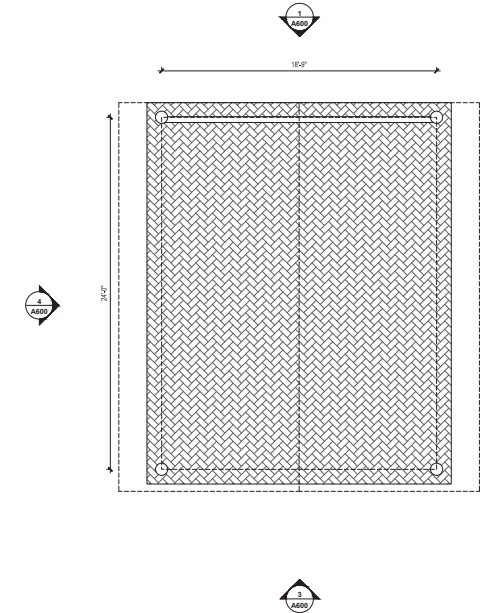
**PROJECT INFORMATION:**  
DATE: 05/20/2024  
PROJECT NUMBER: 22-041

**SHEET TITLE:**  
GAZEBO 1 PLAN, ELEVATIONS & PICTURES

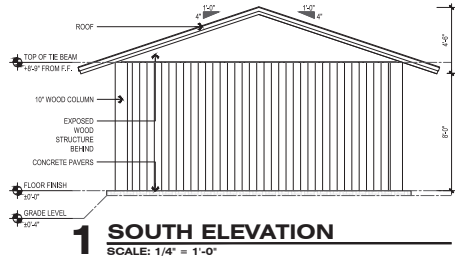
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**A500**  
SHEET: 7 OF: 8



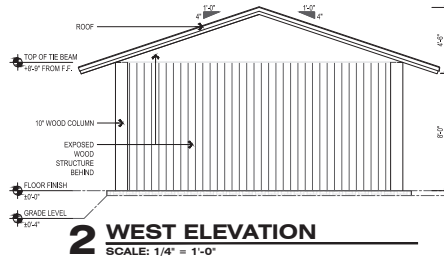
**5 ROOF PLAN**  
SCALE: 1/4" = 1'-0"



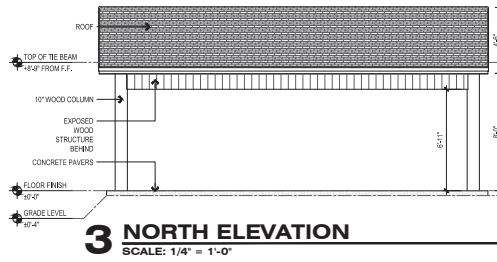
**6 FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



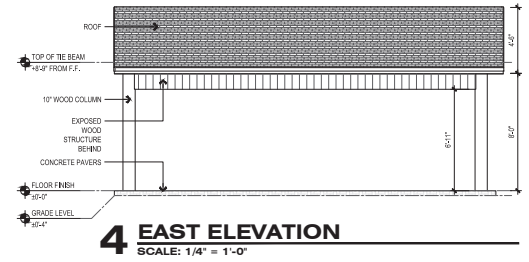
**1 SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**3 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**4 EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**Juan A. Hernandez**  
 Digitally signed by Juan A. Hernandez, DN: cn=Juan A. Hernandez, o=JAH DESIGN STUDIO, ou=JAH DESIGN STUDIO, email=jah@jahdesignstudio.com, c=US  
 Date: 2024.05.05 13:30:45-0400  
 Form PDF Reader Version: 2024.2.0

DRAWN BY: CEPC  
 REVISOR BY: JAH

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PROJECT NAME:  
**24001 RESIDENCE | EXTERIOR FEATURES LEGALIZATION**  
 24001 SW 157 TH AVENUE, MIAMI, FL 33031  
 OWNERS INFORMATION:  
**JAVIER ALVAREZ**  
 alvarez@infloredawelding.com

PROJECT HISTORY:  
 PROJECT INFORMATION:  
 DATE: 05/20/2024  
 PROJECT NUMBER: 22-041

SHEET TITLE:  
**GAZEBO 2 PLAN, ELEVATIONS & PICTURES**

SHEET NUMBER:  
**A600**

SHEET: 8 OF: 8













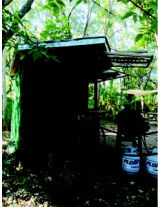






















EXISTING EXTERIOR BAR



EXISTING POND #1



EXISTING POND #2



EXISTING GAZEBO



EXISTING GAZEBO TO BE LEGALIZED



EXISTING MAIN RESIDENCE



EXISTING MAIN RESIDENCE

**Miami-Dade County Department of Regulatory and Economic Resources  
Staff Report to the Community Zoning Appeals Board 14**

**PH: Z24-156**

**September 15, 2025**

Item No. 3

<b>Recommendation Summary</b>	
<b>Commission District</b>	9
<b>Applicant</b>	Mahe Barbara Davila Perez & Gonzalo Estevez Aparicio
<b>Summary of Requests</b>	The applicants seek to permit an existing single-family residence to setback less than required from front property line. Additionally, the applicants seek to permit an existing utility shed to setback less than required from the front and side street property lines.
<b>Location</b>	11401 SW 193 Terrace, Miami-Dade County, Florida.
<b>Property Size</b>	±0.19 Acre
<b>Existing Zoning</b>	RJ-1
<b>Existing Land Use</b>	Single-family residence district, 7,500 sq. ft. net
<b>2030-2040 CDMP Land Use Designation</b>	Low Density Residential, 2-5 to 6 dua <i>(see attached Zoning Recommendation Addendum)</i>
<b>Comprehensive Plan Consistency</b>	Consistent with interpretative text, goals, objectives and policies of the CDMP
<b>Applicable Zoning Code Section(s)</b>	Section 33-311(A)(4)(b), Non-Use Variance Standards <i>(see attached Zoning Recommendation Addendum)</i>
<b>Recommendation</b>	<b>Approval with conditions.</b>

**REQUESTS:**

- (1) NON-USE VARIANCE to permit an existing single-family to setback 24.64' (25' for 50% of the lineal footage of the entire width of the house and 15' for the balance required) from the front (south) property line.
- (2) NON-USE VARIANCE to permit an existing detached accessory (utility shed) structure to setback 66.66' (75' required) from the front (south) property line and to setback at a minimum 8.70' (20' required) from the side street (east) property line.

Plans are on file and may be examined in the Department of Regulatory and Economic Resources, entitled "Legalization of Shed and Setback", SP-1 dated stamped received 1/31/2025 consisting of 1 sheet, A-2 dated stamped received 12/13/2024 consisting of 1 sheet, as prepared by Arshad Viqar, P.E., and shed plans entitled "Superior Sheds" dated stamped received 8/19/202, consisting of 10 sheets, as prepared by Building Drops, Inc., for a total of 12 sheets. Plans may be modified at public hearing.

**PROJECT DESCRIPTION:**

The property is located at 11401 SW 193 Terrace, Miami-Dade County, Florida. The submitted plans depict an existing one (1)-story 1,683 square feet single-family residence on a corner lot with an attached covered terrace, and an existing detached utility shed located towards the rear of the ±0.19-acre subject property that fronts along both SW 193 Terrace and SW 114 Avenue roadways. The applicants are seeking to permit the existing single-family residence with encroachment into the front setback area. The applicants are also seeking to permit the existing detached utility shed with encroachment into the front and side street setback areas. The

submitted plans, photos, and the County’s Geographical Information System (GIS) aerial map indicate existing landscaping in the form of trees, hedges and a 6’ high horizontal metal picket fence located along the front property line, as well as a 6’ high metal panel fence located along the side street property line of the subject property.

<b><u>NEIGHBORHOOD CHARACTERISTICS</u></b>		
	<b>Zoning and Existing Use</b>	<b>Land Use Designation</b>
<b>Subject Property</b>	RU-1; single-family residence	Low Density Residential (2.5 to 6 dua)
<b>North</b>	RU-1; single-family residence	Low Density Residential (2.5 to 6 dua)
<b>South</b>	RU-1; single-family residence	Low Density Residential (2.5 to 6 dua)
<b>East</b>	RU-1; Miami-Dade County Public School facility	Low Density Residential (2.5 to 6 dua)
<b>West</b>	RU-1; single-family residence	Low Density Residential (2.5 to 6 dua)

**NEIGHBORHOOD COMPATIBILITY:**

The subject property consists of an existing single-family residence that is on a RU-1, Single-Family Residential District, zoned corner lot, located at 11401 SW 193 Terrace. The surrounding area is characterized by existing single-family residences, also developed under the RU-1, Single-Family Residential District regulations and to the east, across from SW 114 Avenue is a Miami-Dade County public school facility.

**SUMMARY OF THE IMPACTS:**

The approval of this application will permit the applicant to maintain the existing residence and existing detached utility shed with encroachments into the front and side street setback areas. However, due to the fact that the front and side street yard areas are completely enclosed with an existing 6’ horizontal picket fence and 6’ high metal panel fence, staff opines that any visual impact that the existing structure and detached shed have on the surrounding residences is minimal and would be sufficiently mitigated.

**COMPREHENSIVE DEVELOPMENT MASTER PLAN ANALYSIS:**

The ±0.19-acre subject property is located within the Urban Development Boundary (UDB) and the Comprehensive Development Master Plan (CDMP) Adopted 2030-2040 Land Use Plan (LUP) map designates the site as **Low Density Residential**. The CDMP Land Use Element interpretative text for Low Density Residential states; *“residential densities allowed in this category shall range from a minimum of 2.5 to a maximum of 6.0 dwelling units per gross acre”, and “is generally characterized by single family housing, e.g., single-family detached, cluster, and townhouses.”* The approval of the requests to setback the existing single-family residence (request #1) and to setback the accessory detached utility shed (request #2) less than required by Code from the property lines will not add additional dwelling units to the site beyond what is allowed by the LUP map of the CDMP. Since the applicants are not requesting to add additional dwelling units, staff opines that approval of the application would be **consistent** with the Land Use Element interpretative text under the **Low-Density Residential** Communities designation on CDMP LUP

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map.

### **ZONING ANALYSIS:**

When the requests to permit an existing single-family residence to setback 24.64' (25' for 50% of the lineal footage of the entire width of the house and 15' for the balance required) from the front (south) property line (request #1), and to permit an existing detached utility shed to setback 66.66' (75' required) from the front (south) property line and setback 8.70' (20' required) from the side street (east) property line (request #2), are analyzed under the Non-Use Variances From Other Than Airport Regulations, Section 33-311(A)(4)(b), staff opines that the approval with conditions of this request would be **compatible** with the surrounding area, would not be detrimental to the neighborhood and would not affect the appearance of the community.

The plans submitted in conjunction with this application depict the existing single-family residence on a corner lot, with an existing detached utility shed structure located towards the rear of the subject property. The single-family residence structure encroaches into the front setback area, whereas the detached utility shed is located closer from the front and side street property lines than is permitted under the zoning standards. Staff notes that the County Geographical Information System (GIS) shows that the existing single-family structure was built around 1970 and that a front setback of 24.64', which is fractionally less than the 25' that is otherwise required by code, is likely from a simple construction error. The detached utility shed with its reduced setbacks is a much newer addition to the property and was built approximately in 2024. Staff supports the requests and opines that approval with conditions of these non-variances would maintain the basic intent and purpose of the zoning, subdivision and other land use regulations. Staff notes from plans and photographs submitted by the applicants as well as the County's Geographic Information System (GIS) that any impact of the request is adequately mitigated by existing landscaping and shade trees, as well as an existing 6' horizontal metal picket fence along the front property line and 6' high metal panel fence along the side street property line, which staff opines, buffers any visual intrusion of the encroachments on the surrounding properties, especially to the parcels to south and east of the subject property.

Staff further opines that the existing encroachments of the single-family residence towards the front property lines are very minimal and internal to the site and any negative visual impacts generated from the encroachments by 0.36' into the front setback area onto the property located to the south of the subject site would be adequately mitigated by the aforementioned existing 6' high horizontal metal picket fence buffer as well as ample landscaping in the form of a dense hedge and rows of palm trees that exist along the perimeter of the property lines. Similarly, in regards to the requested variance of a reduced setback for the existing detached utility shed located toward the rear of the property (request #2), staff has no objections to the request and opines that although said detached utility shed is situated closer to the front (south) and side street (east) property lines, it is enclosed from view from the outside by the existing 6' high horizontal metal picket fence and 6' high metal panel fence and would not have any significant visual impacts on the Miami-Dade County School facility to the east which is further separated by the SW 114 Avenue right-of-way. Staff recommends as a condition for approval that the said fences along the property lines be maintained as a visual buffer, and, if said fence is destroyed or removed, it must be replaced by an opaque fence at a maximum height of 6', or a fence with a hedge 3' high at the time of planting, which shall grow to and be maintained at a minimum height of 6', in accordance with Section 33-11(h) of the County Code.

Staff's research of the surrounding area found a similar approval within the neighborhood for variance of the setback requirements for a single-family residence structure. For example, a

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property located at 19370 SW 114 Avenue was approved pursuant to administrative variance #V2016000037 to have the existing single-family residence structure to setback 19' (25' required) from front (east) property line and setback 7.08' (7.5' required) from the interior side (south) property line for existing additions to the single-family residences located on said property, respectively. Furthermore, staff opines that the architectural style and scale of the single-family residence and the detached utility shed are designed and arranged in a manner that would not be detrimental to the neighborhood or create adverse impacts on the abutting properties, and that approval with conditions of the requested setbacks would be **compatible** with the surrounding residences and with the aesthetic character of the immediate vicinity. **Based on the foregoing analysis, staff recommends approval with conditions of the application under Section 33-311(A)(4)(b), the Non-Use Variance (NUV) From Other Than Airport Regulations Standards.**

**ACCESS, CIRCULATION AND PARKING:** Not applicable.

**NEIGHBORHOOD SERVICES PROVIDER REVIEW:** See attached.

**OTHER:** Not applicable.

**RECOMMENDATION:**

**Approval with conditions.**

**CONDITIONS FOR APPROVAL:**

1. That a site plan be submitted to and meet with the approval of the Director of the Department of Regulatory and Economic Resources upon the submittal of an application for a building permit and/or Certificate of Use; said plan must include among other things but not be limited to, location of structure or structures, exits and entrances, drainage, walls, fences, landscaping, and other requirements.
2. That in the approval of the plan, the same be substantially in accordance with that submitted for the hearing entitled, "Legalization of Shed and Setback", SP-1 dated stamped received 1/31/2025 consisting of 1 sheet, A-2 dated stamped received 12/13/2024 consisting of 1 sheet, as prepared by Arshad Viqar, P.E., and shed plans entitled "Superior Sheds" dated stamped received 8/19/202, consisting of 10 sheets, as prepared by Building Drops, Inc., for a total of 12 sheets. Except any future additions on the property which conform to zoning code requirements will not require further public hearing action.
3. That the use be established and maintained in accordance with the approved plan.
4. That the applicant obtains a building permit for all non-permitted structures, if applicable, from the Department of Regulatory and Economic Resources.
5. That the 6' high horizontal metal picket fence along the front property line and 6' high metal panel fence along the side street property line be maintained as a visual buffer, and, if said fence and/or hedges are destroyed or removed, it must be replaced by an opaque fence at a maximum height of 6', or a fence with a hedge 3' high at the time of planting, which shall grow to and be maintained at a minimum height of 6,' in accordance with Section 33-11(h) of the County Code.

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ES:JB:SS:VM

*Eric Silva*

Eric Silva, AICP Assistant Director  
Development Services Division  
Miami-Dade County Department of  
Regulatory and Economic Resources

# ZONING RECOMMENDATION ADDENDUM

Mahe Barbara Davila Perez & Gonzalo Estevez Aparicio  
(PH: Z24-156)

<b>NEIGHBORHOOD SERVICES PROVIDER COMMENTS</b>	
<i>Division of Environmental Resource Management (RER)</i>	<i>No objection</i>
<i>Platting and Traffic Review Section (RER)</i>	<i>No objection</i>
<i>Water and Sewer Department</i>	<i>No objection</i>
<i>Miami-Dade County Office of Historic Preservation (OHP)</i>	<i>No objection</i>
<i>Fire and Rescue Department</i>	<i>No objection</i>
<i>*Subject to conditions in their memorandum.</i>	

## COMPREHENSIVE DEVELOPMENT MASTER PLAN (CDMP) OBJECTIVES, POLICIES, AND INTERPRETATIVE TEXT

<b>Low Density Residential (Pg. I-29)</b>	<i>The Adopted 2030 and 2040 Land Use Plan designates the subject property as being within the Urban Development Boundary for Low Density Residential. The residential densities allowed in this category shall range from a minimum of 2.5 to a maximum of 6.0 dwelling units per gross acre. Residential densities of blocks abutting activity nodes as defined in the Guidelines for Urban Form, or of blocks abutting section line roads between nodes, shall be allowed a maximum residential density of 10.0 dwelling units per gross acre. To promote infill development, residential development exceeding the maximum density of 6.0 dwelling units per acre is permitted for substandard lots that were conveyed or platted prior to August 2nd, 1938. This density category is generally characterized by single family housing, e.g., single family detached, cluster, and townhouses. It could include low-rise apartments with extensive surrounding open space or a mixture of housing types provided that the maximum gross density is not exceeded.</i>
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## PERTINENT ZONING REQUIREMENTS/STANDARDS

<b>Section 33-311(A)(4)(b) Non-Use Variances From Other Than Airport Regulations.</b>	<i>Upon appeal or direct application in specific cases, the Board shall hear and grant applications for non-use variances from the terms of the zoning and subdivision regulations and may grant a non-use variance upon a showing by the applicant that the non-use variance maintains the basic intent and purpose of the zoning, subdivision and other land use regulations, which is to protect the general welfare of the public, particularly as it affects the stability and appearance of the community and provided that the non-use variance will be otherwise compatible with the surrounding land uses and would not be detrimental to the community. No showing of unnecessary hardship to the land is required.</i>
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**Section 33-50**

*The minimum setback distances and spacing requirements in residential and estate districts shall be as follows:*

District/Families	Front (Ft.)	Rear (Ft.)		Interior Side (Ft.)	Side Street (Ft.)
RU-1: One	15 for 50% of the lineal footage of the width of the house and 25 for balance; except 20 for attached garages	15 for 50% of the lineal footage of the width of the house and 25 for balance	—	10% lot width min.—5' max.—7½'	15
Acc. bldg.	75	5		same as RU-1 res.	equal to front setback requirements for principal structure on key lot, plus 5'; 20' where there is no key lot.
Canopy carport	5	5	—	2	5
RU-2: One				- same as RU-1 res. -	
Two singles: Front				- same as RU-1 res. -	
Rear				- same as RU-1 acc. bldg. -	
Duplex				- same as RU-1 res. -	
Acc. bldg.				- same as RU-1 acc. bldg. -	
Canopy carport	5	5	—	2	5

***Building and Neighborhood Compliance***

**ENFORCEMENT HISTORY**

MAHE BARBARA DAVILA PEREZ &  
GONZALO ESTEVEZ APARICIO

11401 SW 193 TER  
MIAMI-DADE COUNTY, FLORIDA.

---

**APPLICANT**

**ADDRESS**

Pending

Z2024000156

---

**DATE**

**HEARING NUMBER**

**FOLIO: 30-6006-012-0740**

**REVIEW DATE OF CURRENT ENFORCEMENT HISTORY:**

January 9, 2025

**NEIGHBORHOOD REGULATIONS:**

**Case No. 202302000700** was opened on 02/10/2023. Warning Notice W398709 was issued on 02/10/2023 for FAILURE TO OBTAIN A ZONING IMPROVEMENT PERMIT AS STATED IN 33-8.1, TO WIT: IRON FENCE FRONT YARD. Since compliance was not met, Civil Violation T112775 was issued on 05/18/2023 for FAILURE TO REMOVE OR OBTAIN A ZONING IMPROVEMENT PERMIT, TO AS STATED IN 33-8.1 WIT: IRON FENCE FRONT YARD. A compliance inspection conducted on 12/06/2023 revealed that the violation was corrected. Case was closed on 01/18/2024.

**Case No. 202402006433** was opened on 10/17/2024. Warning Notice W448119 was issued on 10/19/2024 for "OVER-HEIGHT FENCE, BARBED WIRE, WALL, OR HEDGE, TO WIT: FAILURE TO MAINTAIN HEDGES ON PRIVATE PROPERTY TO A MAXIMUM HEIGHT OF 7 FT. HEDGES ENCROACHING INTO SIDEWALK THUS OBSTRUCTING PEDESTRIANS AND STREET VISIBILITY." A compliance inspection conducted on 10/31/2024 revealed that the violation was corrected. Case is closed.

**Case No. 202402006488** was opened on 10/19/2024. Warning Notice W448120 was issued on 10/19/2024 for "RECREATIONAL VEHICLE OR EQUIPMENT THAT IS STORED ON THE PROPERTY THAT EXCEEDS THE HEIGHT AND/OR LENGTH AS STATED IN 33-20(F)(8), TO WIT: RECREATIONAL VEHICLE/ CAMPER LENGTH SHALL NOT EXCEED THIRTY (30) FEET AND THE MAXIMUM HEIGHT SHALL NOT EXCEED TEN (10) FEET. VEHICLE STORED/PARKED ON THE EAST SIDE OF THE RESIDENTIAL PROPERTY KNOWN AS 11401 SW 193 TER, IN MIAMI-DADE COUNTY; REMOVE RECREATIONAL VEHICLE FROM THE PROPERTY." A

compliance inspection conducted on 10/31/2024 revealed that the violation was corrected. Case is closed.

**Case No. 202402006489** was opened on 10/19/2024. Warning Notice W448122 was issued on 10/19/2024 for "ILLEGALLY STORING MORE THAN TWO BOATS OR WATER VESSELS AS STATED IN 33-20(E)(2), TO WIT: UNLAFULLY STORING MORE THAN ONE BOAT OR WATER VESSEL AS STATED IN 33-20(E)(2), TO WIT: 2 BOATS PARKED, STORED ON THE WEST SIDE OF THE YARD RU1 ZONE. SITES WITH LESS THAN ONE-HALF (0.5) ACRE OF LOT AREA SHALL BE PERMITTED TO STORE UP TO ONE (1) BOAT" A compliance inspection conducted on 10/31/2024 revealed that the violation was corrected. Case is closed.

**BUILDING SUPPORT REGULATIONS:**

**Building Support Case 20230220292-B** Opened on February 21, 2023, Failure to obtain required building permit(s) prior to commencing work on: Aluminum roof, windows replaced and structure East side of property and pool barrier. Shed in setback.

Notice of violation issued on February 21,2023 and mailed on February 22, 2023. Notice of violation Recorded under Book: 33593 Page: 4143 Total Pages: 1 on February 24, 2023. Civil violation notices P052862, P052864 and P052858 issued on July 10, 2024 due to noncompliance. Civil violation notice P052862 was voided due to Insufficient evidence to confirm that the shed was present during issuance of citation and Civil violation notice P052864 was voided due to Subdivided fence to be enforced under case no. 20240231705-B with a new notice of violation as it was not mentioned on NOV for case no. 20230220292. Civil violation P052858 was appealed on July 26,2024 . **Violation is not corrected, the case is open.**

**Building Support Case# 20240231705-B:** Case opened, and Notice of Violation created on 7/17/2024 for work done outside scope of work for permit 2020050340. Notice of Violation recorded on 7/24/2024 under Book: 34325 Page: 4023 Total Pages: 1. A compliance inspection conducted on 11/06/2024 revealed that the violation was corrected. Case was closed on 11/10/2024.

**VIOLATOR:**

MAHE BARBARA DAVILA PEREZ GONZALO ESTEVEZ APARICIO


**OUTSTANDING LIENS AND FINES:**

There are no outstanding liens or fines.

# Memorandum

**Date:** August 27, 2025

**To:** Lourdes M. Gomez, AICP, Director  
Department of Regulatory and Economic Resources

**From:** Lisa M. Spadafina, RER Assistant Director  
Division of Environmental Resources Management 

**Subject:** Z2024000156-2<sup>nd</sup> Review  
Mahe Barbara Davila Perez and Gonzalo Estevez Aparicio  
11401 SW 193<sup>rd</sup> Terrace  
Non-Use Variance for setback requirements for the legalization of a  
shed at a single-family residence.  
(RU-1) (0.213 Acres)  
06-56-40

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The Department of Regulatory and Economic Resources – Division of Environmental Resources Management (DERM) has reviewed the above referenced zoning application for compliance with the requirements of Chapter 24 of the Miami-Dade County Code (the Code) for potable water service and wastewater disposal. Based on the information provided, this zoning application is approved pursuant to sections 24-43.1 and 24-43(5) of the Code related to potable water service and wastewater disposal, and wellfield protection area, respectively.

#### Wellfield Protection

The subject property is located within the Outer Wellfield Protection Area for the South Miami Wellfield. Since the subject land use is for a residential development, a covenant prohibiting hazardous materials and hazardous waste is not required; however, all development shall comply with the requirements of section 24-43 of the Code.

#### **Conditions of Approval: None**

#### Potable Water Supply and Wastewater Disposal

According to DERM records, the property is currently connected to public water and sewer. Pursuant to the Code, the structure to be legalized is required to connect to public water and sanitary sewers to the extent that they have plumbing connections for potable water and/or wastewater. All sewer lines serving the property shall comply with the exfiltration standards as applied to development within wellfield protection areas.

#### **Conditions of Approval: None**

#### Water Control Comments

Stormwater shall be retained on site utilizing properly designed seepage or infiltration drainage system. Drainage plans shall provide for full on-site retention of the stormwater runoff generated by a 5-year / 1-day storm event.

Site grading and development plans shall comply with the requirements of Chapter 11C of the Code, as well as with all state and federal criteria, and shall not cause flooding of adjacent properties.

Any proposed development shall comply with county and federal flood criteria requirements. The proposed development order, if approved, will not result in a reduction in the LOS standards for flood protection set forth in the CDMP subject to compliance with the conditions required for this proposed development order.

**Conditions of Approval: None**

Tree Preservation

An aerial review of the subject property indicates the presence of tree resources; however, the site plan entitled “Legalization of Shed and Setback” prepared by Arshad Viqar, P.E., and dated as received by Miami-Dade County on July 19, 2024, was submitted with the subject application and indicates that tree resources onsite will not be removed. Please note that a Miami-Dade County Tree Permit is required prior to the removal and/or relocation of any tree that is subject to the tree preservation and protection provisions of the Code. Projects and permits shall comply with the requirements of sections 24-49.2 and 24-49.4 of the Code.

In accordance with section 24-49.9 of the Code, all plants prohibited by Miami-Dade County shall be removed from all portions of the property prior to development, or redevelopment and developed parcels shall be maintained to prevent the growth or accumulation of prohibited species. Please contact Jackelyn Alberdi at [Jackelyn.Alberdi@miamidade.gov](mailto:Jackelyn.Alberdi@miamidade.gov) regarding any additional information or concerns with this review.

**Conditions of Approval: None**

Enforcement History

There are no open or closed enforcement records for violations of Chapter 24 of the Code for the subject property. There are no outstanding DERM liens or fines for the subject property.

Concurrency Review Summary

A concurrency review has been conducted for this application and DERM has determined that the same meets all applicable LOS standards for an initial development order as specified in the adopted CDMP for potable water supply, wastewater disposal, and flood protection. This concurrency approval is valid only for this initial development order. Pursuant to Chapter 33G of the Code, a final concurrency statement will be issued at the time of final development order.

If you have any questions concerning the comments or wish to discuss this matter further, please contact Ninfa Rincon at (305) 372-6764.


cc: Eric Silva, Department of Regulatory and Economic Resources

# Memorandum



**Date:** February 20, 2025

**To:** Eric Silva, AICP, Assistant Director  
Development Services Division  
Department of Regulatory and Economic Resources (RER)

**From:** Maria A. Valdes, CSM, LEED® Green Associate  
Chief, Planning & Water Certification Section  
Water and Sewer Department (WASD) 

**Subject:** Zoning Application Comments - Mahe B. Davila Perez  
Application No. Z2024000156 - Revision No. 3

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The Water and Sewer Department has reviewed the proposed development for the subject zoning application. WASD has no objection to this zoning application, based on the information provided. Additional requirements may be needed at the time of permitting. The information provided below is preliminary and it does not affect the Zoning process.

Application Name: Mahe B. Davila Perez

Location: The proposed project is located on approximately 0.21 acres at 11401 SW 193<sup>rd</sup> Terrace, with Folio No. 30-6006-012-0740, in unincorporated Miami-Dade County.

Proposed Development: The Applicant is requesting a Public Hearing Application to obtain the permit for the existing utility shed to be used for storage without the required setback at the existing single-family residence.

This project results in a no-net-increase to the water demand.

Per site plan and survey submitted with this application, there is a 12 feet WASD Utility Easement centered on the northern property line of the subject site (6 feet within the subject property as noted in the survey submitted with this zoning application). ***Please note that the 12 feet WASD utility easement is housing an 8-inch sewer line (as per as-built No. ES632-2). Permanent structures, trees or palms are not allowed within said utility easement (only passive landscaping along the Utility Easement).***

Water/Sewer: The subject site is located within the WASD's water and sewer service area. The subject property is currently connected to water and sewer.

Should you have any questions, please contact Maria A. Valdes, Chief, Planning & Water Certification Section at (786) 552-8198 or [mavald@miamidade.gov](mailto:mavald@miamidade.gov), Alfredo B. Sanchez at (786) 552-8237 or [sanalf@miamidade.gov](mailto:sanalf@miamidade.gov), or Benita Ramirez at (786) 552-8121 or [benita.ramirez@miamidade.gov](mailto:benita.ramirez@miamidade.gov).

# Memorandum



Date: September 16, 2024

To: Eric Silva, AICP, Assistant Director  
Department of Regulatory and Economic Resources

From:  **For:** Raul A. Pino, PLS, Chief  
Platting and Traffic Review Section  
Department of Regulatory and Economic Resources

Subject: Z2024000156  
Name: Mahe Barbara Davila Perez and Gonzalo Estevez Aparicio  
Location: 11401 SW 193 Terrace  
Section 18 Township 56 South Range 40 East

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The Department of Regulatory and Economic Resources Platting and Traffic Review Section has reviewed the subject application and has **no objections**.

This land **complies** with Chapter 28 of the Miami-Dade County Code. The property is platted as Lot 42, Block 58, Plat Book 89, Page 46.

This application does not generate any additional trips.

#### Standard Conditions:

- A letter or a plan containing the following certification signed and sealed by a State of Florida registered engineer shall be submitted as part of the paving and drainage plans: "I hereby certify that the all of the roads for the subject project comply with all of the applicable portions of the Manual of Uniform Minimum Standards for Design, Construction and Maintenance for Streets and Highways (Florida Greenbook) regarding: design speed, lane widths, horizontal alignment, vertical alignment, stopping sight distance, sight distance, horizontal clearance, vertical clearance, superelevation, shoulder widths, grades, bridge widths, etc."
- All landscaping, walls, fences, entrance features, etc. will be subject to the Safe Sight Distance Triangle as per Section 33-11 of the Miami-Dade County Code and G5.3 of the Public Works and Waste Management Department Manual.

# Memorandum



**Date:** February 13, 2025

**To:** Eric Silva, Assistant Director  
Regulatory and Economic Resources

**From:** Alejandro G Cuello, Principal Planner  
Miami-Dade Fire Rescue Department

**Subject:** Z2024000156

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The Miami-Dade Fire Rescue Department has **no objection** to the site plan uploaded in “EnerGov” on 1/31/2025. Single family home.

MDFR’s review of this zoning application is limited to assessing fire department access and does not effectuate an approval of the building design. The future building’s design must be in compliance with the applicable requirements for the proposed use:

Florida State Statute Chapter 633 (Fire Prevention & Control)  
Florida Administrative Code 69A  
Florida Fire Prevention Code (NFPA 1 and NFPA 101 (2018 edition))  
Applicable adopted NFPA Standards  
County Code Chapter 14

For additional information, please contact [acuello@miamidade.gov](mailto:acuello@miamidade.gov) or call 305-775-3357.

# Memorandum



**Date:** October 23, 2024

**To:** Eric Silva, Assistant Director for Development Services  
Department of Regulatory and Economic Resources

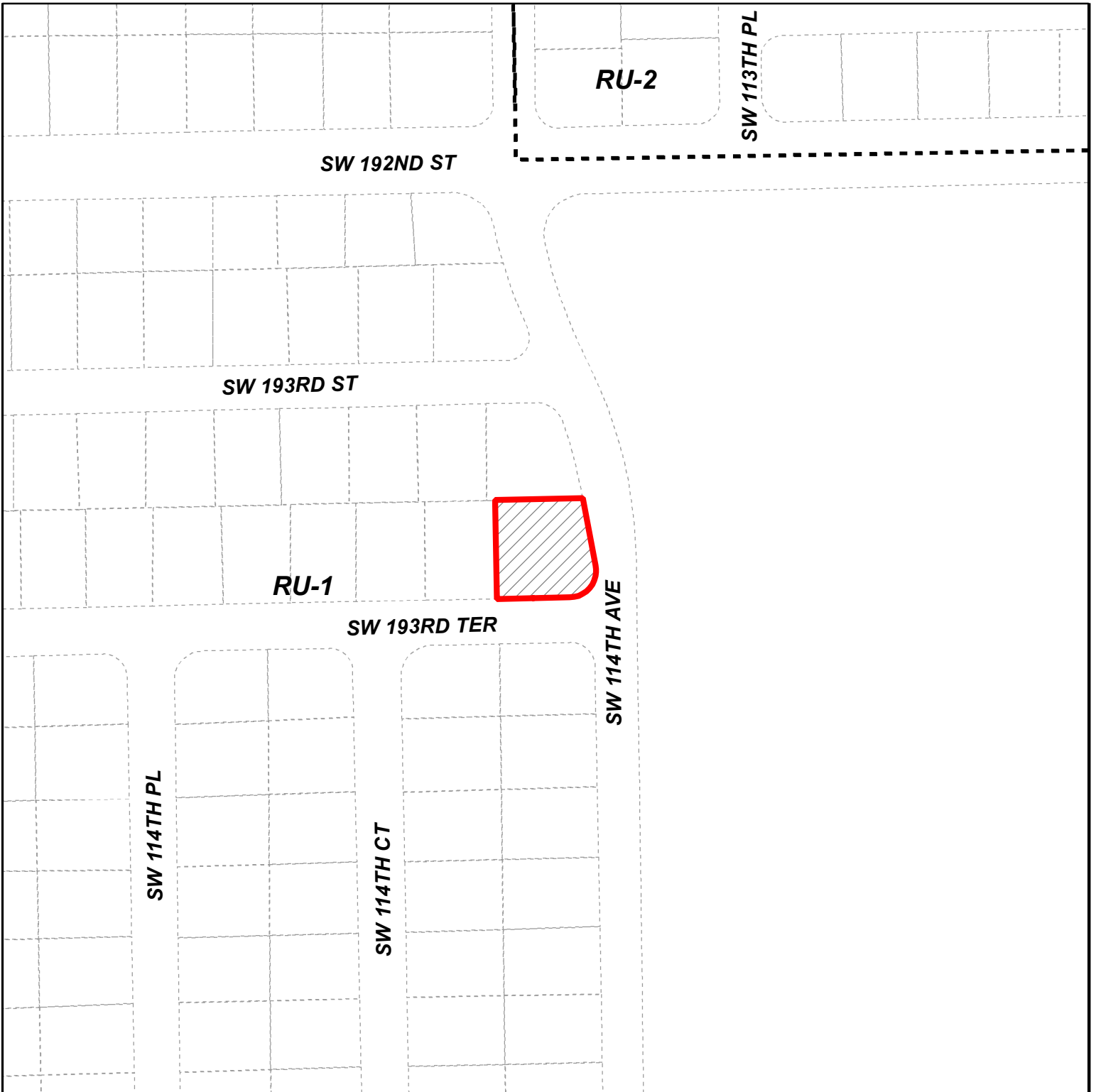
**From:** Sarah Cody, Historic Preservation Chief  
Department of Regulatory and Economic Resources

**Subject:** Zoning Application Z2024-000156 Mahe Barbara Davila Perez and Gonzalo Estevez Aparicio

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The Miami-Dade County Office of Historic Preservation has reviewed the subject application and has no comments or objections.

For any questions, please contact Sarah Cody at (305) 375-4438 or via email at [sarah.cody@miamidade.gov](mailto:sarah.cody@miamidade.gov).



**MIAMI-DADE COUNTY**

**HEARING MAP**



Process Number

**Z2024000156**

Section: 06 Township: 56 Range: 40  
 Applicant: South Florida Expedites LLC  
 Zoning Board: C14  
 Commission District: 9  
 Drafter ID: EDUARDO CESPEDES  
 Scale: NTS



**Legend**

-  Subject Property Case
-  Zoning




SKETCH CREATED ON: Friday, August 23, 2024

REVISION	DATE	BY



**MIAMI-DADE COUNTY**  
**AERIAL YEAR 2023**

Process Number  
**Z2024000156**

**Legend**  
 Subject Property

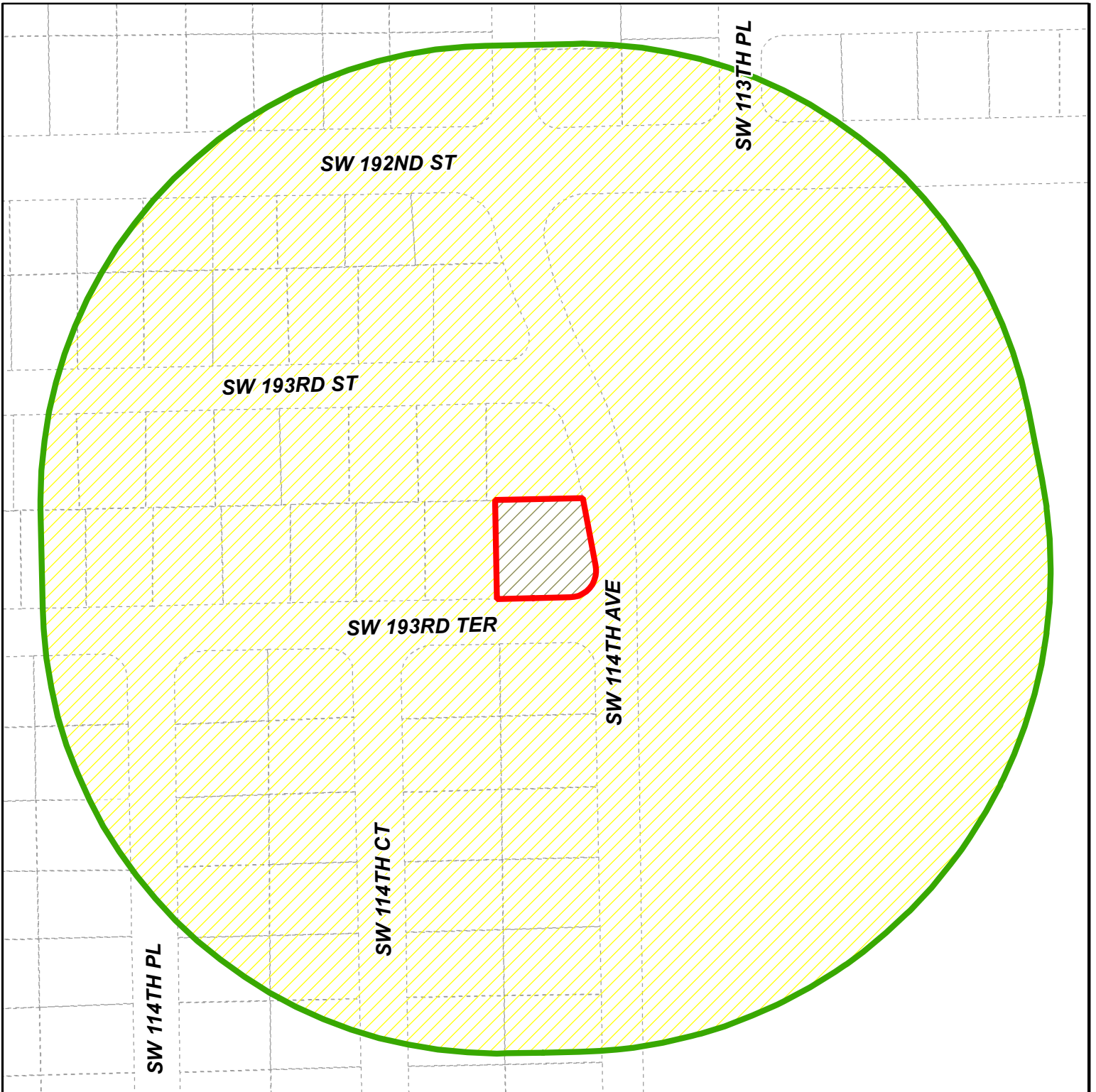


Section: 06 Township: 56 Range: 40  
 Applicant: South Florida Expedites LLC  
 Zoning Board: C14  
 Commission District: 9  
 Drafter ID: EDUARDO CESPEDES  
 Scale: NTS



SKETCH CREATED ON: Friday, August 23, 2024

REVISION	DATE	BY






**MIAMI-DADE COUNTY**  
**RADIUS MAP**

**Section: 06 Township: 56 Range: 40**  
**Applicant: South Florida Expedites LLC**  
**Zoning Board: C14**  
**Commission District: 9**  
**Drafter ID: EDUARDO CESPEDES**  
**Scale: NTS**

**Process Number**  
**Z2024000156**  
**RADIUS: 500**

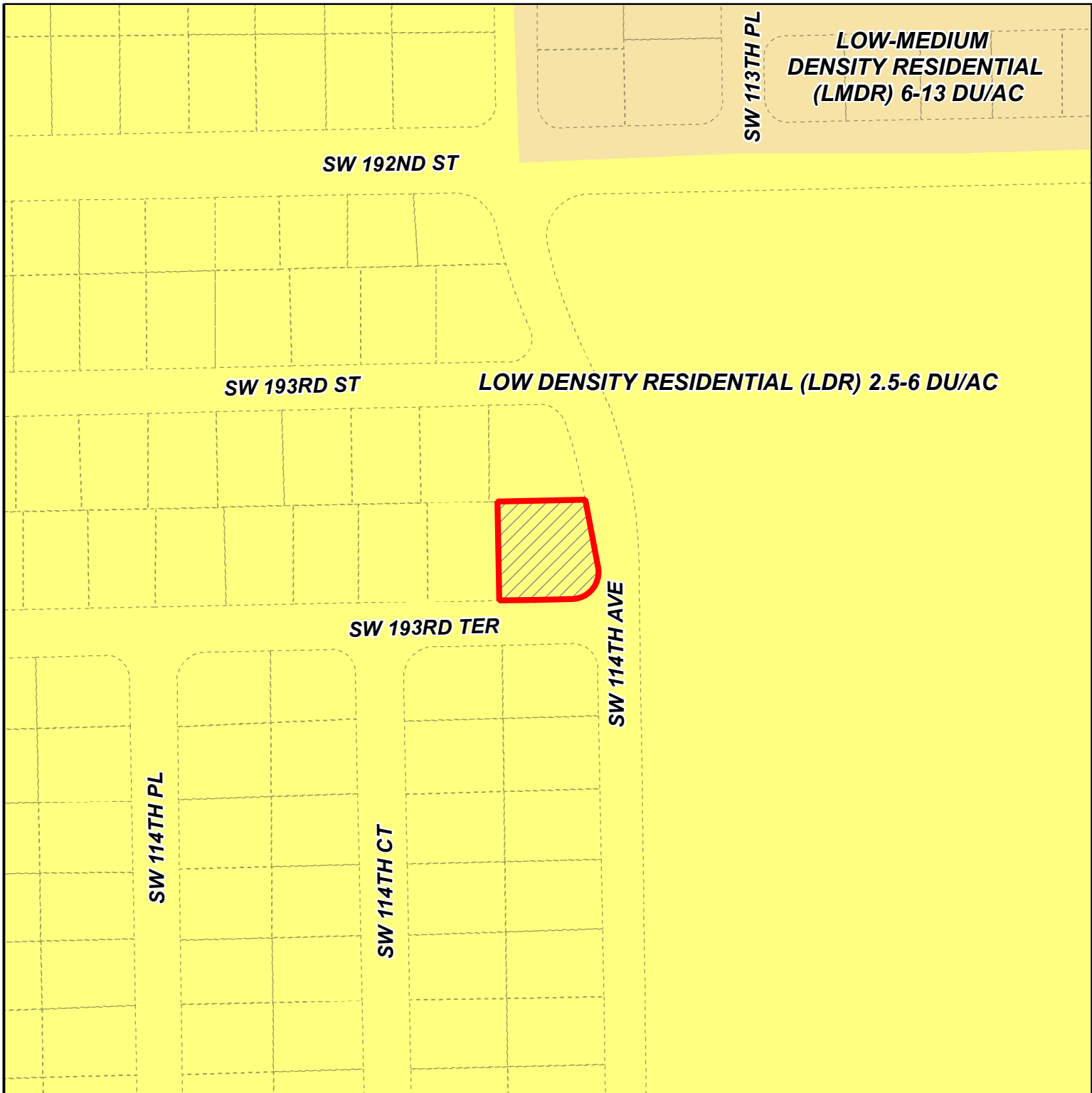
**Legend**

-  Subject Property
-  Buffer
-  Property Boundaries



SKETCH CREATED ON: Friday, August 23, 2024

REVISION	DATE	BY



**MIAMI-DADE COUNTY**

**CDMP MAP**

Process Number

**Z2024000156**

Section: 06 Township: 56 Range: 40  
 Applicant: South Florida Expedites LLC  
 Zoning Board: C14  
 Commission District: 9  
 Drafter ID: EDUARDO CESPEDES  
 Scale: NTS



**Legend**

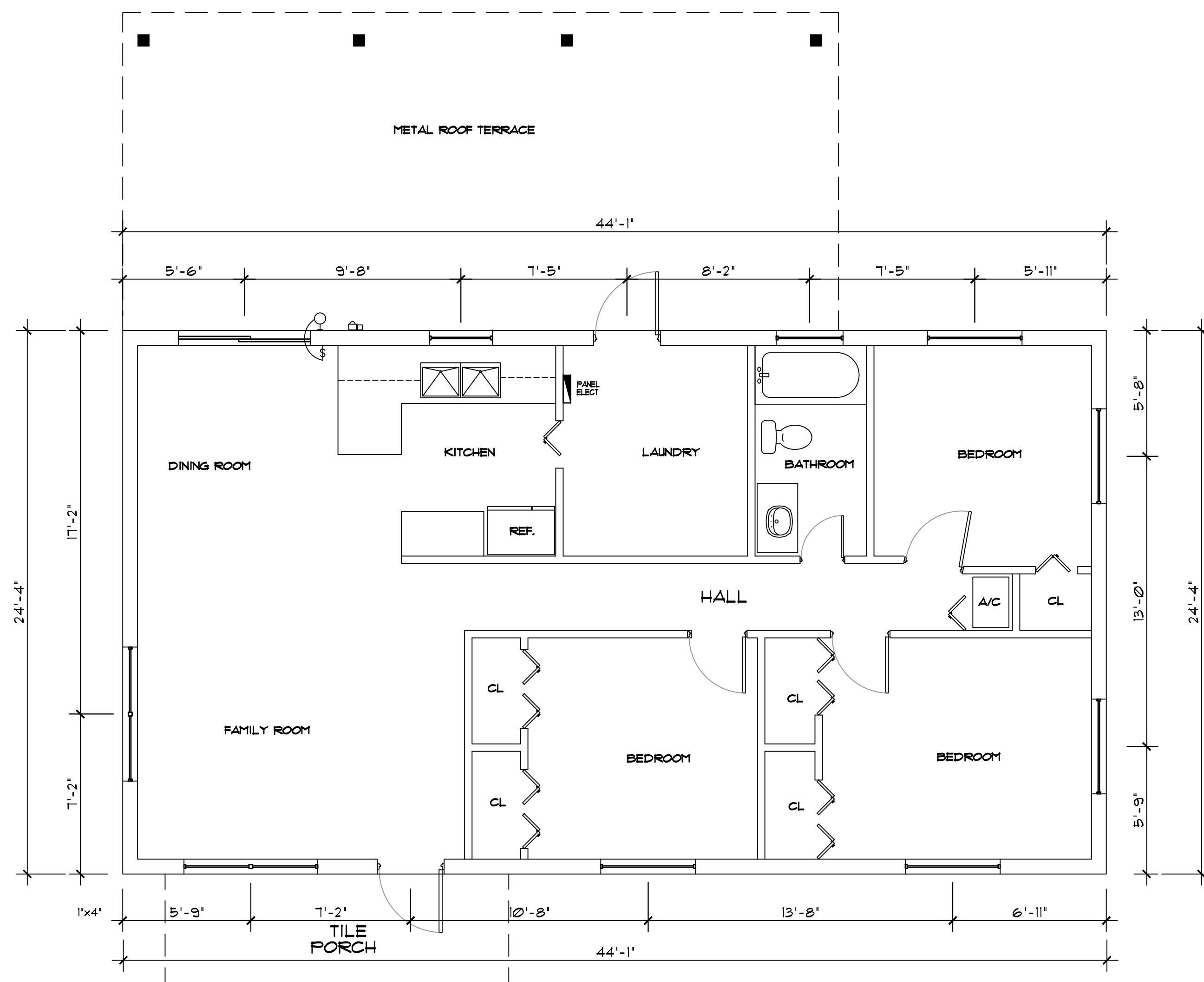
 Subject Property Case



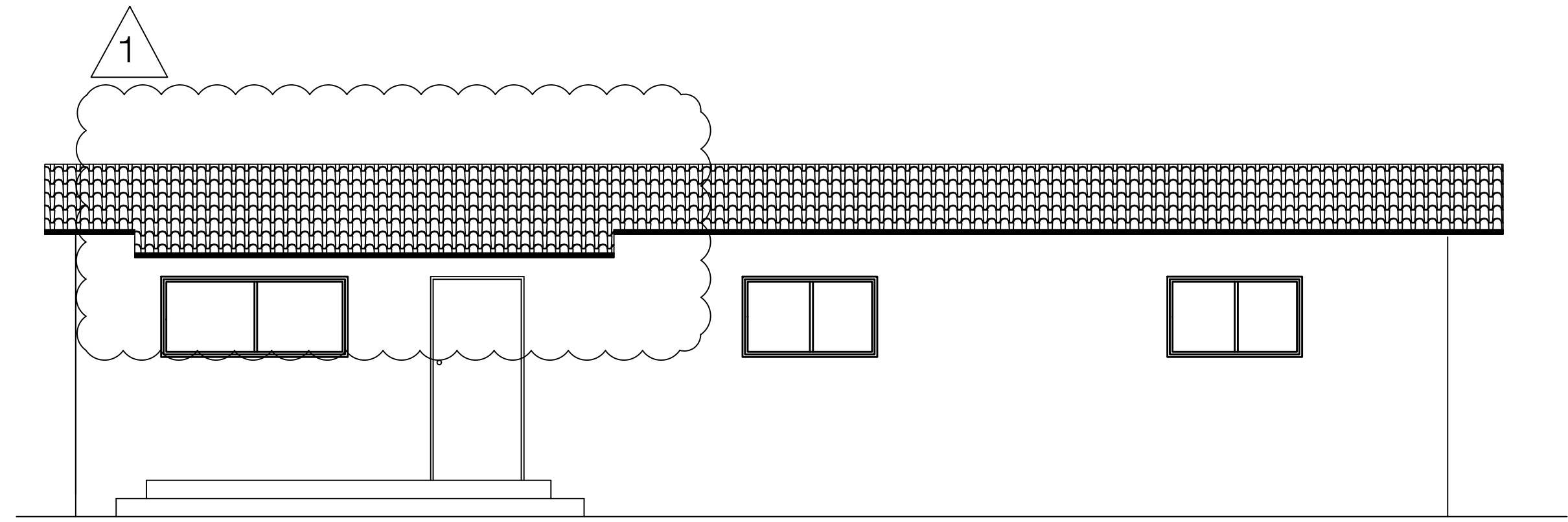
SKETCH CREATED ON: Friday, August 23, 2024

REVISION	DATE	BY

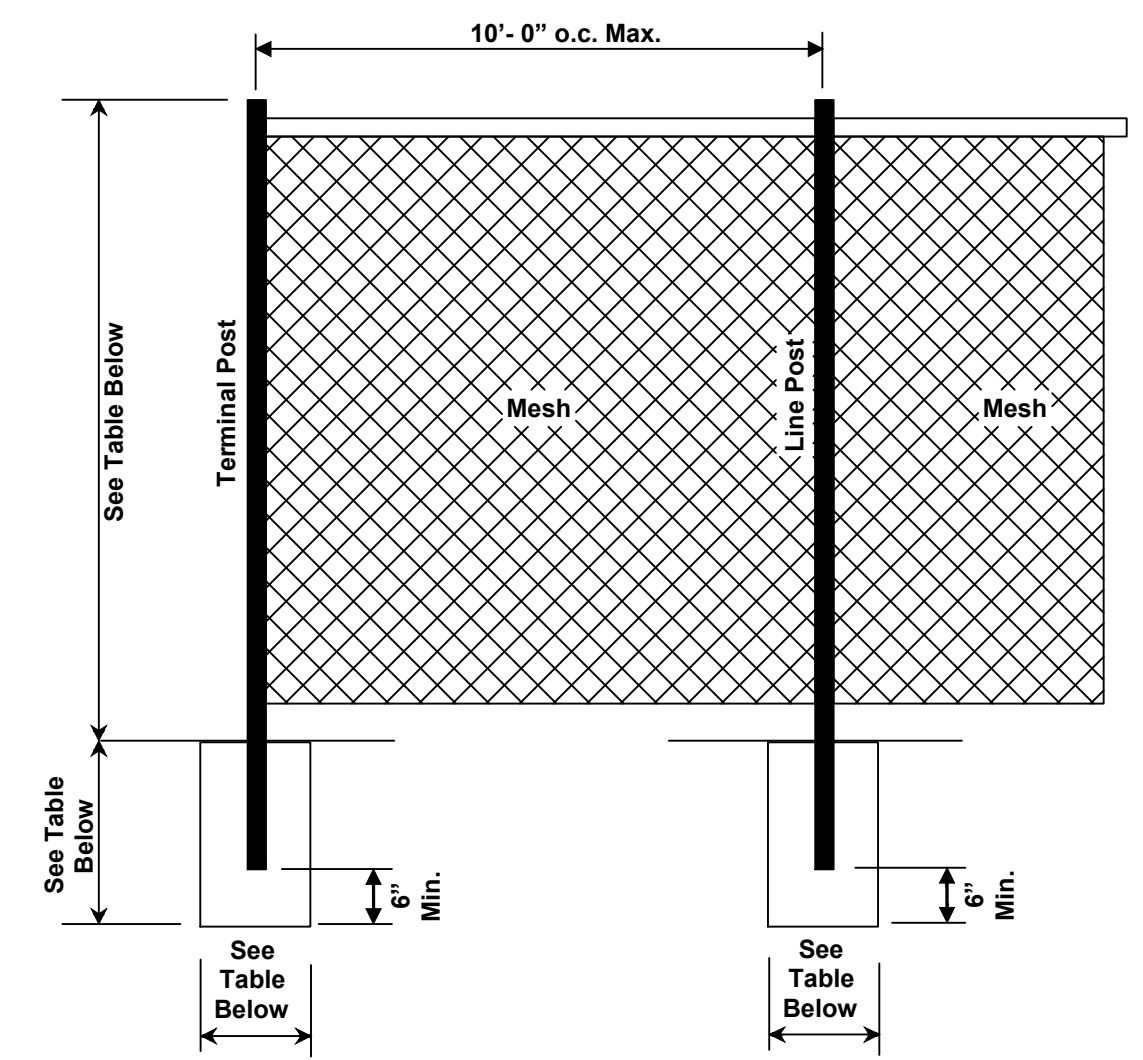
REVISION NO.	DATE
1	10/23/2024
2	
3	
4	
5	



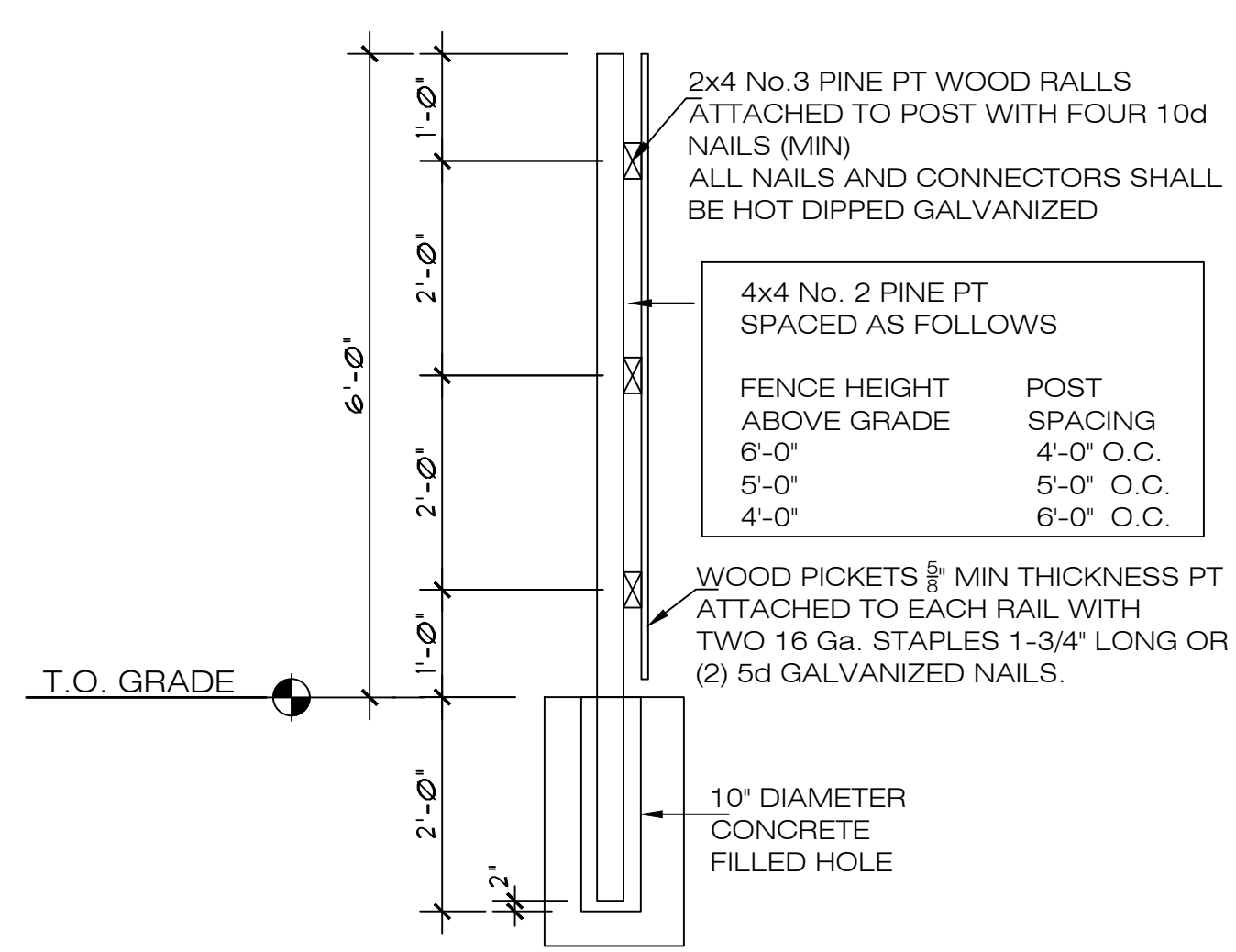
**FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"



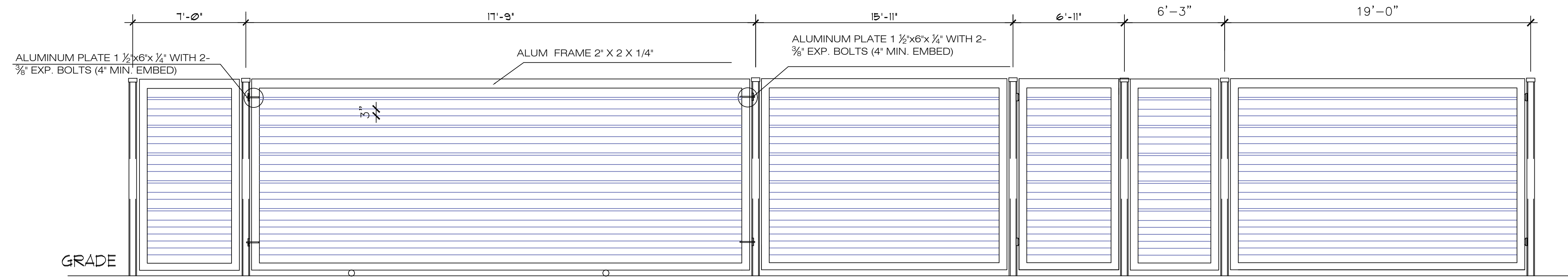
**FRONT ELEVATION**  
 SCALE: 1/4" = 1'-0"



**CHAIN LINK FENCE DESIGN DETAIL**  
 (ACCORDING TO THE F.B.C. SECTION 2224)



**WOOD FECE DETAIL**



**ROLLING GATE DETAIL**  
 N.T.S.



CONSULTING ENGINEER:  
**ARSHAD VIGAR, P.E.**  
 FL. LIC. No. 38863  
 12260 SW 8th St Suite #224  
 MIAMI, FL 33184  
 PHONE : (786) 502-2096

PROJECT NAME  
 LEGALIZATION OF SHED AND  
 SETBACK  
 11401 SW 193 TER  
 MIAMI, FL. 33157

DRAWN BY: BPR  
 CHECKED BY: AV  
 DATE: 07/11/2024  
 SCALE: SCALE  
 SHEET:

RECEIVED

MIAMI-DADE COUNTY  
PROCESS NO.: Z24-156  
DATE: AUG 19 2024  
BY: ISA

# SUPERIOR SHEDS

## THE SUPERIOR



### GENERAL NOTES

- FOUNDATION PLANS ARE NOT PART OF THIS PLAN SET AND ARE GOVERNED BY LOCAL JURISDICTION.
- BUILDINGS ARE APPROVED FOR RESIDENTIAL LAWN STORAGE ONLY
- THIS BUILDING IS EXEMPT FROM THE FECC PER SECTIONS R 101.4.2.4, R402. 1.
- REFER TO TIE DOWN DETAILS FOR PROPER INSTALLATION REQUIREMENTS TO MEET CODE.
- ALL LUMBER FOR CONSTRUCTION WILL BE # 2 SYP EXCEPT AS NOTED.
- GUTTERS SHALL BE SITE INSTALLED PER THE LOCAL AUTHORITY HAVING JURISDICTION AND PERMITTING REQUIREMENTS.
- ALL WINDOWS AND DOORS TO MEET THE MINIMUM SPECIFICATIONS PER THE APPROVED PLANS AND THE FLORIDA BUILDING CODE.
- IN ACCORDANCE WITH FBC 1609.1 .2, "STORAGE SHEDS THAT ARE NOT DESIGNED FOR HUMAN HABITATION AND THAT HAVE A FLOOR AREA OF 720 SQUARE FEET OR LESS ARE NOT REQUIRED TO COMPLY WITH THE MANDATORY WINDBORNE DEBRIS IMPACT STANDARDS OF THIS CODE".
- IN ACCORDANCE WITH FBC 1010. 1 .1, EXCEPTION (10.) BUILDINGS THAT ARE 400 SQ-FT OR LESS AND THAT ARE INTENDED FOR USE IN CONJUNCTION WITH ONE- AND TWO-FAMILY RESIDENCES ARE NOT SUBJECT TO THE DOOR HEIGHT AND WIDTH REQUIREMENTS OF THIS CODE. STRUCTURES 400 SQ-FT OR MORE SHALL HAVE AN 80" MINIMUM DOOR.
- IN ACCORDANCE WITH FLORIDA STATUTE 553.80(1)(d), LAWN STORAGE BUILDINGS AND STORAGE SHEDS BEARING THE INSIGNIA OF APPROVAL OF THE DEPARTMENT ARE NOT SUBJECT TO 553.842 (FLORIDA PRODUCT APPROVALS) BUT SHALL MEET THE DESIGN WIND LOAD REQUIREMENTS OF THE 2020 FBC 7TH EDITION. SUCH BUILDINGS THAT DO NOT EXCEED 400 SQUARE FEET MAY BE DELIVERED AND INSTALLED WITHOUT NEED OF A CONTRACTOR'S OR SPECIALTY LICENSE.
- FLAT METAL STRAPS CAN BE BENT AROUND STRUCTURAL MEMBERS OF WALL STUDS, TRUSSES, CHORDS, ETC. TO HELP SECURE THESE MEMBERS, PROVIDED THAT THE ADDED BEND DOES NOT INTERFERE WITH ANY OF THE EXISTING BREAKS/BENDS IN THE STRAP.
- AS PER FBC SECTION 1626.L EXCEPTION (F): STORAGE SHEDS THAT ARE NOT DESIGNED FOR HUMAN HABITATION AND THAT HAVE A FLOOR AREA OF LESS THAN 720 SQUARE FEET OR LESS ARE NOT REQUIRED TO COMPLY WITH THE MANDATORY WINDBORNE DEBRIS IMPACT STANDARDS OF THIS CODE.
- COMPONENTS/CLADDING ARE IN COMPLIANCE WITH THE 2020 FBC 7TH EDITION.
- SHEDS LOCATED IN FLOOD HAZARD AREAS MUST COMPLY WITH THE LOCAL FLOOD ZONE REGULATIONS.
- IF A WALL IS FRAMED FOR FUTURE HVAC UNITS THAT SHALL BE APPROVED BY THE AHJ AND SHALL COMPLY WITH LOCAL REQUIREMENTS FOR PERMITTING.
- WINDOWS AND DOORS INSTALLED BY THE CUSTOMER THAT SHALL BE APPROVED BY THE AHJ AND SHALL COMPLY WITH LOCAL REQUIREMENTS FOR PERMITTING.
- HVHZ COMPONENTS FOR SHEDS REQUIRE THAT INSTALLATION PER MANUFACTURER'S INSTRUCTIONS.

### WIND LOAD CRITERIA

- WIND SPEED (MPH): 132 Vasd/170 Vult
- RISK CATEGORY: I
- BUILDING CATEGORY: II
- ENCLOSURE CLASSIFICATION: ENCLOSED
- INTERNAL PRESSURE COEFFICIENT: GCpl = 0.18
- EXPOSURE FACTOR: D
- WIND DIRECTIONALITY FACTOR (Kd): 0.85
- GUST RESPONSE FACTOR (Gh): 0.85
- MAIN FRAME STRUCTURE OVERTURNING LOAD: Pr = -93.0 PSF
- COMPONENT & CLADDING LOAD (ROOF)
  - Pr = ZONE 1:-35.63 PSF, ZONE 2: -35.63 PSF, ZONE 3:-65.26 PSF (WALL)
  - PW = ZONE 4:-39.14 PSF, ZONE 5:-46.89 PSF
- THIS BUILDING IS NOT DESIGNED FOR PLACEMENT ON THE UPPER HALF OF A HILL OR ESCARPMENT EXCEEDING 15 FEET IN HEIGHT.
- SEISMIC LOAD: N/A
- FLOOD LOAD: SHEDS LOCATED IN A FLOOD HAZARD AREA MUST COMPLY WITH THE LOCAL FLOOD ZONE REGULATIONS.

TABLE OF CONTENTS	
SHEET	SHEET DESCRIPTION
1	COVER SHEET
2	FLOOR PLAN
3	SIDEWALL FRAMING
4	FLOOR FRAMING
5	ROOF FRAMING
6	CROSS SECTIONS
7	ENDWALL FRAMING
8	SCHEDULES
9	SCHEDULES

BUILDING CODE RESIDENTIAL CODE ELECTRICAL CODE BUILDING TYPE MANUFACTURER AGENCY AGENCY PLAN NUMBER CONSTRUCTION TYPE FIRE PROTECTION FIRE SUPPRESSION SYSTEM OCCUPANCY ALLOWABLE # OF STORIES WIND VELOCITY FIRE RATING OF EXTERIOR WALLS FLOOR LIVE LOAD - STANDARD FLOOR LIVE LOAD - OPTIONAL FLOOR DEAD LOAD ROOF LIVE LOAD ROOF DEAD LOAD "R" RATING OF FLOOR,WALL,&ROOF MODULES PER BUILDING SQUARE FOOTAGE HURRICANE PROTECTION USAGE HURRICANE SHELTER USAGE HVHZ APPROVED	FBC, 7TH EDITION (2020) FRBC, 7TH EDITION (2020) 2017 NATIONAL ELECTRICAL CODE RESIDENTIAL LAWN STORAGE SHED SUPERIOR SHEDS, LLC TOP LINE ENGINEERING, LLC BUNG-20-HVHZ V-B NO NO UTILITY 1 170 MPH, EXPOSURE D 0 75 PSF 125 PSF 10 PSF 30 PSF 10 PSF N/A 1 719 SQ/FT. MAX. NO NO YES
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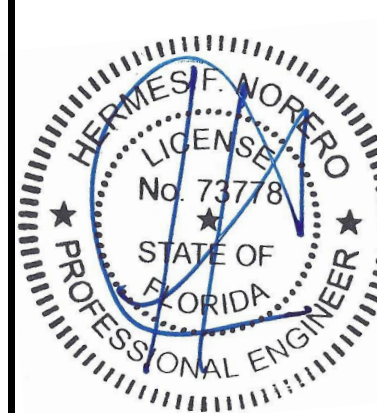
DESIGN PRESSURES	
DOORS (BY EAGAN)	+/- 20 PSF
WINDOWS (BY CROFT)	+/- 40.1 PSF
GARAGE DOORS (JANUS INT'L)	+46/-54 PSF
DP INFO PROVIDED BY MANUFACTURER	

TITLE: THE SUPERIOR  
COVER SHEET

PREPARED BY: BUILDING DROPS, INC.  
398 E. DANIA BEACH BLVD., STE. 338  
DANIA BEACH, FL 33004  
PH: (954)399-8478  
FAX: (954)744-4738  
WEB: www.buildingdrops.com

REMARKS	BY	DATE

THE INSTALLATION DETAILS DESCRIBED HEREIN ARE GENERIC AND MAY NOT REFLECT ACTUAL CONDITIONS FOR A SPECIFIC SITE. IF SITE CONDITIONS CAUSE INSTALLATION TO DEVIATE FROM THE REQUIREMENTS DETAILED HEREIN, A LICENSED ENGINEER OR ARCHITECT SHALL PREPARE SITE SPECIFIC DOCUMENTS FOR USE WITH THIS DOCUMENT.



HERMES F. NORERO, P.E.  
FLORIDA P.E. No. 73778  
BUILDING DROPS, INC  
398 E. DANIA BEACH BLVD. # 338  
DANIA BEACH, FL 33004  
FBPE CERT. OF AUTHORIZATION No. 29578

DATE: 04.20.2022

DWG. BY: LL	CHK. BY: HFN
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SCALE: NTS

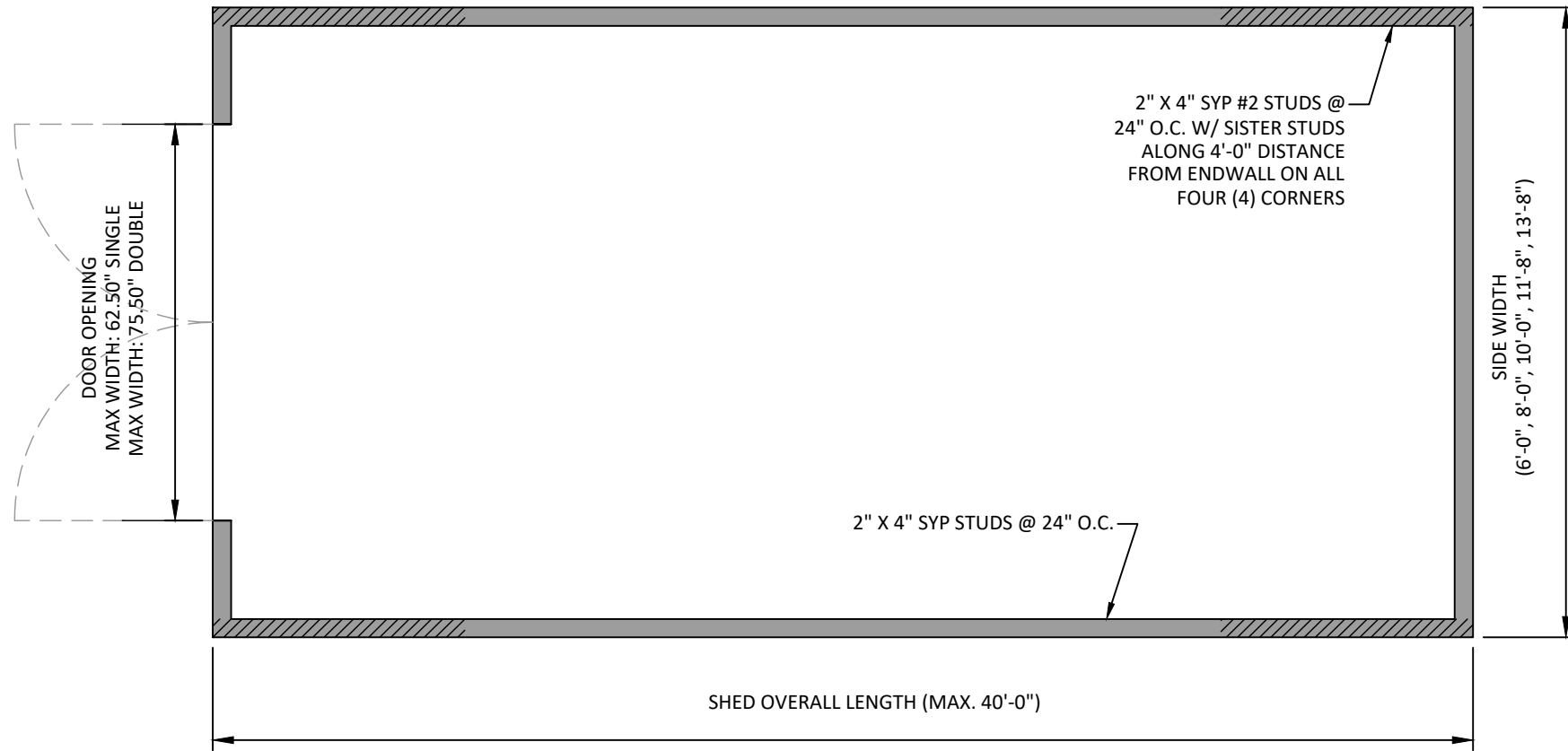
DWG. #: SUP001

SHEET: 1 OF 9

**RECEIVED**

MIAMI-DADE COUNTY  
 PROCESS NO.: Z24-156  
 DATE: AUG 19 2024  
 BY: ISA

**SUPERIOR SHEDS**  
 2323 S. VOLUSIA AVENUE  
 ORANGE CITY, FLORIDA 32763  
 (877) 439-7433



NOTE: SHOWN IS THE 10'-0" X 20'-0"

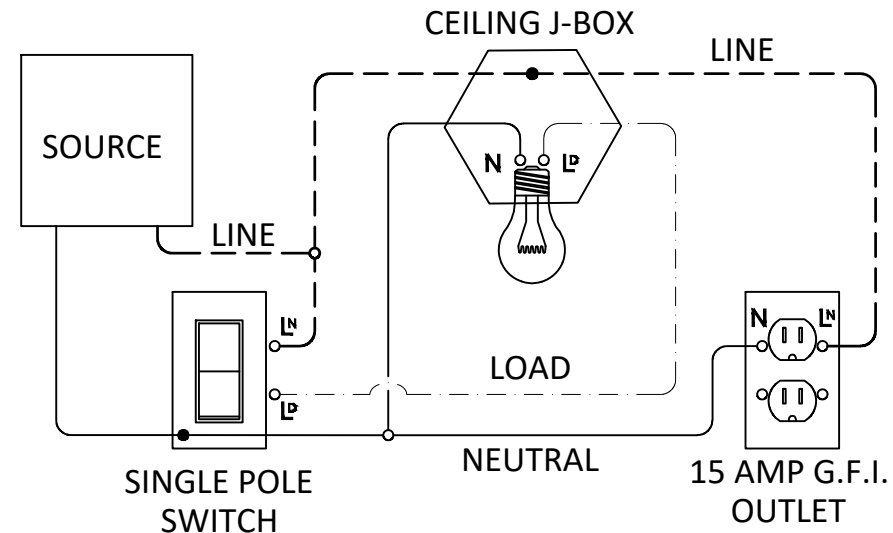
**FLOOR PLAN**

NOTE:  
 SHEDS TO HAVE A MAXIMUM OF 5 DOORS AND 10 WINDOWS. SUPPLEMENTAL SISTER STUDS TO BE INSTALLED AT EACH DOOR/WINDOW CONNECTION FOR REINFORCEMENT.

- NOTE:
- MIN. GRADE STUDS: 2"x4" STUDS TO BE F<sub>b</sub>=1200 PSI OR GREATER
  - MIN. ROOF SHEATHING: D4 ALUMINUM PANELS
  - MIN. FLOOR SHEATHING: 3/4" PLYWOOD
  - MIN. WALL SHEATHING: D4 ALUMINUM SIDING

NOTE:  
 23" SECTIONS OF 29GA CORRUGATED METAL SIDING FASTENED W/ 3/4" #8 HEX HEAD W/ WASHER SELF TAPPING SCREWS @ 6" ON EDGE & 12" IN FIELD.

- ELECTRICAL NOTES & OPTIONS:
- AS PER NEX ARTICLE 330.30(B) SECURING OF MC TYPE CABLE. UNLESS OTHERWISE PROVIDED, CABLES SHALL BE SECURED AT INTERVALS NOT EXCEEDING 6FT. CABLES CONTAINING FOUR OR FEWER CONDUCTORS SIZED NO LARGER THAN 10 AWG SHALL BE SECURED WITHIN 12 IN. OF EVERY BOX, CABINET, FITTING, OR OTHER CABLE TERMINATION.
  - ALL WIRING SHALL BE 14 GAUGE 3-WIRE MC CABLE.
  - ENCASE IN ALL METAL BOXES.
- MAXIMUM NO. OF OUTLETS: 4  
 MAXIMUM NO. OF LIGHTS: 3

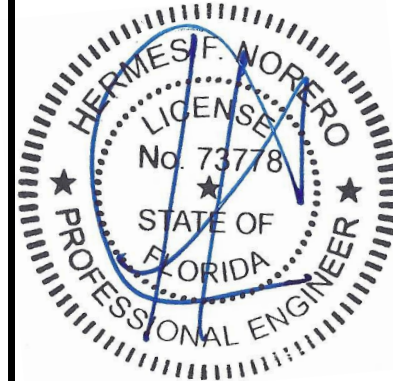


**ELECTRICAL WIRING DIAGRAM**

SCALE: NOT TO SCALE

REMARKS	BY	DATE

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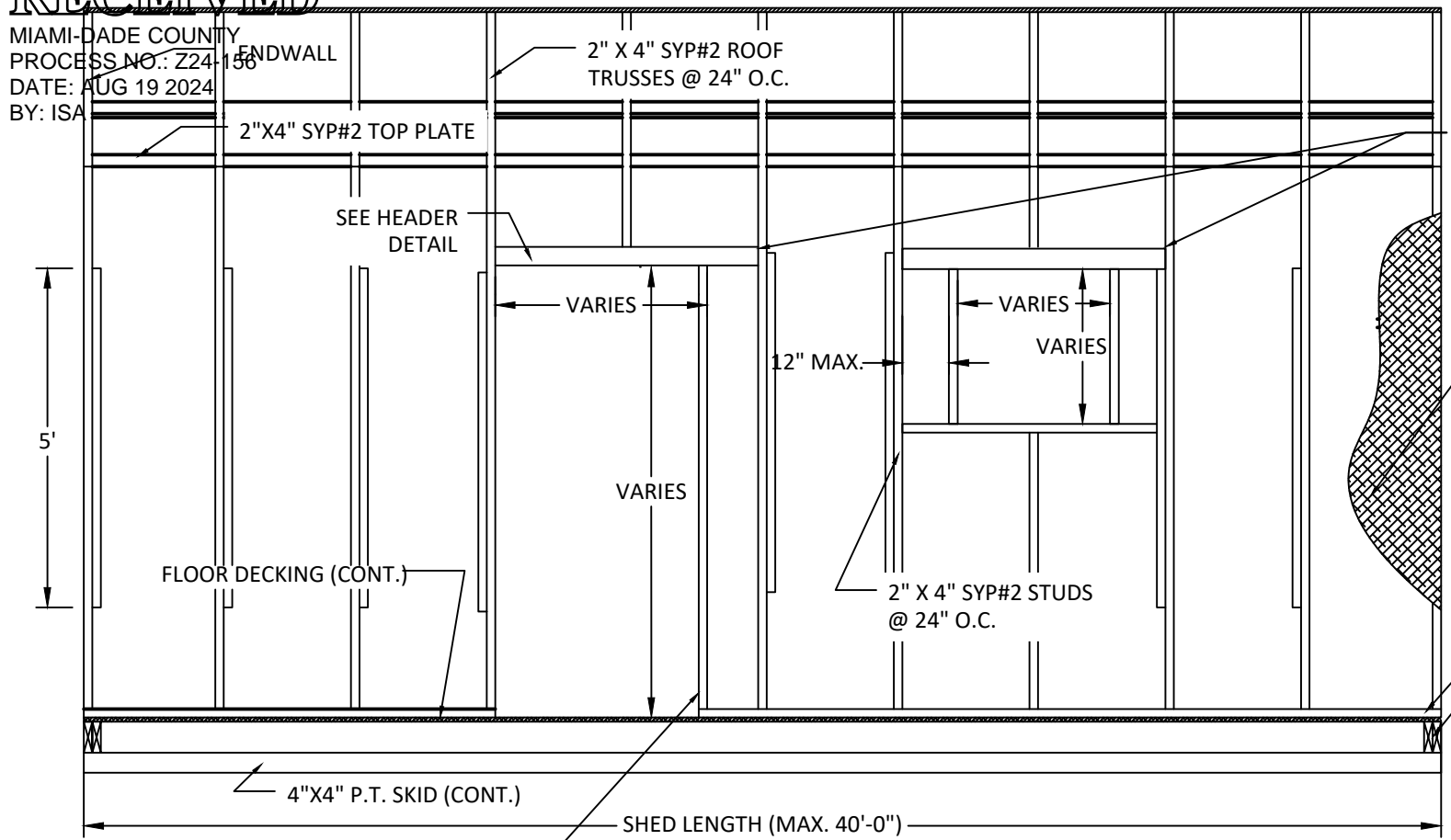
HERMES F. NORERO, P.E.  
 FLORIDA P.E. No. 73778  
 BUILDING DROPS, INC.  
 398 E. DANIA BEACH BLVD. # 338  
 DANIA BEACH, FL 33004  
 FBPE CERT. OF AUTHORIZATION No. 29578

DATE:	04.20.2022	
DWG. BY:	LL	CHK. BY: HFN
SCALE:	NTS	
DWG. #:	SUP001	

SHEET:  
 2  
 OF 9

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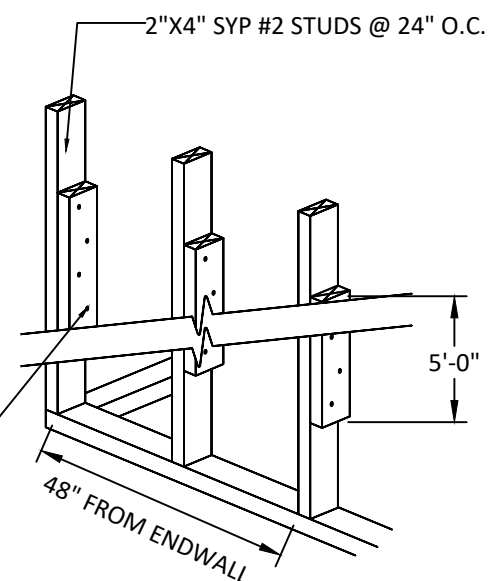
MIAMI-DADE COUNTY  
 PROCESS NO.: Z24-156  
 DATE: AUG 19 2024  
 BY: ISA



SIMPSON TP 35 @ WINDOW/DOOR  
 HEADER TO TRUSS CONNECTIONS.  
 USE (23) 8d NAIL INTO TRUSS

- WALL SHEATHING OPTIONS:
- 7/16" OSB OR SHEATHING EQUIV. OR BETTER
  - CORRUGATED ALUMINUM
  - D4 ALUMINUM SIDING
  - 1/2" OR 5/8" T1-11 SIDING
  - JAMES HARDIE PANEL OR EQUIV.
  - JAMES HARDIE HORIZ. SIDING LAP OR EQUIV.
  - 29 GA CORRUGATED STEEL METAL SIDING (RUN ANY DIRECTION)
  - THERMO-PLY BLUE (0.135 THICK) W/ VINYL SIDING

NOTE:  
 WALL FRAMING MEMBERS ARE CONTINUOUS FROM  
 FOUNDATION SILL TO ROOF AND SECURED TO  
 ENSURE A CONTINUOUS LOAD PATH WHERE WALL  
 MEMBERS ARE NOT CONTINUOUS, SHEET METAL  
 CLAMPS, TIES, OR CLIPS SHALL BE FORMED OF  
 GALVANIZED STEEL OF NOT LESS THAN 0.040"  
 NOMINAL THICKNESS.

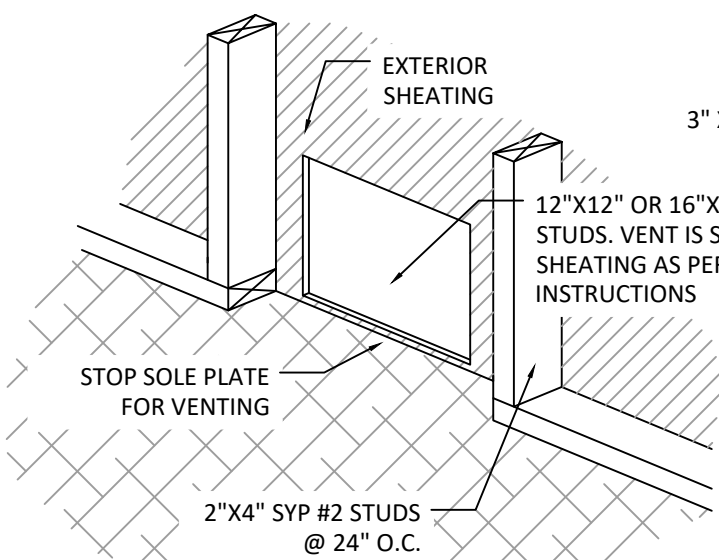


**SISTER STUD DETAIL**  
 SCALE: NTS

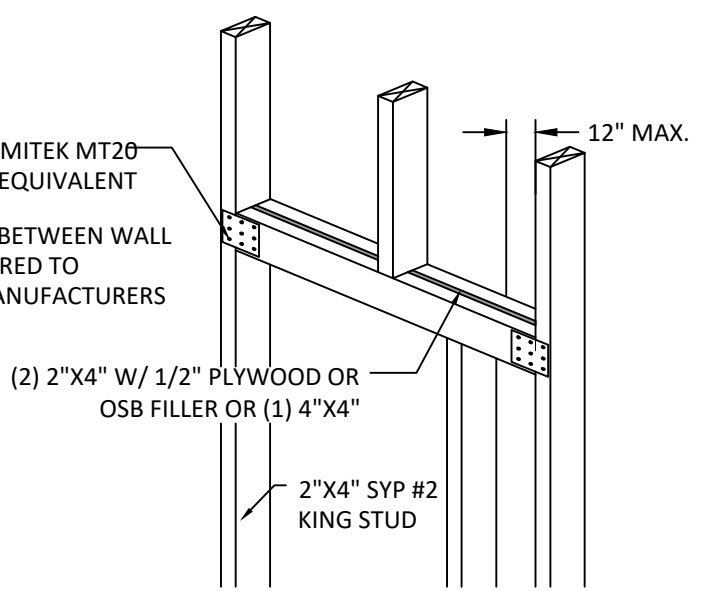
ALL STUDS SECURED TO SOLE PLATE AND FLOOR  
 FRAMING W/ SIMPSON LTS16 STRAP w/ 5 -10d  
 NAILS ON TOP INTO STUD, SECURING INTO RIM  
 JOIST ON BOTTOM W/ 5-10d NAILS (TYPICAL)

**A**  
**A2**

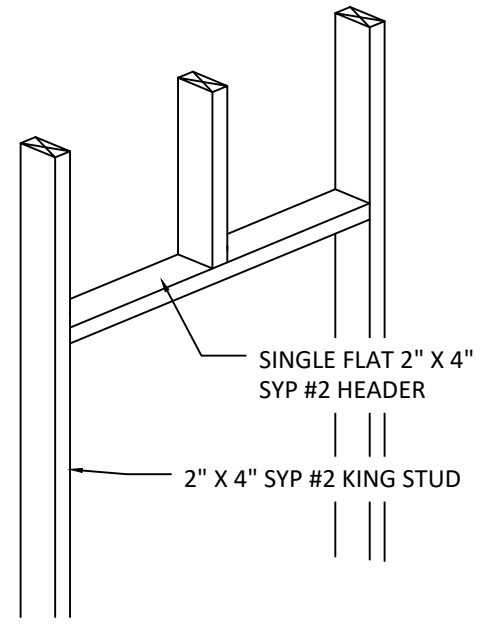
**SIDEWALL FRAMING**



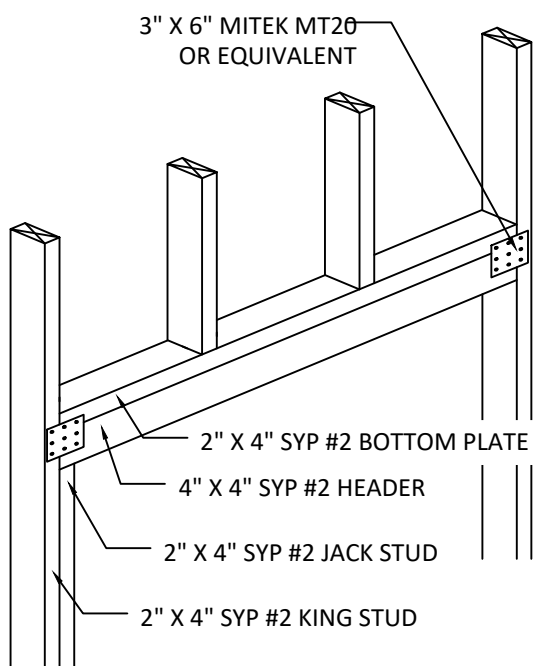
**OPTIONAL HYDROVENT DETAIL**  
 SCALE: NTS



**SIDEWALL DOOR & WINDOW (TYP)**  
 SCALE: NTS



**ENDWALL DOOR & WINDOW  
 6'-0" WIDE OR LESS**  
 SCALE: NTS



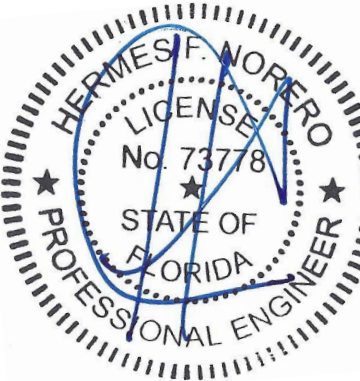
**4" X 4" HEADER DETAIL**  
 SCALE: NTS



TITLE: THE SUPERIOR  
 SIDEWALL FRAMING  
 PREPARED BY: BUILDING DROPS, INC.  
 398 E. DANIA BEACH BLVD., STE. 338  
 DANIA BEACH, FL 33004  
 PH: (954) 399-8478  
 FAX: (954) 744-4738  
 WEB: www.buildingdrops.com

REMARKS	BY	DATE

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 DOCUMENTS FOR USE WITH THIS DOCUMENT.



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 BUILDING DROPS, INC  
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 FBPE CERT. OF AUTHORIZATION No. 29578

DATE: 04.20.2022  
 DWG. BY: LL  
 CHK. BY: HFN  
 SCALE: NTS  
 DWG. #: SUP001

SHEET: 3 OF 9

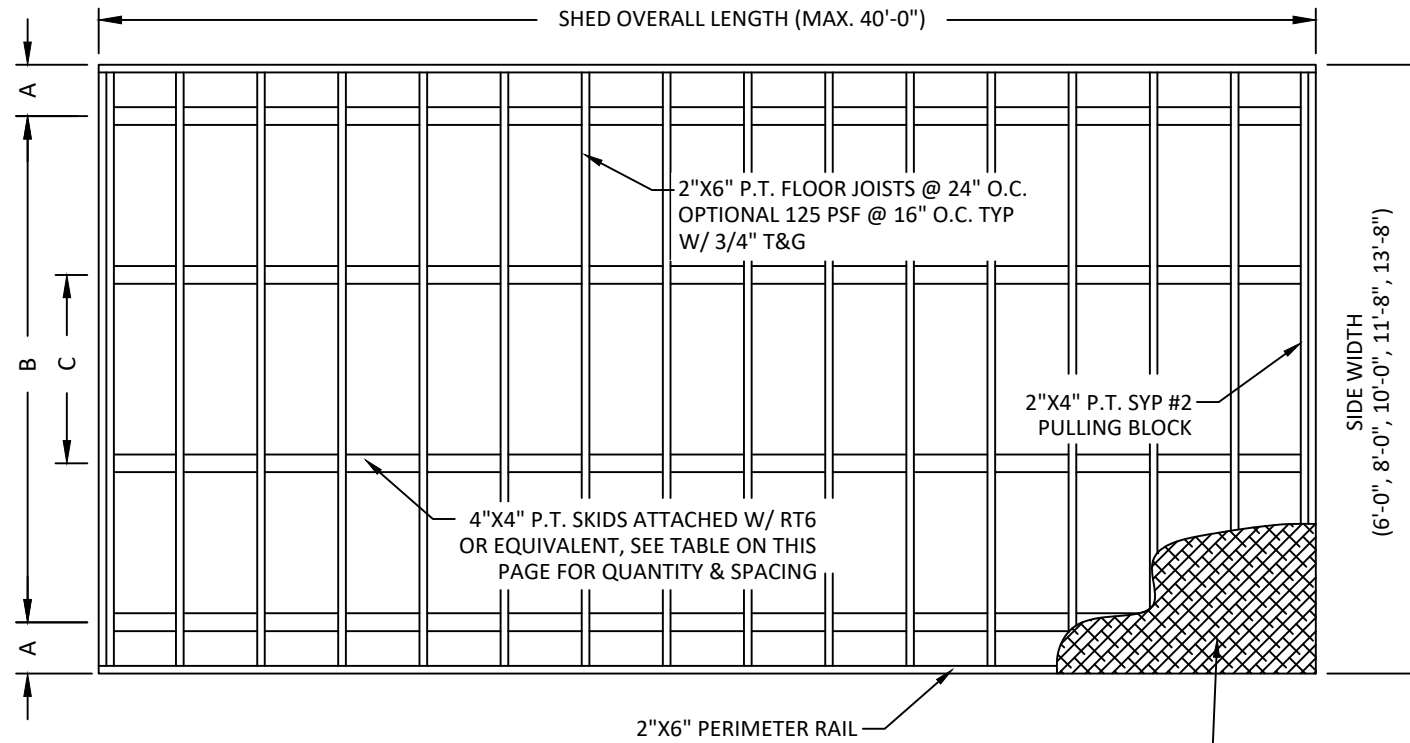
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 PROCESS NO.: Z24-156  
 DATE: AUG 19 2024  
 BY: ISA

**SUPERIOR SHEDS**  
 2323 S. VOLUSIA AVENUE  
 ORANGE CITY, FLORIDA 32763  
 (877) 439-7433

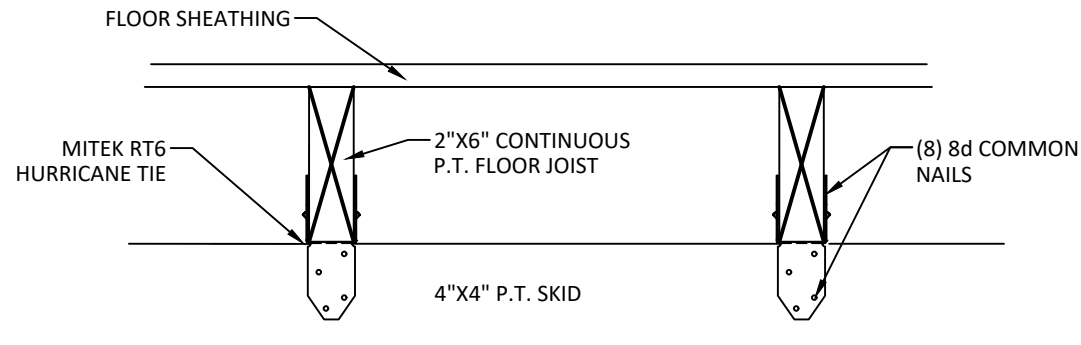
WIDTHS	6'-0"	8'-0"	10'-0"	11'-8"	13'-8"
A	0'-10"	0'-9"	1'-7"	2'-8"	1'-10.5"
B	51"	6'-6"	6'-10"	6'-4"	-
C	-	-	-	-	1'-10.5"

\*VALUES ARE FROM END OF JOIST TO CENTERS OF (2) 4"X4" SKIDS ONLY. 13'-8" WIDE SHEDS HAVE (4) SKIDS.



**FLOOR FRAMING PLAN**

SCALE: 3/8" = 1'-0"



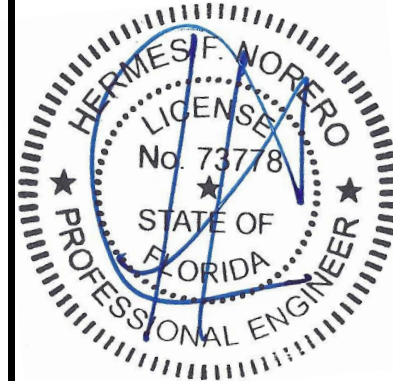
**FLOOR JOIST TO SKID CONNECTION**

SCALE: NOT TO SCALE

TITLE:	REMARKS	BY	DATE
THE SUPERIOR FLOOR FRAMING			

PREPARED BY: **BUILDING DROPS, INC.**  
 398 E. DANIA BEACH BLVD., STE. 338  
 DANIA BEACH, FL 33004  
 PH: (954) 399-8478  
 FAX: (954) 744-4738  
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 BUILDING DROPS, INC.  
 398 E. DANIA BEACH BLVD. # 338  
 DANIA BEACH, FL 33004  
 FBPE CERT. OF AUTHORIZATION No. 29578

DATE:	04.20.2022
DWG. BY:	LL
CHK. BY:	HFN
SCALE:	NTS
DWG. #:	SUP001

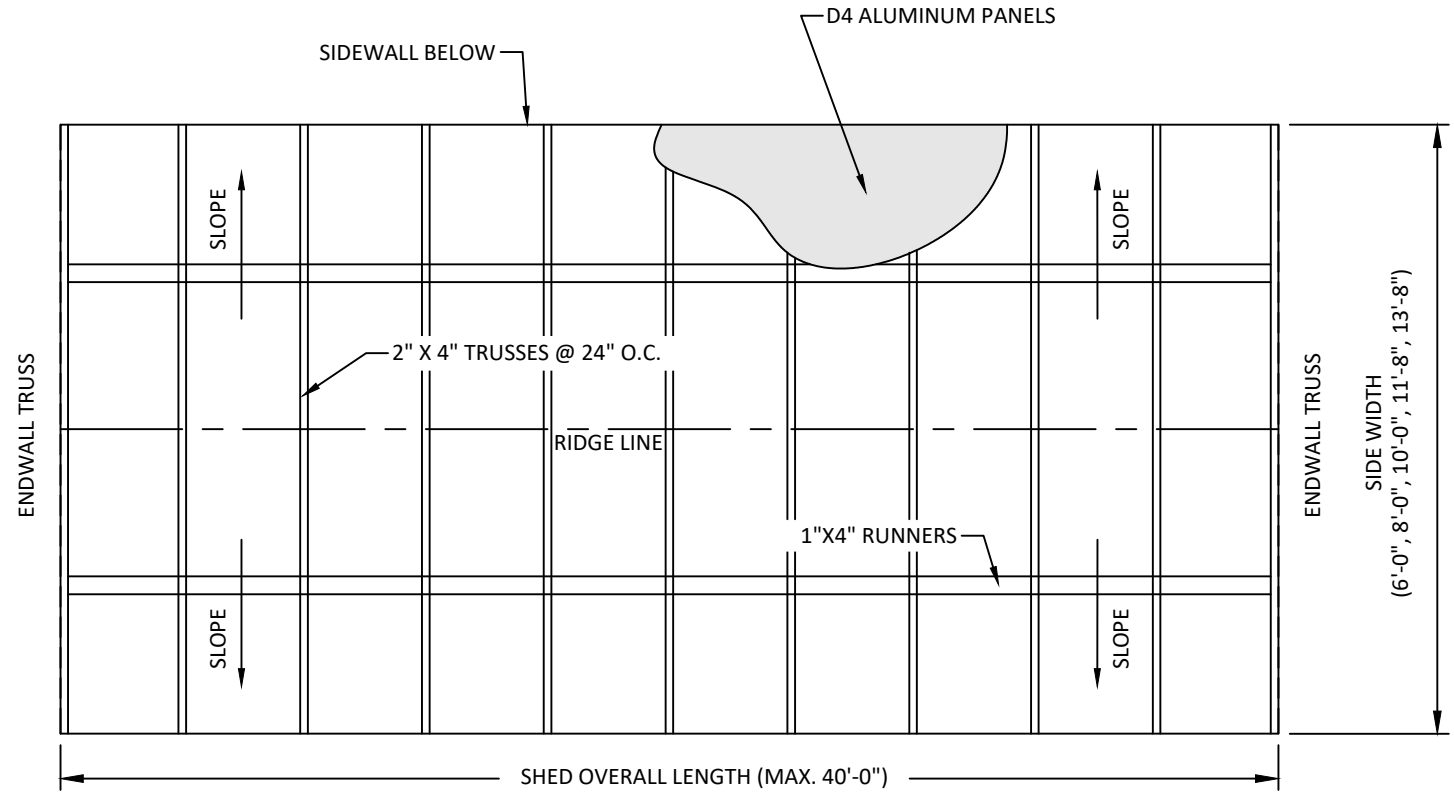
SHEET: 4 OF 9

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### ROOF FRAMING PLAN

SCALE: 3/8" = 1'-0"

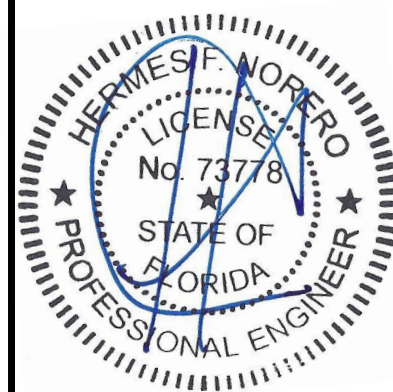
- NOTE:
1. MIN. GRADE STUDS: 2"x4" STUDS TO BE Fb=1200 PSI OR GREATER
  2. MIN. ROOF SHEATHING: D4 ALUMINUM PANELS
  3. MIN. FLOOR SHEATHING: 3/4" PLYWOOD
  4. MIN. WALL SHEATHING: D4 ALUMINUM SIDING

TITLE: THE SUPERIOR ROOF FRAMING

PREPARED BY: BUILDING DROPS, INC.  
398 E. DANIA BEACH BLVD., STE. 338  
DANIA BEACH, FL 33004  
PH: (954) 399-8478  
FAX: (954) 744-4738  
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REMARKS	BY	DATE

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DANIA BEACH, FL 33004  
FBPE CERT. OF AUTHORIZATION No. 29578

DATE: 04.20.2022

DWG. BY: LL	CHK. BY: HFN
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SCALE: NTS

DWG. #: SUP001

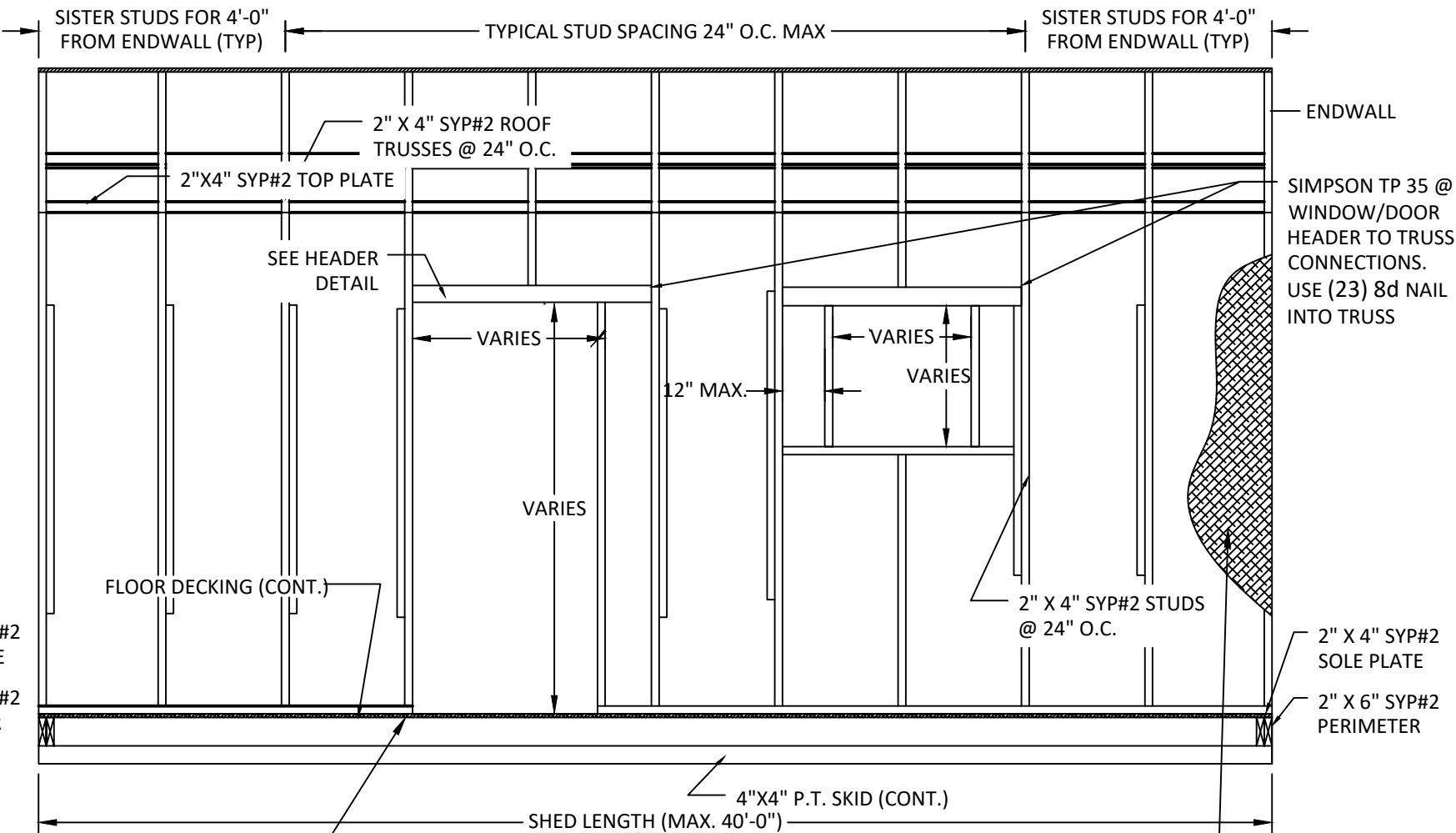
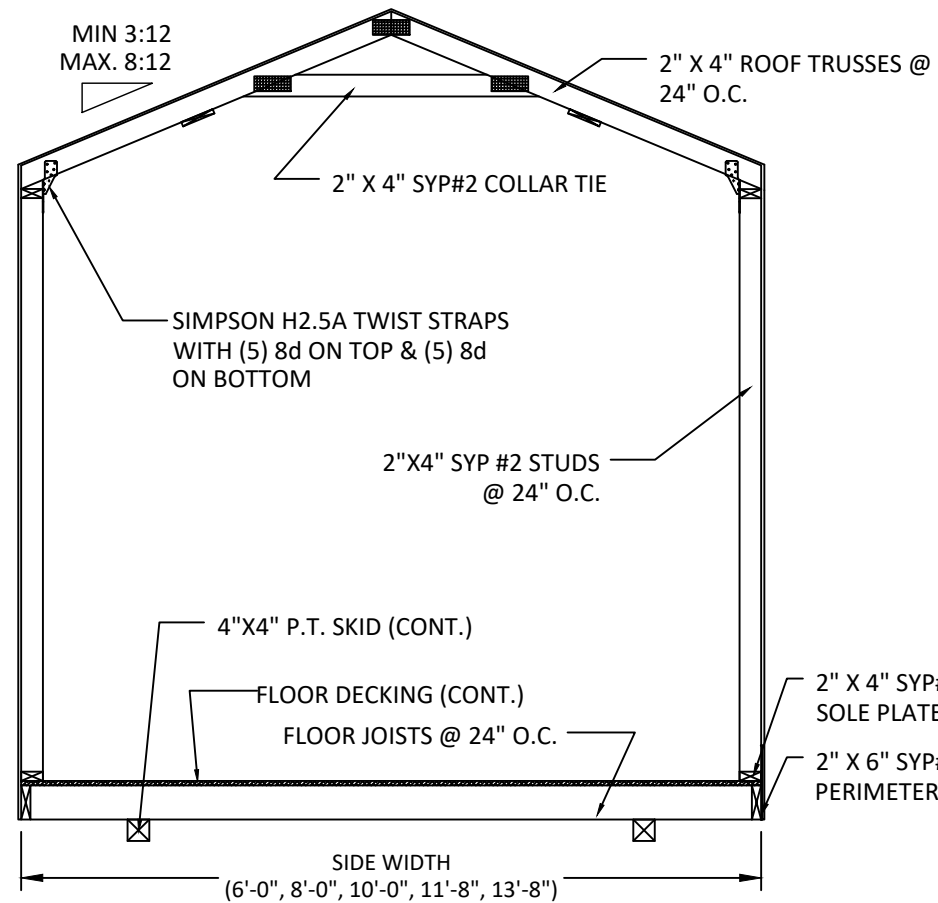
SHEET: 5 OF 9

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**A**  
**A5**

**CROSS SECTION A**

SCALE: 3/8"=1'-0"

ALL STUDS SECURED TO SOLE PLATE AND FLOOR FRAMING W/ SIMPSON LSTA12 STRAP w/ 5 -10d NAILS ON TOP INTO STUD, SECURING INTO RIM JOIST ON BOTTOM W/ 5-10d NAILS (TYPICAL)

**B**  
**A5**

**CROSS SECTION B**

SCALE: 3/8"=1'-0"


- WALL SHEATHING OPTIONS:
- 7/16" OSB OR SHEATHING EQUIV. OR BETTER
  - CORRUGATED ALUMINUM
    - D4 ALUMINUM SIDING
    - 1/2" OR 5/8" T1-11 SIDING
  - JAMES HARDIE PANEL OR EQUIV.
  - JAMES HARDIE HORIZ. SIDING LAP OR EQUIV.
  - 29 GA CORRUGATED STEEL METAL SIDING (RUN ANY DIRECTION)
  - THERMO-PLY BLUE (0.135 THICK) W/ VINYL SIDING

NOTE:  
2" X 4" STUDS TO BE Fb= 1200 PSI OR GREATER

NOTE:  
WALL FRAMING MEMBERS ARE CONTINUOUS FROM FOUNDATION SILL TO ROOF AND SECURED TO ENSURE A CONTINUOUS LOAD PATH. WHERE WALL MEMBERS ARE NOT CONTINUOUS, SHEET METAL CLAMPS, TIES, OR CLIPS SHALL BE FORMED OF GALVANIZED STEEL OF NOT LESS THAN 0.040" NOMINAL THICKNESS.

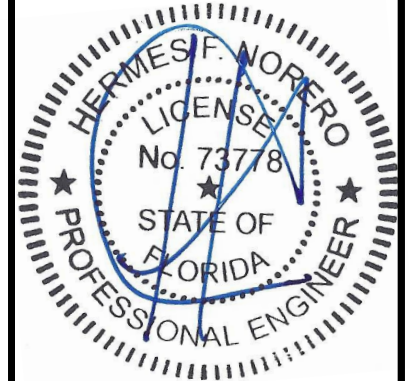
TITLE: THE SUPERIOR CROSS SECTIONS

PREPARED BY: BUILDING DROPS, INC.  
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DANIA BEACH, FL 33004  
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DATE: 04.20.2022

DWG. BY: LL      CHK. BY: HFN

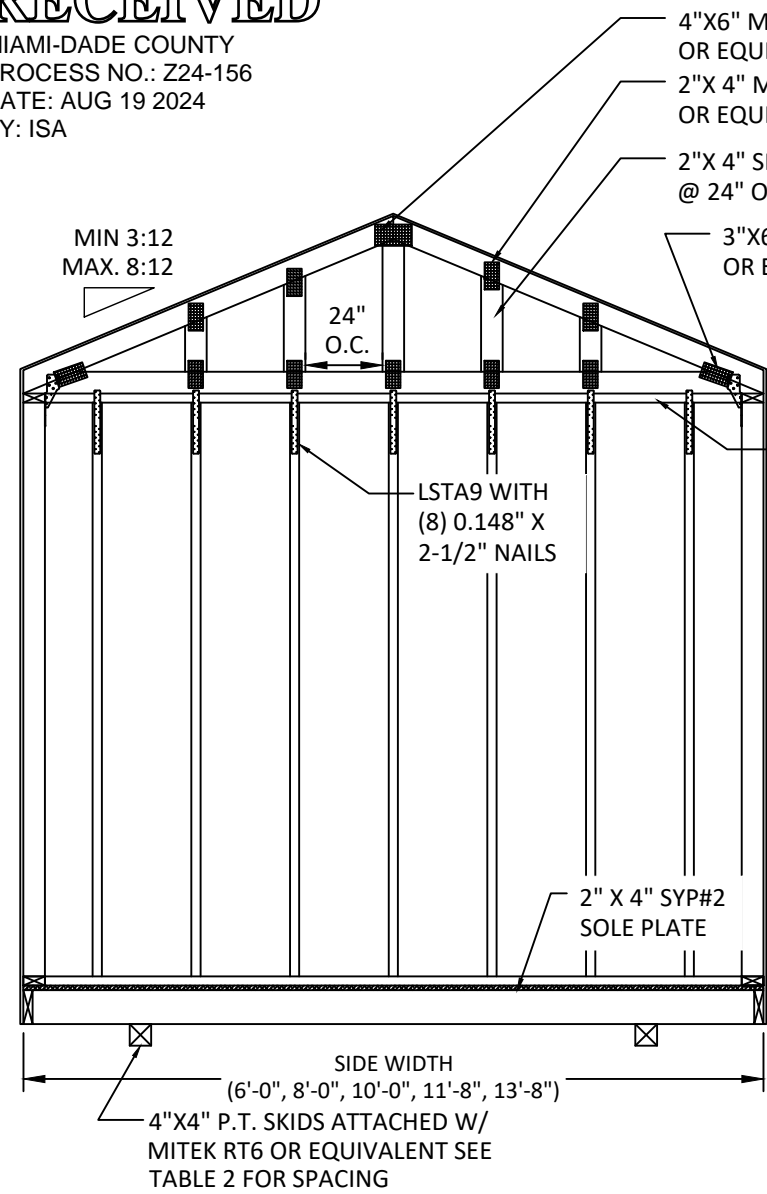
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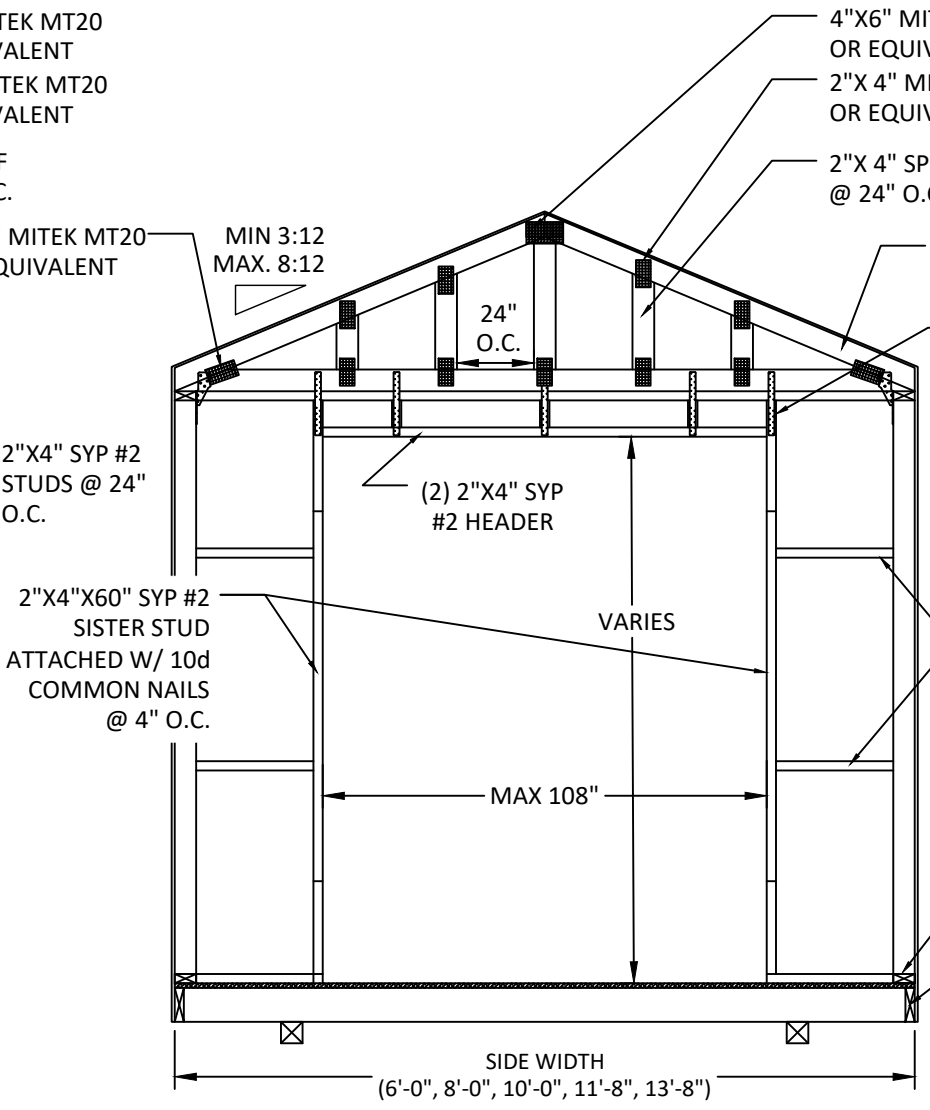
SHEET: 6 OF 9

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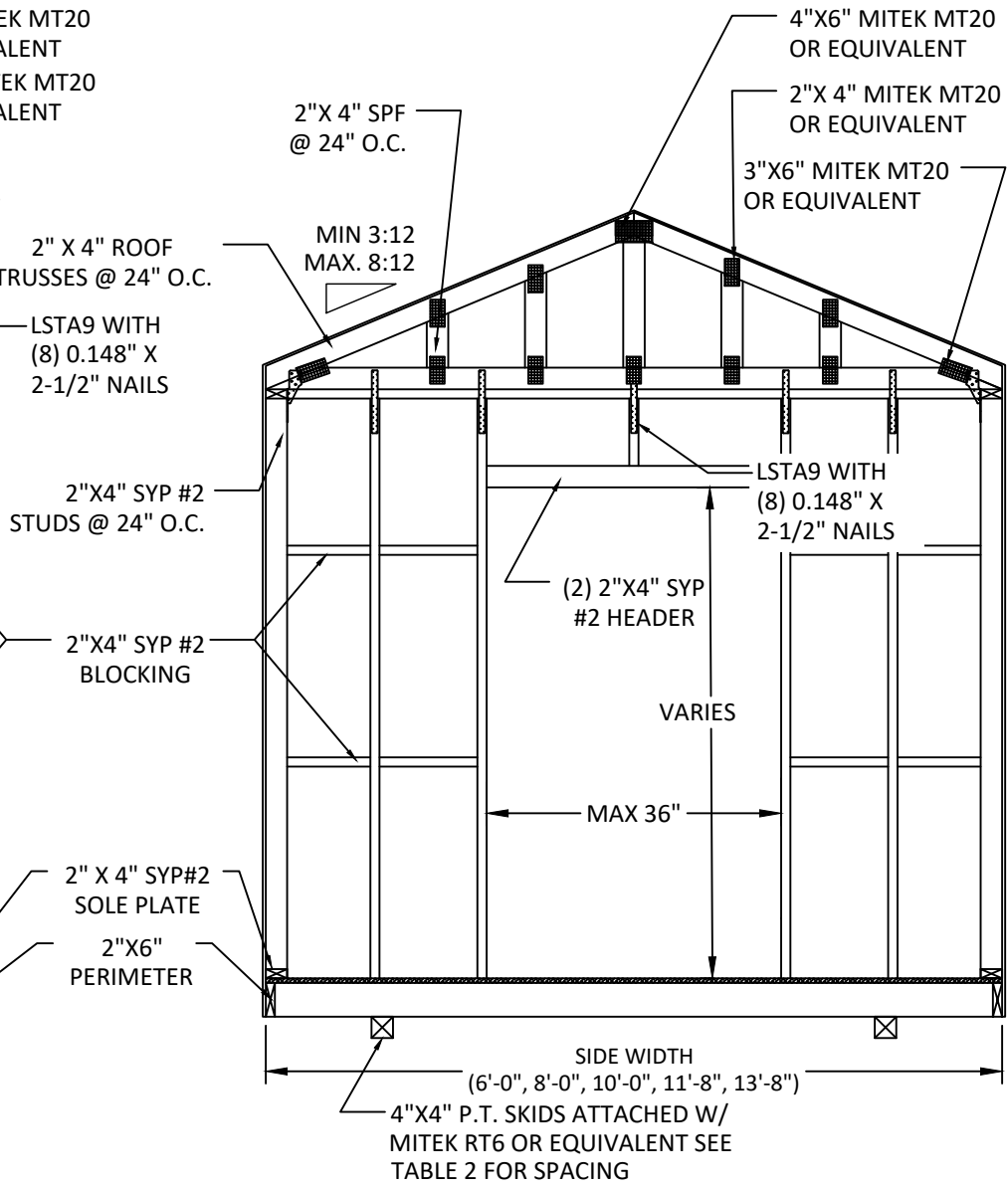
MIAMI-DADE COUNTY  
 PROCESS NO.: Z24-156  
 DATE: AUG 19 2024  
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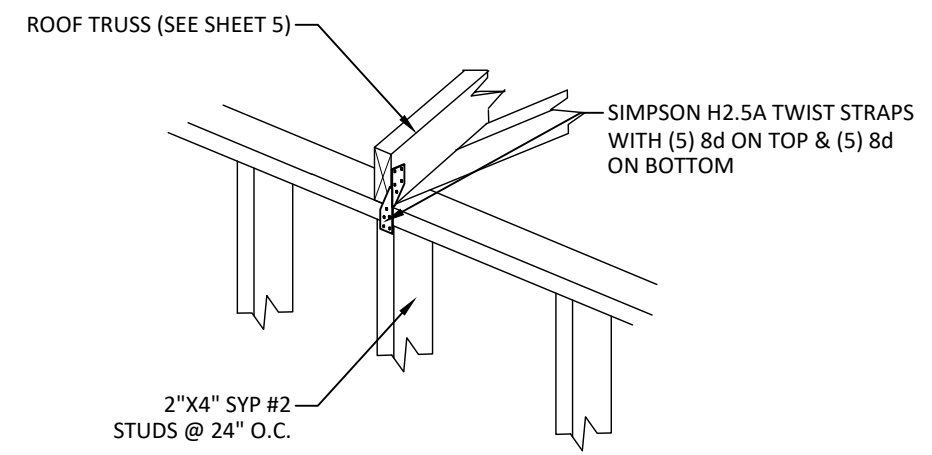
**A A6** **ENDWALL FRAMING**  
 SCALE: 3/8"=1'-0"



**A B6** **ENDWALL FRAMING**  
 SCALE: 3/8"=1'-0"



**A B6** **ENDWALL FRAMING**  
 SCALE: 3/8"=1'-0"



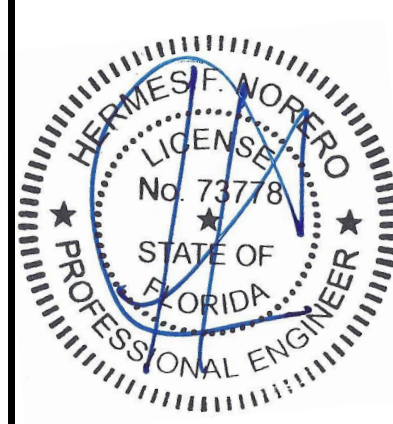
**ROOF TO ENDWALL CONNECTION**  
 SCALE: 3/8" = 1' 0"



TITLE: THE SUPERIOR ENDWALL FRAMING  
 PREPARED BY: BUILDING DROPS, INC.  
 398 E. DANIA BEACH BLVD., STE. 338  
 DANIA BEACH, FL 33004  
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 DANIA BEACH, FL 33004  
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DATE: 04.20.2022	
DWG. BY: LL	CHK. BY: HFN
SCALE: NTS	
DWG. #: SUP001	
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**ALTERNATE FASTENING SCHEDULE**

CONNECTION	FASTENING	
ALT 31-33. WOOD STRUCTURAL PANELS AND PARTICLEBOARD SUBFLOOR, ROOF AND WALL SHEATHING (TO FRAMING)	1/2" AND LESS	2" X 0.092" RING SHANK NAIL 5" FROM EDGE, 10" O.C.

**STRAP & FASTENER SCHEDULE \***

	PART#/DESC .	UPLIFT	WALL FASTENER	RAFTER FASTENER	PLATE FASTENER
RAFTER (B)	H1	400	-	6-8dx1/5"	4-Sd
	H11Z	750	-	6-16dx2.5"	6-16dx2.5"
	H2A	495	5-8dx1.5"	5-8dx1.5"	2-8dx1.5"
	H2.5A	535	-	5-8d	5-Sd
	H2.5	410	5-8d	5-8d	-
	H2.5T	545	5-8d	5-8d	-
	H2A	495	7-8dx1.5"	5-8dx1.5"	-
	H3	320	4-8d	4-8d	-
	H4	235	4-8d	4-8d	-
	HS	265	4-8d	4-8d	-
	LTS-12	620	6-10dx1.5"	6-10dx1.5"	-
	LTS-16	620	6-10dx1.5"	6-10dx1.5"	-
	LTS-18	620	6-10dx1.5"	6-10dx1.5"	-
	LTS-20	620	6-10dx1.5"	6-10dx1.5"	-
	MTS-12	860	7-10dx1.5"	7-10dx1.5"	-
	MTS-16	860	7-10dx1.5"	7-10dx1.5"	-
	MTS-18	860	7-10dx1.5"	7-10dx1.5"	-
	MTS-20	860	7-10dx1.5"	7-10dx1.5"	-
PORCH	PART#/DESC .	UPLIFT	COLUMN FASTENER	RAFTER FASTENER	
	A21	245	2 - 10dx1.5"	2 - 10dx1.5"	
	A23	585	4 - 10dx1.5"	4 - 10dx1.5"	
BTM PLATE	PART#/DESC.	UPLIFT	WALL FASTENER	FLOOR FASTENER	
	LSTA-18	1110	7 - 10d	7 - 10d	
	PART#/DESC ,	UPLIFT	STUD FASTENER	HEADER FASTENER	
HEADER (D)	TP-35	N/R	5'-3"x0.131"	5'-3"x0.131"	
	HP40,41,80,81	4725	5'-3"x0.131"	5'-3"x0.131"	
TIE-DOWNS	PART#/DESC .	UPLIFT	WALL FASTENER	FLOOR FASTENER	
	20GA. 1-1/4" WIDE	4725	7-10dx1.5"	-	
	5/8"x30" ANCHOR	4300	-	-	

• ALL STRAPS CAN BE SUBSTITUTED WITH AN EQUIVALENT BRAND MEETING SAME STRENGTHS.  
 B. RAFTER TIES TO STUD WALL TO BE AT EVERY CONNECTION FOR 24" O.C. & CAN EVERY OTHER FOR 16" O.C. BUT IS REQUIRED ON CORNERS AND STUDS ADJACENT TO CORNERS.  
 C. ONLY NEEDED ON ALUMINUM & VINYL SHEATHING WALLS.  
 D. HEADERS OVER 6'-0" SPAN.

**PRODUCT OPTIONS**

PRODUCT CAT.	SUB. CATEGORY	MANUFACTURER	MODEL I DESC.	STATE OF FL APPROVAL #:
PANEL WALLS	SIDING	JAMES HARDIE	5/16" CEDAR	FL#: 13223.1
PANEL WALLS	SIDING	JAMES HARDIE	5/16" STUCCO	FL#: 13223.2
PANEL WALLS	SIDING	ADVANCED ALUM.	0.19 GA	FL#: 23138.1
PANEL WALLS	SIDING	PLY GEM	x	FL#:-
PANEL WALLS	SIDING	ADVANCED ALUM.	x	FL#: 31737.1
PANEL WALLS	SIDING	SIMPSON LUMBER	x	FL#:-
EXTERIOR DOORS	SWINGING EXT	EAGAN	E1HDL	FL#: 12820-R3
EXTERIOR DOORS	SWINGING EXT	CROFT	200 9-LITE	FL#:-
WINDOWS	SINGLE HUNG	CROFT	VERT SLIDER	FL#: 10853-R5
WINDOWS	SINGLE HUNG	CROFT	VERT SLIDER	FL#: 15527-R5
WINDOWS	SINGLE HUNG	CROFT	VERT SLIDER	FL#: 16082-R3
WINDOWS	SINGLE HUNG	CROFT	VERT SLIDER	FL#: 16153-R1
WINDOWS	HORIZ. SLIDER	CROFT	HORIZ. SLIDER	FL#:27202
WINDOWS	HORIZ. SLIDER	CROFT	HORIZ. SLIDER	FL#: 28822
WINDOWS	HORIZ. SLIDER	CROFT	HORIZ. SLIDER	FL#: 30848



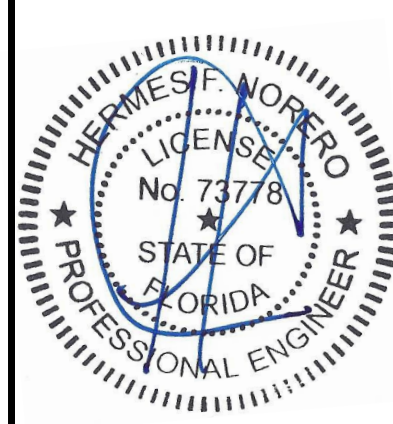
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 ORANGE CITY, FLORIDA 32763  
 (877) 439-7433

TITLE: THE SUPERIOR SCHEDULES

PREPARED BY: BUILDING DROPS, INC.  
 398 E. DANIA BEACH BLVD., STE. 338  
 DANIA BEACH, FL 33004  
 PH: (954) 399-8478  
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REMARKS	BY	DATE

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 FBPE CERT. OF AUTHORIZATION No. 29578

DATE: 04.20.2022

DWG. BY: LL      CHK. BY: HFN

SCALE: NTS

DWG. #: SUP001

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6/9/2022 1:48 PM  
s:\projects\superior sheds\lbc-22-0304 - fl37656.dwg - new file submitted\dwg\sup001.dwg

FASTENING SCHEDULE (FBC TABLE 2304.10.1)		
FASTENING	CONNECTION	
3 - 8d COMMON (2 1/2" X 0.131") 3 - 3" 14 GAUGE STAPLES	TOENAIL	
2 - 8d COMMON (2 1/2" X 0.131") 2 - 8d COMMON (2 1/2" X 0.131") 2 - 3" 14 GAUGE STAPLES	TOENAIL EACH END	
2 - 8d COMMON (2 1/2" X 0.131")	FACE NAIL	
3 - 8d COMMON (2 1/2" X 0.131")	FACE NAIL	
2 - 16d COMMON (3 1/2" X 0.162")	BLIND AND FACE NAIL	
16d (3 1/2" X 0.135") AT 16" O.C. 3" X 0.131 NAILS AT 8" O.C. 3" 14 GAUGE STAPLES AT 12" O.C.	TYPICAL FACE NAIL	
3 - 16d COMMON (3 1/2" X 0.135") AT 16" O.C. 4 - 3" X 0.131" NAILS AT 16" O.C. 4 - 3" 14 GAUGE STAPLES AT 16" O.C.	BRACED WALL PANEL	
2 - 16d COMMON (3 1/2" X 0.162") 3 - 3" X 0.131" NAILS 3 - 3" 14 GAUGE STAPLES	END NAIL	
4 - 8d COMMON (2 1/2" X 0.131") 4 - 3" X 0.131 NAILS 3 - 3" 14 GAUGE STAPLES	TOE NAIL	
2 - 16d COMMON (3 1/2" X 0.162") 3 - 3" X 0.131" NAILS 3 - 3" 14 GAUGE STAPLES	END NAIL	
16d (3 1/2" X 0.135") AT 24" O.C.	3" X 0.131 NAILS AT 8" O.C. 3" 14 GAUGE STAPLES AT 8" O.C.	
16d (3 1/2" X 0.135") AT 16" O.C.	3" X 0.131 NAILS AT 8" O.C. 3" 14 GAUGE STAPLES AT 8" O.C.	
3 - 8d COMMON (2 1/2" X 0.131") 3 - 3" X 0.131" NAILS 3 - 3" 14 GAUGE STAPLES	TOENAIL	
8d COMMON (2 1/2" X 0.131") AT 6" O.C. 3" X 0.131" NAILS AT 6" O.C. 3" 14 GAUGE STAPLES AT 6" O.C.	TOENAIL	
2 - 16d COMMON (3 1/2" X 0.162")	3 - 3" X 0.131" NAILS 3 - 3" 14 GAUGE STAPLES	
16d COMMON (3 1/2" X 0.162")	16" O.C. ALONG EDGE	
3 - 16d COMMON (3 1/2" X 0.131") 5 - 3" X 0.131" NAILS 3 - 3" 14 GAUGE STAPLES	TOE NAIL	
4 - 8d COMMON (2 1/2" X 0.131")	TOE NAIL	
3 - 16d COMMON (3 1/2" X 0.135") MIN. 4 - 3" X 0.131" NAILS 4 - 3" 14 GAUGE STAPLES	FACE NAIL	
3 - 16d COMMON (3 1/2" X 0.135") MIN. 4 - 3" X 0.131" NAILS 4 - 3" 14 GAUGE STAPLES	FACE NAIL	
3 - 8d COMMON (2 1/2" X 0.131") 3 - 3" X 0.131" NAILS 3 - 3" 14 GAUGE STAPLES	TOE NAIL	
2 - 8d COMMON (2 1/2" X 0.131") 2 - 3" X 0.131" NAILS 3 - 3" 14 GAUGE STAPLES	FACE NAIL	

FASTENING SCHEDULE (FBC TABLE 2304.10.1)		
21. 1"X8" SHEATHING TO EACH BEARING	3 - 8d COMMON (2 1/2" X 0.131")	FACE NAIL
22. WIDER THAN 1"X8" SHEATHING TO EA. BEARING	3 - 8d COMMON (2 1/2" X 0.131")	FACE NAIL
23. BUILT-UP CORNER STUDS	16d COMMON (3 1/2" X 0.162") MIN. 3" X 0.131" NAILS 3" 14 GAUGE STAPLES	24" O.C. 16" O.C. 16" O.C.
24. BUILT-UP GIRDER AND BEAMS	"20d COMMON (4" X 0.192") AT 32" O.C. 3" X 0.131 NAILS AT 24" O.C. 3" 14 GAUGE STAPLES AT 24" O.C. 2 - 20d COMMON (4" X 0.192") 3 - 3" X 0.131" NAILS 3 - 3" 14 GAUGE STAPLES"	FACE NAIL AT TOP AND BOTTOM STAGGERED ON OPPOSITE SIDES  FACE NAIL AT ENDS AND AT EACH SPLICE AT EACH BEARING
25. 2" PLANKS	16d COMMON (3 1/2" X 0.162")	FACE NAIL
26. COLLAR TIE TO RAFTER	"3 - 10d COMMON (3" X 0.148") MIN. 4 - 3" X 0.131" NAILS 4 - 3" 14 GAUGE STAPLES"	FACE NAIL
27. JACK RAFTER TO HIP	3 - 10d COMMON (3" X 0.148") 4 - 3" X 0.131 NAILS 4 - 3" 14 GAUGE STAPLES	TOE NAIL
	2 - 16d COMMON (3 1/2" X 0.162") 3 - 3" X 0.131" NAILS 3 - 3" 14 GAUGE STAPLES	FACE NAIL
28. ROOF RAFTER TO 2-BY RIDGE BEAM	2 - 16d COMMON (3 1/2" X 0.162") 3 - 3" X 0.131 NAILS 3 - 3" 14 GAUGE STAPLES	TOE NAIL
	2 - 16d COMMON (3 1/2" X 0.162") 3 - 3" X 0.131" NAILS 3 - 3" 14 GAUGE STAPLES	FACE NAIL
29. JOIST TO BAND JOIST	3 - 16d COMMON (3 1/2" X 0.135") 4 - 3" X 0.131" NAILS 4 - 3" 14 GAUGE STAPLES	FACE NAIL
30. LEDGER STRIP	3 - 16d COMMON (3 1/2" X 0.162") 4 - 3" X 0.131" NAILS 4 - 3" 14 GAUGE STAPLES	FACE NAIL AT EACH JOINT
31. WOOD STRUCTURAL PANELS AND PARTICLEBOARD (B) SUBFLOOR, ROOF AND WALL SHEATHING (TO FRAMING)	1/2" AND LESS 6d (C,I,Q) 2 3/8"X0.113" NAIL(N) 1 3/4" 16 GAUGE(O)  19/32" TO 3/4" 8d(D) OR 6d (E) 2 3/8"X0.113" NAIL(N) 2" 16 GAUGE (P)	6" O.C. EDGES AND INTERMEDIATE, 4" O.C. AT COMPONENT AND CLADDING EDGE STRIP # ZONE 3 (REFER TO FIG. 30.5-1 OF ASCE 7)
SINGLE FLOOR (COMBINATION SUBFLOOR-UNDERLAYMENT TO 19/32" TO 3/4" FRAMING)	7/8" TO 1" 8d(C) 1 1/8" TO 1 1/4" 10d(D) OR 8d(D)	
	3/4" AND LESS 6d(C) 7/8" TO 1" 8d(C) 1 1/8" TO 1 1/4" 10d(D) OR 8d(D)	
32. PANEL SIDING (TO FRAMING) (Q)	1/2" OR LESS 6d(F) 5/8" 8d(F)	
33. FIBERBOARD SHEATHING (G,Q)	1/2" AND LESS NO. 11 GAUGE ROOFING NAIL(H) 6d COMMON  NAIL (2"x0.113") NO. 16  GAUGE STAPLE (I) NO. 11 GAUGE NAIL(H) 8d COMMON  NAIL (2 1/2"x0.131") NO. 16  GAUGE STAPLE (I)	6" O.C. EDGES AND INTERMEDIATE
34. INTERIOR PANELING	1/4" 4d(J) 3/8" 6d(K)	6" O.C. EDGES AND INTERMEDIATE

NOTES:

- A. COMMON OR BOX NAILS ARE PERMITTED TO BE USED EXCEPT WHERE OTHERWISE STATED.
- B. NAILS SPACED AT 6 INCHES ON CENTER ON CENTER AT EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS EXCEPT 6 INCHES AT SUPPORTS WHERE SPANS ARE 48 INCHES OR MORE. FOR NAILING OF WOOD STRUCTURAL PANEL AND PARTICLEBOARD DIAGRAMS AND SHEAR WALLS, REFER TO SECTION 2305. NAILS FOR WALL SHEATHING ARE PERMITTED TO BE COMMON, BOX OR CASING.
- C. COMMON OR DEFORMED SHANK (6d - 2 1/2" x 0.113"; 8d - 2 1/2" x 0.131"; 10d - 3" x 0.148"). D. COMMON (6d - 2" x 0.113"; 8d - 2 1/2" x 0.131"; 10d - 3" x 0.148").
- D. DEFORMED SHANK (6d - 2" x 0.113"; 8d - 2 1/2" x 0.131"; 10d - 3" x 0.148").
- E. CORROSION-RESISTANT SIDING (6d - 1 7/8" x 0.106"; 8d - 2 3/8" x 0.128") OR CASING (6d - 2" x 0.099"; 8d - 2 1/2" x 0.113") NAIL
- F. FASTENERS SPACED 3 INCHES ON CENTER AT EXTERIOR EDGES AND 6 INCHES ON CENTER AT INTERMEDIATE SUPPORTS, WHEN USED AS STRUCTURAL SHEATHING. SPACING SHALL BE 6 INCHES ON CENTER ON THE EDGES AND 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS, WHEN USED FOR NON STRUCTURAL SHEATHING.
- G. CORROSION-RESISTANT ROOFING NAILS WITH 7/16" DIAMETER HEAD AND 1 1/2" LENGTH FOR 1/2" SHEATHING AND 1 3/4" LENGTH FOR SHEATHING.
- H. CORROSION-RESISTANT STAPLES WITH NOMINAL 7/ 16" CROWN OR 1" CROWN AND 1 1/4" LENGTH FOR 1/2" FOR 25/32" SHETHING PANEL SUPPORTS AT 16" (20" IF STRENGTH AXIS IS THE LONG DIRECTION OF THE PANEL, UNLESS OTHERWISE MARKED).
- I. PANEL SUPPORTS AT 24". CASING OR FINISH NAILS SPACED AT 6 INCHES ON PANEL EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS.
- J. FOR ROOF SHEATHING APPLICATIONS, 8d NAILS (2 1/2" x 0.113") ARE THE MINIMUM REQUIRED FOR WOOD STRUCTURAL PANELS.
- K. STAPLES SHALL HAVE A MINIMUM CROWN WIDTH OF 7/16".
- L. FOR ROOF SHEATHING APPLICATIONS, FASTENERS SPACED AT 4 INCHES ON CENTER AT EDGES, 8 INCHES AT INTERMEDIATE SUPPORTS.
- M. FASTENERS SPACED AT 4 INCHES ON CENTER AT EDGES, 8 INCHES AT INTERMEDIATE SUPPORTS FOR SUBFLOOR AND SHEATHING 3 INCHES ON CENTER AT EDGES, 6 INCHES AT INTERMEDIATE SUPPORTS FOR ROOF SHEATHING.
- N. FASTENERS SPACED AT 4 INCHES ON CENTER AT EDGES, 8 INCHES AT INTERMEDIATE SUPPORTS.
- O. SEE FASTENER ALTERNATE SCHEDULE.
- P. FASTENERS MUST BE INSTALLED WITH EVEN SPACING BETWEEN THEM ACROSS ATTACH ING MEMBER.

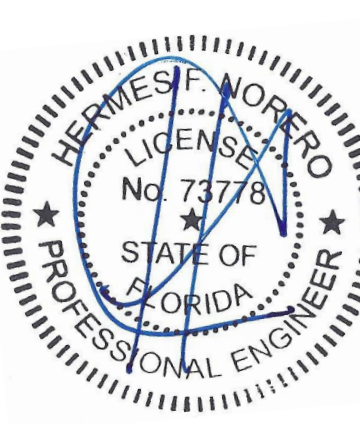


TITLE: THE SUPERIOR SCHEDULES

PREPARED BY: BUILDING DROPS, INC.  
398 E. DANIA BEACH BLVD., STE. 338  
DANIA BEACH, FL 33004  
PH: (954) 399-8478  
FAX: (954) 744-4738  
WEB: www.buildingdrops.com

REMARKS	BY	DATE

THE INSTALLATION DETAILS DESCRIBED HEREIN ARE GENERIC AND MAY NOT REFLECT ACTUAL CONDITIONS FOR A SPECIFIC SITE. IF SITE CONDITIONS CAUSE INSTALLATION TO DEVIATE FROM THE REQUIREMENTS DETAILED HEREIN, A LICENSED ENGINEER OR ARCHITECT SHALL PREPARE SITE SPECIFIC DOCUMENTS FOR USE WITH THIS DOCUMENT.



HERMES F. NORERO, P.E.  
FLORIDA P.E. No 73778  
BUILDING DROPS, INC  
398 E. DANIA BEACH BLVD. # 338  
DANIA BEACH, FL 33004  
FBPE CERT. OF AUTHORIZATION No. 29578

DATE:	04.20.2022	
DWG. BY:	LL	CHK. BY: HFN
SCALE:	NTS	
DWG. #:	SUP001	

June 17, 2022

Mr. Thomas Campbell  
Florida Department of Business and Professional Regulation  
Codes & Standards Office  
2601 Blair Stone Road  
Tallahassee, Florida 32399-0772

**RE: Manufacturer: Superior Sheds  
Agency Plan Number: SUP001**

Dear Mr. Campbell,

Architectural Testing Inc., an Intertek company ("Intertek-ATI"), part of Intertek<sup>1</sup> Building Science Solutions, in pursuant to the requirements of the Florida Department of Business and Professional Regulations, the above referenced documents have been reviewed for compliance with:

**2020 Florida Building Code, 7<sup>th</sup> Edition w/2021 Supp.**  
**2017 National Electrical Code (NFPA-70)**

This approval covers the factory build structure only. Any alterations to the factory-built structure, on site, voids the approval. This plan is subject to the following:

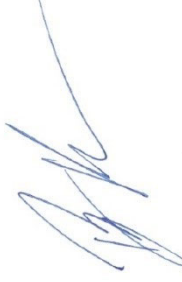
- This plan is Approved for High Velocity Hurricane Zone (i.e. Broward and Miami/Dade Counties)
- Signed and sealed plans are on file with Intertek-ATI
- Chapter 633 Plan Review and Inspection shall be conducted by the local fire and safety inspector
- Items installed on-site are subject to review and approval by the local authority having jurisdiction.
- This review includes products for compliance with 553.8425 or FAC Chapter 61G20-3

If you have any questions or require my assistance in any way, please do not hesitate to contact me.

Respectfully submitted,

*William Tegeler*

William Tegeler  
Department Manager  
Building Science Solutions



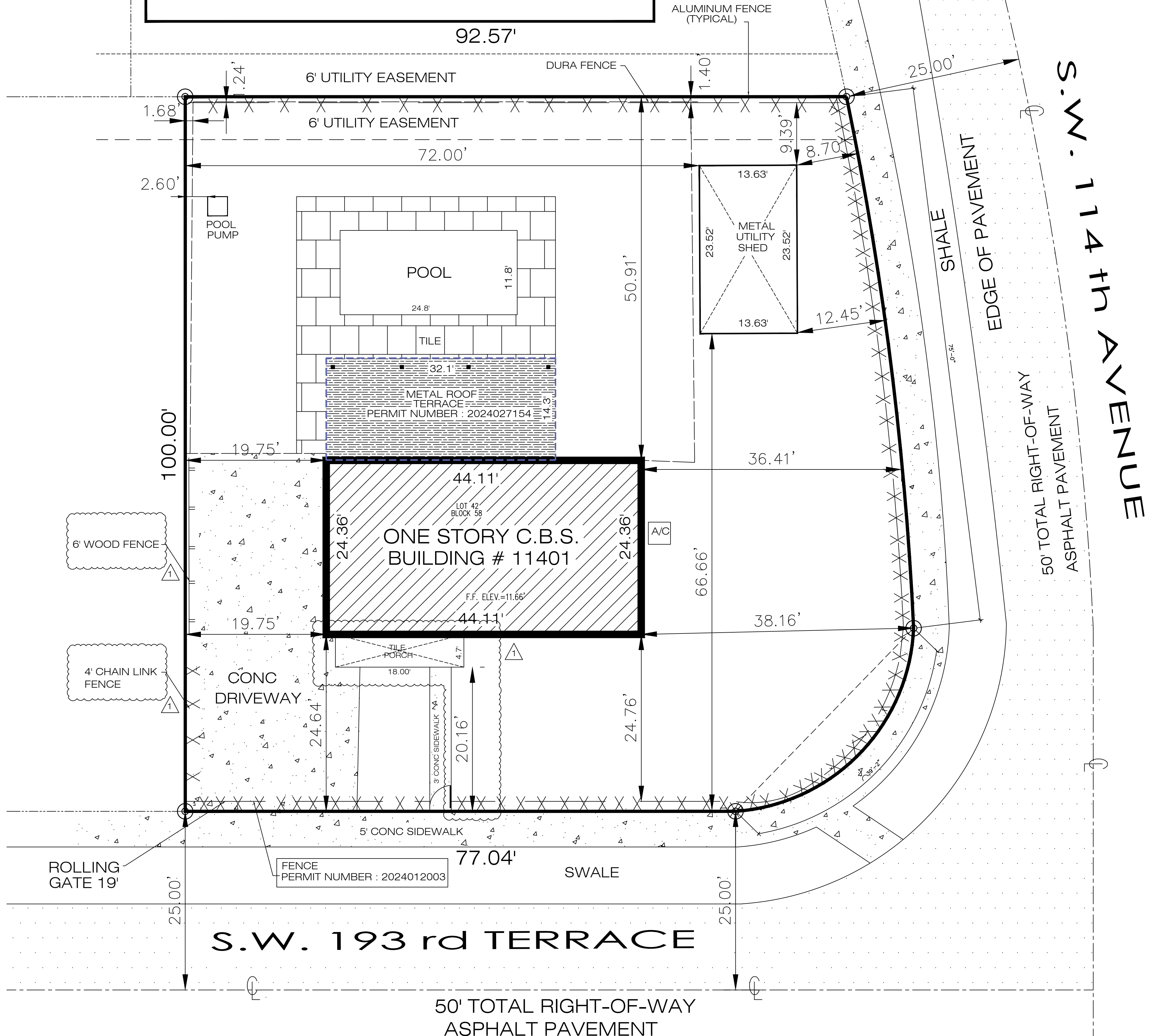
Ryan Knowles, SMP-64  
Manager, Industrialized Buildings  
Building Science Solutions

CC: Mr. Hector Llamas – [hllamas@superiorsheds.com](mailto:hllamas@superiorsheds.com)

<sup>(1)</sup> Intertek is a brand name representing the Intertek Group plc legal entities, including but not limited to, Intertek Testing Services NA Inc., Professional Service Industries, Inc. ("INTERTEK-PSI"), Architectural Testing Inc. ("INTERTEK-ATI"), and MT Group Inc. ("INTERTEK-MT").  
[www.intertek.com/building](http://www.intertek.com/building)

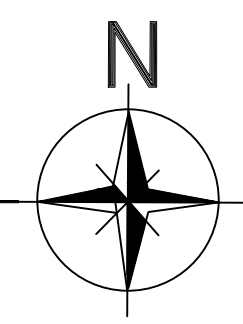


**SCOPE OF WORK**  
 LEGALIZATION OF SHED / SETBACK



**SITE PLAN**

SCALE: 1/8" = 1'-0"



**LEGAL DESCRIPTION**  
 FOLIO: 30-6006-012-0740  
 LOT 42, BLOCK 58, "SO. MIAMI HEIGHTS FIRST ADDITION", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 89 AT PAGE 46 OF THE PUBLIC RECORDS OF MIAMI-DADE CONUNTY, FLORIDA

**PROPERTY OWNER**  
 MAHE BARBARA DAVILA PEREZ  
 GONZALEZ ESTEVEZ APARICIO

**PROPERTY ADDRESS**  
 11401 SW 193rd TERRACE  
 MIAMI, FL. 33157

**BUILDING CRITERIA**  
 EXISTING HOUSE: 1.140 SQ FT

**ZONING LEGEND**  
 ZONING CODE: RU-1  
 PA Primary Zone  
 0100 SINGLE FAMILY-GENERAL  
 Primary Land Use  
 0104 RESIDENTIAL -  
 SINGLE FAMILY : RESIDENTIAL:  
 1 UNIT

**ZONING LEGEND**

ZONING: RU-1 SINGLE-FAMILY

NET LAND AREA: 9,300.00 SQ FT

LOT COVERAGE:

RESIDENCE	1,090.2 SQFT
ALUMINUM TERRACE	459.03 SQFT
UTILITY SHED	320.5 SQFT
TILE PORCH	133.2 SQFT
<b>TOTAL</b>	<b>2,002.48 SQFT LOWER OF THE 40% (3,720 SQFT)</b>

REAR YARD COVERAGE: 4170.47 SQFT LOWER OF THE 30% (1251.15 SQFT)

SETBACKS UTILITY SHED:	REQUIRED	PROPOSED
INTERIOR SIDE	7.50'	72.00'
SIDE PROPERTY	15.00'	12.45' / 8.70'
REAR	5.00'	9.39'
FRONT	75.00'	66.66'

SETBACKS RESIDENCE:	REQUIRED	PROPOSED
SIDE STREET	15.00'	36.41'
INTERIOR SIDE	7.5'	19.75'
REAR	25.00'	50.91'
FRONT	25.00'	24.76'
FRONT PORCH (no columns)	25.00'	20.16'

REVISION NO.	DATE
1	10/23/2024
2	01/27/2025
3	
4	
5	

CONSULTING ENGINEER:  
**ARSHAD VIGAR, P.E.**  
 FL. LIC. No. 38863  
 12260 SW 8th ST Suite #224  
 MIAMI, FL 33184  
 PHONE : (786) 502-2096

PROJECT NAME  
 LEGALIZATION OF SHED AND  
 SETBACK  
 11401 SW 193 TER  
 MIAMI, FL. 33157

DRAWN BY: BPR  
 CHECKED BY: AV  
 DATE: 07/11/2024  
 SCALE: SCALE  
 SHEET:

**SP-1**

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MIAMI-DADE COUNTY  
PROCESS NO.: Z24-156  
DATE: AUG 19 2024  
BY: ISA

Photos  
11401 SW 193 TER  
(sides of the subject property)



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**(Metal Shed)**



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