



FINAL AGENDA

Community Zoning Appeals Board 14
 William F. Dickinson Community Center, 1601 N Krome Ave, Homestead, FL
 Wednesday, January 14, 2026 at 6:30 pm

PREVIOUSLY DEFERRED

A.	Z2025000073	THE ESTATE OF ORLANDO VILLACIS	25-73	56-39-12	N
B.	Z2025000098	Habitat for Humanity of Greater Miami, Inc.	25-98	55-40-19	N
C.	Z2025000100	Leon Ranch LLC	25-100	56-39-02	N

APPEALS

CURRENT

1.	Z2024000141	Frank Osuna	24-141	56-39-11	N
2.	Z2025000149	DRP SOLARIS FL 1 LLC	25-149	57-38-23	N



Official Zoning Agenda

COMMUNITY ZONING APPEALS BOARD

COMMUNITY ZONING APPEALS BOARD - AREA 14

MEETING OF JANUARY 14, 2026

WILLIAM F. DICKINSON COMMUNITY CENTER

1601 N. KROME AVENUE, HOMESTEAD, FL 33030

NOTICE: THE FOLLOWING HEARINGS ARE SCHEDULED FOR 6:30 P.M., AND

ALL PARTIES SHOULD BE PRESENT AT THAT TIME

ANY PERSON MAKING IMPERTINENT OR SLANDEROUS REMARKS OR WHO BECOMES BOISTEROUS WHILE ADDRESSING THE COMMUNITY ZONING APPEALS BOARD SHALL BE BARRED FROM FURTHER AUDIENCE BEFORE THE COMMUNITY ZONING APPEALS BOARD BY THE PRESIDING OFFICER, UNLESS PERMISSION TO CONTINUE OR AGAIN ADDRESS THE BOARD BE GRANTED BY THE MAJORITY VOTE OF THE BOARD MEMBERS PRESENT.

NO CLAPPING, APPLAUDING, HECKLING OR VERBAL OUTBURSTS IN SUPPORT OR OPPOSITION TO A SPEAKER OR HIS OR HER REMARKS SHALL BE PERMITTED. NO SIGNS OR PLACARDS SHALL BE ALLOWED IN THE MEETING ROOM. PERSONS EXITING THE MEETING ROOM SHALL DO SO QUIETLY.

THE USE OF CELL PHONES IN THE MEETING ROOM IS NOT PERMITTED. RINGERS MUST BE SET TO SILENT MODE TO AVOID DISRUPTION OF PROCEEDINGS. INDIVIDUALS, INCLUDING THOSE ON THE DAIS, MUST EXIT THE MEETING ROOM TO ANSWER INCOMING CELL PHONE CALLS. COUNTY EMPLOYEES MAY NOT USE CELL PHONE CAMERAS OR TAKE DIGITAL PICTURES FROM THEIR POSITIONS ON THE DAIS.

THE NUMBER OF FILED PROTESTS AND WAIVERS ON EACH APPLICATION WILL BE READ INTO THE RECORD AT THE TIME OF HEARING AS EACH APPLICATION IS READ.

THOSE ITEMS NOT HEARD PRIOR TO THE ENDING TIME FOR THIS MEETING, WILL BE DEFERRED TO THE NEXT AVAILABLE ZONING HEARING MEETING DATE FOR THIS BOARD.

SWEARING IN OF WITNESSES

I. SELECTION OF CHAIR AND VICE-CHAIR

A. THE ESTATE OF ORLANDO VILLACIS Z2025000073 Area 14/District 08

The application is to permit a rezoning of the subject parcel from AU (Agricultural, minimum 5 gross acres) to RU-1MA (Modified Single-Family Residential, minimum 5,000 sq. ft. lots) which will allow the property to be developed with more residential units than currently permitted.

DISTRICT BOUNDARY CHANGE from AU, Agricultural District to RU-1MA, Modified Single-Family Residential District.

LOCATION: Located at the southeast corner of SW 127 Avenue and SW 212 Street, Miami-Dade County, Florida.

SIZE OF PROPERTY: ±10.26-gross (±9.28-net) Acres

Department of Regulatory and
Economic Resources
Recommendation:

**Approval subject to the Board's
acceptance of the proffered covenant.**

Protests: 0

Waivers: 0

APPROVED: _____

DENIED WITH PREJUDICE: _____

DENIED WITHOUT PREJUDICE: _____

DEFERRED: _____

Deferred from December 17, 2025

B. HABITAT FOR HUMANITY OF GREATER MIAMI Z2025000098 Area 14/District 09

The application seeks to permit a single-family residence on a parcel of land with less lot area and less lot frontage than required by Code.

NON-USE VARIANCE to permit a parcel of land with a lot area of 4,250 sq. ft. (7,500 sq. ft. required) and a lot frontage of 42.50' (75' required).

Plans are on file and may be examined in the Department of Regulatory and Economic Resources, entitled "Unit-622" as prepared by Via Design Studio, consisting of 1 sheet dated stamped received 06/02/25 and 2 sheets dated stamped received 07/09/25, for a total of 3 sheets. Plans may be modified at public Hearing.

LOCATION: Lying east of Dunbar Drive and approximately 175.6 ft north of Dorsey Drive, aka 14935 Dunbar Drive, Miami-Dade County, FL

SIZE OF PROPERTY: 0.09 Acre

Department of Regulatory and
Economic Resources
Recommendation:

Approval with conditions.

Protests: 0

Waivers: 0

APPROVED: _____

DENIED WITH PREJUDICE: _____

DENIED WITHOUT PREJUDICE: _____

DEFERRED: _____

Deferred from December 17, 2025

C. LEON RANCH, LLC. Z2025000100

Area 14/District 08

The application is to permit a rezoning of the subject parcel from AU (Agricultural, minimum 5 gross acres) to EU-M (Estates modified, single-family, minimum 15,000 ft) which will allow the property to be developed with more residential units than currently permitted.

DISTRICT BOUNDARY CHANGE from AU, Agricultural District, to EU-M, Single-Family Estate Modified Use District.

LOCATION: 18900 SW 132 Avenue, Miami-Dade County, Florida.

SIZE OF PROPERTY: ±2.5-Acres

Department of Regulatory and
Economic Resources
Recommendation:

**Approval subject to the Board's
acceptance of the proffered covenant.**

Protests: 0

Waivers: 0

APPROVED: _____

DENIED WITH PREJUDICE: _____

DENIED WITHOUT PREJUDICE: _____

DEFERRED: _____

Deferred from December 17, 2025

1. FRANK OSUNA Z2024000141

Area 14/District 08

The application is to allow an existing single-family residence with a covered roof addition to be located closer to the interior property line than required by code. The application also seeks to allow an existing detached covered canopy structure to be located closer to the interior and front property lines than required by code. Additionally, the application is to allow an existing detached gazebo to be located closer to the interior property line than required by code. Furthermore, the applicant is requesting to permit a boat larger in size than permitted by code.

(1) NON-USE VARIANCE to permit an existing single-family residence with an attached roof structure to setback a minimum of 10.3' (15' required) from the interior side (south) property line.

(2) NON-USE VARIANCE to permit an existing detached metal roof structure to setback a minimum of 10' (20' required) from the interior side (north) property line and 42.1' (75' required) from the front (west) property line.

(3) NON-USE VARIANCE to permit an existing detached gazebo to setback a minimum of 4.6' (20' required) from the interior side (north) property line.

(4) NON-USE VARIANCE to permit a boat that is 36' long by 10' wide (30' long and 8.5' wide maximum permitted).

Plans are on file and may be examined in the Department of Regulatory and Economic Resources, entitled "Site plan and elevations", as prepared by All American Engineering & Consulting, LLC., dated stamped received 7/23/2025 consisting of 4 sheets. Plans may be modified at public hearing.

LOCATION: 21431 SW 129 Court, Miami-Dade County, Florida

SIZE OF PROPERTY: 0.34 Acre

Department of Regulatory and Economic Resources
 Recommendation:

Approval with conditions.

Protests: _____ 0 _____

Waivers: _____ 0 _____

APPROVED: _____

DENIED WITH PREJUDICE: _____

DENIED WITHOUT PREJUDICE: _____

DEFERRED: _____

2. DRP SOLARIS FL 1, LLC. Z2025000149

Area 14/District 09

The applicant seeks a rezoning of the subject parcel from EU-M (minimum 15,000 square foot lots) to RU-3M (multi-family residential, maximum 12.9-units per acre) in order to develop the property with 106 residential units.

DISTRICT BOUNDARY CHANGE from EU-M, Estate Modified District to RU-3M, Minimum Apartment House District.

LOCATION: Lying south of SW 336th Street, north of SW 338th Street, east of SW 194th Avenue, and west of SW 192nd Avenue, Miami-Dade County, Florida.

SIZE OF PROPERTY: ±10.21-gross (±9.88-net) Acres

Department of Regulatory and Economic Resources
 Recommendation:

Approval, subject to the Board's acceptance of the proffered covenant.

Protests: _____ 0 _____

Waivers: _____ 0 _____

APPROVED: _____

DENIED WITH PREJUDICE: _____

DENIED WITHOUT PREJUDICE: _____

DEFERRED: _____

NOTICE

THE FOLLOWING SUMMARY INFORMATION IS PROVIDED AS A COURTESY; IT SHOULD NOT BE TREATED AS LEGAL ADVICE AND IT SHOULD NOT BE RELIED UPON. LEGAL CONSULTATION MAY BE WARRANTED IF AN APPEAL OR OTHER LEGAL CHALLENGE IS BEING CONTEMPLATED.

Decisions of the Community Zoning Appeals Board (CZAB) may be subject to appeal or other challenge. For example, depending upon the nature of the requests and applications addressed by the CZAB, a CZAB decision may be directly appealable to the Board of County Commissioners (BCC) or may be subject to challenge in Circuit Court. Challenges asserted in Circuit Court, where available, must ordinarily be filed within 30 days of the transmittal of the pertinent CZAB resolution to the Clerk of the BCC. Appeals to the BCC, where available, must be filed with the Zoning Hearing Section of the [Department of Regulatory and Economic Resources \(RER\)](#), or its successor Department, within 14 days after RER has posted a short, concise statement (such as that furnished above for the listed items) that sets forth the action that was taken by the CZAB. (RER's posting will be made on a bulletin board located in the office of RER.) All other applicable requirements imposed by rule, ordinance, or other law must also be observed when filing or otherwise pursuing any challenge to a CZAB decision.

Further information regarding options and methods for challenging a CZAB decision may be obtained from sources that include, but are not limited to, the following: Sections 33-312, 33-313, 33-314, 33-316, and 33-317 of the Code of Metropolitan Dade County, Florida; the Florida Rules of Appellate Procedure; and the Municode website (www.municode.com). Miami-Dade County does not provide legal advice regarding potential avenues and methods for appealing or otherwise challenging CZAB decisions; however, a licensed attorney may be able to provide assistance and legal advice regarding any potential challenge or appeal.

**Miami-Dade County Department of Regulatory and Economic Resources
Staff Report to the Community Zoning Appeals Board 14**

PH: Z25-073

January 14, 2026
Item No. A

Recommendation Summary	
Commission District	8
Applicants	The Estate of Orlando Villacis
Summary of Requests	This application is to rezone the subject property from AU (minimum 5 gross acre lots) to RU-1M(a) (minimum 5,000 sq. ft. lots) which would allow the property to be developed with more residential units than currently permitted.
Location	Located at the southeast corner of SW 127 Avenue and SW 212 Street, Miami-Dade County, Florida
Property Size	±10.26-gross (±9.28-net) Acres
Existing Zoning	AU, Agricultural District
Existing Land Use	Vacant land
2030-2040 CDMP Land Use Designation	Low Density Residential, 2.5 to 6 du/a <i>(see attached Zoning Recommendation Addendum)</i>
Comprehensive Plan Consistency	Consistent with the LUP map, and the interpretative text and policies of the CDMP
Applicable Zoning Code Section(s)	Section 33-311 District Boundary Change <i>(see attached Zoning Recommendation Addendum)</i>
Recommendation	Approval subject to the Board's acceptance of the proffered covenant.

This application was unable to be heard at the Community Zoning Appeals Board (CZAB) #14 meeting scheduled for December 17, 2025, due to a lack of quorum.

The public hearing on this item was not held.

REQUEST:

DISTRICT BOUNDARY CHANGE from AU, Agricultural District, to RU-1M(a), Modified Single-Family Residential District.

PROJECT DESCRIPTION:

The applicant seeks to rezone the ±10.26-gross (±9.28-net) acre currently vacant subject parcel from AU, Agricultural District, to RU-1M(a), Modified Single-Family Residential District, in order to develop the site with a 54-unit single-family residential development consisting of a mix of one-story and two-story homes. The proposed single-family lots would be fronting along and have direct vehicular and pedestrian access to SW 212 Street, SW 127 Avenue and theoretical SW 125 Passage roadways. The applicant has submitted plans in conjunction with this zoning application which indicate that the proposed development shall comply with the building setbacks, lot coverage, open space, landscaping and parking requirements. Submitted landscape plans depict ample landscaping in the form of trees and shrubs provided around the proposed buildings, and along the perimeter of the property lines for the subject parcel, with street trees provided along the three abutting SW 212 Street, 127 Avenue and theoretical SW 125 Passage roadways.

Staff notes that a zoning Declaration of Restrictions is being voluntarily proffered by the applicant that, among other things, restricts the residential density on the subject property to a maximum of fifty-four (54) units, and that the parcel shall be developed in substantial compliance with the site plans submitted in conjunction with this zoning application.

<u>NEIGHBORHOOD CHARACTERISTICS</u>		
	Zoning and Existing Use	Land Use Designation
Subject Property	AU, Vacant land	Low Density Residential (2.5 - 6 dua)
North	RU-1, single-family residences	Low Density Residential (2.5 - 6 dua)
South	AU and RU-1, Agricultural / single-family residences	Low Density Residential (2.5 - 6 dua)
East	RU-1Z, single-family residences	Low Density Residential (2.5 - 6 dua)
West	RU-1M(a), single-family residences	Low Density Residential (2.5 - 6 dua)

NEIGHBORHOOD COMPATIBILITY:

The ±10.26-gross (±9.28-net) Acres subject property currently consists of vacant land that is located on the southeast corner of SW 127 Avenue and SW 212 Street. The surrounding area is characterized by single-family residences to the north zoned RU-1, single-family residences to the east zoned RU-1Z, single-family residences to the west zoned RU-1M(a), and single-family residences to the south zoned RU-1 and AU. Additionally, the subject property is located inside the Urban Development Boundary (UDB).

SUMMARY OF THE IMPACTS:

The approval of this application will allow the applicant to rezone the subject property in order to provide additional housing in this area, which could have traffic impacts as well as impacts on other County services. However, based on memoranda from the departments reviewing this application, the additional impacts will be minimal and will not cause their facilities and services to operate below their adopted levels of service standards. The Platting and Traffic Review Section of the Department of Regulatory and Economic Resources (RER) state in their memorandum that the application lies within a Community Development Block Grant (CDBG)-eligible area, where traffic concurrency does not apply, but that the application will generate approximately 62 PM daily peak hour vehicle trips. Staff notes that the application request may add to the population and may bring additional noise into the area.

COMPREHENSIVE DEVELOPMENT MASTER PLAN ANALYSIS:

The ±10.26-gross (±9.28-net) acre currently vacant subject property is located within the Urban Development Boundary (UDB) and the Comprehensive Development Master Plan (CDMP) Adopted 2030-2040 Land Use Plan (LUP) map designates the site as **Low Density Residential**. *This category allows a range in density from a minimum of 2.5 to a maximum of 6 dwelling units per gross acre and is characterized by single family housing, e.g., single-family detached, cluster, zero lot line and townhouses and a mixture of housing types, provided that the maximum gross density is not exceeded.* This allows the applicant to develop the ±10.26-gross acre subject site with up to sixty-one (61) residential units as the maximum density allowed under the CDMP Low

Density Residential threshold on the LUP map. The applicant seeks a district boundary change from AU to RU-1M(a) for the property. Staff notes that RU-1M(a), Modified Single-Family Residential District, has a minimum lot size of 5,000 sq. ft. and approval of this application could allow the applicant to develop the 9.28-net acre subject parcel with up to a maximum of 80 residential units which would exceed the maximum density threshold allowed under the CDMP. However, staff notes that the applicant has voluntarily proffered a zoning declaration of restrictions in support of the requested rezoning, which provides that the maximum residential density on the subject property shall be no greater than a maximum of fifty-four (54) units, which staff notes would be below and within the aforementioned CDMP threshold and as such, **consistent** with the same.

The CDMP Land Use Element **Objective LU-4**, states that *Miami-Dade County shall, by the year 2030, reduce the number of land uses, which are inconsistent with the uses designated on the LUP map and interpretive text, or with the character of the surrounding community.* Staff notes that the adjoining properties to the west of the subject site are already zoned RU-1M(a), as such, staff opines that the proposed RU-1M(a) zoning on the subject site keeps with the residential zoning trend of development that exists within the surrounding neighborhood. Based on the foregoing, staff opines that approval of the rezoning of the subject property to RU-1M(a), subject to the Board's acceptance of the proffered covenant, would be **compatible** with the surrounding area and **consistent** with the density threshold of the **Low Density Residential** designation of the parcel on the CDMP Land Use Plan map and Land Use Element interpretative text, **Objective LU-4**.

ZONING ANALYSIS:

The applicant seeks approval of a request for a district boundary change from AU, Agricultural District, to RU-1M(a), Modified Single-Family Residential District, on the subject property. For the reasons stated above and below, staff opines that when the request to rezone the ±10.26-gross (±9.28-net) acre parcel to RU-1M(a), in order to develop the vacant subject parcel with a 54-unit single-family residential development, is analyzed under Section 33-311, District Boundary Change, the approval of the request would be **compatible** with the surrounding area when considering the necessity and reasonableness in relation to the present and future development of the area concerned. Section 33-311 of the Code states that the purpose of the Code is to provide a comprehensive plan and design to among other things, lessen congestion on the highways and promote convenience and general welfare, with the view of giving reasonable consideration among other things to the character of the district or area and its peculiar suitability for particular uses. Staff supports the district boundary change and opines that the Low Density Residential designation of the subject site, and for the reasons explained in the Comprehensive Development Master Plan Analysis section, the request for a zone change on the subject property would be **consistent** with the aforementioned CDMP designation of the parcel on the CDMP Land Use Plan map, and would be **compatible** with the natural transition of residential zoning trend of development in the surrounding area. Staff opines that given the established residential pattern in the surrounding area characterized by existing single-family residences located to the north that are zoned RU-1, zoned RU-1Z to the east, and zoned RU-1 and AU to the south, as well as a large area of single-family residences located immediately to the west of the subject site that are zoned RU-1M(a), staff finds that the proposed rezoning represents a consistent and compatible continuation of the development pattern that would not alter the development trend within the surrounding community. Furthermore, the applicant has proffered a Declaration of Restrictions which, among other things, restricts the residential density on the subject property to a maximum of fifty-four (54) units, and provides that the parcel shall be developed in substantial compliance with the site plans submitted in conjunction with this zoning application which would ensure that

the development is compatible with the adjacent uses through the implementation of adequate buffering, site planning, and design features. Based on the foregoing, staff opines that the approval of the RU-1M(a) zoning district on the subject property and would be **compatible** with the area and would be a natural transition of the development residential trend in this area.

The submitted plans depict the 54-unit single-family development which proposes 6 different models some of which include one-story and two-stories together. The submitted plans indicate that the proposed lots are designed along a network of private drives to allow connectivity for pedestrians and autos alike, ensuring better traffic dispersal within and outside of the future residential development. Additionally, the applicant is providing a network of sidewalks providing pedestrian connectivity to the common areas proposed within the development. In addition to ample landscaping in the form of trees and shrubs provided along the common areas and boundaries of the development which will minimize any visual impacts of the proposed development on the surrounding area. Landscaping is similarly provided within the residential lots. Staff further notes that the proposed development complies with all the zoning standards such as building setbacks, lot coverage, open space, and landscaping etc.

Staff notes that based on the memoranda submitted by other departments reviewing the application, approval of the application will not cause their facilities and services to operate below their adopted levels of service standards. Staff notes that the Platting and Traffic Review Section of the Department of Regulatory and Economic Resources (RER), does not object to the application and indicate in their memorandum that the application lies within a Community Development Block Grant (CDBG)-eligible area, where traffic concurrency does not apply, but that the application will generate approximately 62 PM daily peak hour vehicle trips, which does not exceed the acceptable Level of Service (LOS) on the surrounding roadways. Further, the Division of Environmental Resources Management of the Department of Regulatory and Economic Resources indicate in their memorandum that the application meets all applicable LOS standards for an initial development order as specified in the adopted CDMP for potable water service, wastewater disposal, and flood protection. In addition, the Department of Transportation and Public Works noted no objections and subject site is subject to the conditions outlined in their memorandum, while other departments reviewing the application, including the Miami-Dade Fire Rescue Department, and the Water and Sewer Department, do not object to the application. Based on the aforementioned department memoranda, staff opines that approval of the applicant's request for a district boundary change will not unduly burden the abutting roadways, will not have an unfavorable impact on the environmental resources of the County, and will not result in, among other things, excessive noise or cause undue or excessive burden on public facilities. As such, staff opines that approval of the request to rezone the subject parcel to RU1-M(a), would be **compatible** with the character of the surrounding neighborhood when considering the necessity and reasonableness of the rezoning in relation to the present and future development of the area. **Therefore, staff recommends approval of the application, subject to the Board's acceptance of the proffered covenant, for a district boundary change to RU1-M(a), Modified Single-Family Residential District, under Section 33-311, District Boundary Change.**

ACCESS, CIRCULATION AND PARKING: The submitted plans indicate that the single-family residential lots would be fronting along and have direct vehicular and pedestrian access to SW 212 Street, SW 127 Avenue and theoretical SW 125 Passage roadways.

NEIGHBORHOOD SERVICES PROVIDER COMMENTS: See attached.

OTHER: N/A

RECOMMENDATION:

Approval, subject to the Board's acceptance of the proffered covenant.

CONDITIONS FOR APPROVAL: None.

ES:JB:SS:MA

Eric Silva

Eric Silva, AICP, Assistant Director
Development Services Division
Miami-Dade County Department of
Regulatory and Economic Resources

ZONING RECOMMENDATION ADDENDUM

THE ESTATE OF ORLANDO VILLACIS

PH: Z25-073

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NEIGHBORHOOD SERVICES PROVIDER COMMENTS	
Division of Environmental Resource Management (RER)	<i>No objection</i>
Platting and Traffic Review Section (RER)	<i>No objection</i>
Fire Rescue (MDFR)	<i>No objection</i>
Water & Sewer WASD	<i>No objection</i>
Department of Transportation and Public Works (DTPW)	<i>No objection*</i>
<i>*Subject to conditions in their memorandum.</i>	

COMPREHENSIVE DEVELOPMENT MASTER PLAN (CDMP) OBJECTIVES, POLICIES AND INTERPRETATIVE TEXT

Low Density Residential (Pg. I-29)	<i>The Adopted 2020 and 2030 Land Use Plan designates the subject property as being within the Urban Development Boundary for Low Density Residential. The residential densities allowed in this category shall range from a minimum of 2.5 to a maximum of 6.0 dwelling units per gross acre. Residential densities of blocks abutting activity nodes as defined in the Guidelines for Urban Form, or of blocks abutting section line roads between nodes, shall be allowed a maximum residential density of 10.0 dwelling units per gross acre. To promote infill development, residential development exceeding the maximum density of 6.0 dwelling units per acre is permitted for substandard lots that were conveyed or platted prior to August 2nd, 1938. This density category is generally characterized by single family housing, e.g., single family detached, cluster, and townhouses. It could include low-rise apartments with extensive surrounding open space or a mixture of housing types provided that the maximum gross density is not exceeded.</i>
Objective LU-4 (Pg. I-8)	<i>Miami-Dade County shall continue to reduce the number of land uses, which are inconsistent with the uses designated on the LUP map and interpretive text, or with the character of the surrounding community.</i>

PERTINENT ZONING REQUIREMENTS/STANDARDS

Section 33-311 District Boundary Change	<p>(A) <i>The Community Zoning Appeals Boards are advised that the purpose of zoning and regulations is to provide a comprehensive plan and design to lessen the congestion in the highways; to secure safety from fire, panic and other dangers, to promote health, safety, morals, convenience and the general welfare; to provide adequate light and air; to prevent the overcrowding of land and water; to avoid undue concentration of population; to facilitate the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements, with the view of giving reasonable consideration among other things to the character of the district or area and its peculiar suitability for particular uses and with a view to conserving the value of buildings and property and encouraging the most appropriate use of land and water throughout the County.</i></p> <p>(F) <i>Section 33-311 provides that the Board shall take into consideration, among other factors the extent to which:</i></p> <p style="padding-left: 40px;">(1) <i>The development permitted by the application, if granted, conforms to the Comprehensive Development Master Plan for Miami-Dade County, Florida; is consistent with applicable area or neighborhood studies or plans, and would serve a public benefit warranting the granting of the application at the time it is considered;</i></p> <p style="padding-left: 40px;">(2) <i>The development permitted by the application, if granted, will have a favorable or unfavorable impact on the environmental and natural resources of Miami-Dade County,</i></p>
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ZONING RECOMMENDATION ADDENDUM

THE ESTATE OF ORLANDO VILLACIS

PH: Z25-073

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including consideration of the means and estimated cost necessary to minimize the adverse impacts; the extent to which alternatives to alleviate adverse impacts may have a substantial impact on the natural and human environment; and whether any irreversible or irretrievable commitment of natural resources will occur as a result of the proposed development;

(3) The development permitted by the application, if granted, will have a favorable or unfavorable impact on the economy of Miami-Dade County, Florida;

(4) The development permitted by the application, if granted, will efficiently use or unduly burden water, sewer, solid waste disposal, recreation, education or other necessary public facilities which have been constructed or planned and budgeted for construction;

(5) The development permitted by the application, if granted, will efficiently use or unduly burden or affect public transportation facilities, including mass transit, roads, streets and highways which have been constructed or planned and budgeted for construction, and if the development is or will be accessible by public or private roads, streets or highways.

Building and Neighborhood Compliance

ENFORCEMENT HISTORY

GIOCONDA VILLACIS, AS PERSONAL REPRESENTATIVE OF THE ESTATE OF ORLANDO VILLACIS N/A
MIAMI-DADE COUNTY, FLORIDA.

APPLICANT

ADDRESS

PENDING

Z2025000073

DATE

HEARING NUMBER

FOLIO No: 30-6912-000-0130

REVIEW DATE OF CURRENT ENFORCEMENT HISTORY:

September 8, 2025

NEIGHBORHOOD REGULATIONS:

There are no open/closed cases in CMS.

BUILDING SUPPORT REGULATIONS:

There are no open/closed cases in BSS

VIOLATOR:

GIOCONDA VILLACIS, AS PERSONAL REPRESENTATIVE OF THE ESTATE OF ORLANDO VILLACIS

OUTSTANDING LIENS AND FINES:

There are no outstanding liens or fines.

Memorandum

Date: December 3, 2025

To: Lourdes M. Gomez, AICP, Director
Department of Regulatory and Economic Resources

From: Christine Velazquez, Division Chief
Department of Regulatory and Economic Resources (RER)

Subject: Z2025000073-5th Review
Holland & Knight LLP
SW 127 Ave and SW 212 Street
DBC from AU to RU-1M(a) to develop 54 SFRs and approval of a DOR
(AU) (10.26 acres)
12-56-39

Miami Dade County has performed an environmental review of the above referenced zoning application for compliance with the requirements of Chapter 24 of the Miami-Dade County Code (the Code) for potable water service and wastewater disposal. Based on the information provided, this zoning application is approved pursuant to section 24-43.1 of the Code related to potable water supply and wastewater disposal.

Potable Water Supply and Wastewater Disposal

Pursuant to the Code and based on the requested district boundary change, the future development is within feasible distance to connect to public water and public sanitary sewers. Therefore, the future development shall connect to public water and sanitary sewers in accordance with the Code. Please note that this development will need to obtain water and sanitary sewer extension permits prior to RER approval of future development orders. To the extent that connection to the public sanitary sewer system is not approved due to a sanitary sewer moratorium, this memorandum shall not be interpreted as written approval from DERM to allow an alternative means of domestic wastewater disposal.

Be advised that the required water main extension permit is issued by the Florida Department of Health. Civil drawings for the water main extension will need to be approved by the Miami-Dade Water and Sewer Department and the Environmental Permitting Section of RER.

Civil drawings for the required sewer main extension will need to be approved by MDWASD and the Environmental Permitting Section of RER prior to approval of final development orders.

In accordance with section 24-43.4(2)(b)(iii) of the Code the property has submitted a covenant running with the land in favor of Miami-Dade County recorded in Official Records Book 34825, Page 282, acknowledging that the property shall be required to connect to the applicable public infrastructure as a condition of any building permit for development on the property or portion thereof.

Existing public water and sewer facilities and services meet the Level of Service (LOS) standards set forth in the Comprehensive Development Master Plan (CDMP). Furthermore, the proposed development order, if approved, will not result in a reduction in the LOS standards subject to compliance with the conditions required by DERM for this proposed development order.

Please note that some of the collection/transmission facilities, which includes sanitary sewer gravity sewer mains, sanitary sewer force mains and sanitary sewer pump stations, throughout the County do not have adequate capacity, as defined in the Consent Decree between Miami-Dade County, Florida Department of Environmental Protection, and the U.S. Environmental Protection Agency case 1:12-cv-24400-FAM. Under the terms of this Consent Decree, this approval does not constitute an allocation or certification of adequate treatment and transmission system capacity. At the time of building permits, DERM will evaluate and may reserve sanitary sewer capacity, through the DERM sanitary sewer certification process, if the proposed development complies with the provisions of the Consent Decree. Building permits for development in sanitary sewer basins that have been determined not to have adequate capacity cannot be approved until adequate capacity becomes available.

Please be advised, DERM review and approval is required for any proposed public or private sanitary sewer system. Each parcel within the proposed development that is required to be served by public sanitary sewers shall connect directly to the public sanitary sewer system, without traversing other parcels. Private sanitary sewer collection and transmission systems are limited to one building per parcel connecting directly to a public sanitary sewer system and cannot traverse other parcels to connect to the public sanitary sewer system. If multiple buildings are within a parcel, each building shall connect individually to a public sanitary sewer system without traversing other parcels.

Conditions of Approval: None

Water Control Review

A RER Surface Water Management General Permit shall be required for the construction and operation of the required surface water management system. This permit shall be obtained prior to any future development order approval.

Stormwater shall be retained on site utilizing designed seepage or infiltration drainage system.

Any proposed development shall comply with county and federal flood criteria requirements. The proposed development order, if approved, will not result in a reduction in the LOS standards for flood protection set forth in the CDMP subject to compliance with the conditions required for this proposed development order.

Pursuant to section 24-48.1(1)(f) of the Code, the applicant is advised that a RER Class VI Permit may be required for the construction of the proposed surface water management system for the development.

The applicant is advised to contact the RER Water Control Section at (305)372-6681 or dermwatercontrol@miamidade.gov for further information regarding permitting procedures and requirements.

Conditions of Approval: None

Pollution Remediation

Based on the current/past agricultural use of the site, DERM review and approval of a Phase 1 and Phase 2 Environmental Site Assessment prepared in accordance with ASTM standards may be required at the site prior to site development and prior to the submittal of site development plans through the building department review process. DERM review and approval of said documents may be required. Further, all construction plans (inclusive of drainage) and dewatering plans may require the review and approval

from the Environmental Monitoring and Restoration Division of DERM (EMRD) as it relates to environmental contamination issues.

EMRD review of this application does not constitute an approval of any site plans, drainage plans, or development plans that may be included as part of this application. Please note that this information relates to future reviews and assessments. For property that is classified as agricultural by the Miami-Dade County Property Appraiser, under certain circumstances, certain DERM activities would be preempted to the Florida Department of Environmental Protection, and such matters would be reviewed on a case-by-case basis to ensure compliance with applicable state law.

Any contaminated portion of the site that is proposed to be sold, transferred or dedicated (including, but not limited to, for public right-of-way) to any public entity shall be identified on the tentative and final plat plans for this development. If any contaminated portion of the site is proposed to be sold, transferred or dedicated to the County, please note that all soil, groundwater or surface water contaminants, solid waste, and methane must be disclosed to the applicable County department at the earliest stage possible. The applicable County departments would include all departments that would receive or manage the proposed property, and for example, would include PROS for a park and DTPW for road right-of-way. Please note that the presence of any such contamination, solid waste, or methane or a delay by the applicant in disclosing such contamination or impacts to the applicable County departments could result in the county declining to accept the proposed dedication. This may in turn result in the need for the developer to reconfigure or change previously approved site plans, or make other changes to the proposed development, which may require approval after public hearing.

If an applicant elects to address soil contamination, groundwater contamination, solid waste and methane via a No Further Action with Conditions, each individual property owner will be required to execute a restrictive covenant.

Please note that nothing stated herein may be interpreted to limit or restrict an engineers or other professionals' responsibility to prepare plans accurately and completely for proposed rights-of-way as well as any other projects or plans. Please contact Thomas Kux, P.G. at Thomas.kux@miamidadegov if you have any questions.

Conditions of Approval: None

Tree Preservation

An aerial review of the subject property indicates the presence of tree resources. A landscape plan entitled "Villacis", prepared by Steven C. Eaves, R.L.A., and dated as received by Miami-Dade County on August 7, 2025, was submitted in support of the subject application and indicates the removal/relocation of tree resources. Section 24-49 of the Code provides for the preservation and protection of tree resources. A Miami-Dade County Tree Permit is required prior to the removal and/or relocation of any tree that is subject to the tree preservation and protection provisions of the Code.

RER has no objection to this application provided that the applicant obtains a Miami-Dade County Tree Removal Permit prior to the removal or relocation of the non-specimen trees on site. Projects and permits shall comply with the requirements of sections 24-49.2 and 24-49.4 of the Code, including the specimen tree standards. The applicant is advised that a tree survey that includes a tree disposition table will be

required during the tree removal permit application process. Projects and permits shall comply with the requirements of sections 24-49.2 and 24-49.4 of the Code, including the specimen tree standards.

In accordance with section 24-49.9 of the Code, all plants prohibited by Miami-Dade County shall be removed from all portions of the property prior to development, or redevelopment and developed parcels shall be maintained to prevent the growth or accumulation of prohibited species. Please contact Jackelyn Alberdi at Jackelyn.Alberdi@miamidade.gov for additional information or concerns regarding this review.

Conditions of Approval: None

Endangered Species

The application site is within the U.S. Fish & Wildlife consultation area for the endangered Florida bonneted bat (*Eumops floridanus*), and may utilize the subject property for foraging, nesting and roosting. The County's Comprehensive Development Master Plan has policies and objectives for the protection of habitat critical to federal, state or County designated endangered, threatened, or rare species.

Please be advised that prior to any future development at the subject property, it is recommended that the applicant contact the United States Fish and Wildlife Service (USFWS) in the Vero Beach office at (772) 562-3909 and the Natural Resources Division of RER at Jackelyn.Alberdi@miamidade.gov or 305-372-6694 with any questions regarding threatened and endangered species.

Conditions of Approval: None

Enforcement History

There are no open or closed enforcement records for violations of Chapter 24 of the Code for the subject property. There are no outstanding DERM liens or fines for the subject property.

Concurrency Review Summary

A concurrency review has been conducted for this application and the County has determined that the same meets all applicable LOS standards for an initial development order as specified in the adopted CDMP for potable water supply, wastewater disposal, and flood protection. This concurrency approval is valid only for this initial development order. Pursuant to Chapter 33G of the Code, a final concurrency statement will be issued at the time of final development order.

If you have any questions concerning the comments or wish to discuss this matter further, please contact Ninfa Rincon at (305) 372-6764.

cc: Eric Silva, Department of Regulatory and Economic Resources

Memorandum



Date: September 3, 2025

To: Eric Silva, AICP, Assistant Director
Development Services Division
Department of Regulatory and Economic Resources (RER)

Through: James B. Ferguson, P.E.
Assistant Director
Water and Sewer Department (WASD)

From: Maria A. Valdes, CSM, LEED® Green Associate
Chief, Planning & Water Certification Section
Water and Sewer Department

Subject: Zoning Application Comments - Villacis
Application No. Z2025000073 - Revision # 2 - (Pre-App. Z25P-020)

A handwritten signature in cursive script that reads "Maria Valdes".

The Water and Sewer Department has reviewed the proposed development for the subject zoning application. WASD has no objections to this zoning application, based on the information provided. Additional requirements may be needed at the time of permitting. The information provided below is preliminary and it does not affect the Zoning process.

At the time of development, the applicant is advised to consult with the project's engineer and WASD's Plans Review staff to finalize points of connection and capacity approval. A WASD Agreement and/or Verification form will be required.

Application Name: Villacis

Location: The proposed project is located on approximately 10.26 gross acres at the southeast corner of the intersection of SW 127th Avenue and SW 212th Street, with Folio No. 30-6912-000-0130, in unincorporated Miami-Dade County.

Proposed Development: The Applicant is seeking a district boundary change from AU (Agricultural District) to RU-1Ma (Modified Single-Family Residential District) in order to subdivide the property into fifty-four (54) lots to allow the construction of fifty-four (54) single-family residences, of which 41 single-family residences will be under 3,001 square feet and 13 single-family residences will be between 3,001 to 5,000 square feet, as confirmed by applicant's representative Amanda Naldjieff's email dated 4/24/2025.

The estimated total water demand for the proposed project will be 12,640 gallons per day (gpd).

Water: The proposed development is located within the WASD's water service area. The water supply will be provided by the Alexander-Orr Water Treatment Plant (WTP). Currently, there is adequate treatment and water supply capacity at the WTP, consistent with Policy WS-2 A (1) of the CDMP.

The developer may connect to the following water mains in order to provide water service to the proposed development:

1. An existing 16-inch water main (E1097-4) along SW 127th Avenue, abutting the western boundary of the property.

2. An existing 8-inch water main (E1093-5) along SW 212th Street, abutting the northern boundary of the property.

An 8-inch minimum diameter water main extension within the property will be required to provide service to all the proposed lots. If two (2) or more fire hydrants are to be connected to a public water main extension, then the water system shall be looped with two (2) points of connections. Final points of connections and capacity approval to connect to the water system will be provided at the time the water hydraulic modeling analysis is performed, and the WASD Agreement is offered.

A Water Supply Certification (WSC) will be required for the proposed development. Said Certification will be issued at the time the WASD Agreement is offered. The WSC letter shall remain active in accordance with terms and conditions specified in said certification. The WSC is required consistent with Policy CIE-5D and WS-2C in the County's CDMP and in accordance with the permitted withdrawal capacity in the WASD's 20-year Water Use Permit.

For more information on the Water Supply Certification Program please go to: <http://www.miamidade.gov/water/water-supply-certification.asp>

In addition, all future development will be required to comply with water use efficiency techniques for indoor water use and with landscape standards in accordance with Sections 8-31, 32-84, 18-A, and 18-B of the Miami-Dade County Code, consistent with Policies WS-5E and WS-5F of the CDMP.

For more information about our Water Conservation Program, please go to: <http://www.miamidade.gov/conservation/home.asp>

For information concerning the Water-Use Efficiency Standards Manual please go to: <http://www.miamidade.gov/waterconservation/library/instructions/water-use-efficiency-standards-manual.pdf>

Sewer: The proposed development is located within the WASD's sewer service area. The wastewater flows for the proposed development will be transmitted to the South District Wastewater Treatment Plant (SDWWTP) for treatment and disposal. The SDWWTP is currently operating under a permit from the Florida Department of Environmental Protection. Currently, there is adequate sewer treatment and disposal capacity at the SDWWTP, consistent with Policy WS-2 A (2) of the CDMP.

There is an existing 8-inch gravity sewer (ES8036-1-2; MH-11 per As-built) in SW 212th Street, located at the northeast corner of the subject property to where the developer may connect and extend a new 8-inch gravity sewer, at full depth westerly along SW 212th Street to the northwest corner of the property. In addition, the developer shall extend an 8-inch gravity sewer within the property to provide sewer service to all the proposed lots, provided there is sufficient depth and that there are no obstacles which would preclude construction of the sewer system. **The developer is responsible for providing the minimum coverage on the proposed sewer main extension as specified in the WASD Design standard.**

If unity of title does not apply, thence any gravity sewer within the property shall be public and 8-inch minimum diameter. Final points of connections and capacity approval to connect to the sewer system will be provided at the time the sewer hydraulic modeling analysis is performed, and the WASD Agreement is offered.

The sewage flow from the proposed development will be transmitted to Pump Station (P.S.) No. 564 and P.S No. 522. Said pump stations are currently in OK Moratorium Code Status. Below is the existing and projected Nominal Average Pump Operating Time (NAPOT) for both pump stations.

P.S. No. 564

Existing NAPOT: 5.31 hrs.
Proposed Development: 12,640 gpd
Proposed Projected NAPOT: 5.97 hrs.

P.S. No. 522

Existing NAPOT: 4.75 hrs.
Proposed Development: 12,640 gpd
Proposed Projected NAPOT: 4.76 hrs.

Connection to the sanitary sewer system is subject to the following conditions:

- Adequate transmission and plant capacity exist at the time of the owner's request consistent with policy WS-2 A (2) of the CDMP. Capacity evaluations of the plant for average flow and peak flows will be required. Connection to the COUNTY'S sewage system will be subject to the terms, covenants and conditions set forth in court orders, judgments, consent orders, consent decrees and the like entered into between the COUNTY and the United States, the State of Florida and/or any other governmental entity, including but not limited to, the Consent Order entered on April 9, 2014 in the United States of America, State of Florida and State of Florida Department of Environmental Protection v. Miami-Dade County, Case No. 1:12-cv-24400-FAM, as well as all other current, subsequent or future enforcement and regulatory actions and proceedings.
- Approval of all applicable governmental agencies having jurisdiction over these matters are obtained.

Any public water or sewer infrastructure must be within a public right-of-way, or within a utility easement.

Below please find additional links to the WASD portal, which provides information on the Construction & Development process for water and sewer infrastructure.

<http://www.miamidade.gov/water/construction-development.asp>

<http://www.miamidade.gov/water/construction-service-agreement.asp>

<http://www.miamidade.gov/water/construction-existing-service.asp>

<http://www.miamidade.gov/water/library/forms/service-agreement.pdf>


Should you have any questions, please contact Maria A. Valdes, Chief, Planning & Water Certification Section at (786) 552-8198 or mavald@miamidade.gov, Alfredo B. Sanchez at (786) 552-8237 or sanalf@miamidade.gov, or Benita Ramirez at (786) 552-8121 or benita.ramirez@miamidade.gov.

Memorandum



Date: September 19, 2025

To: Eric Silva, AICP, Assistant Director
Department of Regulatory and Economic Resources

From:  Raul A. Pino, PLS, Division Chief
Platting and Traffic Review Section
Department of Regulatory and Economic Resources

Subject: Z2025000073
Name: Gioconda Villacisas Personal Representative of the Estate of Orlando Villacis
Location: Located on the Southeast Corner of SW 127 Avenue and SW 212 Street
Section 12 Township 56 South Range 39 East

The Department of Regulatory and Economic Resources Platting and Traffic Review Section has reviewed the subject application and has **no objections**.

This land requires platting in accordance with Chapter 28 of the Miami-Dade County Code. Any right-of-way dedication per Miami-Dade Chapter 33-133 and Chapter 28 and/or improvements required will be accomplished thru the recording of the plat.

This application meets the traffic concurrency criteria because it lies within a Community Development Block Grant (CDBG)-eligible area where traffic concurrency does not apply. It will generate approximately 62 PM peak hour vehicle trips.

The request herein, constitutes an Initial Development Order only, and one or more traffic concurrency determinations will subsequently be required before development will be permitted.

Notes: PM =Post Meridiem

The PM peak hour refers to the highest hour of vehicle trips generated during the afternoon peak hours of 4-6 PM

Standard Conditions:

- A letter or a plan containing the following certification signed and sealed by a State of Florida registered engineer shall be submitted as part of the paving and drainage plans: "I hereby certify that the all of the roads for the subject project comply with all of the applicable portions of the Manual of Uniform Minimum Standards for Design, Construction and Maintenance for Streets and Highways (Florida Greenbook) regarding: design speed, lane widths, horizontal alignment, vertical alignment, stopping sight distance, sight distance, horizontal clearance, vertical clearance, superelevation, shoulder widths, grades, bridge widths, etc."
- All landscaping, walls, fences, entrance features, etc. will be subject to the Safe Sight Distance Triangle as per Section 33-11 of the Miami-Dade County Code and G5.3 of the Public Works and Waste Management Department Manual.

Memorandum



Date: August 20, 2025

To: Eric Silva, Assistant Director
Regulatory and Economic Resources

From: Alejandro G Cuello, Principal Planner
Miami-Dade Fire Rescue Department

Subject: Z2025000073

The Miami-Dade Fire Rescue Department has **no objection** to the site plan uploaded to "EnerGov" on 8/13/2025.

MDFR's review of this zoning application is limited to assessing fire department access and does not effectuate an approval of the building design. The future building's design must be in compliance with the applicable requirements for the proposed use:

Florida State Statute Chapter 633 (Fire Prevention & Control)
Florida Administrative Code 69A
Florida Fire Prevention Code (NFPA 1 and NFPA 101 (2018 edition))
Applicable adopted NFPA Standards
County Code Chapter 14

For additional information, please contact acuello@miamidade.gov or call 305-775-3357.

Memorandum



Date: Tuesday, September 30, 2025

To: Eric Silva
Assistant Director, Zoning Division
Department of Regulatory and Economic Resources (RER)

From: Miguel Soria, P.E.
Assistant Director Highway Engineering
Department of Transportation and Public Works

Subject: Application: Z2025000073
Location: Villacis 10 Acres

The Miami-Dade County Department of Transportation and Public Works (DTPW) Traffic Engineering Division has reviewed the subject application and has no objections, subject to the conditions outlined in Section I. Please note that the required offsite improvements must be completed prior to the issuance of the Temporary Certificate of Occupancy (TCO).

PROJECT LOCATION:

The property is located on the southeast corner of SW 127th Avenue and SW 212th Street, in unincorporated Miami-Dade County, Florida.

COMMENTS/RECOMMENDATION:

I. CONDITIONS:

1. According to the Letter of Intent (LOI), the Applicant seeks to develop the Property with approximately 54 detached single-family homes at a proposed density of approximately ± 5.86 dwelling units per net acre. The Miami-Dade County Department of Transportation and Public Works (DTPW) Traffic Engineering Division has reviewed the application and raises no objections. In the case that the land use information is modified, a new site plan/traffic study must be submitted for review.
2. The developer intends to improve SW 212th Street to a two-lane, two-way roadway between SW 127th Avenue and the site's east property line, and to improve SW 127th Avenue along the site frontage by adding bicycle lanes.

If you have any questions concerning the comments, or wish to discuss this matter further, please contact Anamersy Arce at anamersy.arce@miamidade.gov.

RODRIGUEZ, IVAN M

From: RODRIGUEZ, IVAN M
Sent: Tuesday, June 3, 2025 12:11 PM
To: 'Amanda.Naldjieff@hklaw.com'
Cc: Concurrency Management; Stillings, Noel (RER); Connally, Ronald (RER); Simon, Nathaly; Garcia, Jeannette C.; HERRERA, ANA I
Subject: Preliminary School Concurrency Analysis for Gioconda Villacis, as Personal Representative of t (Z2025000073) (PH3025041800215)
Attachments: Gioconda Villacis, as Personal Representative of t (Z2025000073) (PH3025041800215).pdf

Dear Applicant,

Pursuant to State Statutes and the Interlocal Agreement for Public School Facility Planning, the above-referenced application was reviewed for compliance with Public School Concurrency. Accordingly, enclosed please find the School District’s Preliminary Concurrency Analysis (School Planning Level Review).

As noted in the School Planning Level Review, the proposed development would yield a maximum residential density of 54 units, which generate 17 students (8 at the elementary, 4 at the middle, and 5 at the senior high school level). At this time, all school levels have sufficient capacity available to serve the application. However, a final determination of Public School Concurrency and capacity reservation will only be made at the time of approval of final plat, site plan or functional equivalent, notwithstanding any additional information that may surface after further departmental research. As such, this analysis does not constitute a Public School Concurrency Approval.

Should you have any questions, please feel free to contact our office at 305-995-7285.

Regards,



Ivan M. Rodríguez

**Director
Growth Management**
Office of Governmental Affairs & Land Use
Facilities Design and Construction
Miami-Dade County Public Schools
1450 N.E. Second Avenue
Miami, Florida 33132
(305) 995-4501



Concurrency Management System (CMS)

Miami-Dade County Public Schools

Miami-Dade County Public Schools

Concurrency Management System Preliminary Concurrency Analysis

MDCPS Application Number:	PH3025041800215	Local Government (LG):	Miami-Dade
Date Application Received:	4/18/2025 10:14:40 AM	LG Application Number:	Z2025000073
Type of Application:	Public Hearing	Sub Type:	Zoning
Applicant's Name:	Gioconda Villacis, as Personal Representative of t		
Address/Location:	NONE		
Master Folio Number:	3069120000130		
Additional Folio Number(s):			
PROPOSED # OF UNITS	<u>54</u>		
SINGLE-FAMILY DETACHED UNITS:	<u>54</u>		
SINGLE-FAMILY ATTACHED UNITS:	<u>0</u>		
MULTIFAMILY UNITS:	<u>0</u>		

CONCURRENCY SERVICE AREA SCHOOLS						
CSA Id	Facility Name	Net Available Capacity	Seats Required	Seats Taken	LOS Met	Source Type
661	CARIBBEAN K-8 CENTER (ELEM COMP)	90	8	8	YES	Current CSA
662	CARIBBEAN K-8 CENTER (MID COMP)	63	4	4	YES	Current CSA
7731	MIAMI SOUTHRIDGE SENIOR	-105	5	0	NO	Current CSA
7731	MIAMI SOUTHRIDGE SENIOR	0	5	0	NO	Current CSA Five Year Plan
ADJACENT SERVICE AREA SCHOOLS						
7531	MIAMI SUNSET SENIOR	732	5	5	YES	Adjacent CSA
*An Impact reduction of 33.68% included for charter and magnet schools (Schools of Choice).						

MDCPS has conducted a preliminary public school concurrency review of this application; please see results above. A final determination of public school concurrency and capacity reservation will be made at the time of approval of plat, site plan or functional equivalent. **THIS ANALYSIS DOES NOT CONSTITUTE PUBLIC SCHOOL CONCURRENCY APPROVAL.**

1450 NE 2 Avenue, Room 525, Miami, Florida 33132 / 305-995-7285 / concurrency@dadeschools.net

Memorandum



Date: September 25th, 2025

To: Eric Silva, Assistant Director
Development Services Division
Regulatory and Economic Resources Department (RER)

From: Alejandro Zizold, Chief of Planning, Research and Grants
Planning, Design and Construction Excellence Division *Alejandro Zizold*
Parks, Recreation and Open Spaces Department (PROS)

Subject: Z2025000073 – Villacis Version #4 (Associated Applications: Z2025P00020). Based on revised plans submitted on August 13th, 2025.

Applicant Name: Amanda Naldjieff on behalf of Gioconda Villacis as Personal Representative of the Estate of Orlando Villacis

Project Location: The property consists of approximately ±10.26-acres and the property is located on the southeast corner of SW 127 Avenue and SW 212 Street, in unincorporated Miami-Dade County, Florida (Folios: 30-6912-000-0130).

Proposed Development: The applicant seeks a zoning review of their proposed project to request the approval of a zoning district boundary change from Agricultural District (AU) to Modified Single Family Residential District (RU-1M(A)), in order to develop 54 detached single-family homes. The applicant also seeks a zoning review of their proposed project to request the approval of the following request:

- Approval of the proffered Declaration of Restrictions which will require the future development of the Property to be in substantial accordance with the Plans.

Current Park Benefit District Area Conditions: County-owned park and recreation facilities, both Areawide and Local, serving Park Benefit District 3 (PBD 3) are shown in Figure 1. County-owned local parks that are within three miles of the subject application are described in Table A, which lists the park name, park address, park classification, acreage for each park, and type of recreation facility.

Table A - County Parks (Local) Within a 3 Mile Radius of Application Area.

NAME	ADDRESS	CLASSIFICATION	ACRES	TYPE
LOSNER PARK	11851 SW 188 ST	MINI-PARK	0.57	LOCAL
CHARLES BURR PARK	20200 SW 127 AVE	NEIGHBORHOOD PARK	4.00	LOCAL
CARIBBEAN PARK	11900 SW 200 ST	NEIGHBORHOOD PARK	5.23	LOCAL
SERENA LAKES PARK	SW 180 ST AND 139 AVE	NEIGHBORHOOD PARK	5.00	LOCAL
EUREKA VILLAS PARK	14301 SW 180 ST	COMMUNITY PARK	6.01	LOCAL
QUAIL ROOST PARK	11336 SW 186 ST	NEIGHBORHOOD PARK	3.13	LOCAL
WILLIAM RANDOLPH COMMUNITY PARK	11950 SW 228 ST	NEIGHBORHOOD PARK	10.00	LOCAL
LINCOLN PARK	SW 220 ST AND 102 AVE	MINI-PARK	1.00	LOCAL
LINCOLN ESTATES PARK	22210 SW 108 AVE	MINI-PARK	0.80	LOCAL
CUTLER RIDGE SKATE PARK	SW 211 ST AND HEFT	SINGLE PURPOSE PARK	3.60	LOCAL
ROBERTA HUNTER PARK	SW 117 AVE AND 200 ST	NEIGHBORHOOD PARK	15.00	LOCAL
KEVIN BROILS PARK	26150 SW 125 AVE	NEIGHBORHOOD PARK	5.24	LOCAL
PRINCETONIAN PARK	12755 SW 252 TERR	NEIGHBORHOOD PARK	6.50	LOCAL
PINE FOREST PARK	20751 SW 129 AVE	NEIGHBORHOOD PARK	6.63	LOCAL

GOULDS WAYSIDE PARK	SW 227 ST AND US 1	NEIGHBORHOOD PARK	2.90	LOCAL
EUREKA PARK	18320 SW 119 AVE	COMMUNITY PARK	5.13	LOCAL
JL (JOE) & ENID W. DEMPS PARK	11350 SW 216 ST	COMMUNITY PARK	30.00	LOCAL
SHARMAN PARK	12370 SW 218 ST	COMMUNITY PARK	2.06	LOCAL
SOUTH MIAMI HEIGHTS PARK	20800 SW 117 AVE	NEIGHBORHOOD PARK	5.67	LOCAL
SILVER PALMS PARK 1	11344 SW 234 LN	NEIGHBORHOOD PARK	1.05	LOCAL
SILVER PALMS PARK 2	11300 SW 240 LN	NEIGHBORHOOD PARK	1.30	LOCAL
SILVER PALMS PARK 3	11306 SW 242 ST	NEIGHBORHOOD PARK	0.81	LOCAL
DEBBIE CURTIN PARK	22820 SW 112 AVE	NEIGHBORHOOD PARK	9.78	LOCAL
SILVER PALMS PARK 7	23800 SW 118 PL	NEIGHBORHOOD PARK	6.20	LOCAL
SILVER PALMS PARK 4	24150 SW 114 CT	NEIGHBORHOOD PARK	1.09	LOCAL
SILVER PALMS PARK 5	11741 SW 233 LN	NEIGHBORHOOD PARK	0.83	LOCAL
SILVER PALMS PARK 6	23380 SW 118 AVE	NEIGHBORHOOD PARK	1.93	LOCAL
JOE AND COLLEEN GRIFFIN PARK	12821 SW 232 ST	NEIGHBORHOOD PARK	5.00	LOCAL
TAMARIND PARK	23437 SW 107 AVE	NEIGHBORHOOD PARK	1.56	LOCAL
MIAMI HEIGHTS PARK	SW 117 AVE & SW 173 ST	NEIGHBORHOOD PARK	5.86	LOCAL

The applicant site is ± 0.5 mile from the existing Miami Dade County's Black Creek Trail, which runs from the Krome Path to the east and terminates at Biscayne Bay. The approximately 8.5-mile cross section provides for pedestrian movement through the natural-suburban-urban transect. The Black Creek trail is also a segment of the Miami LOOP, an envisioned 225-mile non-motorized trail network within Miami-Dade County.

Impact and Demand: The proposed 54 single family detached dwelling units would generate a population of 171 and an impact of ± 0.47 -acres of local parkland when analyzed using Miami-Dade County's minimum Level of Service standard for the provision of local recreation open space. Recreation and Open Space Element policies ROS-2a (i); (ii); (iii); (iv); and (v) provide for the establishment of Miami-Dade County's minimum Level of Service standard for the provision of local recreation open space. As shown in Table A, there are several Miami-Dade County-provided local recreation open spaces of 5 acres or larger within the 3-mile distance from the application area. The project site is in PBD 3, which currently meets park concurrency requirements.

Recommendations: PROS offers the following recommendations and requests additional information regarding this project:

- Given the development's proximity to the existing Black Creek Trail, PROS highly recommends the applicant to provide wayfinding signage directing residents to the trail and locate the signage in centralized highly visible areas to encourage non-motorized mobility, and to encourage use of local County trail networks and local County transportation facilities.
- Please consider providing street trees as mature as feasible upon installation to offer immediate shade, aid in mitigation of the urban heat island effect, and to promote sustainable communities, and the health and wellness of residents per Miami-Dade County OSMP, Objective ROS-8 from Miami-Dade County Recreation & Open Space Element, and as suggested in the Miami-Dade County's Urban Design Manual, Volume I, page 28-31.

These recommendations are based on the following Recreation and Open Space policy and objectives in the Comprehensive Development Master Plan (CDMP):

Objective ROS-1

Provide a comprehensive system of public and private sites for recreation, including but not limited to, public spaces, natural preserve and cultural areas, greenways, trails, playgrounds, parkways, beaches and public access to beaches, open space, waterways, and other recreational facilities and programs serving the entire County; and local parks and recreation programs adequately meeting the needs of Miami-Dade County's unincorporated population.

Policy ROS-3B

The County shall improve and promote non-motorized access to existing park and recreation open spaces by implementing the North Miami-Dade Greenways Master Plan and South Miami-Dade Greenway Network Master Plan, as well as improved sidewalks and trails, to improve connectivity between parks and residences, schools, activity centers, and transportation nodes.

Objective ROS-8

The Miami-Dade County Parks and Open Space System Master Plan (OSMP), through a 50-year planning horizon, shall guide the creation of an interconnected framework of parks, public spaces, natural and cultural areas, greenways, trails, and streets that promote sustainable communities, the health and wellness of County residents, and that serve the diverse local, national, and international community.

Policy ROS-8C

Miami-Dade County shall utilize the Parks and Open Space Design Criteria or "Pattern Book", to guide the development of the public realm. The public realm includes new and existing parks, public spaces, natural and cultural areas, greenways, trails, street corridors, and private spaces that are open to the public. The criteria shall promote beauty, community character and connectivity and include standards to assure compatibility with adjoining uses, conservation, and energy efficiency, as well as signage and way-finding requirements.

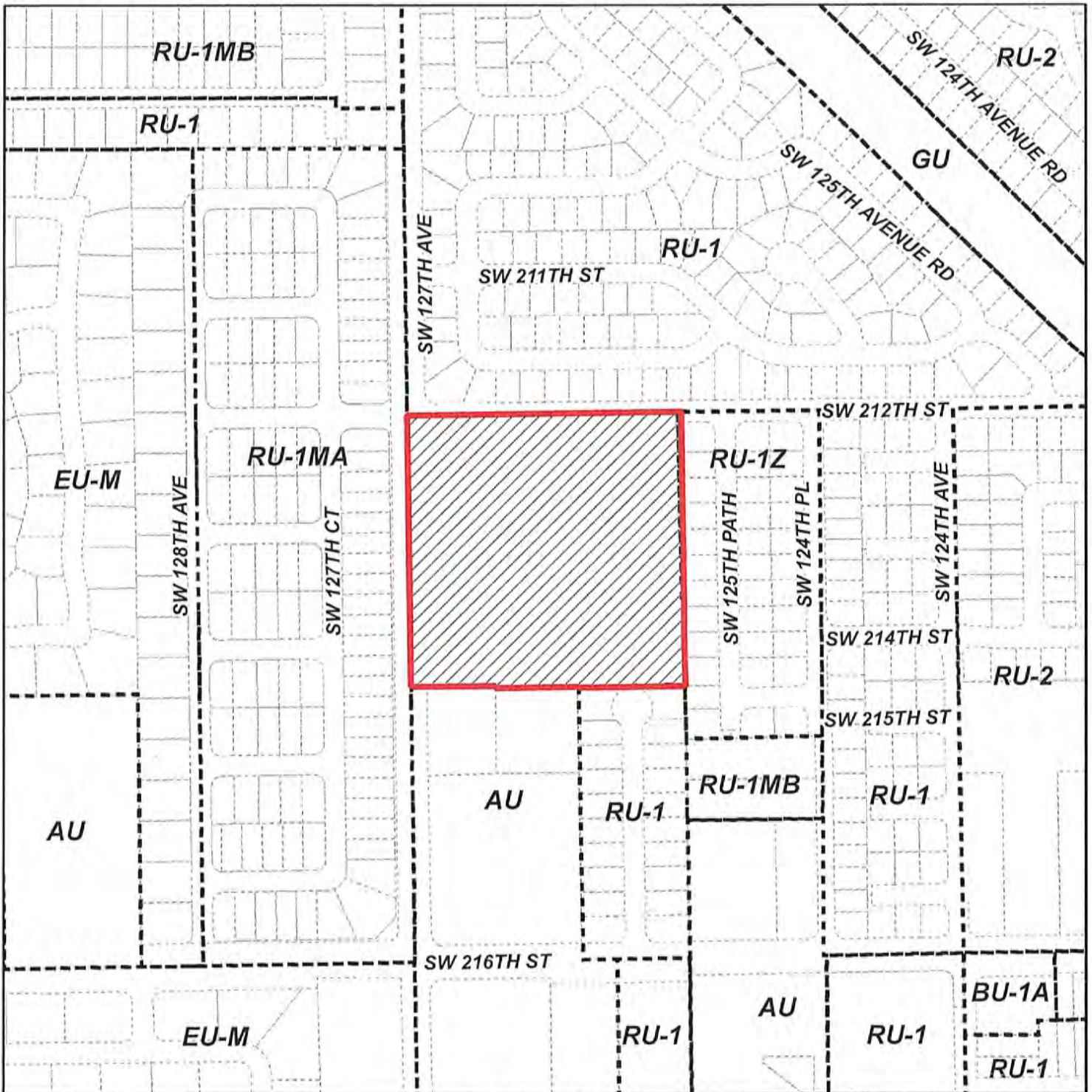
Based on our findings described herein, **PROS has no objection to the application.** Once the documents mentioned above have been provided, the department will offer further review.

Should you need additional information or clarification on this matter, please contact Irene Cambeyro Gonzalez, Park Planner 2, by email at irene.cambeyrogonzalez@miamidade.gov

AZ: rk icg



Attachment:





MIAMI-DADE COUNTY
HEARING MAP

Process Number
Z2025000073



Section: 12 Township: 56 Range: 39
 Applicant: The Estate of Orlando Villacis
 Zoning Board: C14
 Commission District: 9
 Drafter ID: EDUARDO CESPEDES
 Scale: NTS

Legend

-  Subject Property Case
-  Zoning




SKETCH CREATED ON: Friday, April 25, 2025

REVISION	DATE	BY



MIAMI-DADE COUNTY
AERIAL YEAR 2024

Process Number
Z2025000073

Legend
 Subject Property

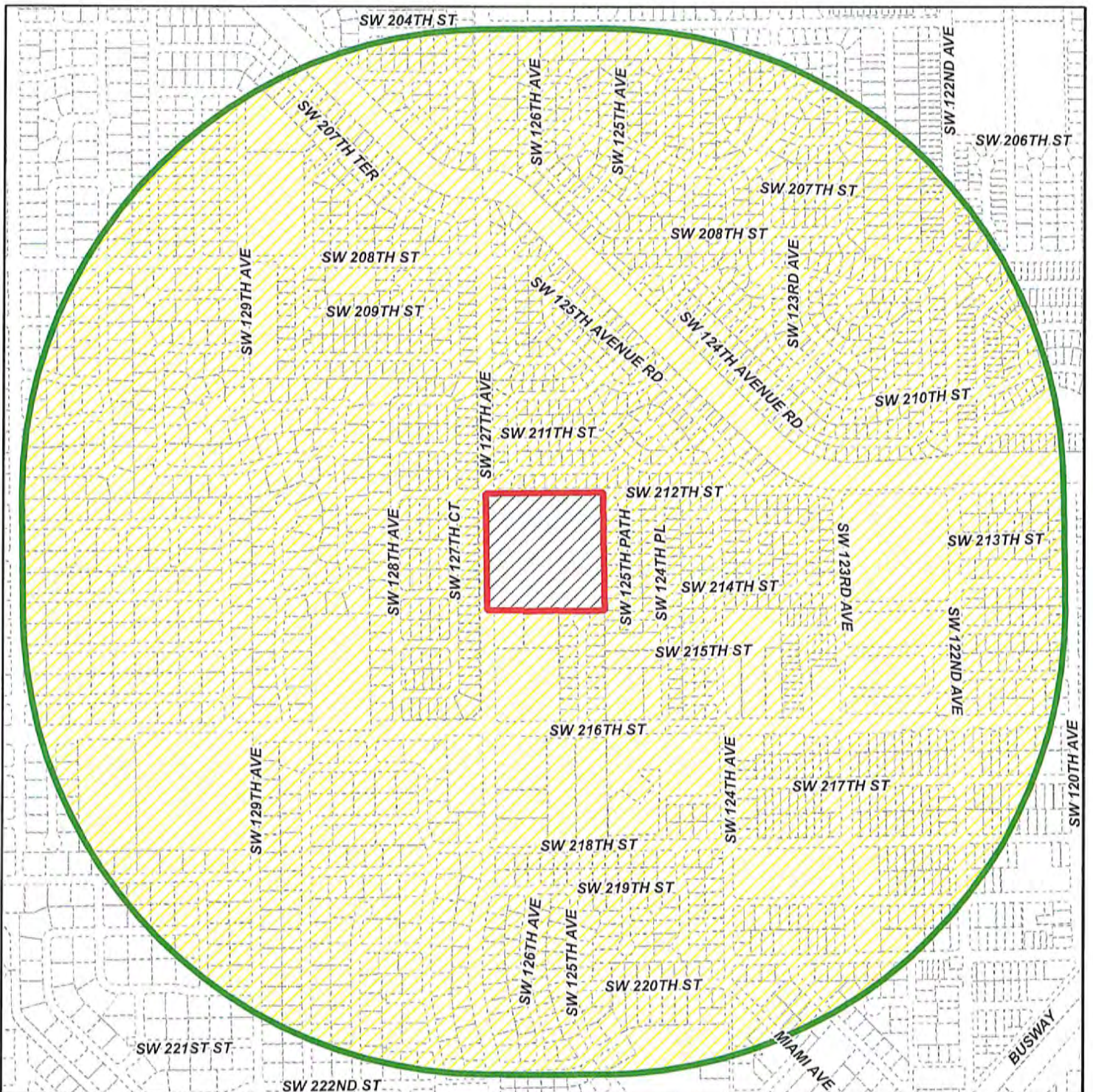


Section: 12 Township: 56 Range: 39
 Applicant: The Estate of Orlando Villacis
 Zoning Board: C14
 Commission District: 9
 Drafter ID: EDUARDO CESPEDES
 Scale: NTS



SKETCH CREATED ON: Friday, April 25, 2025

REVISION	DATE	BY






MIAMI-DADE COUNTY
RADIUS MAP

Process Number
Z2025000073
 RADIUS: 2640

Section: 12 Township: 56 Range: 39
 Applicant: The Estate of Orlando Villacis
 Zoning Board: C14
 Commission District: 9
 Drafter ID: EDUARDO CESPEDES
 Scale: NTS

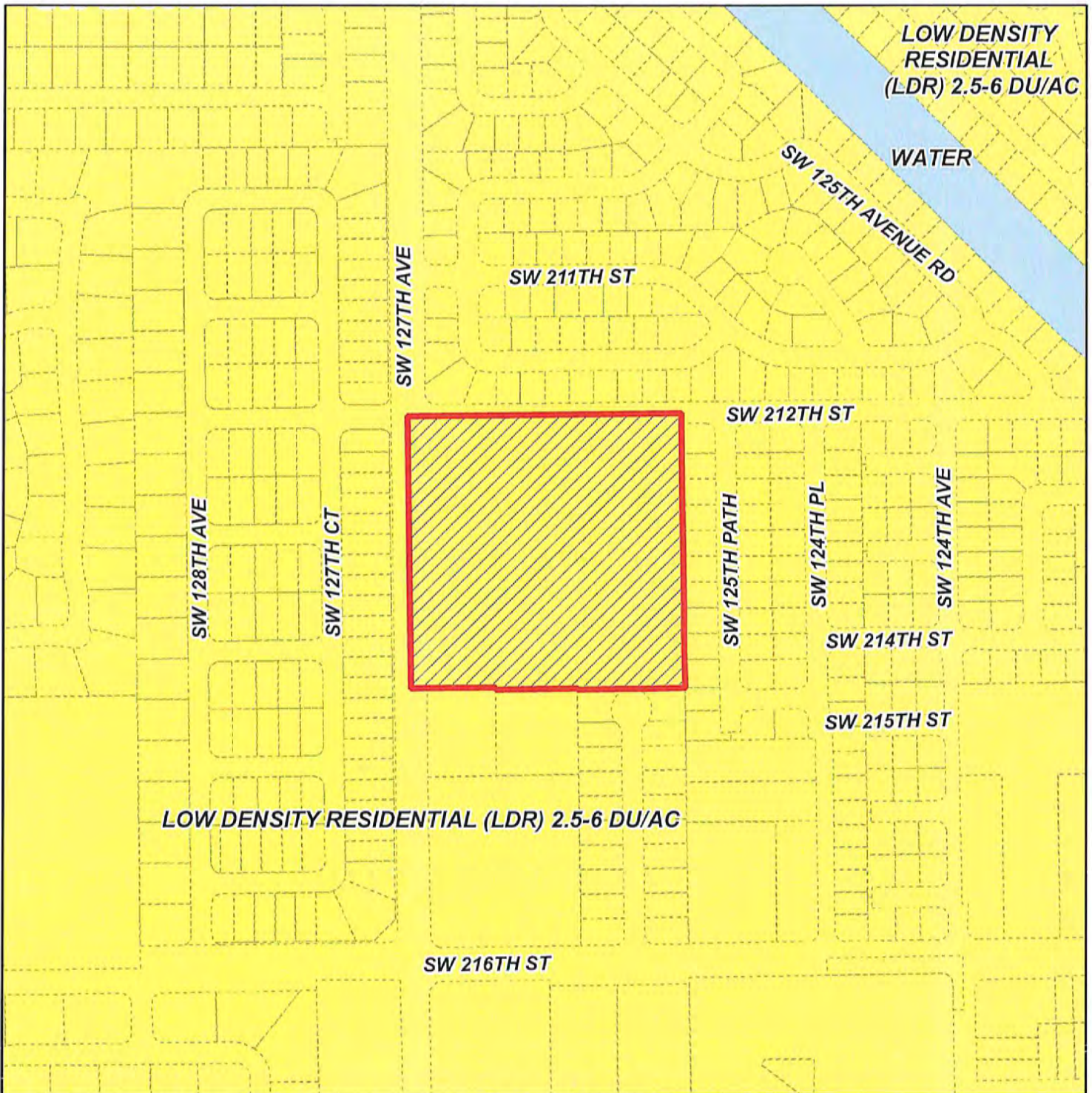
Legend

-  Subject Property
-  Buffer
-  Property Boundaries



SKETCH CREATED ON: Friday, April 25, 2025

REVISION	DATE	BY




MIAMI-DADE COUNTY
CDMP MAP

Process Number
Z2025000073



Section: 12 Township: 56 Range: 39
 Applicant: The Estate of Orlando Villacis
 Zoning Board: C14
 Commission District: 9
 Drafter ID: EDUARDO CESPEDES
 Scale: NTS

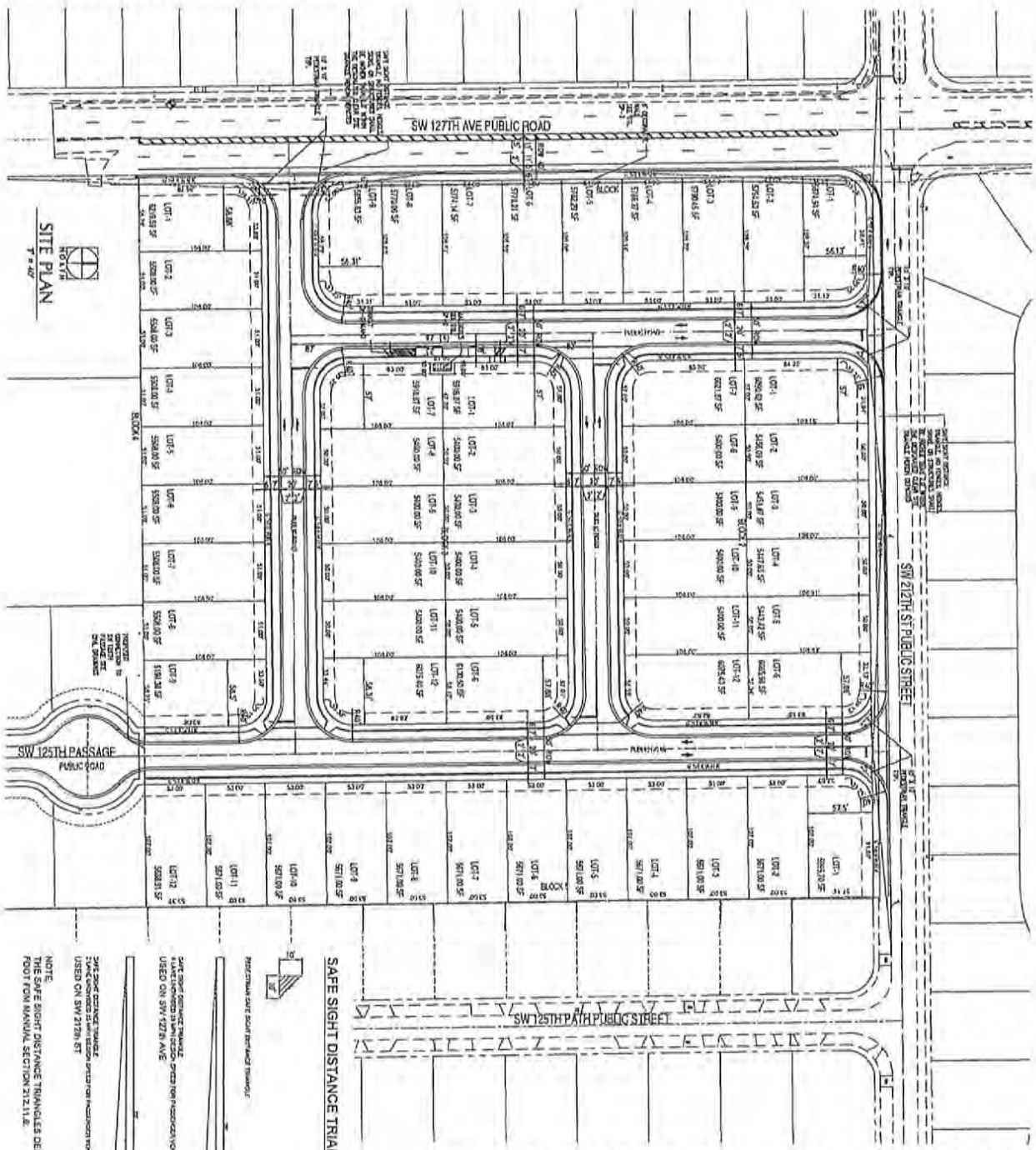
Legend

 Subject Property Case

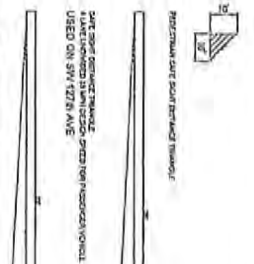


SKETCH CREATED ON: Friday, April 25, 2025

REVISION	DATE	BY



SAFE SIGHT DISTANCE TRIANGLE DIAGRAMS



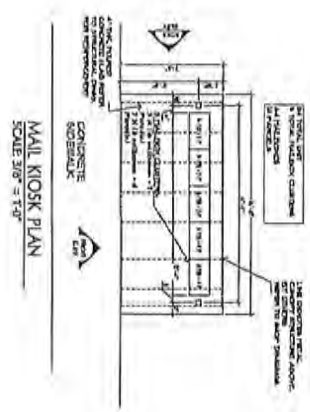
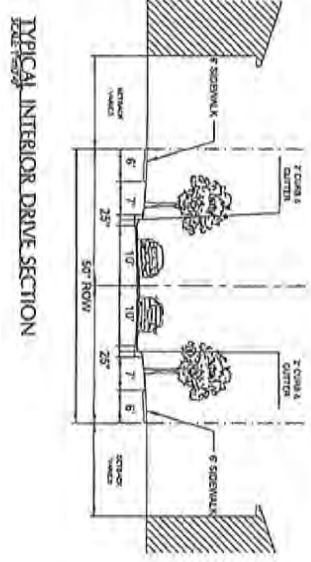
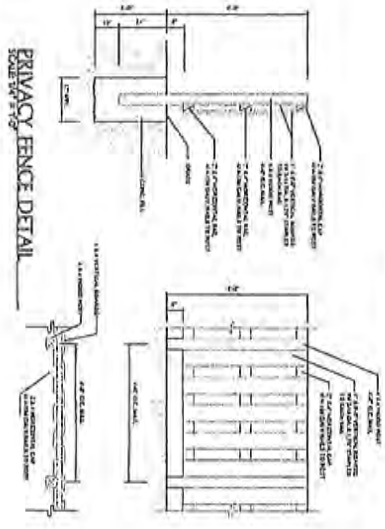
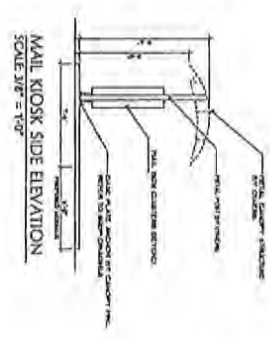
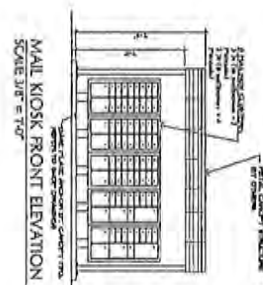
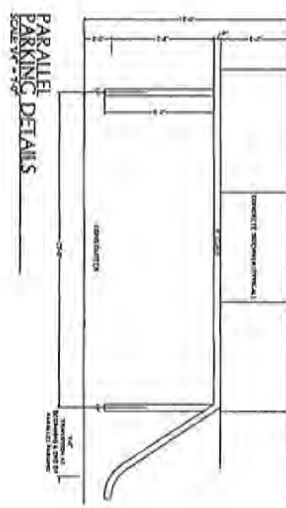
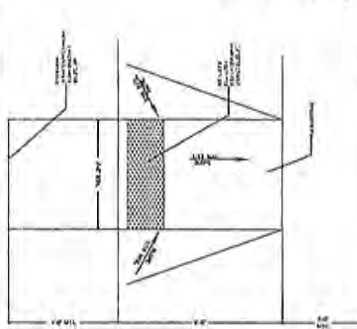
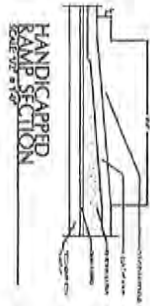
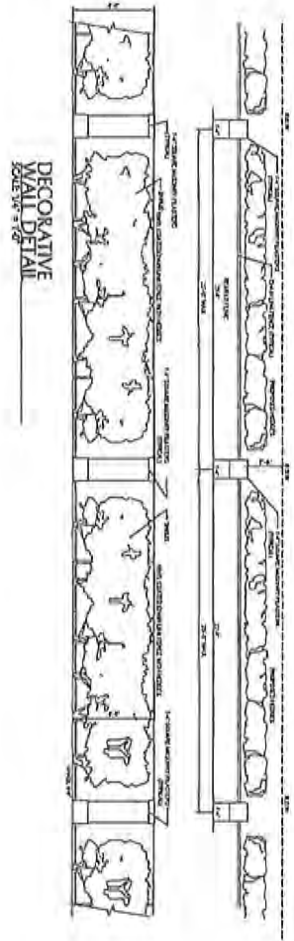
SITE DATA	
GROSS AREA (SURVEY)	446,886.00 ACRES
ROW DEDICATIONS	42,597.15 ACRES
NET AREA	404,288.87 ACRES
DENSITY	5 DUA
LOW DENSITY MAX. 6 DUA	5
TOTAL DENSITY PROVIDED (97.5911)	54 5.02
AREA CALCULATIONS	
SRI LOT AREA	306,576.47
PEDESTRIAN SIDEWALKS	18,188.16
VEHICULAR PAVED AREAS	50,330.09
MALL BOXES	121.60
DRIVEWAY'S ENTRY	7,776
UNENCUMBERED GREEN OPEN AREA	21,295.55
TOTAL	404,288.87
ZONING	REQUIRED: R3-M(10) PROVIDED: 97
LOT FRONTAGE	97 (MIN)
LOT DEPTH	NA
MIN. LOT AREA	5,000 SF
MAX. LOT COVERAGE	45%
MAX. HEIGHT	35'
FRONT SETBACK	15' FOR 50% OR WIDTH HOUSE AND 25' FOR BALANCE
FRONT GARAGE SETBACK	20'
INTERIOR SIDE SETBACK	15' FOR 50% OR WIDTH HOUSE AND 25' FOR BALANCE
SIDE STREET SETBACK	10'

VILLACIS
BY: LENNAR HOMES
MIAMI-DADE COUNTY, FLORIDA

PASCUAL PEREZ KILDOJAN STARR ARCHITECTS - PLANNERS

DATE: 2025-07-21
DRAWN: A.S.P.
CHECKED: J.S.
SCALE: 1/8" = 10'

SP-1

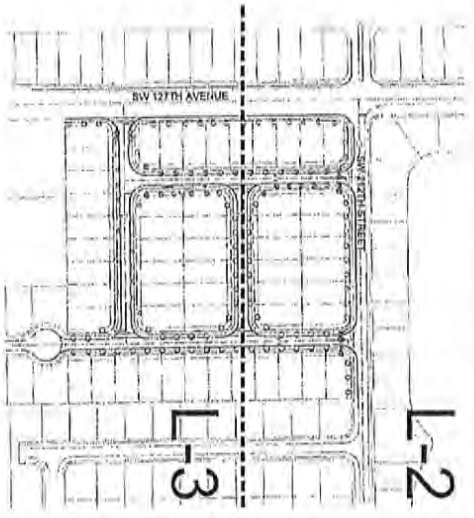


PASCUAL PEREZ RILIGUIAN STARR ARCHITECTS + PLANNERS

VILLACIS
BY: LENNAR HOMES
MIAMI-DADE COUNTY, FLORIDA

DATE: 2024-08-01
DRAWN BY: MASHUM
CHECKED BY: JAC
SCALE: 3/8" = 1'-0"

SP-2



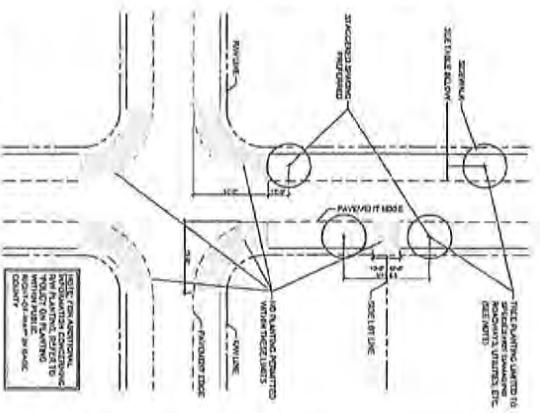
KEY PLAN
Scale: 1/8" = 1'-0"
NORTH

SHEET INDEX:

L-1	INDEX
L-2	OVERALL LANDSCAPE PLAN
L-3	OVERALL LANDSCAPE PLAN
TYPICAL LANDSCAPE PLANS	
L-4	MODEL N001 AURA
L-4-1	MODEL N001 AURA
L-5	MODEL N002 BLOOM
L-5-1	MODEL N002 BLOOM
L-6	MODEL N003 CELESTE
L-6-1	MODEL N003 CELESTE
L-7	MODEL N005 ECLIPSE
L-7-1	MODEL N005 ECLIPSE
L-8	MODEL N006 HONOR
L-8-1	MODEL N006 HONOR
L-9	MODEL N007 NOVA
L-9-1	MODEL N007 NOVA
L-10	LANDSCAPE DETAILS

LANDSCAPE NOTES:

- NO TREES SHALL BE PLANTED ON TOP OR ADJACENT TO PAVED DRIVEWAYS OR PATHS.
- ALL LANDSCAPE INSIDE THE PROPERTY ADJACENT TO DRIVEWAYS SHALL COMPLY WITH THE 10' X 4' SAFE DRIVEWAY DIMENSIONS PER SEC. 22-111 OF MIAMI-DADE COUNTY CODE.
- SEE THESE R.O.W. PLANTING SETBACK DETAILS FOR TREES WITHIN R.O.W.
- LANDSCAPE FOR ALL CORNER LOTS SHALL SHOW COMPLIANCE WITH PWD STANDARD 05.1
- DRIVEWAYS AND APPROACHES MUST ADHERE TO MDC DETAILS. MUST BE FINISHED ON MIN. 4" OF GRADE. AND SHALL NOT BE WIDER THAN 20'-0"
- ALL TREE DIMENSIONS ARE MEASURED FROM THE FACE OF TREE TRUNK.



Public R.O.W. Planting Setback
SCALE: 1" = 4'-0"

SETBACK	DRIVEWAY WIDTH
5'	5'
10'	10'
15'	15'

LANDSCAPE LEGEND Submission Required to be Permanently Added to Plan
Natl. Database 525 4875 4920 E. FL

LAND USE CALCULATION	REQUIRED	PROPOSED
A. 50% (50%)	100%	100%
B. 100% (100%)	100%	100%
C. 2x (200%)	200%	200%
D. 3x (300%)	300%	300%
E. 4x (400%)	400%	400%
F. 5x (500%)	500%	500%
G. 6x (600%)	600%	600%
H. 7x (700%)	700%	700%
I. 8x (800%)	800%	800%
J. 9x (900%)	900%	900%
K. 10x (1000%)	1000%	1000%

TREES

A. No. Trees Required per Acre Based on...

B. A. Palm (Palm) No. Trees Required: 200 x

C. A. Native Broadleaf No. Trees Required: 200 x

D. Street Trees (Minimum canopy spacing of 20' x 12' x 12')

E. Street Trees (Minimum canopy spacing of 20' x 12' x 12')

F. 100' (100')

G. 100' (100')

H. 100' (100')

I. 100' (100')

J. 100' (100')

K. 100' (100')

L. 100' (100')

M. 100' (100')

N. 100' (100')

O. 100' (100')

P. 100' (100')

Q. 100' (100')

R. 100' (100')

S. 100' (100')

T. 100' (100')

U. 100' (100')

V. 100' (100')

W. 100' (100')

X. 100' (100')

Y. 100' (100')

Z. 100' (100')

PLANT SCHEDULE 54 SFH

SYMBOL	COMMON NAME	SCIENTIFIC NAME	HEIGHT	SPREAD	PLANTING RATE
01	Common Name	Scientific Name	12' H x 12' W	12' H x 12' W	1/100
02	Common Name	Scientific Name	12' H x 12' W	12' H x 12' W	1/100
03	Common Name	Scientific Name	12' H x 12' W	12' H x 12' W	1/100
04	Common Name	Scientific Name	12' H x 12' W	12' H x 12' W	1/100
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PLANT SCHEDULE OVERALL SITE PLAN

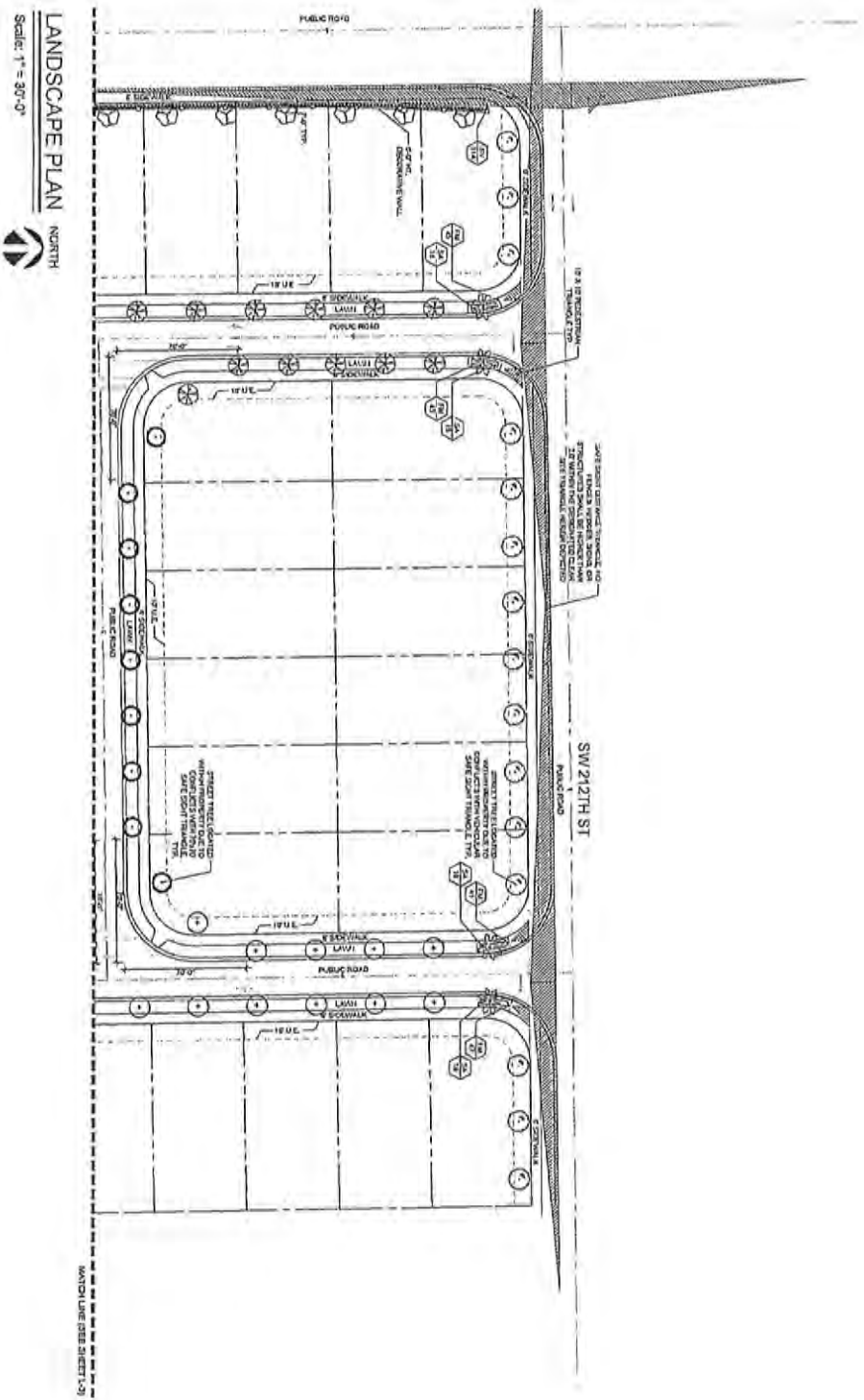
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VILLACIS
MIAMI DADE COUNTY
INDEX

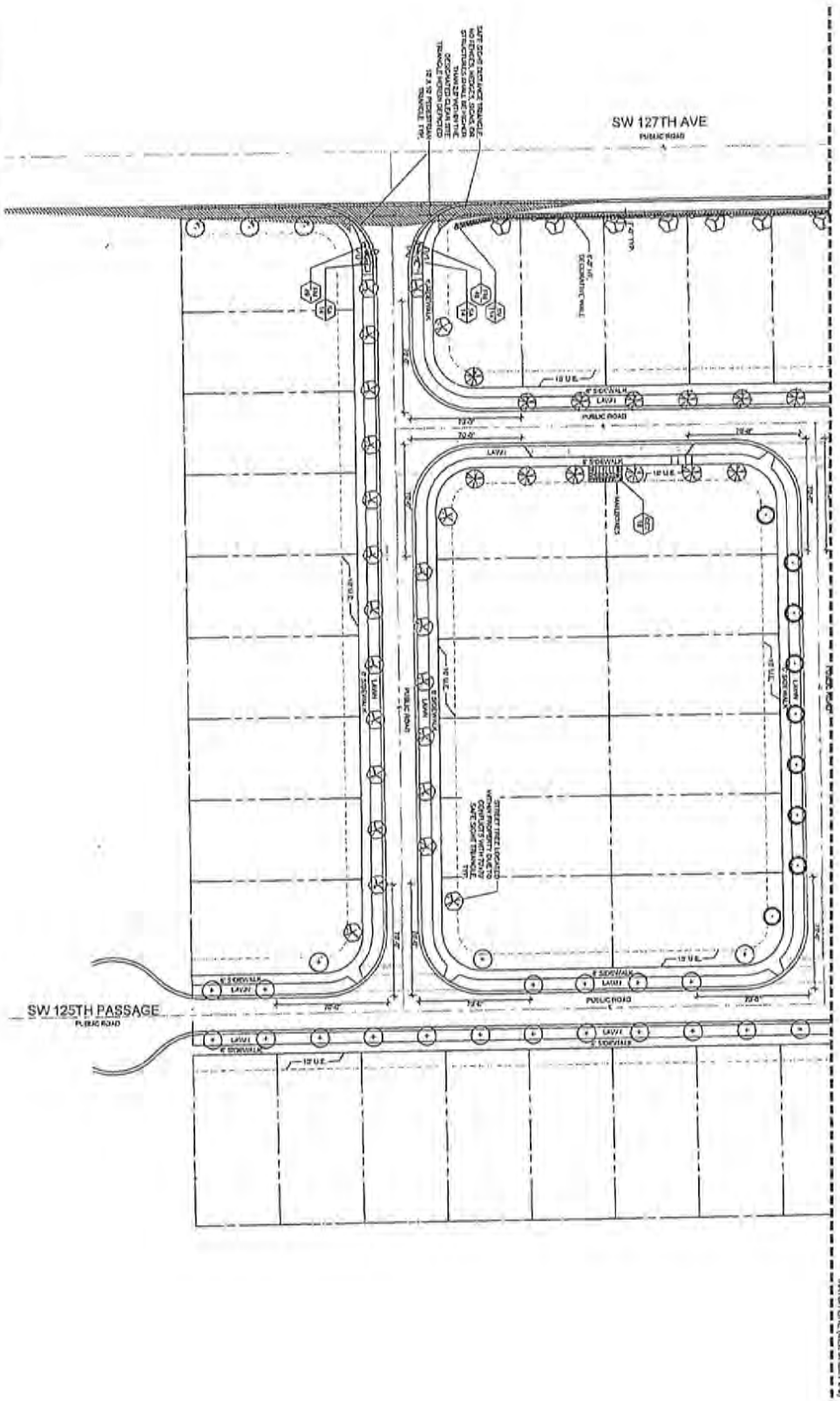
WITKIN HULTS + PARTNERS
ARCHITECTS

DATE: 8/7/2025



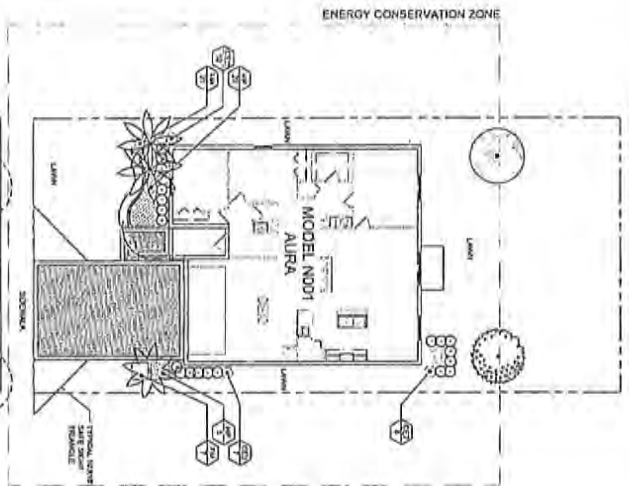
LANDSCAPE PLAN NORTH
 Scale: 1" = 30'-0"

	<p>VILLACIS MIAMI DADE COUNTY LANDSCAPE PLAN</p>	<table border="1"> <thead> <tr> <th>Symbol</th> <th>Quantity</th> <th>Notes</th> </tr> </thead> <tbody> <tr> <td>(Tree symbol)</td> <td>10</td> <td>10' 1/2" DBH</td> </tr> <tr> <td>(Tree symbol)</td> <td>10</td> <td>10' 1/2" DBH</td> </tr> <tr> <td>(Tree symbol)</td> <td>10</td> <td>10' 1/2" DBH</td> </tr> <tr> <td>(Tree symbol)</td> <td>10</td> <td>10' 1/2" DBH</td> </tr> <tr> <td>(Tree symbol)</td> <td>10</td> <td>10' 1/2" DBH</td> </tr> <tr> <td>(Tree symbol)</td> <td>10</td> <td>10' 1/2" DBH</td> </tr> <tr> <td>(Tree symbol)</td> <td>10</td> <td>10' 1/2" DBH</td> </tr> <tr> <td>(Tree symbol)</td> <td>10</td> <td>10' 1/2" DBH</td> </tr> <tr> <td>(Tree symbol)</td> <td>10</td> <td>10' 1/2" DBH</td> </tr> <tr> <td>(Tree symbol)</td> <td>10</td> <td>10' 1/2" DBH</td> </tr> </tbody> </table>	Symbol	Quantity	Notes	(Tree symbol)	10	10' 1/2" DBH	(Tree symbol)	10	10' 1/2" DBH	(Tree symbol)	10	10' 1/2" DBH	(Tree symbol)	10	10' 1/2" DBH	(Tree symbol)	10	10' 1/2" DBH	(Tree symbol)	10	10' 1/2" DBH	(Tree symbol)	10	10' 1/2" DBH	(Tree symbol)	10	10' 1/2" DBH	(Tree symbol)	10	10' 1/2" DBH	(Tree symbol)	10	10' 1/2" DBH	<p>DATE: 08/07/25 DRAWN BY: [Name] CHECKED BY: [Name] PROJECT NO.: [Number]</p>	<p>L-2</p>
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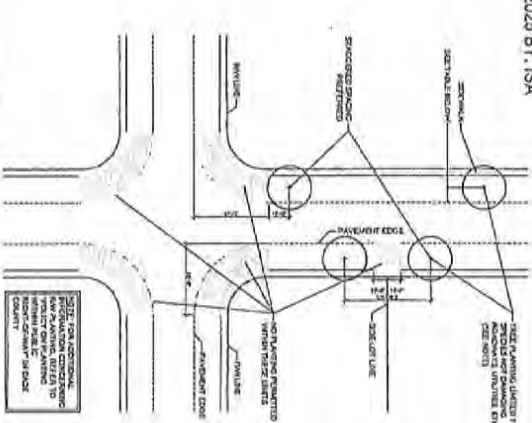
LANDSCAPE PLAN
NORTH
SCALE: 1" = 30'-0"

<p>DATE: 08/07/2025</p> <p>L-3</p>	<p>DATE: 08/07/2025</p> <p>PROJECT: VILLACIS</p> <p>CLIENT: MIAMI-DADE COUNTY</p> <p>DESIGNER: WITKIN HULTS + PARTNERS</p>	<p>Project</p> <p>VILLACIS</p> <p>MIAMI DADE COUNTY</p> <p>LANDSCAPE PLAN</p>	<p>WITKIN HULTS + PARTNERS</p> <p>111 SOUTH 78th AVENUE, SUITE 100, MIAMI, FL 33156</p> <p>PHONE: 305.442.1111</p> <p>WWW.WITKINHULTSPARTNERS.COM</p>
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MODEL N001 AURA INTERIOR
Scale: 1"=10'-0"

PLANT SCHEDULE N001 AURA INTERIOR LOT	SYMBOL	NAME	HEIGHT	LOCATION
1	(Symbol)	Common name	1' Ht. x 1'3" Dia.	Y
2	(Symbol)	Common name	1' Ht. x 1'3" Dia.	Y
3	(Symbol)	Common name	1' Ht. x 1'3" Dia.	Y
4	(Symbol)	Common name	1' Ht. x 1'3" Dia.	Y
5	(Symbol)	Common name	1' Ht. x 1'3" Dia.	Y
6	(Symbol)	Common name	1' Ht. x 1'3" Dia.	Y
7	(Symbol)	Common name	1' Ht. x 1'3" Dia.	Y
8	(Symbol)	Common name	1' Ht. x 1'3" Dia.	Y
9	(Symbol)	Common name	1' Ht. x 1'3" Dia.	Y
10	(Symbol)	Common name	1' Ht. x 1'3" Dia.	Y

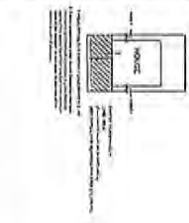


Public R.O.W. Planting Setback
Scale: 1"=42'

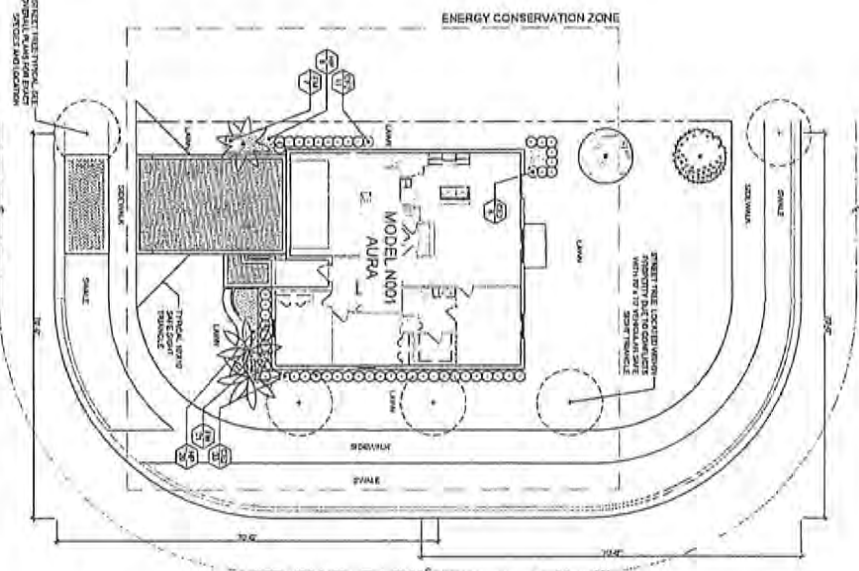
PLANT	HEIGHT	LOCATION
1	1' Ht.	Y
2	1' Ht.	Y
3	1' Ht.	Y
4	1' Ht.	Y
5	1' Ht.	Y
6	1' Ht.	Y
7	1' Ht.	Y
8	1' Ht.	Y
9	1' Ht.	Y
10	1' Ht.	Y

LANDSCAPE NOTES:

- ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE MIAMI-DADE COUNTY LANDSCAPE CODE.
- ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE MIAMI-DADE COUNTY LANDSCAPE CODE.
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- ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE MIAMI-DADE COUNTY LANDSCAPE CODE.



MODEL N001 AURA CORNER
Scale: 1"=10'-0"



PLANT SCHEDULE N001 AURA CORNER LOT	SYMBOL	NAME	HEIGHT	LOCATION
1	(Symbol)	Common name	1' Ht. x 1'3" Dia.	Y
2	(Symbol)	Common name	1' Ht. x 1'3" Dia.	Y
3	(Symbol)	Common name	1' Ht. x 1'3" Dia.	Y
4	(Symbol)	Common name	1' Ht. x 1'3" Dia.	Y
5	(Symbol)	Common name	1' Ht. x 1'3" Dia.	Y
6	(Symbol)	Common name	1' Ht. x 1'3" Dia.	Y
7	(Symbol)	Common name	1' Ht. x 1'3" Dia.	Y
8	(Symbol)	Common name	1' Ht. x 1'3" Dia.	Y
9	(Symbol)	Common name	1' Ht. x 1'3" Dia.	Y
10	(Symbol)	Common name	1' Ht. x 1'3" Dia.	Y

PLANT SCHEDULE N001 AURA CORNER LOT LANDSCAPE LEGEND	SYMBOL	NAME	HEIGHT	LOCATION
1	(Symbol)	Common name	1' Ht. x 1'3" Dia.	Y
2	(Symbol)	Common name	1' Ht. x 1'3" Dia.	Y
3	(Symbol)	Common name	1' Ht. x 1'3" Dia.	Y
4	(Symbol)	Common name	1' Ht. x 1'3" Dia.	Y
5	(Symbol)	Common name	1' Ht. x 1'3" Dia.	Y
6	(Symbol)	Common name	1' Ht. x 1'3" Dia.	Y
7	(Symbol)	Common name	1' Ht. x 1'3" Dia.	Y
8	(Symbol)	Common name	1' Ht. x 1'3" Dia.	Y
9	(Symbol)	Common name	1' Ht. x 1'3" Dia.	Y
10	(Symbol)	Common name	1' Ht. x 1'3" Dia.	Y

DATE: 08/07/2025

L-4

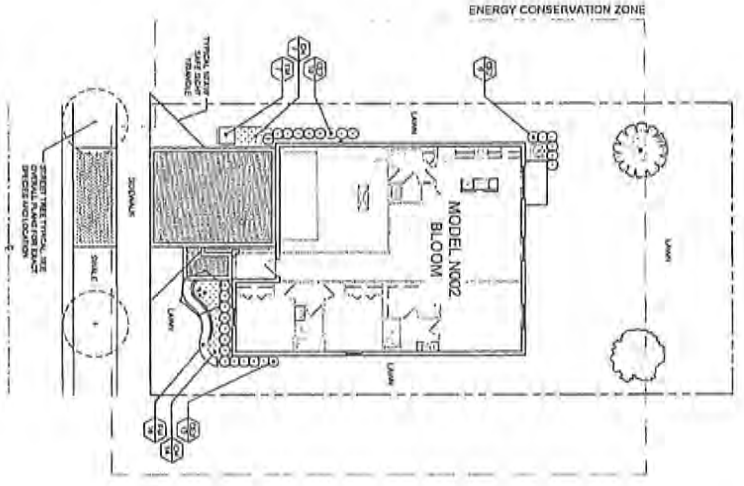
DATE: 08/07/2025

VILLACIS
MIAMI DADE COUNTY, FLORIDA
TYPICAL SINGLE FAMILY HOME MODEL N001 AURA
LANDSCAPE PLAN

W H
WITKIN HULTS + PARTNERS
317 SOUTH 11TH AVENUE, SUITE 200
MIAMI, FLORIDA 33130
305.371.1111
www.witkinhults.com

DATE: 08/07/2025

DATE: 08/07/2025

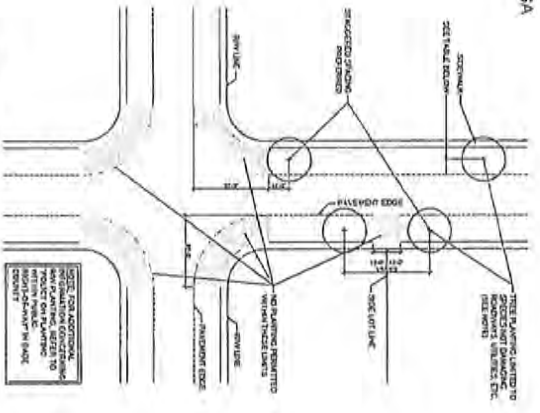


MODEL N002 BLOOM INTERIOR

Scale: 1"=10'-0"

PLANT SCHEDULE N002 BLOOM INTERIOR LOT

SYMBOL	ZONE	PLANT	HEIGHT / SPREAD	MIN. DIST.	MIN. WIND PROTECT.
1	1	Clayton rose	4' Ht. 4.5' Sp.	1'	1'
2	2	Shrubland rose	4' Ht. 4.5' Sp.	1'	1'
3	3	Hydrangea	4' Ht. 4.5' Sp.	1'	1'
4	4	Hydrangea	4' Ht. 4.5' Sp.	1'	1'
5	5	Concordia rose	4' Ht. 4.5' Sp.	1'	1'
6	6	Concordia rose	4' Ht. 4.5' Sp.	1'	1'



Public R.O.W. Planting Setback

NO TREES SHALL BE PLANTED ON THE ADJACENT TO PROPOSED FRONT DRIVE OR DRIVE ALLEY.

ALL LANDSCAPE SHALL BE INSTALLED TO COMPLY WITH THE CITY OF MIAMI-DADE COUNTY CODE.

SETBACKS SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.

LANDSCAPE FOR ALL CORNER LOTS SHALL BE INSTALLED TO COMPLY WITH THE CITY OF MIAMI-DADE COUNTY CODE.

STREET LIGHTS SHALL BE INSTALLED ON THE SIDE OF THE STREET ADJACENT TO THE DRIVE AND DRIVE ALLEY.

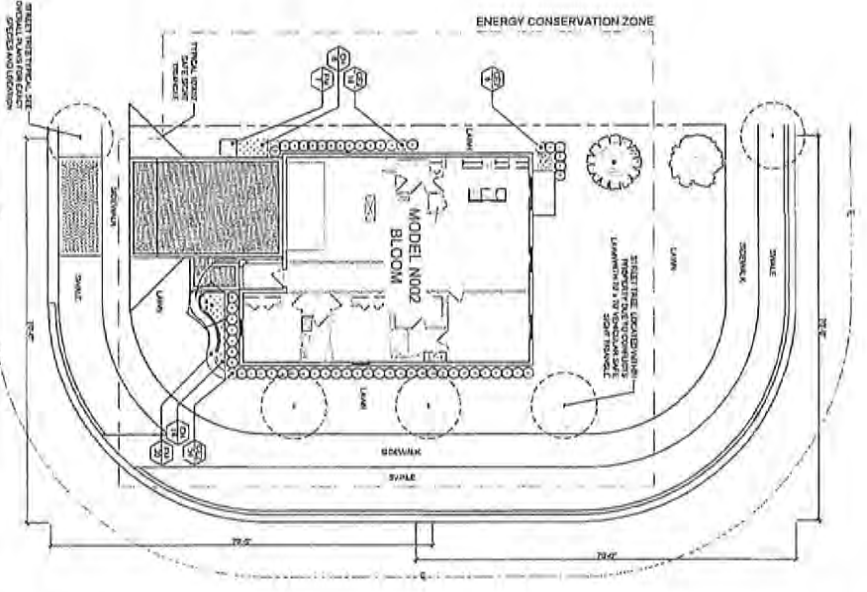
ALL TREE CANOPIES SHALL BE MAINTAINED FROM THE FACE OF THE STREET.

SYMBOL	ZONE	PLANT	HEIGHT / SPREAD	MIN. DIST.	MIN. WIND PROTECT.
1	1	Clayton rose	4' Ht. 4.5' Sp.	1'	1'
2	2	Shrubland rose	4' Ht. 4.5' Sp.	1'	1'
3	3	Hydrangea	4' Ht. 4.5' Sp.	1'	1'
4	4	Hydrangea	4' Ht. 4.5' Sp.	1'	1'
5	5	Concordia rose	4' Ht. 4.5' Sp.	1'	1'
6	6	Concordia rose	4' Ht. 4.5' Sp.	1'	1'

N002 BLOOM INTERIOR LOT LANDSCAPE LEGEND CHAPTER 33

PLANT SCHEDULE N002 BLOOM CORNER LOT

SYMBOL	ZONE	PLANT	HEIGHT / SPREAD	MIN. DIST.	MIN. WIND PROTECT.
1	1	Clayton rose	4' Ht. 4.5' Sp.	1'	1'
2	2	Shrubland rose	4' Ht. 4.5' Sp.	1'	1'
3	3	Hydrangea	4' Ht. 4.5' Sp.	1'	1'
4	4	Hydrangea	4' Ht. 4.5' Sp.	1'	1'
5	5	Concordia rose	4' Ht. 4.5' Sp.	1'	1'
6	6	Concordia rose	4' Ht. 4.5' Sp.	1'	1'



MODEL N002 BLOOM CORNER

Scale: 1"=10'-0"

PLANT SCHEDULE N002 BLOOM CORNER LOT

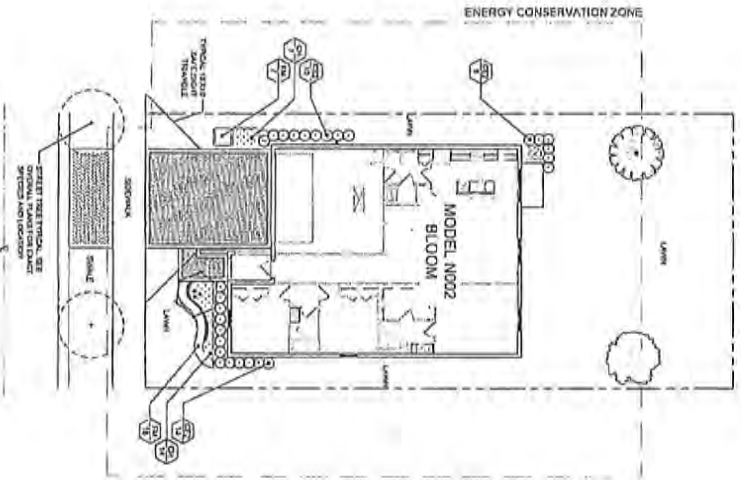
SYMBOL	ZONE	PLANT	HEIGHT / SPREAD	MIN. DIST.	MIN. WIND PROTECT.
1	1	Clayton rose	4' Ht. 4.5' Sp.	1'	1'
2	2	Shrubland rose	4' Ht. 4.5' Sp.	1'	1'
3	3	Hydrangea	4' Ht. 4.5' Sp.	1'	1'
4	4	Hydrangea	4' Ht. 4.5' Sp.	1'	1'
5	5	Concordia rose	4' Ht. 4.5' Sp.	1'	1'
6	6	Concordia rose	4' Ht. 4.5' Sp.	1'	1'

N002 BLOOM CORNER LOT LANDSCAPE LEGEND CHAPTER 33

PLANT SCHEDULE N002 BLOOM CORNER LOT

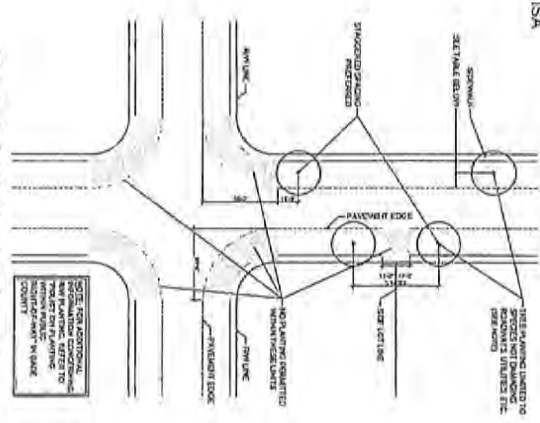
SYMBOL	ZONE	PLANT	HEIGHT / SPREAD	MIN. DIST.	MIN. WIND PROTECT.
1	1	Clayton rose	4' Ht. 4.5' Sp.	1'	1'
2	2	Shrubland rose	4' Ht. 4.5' Sp.	1'	1'
3	3	Hydrangea	4' Ht. 4.5' Sp.	1'	1'
4	4	Hydrangea	4' Ht. 4.5' Sp.	1'	1'
5	5	Concordia rose	4' Ht. 4.5' Sp.	1'	1'
6	6	Concordia rose	4' Ht. 4.5' Sp.	1'	1'

<p>DATE: 03/20/20</p> <p>L-5</p>	<p>NO. 03/20/20</p> <p>NO. 03/20/20</p>	<p>VILLACIS</p> <p>MIAMI DADE COUNTY, FLORIDA</p> <p>TYPICAL SINGLE FAMILY HOME MODEL N002 BLOOM</p> <p>LANDSCAPE PLAN</p>	<p>W H</p> <p>WITKIN HULTS + PARTNERS</p> <p>1000 N.W. 15th Ave., Suite 1000</p> <p>Miami, FL 33136</p> <p>305.371.1111</p>
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MODEL N002 BLOOM INTERIOR
Scale: 1"=10'-0"

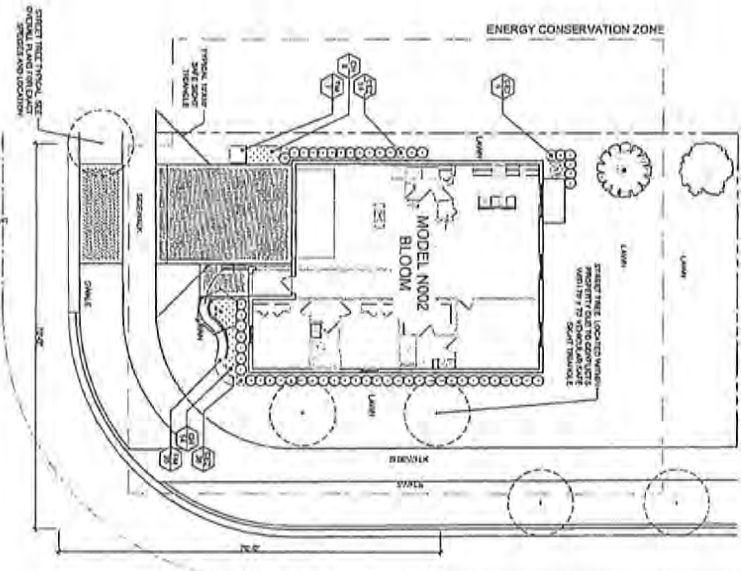
PLANT SCHEDULE	NO02 BLOOM INTERIOR LOT	LANDSCAPE LEGEND
NO02	DR	DRIVEWAY
NO02	GR	GRASS
NO02	PC	PAVEMENT
NO02	SH	SHRUBS
NO02	TR	TREES
NO02	LA	LAWN



Public R.O.W. Planting Setback
Scale: 1"=4'-0"

LANDSCAPE LEGEND

- NO TREES SHALL BE PLANTED ON TOP OF AN ADJACENT TO PROPERTY OR ON A STREET.
- ALL PLANTING SHALL BE PLANTED IN ACCORDANCE TO THE PLANTING SCHEDULE AND THE PLANTING SCHEDULE.
- THE PLANTING SCHEDULE SHALL BE IN ACCORDANCE WITH THE PLANTING SCHEDULE AND THE PLANTING SCHEDULE.
- LANDSCAPE SHALL BE PLANTED IN ACCORDANCE WITH THE PLANTING SCHEDULE AND THE PLANTING SCHEDULE.
- ALL TREE TRUNKS SHALL BE LOCATED WITHIN THE PUBLIC ROW SETBACK.



MODEL N002 BLOOM CORNER
Scale: 1"=10'-0"

PLANT SCHEDULE	NO02 BLOOM CORNER LOT	LANDSCAPE LEGEND
NO02	DR	DRIVEWAY
NO02	GR	GRASS
NO02	PC	PAVEMENT
NO02	SH	SHRUBS
NO02	TR	TREES
NO02	LA	LAWN

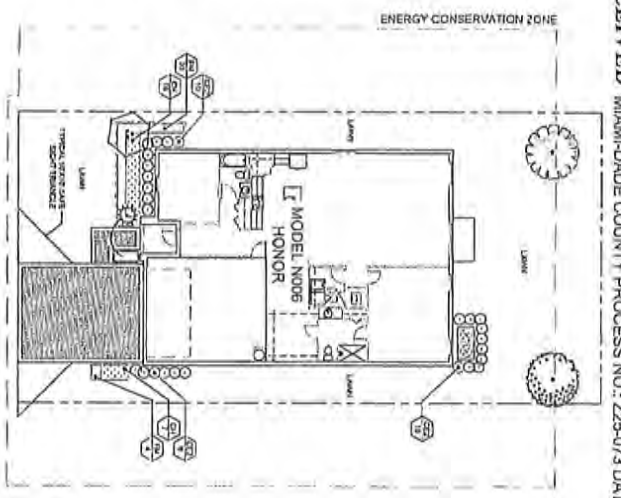
NO02 BLOOM INTERIOR LOT LANDSCAPE LEGEND
CHAPTER 33

ZONE DISTRICT	REQUIREMENT	MIN.	MAX.
RESIDENTIAL SINGLE-FAMILY (RSF) <td>Minimum 10% of lot area shall be planted with trees.</td> <td>10%</td> <td>15%</td>	Minimum 10% of lot area shall be planted with trees.	10%	15%
RESIDENTIAL SINGLE-FAMILY (RSF) <td>Minimum 10% of lot area shall be planted with shrubs.</td> <td>10%</td> <td>15%</td>	Minimum 10% of lot area shall be planted with shrubs.	10%	15%
RESIDENTIAL SINGLE-FAMILY (RSF) <td>Minimum 10% of lot area shall be planted with lawn.</td> <td>10%</td> <td>15%</td>	Minimum 10% of lot area shall be planted with lawn.	10%	15%
RESIDENTIAL SINGLE-FAMILY (RSF) <td>Minimum 10% of lot area shall be planted with trees, shrubs, and lawn.</td> <td>10%</td> <td>15%</td>	Minimum 10% of lot area shall be planted with trees, shrubs, and lawn.	10%	15%

VILLACIS
MIAMI DADE COUNTY, FLORIDA
TYPICAL SINGLE FAMILY HOME MODEL N002 BLOOM
LANDSCAPE PLAN

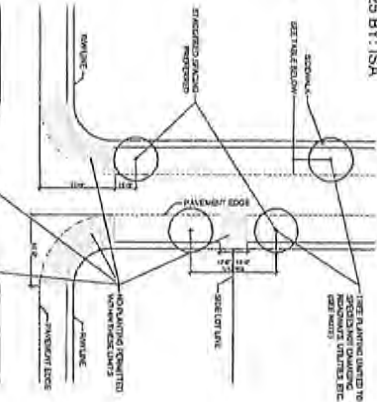
WITKIN HULTS PARTNERS
3075 SW 15th Street, Suite 100, Miami, FL 33135
www.witkinhultspartners.com

DATE: 08/15/2024
L-5.1



MODEL N006 HONOR INTERIOR
Scale: 1"=10'-0"

PLANT	SYMBOL	QTY	LOCATION	COMMON NAME	SIZE	HEIGHT	SPACING
1	[Symbol]	1	Front	Planting	6" x 6" x 12" CUL.	1'	
2	[Symbol]	1	Side	Planting	6" x 6" x 12" CUL.	1'	
3	[Symbol]	1	Back	Planting	6" x 6" x 12" CUL.	1'	
4	[Symbol]	1	Front	Planting	6" x 6" x 12" CUL.	1'	
5	[Symbol]	1	Side	Planting	6" x 6" x 12" CUL.	1'	
6	[Symbol]	1	Back	Planting	6" x 6" x 12" CUL.	1'	
7	[Symbol]	1	Front	Planting	6" x 6" x 12" CUL.	1'	
8	[Symbol]	1	Side	Planting	6" x 6" x 12" CUL.	1'	
9	[Symbol]	1	Back	Planting	6" x 6" x 12" CUL.	1'	



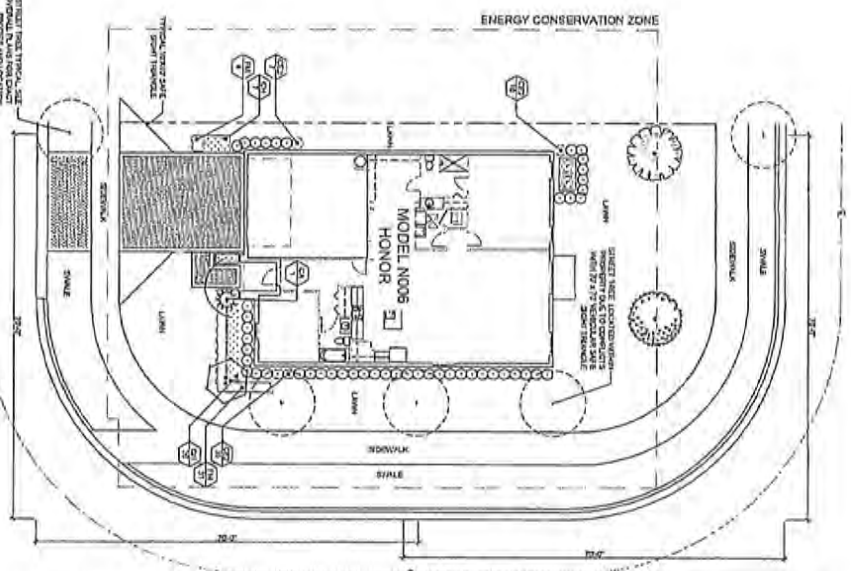
Public R.O.W. Planting Setback
Scale: 1"=4'-0"

PLANT	QTY	LOCATION	COMMON NAME	SIZE	HEIGHT	SPACING
1	1	Front	Planting	6" x 6" x 12" CUL.	1'	
2	1	Side	Planting	6" x 6" x 12" CUL.	1'	
3	1	Back	Planting	6" x 6" x 12" CUL.	1'	

- NO TREES SHALL BE ALLOWED ON TOP OF ADJACENT TO PROPOSED HIGHWAY OVERPASSES.
- ALL LANDSCAPING SHALL BE PERMITTED TO REMAIN IN PLACE FOR A MINIMUM OF 10 YEARS.
- ALL LANDSCAPING SHALL BE PERMITTED TO REMAIN IN PLACE FOR A MINIMUM OF 10 YEARS.
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- ALL LANDSCAPING SHALL BE PERMITTED TO REMAIN IN PLACE FOR A MINIMUM OF 10 YEARS.

N006 HONOR INTERIOR LANDSCAPE LEGEND
CHAPTER 33

PLANT	SYMBOL	QTY	LOCATION	COMMON NAME	SIZE	HEIGHT	SPACING
1	[Symbol]	1	Front	Planting	6" x 6" x 12" CUL.	1'	
2	[Symbol]	1	Side	Planting	6" x 6" x 12" CUL.	1'	
3	[Symbol]	1	Back	Planting	6" x 6" x 12" CUL.	1'	
4	[Symbol]	1	Front	Planting	6" x 6" x 12" CUL.	1'	
5	[Symbol]	1	Side	Planting	6" x 6" x 12" CUL.	1'	
6	[Symbol]	1	Back	Planting	6" x 6" x 12" CUL.	1'	
7	[Symbol]	1	Front	Planting	6" x 6" x 12" CUL.	1'	
8	[Symbol]	1	Side	Planting	6" x 6" x 12" CUL.	1'	
9	[Symbol]	1	Back	Planting	6" x 6" x 12" CUL.	1'	



MODEL N006 HONOR CORNER
Scale: 1"=10'-0"

PLANT	SYMBOL	QTY	LOCATION	COMMON NAME	SIZE	HEIGHT	SPACING
1	[Symbol]	1	Front	Planting	6" x 6" x 12" CUL.	1'	
2	[Symbol]	1	Side	Planting	6" x 6" x 12" CUL.	1'	
3	[Symbol]	1	Back	Planting	6" x 6" x 12" CUL.	1'	
4	[Symbol]	1	Front	Planting	6" x 6" x 12" CUL.	1'	
5	[Symbol]	1	Side	Planting	6" x 6" x 12" CUL.	1'	
6	[Symbol]	1	Back	Planting	6" x 6" x 12" CUL.	1'	
7	[Symbol]	1	Front	Planting	6" x 6" x 12" CUL.	1'	
8	[Symbol]	1	Side	Planting	6" x 6" x 12" CUL.	1'	
9	[Symbol]	1	Back	Planting	6" x 6" x 12" CUL.	1'	

N006 HONOR CORNER LANDSCAPE LEGEND
CHAPTER 33

PLANT	SYMBOL	QTY	LOCATION	COMMON NAME	SIZE	HEIGHT	SPACING
1	[Symbol]	1	Front	Planting	6" x 6" x 12" CUL.	1'	
2	[Symbol]	1	Side	Planting	6" x 6" x 12" CUL.	1'	
3	[Symbol]	1	Back	Planting	6" x 6" x 12" CUL.	1'	
4	[Symbol]	1	Front	Planting	6" x 6" x 12" CUL.	1'	
5	[Symbol]	1	Side	Planting	6" x 6" x 12" CUL.	1'	
6	[Symbol]	1	Back	Planting	6" x 6" x 12" CUL.	1'	
7	[Symbol]	1	Front	Planting	6" x 6" x 12" CUL.	1'	
8	[Symbol]	1	Side	Planting	6" x 6" x 12" CUL.	1'	
9	[Symbol]	1	Back	Planting	6" x 6" x 12" CUL.	1'	

L-8

DATE: 11/11/2025

SCALE: 1"=10'-0"

PROJECT: L-8

VILLACIS

MIAMI DADE COUNTY, FLORIDA

TYPICAL SINGLE FAMILY HOME MODEL 2655

OLMETTO LANDSCAPE PLAN

W H

WITKIN HULTS + PARTNERS

2700 N.W. 37th Avenue, Suite 1000

Miami, Florida 33142

Phone: 305.442.1111

www.witkinhults.com

W H

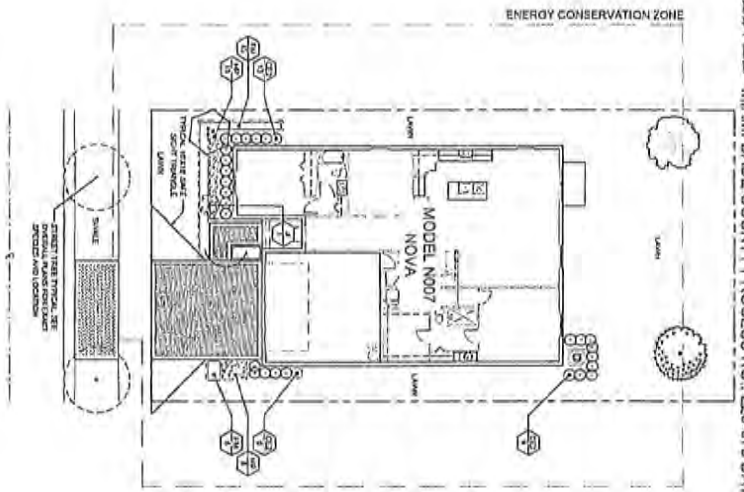
WITKIN HULTS + PARTNERS

2700 N.W. 37th Avenue, Suite 1000

Miami, Florida 33142

Phone: 305.442.1111

www.witkinhults.com



MODEL N007 NOVA INTERIOR
Scale: 1"=10'-0"

PLANT SCHEDULE N007 NOVA INTERIOR LOT	SYMBOL	PLANT	HEIGHT	SPACING
1	○	Chrysanthemum indicum	4' H.C. x 1.5' D.C.	1' x 1'
2	○	Chrysanthemum indicum	8' H.C. x 1.5' D.C.	1' x 1'
3	○	Hydrangea sp.	8' H.C. x 1.5' D.C.	1' x 1'
4	○	Chrysanthemum indicum	4' H.C. x 1.5' D.C.	1' x 1'
5	○	Chrysanthemum indicum	4' H.C. x 1.5' D.C.	1' x 1'
6	○	Chrysanthemum indicum	4' H.C. x 1.5' D.C.	1' x 1'
7	○	Chrysanthemum indicum	4' H.C. x 1.5' D.C.	1' x 1'
8	○	Chrysanthemum indicum	4' H.C. x 1.5' D.C.	1' x 1'
9	○	Chrysanthemum indicum	4' H.C. x 1.5' D.C.	1' x 1'
10	○	Chrysanthemum indicum	4' H.C. x 1.5' D.C.	1' x 1'
11	○	Chrysanthemum indicum	4' H.C. x 1.5' D.C.	1' x 1'
12	○	Chrysanthemum indicum	4' H.C. x 1.5' D.C.	1' x 1'
13	○	Chrysanthemum indicum	4' H.C. x 1.5' D.C.	1' x 1'
14	○	Chrysanthemum indicum	4' H.C. x 1.5' D.C.	1' x 1'
15	○	Chrysanthemum indicum	4' H.C. x 1.5' D.C.	1' x 1'

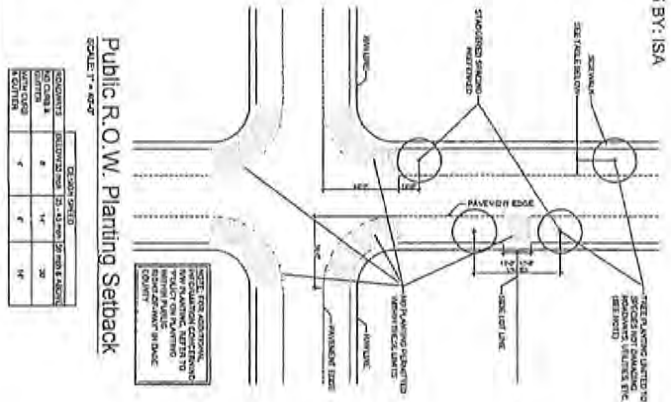
LANDSCAPE NOTES:

- NO TREES SHALL BE PLANTED ON OR ADJACENT TO PROPOSED DRIVEWAY OR DRIVE.
- ALL LANDSCAPE PLANTS TO BE PLANTED SHALL BE SPECIALLY SELECTED FOR THE CLIMATE AND SOIL CONDITIONS OF THE PROJECT.
- SEE PUBLIC & L.A.W. PLANNING DESIGN DETAILS FOR LANDSCAPE PLANTING SPECIFICATIONS.
- LANDSCAPE PLANTS TO BE PLANTED SHALL BE SPECIALLY SELECTED FOR THE CLIMATE AND SOIL CONDITIONS OF THE PROJECT.
- LANDSCAPE PLANTS TO BE PLANTED SHALL BE SPECIALLY SELECTED FOR THE CLIMATE AND SOIL CONDITIONS OF THE PROJECT.

N007 NOVA INTERIOR LANDSCAPE LEGEND
CHAPTER 33

ZONE DISTRICT	MIN. TREE	MIN. SHRUB	MIN. BUSH	MIN. FOLIAGE
RS-1	10'	5'	3'	2'
RS-2	10'	5'	3'	2'
RS-3	10'	5'	3'	2'
RS-4	10'	5'	3'	2'
RS-5	10'	5'	3'	2'
RS-6	10'	5'	3'	2'
RS-7	10'	5'	3'	2'
RS-8	10'	5'	3'	2'
RS-9	10'	5'	3'	2'
RS-10	10'	5'	3'	2'
RS-11	10'	5'	3'	2'
RS-12	10'	5'	3'	2'
RS-13	10'	5'	3'	2'
RS-14	10'	5'	3'	2'
RS-15	10'	5'	3'	2'

Public R.O.W. Planting Setback
Scale: 1"=4'-0"

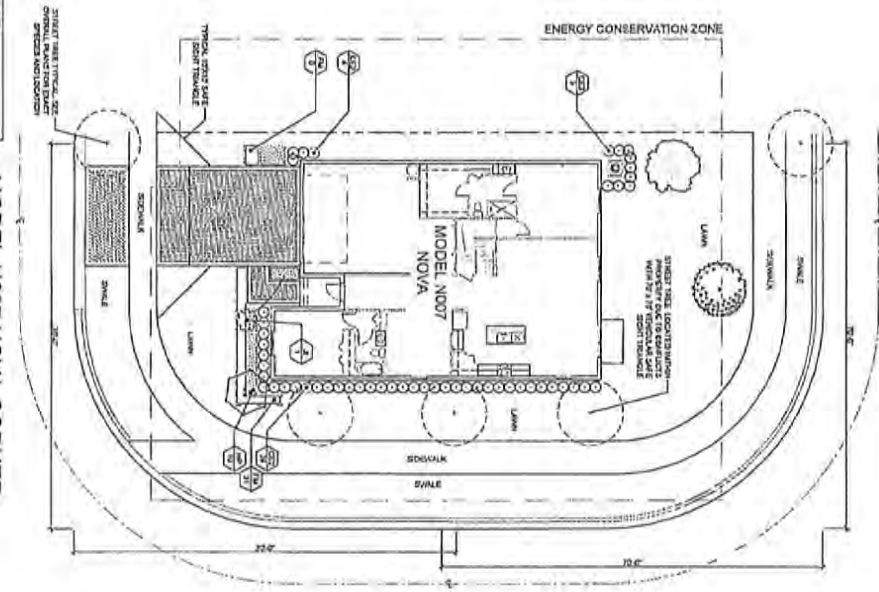


LANDSCAPE NOTES:

- NO TREES SHALL BE PLANTED ON OR ADJACENT TO PROPOSED DRIVEWAY OR DRIVE.
- ALL LANDSCAPE PLANTS TO BE PLANTED SHALL BE SPECIALLY SELECTED FOR THE CLIMATE AND SOIL CONDITIONS OF THE PROJECT.
- SEE PUBLIC & L.A.W. PLANNING DESIGN DETAILS FOR LANDSCAPE PLANTING SPECIFICATIONS.
- LANDSCAPE PLANTS TO BE PLANTED SHALL BE SPECIALLY SELECTED FOR THE CLIMATE AND SOIL CONDITIONS OF THE PROJECT.
- LANDSCAPE PLANTS TO BE PLANTED SHALL BE SPECIALLY SELECTED FOR THE CLIMATE AND SOIL CONDITIONS OF THE PROJECT.

N007 NOVA CORNER LANDSCAPE LEGEND
CHAPTER 33

ZONE DISTRICT	MIN. TREE	MIN. SHRUB	MIN. BUSH	MIN. FOLIAGE
RS-1	10'	5'	3'	2'
RS-2	10'	5'	3'	2'
RS-3	10'	5'	3'	2'
RS-4	10'	5'	3'	2'
RS-5	10'	5'	3'	2'
RS-6	10'	5'	3'	2'
RS-7	10'	5'	3'	2'
RS-8	10'	5'	3'	2'
RS-9	10'	5'	3'	2'
RS-10	10'	5'	3'	2'
RS-11	10'	5'	3'	2'
RS-12	10'	5'	3'	2'
RS-13	10'	5'	3'	2'
RS-14	10'	5'	3'	2'
RS-15	10'	5'	3'	2'



MODEL N007 NOVA CORNER
Scale: 1"=10'-0"

PLANT SCHEDULE N007 NOVA CORNER LOT	SYMBOL	PLANT	HEIGHT	SPACING
1	○	Chrysanthemum indicum	4' H.C. x 1.5' D.C.	1' x 1'
2	○	Chrysanthemum indicum	8' H.C. x 1.5' D.C.	1' x 1'
3	○	Hydrangea sp.	8' H.C. x 1.5' D.C.	1' x 1'
4	○	Chrysanthemum indicum	4' H.C. x 1.5' D.C.	1' x 1'
5	○	Chrysanthemum indicum	4' H.C. x 1.5' D.C.	1' x 1'
6	○	Chrysanthemum indicum	4' H.C. x 1.5' D.C.	1' x 1'
7	○	Chrysanthemum indicum	4' H.C. x 1.5' D.C.	1' x 1'
8	○	Chrysanthemum indicum	4' H.C. x 1.5' D.C.	1' x 1'
9	○	Chrysanthemum indicum	4' H.C. x 1.5' D.C.	1' x 1'
10	○	Chrysanthemum indicum	4' H.C. x 1.5' D.C.	1' x 1'
11	○	Chrysanthemum indicum	4' H.C. x 1.5' D.C.	1' x 1'
12	○	Chrysanthemum indicum	4' H.C. x 1.5' D.C.	1' x 1'
13	○	Chrysanthemum indicum	4' H.C. x 1.5' D.C.	1' x 1'
14	○	Chrysanthemum indicum	4' H.C. x 1.5' D.C.	1' x 1'
15	○	Chrysanthemum indicum	4' H.C. x 1.5' D.C.	1' x 1'

VILLACIS
MIAMI DADE COUNTY, FLORIDA
TYPICAL SINGLE FAMILY HOME MODEL N007 NOVA
LANDSCAPE PLAN

WITKIN HULTS + PARTNERS
1100 N.W. 11th Street, Suite 100
Miami, FL 33136
Tel: 305.375.1100
Fax: 305.375.1101
www.witkinhults.com

L-9

DATE: 08/07/2025
DRAWN BY: [Name]
CHECKED BY: [Name]
SCALE: 1"=10'-0"

PLANTING NOTES:

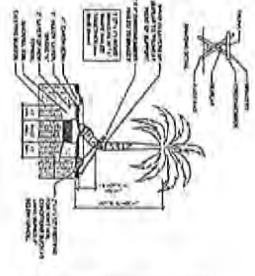
- All plants installed to be Florida Number 1 or better persons for Florida Department of Agriculture's Grades and Standards for Nursery Plants.
- All plants are to be top dressed with a minimum 3" layer of Mulch/wood chips. Landscape mulch to equal planting pit's available porosity. Water part of the job of decomposition.
- All containers are to be empty without the plant container and approved by the Landscape Architect and Owner. Containers shall be removed, disassembled, and disposed of in a timely manner. No plastic, Styrofoam, or other materials shall be used in the container. Containers shall be removed and disposed of in a timely manner.
- All landscape areas are to be protected with temporary siltation systems which provide 100% coverage, and 20% overlap.
- All trees to be planted within planting islands after soil is brought up to grade. (Check) soil test shall not be acceptable.
- Planting soil for exposed root ball shall be 50% mix, composed of top planting soil for ground areas to be completed to the condition previously, 20% fill dirt, and 30% compost.
- Tree root zones shall be implemented with "Agri-Tech P-27", 21 gram acid with a 20% (15-5) analysis, or suitable equivalent approved by Landscape Architect. Deliver in manufacturer's standard condition. Strongly suggest, sample and test of manufacturer.

SOIL NOTES:

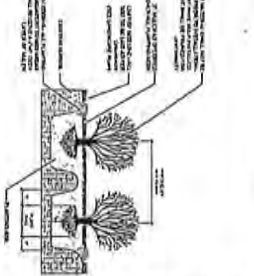
- Soil to be grade "A" weed free.
- All areas except "A" will be soil tested with 2" Auger/1" Turbocore hole soil. See list on plan. All areas marked "B" will be soil tested with 2" Auger/1" Turbocore hole soil.
- Provide a 2" topsoil of planting soil to be installed in planting holes (as shown). Prior to planting, remove field grade of soil to 18" with adjacent pavement or top of curb as adjacent to the area of soil planting.
- After soil on undisturbed soil, with major grading, to be installed over a 4" depth to 18" depth.
- After top of soil to a minimum of 18" away from pavement and 24" away from edge of street.
- Soil shall be moist immediately after installation to uniformly wet the soil to at least 2" below the bottom of the root zone.
- Excavate and remove excess soil to top of soil to 18" with top of curb or adjacent pavement or adjacent existing soil.

GENERAL NOTES:

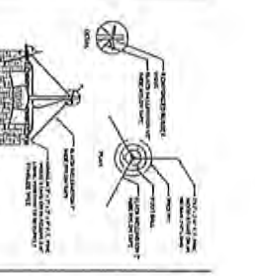
- The Landscape Contractor is to locate and verify all underground and overhead utilities prior to beginning work. Contact power utility companies and/or District Contractor prior to digging and verification. The Contractor shall be responsible for any damage to utility lines or equipment that may occur during the work.
- Landscape Contractor is to verify all current drawings and details for discrepancies and bring to the attention of the Landscape Architect prior to commencing with the work.
- All planting pits are to be installed to the proper depth and location. See notes. (See notes) are to be brought to the attention of the Landscape Architect for correction prior to installation.



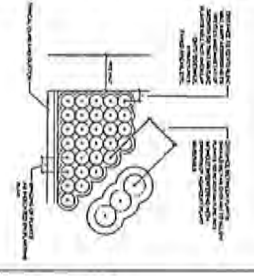
TYPICAL PALM PLANTING DETAIL



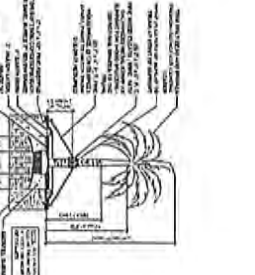
TYPICAL SHRUB PLANTING DETAIL



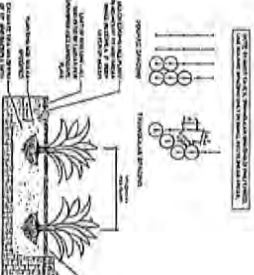
TYPICAL TREE PLANTING DETAIL



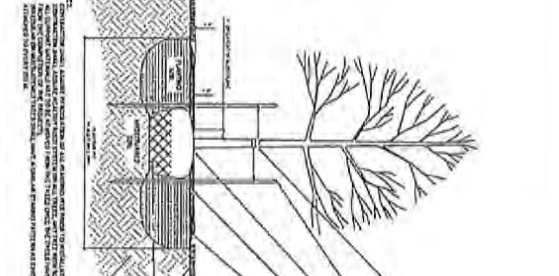
TYPICAL SPRAWLING SHRUB PLANTING DETAIL



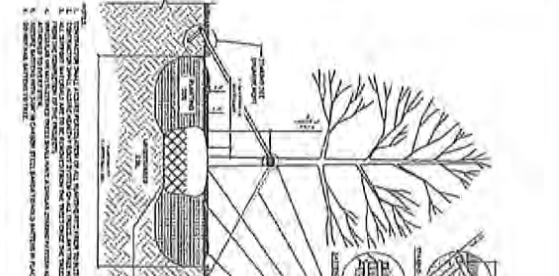
TYPICAL SPRAWLING PALM PLANTING DETAIL



TYPICAL GROUNDCOVER PLANTING DETAIL



TREE PLANTING DETAIL & BOUNDING 3' DIA. LUNDS



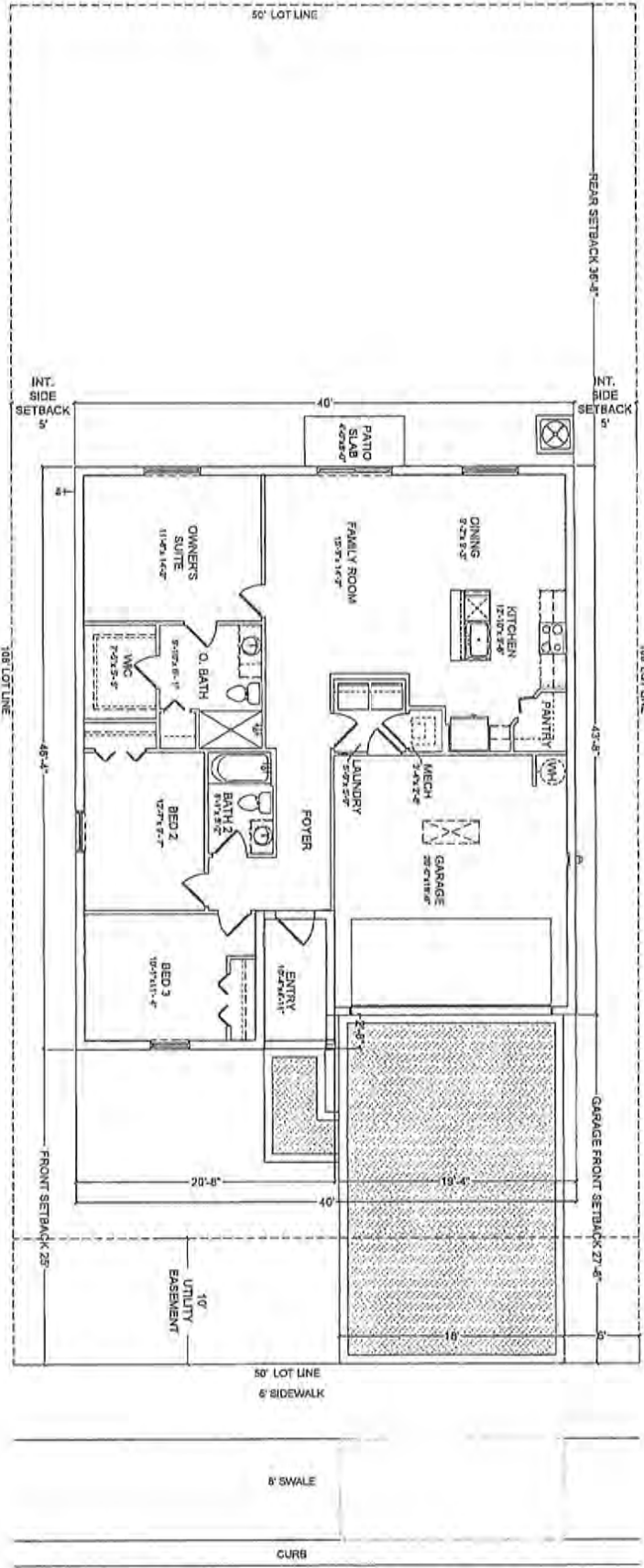
TREE PLANTING DETAIL & BOUNDING 3' DIA. LUNDS

DATE: 08/08/20

L-10

VILLACIS
MIAMI DADE COUNTY
LANDSCAPE DETAILS

WITKIN HULTS
+ PARTNERS



MODEL N001 - AURA
FLOOR PLAN
SCALE: 1/8" = 1'-0"

MODEL N001 - AURA	
ONE STORY / 3 BEDROOM / 2 BATH	
AREA CALCULATION	
20' X 100' INT. LOT AREA	5,400.00 SF
115' FLOOR AC	1,343.27
TOTAL AREA AC	1,343.27
1 CAR GARAGE	405.27
COV. ENTRY	58.57
TOTAL GROSS	1,806.51
LOT COVERAGE	33.44 %

PASCUAL
PEREZ
KILDURN
STARBUCK

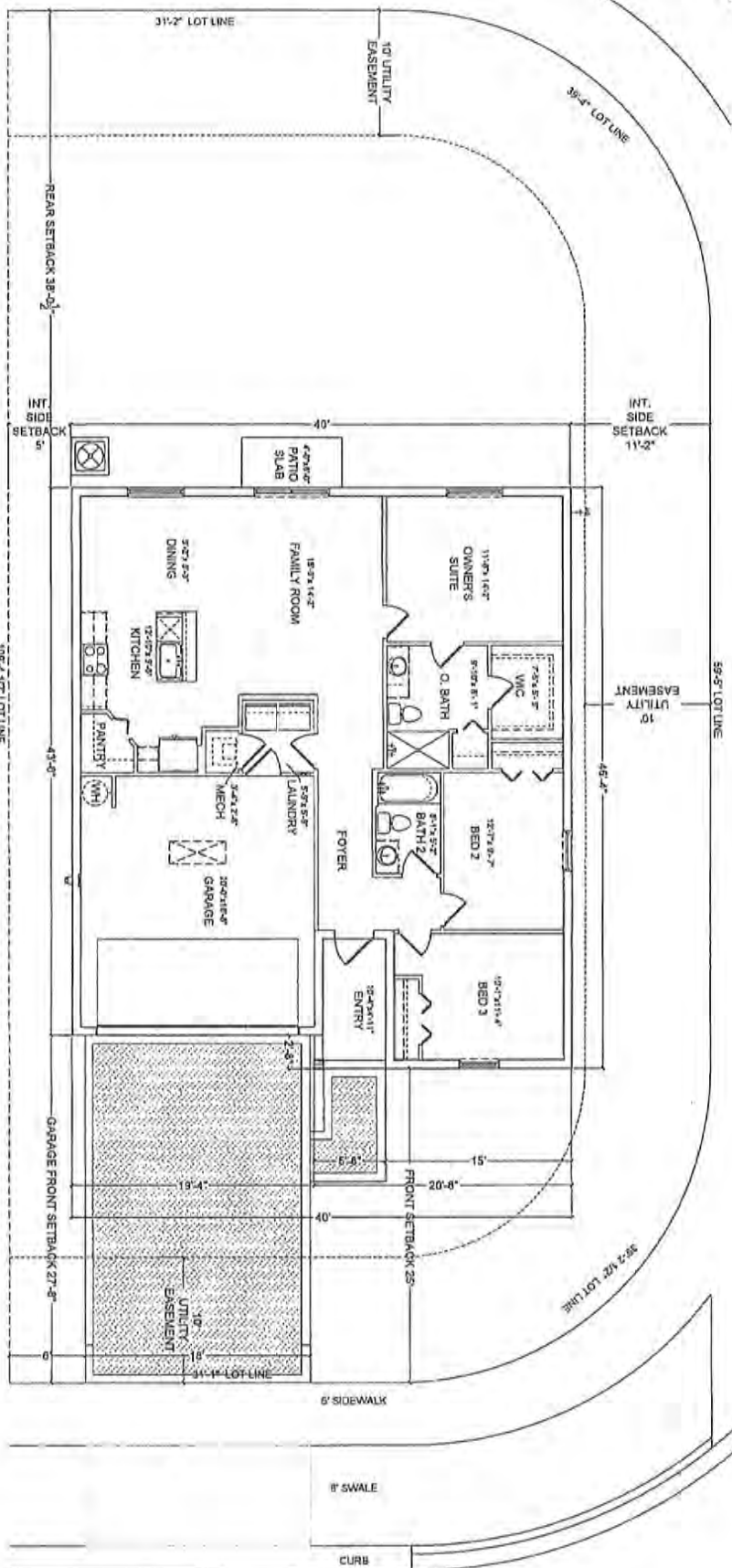
REGISTERED PROFESSIONAL ARCHITECT
STATE OF FLORIDA
NO. 12547
1000 N.W. 107th Ave., Suite 100
Miami, FL 33177
(305) 555-1111
www.pascualperez.com

VILLACIS
BY: LENNAR HOMES
MIAMI-DADE COUNTY, FLORIDA

NO. 1001 AURA

DATE: 2/20/25
DRAWN: ALBANEZ
CHECKED: PEREZ
SCALE: 1/8" = 1'-0"

A-1



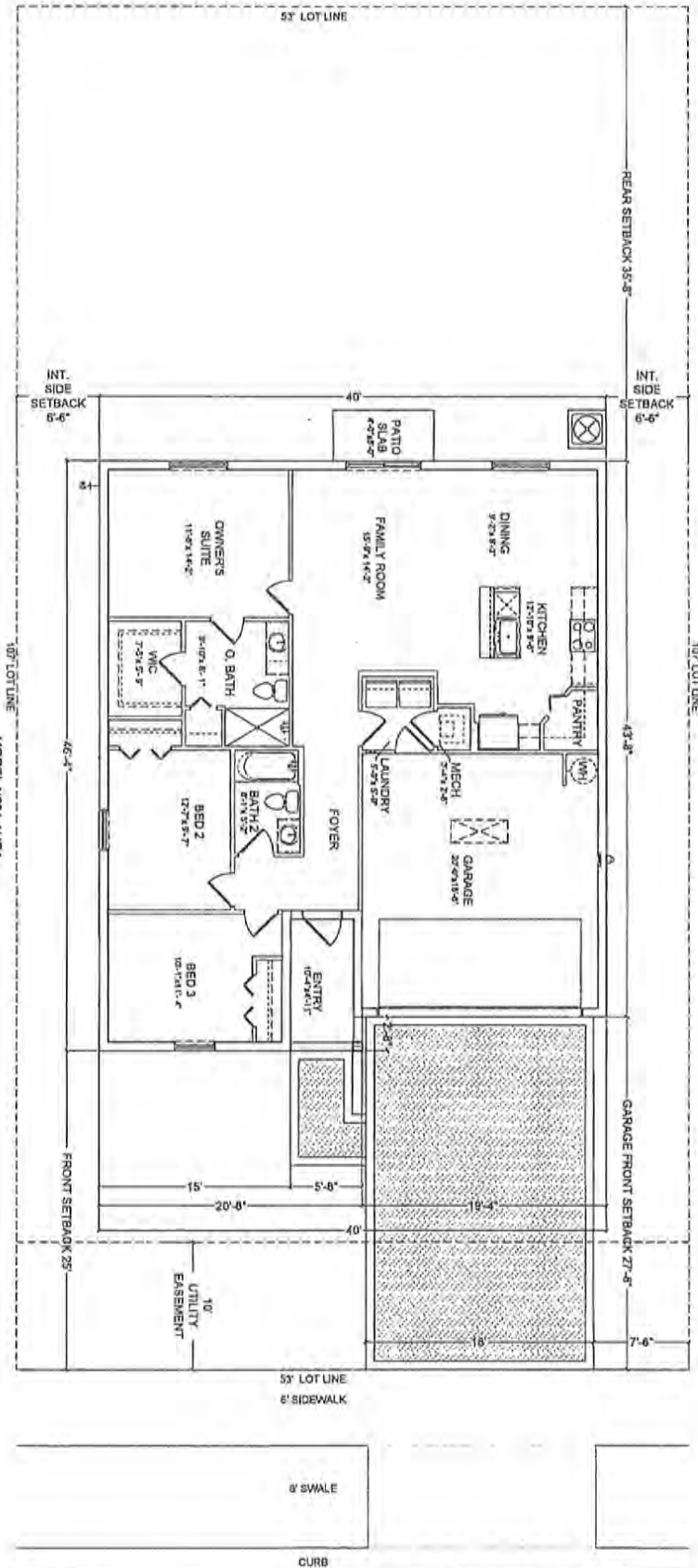
MODEL N001 - AURA	
ONE STORY / 3 BEDROOM / 2 BATH	
AREA CALCULATION	
CORNER LOT AREA	5,874.54 SF
NET FLOOR AC	1,342 SF
TOTAL AREA/AC	1,343 SF
TOTAL GARAGE	485 SF
COV. ENTRY	58 SF
TOTAL GROSS	1,895 SF
LOT COVERAGE	1,806 SF 30.74 %

PASCUAL PEREZ
KILIDDJIAN STARR
 ARCHITECTS + PLANNERS
 1000 N. W. 10TH AVENUE, SUITE 200
 MIAMI, FL 33136
 TEL: 305.371.1111
 WWW.PPSTARCHITECTS.COM

VILLACIS
 BY: LENNAR HOMES
 MIAMI-DADE COUNTY, FLORIDA

DATE: 08/07/25
 DRAWN BY: JLD
 CHECKED BY: JLD
 SCALE: AS SHOWN
 SHEET NO: 2/4

A-1.1



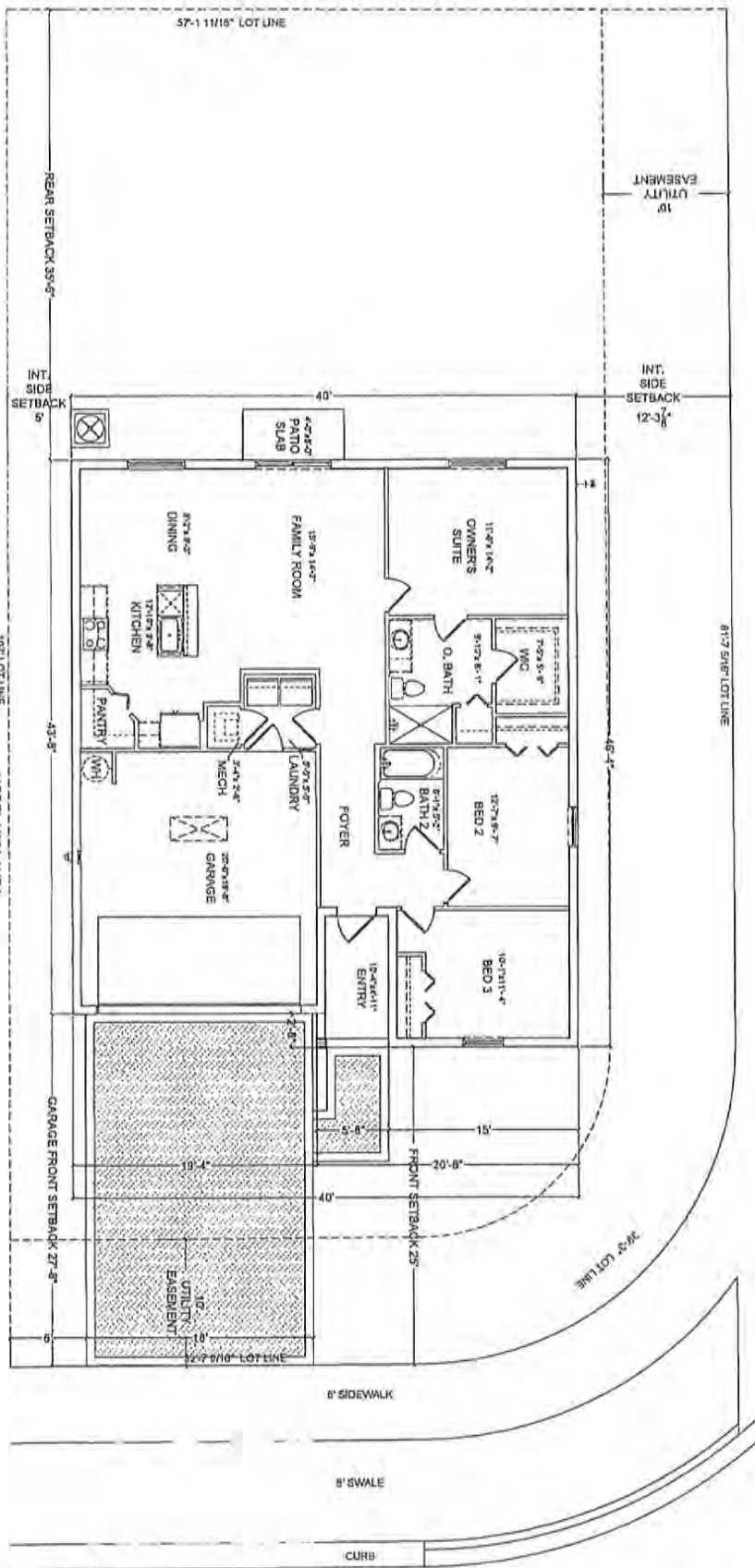
MODEL N001 - AURA
FLOOR PLAN
SCALE 1/8" = 1'-0"

MODEL N001 - AURA	
ONE STORY / 3 BEDROOM / 2 BATH	
AREA CALCULATION	
53' X 107' INT. LOT AREA	5,671.00 SF
18' EASEMENT	1,343 SF
TOTAL ASSESSABLE	1,343 SF
1 CAR GARAGE	405 SF
COOL ENTRY	54 SF
TOTAL GROSS	1,802 SF
LOT COVERAGE	1,006 SF 31.85 %

VILLACIS
BY: LENNAR HOMES
MIAMI-DADE COUNTY, FLORIDA

NO.01 AURA
DATE: 08/07/2025
SCALE: 1/8" = 1'-0"
A-1.2

PASCUAL PEREZ
KILDOJIAN STARR
ARCHITECTS - PLANNERS
1000 N. W. 10th St.
Miami, FL 33136
TEL: 305.375.1111
WWW.PPASTAR.COM



MODEL N001 - AURA	
ONE STORY / 3 BEDROOM / 2 BATH	
AREA CALCULATION	
PORCHER LOT AREA	5,995.70 SF
15% FLOOR A/C	1,343 SF
TOTAL AREA A/C	1,343 SF
EQN GARAGE	400 SF
COV. COVER	50 SF
TOTAL GROSS	1,893 SF
LOT COVERAGE	1,893 SF / 30,177 %

PASQUAL PEREZ
KILLIAM STARR
ARCHITECTS + PLANNERS

DATE: 08/07/2025
DRAWN BY: [Name]
CHECKED BY: [Name]
SCALE: 1/8" = 1'-0"
PROJECT NO.: [Number]
SHEET NO.: [Number]

VILLACIS
BY: LENNAR HOMES
MIAMI-DADE COUNTY, FLORIDA

100% COMPLETE
DATE: 08/07/2025
SCALE: 1/8" = 1'-0"
PROJECT NO.: [Number]
SHEET NO.: [Number]



MODEL N002 - BLOOM	
ONE STORY / 3 BEDROOM / 2 BATH	
AREA CALCULATION	
50' X 108' INT. LOT AREA	5,400.00 SF
1ST FLOOR AC	1,487 SF
TOTAL AREA AC	1,487 SF
2 CAR GARAGE	424 SF
TOTAL GROSS	1,538 SF
LOT COVERAGE	28.60 %

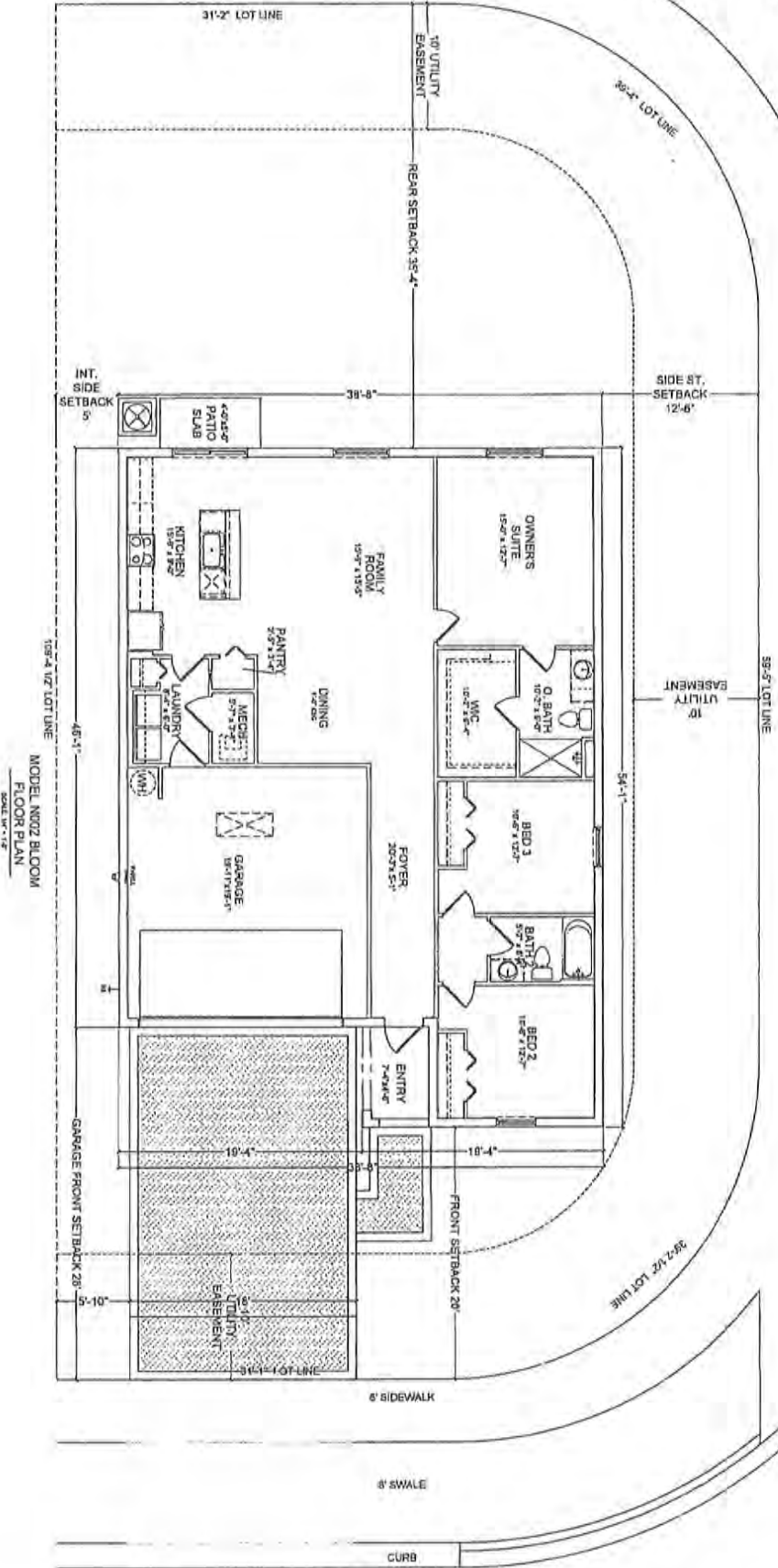
PASCUAL PEREZ KILLODAN STARR
 ARCHITECTS + PLANNERS
 1100 N.W. 107th Ave., Suite 100
 Miami, FL 33177
 (305) 555-1100
 www.pascalperez.com

VILLACIS
 BY: LENNAR HOMES
 MIAMI-DADE COUNTY, FLORIDA

LEGEND

1/8" = 1'-0"	1/8" = 1'-0"
1/4" = 1'-0"	1/4" = 1'-0"
1/2" = 1'-0"	1/2" = 1'-0"
3/4" = 1'-0"	3/4" = 1'-0"
1" = 1'-0"	1" = 1'-0"

A-2



MODEL N002 - BLOOM	
ONE STORY / 3 BEDROOM / 2 BATH	
AREA CALCULATION	
OWNER LOT AREA	5,874.8 SF
1ST FLOOR AC	1,487 SF
TOTAL AREA AC	1,487 SF
1 CAR GARAGE	428 SF
CON. ENTRY	43 SF
TOTAL GROSS	1,958 SF
LOT COVERAGE	1.528 SF
	33.67 %

PASCUAL
PEREZ
RUIZ, JIM
STARR

ARCHITECTS & PLANNERS

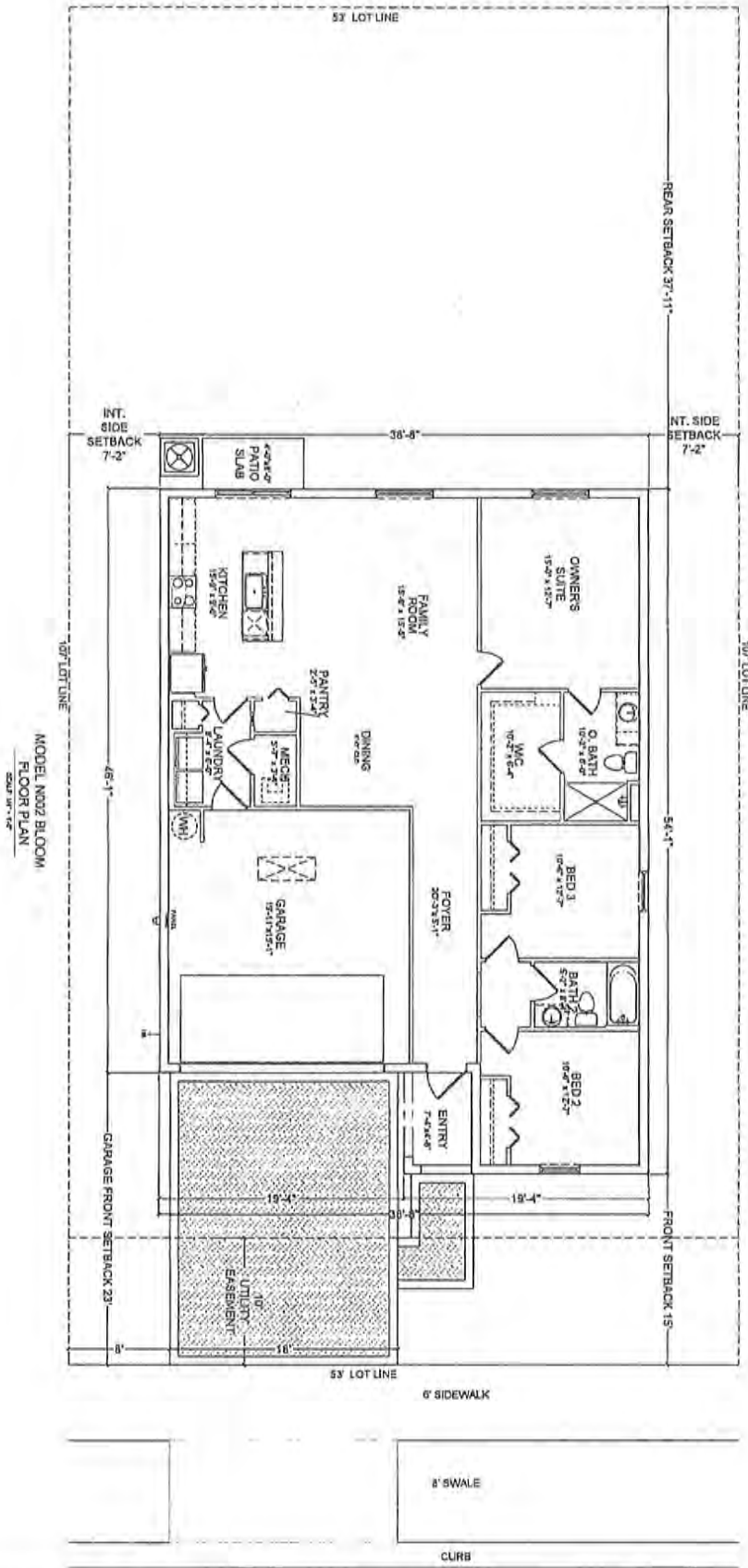
1000 N. W. 10TH AVENUE
SUITE 1000
MIAMI, FL 33136
TEL: 305.575.1111
WWW.PASCUALPEREZRUIZSTARR.COM

VILLACIS
BY: LENNAR HOMES
MIAMI-DADE COUNTY, FLORIDA

NO. 200
SCALE: 1/8" = 1'-0"

NO. 200 BLOOM

A-2.1



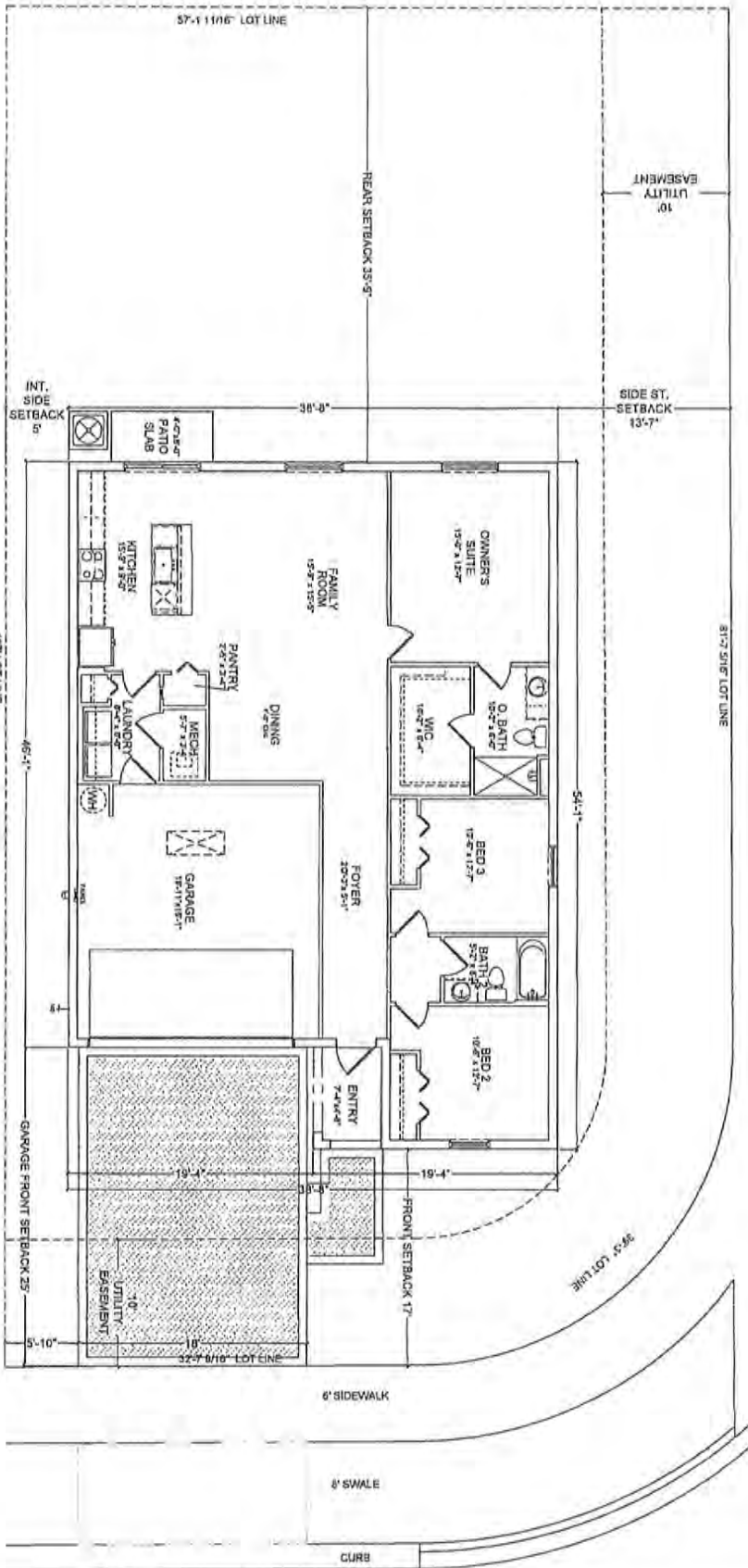
MODEL N002 BLOOM
FLOOR PLAN
SCALE: 1/8" = 1'-0"

MODEL N002 - BLOOM	
ONE STORY / 3 BEDROOM / 2 BATH	
AREA CALCULATION	
57' X 107' INT. LOT AREA	5,871.00 SF
156' FLOOR AREA	1,467.26 SF
TOTAL AREA AC	1,467.26 SF
1 CAR GARAGE	438 SF
COVERED ENTRY	43 SF
TOTAL GROSS	1,538 SF
LOT COVERAGE	1,538 SF / 25.17 %

PASEUAL PEREZ FRIDMAN STARR
ARCHITECTS + PLANNERS
1000 N. W. 10TH AVENUE, SUITE 1000
MIAMI, FL 33136
TEL: 305.575.1111
WWW.PASEUALPEREZFRIDMANSTARR.COM

VILLACIS
BY: LENNAR HOMES
MIAMI-DADE COUNTY, FLORIDA

DATE: 08/07/25
DRAWN BY: [Name]
CHECKED BY: [Name]
SCALE: 1/8" = 1'-0"
SHEET: A-2.2
PROJECT: MODEL N002 BLOOM



MODEL N002 BLOOM
FLOOR PLAN
SCALE: 1/8" = 1'-0"

MODEL N002 - BLOOM	
ONE STORY / 3 BEDROOM / 2 BATH	
AREA CALCULATION	
CORNER LOT AREA	3,996.73 SF
1ST FLOOR FNC	1,487 SF
TOTAL AREA FNC	1,487 SF
1 CAR GARAGE	488 SF
CON. ENTRY	0 SF
TOTAL GROSS	1,975 SF
LOT COVERAGE	1,593 SF
	32.22 %

VILLACIS
BY: LENNAR HOMES
MIAMI-DADE COUNTY, FLORIDA

100% BLOOM

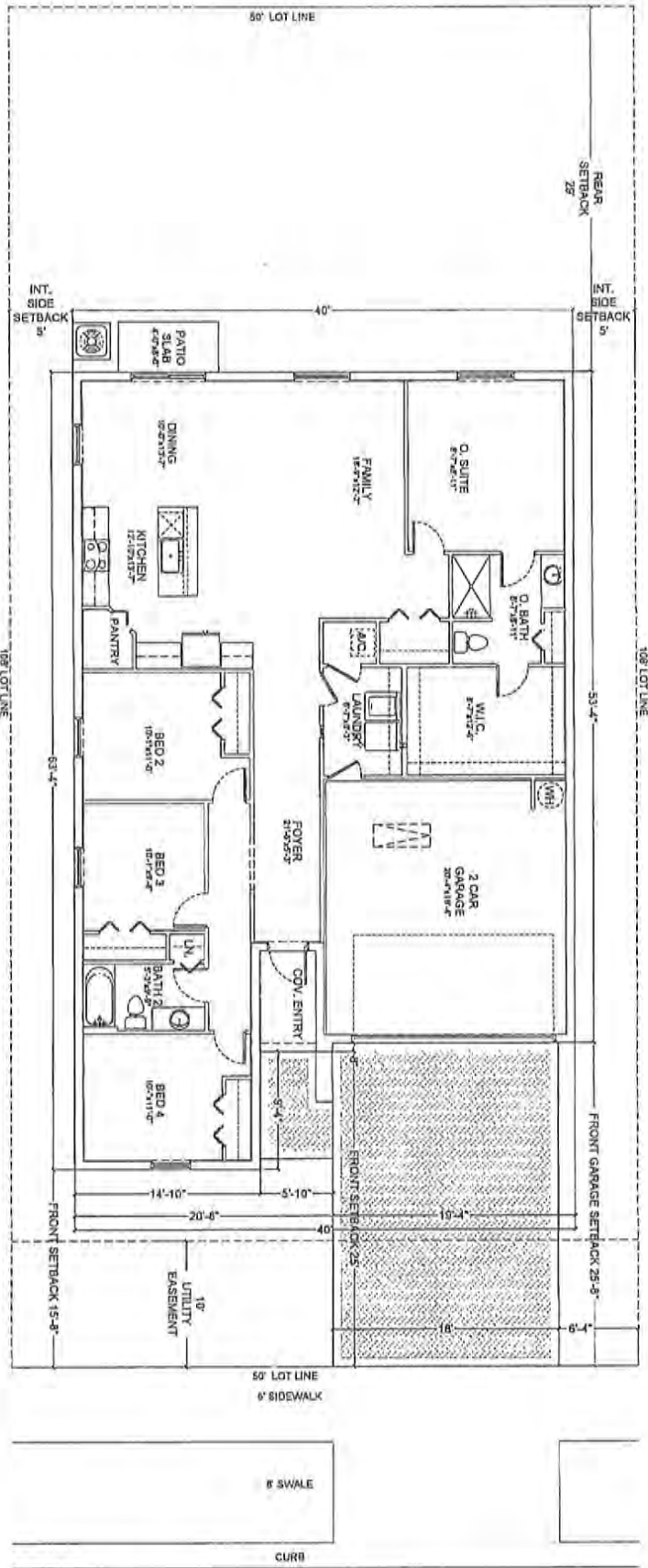
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08/07/25	REVISED PER PERMITS
08/07/25	REVISED PER PERMITS
08/07/25	REVISED PER PERMITS

A-2.3

PASCUAL
PEREZ
KILDOJIAN
STARR

ARCHITECTS + PLANNERS

3100 N.W. 11TH AVENUE
SUITE 200
MIAMI, FL 33142
TEL: 305.573.1111
WWW.PASCUALPEREZKILDOJIANSTARR.COM



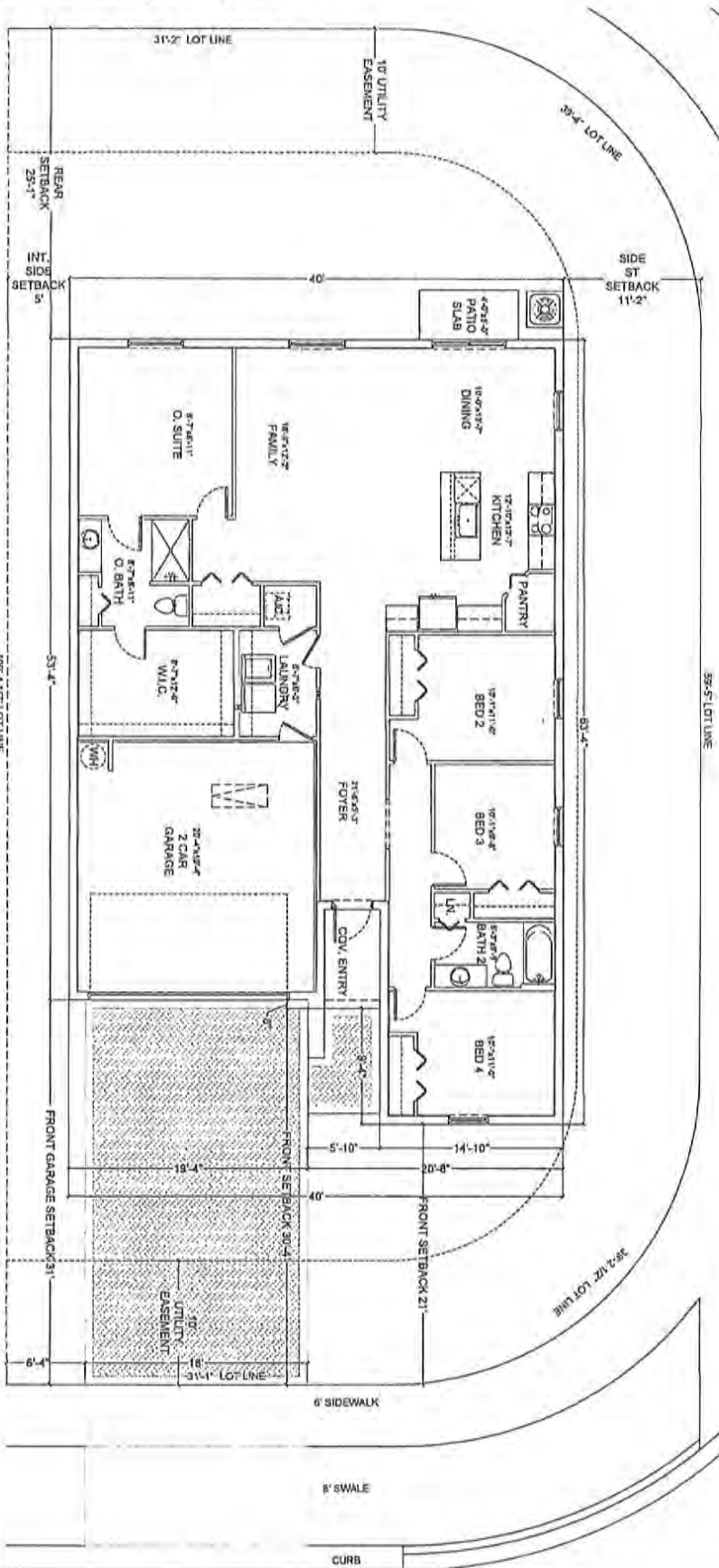
MODEL N003 - CELESTE	
ONE STORY / 4 BEDROOM / 2 BATH	
AREA CALCULATION	
50' X 108' INT. LOT AREA	5,400.00 SF
1.57' TUCKER AC	1,024.56 SF
TOTAL AREA AC	1,024.56 SF
2 CAR GARAGE	425.56 SF
COV. ENTRY	217.56 SF
TOTAL GROSS	2,268.56 SF
LOT COVERAGE	42.00 %

PASCUAL PEREZ
ENLORJAN STARR
 ARCHITECTS + PLANNERS

11000 N.W. 11th St., Suite 100, Coral Gables, FL 33134
 Phone: (305) 441-1111
 Website: www.pascualperez.com

VILLACIS
 BY: LENNAR HOMES
 MIAMI-DADE COUNTY, FLORIDA

DATE: 08/07/25
 DRAWN BY: JACOB
 CHECKED BY: JACOB
 DESIGNED BY: JACOB
 SCALE: 1/8" = 1'-0"



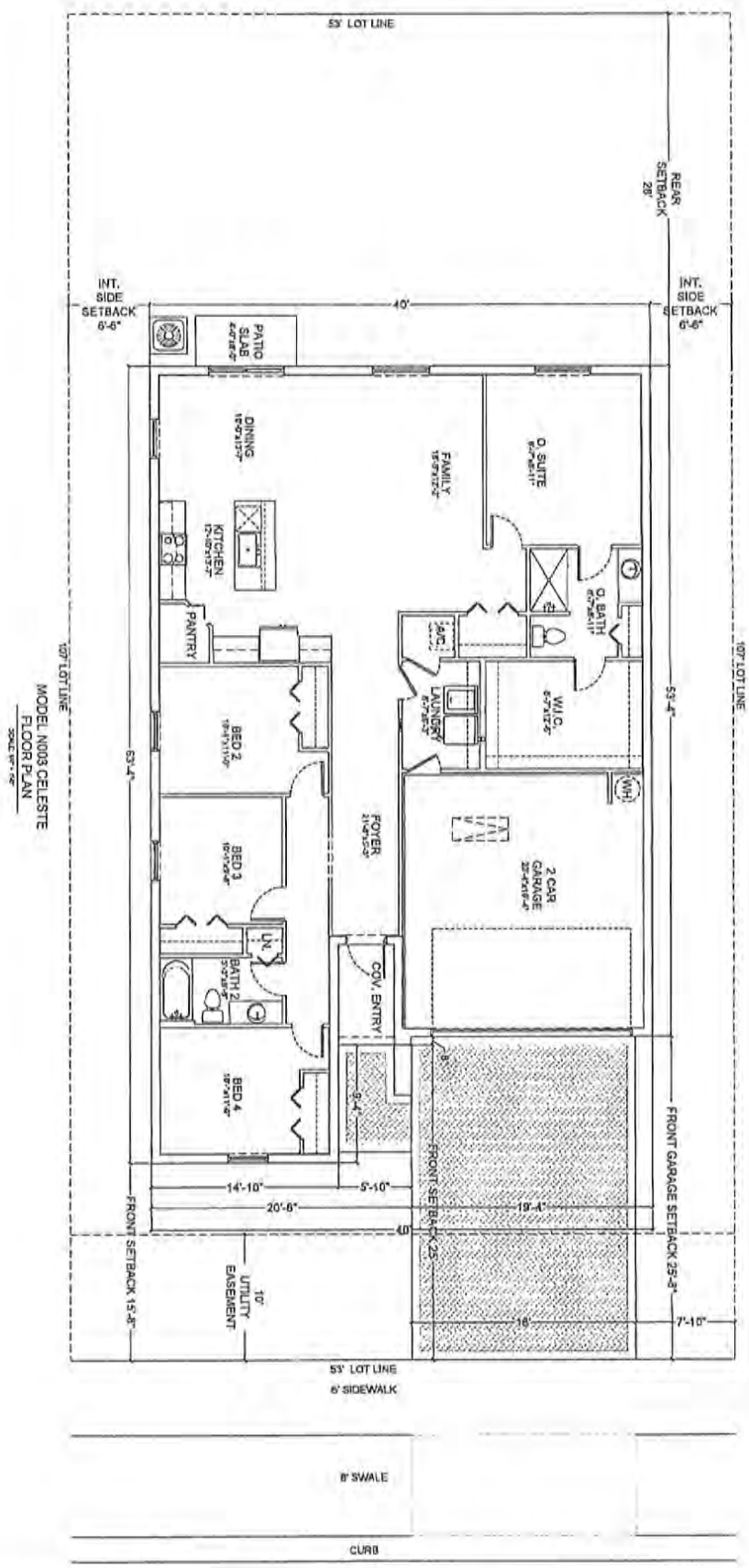
MODEL N003 CELESTE
 FLOOR PLAN
 SCALE 1/8" = 1'-0"

MODEL N003 - CELESTE	
ONE STORY / 4 BEDROOM / 2 BATH	
AREA CALCULATION	
CORNER LOT AREA	5,874.54 SF
USE FLOOR AREA	1,594 SF
TOTAL AREA INC.	1,524 SF
1 CAR GARAGE	421 SF
CONV. ENTRY	37 SF
TOTAL GROSS	2,298 SF
LOT COVERAGE	39.21 %

PASQUA PEREZ KALUDJIAN STARR
 ARCHITECTS + PLANNERS
 1111 BAYVIEW DRIVE, SUITE 100
 MIAMI, FL 33133
 (305) 371-1111
 WWW.PASQUAPEREZ.COM

VILLACIS
 BY: LENNAR HOMES
 MIAMI-DADE COUNTY, FLORIDA

A-3.1



MODEL N003 - CELESTE	
ONE STORY / 4 BEDROOM / 2 BATH	
AREA CALCULATION	
53' X 107' INT. LOT AREA	5,671.00 SF
1.5' FLOOR AC	1,564.50 SF
TOTAL AREA AC	1,824.50 SF
2 CAR GARAGE	415 SF
COV. ENTRY	77 SF
TOTAL GROSS	2,286 SF
LOT COVERAGE	40.31 %

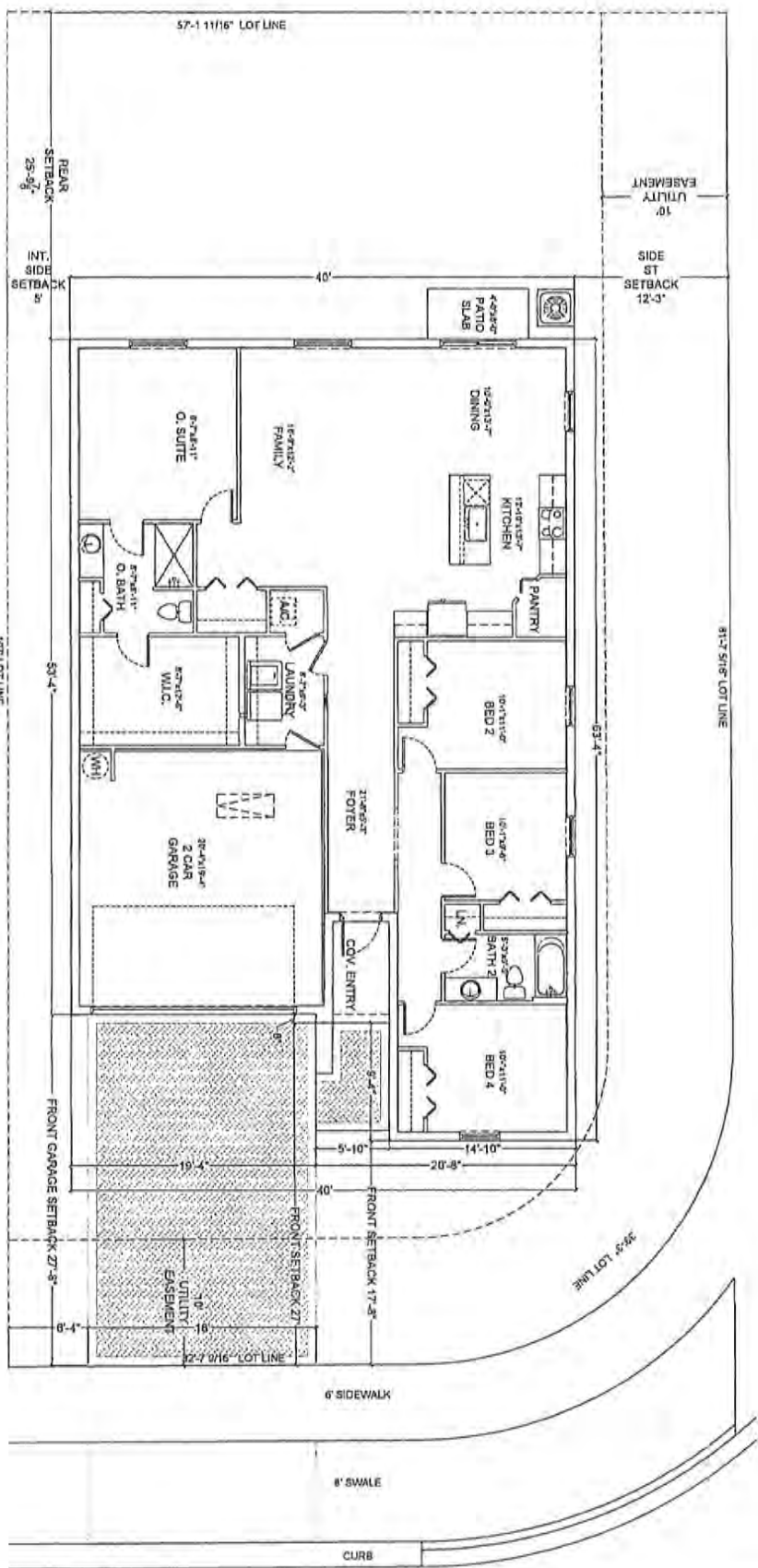
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PEREZ
ANDERSON
STARR

ARCHITECTS - PLANNERS
1000 N.W. 107th Ave., Suite 100
Miami, FL 33177
Tel: 305.555.1000
www.paspears.com

VILLACIS
BY: LENNAR HOMES
MIAMI-DADE COUNTY, FLORIDA

A-3.2

DATE: 08/07/25
DRAWN BY: ALVARO
CHECKED BY: PMS
DATE: 08/07/25



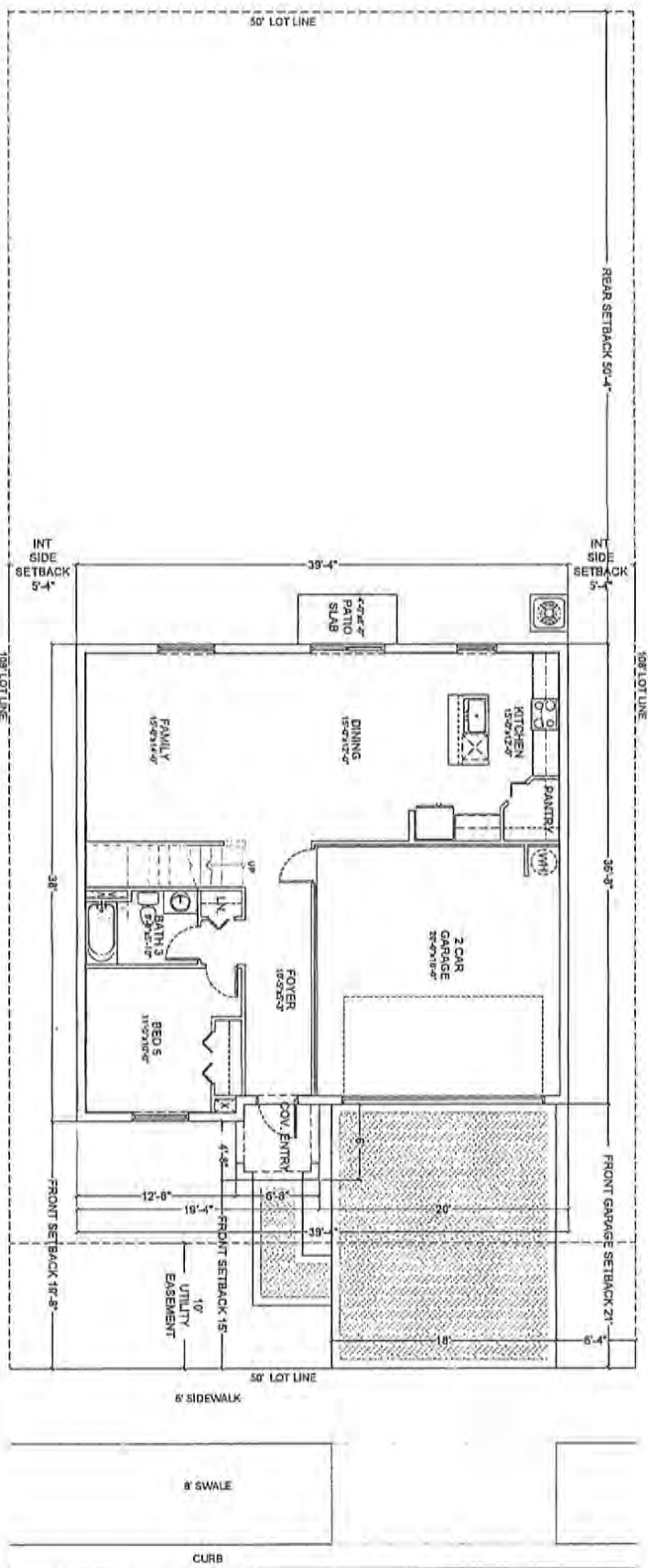
MODEL N003 CELESTE
FLOOR PLAN
SCALE: 1/4\"/>

MODEL N003 - CELESTE	
ONE STORY / 4 BEDROOM / 2 BATH	
AREA CALCULATION	
FOURIER LOT AREA	5,995.00 SF
USE FLOOR AREA	1,824.00 SF
TOTAL AREA/AVC	1,824.00 SF
1 CAR GARAGE	424.00 SF
COV. ENTRY	37.00 SF
TOTAL GROSS	2,285.00 SF
LOT COVERAGE	38.13 %

PASCUAL PEREZ
KIM DODD JAHN
STARBUCK

VILLACIS
BY: LENNAR HOMES
MIAMI-DADE COUNTY, FLORIDA

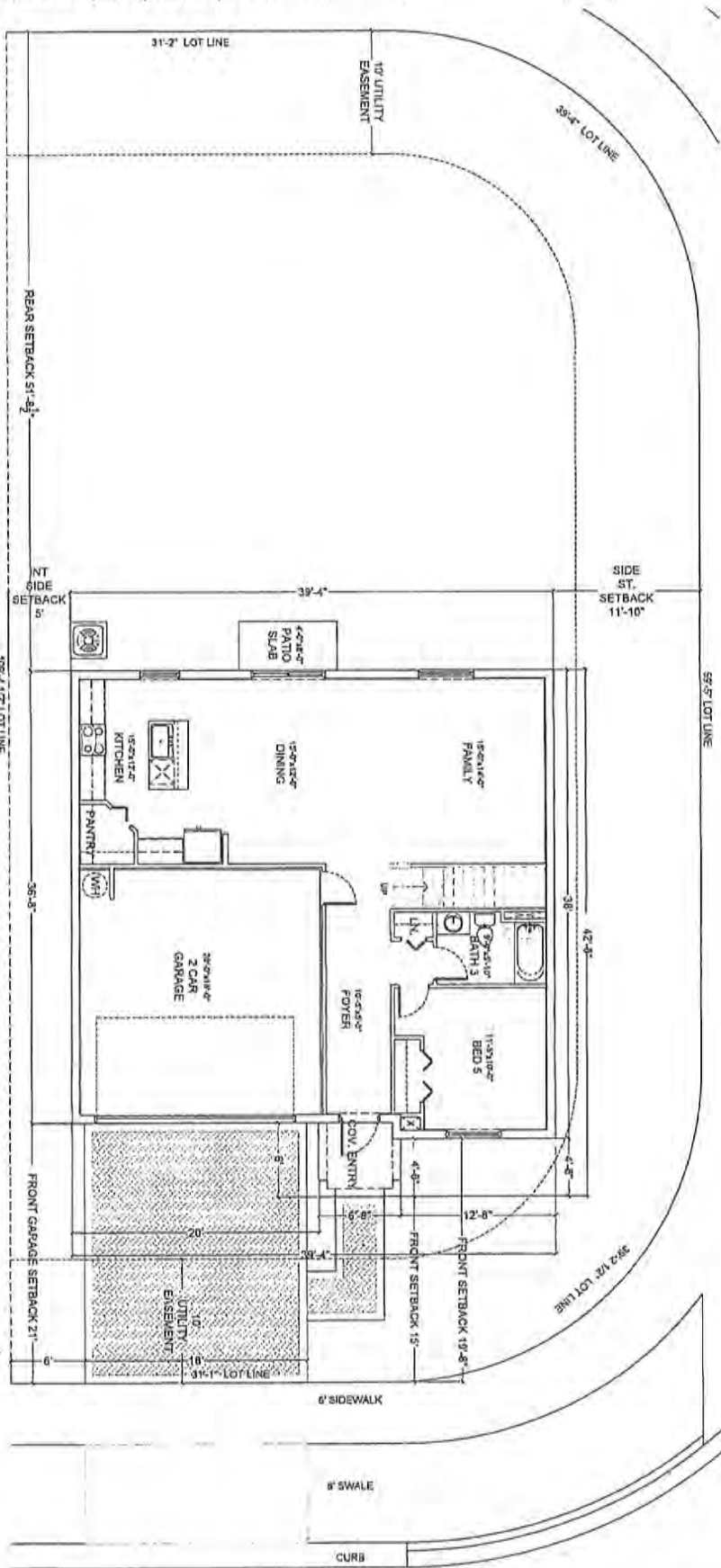
A-3.3



MODEL N005 ECLIPSE
1ST FLOOR PLAN
SCALE: 1/8" = 1'-0"

MODEL N005 - ECLIPSE	
TWO STORY / 5 BEDROOM + LOFT / 3 BATH	
AREA CALCULATION	
50' X 108' INT. LOT AREA	5,400.00 SF
1ST FLOOR AREA	1,029 SF
2ND FLOOR AREA	1,441 SF
TOTAL AREA AVG	2,470 SF
2 CAR GARAGE	421 SF
TOTAL GROSS	2,891 SF
LOT COVERAGE	1,485 SF / 27.3% N

VILLACIS
BY: LENNAR HOMES
MIAMI-DADE COUNTY, FLORIDA



MODEL N005 ECLIPSE
1ST FLOOR PLAN
SCALE: 1/8" = 1'-0"

MODEL N005 - ECLIPSE	
TWO STORY 5 BEDROOM + LOFT / 3 BATH	
AREA CALCULATION	
OWNER LOT AREA	5,314.94 SF
1ST FLOOR AC	1,029 SF
2ND FLOOR AC	1,412 SF
TOTAL AREA AC	2,441 SF
2 CAR GARAGE	421 SF
LOFT ENTRY	81 SF
TOTAL GROSS	2,911 SF
LOT COVERAGE	54.78%

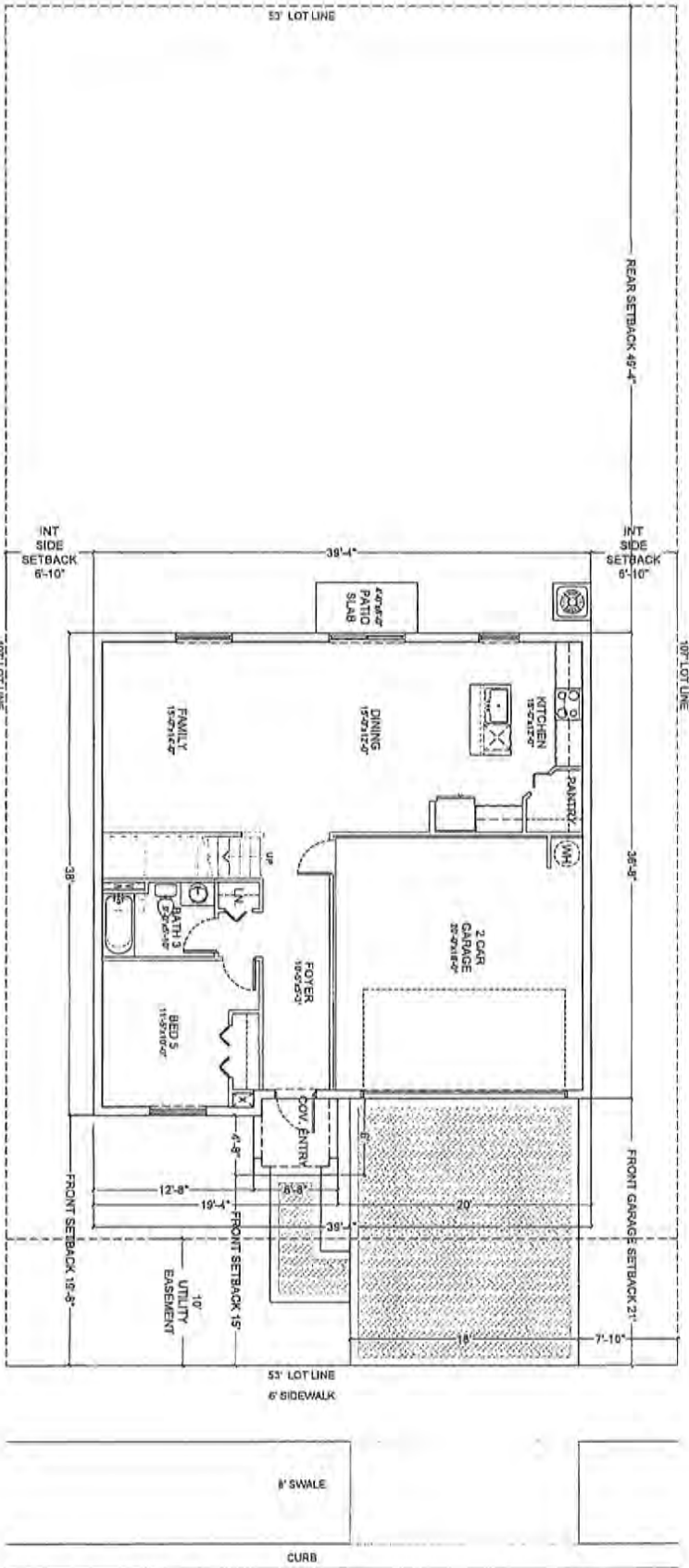
PASQUIN PEREZ KILODRAN STARR
ARCHITECTS + PLANNERS
1000 N.W. 10TH AVENUE, SUITE 200
MIAMI, FL 33136
TEL: 305.575.8888
WWW.PASQUINPEREZKILODRANSTARR.COM

VILLACIS
BY: LENNAR HOMES
MIAMI-DADE COUNTY, FLORIDA

A-4.1

RECEIVED MIAMI-DADE COUNTY PROCESS NO: Z25-073 DATE: AUG 7 2025 BY: ISA

MODEL N005 - EQUIPSE	
TWO STORY 5 BEDROOM + LOFT / 3 BATH	
AREA CALCULATION	
53 X 107 INT. LOT AREA	5,671.00 SF
1ST FLOOR AG	1,024 SF
2ND FLOOR AG	1,412 SF
TOTAL AREA/AG	2,436 SF
2 CAR GARAGE	421 SF
COV. ENTRY	31 SF
TOTAL GROSS	2,911 SF
LOT COVERAGE	1,690 SF 29.83 %



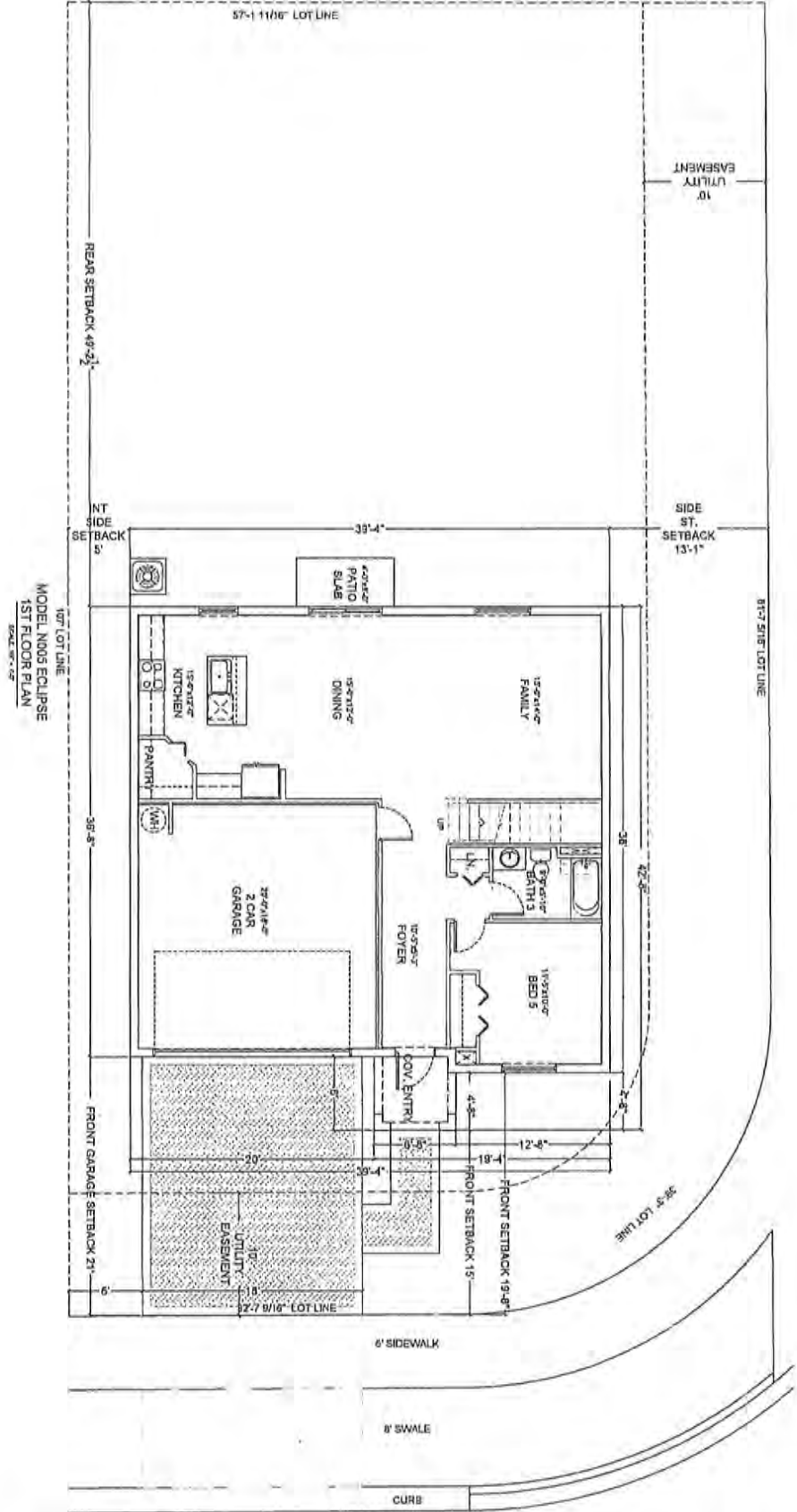
MODEL N005 EQUIPSE
1ST FLOOR PLAN
SCALE: 1/8" = 1'-0"

PASQUAL
PEREZ
KLUDJIAN
STARR
ARCHITECTS - PLANNERS

VILLACIS
BY: LENNAR HOMES
MIAMI-DADE COUNTY, FLORIDA

N005 EQUIPSE

A-4.2



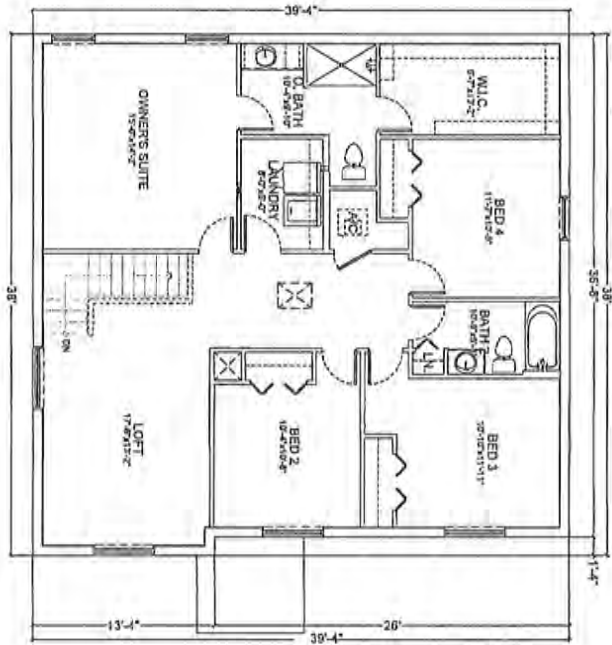
MODEL N005 - ECLIPSE	
TWO STORY / 5 BEDROOM + LOFT / 3 BATH	
AREA CALCULATION	
COVERED LOT AREA	5,963.70 SF
1ST FLOOR A/C	1,333 SF
2ND FLOOR A/C	1,413 SF
TOTAL AREA A/C	2,747 SF
2 CAR GARAGE	431 SF
TOTAL GROSS	2,317 SF
LOT COVERAGE	1,493 SF 28.53 %

VILLACIS
BY: LENNAR HOMES
MIAMI-DADE COUNTY, FLORIDA

FROM PLAN:
DATE: 08/07/25
DRAWN BY: ALBERTO
CHECKED BY: MTS
APPROVED BY: TAD

A-4.3

PASCUAL PEREZ KILGIDJAH STARR
ARCHITECTS - PLANNERS
1100 N. W. 10TH AVE., SUITE 100
MIAMI, FL 33136
TEL: 305.575.1100
WWW.PPKS.COM



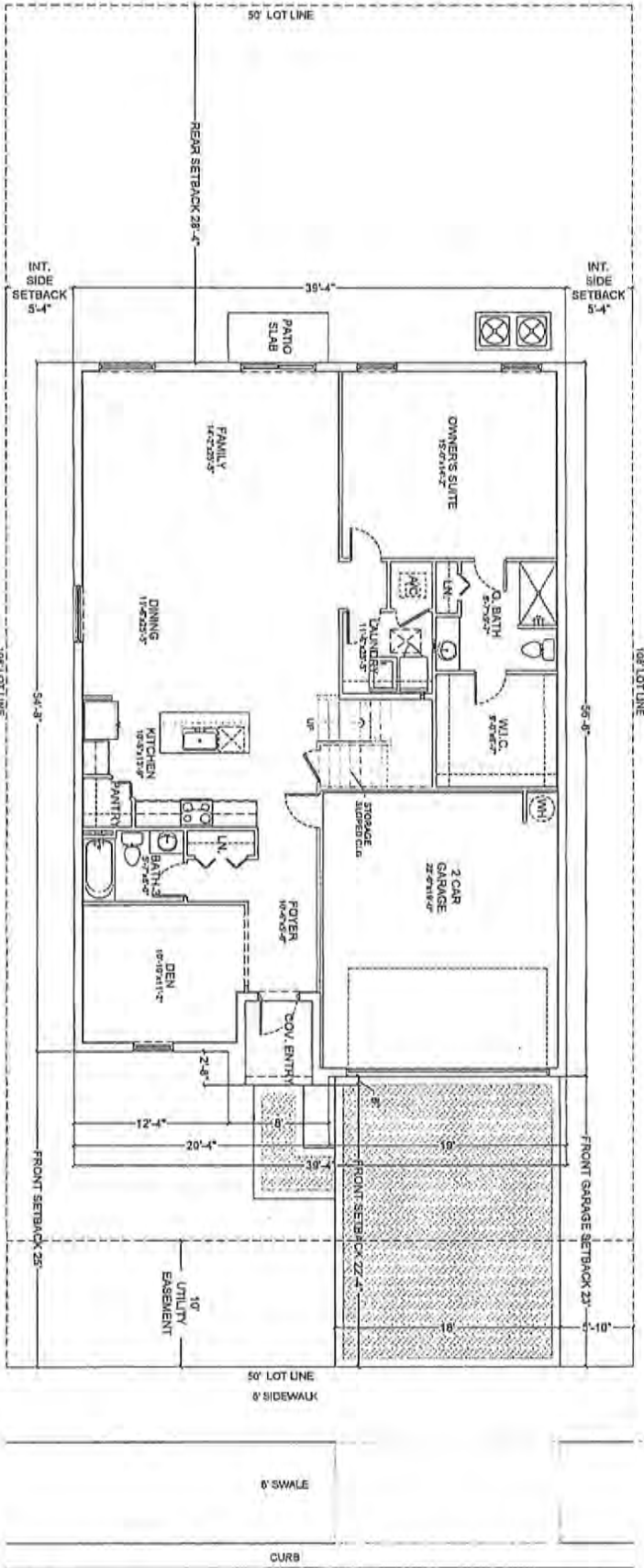
MODEL N003 ECLIPSE
2ND FLOOR PLAN
SCALE: 1/8" = 1'-0"

PASCUAL PEREZ
KILBID JAFI STARR
 ARCHITECTS + PLANNERS
 1000 BAY STREET
 SUITE 1000
 MIAMI, FL 33131
 TEL: 305.371.1111
 WWW.PPARCHITECTS.COM

VILLACIS
 BY: LENNAR HOMES
 MIAMI-DADE COUNTY, FLORIDA

DATE: 3/20/24
 DRAWN BY: AS/STARR
 CHECKED BY: JAFI
 SCALE: 1/8" = 1'-0"

A-4.4



MODEL N006 - HONOR	
TWO STORY / 5 BEDROOM + DEN + LOFT / 3 BATH	
AREA CALCULATION	
50' X 106' INT. LOT AREA	5,400.00 SF
1ST FLOOR A/C	1,715.52
2ND FLOOR A/C	1,104.48
TOTAL A/C	2,820.00
1 CAR GARAGE	401.52
COV. ENTRY	40.00
TOTAL GROSS	3,264.00 SF
LOT COVERAGE	60.43 %

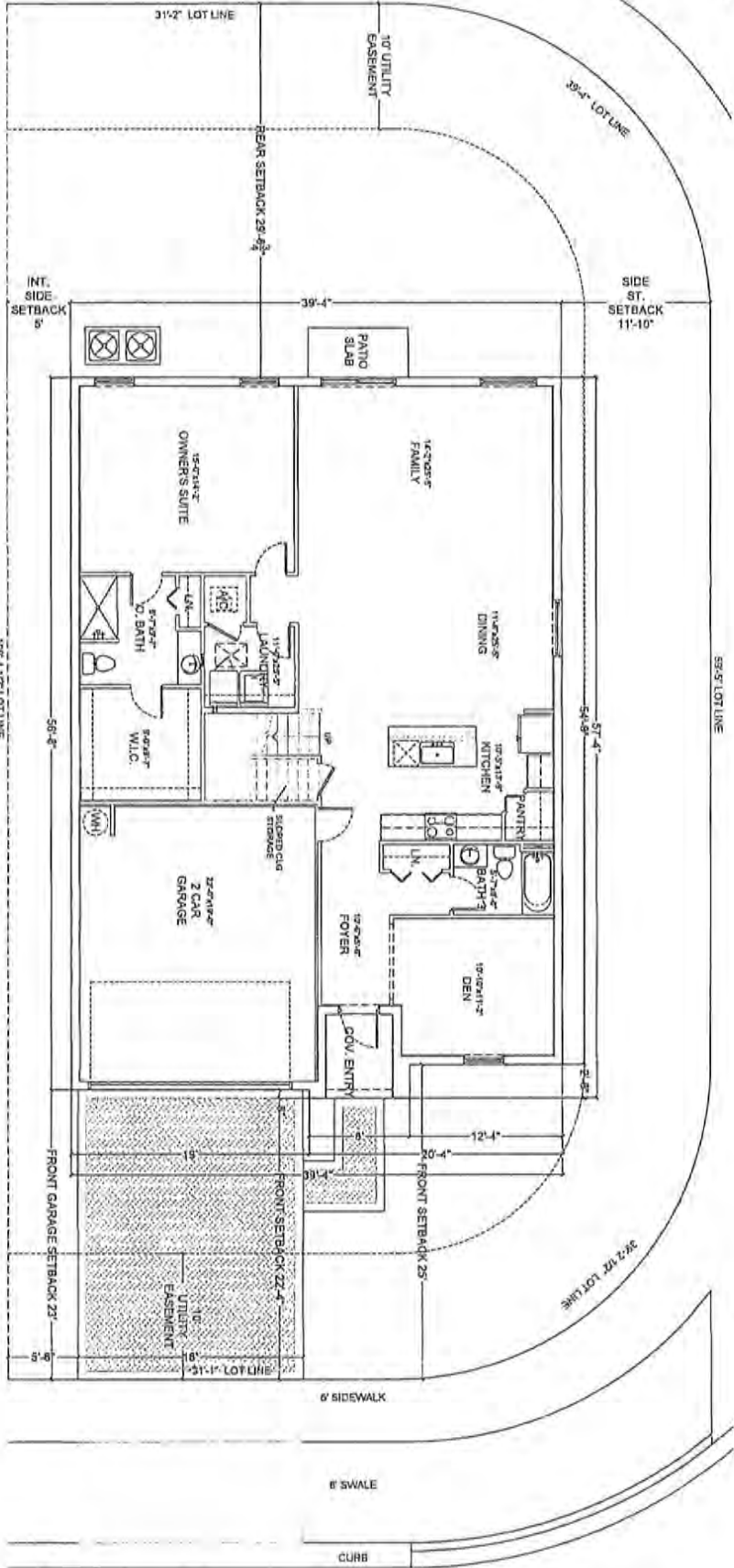
PASQUAN
PEREZ
KILIDARIAN
STARR
ARCHITECTS + PLANNERS

10000 W. BAYVIEW
SUITE 1000
MIAMI, FL 33147
TEL: 305.555.1000
WWW.PASQUANPEREZ.COM

VILLACIS
BY: LENNAR HOMES
MIAMI-DADE COUNTY, FLORIDA

A-5

DATE	10/20/23
SCALE	AS SHOWN
DRAWN	SI
CHECKED	PLS
APPROVED	PLS



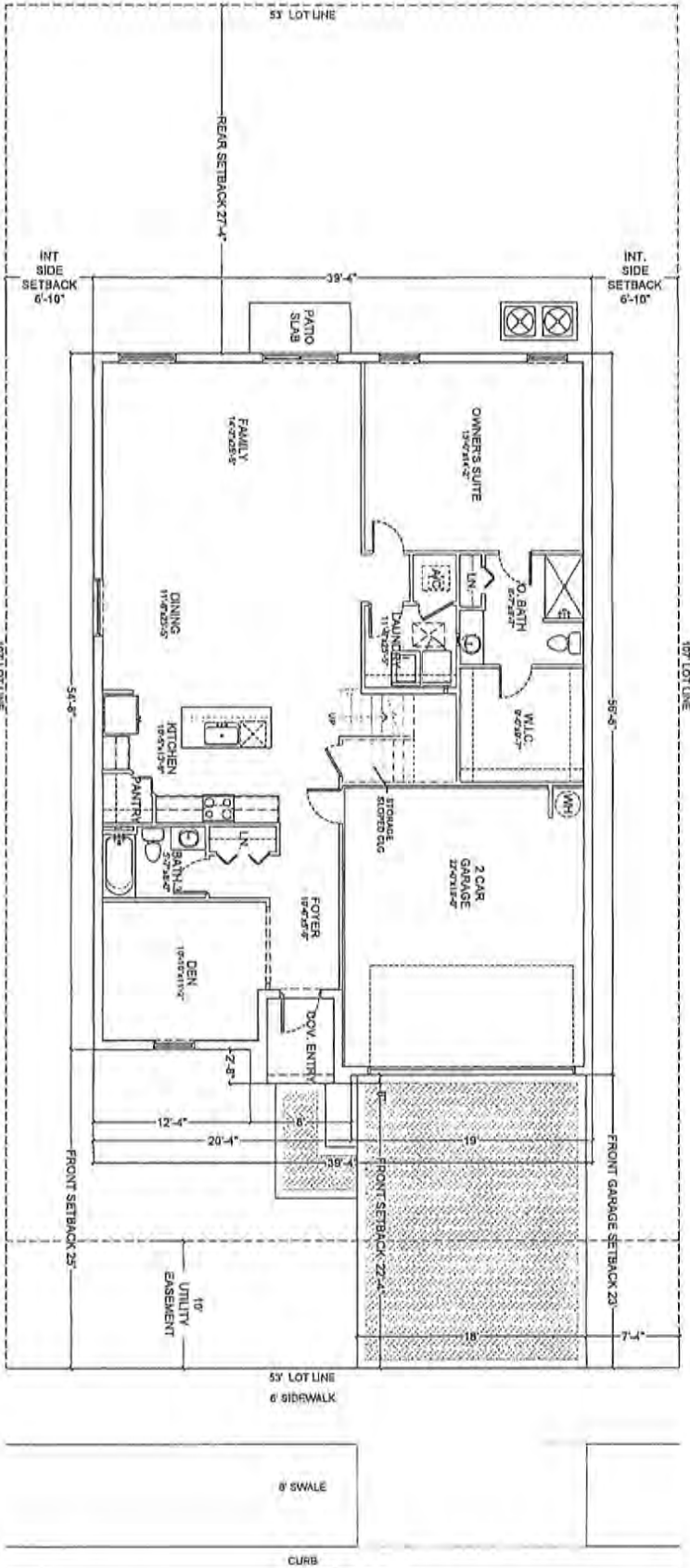
MODEL N008 HONOR
1ST FLOOR PLAN
SCALE 1/8" = 1'-0"

MODEL N008 - HONOR	
TWO STORY / 5 BEDROOM + DEN + LOFT / 2 BATH	
AREA CALCULATION	
CORNER LOT AREA	5,874.81 SF
1ST FLOOR AC	1,719.57
2ND FLOOR AC	1,024.82
TOTAL AREA AC	2,744.39
2 CAR GARAGE	411 SF
COV. ENTRY	431 SF
TOTAL GROSS	3,244 SF
LOT COVERAGE	32.00 %

PASCUAL PEREZ
KILDIRIAN STARR
 ARCHITECTS + PLANNERS
 1111 N. WASHINGTON AVE., SUITE 100
 MIAMI, FL 33136
 TEL: 305.375.1000
 WWW.PASCUALPEREZ.COM

VILLACIS
 BY: LENNAR HOMES
 MIAMI-DADE COUNTY, FLORIDA

DATE: 08/06/25
 DRAWN BY: ASHLEY
 CHECKED BY: PJB
 SCALE: 1/8" = 1'-0"
A-5.1



MODEL N006 HONOR
1ST FLOOR PLAN
SCALE: 1/8" = 1'-0"

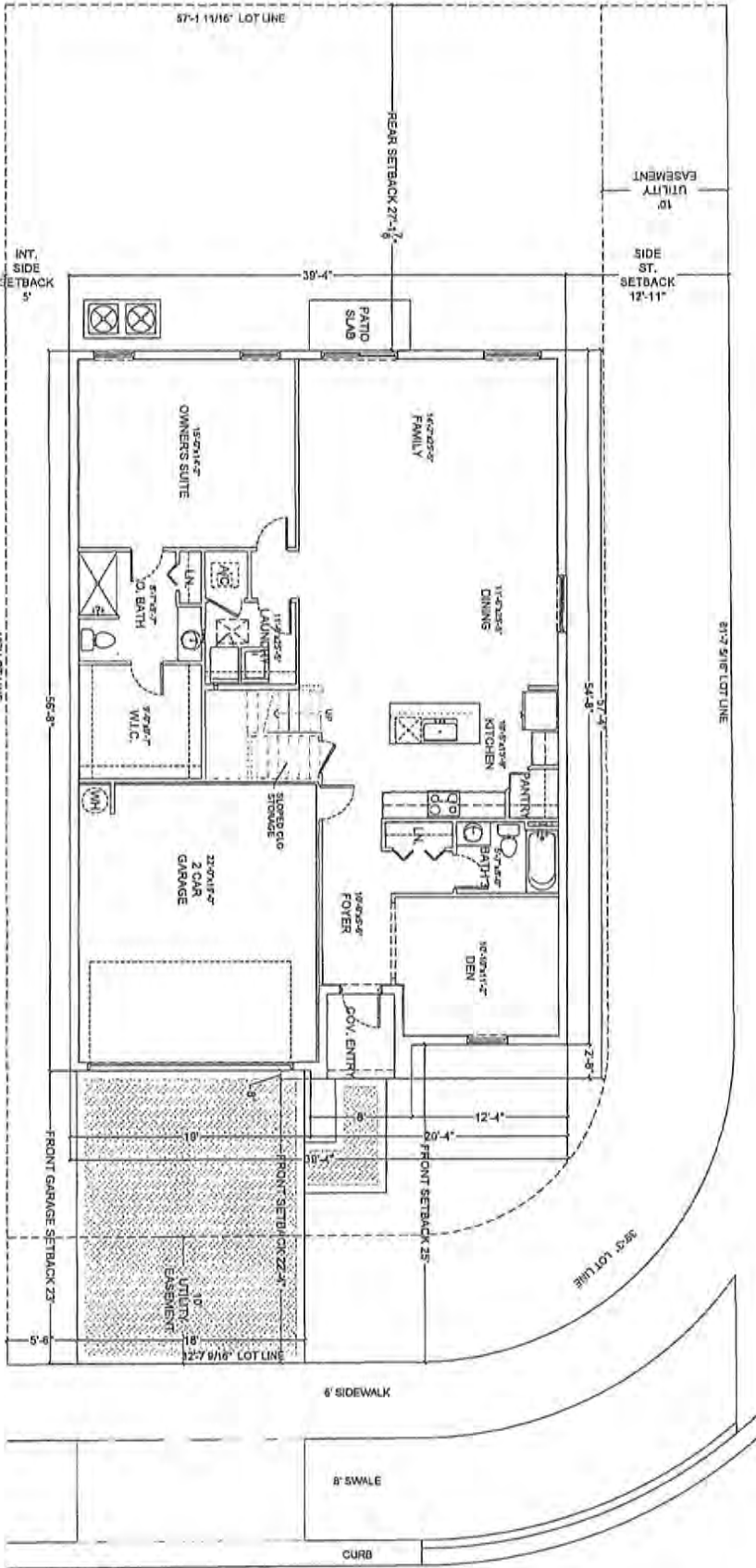
MODEL N006 - HONOR	
TWO STORY / 3 BEDROOM + DEN + LOFT / 3 BATH	
AREA CALCULATION	
53' X 107' INT. LOT AREA	5,671.00 SF
1ST FLOOR AGC	1,318.85 SF
2ND FLOOR AGC	1,824.55 SF
TOTAL AGC	3,143.40 SF
2 CAR GARAGE	481.00 SF
COVERED ENTRY	43.50 SF
TOTAL GROSS	3,244.50 SF
LOT COVERAGE	32.10 SF
	38.97 %

PASCUAL PEREZ
KILIDJIAN STARR
ARCHITECTS + PLANNERS
1000 N. MIAMI AVENUE
SUITE 1000
MIAMI, FL 33136
TEL: 305.371.1111
WWW.PKSA.COM

VILLACIS
BY: LENNAR HOMES
MIAMI-DADE COUNTY, FLORIDA

1006 HONOR
DATE: 08/07/25
DRAWN BY: [Name]
CHECKED BY: [Name]
SCALE: 1/8" = 1'-0"

A-5.2



MODEL N006 - HONOR	
TWO STORY / 1/2 BEDROOM + DEN + LOFT / 3 BATH	
AREA CALCULATION	
COBBERN LOT AREA	5,995.70 SF
1st FLOOR AC	1,718 SF
2nd FLOOR AC	1,804 SF
TOTAL AREA AC	2,150 SF
2 CAR GARAGE	461 SF
COVER ENTRY	42 SF
TOTAL GROSS	3,244 SF
LOT COVERAGE	2,215 SF 36.8%

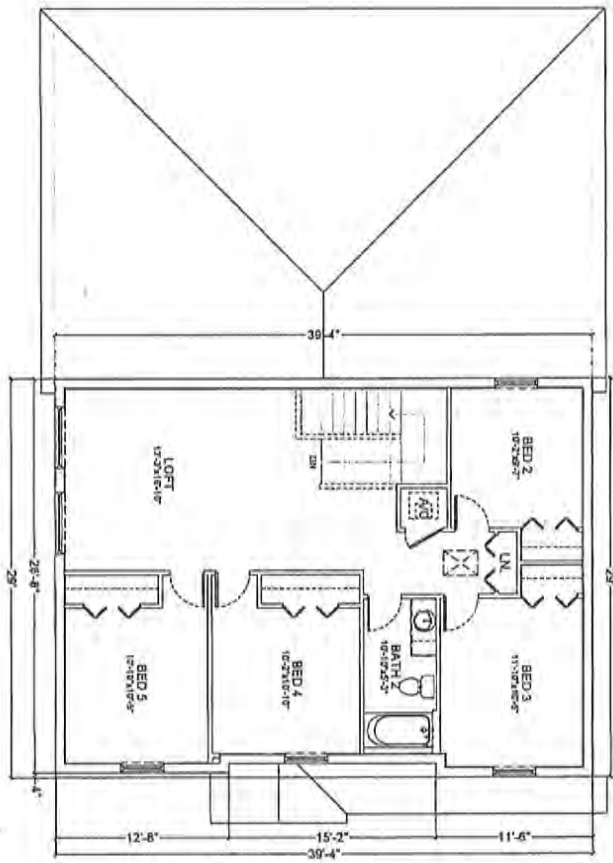
PASCUAL PEREZ MIDD JAIL STARR
 ARCHITECTS + PLANNERS
 1000 N. W. 10th St., Suite 1000
 Miami, FL 33136
 (305) 571-1111
 www.pascualperezmiddjailstarr.com

VILLACIS
 BY: LENNAR HOMES
 MIAMI-DADE COUNTY, FLORIDA

MODEL N006 HONOR
 1ST FLOOR PLAN
 SCALE: 1/8" = 1'-0"

A-5.3

RECEIVED MIAMI-DADE COUNTY PROCESS NO.: Z25-073 DATE: AUG 7 2025 BY: ISA



MODEL N006 HONOR
2ND FLOOR PLAN
DATE: 07-14

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KILDADJANI
STARR
ARCHITECTS + PLANNERS
11000 SW 15th Ave, Suite 100
Miami, FL 33185
Tel: 305.444.1100
www.ppkars.com

VILLACIS
BY: LENNAR HOMES
MIAMI-DADE COUNTY, FLORIDA

DATE: 07-14
DRAWN BY: MAB
CHECKED BY: ST
DATE: 07-14
SCALE: 1/8" = 1'-0"

A-5.4



MODEL N007 - NOVA	
TWO STORY / 2 BEDROOM + DEN + LOFT / 3 BATH	
AREA CALCULATION	
50' X 70' INT. LOT AREA	3,500.00 SF
1ST FLOOR AREA	1,780.00 SF
2ND FLOOR AREA	1,220.00 SF
TOTAL AREA	3,000.00 SF
TOTAL GARAGE	400.00 SF
TOTAL GROSS	3,400.00 SF
LOT COVERAGE	42.86 %

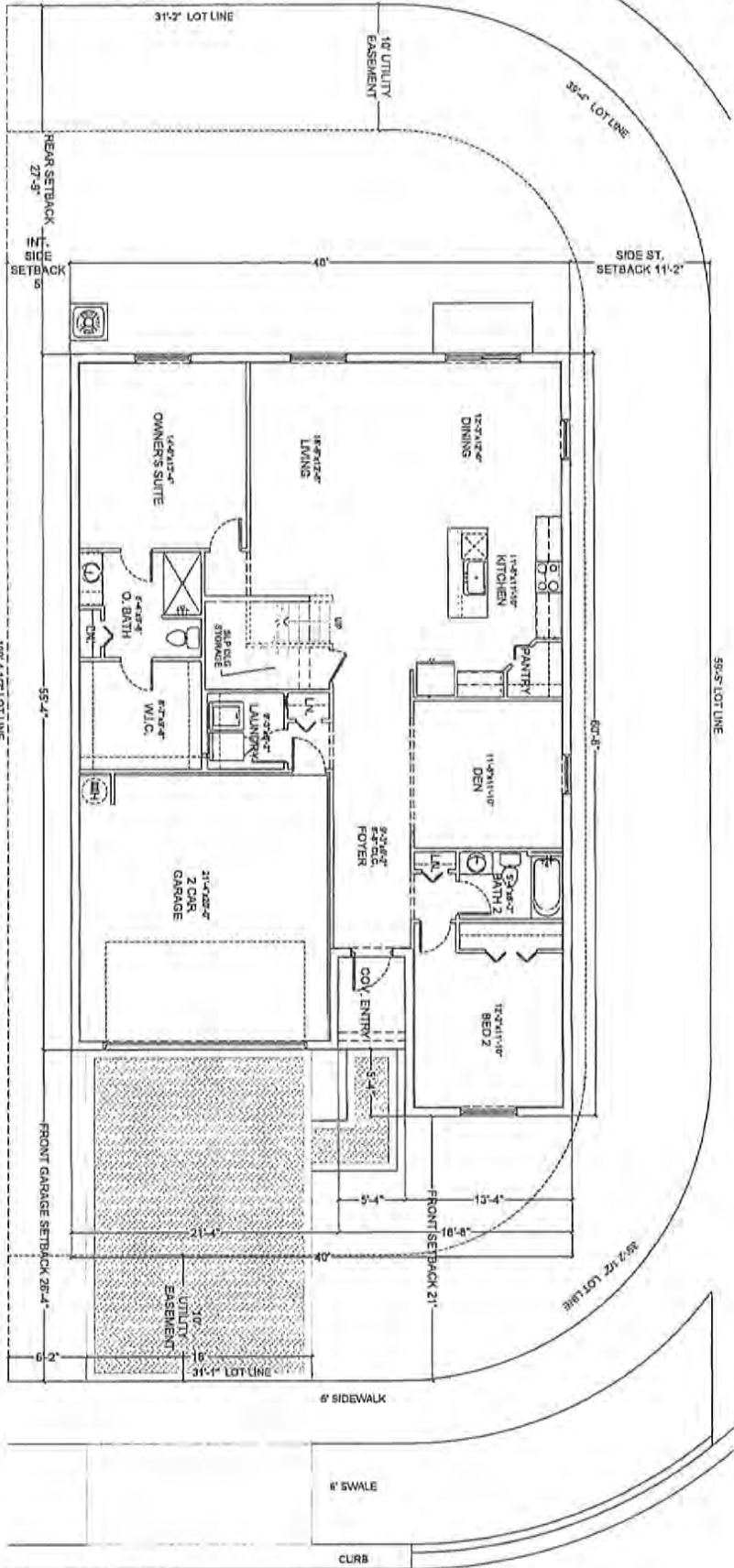
PROJECT: 11000 NOVA
 DATE: 08/07/25
 DRAWN: ASHLEY
 CHECKED: SA
 APPROVED: PAS

A-6

11000 NOVA

VILLACIS
 BY: LENNAR HOMES
 MIAMI-DADE COUNTY, FLORIDA

PEREZ PASQUA
 KLIDMAN STARR
 ARCHITECTS + PLANNERS
 11000 NOVA
 MIAMI, FL 33156
 (305) 555-1100
 WWW.PASQUA-PERAZ.COM



MODEL NO07-NOVA	
TWO STORY / 8 BEDROOM + DEN +	
LCFT / 3 BATH	
AREA CALCULATION	
CORNER LOT AREA	5,074.84 SF
1ST FLOOR AG	1,786.85 SF
2ND FLOOR AG	1,282.85 SF
TOTAL MEDIAN	3,069.70 SF
2 CAR GARAGE	468.00 SF
COV. ENTRY	38.00 SF
TOTAL GROSS	3,535.70 SF
LOT COVERAGE	32.82%
BLANK %	

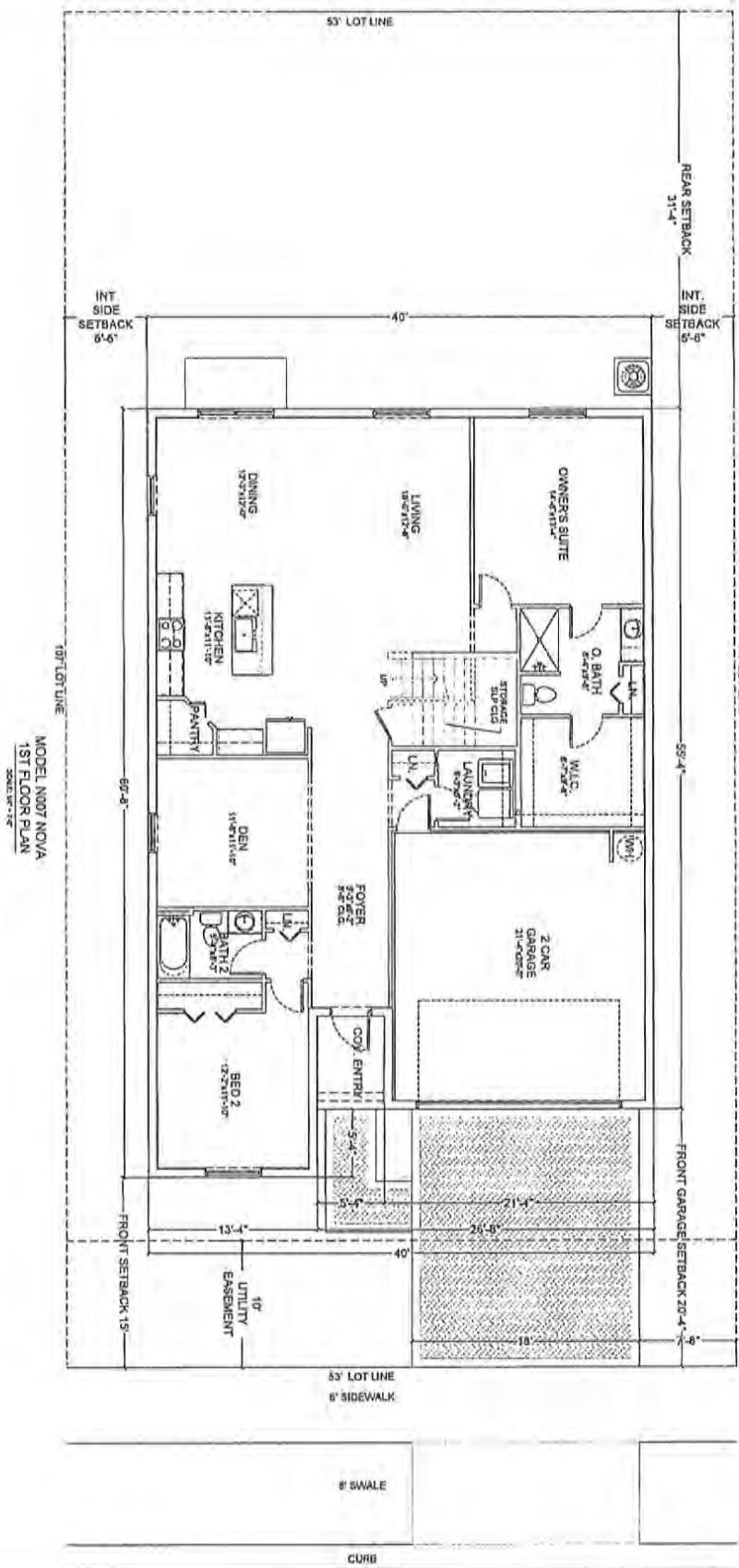
11/08/2024
 SHEET NO: 01
 PROJECT NO: 24-00000001
 DATE: 11/08/24
 BY: JMS
 CHECKED: JMS

A-6.1

VILLACIS
 BY: LENNAR HOMES
 MIAMI-DADE COUNTY, FLORIDA

PASCUAL
PEREZ
KALUDJIAN
STANB
 ARCHITECTS + PLANNERS

1100 NW 10th St
 Suite 100
 Miami, FL 33136
 Phone: 305.571.1111
 Email: info@pascualperez.com



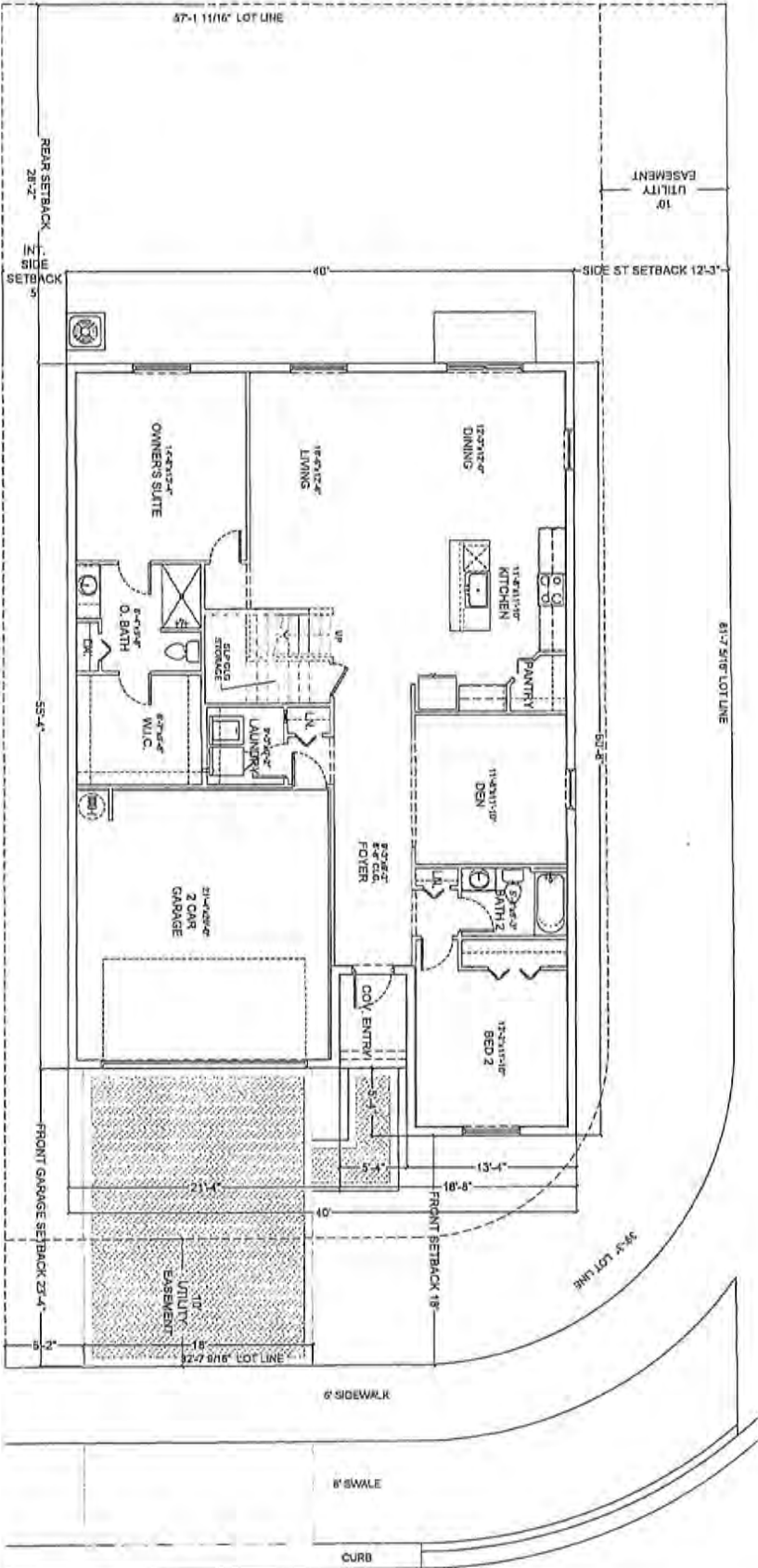
MODEL N007 - NOVA	
TWO STORY / 1/2 BEDROOM + DEN + LOFT / 3 BATH	
AREA CALCULATION	
55' X 107' INT. LOT AREA	5,871.20 SF
1/2 FLOOR AC	1,781 SF
2ND FLOOR AC	1,281 SF
TOTAL ABSLAC	3,061 SF
3 CAR GARAGE	420 SF
COV ENTRY	30 SF
TOTAL GROSS	3,517 SF
LOT COVERAGE	2,262 SF / 40.21 %

PASQUA
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ALICIAJI
STARR
 ARCHITECTS - PLANNERS
 1000 S. WASHINGTON AVENUE
 SUITE 1000
 MIAMI, FL 33130
 TEL: 305.375.1111
 WWW.PASQUAARCHITECTS.COM

VILLACIS
 BY: LENNAR HOMES
 MIAMI-DADE COUNTY, FLORIDA

NOVA
 MODEL N007 - NOVA
 1ST FLOOR PLAN
 SCALE: 1/8" = 1'-0"

A-6.2



MODEL N007 NOVA
1ST FLOOR PLAN
SCALE: 1/8" = 1'-0"

MODEL N007 - NOVA	
TWO STORY / 18 BEDROOM + DEN + LOFT / 7 BATH	
AREA CALCULATION	
CORNER LOT AREA	5,995.70 SF
1ST FLOOR AC	1,718 SF
2ND FLOOR AC	1,245 SF
TOTAL AREA AC	3,041 SF
2 CAR GARAGE	480 SF
COV. ENTRY	28 SF
TOTAL GROSS	3,527 SF
LOT COVERAGE	2,282 SF
	31.96 %

PASCUAL
PEREZ
KILODJIAN
STARR

ARCHITECTS - PLANNERS

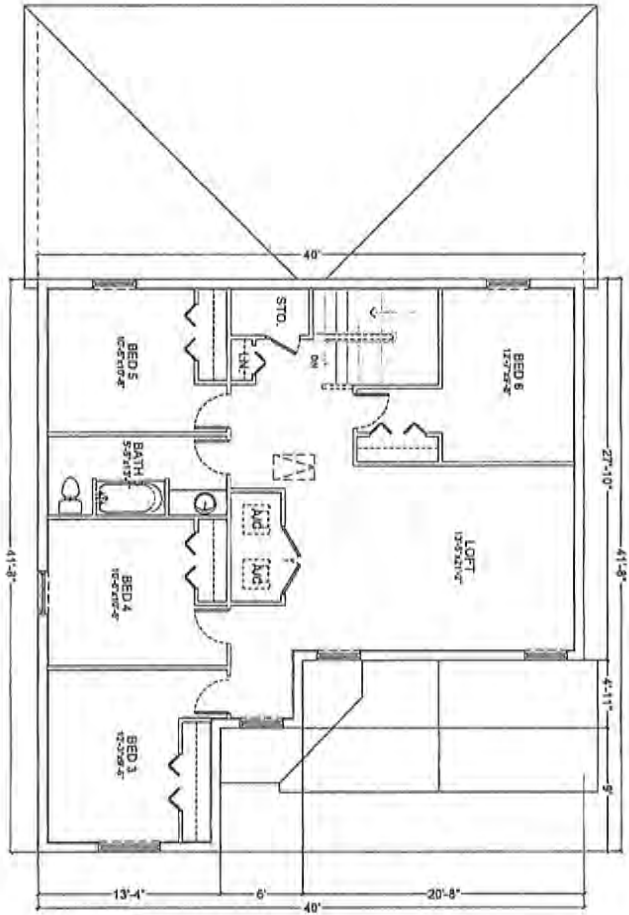
1100 N. W. 12th Ave., Suite 100
Miami, FL 33136
Tel: (305) 577-1100
Fax: (305) 577-1101
www.pascualperetz.com

VILLACIS
BY: LENNAR HOMES
MIAMI-DADE COUNTY, FLORIDA

NOV7 NOVA

DATE: 08/07/25
DRAWN BY: JPS
CHECKED BY: JPS

A-6.3

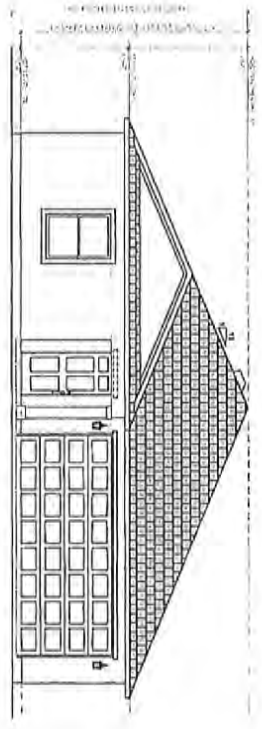


MODEL N007 NOVA
2ND FLOOR PLAN
SCALE: 1/8" = 1'-0"

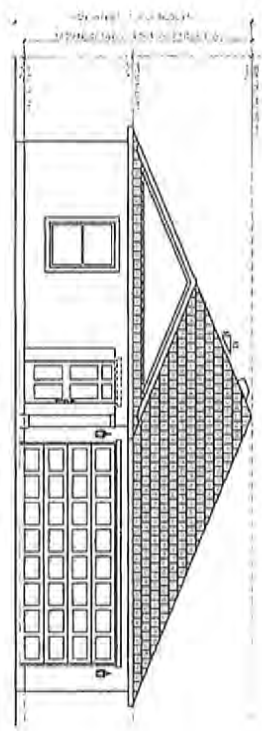
PASCUAL PEREZ
KHLODAMAN STARR
 ARCHITECTS • PLANNERS
 11000 SW 15th St., Suite 100
 Miami, FL 33185
 (305) 555-1100
 www.pascalperez.com

VILLACIS
 BY: LENNAR HOMES
 MIAMI-DADE COUNTY, FLORIDA

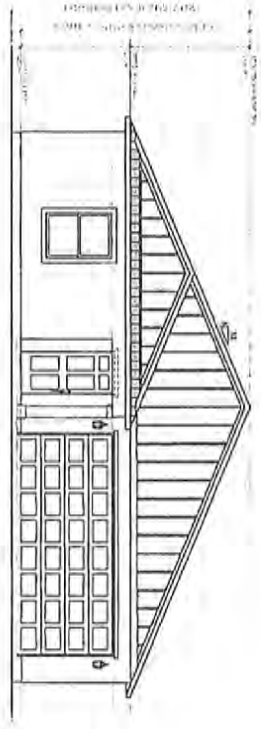
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NOV. 2024	NOV. 2024
NOV. 2024	NOV. 2024
NOV. 2024	NOV. 2024
NOV. 2024	NOV. 2024



MODEL N001 AURA - OPTION A
FRONT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



MODEL N001 AURA - OPTION B
FRONT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



MODEL N001 AURA - OPTION C
FRONT SIDE ELEVATION
SCALE: 1/8" = 1'-0"

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ARCHITECTS + PLANNERS

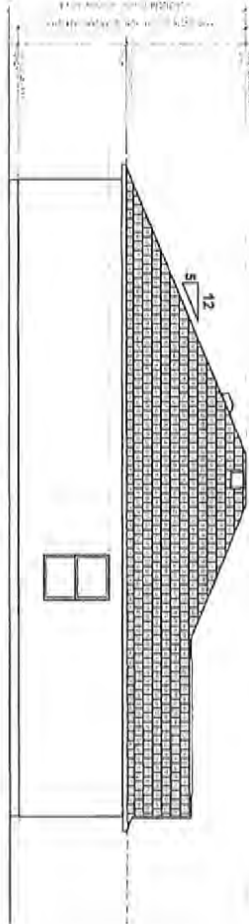
1000 N.W. 107th Ave., Suite 100
Miami, FL 33157
Tel: 305.555.1111
Fax: 305.555.1112
www.pascualperezkildojianstarr.com

VILLACIS
BY: LENNAR HOMES
MIAMI-DADE COUNTY, FLORIDA

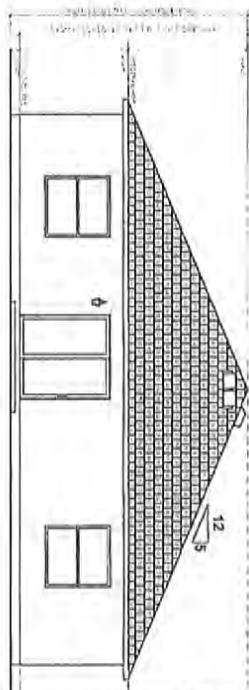
REVISIONS

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08/07/25	ISSUE FOR PERMIT
08/07/25	ISSUE FOR PERMIT
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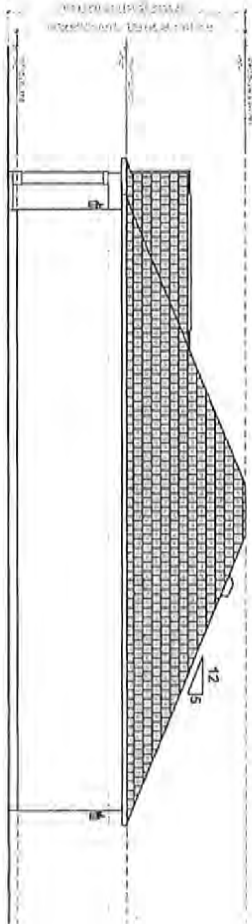
A-1.4



MODEL N001 AURA - OPTION TYP,
LEFT SIDE ELEVATION
SCALE 1/8" = 1'-0"



MODEL N001 AURA - OPTION TYP,
REAR ELEVATION
SCALE 1/8" = 1'-0"



MODEL N001 AURA - OPTION TYP,
RIGHT SIDE ELEVATION
SCALE 1/8" = 1'-0"

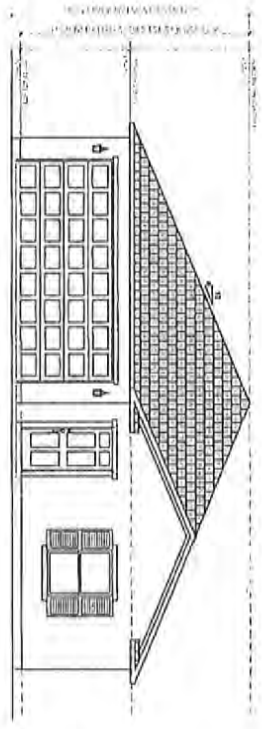
PASCUAL PEREZ KILUDJIAN STARR
ARCHITECTS + PLANNERS
10000 SW 15th Ave, Suite 100
Miami, FL 33185
Tel: 305.555.1234
www.pascualperez.com

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BY: LENNAR HOMES
MIAMI-DADE COUNTY, FLORIDA

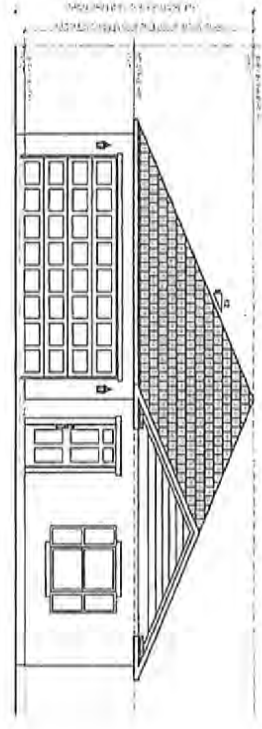
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A-1.5

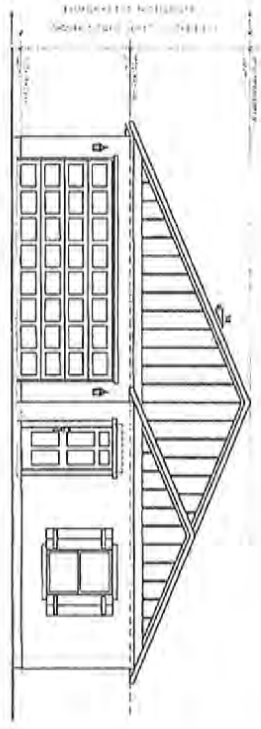
SHEET NO.



MODEL N002 BLOOM - OPTION A
FRONT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



MODEL N002 BLOOM - OPTION B
FRONT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



MODEL N002 BLOOM - OPTION C
FRONT SIDE ELEVATION
SCALE: 1/8" = 1'-0"

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10000 W. BIRCH AVE.
SUITE 100
MIAMI, FL 33155
TEL: 305.444.1111
WWW.PASCUALPEREZKILODJIANSTARR.COM

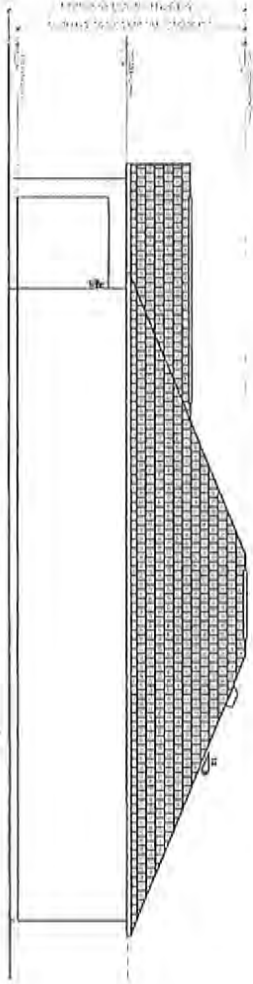
DATE: 08/14/2025
DRAWN BY: [Name]

VILLACIS
BY: LENNAR HOMES
MIAMI-DADE COUNTY, FLORIDA

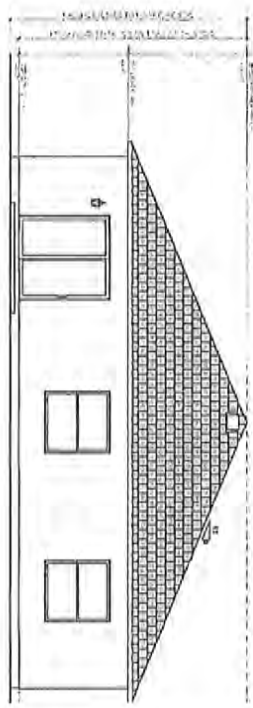
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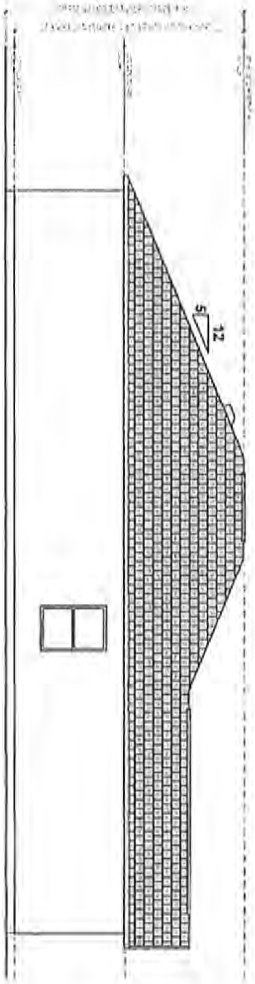
A-2.4



MODEL N002 BLOOM - OPTION TYP.
LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



MODEL N002 BLOOM - OPTION TYP.
REAR ELEVATION
SCALE: 1/8" = 1'-0"



MODEL N002 BLOOM - OPTION TYP.
RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"

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KILDOJIAN
STARR

ARCHITECTS & PLANNERS
1100 S.W. 15TH AVENUE, SUITE 200
MIAMI, FL 33135
TEL: 305.371.1100
WWW.PKSTARCHITECTS.COM

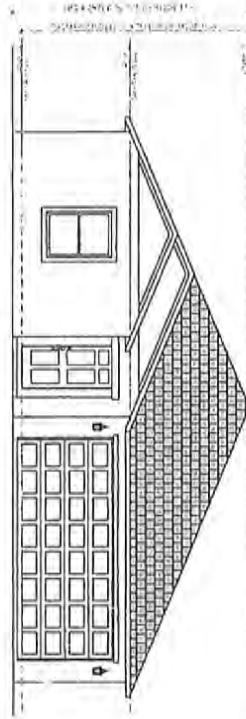
VILLACIS
BY: LENNAR HOMES
MIAMI-DADE COUNTY, FLORIDA

DATE: 08/07/25
DRAWN BY: APM/MS
CHECKED BY: JCS
SCALE: 1/8" = 1'-0"

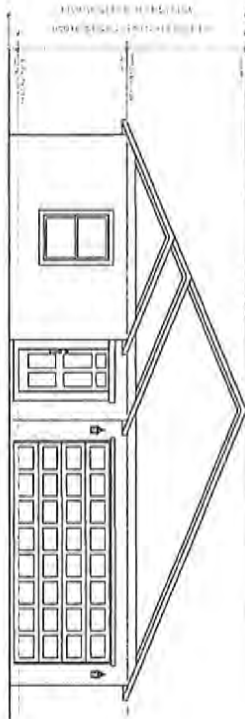
A-2.5



MODEL N003 CELESTE - OPTION A
FRONT ELEVATION
SCALE: 1/8" = 1'-0"



MODEL N003 CELESTE - OPTION B
FRONT ELEVATION
SCALE: 1/8" = 1'-0"



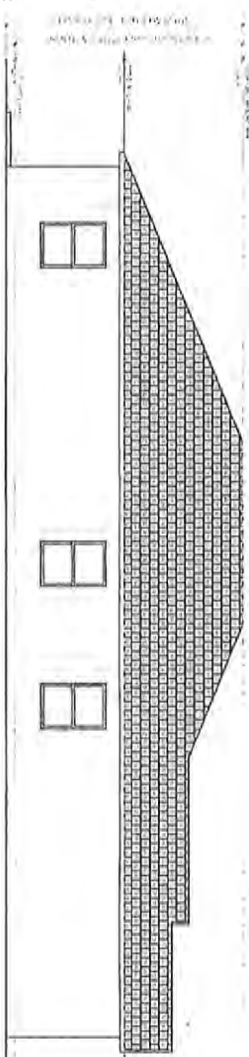
MODEL N003 CELESTE - OPTION C
FRONT ELEVATION
SCALE: 1/8" = 1'-0"

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PEREZ
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3000 N.W. 107th Ave., Suite 100
Miami, FL 33177
Tel: 305.444.1111
Fax: 305.444.1112
www.pasquaperez.com

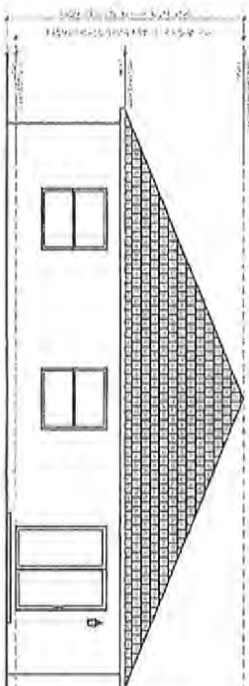
VILLACIS
BY: LENNAR HOMES
MIAMI-DADE COUNTY, FLORIDA

DATE: 2024-11-14
DRAWN BY: ALDORE
CHECKED BY: JRS
REVISIONS: 2/14

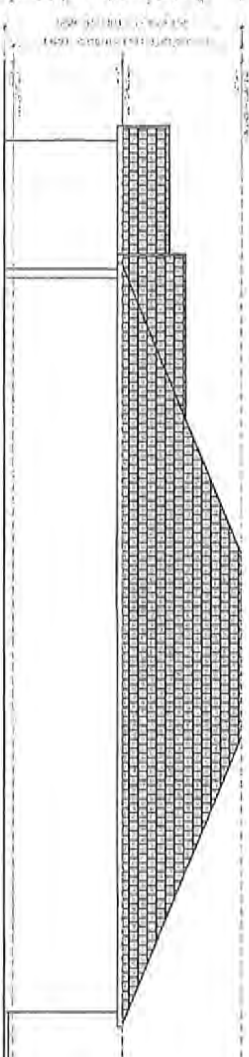
A-3.4



MODEL N003 CELESTE - OPTION TYP.
LEFT SIDE ELEVATION
SCALE 1/8" = 1'-0"



MODEL N003 CELESTE - OPTION TYP.
REAR ELEVATION
SCALE 1/8" = 1'-0"



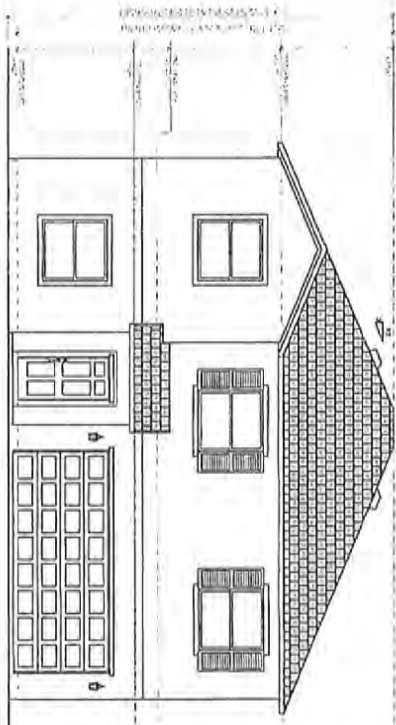
MODEL N003 CELESTE - OPTION TYP.
RIGHT SIDE ELEVATION
SCALE 1/8" = 1'-0"

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PEREZ
KILDOJAN
STABER
ARCHITECTS + PLANNERS
GENERAL CONTRACTOR
CONSTRUCTION MANAGEMENT
INTERIOR DESIGN
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MECHANICAL, ELECTRICAL, PLUMBING
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TRUCK AND TRAILER ACCESSORIES
TRUCK AND TRAILER FINANCING
TRUCK AND TRAILER LEASING
TRUCK AND TRAILER RENTALS
TRUCK AND TRAILER MAINTENANCE
TRUCK AND TRAILER INSURANCE
TRUCK AND TRAILER REGISTRATION
TRUCK AND TRAILER TITLING
TRUCK AND TRAILER SALES TAX
TRUCK AND TRAILER SALES
TRUCK AND TRAILER REPAIRS
TRUCK AND TRAILER ACCESSORIES
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TRUCK AND TRAILER MAINTENANCE
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TRUCK AND TRAILER SALES TAX
TRUCK AND TRAILER SALES

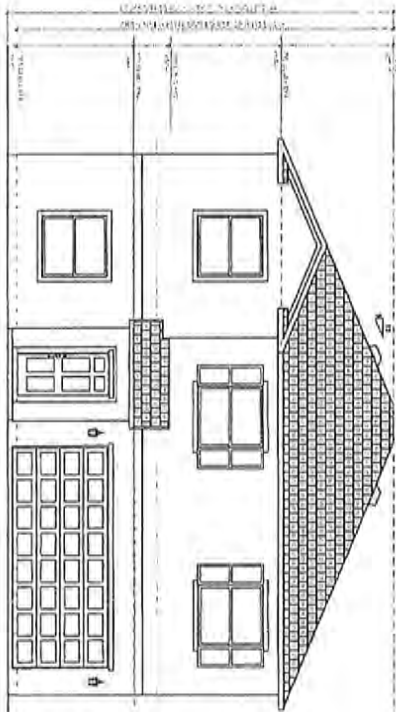
VILLACIS
BY: LENNAR HOMES
MIAMI-DADE COUNTY, FLORIDA

DATE: 08/07/2025
DRAWN BY: JAS/STABER
CHECKED BY: JAS/STABER
SCALE: AS SHOWN
PROJECT: 2503
SHEET: 01

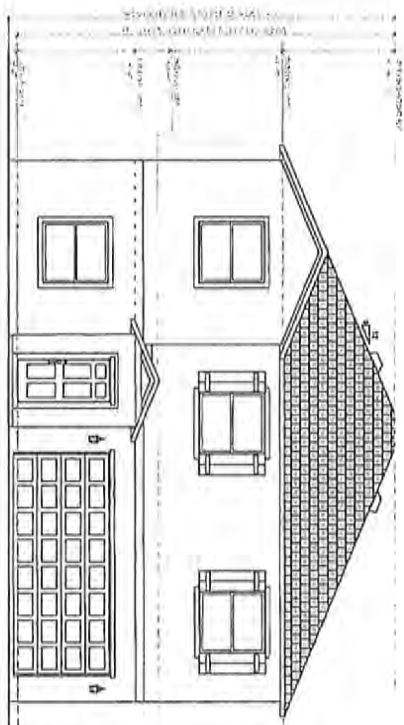
A-3.5



MODEL N005 ECLIPSE - OPTION A
FRONT ELEVATION
SCALE 1/8" = 1'-0"



MODEL N005 ECLIPSE - OPTION B
FRONT ELEVATION
SCALE 1/8" = 1'-0"



MODEL N005 ECLIPSE - OPTION C
FRONT ELEVATION
SCALE 1/8" = 1'-0"

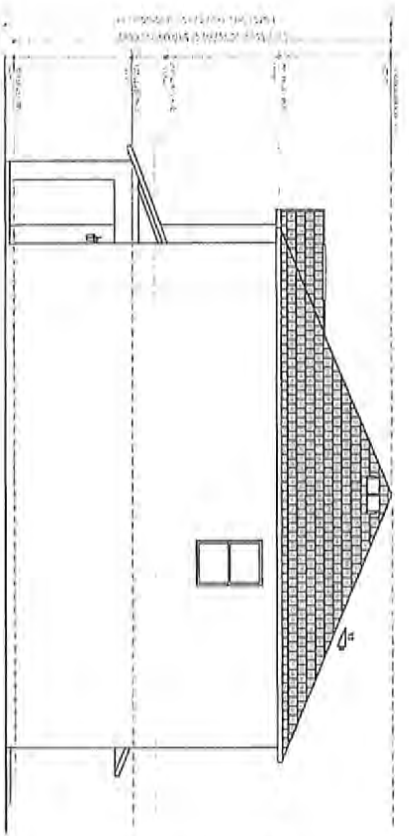
PASCUAL
PEREZ
KILDOJIAN
STARR
ARCHITECTS + PLANNERS

2017 PASCUAL, PEREZ, KILDOJIAN, STARR - ARCHITECTS + PLANNERS
1000 WEST 15TH AVENUE, SUITE 200
MIAMI, FL 33135
TEL: 305.371.1111
WWW.PKSTARCHITECTS.COM

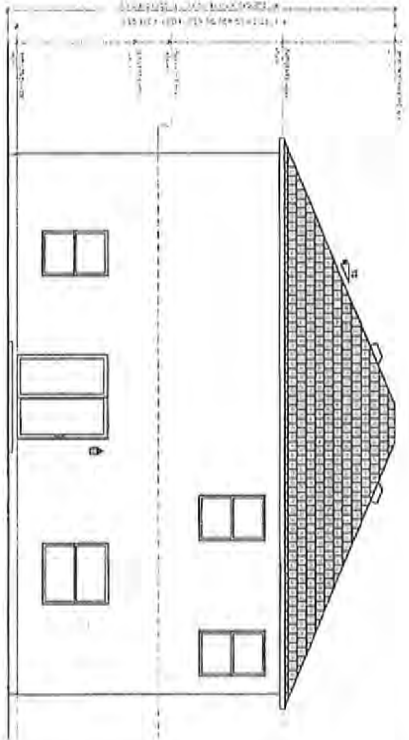
VILLACIS
BY: LENNAR HOMES
MIAMI-DADE COUNTY, FLORIDA

LINKWORKS
DWG: 20240414
DATE: 04/14/2024
PROJECT: VILLACIS
SHEET: A-4.5

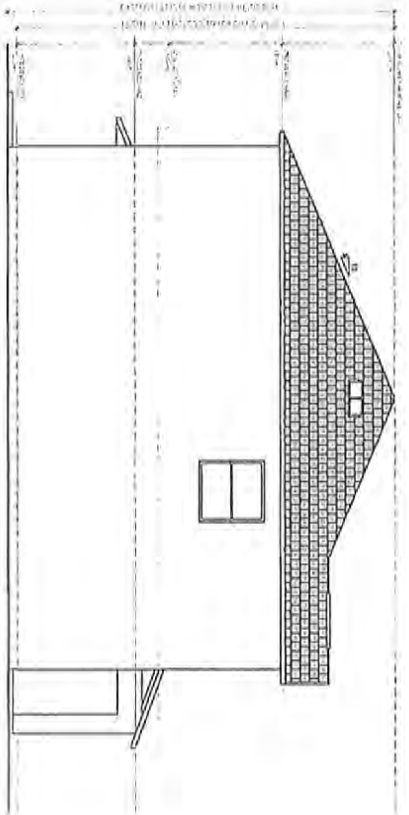
A-4.5



MODEL N005 ECLIPSE -OPTION TYP.
RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



MODEL N005 ECLIPSE -OPTION TYP.
REAR ELEVATION
SCALE: 1/8" = 1'-0"



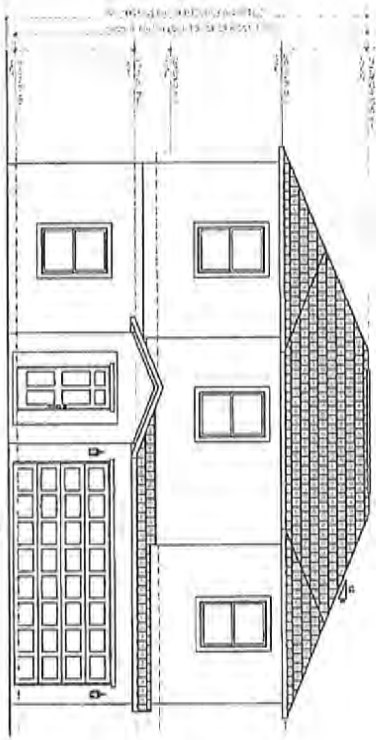
MODEL N005 ECLIPSE -OPTION TYP.
LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"

PASCUAL
PEREZ
KILLOJIAN
STARR
ARCHITECTS + PLANNERS

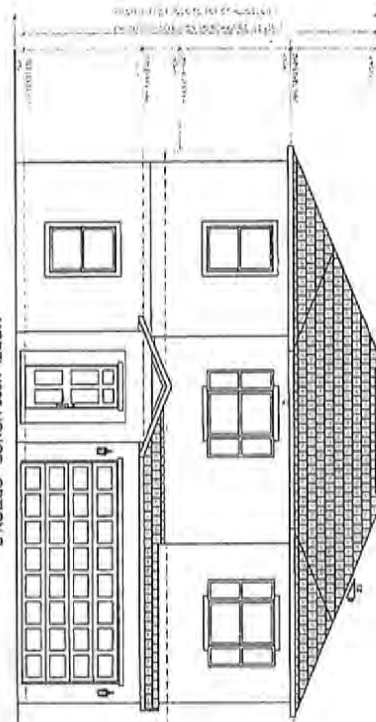
10000 W. BIRCH AVE.
SUITE 100
MIAMI, FL 33155
TEL: 305.444.1111
WWW.PASCUALPEREZKILLOJIANSTARR.COM

VILLACIS
BY: LENNAR HOMES
MIAMI-DADE COUNTY, FLORIDA

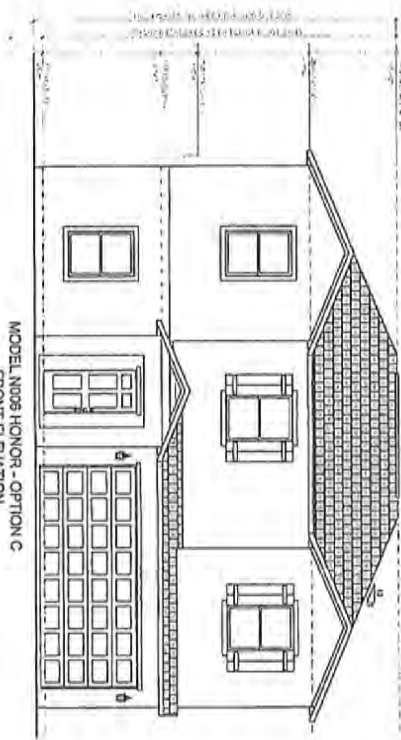
DATE: 08/07/2025
SCALE: 1/8" = 1'-0"
A-4.6



MODEL N006 HONOR - OPTION A
FRONT ELEVATION
SCALE: 1/8" = 1'-0"



MODEL N006 HONOR - OPTION B
FRONT ELEVATION
SCALE: 1/8" = 1'-0"



MODEL N006 HONOR - OPTION C
FRONT ELEVATION
SCALE: 1/8" = 1'-0"

PASCUAL
PEREZ
KILDOJIAN
STARR
ARCHITECTS - PLANNERS

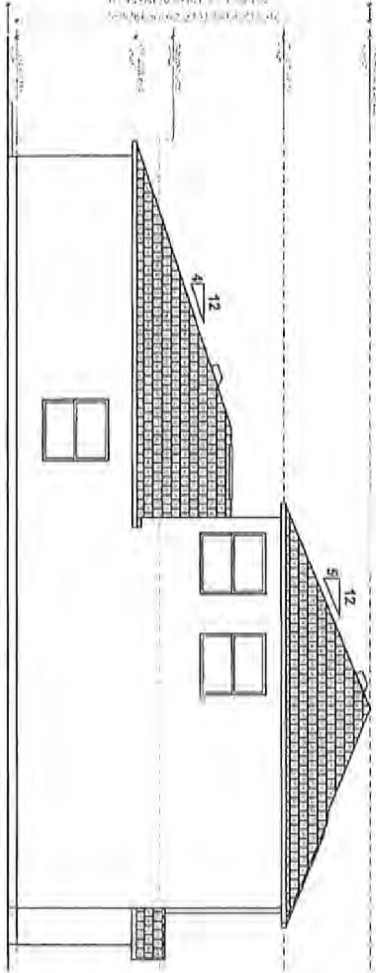
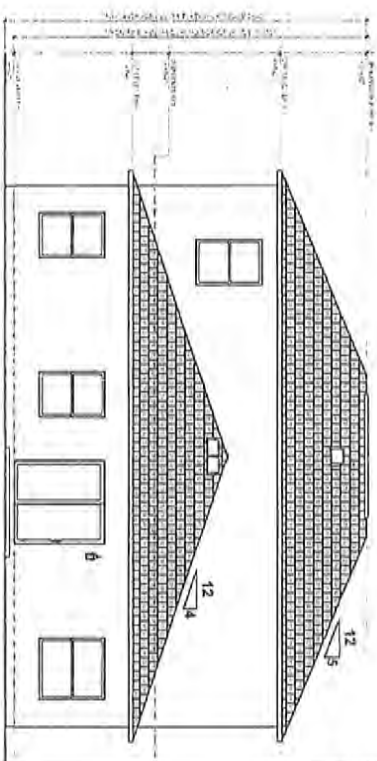
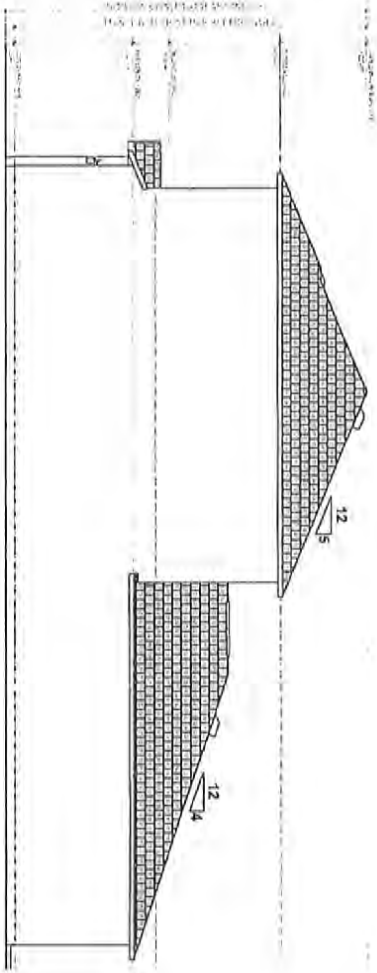
10000 W. BIRCH AVE. SUITE 100
MIAMI, FL 33155
TEL: 305.444.1111
WWW.PKSA.COM

VILLACIS
BY: LENNAR HOMES
MIAMI-DADE COUNTY, FLORIDA

REVISIONS

NO.	DATE	DESCRIPTION
1	08/07/25	ISSUED FOR PERMIT
2	08/07/25	ISSUED FOR PERMIT
3	08/07/25	ISSUED FOR PERMIT

A-5.5

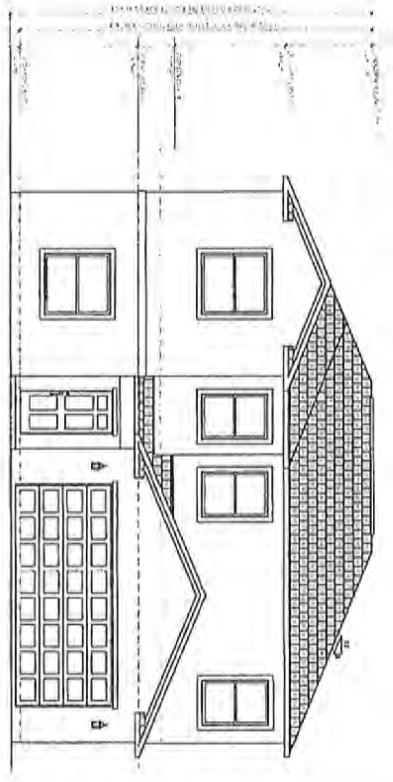


PASCUAL PEREZ
KILIDJIAN STARR
 ARCHITECTS - PLUMBERS

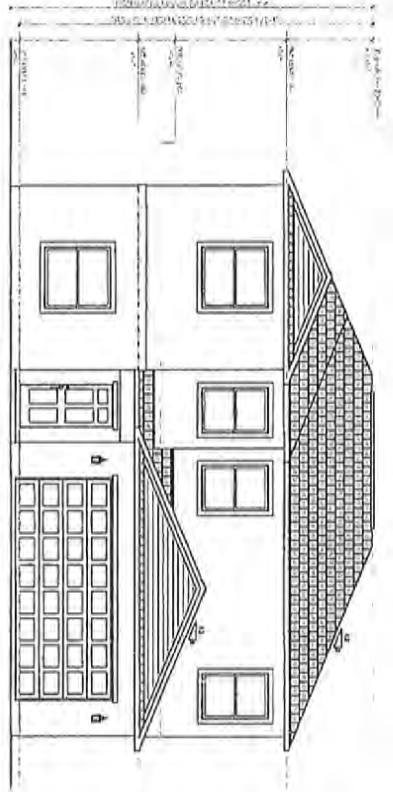
1000 N.W. 107th Ave., Suite 100
 Coral Gables, FL 33134
 Phone: 305.444.1111
 Fax: 305.444.1112
 Email: info@pascualperez.com

VILLACIS
 BY: LENNAR HOMES
 MIAMI-DADE COUNTY, FLORIDA

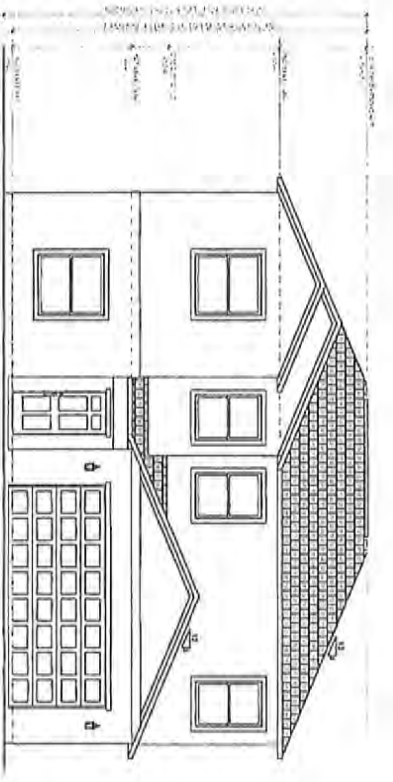
A-5.6



MODEL N007 NOVA - OPTION A
FRONT ELEVATION
SCALE: 1/8" = 1'-0"



MODEL N007 NOVA - OPTION B
FRONT ELEVATION
SCALE: 1/8" = 1'-0"



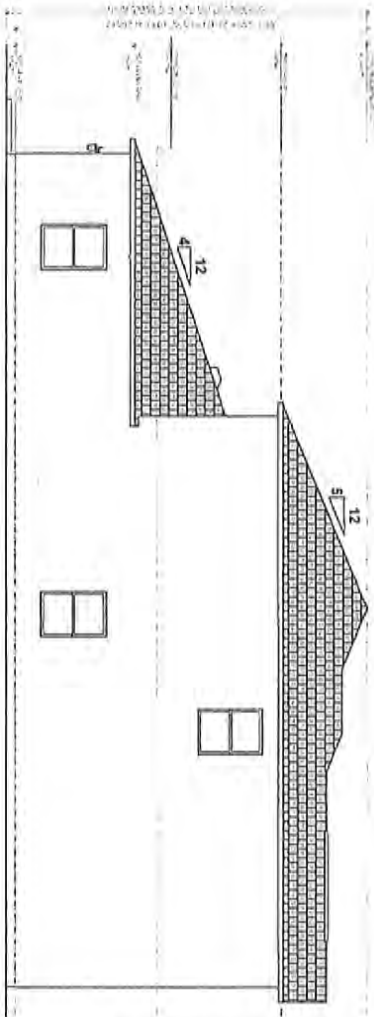
MODEL N007 NOVA - OPTION C
FRONT ELEVATION
SCALE: 1/8" = 1'-0"

PASCUAL PEREZ KILDONJIAN STARR
ARCHITECTS - PLANNERS
INCORPORATED
1100 S.W. 15th Avenue, Suite 200
Miami, Florida 33135
Tel: 305.371.1111
Fax: 305.371.1112
www.ppkst.com

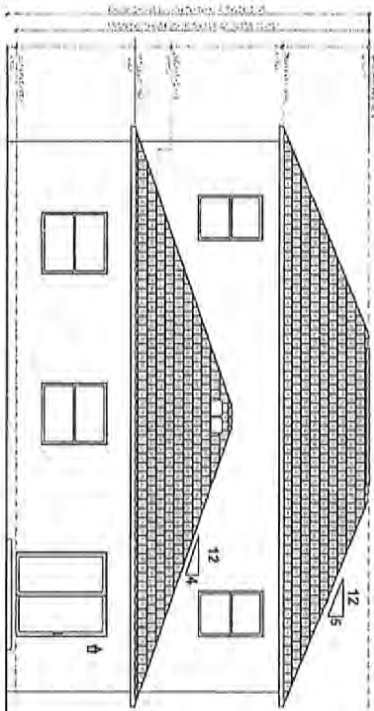
VILLACIS
BY: LENNAR HOMES
MIAMI-DADE COUNTY, FLORIDA

DATE: 08/07/25
DRAWN BY: J. PEREZ
CHECKED BY: J. PEREZ
SCALE: 1/8" = 1'-0"

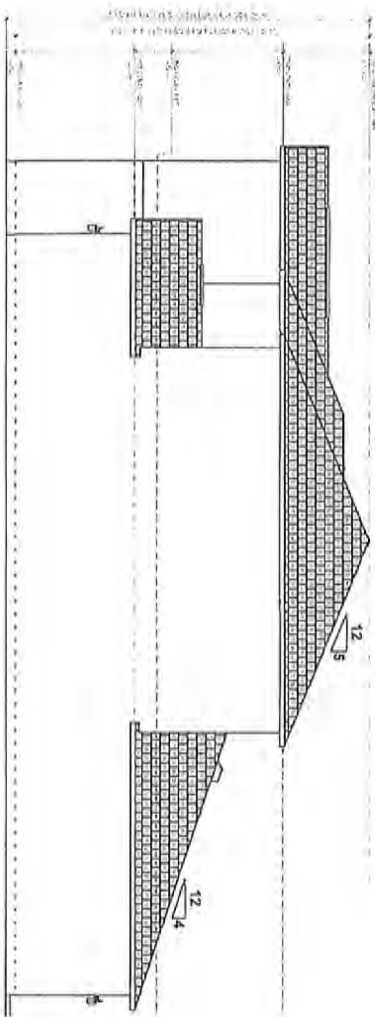
A-6.5



MODEL N007 NOVA -OPTION TYP.
RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



MODEL N007 NOVA -OPTION TYP.
REAR ELEVATION
SCALE: 1/8" = 1'-0"



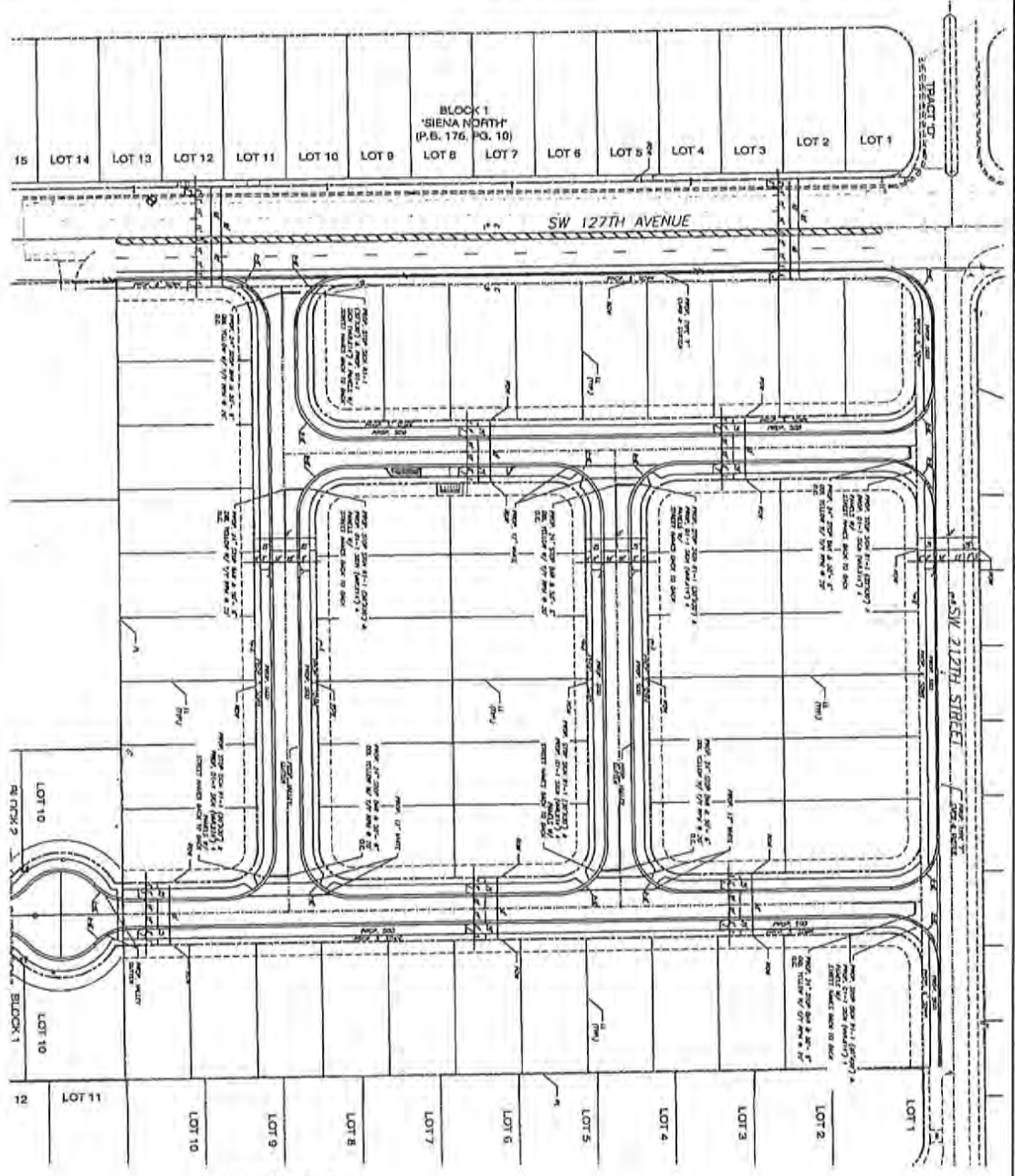
MODEL N008 HONDR -OPTION TYP.
LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"

PASCUAL PEREZ
KILINDJIAN STARR
ARCHITECTS + PLANNERS

DESIGNED BY: PASCUAL PEREZ, KILINDJIAN STARR
DRAWN BY: KILINDJIAN STARR
CHECKED BY: PASCUAL PEREZ, KILINDJIAN STARR
DATE: 08/07/2025
PROJECT: VILLACIS
SHEET: A-6.6

VILLACIS
BY: LENNAR HOMES
MIAMI-DADE COUNTY, FLORIDA

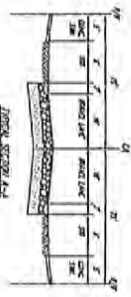
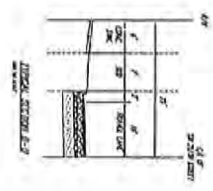
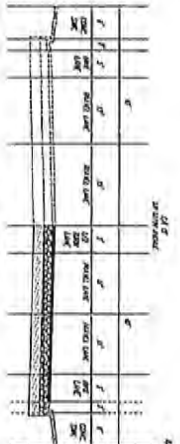
DATE: 08/07/2025
SCALE: 1/8" = 1'-0"
SHEET: A-6.6



CIVIL SITE PLAN
SCALE: 1" = 40'

Sunshine
CIVIL ENGINEERING
14000 SW 127th Avenue, Suite 100
Miami, FL 33186
Tel: 305-555-1234
Fax: 305-555-5678

ENGINEER'S CERTIFICATION:
I, **DAVID J. HADONNE**, a duly Licensed Professional Engineer in the State of Florida, License No. 12345, do hereby certify that the above is a true and correct copy of the original plans as submitted to me by the applicant, and that I am a duly Licensed Professional Engineer in the State of Florida, License No. 12345, and that I am the author of the above plans.



C-1

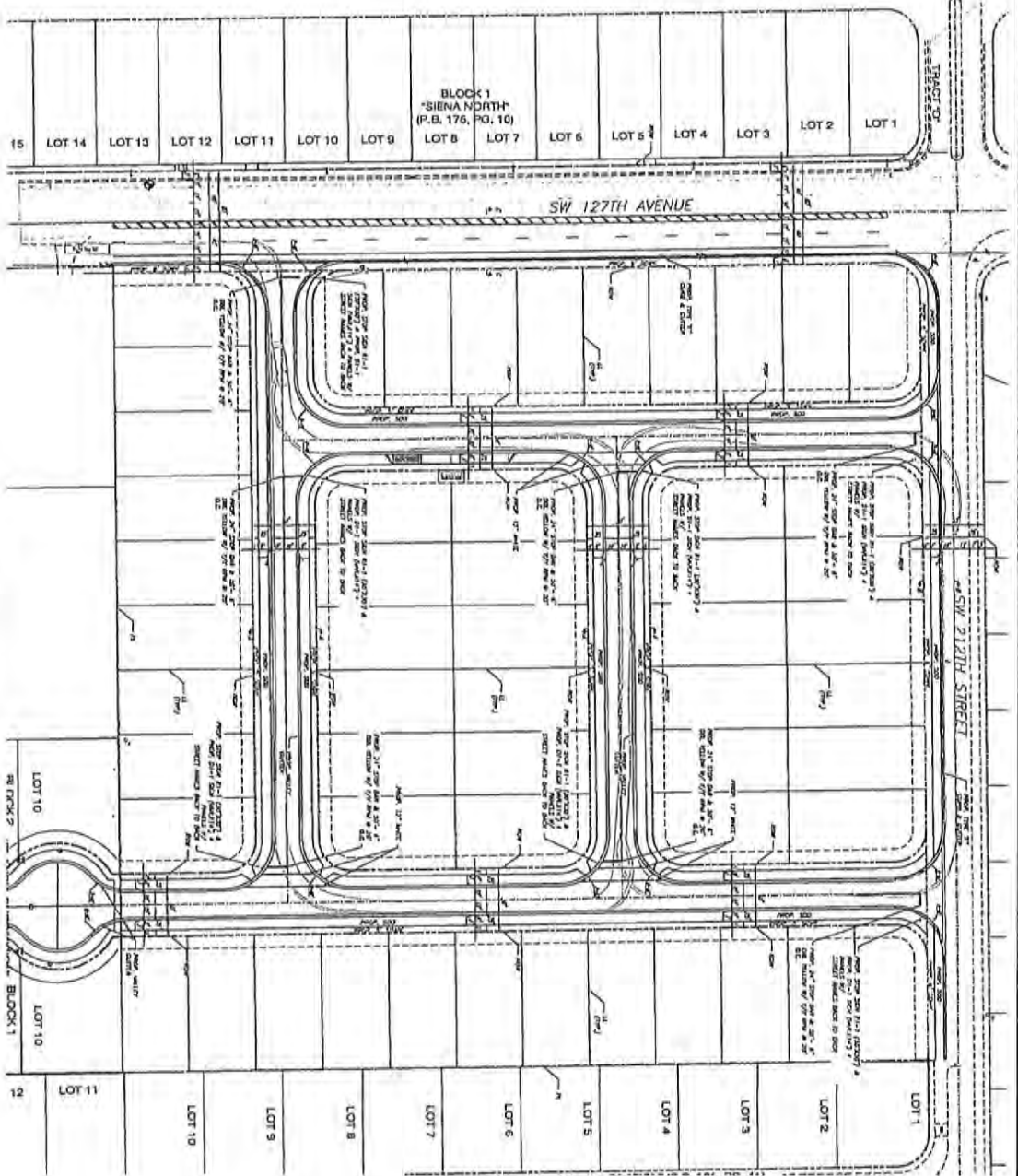
CIVIL SITE PLAN

Digitally signed by
David J. Hadonne
DN: cn=David J. Hadonne, o=Sunshine Civil Engineering, ou=Sunshine Civil Engineering, email=d.hadonne@sunshinecivil.com, c=US

PROJECT NO.	21082
DATE	08/07/23
SCALE	AS SHOWN
DESIGNED BY	DAVID J. HADONNE
CHECKED BY	DAVID J. HADONNE
DATE	08/07/23

VILLACIS
ORLANDO VILLACIS
515 SW 212 STREET AND SW 127 AVENUE, MIAMI, FL 33137

HADONNE
DAVID J. HADONNE, P.E.
LICENSED PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO. 12345
14000 SW 127th Avenue, Suite 100
Miami, FL 33186
Tel: 305-555-1234
Fax: 305-555-5678
www.sunshinecivil.com



GARBAGE TRUCK MANEUVERABILITY PLAN
SCALE: 1" = 50'



ENGINEER'S CERTIFICATION:
(NOT A PART OF V-DRAWN NOTES NOR V-DRAWN)
I, SUNIL K. CHAVHAN, being duly sworn, depose and say that I am the author of the above described plan and that the same was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer in the State of Florida, License No. 12512.

GARBAGE TRUCK PROFILE
SCALE: 1" = 50'

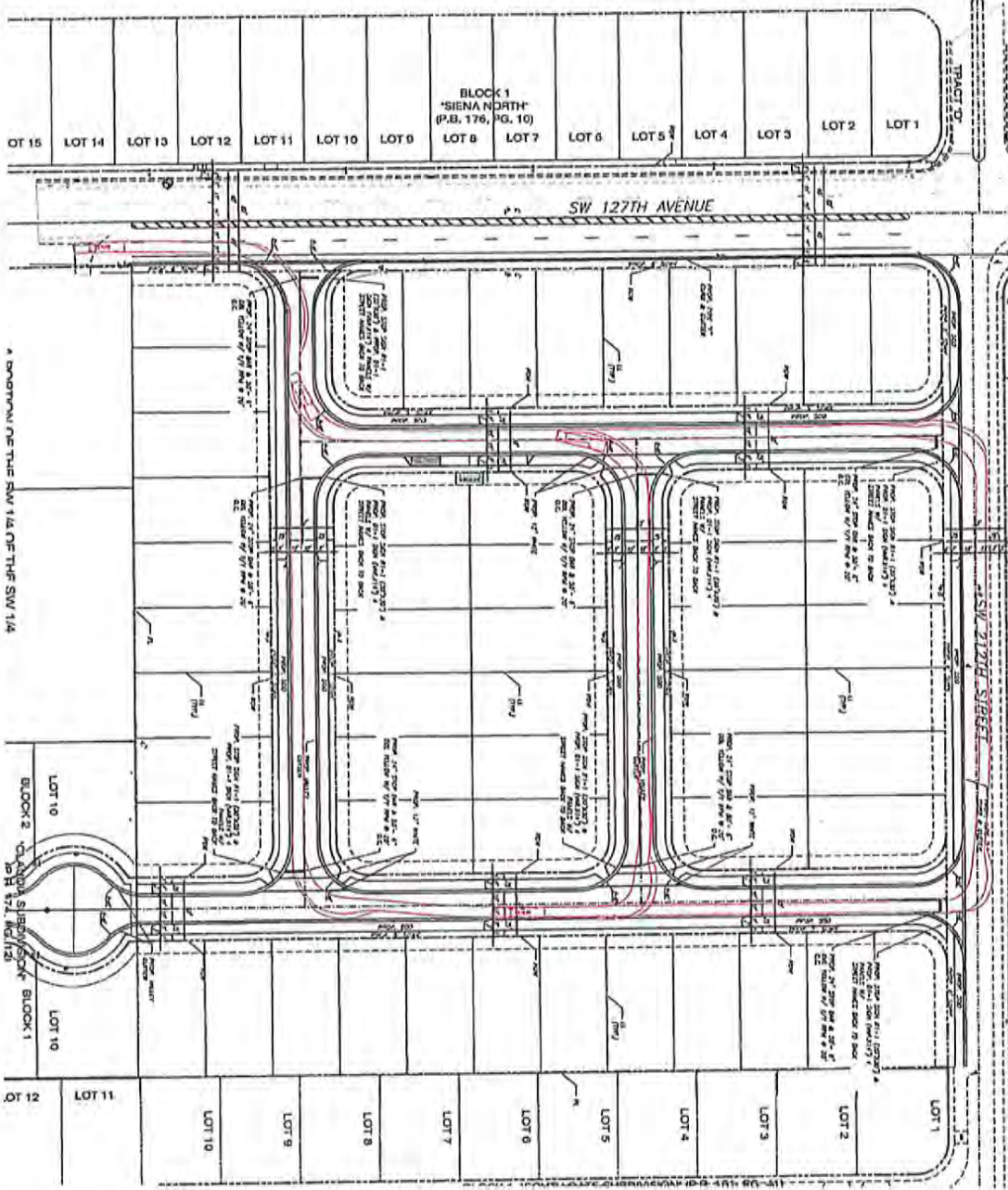


GARBAGE TRUCK MANEUVERABILITY PLAN
C-3

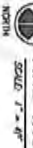
21052	DATE	21052
21052	BY	21052
21052	CHECKED	21052
21052	APPROVED	21052
21052	DATE	21052

VILLACIS
ORLANDO VILLACIS
5W 212 STREET AND SW 127 AVENUE, MIAMI, FL 33177

HADONNE
1700 N.W. 25th Street, Suite 100, Ft. Lauderdale, FL 33309
Tel: 954.561.1111 | Fax: 954.561.1112 | Email: info@hadonne.com



FIRE TRUCK MANEUVERABILITY PLAN



* DIRECTION OF THE SW 1/4 OF THE SW 1/4

Sunshine
 Call to see our performance and the difference between our fire truck maneuverability plan and other fire truck maneuverability plans.



ENGINEER'S CERTIFICATION:
 I, Q. WILLIAMS, a Professional Engineer in the State of Florida, License No. 12543, do hereby certify that the above information was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Florida.



FIRE TRUCK PROFILE
 SCALE: 1" = 20'

C-2
 FIRE TRUCK MANEUVERABILITY PLAN

PROJECT NO.	21062
DATE	7/20/25
DESIGNED BY	Q. WILLIAMS
CHECKED BY	Q. WILLIAMS
DATE	7/20/25

NO.	DATE	DESCRIPTION
1	7/20/25	ISSUED FOR PERMIT
2	7/20/25	ISSUED FOR PERMIT
3	7/20/25	ISSUED FOR PERMIT
4	7/20/25	ISSUED FOR PERMIT
5	7/20/25	ISSUED FOR PERMIT
6	7/20/25	ISSUED FOR PERMIT
7	7/20/25	ISSUED FOR PERMIT
8	7/20/25	ISSUED FOR PERMIT
9	7/20/25	ISSUED FOR PERMIT
10	7/20/25	ISSUED FOR PERMIT
11	7/20/25	ISSUED FOR PERMIT
12	7/20/25	ISSUED FOR PERMIT
13	7/20/25	ISSUED FOR PERMIT
14	7/20/25	ISSUED FOR PERMIT
15	7/20/25	ISSUED FOR PERMIT

VILLACIS
 ORLANDO VILLACIS
 87 SW 212 STREET AND SW 127 AVENUE, MIAMI, FL 33137



DISCLOSURE OF INTEREST*

If a **CORPORATION** owns or leases the subject property, list principal, stockholders and percent of stock owned by each. [Note: Where principal officers or stockholders consist of other corporation(s), trust(s), partnership(s) or similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

CORPORATION NAME: Lennar Homes, LLC, a Florida limited liability company

NAME AND ADDRESS	Percentage of Stock
<u>Lennar Corporation * - 5505 Waterford District Drive, Miami FL 33126</u>	<u>99%</u>
<u>U.S. Home Corporation (a wholly owned subsidiary of Lennar Corporation*, aa publicly traded company)</u>	<u>1%</u>

* Lennar Corporation is a publicly traded company on the NYSE: LEN

If a **TRUST** or **ESTATE** owns or leases the subject property, list the trust beneficiaries and percent of interest held by each. [Note: Where beneficiaries are other than natural persons, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

TRUST/ESTATE NAME: Estate of Orlando Villacis

NAME AND ADDRESS	Percentage of Interest
<u>GIACOMO VILLACIS 797 TANGLEWOOD CIR, WESTON, FL</u>	<u>AS PER</u>
<u>ERIC ANDRES VILLACIS 235 PHOENIX BLVD APT 324, MIAMI, GA</u>	<u>WILL BE IN</u>
<u>DIEGO VILLACIS 50 DYESS AVE. SANTA RITA, GU 96715</u>	<u>PROBATED</u>
<u>JUAN PABLO VILLACIS 797 TANGLEWOOD CIR, WESTON, FL</u>	
<u>ORLANDO VILLACIS 4404 E 14 ST APT 1405, BROWNSVILLE, TX</u>	
<u>BERNARDO VILLACIS 5010 W. BROAD ST APT 1512, SUGAR HILL, GA</u>	
<u>(SARAH) VILLACIS (DAUGHTER) 797 TANGLEWOOD CIR, WESTON, FL</u>	

If a **PARTNERSHIP** owns or leases the subject property, list the principals including general and limited partners. [Note: Where partner(s) consist of other partnership(s), corporation(s), trust(s) or similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interests].

PARTNERSHIP OR LIMITED PARTNERSHIP NAME: _____

NAME AND ADDRESS	Percentage of Ownership

If there is a **CONTRACT FOR PURCHASE** by a Corporation, Trust or Partnership, list purchasers below including principal officers, stockholders, beneficiaries or partners. [Note: Where principal officers, stockholders, beneficiaries or partners consist of other corporations, trusts, partnerships or similar entities, further disclosure shall be made to identify natural persons having ultimate ownership interests].

NAME OF PURCHASER: Lennar Homes, LLC, a Florida limited liability company

NAME AND ADDRESS (if applicable)	Percentage of Interest
(see above)	

Date of contract: Confidential

If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership or trust:

NOTICE: For changes of ownership or changes in purchase contracts after the date of the application, but prior to the date of final public hearing, a supplemental disclosure of interest is required.

The above is a full disclosure of all parties of interest in this application to the best of my knowledge and belief.

Gioconda Villacis as Personal Representative of the Estate of Orlando Villacis

By: 
Print Name: **Gioconda Villacis**
Title: **Personal Representative**

Sworn to and subscribed before me this 7 day of April, 2025. Affiant is personally known to me or has produced _____ as identification.


(Notary Public)



My commission expires _____

*Disclosure shall not be required of: 1) any entity, the equity interests in which are regularly traded on an established securities market in the United States or another country; or 2) pension funds or pension trusts of more than five thousand (5,000) ownership interests; or 3) any entity where ownership interests are held in a partnership, corporation or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership and where no one (1) person or entity holds more than a total of five per cent (5%) of the ownership interest in the partnership, corporation or trust. Entities whose ownership interests are held in a partnership, corporation, or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership, shall only be required to disclose those ownership interest which exceed five (5) percent of the ownership interest in the partnership, corporation or trust.

This instrument was prepared by:

Name: Amanda M. Naldjieff, Esq.
Address: Holland & Knight LLP
701 Brickell Avenue, Suite 3300
Miami, Florida 33131

(Space Reserved for Clerk of the Court)

DECLARATION OF RESTRICTIONS

WHEREAS, the undersigned owner, Gioconda Portalluppi De Villacis, a/k/a Gioconda Villacis, as Personal Representative of the Estate of Orlando Villacis (the "Owner"), holds the fee simple title to the land in Miami-Dade County, Florida (the "County"), described in Exhibit "A," attached hereto (the "Property"), which is supported by the attorney's opinion, and

WHEREAS, the Owner has filed a zoning hearing application with the County's Department of Regulatory and Economic Resources, which application is identified as Public Hearing Application No. Z2025000073 (the "Zoning Application"), for the purpose of seeking the approval of a District Boundary Change from AU (Agricultural District) to RU-1M(a) (Modified Single-Family Residential District) and site plan approval to facilitate the future residential development of the Property; and

WHEREAS, the approval of the requested RU-1M(a) zoning district would allow for the development of up to sixty-one (61) residential dwelling units, as permitted under the Property's Low-Density Residential Comprehensive Development Master Plan (the "CDMP") Future Land Use Plan Map (the "LUP Map") designation.

NOW, THEREFORE, IN ORDER TO ASSURE Miami-Dade County, Florida (the "County") that the representations made by the Owner during the County's consideration of the

Zoning Application will be abided by, the Owner freely, voluntarily and without duress, make the following Declaration of Restrictions covering and running with the Property:

1. That the foregoing recitals are incorporated as if fully set forth herein.
2. **Residential Density.** The development of the Property shall be limited to a maximum of fifty-four (54) dwelling units.
3. **Controlling Plans.** The Property shall be developed substantially in accordance with plans submitted in connection with the Application entitled "Villacis," with architectural plans prepared by Pascual, Perez, Kiliddjian, and Starr, consisting of 41 sheets; landscape plans prepared by WHP Witkin Hults + Partners, Landscape Architecture, consisting of 16 sheets; and civil plans prepared by Hadonne, consisting of 3 sheets, for a total of 60 sheets dated and stamped received August 7, 2025 (the "Plans"). The Plans are on file with the County's Department of Regulatory and Economic Resources (the "Department").
4. **County Inspection.** As further part of this Declaration, it is hereby understood and agreed that any official inspector of Miami-Dade County, or its agents duly authorized, may have the privilege at any time during normal working hours of entering and inspecting the use of the premises to determine whether or not the requirements of the building and zoning regulations and the conditions herein agreed to are being complied with.
5. **Covenant Running with the Land.** This Declaration on the part of the Owner shall constitute a covenant running with the land and may be recorded, at Owner's expense, in the public records of Miami-Dade County, Florida and shall remain in full force and effect and be binding upon the undersigned Owner, and their heirs, successors and assigns until such time as the same is modified or released. These restrictions during their lifetime shall be for the benefit of, and limitation upon, all present and future owners of the real property and for the benefit of Miami-Dade

County and the public welfare. The Owner, heirs, successors and assigns, acknowledge that acceptance of this Declaration does not in any way obligate or provide a limitation on the County.

6. **Term.** This Declaration is to run with the land and shall be binding on all parties and all persons claiming under it for a period of thirty (30) years from the date this Declaration is recorded after which time it shall be extended automatically for successive periods of ten (10) years each, unless an instrument signed by the then-owner(s) of the Property has been recorded agreeing to change the covenant in whole, or in part, provided that the Declaration has first been modified or released by Miami-Dade County.

7. **Modification, Amendment, Release.** This Declaration may be modified, amended or released as to the Property, or any portion thereof, by a written instrument executed by the then-owner(s) of the property, including joinders of all mortgagees, if any, provided that the same is also approved by the Board of County Commissioners or Community Zoning Appeals Board of Miami-Dade County, Florida, whichever by law has jurisdiction over such matters, or the Director as provided by the Miami-Dade County Code of Ordinances. It is provided, however, in the event that the Property is annexed to an existing municipality or the Property is incorporated into a new municipality, any modification, amendment, or release shall not become effective until it is approved by such municipality and is thereafter approved by the Board of County Commissioners, in accordance with applicable procedures.

8. **Enforcement.** Enforcement shall be by action against any parties or person violating, or attempting to violate, any covenants. The prevailing party in any action or suit pertaining to or arising out of this declaration shall be entitled to recover, in addition to costs and disbursements allowed by law, such sum as the Court may adjudge to be reasonable for the services of his attorney. This enforcement provision shall be in addition to any other remedies available at law, in equity or both.

9. **Authorization for Miami-Dade County to Withhold Permits and Inspections.** In the event the terms of this Declaration are not being complied with, in addition to any other remedies available, the County is hereby authorized to withhold any further permits, and refuse to make any inspections or grant any approvals, until such time as this declaration is complied with.

10. **Election of Remedies.** All rights, remedies and privileges granted herein shall be deemed to be cumulative and the exercise of any one or more shall neither be deemed to constitute an election of remedies, nor shall it preclude the party exercising the same from exercising such other additional rights, remedies or privileges.

11. **Presumption of Compliance.** Where construction has occurred on the Property or any portion thereof, pursuant to a lawful permit issued by the County, and inspections made and approval of occupancy given by the County, then such construction, inspection and approval shall create a rebuttable presumption that the buildings or structures thus constructed comply with the intent and spirit of this Declaration.

12. **Severability.** Invalidation of any one of these covenants, by judgment of Court, shall not affect any of the other provisions which shall remain in full force and effect. However, if any material portion is invalidated, the County shall be entitled to revoke any approval predicated upon the invalidated portion.

13. **Recording.** This Declaration shall be filed of record in the public records of Miami-Dade County, Florida at the cost of the Owner following the approval of the Application. This Declaration shall become effective immediately upon recordation. Notwithstanding the previous sentence, if any appeal is filed, and the disposition of such appeal results in the denial of the application, in its entirety, then this Declaration shall be null and void and of no further effect. Upon the disposition of an appeal that results in the denial of the Application, in its entirety, and

upon written request, the Director of the Regulatory and Economic Resources Department or the executive officer of the successor of said department, or in the absence of such director or executive officer by his/her assistant in charge of the office in his/her absence, shall forthwith execute a written instrument, in recordable form, acknowledging that this Declaration is null and void and of no further effect.

14. **Acceptance of Declaration.** Acceptance of this Declaration does not obligate the County in any manner, nor does it entitle the Owner to a favorable recommendation or approval of any application, zoning or otherwise, and the Board of County Commissioners and/or any appropriate Community Zoning Appeals Board retains its full power and authority to deny each such application in whole or in part and to decline to accept any conveyance or dedication.

15. **Owner.** The term Owner shall include the Owner, and its heirs, successors, and assigns.

[EXECUTION PAGES FOLLOW]

IN WITNESS WHEREOF, we have executed this Declaration of Restrictions as of this _____ day
of _____ 2025.

WITNESSES:

Gioconda Villacis,
as Personal Representative of the Estate of Orlando
Villacis.

Signature

Printed Name

Address

By: _____
Name: _____
Title: _____
Address: _____

Signature

Printed Name

Address

STATE OF FLORIDA)
) SS
COUNTY OF MIAMI-DADE)

The foregoing instrument was acknowledged before me by means of physical presence []
or online notarization [] by Gioconda Villacis, as Personal Representative of the Estate of Orlando
Villacis, who is personally known to me or has produced _____
as identification.

Witness my signature and official seal this _____ day of _____, 2025, in the County
and State aforesaid.

My Commission Expires:

Notary Public

Printed Name

RECEIVED MIAMI-DADE COUNTY PROCESS NO.: Z25-073 DATE: SEP 11 2025 BY: ISA

EXHIBIT "A"
LEGAL DESCRIPTION

The North 1/2 of the West 1/2 of the Southwest 1/4 of the Southwest 1/4 of Section 12, township 56 South, Range 39 East, lying and being Miami-Dade County, Florida.

OPINION OF TITLE

To: MIAMI-DADE COUNTY

With the understanding that this Opinion of Title is furnished to Miami-Dade County, as an inducement for acceptance of a Covenant Running With the Land pursuant to Chapter 24, Code of Miami-Dade County, covering the real property, hereinafter described (the "Covenant") it is hereby certified that I have examined CalAtlantic National Title Solutions, LLC Commitment No. CTS-2419479FL, covering the period from the beginning to the 8th day of May, 2025, at the hour of 8:00 a.m., inclusive, of the property described on Exhibit "A" hereto. I know of no reason that this Title Commitment is inaccurate or incomplete.

I am of the opinion that on the last mentioned date, the fee simple title to the above-described real property was vested in:

Orlando Villacis (the "Deceased")

Further, I am of the opinion that pursuant to the Court Order Authorizing Sale of Real Property by the Circuit Court of the 17th Judicial Circuit in and for Broward County, Florida, Case No. PRC220001866, Division 61J, dated December 10, 2024, that Gioconda Portaluppi De Villacis a/k/a Gioconda Villacis, as Personal Representative of the Estate of Orlando Villacis, is authorized to execute all documents on behalf of the Deceased.

Subject to the following encumbrances, liens, and other exceptions:

1. RECORDED MORTGAGES:

None.

2. RECORDED CONSTRUCTION LIENS, CONTRACT LIENS AND JUDGMENTS:

None.

3. GENERAL EXCEPTIONS:

1. All taxes for the year 2025 and subsequent years.
2. Rights of persons other than the above owners who are in possession.
3. Facts that would be disclosed upon accurate survey.

4. Any unrecorded labor, mechanics' or materialmen's liens.
5. Zoning and other restrictions imposed by governmental authority.
6. Any dispute as to the boundaries caused by a change in the location of any water body within or adjacent to the land and any adverse claim to all or part of the land that is or was previously under water.
7. Any lien provided by County Ordinance or by Chapter 159, Florida Statutes, in favor of any city, town, village or port authority for unpaid service charges for service by any water, sewer or gas system supplying the property.

4. **SPECIAL EXCEPTIONS:**

1. Memorandum of Agreement dated February 10, 2025, executed by Gioconda Portaluppi De Villacis a/k/a Gioconda Villacis, as Personal Representative of the Estate of Orlando Villacis, as Seller, and Lennar Homes, LLC, a Florida limited liability company, as Buyer, as disclosed by document recorded February 20, 2025 in Book 34625, Page 3738 of the Official Records of Miami-Dade County, Florida.

NOTE: All references herein are to the public records of Miami-Dade County, Florida.

I HEREBY CERTIFY that I have reviewed all the aforementioned encumbrances and exceptions and that none of them hinder or affect the recording or enforcement of the Covenant.

Therefore, it is my opinion that the following parties must join in the Covenant in order to make the Covenant a valid and binding covenant on the lands described herein:

<u>Name</u>	<u>Interest</u>
Gioconda Portaluppi De Villacis a/k/a Gioconda Villacis, as Personal Representative of the Estate of Orlando Villacis, Deceased	Owner

I HEREBY CERTIFY that the legal description contained in this Opinion of Title coincides with, and is the same as, the legal description in the proffered, recordable Covenant.

I, the undersigned, further certify that I am attorney-at-law duly admitted to practice in the State of Florida and a member in good standing of the Florida Bar.

Respectfully submitted this 19th. day of May, 2025.

Jonathan S. Marcus
Florida Bar No. 333591
Holland & Knight LLP
P.O. Box 14070 (Zip Code 33302-4070)
515 East Las Olas Boulevard, Suite 1200
Fort Lauderdale, FL 33301
Telephone: (954) 468-7924

STATE OF FLORIDA

COUNTY OF BROWARD

The foregoing instrument was acknowledged before me by means of X physical presence or _____ online notarization, on this 19th. day of May, 2025, by Jonathan S. Marcus, who is personally known to me.

Notary Public, State of Florida

DRAFT

EXHIBIT "A"

The North Half (N½) of the West Half (W ½) of the Southwest (SW ¼) of the Southwest (SW ¼) of Section 12, Township 56 South, Range 39 East, Miami-Dade County, Florida.

DRAFT

Street View – Corner of SW 127th Avenue and SW 212th Street



Street View – SW 127th Avenue



**Miami-Dade County Department of Regulatory and Economic Resources
Staff Report to the Community Zoning Appeals Board 14**

PH: Z25-098

January 14, 2026

Item No. B

Recommendation Summary	
Commission District	9
Applicants	Habitat for Humanity of Greater Miami
Summary of Request	The applicant seeks to allow a parcel of land with less lot area and less lot frontage than required by Code, in order to be able to develop a single-family residence on the subject property.
Location	Lying east of Dunbar Drive and approximately 175.6 ft north of Dorsey Drive, aka14935 Dunbar Drive, Miami-Dade County, FL
Property Size	0.09 Acre
Existing Zoning	RU-1, Single-Family Residential District
Existing Land Use	Vacant lot
2030-2040 CDMP Land Use Designation	Low-Medium Density Residential, 6 to 13 dua (see attached Zoning Recommendation Addendum)
Comprehensive Plan Consistency	Consistent with interpretative text, goals, objectives, and policies of the CDMP
Applicable Zoning Code Section(s)	Section 33-311(A)(4)(b), Non-Use Variance Standards From Other Than Airport Regulations (see attached Zoning Recommendation Addendum)
Recommendation	Approval with conditions

This application was unable to be heard at the Community Zoning Appeals Board (CZAB) #14 meeting scheduled for December 17, 2025, due to a lack of quorum.

The public hearing on this item was not held.

REQUEST:

NON-USE VARIANCE to permit a parcel of land with a lot area of 4,250 sq. ft. (7,500 sq. ft. required) and a lot frontage of 42.50' (75' required).

Plans are on file and may be examined in the Department of Regulatory and Economic Resources, entitled "Unit-622" as prepared by Via Design Studio, consisting of 1 sheet dated stamped received 06/02/25 and 2 sheets dated stamped received 07/09/25, for a total of 3 sheets. Plans may be modified at public Hearing.

PROJECT HISTORY AND DESCRIPTION:

The 0.09-acre subject property was part of a larger tract of land per plat recorded under record Book #79 Page #52. This currently vacant property is an interior lot that fronts along Dunbar Drive, and is zoned RU-1, Single-Family Residential District.

The submitted plans indicate that the applicant intends to develop the vacant parcel with a one (1)-story high single-family residence. In order to effectuate that, the applicant seeks to permit the parcel with a lot area of 4,250 sq. ft., where 7,500 sq. ft. is required, and with a lot frontage of 42.50', where a minimum of 75' is otherwise required for an RU-1 zoned parcel. Staff notes that

full set of plans were submitted with this application, and that the proposed development complies with all other zoning standards required for a single residential unit that can be developed on the RU-1, Single-Family Residential District parcel.

<u>NEIGHBORHOOD CHARACTERISTICS</u>		
	Zoning and Existing Use	Land Use Designation
Subject Property	RU-1; vacant lot	Low-Medium Density Residential (6 - 13 dua)
North	RU-TH; Townhouse	Low-Medium Density Residential (6 - 13 dua)
South	RU-1; single-family residence	Low-Medium Density Residential (6 - 13 dua)
East	RU-1; single-family residence	Low-Medium Density Residential (6 - 13 dua)
West	RU-1; single-family residence	Low-Medium Density Residential (6 - 13 dua)

NEIGHBORHOOD COMPATIBILITY:

The 0.09-acre currently vacant subject property is an interior lot in an established residential neighborhood that is developed under the RU-1, Single-Family Residential District zoning regulations. The properties to the east, west, and south of the subject site are comprised of existing single-family residences. The area to the north of the subject site and across from Dunbar Drive is zoned RU-TH and includes a townhome development.

SUMMARY OF THE IMPACTS:

The approval of this application will allow the applicant to have a buildable lot in order to be able to develop the currently vacant subject parcel with a 1-story high single-family residence as allowed under the RU-1 zoning district standards. The Platting and Traffic Review Section of the Department of Regulatory and Economic Resources (RER) state in their memorandum that the application meets the traffic concurrency criteria, does not exceed the acceptable Level of Service (LOS) on the neighboring roadways and will generate approximately 1 PM peak hour vehicle trips. Staff opines that the proposed single-family residence on the property would not require any variances for building setbacks, and lot coverage and as such, would not have an adverse visual impact on the surrounding properties that are also developed with existing single-family residences.

COMPREHENSIVE DEVELOPMENT MASTER PLAN ANALYSIS:

The ±0.09-acre subject property is located within the Urban Development Boundary (UDB) and the Comprehensive Development Master Plan (CDMP) Adopted 2030-2040 Land Use Plan (LUP) map designates the site as ***Low-Medium Density Residential***. This category allows a range in density from a minimum of 6.0 to a maximum of 13 dwelling units per gross acre. *The types of housing typically found in areas designated low-medium density include single-family homes, townhouses, and low-rise apartments. Zero-lot-line single-family developments in this category shall not exceed a density of 7.0 dwelling units per gross acre.* The proposed use for a single-family residence is consistent with the housing types permitted under the CDMP land use interpretative text as it would allow the applicant to develop the 0.09-acre subject property with one (1) residential unit as the maximum density allowed under the Low-Medium Density category.

Additionally, the subject site is zoned RU-1, Single-Family Residential District, which allows the applicant to develop the subject site with a single-family residence. However, the property is a substandard lot and the approval of the request sought in this application would allow the construction of a single-family residence on this parcel of land with less area and lot width than allowed by Code for RU-1 zoning district standards. Since the applicant is not requesting to add additional dwelling units to the site above what is allowed approval of the application with conditions would be **consistent** with the density threshold of the Low-Medium Density Residential Communities map of the CDMP LUP map designation.

The proposed parcel of land furthers **Policy LU-1C** which indicates that *Miami-Dade County shall give priority to infill redevelopment of substandard or underdeveloped environmentally suitable urban areas contiguous to existing urban development where all necessary urban services and facilities are projected to have capacity to accommodate additional demand.* The subject parcel is located within the Richmond Heights development, and as such further **Objective LU-12**, which indicates that the County *shall take specific measures to promote infill development that are located in the Urban Infill Area (UIA) as defined in Policy TC-1B or in a built-up area with urban services that is situated in a Community Development Block Grant (CDBG)-eligible area, a Targeted Urban Area identified in the Urban Economic Revitalization Plan for Targeted Urban Areas, an Enterprise Zone established pursuant to state law or in the designated Empowerment Zone established pursuant to federal law.*

The surrounding area is primarily comprised of single-family residences on substandard lots and vacant parcels. Staff, therefore, opines that the proposed lot frontage and setbacks requests are compatible with the surrounding area based on the compatibility criteria set forth in the CDMP Land Use Element Policy **LU-4A** which states that *when evaluating compatibility among proximate land uses, the County shall consider, among other things, such factors as height, bulk, scale of architectural elements as applicable.*

Based on the aforementioned, staff opines that approval of the application would be **consistent** with the CDMP Low-Medium Density designation of the LUP map and the CDMP's Land Use Element the interpretative text, **Policy LU-1C** and **Objective LU-12**.

ZONING ANALYSIS:

The 0.09-acre subject property is located east of Dunbar Drive in an area developed under the RU-1, Single-Family Residential District. The applicant seeks approval to allow a parcel of land with a lot area of 4,250 sq. ft. (7,500 sq. ft. required) and a lot frontage of 42.50' (75' required). When the request is analyzed under the Non-Use Variances From Other Than Airport Regulations, Section 33-311(A)(4)(b), staff opines that the approval of the requested non-use variance with conditions would be **compatible** with the surrounding area, would not be detrimental to the neighborhood and would not affect the appearance of the community. Staff supports the request based on the RU-1, Single-Family Residential zoning district designation of the subject site, and for the reasons explained in the Comprehensive Development Master Plan Analysis section, the proposed residence on this substandard lot would be **compatible** with the natural transition of the single-family residential trend of development in the surrounding area. Staff further notes that the applicant received approval from Housing and Community Development department for "Infill Housing Initiative Application for Private Lots" dated June 16, 2025.

The proposed plans submitted in conjunction with this application depict that the currently vacant site is to be developed with a one (1)-story high single-family residence. Staff notes that full set

of plans were submitted with this application and that the proposed plans comply with the zoning standards for a residence that can be developed under the RU-1 zoning standards other than those for which this non-use variance is being requested. Staff also notes that the plans indicate that the proposed residence's overall massing, scale, height, bulk, lot coverage and building setbacks do not exceed the maximum intensities allowed for a single unit under the zoning regulations. Staff opines that the architectural style and scale of the residence is designed and arranged in a manner that would not be detrimental to the neighborhood or create adverse privacy impacts on the abutting properties, and that approval with conditions of the requested lot frontage would be **compatible** with the surrounding residences and with the aesthetic character of the immediate vicinity. Staff further opines that as designed, the proposed residence will produce a development that will consistent with the trend of development in the area.

Staff's research of the surrounding area did not find any similar approvals within the neighborhood for variances of the lot area and lot width requirements for substandard sized properties. Notwithstanding, staff notes that based on memoranda from the departments reviewing this application, any impacts from the reduced area and lot width will not cause their facilities and services to operate below their adopted levels of service standards. The Platting and Traffic Review Section of the Department of Regulatory and Economic Resources (RER) state in their memorandum that the application meets the traffic concurrency criteria, does not exceed the acceptable Level of Service (LOS) on the neighboring roadways and will generate approximately 1 PM peak hour vehicle trips. The Division of Environmental Resources Management (DERM) of the Department of Regulatory and Economic Resources, in their memorandum, state that they that approval will not result in a reduction in the LOS standards for potable water supply, wastewater disposal, or flood protection. Additionally, the memorandum from Miami-Dade Water and Sewer Department indicates that they do not have objections, and the County's Fire Rescue Department memorandum indicates no objection to the application. Therefore, staff opines that approval with conditions of the request will not create a significant visual impact on the surrounding areas, nor based on memoranda from the reviewing departments, would the aforementioned variance be intrusive to the surrounding area.

As such, staff opines that approval with conditions of the request to allow a parcel of land with less lot area and frontage than otherwise required for a lot to be developed under the RU-1 district zoning standards, will maintain the *basic intent and purpose of the zoning, subdivision and other land use regulations, which is to protect the general welfare of the public, particularly as it affects the stability and appearance of the community* and that the requested non-use variance for a reduced area and lot width would be **compatible** with the surrounding area and would not be detrimental to same. **Based on the foregoing analysis, staff recommends approval with conditions of the application under Section 33-311(A)(4)(b), the Non-Use Variance (NUV) From Other Than Airport Regulations Standards.**

ACCESS, CIRCULATION AND PARKING: N/A

NEIGHBORHOOD SERVICES PROVIDER COMMENTS: See attached.

OTHER: N/A

RECOMMENDATION:

Approval with conditions.

CONDITIONS FOR APPROVAL:

1. That a site plan be submitted to and meet with the approval of the Director of the Department of Regulatory and Economic Resources or its successor upon the submittal of an application for a building permit and/or Certificate of Use; said plan must include among other things but not be limited to, location of structure or structures, exits and entrances, drainage, walls, fences, landscaping, etc.
2. That in the approval of the plan, the same be substantially in accordance with that submitted for the hearing entitled "Unit-622" as prepared by Via Design Studio, consisting of 1 sheet dated stamped received 06/02/25 and 2 sheets dated stamped received 07/09/25, for a total of 3 sheets. Except as may be specified by any zoning resolution applicable to the subject property, any future additions on the property which conform to zoning code requirements will not require further public hearing action.
3. That the use be established and maintained in accordance with the approved plan.
4. That the applicants comply with all applicable conditions, requirements, recommendations, requests, and other provisions of the Regulatory and Economic Resources Department as indicated in the attached memorandum.

ES:JB:SS:PM

Eric Silva

Eric Silva, AICP, Assistant Director
Development Services Division
Miami-Dade County Department of
Regulatory and Economic Resources

ZONING RECOMMENDATION ADDENDUM

Habitat for Humanity of Greater Miami
PH: Z25-098

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NEIGHBORHOOD SERVICES PROVIDER COMMENTS	
<i>Division of Environmental Resource Management (RER)</i>	<i>No objection</i>
<i>Platting and Traffic Review Section (RER)</i>	<i>No objection</i>
<i>Fire Rescue</i>	<i>No objection</i>
<i>Water & Sewer WASD</i>	<i>No objection</i>
<i>Building and Neighborhood Compliance (BNC)</i>	<i>No objection</i>
<i>*Subject to conditions in their memorandum.</i>	

COMPREHENSIVE DEVELOPMENT MASTER PLAN (CDMP) OBJECTIVES, POLICIES AND INTERPRETATIVE TEXT

Low-Medium Density Residential <i>(Pg. I-31)</i>	<i>The Adopted 2020 and 2030 Land Use Plan designates the subject property as being within the Urban Development Boundary for Low-Medium Density Residential. This category allows a range in density from a minimum of 6.0 to a maximum of 13 dwelling units per gross acre. The types of housing typically found in areas designated low-medium density include single-family homes, townhouses, and low-rise apartments. Zero-lot-line single-family developments in this category shall not exceed a density of 7.0 dwelling units per gross acre.</i>
LU-1C <i>(Pg. I-2)</i>	<i>Miami-Dade County shall give priority to infill development on vacant sites in currently urbanized areas, and redevelopment of substandard or underdeveloped environmentally suitable urban areas contiguous to existing urban development where all necessary urban services and facilities are projected to have capacity to accommodate additional demand.</i>
LU-12 <i>(Pg. I-24)</i>	<i>Miami-Dade County shall take specific measures to promote infill development that are located in the Urban Infill Area (UIA) as defined in Policy TC-1B or in an built-up area with urban services that is situated in a Community Development Block Grant (CDBG)-eligible area, a Targeted Urban Area identified in the Urban Economic Revitalization Plan for Targeted Urban Areas, an Enterprise Zone established pursuant to state law</i>
Objective LU-4 <i>(Pg. I-9)</i>	<i>Miami-Dade County shall continue to reduce the number of land uses, which are inconsistent with the uses designated on the LUP map and interpretive text, or with the character of the surrounding community.</i>

PERTINENT ZONING REQUIREMENTS/STANDARDS

Sec. 33-49. Table of minimum widths, area of lots, maximum lot coverage, and minimum building sizes.	<i>For the districts enumerated in this section, the minimum width and area of lots, the maximum lot coverage, and minimum building sizes shall be as set forth in the following table:</i>
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ZONING RECOMMENDATION ADDENDUM

Habitat for Humanity of Greater Miami
PH: Z25-098

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	District	Families	Min. Width	Min. Lot Area (Sq. Ft.)	Max. Lot Coverage (% of Lot Area)	Min. Bldg. Size (Cu. Ft.)	
	District	Families	Min. Width	Min. Lot Area (Sq. Ft.)	Max. Lot Coverage (% of Lot Area)	Min Bldg. Size (Cu Ft)	
	RU-1	1	New sub.-75'	7,500	40%	8,500	
			Old sub.-50'	5,000	35%	8,500	
	RU-1M(a)	1	50'	5,000	45%	8,500	
	RU-1M(b)	1	60'	6,000	45%	8,500	
	RU-1Z	1	New sub.-45'	4,500	50%	8,500	
			Old sub.*				
	RU-2	1	New sub.-75'	7,500	35%	8,500	
			Old sub.-None	3,750	30%	8,500	
		2 singles		New sub.-75'	7,500	30%	8,500 front res. 5,000 rear res.
				Old sub.-50'	5,550	30%	8,500 front res. 3,000 rear res.
		duplex		New sub.-75'	7,500	30%	8,500
				Old sub.-50'	5,550	30%	8,500
33-311(A)(4)(b) Non-Use Variances From Other Than Airport Regulations	<p><i>Upon appeal or direct application in specific cases, the Board shall hear and grant applications for non-use variances from the terms of the zoning and subdivision regulations and may grant a non-use variance upon a showing by the applicant that the non-use variance maintains the basic intent and purpose of the zoning, subdivision and other land use regulations, which is to protect the general welfare of the public, particularly as it affects the stability and appearance of the community and provided that the non-use variance will be otherwise compatible with the surrounding land uses and would not be detrimental to the community. No showing of unnecessary hardship to the land is required.</i></p>						

Building and Neighborhood Compliance

ENFORCEMENT HISTORY

HABITAT FOR HUMANITY OF GREATER MIAMI/WRIGHT, KARIN N/A
MIAMI-DADE COUNTY, FLORIDA.

APPLICANT

ADDRESS

Pending

Z2025000098

DATE

HEARING NUMBER

FOLIO: 30-5019-010-0120

REVIEW DATE OF CURRENT ENFORCEMENT HISTORY:

June 10, 2025

NEIGHBORHOOD REGULATIONS:

There are no open/closed cases in CMS

BUILDING SUPPORT REGULATIONS:

There are no open/closed cases in BSS.

VIOLATOR:

HABITAT FOR HUMANITY OF GREATER MIAMI/WRIGHT, KARIN

OUTSTANDING LIENS AND FINES:

There are no outstanding liens or fines.

Memorandum



Date: December 3, 2025

To: Lourdes M. Gomez, AICP, Director
Department of Regulatory and Economic Resources (RER)

From: Christine Velazquez, Division Chief
Department of Regulatory and Economic Resources (RER)

Subject: Z2025000098-4th Review
Habitat for Humanity of Greater Miami
14935 Dunbar Drive
Non-use variance for lot frontage and area requirement to develop
a single-family residence.
(RU-1) (0.09 acres)
19-55-40

Miami Dade County has performed an environmental review of the above referenced zoning application for compliance with the requirements of Chapter 24 of the Miami-Dade County Code (the Code) for potable water service and wastewater disposal. Based on the information provided, this zoning application is approved pursuant to section 24-43.1 of the Code related to potable water supply and wastewater disposal.

Potable Water Supply and Wastewater Disposal

Pursuant to the Code and based on the request, the future development is within feasible distance to connect to public water and public sewers. Therefore, the future development shall connect to public water and sanitary sewers in accordance with the Code. Please note that this development will need to obtain water and sanitary sewer extension permits prior to RER approval of future development orders. To the extent that connection to the public sanitary sewer system is not approved due to a sanitary sewer moratorium, this memorandum shall not be interpreted as written approval from RER to allow an alternative means of domestic wastewater disposal.

Be advised that the required water main extension permit is issued by the Florida Department of Health. Civil drawings for the water main extension will need to be approved by the Miami-Dade Water and Sewer Department and the Environmental Permitting Section of RER.

Civil drawings for the required sewer main extension will need to be approved by MDWASD and the RER-Environmental Plan Review Section prior to approval of final development orders.

Under section 24-43.4(2)(b)(iii) of the Code, once a property or portion thereof is determined to be within feasible distance, the owner shall record, in the Public Records of Miami-Dade County and at the owner's expense, a covenant in a form acceptable to the Director acknowledging that the property shall be required to connect to the applicable public infrastructure as a condition of any building permit for development on the property or portion thereof. Please contact Glennys.Fernandez-Martinez@miamidade.gov or Faith.Kenyon@miamidade.gov for information regarding this covenant.

Existing public water and sewer facilities and services meet the Level of Service (LOS) standards set forth in the Comprehensive Development Master Plan (CDMP). Furthermore, the proposed development order, if approved, will not result in a reduction in the LOS standards subject to compliance with the conditions required by the County for this proposed development order.

Please note that some of the collection/transmission facilities, which includes sanitary sewer gravity sewer mains, sanitary sewer force mains and sanitary sewer pump stations, throughout the County do not have adequate capacity, as defined in the Consent Decree between Miami-Dade County, Florida Department of Environmental Protection, and the U.S. Environmental Protection Agency case 1:12-cv-24400-FAM. Under the terms of this Consent Decree, this approval does not constitute an allocation or certification of adequate treatment and transmission system capacity. At the time of building permits RER-Environmental Plan Review will evaluate and may reserve sanitary sewer capacity, through the sanitary sewer certification process, if the proposed development complies with the provisions of the Consent Decree. Building permits for development in sanitary sewer basins which have been determined not to have adequate capacity cannot be approved, until adequate capacity becomes available.

Conditions of Approval: That the owner submits a covenant in accordance with the requirements of section 24-43.4(2)(b)(iii) of the Code.

Water Control Review

Stormwater shall be retained on site utilizing designed seepage or infiltration drainage system. Drainage plans shall provide for full on-site retention of the stormwater runoff.

Site grading and development plans shall comply with the requirements of Chapter 11C of the Code, as well as with all state and federal criteria, and shall not cause flooding of adjacent properties.

Any proposed development shall comply with county and federal flood criteria requirements. The proposed development order, if approved, will not result in a reduction in the LOS standards for flood protection set forth in the CDMP subject to compliance with the conditions required for this proposed development order.

Conditions of Approval: None

Tree Preservation Review

An aerial review of the subject property indicates the presence of tree resources. Additionally, Tree Permit #2500688 was issued on August 19, 2025, for the subject property. All approved work shall be performed in accordance with this permit. Section 24-49 of the Code provides for the preservation and protection of tree resources. If any additional trees subject to the tree preservation and protection provisions of the Code are to be removed/relocated and are not associated with Tree Permit #2500688, a new tree removal permit will be required. The applicant is advised that a tree survey that includes a tree disposition table will be required during the tree removal permit application process. Projects and permits shall meet the requirements of sections 24-49.2 and 24-49.4 of the Code, including the specimen tree standards.

In accordance with section 24-49.9 of the Code, all plants prohibited by Miami-Dade County shall be removed from all portions of the property prior to development, or redevelopment and developed parcels shall be maintained to prevent the growth or accumulation of prohibited species. Please contact Jackelyn Alberdi at Jackelyn.Alberdi@miamidade.gov for additional information or concerns regarding this review.

Conditions of Approval: None

DERM Enforcement History Review

There are no open or closed enforcement records for violations of Chapter 24 of the Code for the subject property. There are no outstanding DERM liens or fines for the subject property.

Concurrency Review Summary

A concurrency review has been conducted for this application and the County has determined that the same meets all applicable LOS standards for an initial development order as specified in the adopted CDMP for potable water supply, wastewater disposal, and flood protection. This concurrency approval is valid only for this initial development order. Pursuant to Chapter 33G of the Code, a final concurrency statement will be issued at the time of final development order.

If you have any questions concerning the comments or wish to discuss this matter further, please contact Ninfa Rincon at (305) 372-6764.

cc: Eric Silva, Department of Regulatory and Economic Resources


Memorandum



Date: July 15, 2025

To: Eric Silva, AICP, Assistant Director
Development Services Division
Department of Regulatory and Economic Resources (RER)

Through: James B. Ferguson, P.E.
Assistant Director
Water and Sewer Department (WASD)

From: Maria A. Valdes, CSM, LEED® Green Associate
Chief, Planning & Water Certification Section
Water and Sewer Department (WASD) 

Subject: Zoning Application Comments - Habitat for Humanity of Greater Miami, Inc.
Application No. Z2025000098 (Revision No. 1)

The Water and Sewer Department has reviewed the proposed development for the subject zoning application. WASD has no objection to this zoning application, based on the information provided. Additional requirements may be needed at the time of permitting. The information provided below is preliminary and it does not affect the Zoning process.

Application Name: Habitat for Humanity of Greater Miami, Inc.

Location: The proposed project is located on approximately 0.10 acres at 149XX Dunbar Drive, with Folio No. 30-5019-010-0120, in unincorporated Miami-Dade County.

Proposed Development: The Applicant intends to develop a new Single-Family Residence (SFR) under 3,001 sq. ft., replacing vacant land through the Workforce Housing Program.

The estimated total water demand for the proposed project will be 210 gallons per day (gpd).

Please note that the subject property has a 6 feet Utility Easement within and along the southeastern boundary of the property. Permanent structures, trees or palms are not allowed within said utility easement (only passive landscaping along the Utility Easement).

Water: The proposed development is located within the WASD's water service area. The water supply will be provided by the Alexander-Orr Water Treatment Plant (WTP). Currently, there is adequate treatment and water supply capacity at the WTP, consistent with Policy WS-2 A (1) of the CDMP.

On June 2, 2025, WASD Agreement No. 33256 was offered for the subject development with approved points of connection (P.O.C.) dated May 13, 2025, and approved WASD water & sewer construction plans.

Per said P.O.C, this property is connecting to WASD's water system for the first time. The developer shall connect to an existing 6-inch water main (E9267-2) in Dunbar Drive, abutting the northwestern boundary of the property.

A Water Supply Certification (WSC) letter from WASD was issued on June 2, 2025, through WASD Agreement No. 33256. The WSC letter shall remain active in accordance with terms and conditions specified in said certification. The WSC is required consistent with Policy CIE-5D and WS-2C in the County's CDMP and in accordance with the permitted withdrawal capacity in the WASD's 20-year Water Use Permit.

For more information on the Water Supply Certification Program please go to:
<http://www.miamidade.gov/water/water-supply-certification.asp>

In addition, all future development will be required to comply with water use efficiency techniques for indoor water use and with landscape standards in accordance with Sections 8-31, 32-84, 18-A, and 18-B of the Miami-Dade County Code, consistent with Policies WS-5E and WS-5F of the CDMP.

For more information about our Water Conservation Program, please go to:
<http://www.miamidade.gov/conservation/home.asp>

For information concerning the Water-Use Efficiency Standards Manual please go to:
<http://www.miamidade.gov/waterconservation/library/instructions/water-use-efficiency-standards-manual.pdf>

Sewer: The proposed development is located within the WASD's sewer service area. The wastewater flows for the proposed development will be transmitted to the South District Wastewater Treatment Plant (SDWWTP) for treatment and disposal. The SDWWTP is currently operating under a permit from the Florida Department of Environmental Protection. Currently, there is adequate sewer treatment and disposal capacity at the SDWWTP, consistent with Policy WS-2 A (2) of the CDMP.

Per said P.O.C., this property is connecting to WASD's sewer system for the first time. The developer shall connect to an existing 8-inch gravity sewer (ES706-1) in Dunbar Drive, abutting the northwestern boundary of the property.

The sewage flow from the proposed development will be transmitted to Pump Station (P.S.) No. 741. The projected sanitary sewer flows from this development will increase the Nominal Average Pump Operating Time (NAPOT) operating hours of said P.S. from 5.08 hrs. to 5.09 hrs. Said pump station is in OK Moratorium Code status.

Connection to the sanitary sewer system is subject to the following conditions:

- Adequate transmission and plant capacity exist at the time of the owner's request consistent with policy WS-2 A (2) of the CDMP. Capacity evaluations of the plant for average flow and peak flows will be required. Connection to the COUNTY'S sewage system will be subject to the terms, covenants and conditions set forth in court orders, judgments, consent orders, consent decrees and the like entered into between the COUNTY and the United States, the State of Florida and/or any other governmental entity, including but not limited to, the Consent Order entered on April 9, 2014 in the United States of America, State of Florida and State of Florida Department of Environmental Protection v. Miami-Dade County, Case No. 1:12-cv-24400-FAM, as well as all other current, subsequent or future enforcement and regulatory actions and proceedings.
- Approval of all applicable governmental agencies having jurisdiction over these matters are obtained.

Any public water or sewer infrastructure must be within a public right-of-way, or within a utility easement.

Below please find additional links to the WASD portal, which provides information on the Construction & Development process for water and sewer infrastructure.

<http://www.miamidade.gov/water/construction-development.asp>

<http://www.miamidade.gov/water/construction-service-agreement.asp>

<http://www.miamidade.gov/water/construction-existing-service.asp>

<http://www.miamidade.gov/water/library/forms/service-agreement.pdf>


Should you have any questions, please contact Maria A. Valdes, Chief, Planning & Water Certification Section at (786) 552-8198 or mavald@miamidade.gov, Alfredo B. Sanchez at (786) 552-8237 or sanalf@miamidade.gov, or Suyapa Carbajal at (786) 552-8124 or suyapa.carbajal@miamidade.gov

Memorandum



Date: June 26, 2025

To: Eric Silva, AICP, Assistant Director
Department of Regulatory and Economic Resources

From:  Raul A. Pino, PLS, Division Chief
Platting and Traffic Review Section
Department of Regulatory and Economic Resources

Subject: Z2025000098
Name: Habitat for Humanity of Greater Miami
Location: 14935 Dunbar Drive
Section 19 Township 55 South Range 40 East

The Department of Regulatory and Economic Resources Platting and Traffic Review Section has reviewed the subject application and has **no objections**.

This land requires platting in accordance with Chapter 28 of the Miami-Dade County Code. Any right-of-way dedication per Miami-Dade Chapter 33-133 and Chapter 28 and/or improvements required will be accomplished thru the recording of the plat.

This application **does** meet the traffic concurrency criteria for an Initial Development Order. It will generate approximately **1 PM** peak hour vehicle trips. The traffic distribution of these trips to the adjacent roadways reveals that the addition of this new trip **does not** exceed the acceptable level of service of the following roadways:

STA.#	LOCATION	LOS PRESENT	LOS W/PROJECT
9752	SW 117 Avenue south SW 136 Street	C	C

The request herein, constitutes an Initial Development Order only, and one or more traffic concurrency determinations will subsequently be required before development will be permitted.

Notes: PM =Post Meridiem

The PM peak hour refers to the highest hour of vehicle trips generated during the afternoon peak hours of 4-6 PM

Standard Conditions:

- A letter or a plan containing the following certification signed and sealed by a State of Florida registered engineer shall be submitted as part of the paving and drainage plans: "I hereby certify that the all of the roads for the subject project comply with all of the applicable portions of the Manual of Uniform Minimum Standards for Design, Construction and Maintenance for Streets and Highways (Florida Greenbook) regarding: design speed, lane widths, horizontal alignment, vertical alignment, stopping sight distance, sight distance, horizontal clearance, vertical clearance, superelevation, shoulder widths, grades, bridge widths, etc."
- All landscaping, walls, fences, entrance features, etc. will be subject to the Safe Sight Distance Triangle as per Section 33-11 of the Miami-Dade County Code and G5.3 of the Public Works and Waste Management Department Manual.

Memorandum



Date: July 10, 2025
To: Eric Silva, Assistant Director
Regulatory and Economic Resources
From: Alejandro G Cuello, Principal Planner
Miami-Dade Fire Rescue Department
Subject: Z2025000098

The Miami-Dade Fire Rescue Department has **no objection** to the site plan uploaded to "EnerGov" on 6/02/2025.

MDFR's review of this zoning application is limited to assessing fire department access and does not effectuate an approval of the building design. The future building's design must be in compliance with the applicable requirements for the proposed use:

Florida State Statute Chapter 633 (Fire Prevention & Control)
Florida Administrative Code 69A
Florida Fire Prevention Code (NFPA 1 and NFPA 101 (2018 edition))
Applicable adopted NFPA Standards
County Code Chapter 14

For additional information, please contact acuello@miamidade.gov or call 305-775-3357.

Memorandum



Date: June 17, 2025

To: Eric Silva, AICP, Assistant Director
Development Services Division
Regulatory and Economic Resources (RER)

From: Amina N. Newsome, HCD Division Director^{AN}
Housing & Community Development (HCD)

Subject: Zoning Application Comments
Application No.: Z2025000098
Applicant: Habitat for Humanity of Greater Miami, Inc.
Location: East side of Dunbar Dr. and North of Dorsey Dr.
Folio No(s): 30-5019-010-0120

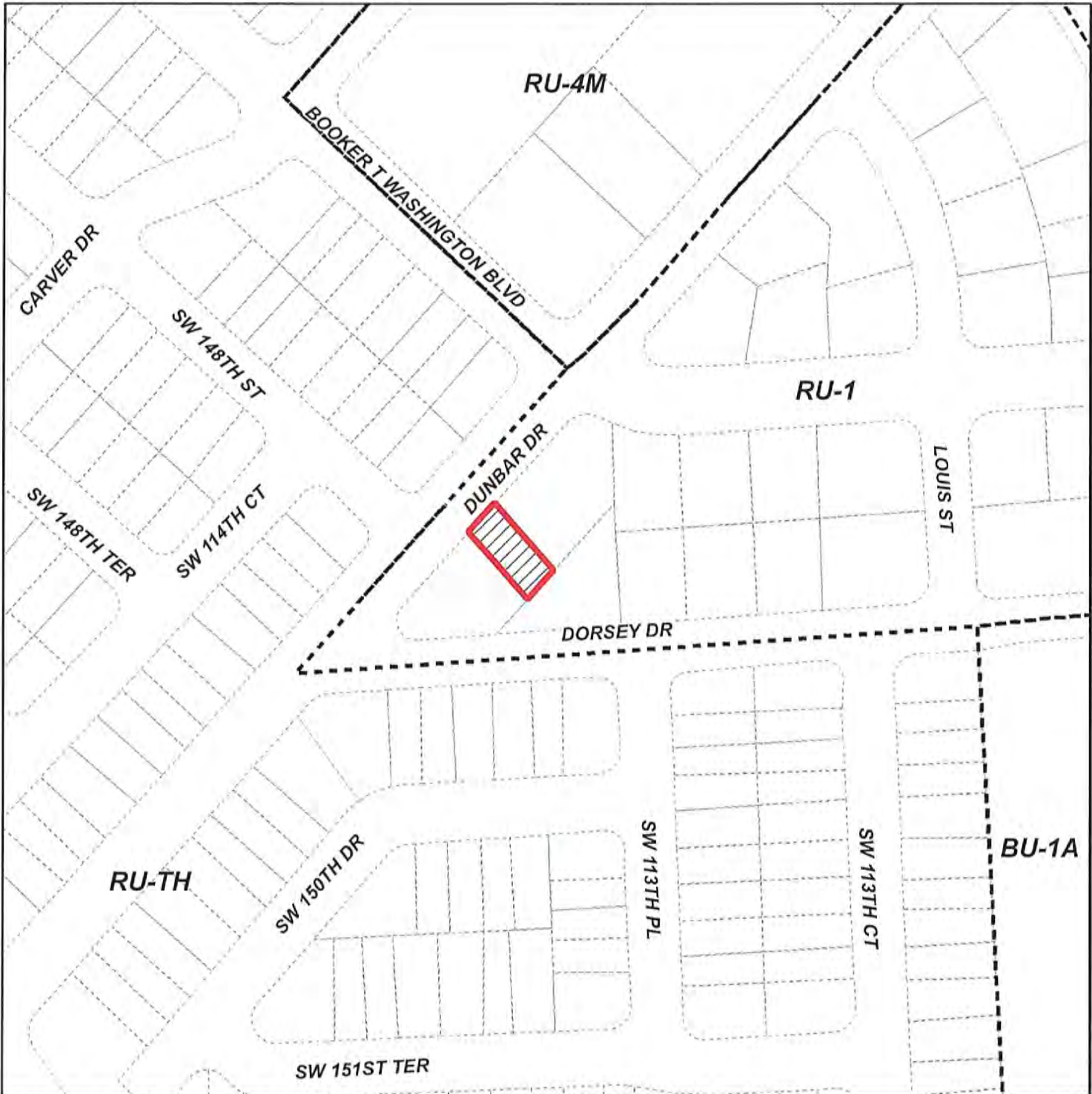
Housing and Community Development (HCD) has reviewed the proposed development for the subject zoning application.

This property is part of the Infill Housing Program.

For assistance with HCD programs, please contact the following:

- Workforce Housing Agreements/Rental Regulatory Agreements/Compliance: Phyllis Tynes - (786) 469-4167 or Phyllis.TynesSaunders@miamidade.gov
- Contribution-in-lieu fee requests and Acknowledgment of Payment: Shawn Topps - (786) 469-2209 or Shawn.Topps@miamidade.gov
- Impact fee waiver requests: Leyani Sosa/Mayra Diaz - (786) 469-2185 or Leyani.Sosa@miamidade.gov or Mayra.Diaz2@miamidade.gov
- Infill Housing Reviews: Oscar Barco - (786) 469-4226 Oscar.Barco@miamidade.gov
- Workforce/Affordable Housing zoning reviews: Jamila Llewelyn - (786) 469-4124 or Jamila.Llewelyn@miamidade.gov

Cc: Maria Elena Cedeno, Zoning Admin Review Chief, RER
Susan Furney, Development Services Intake Manager, RER





MIAMI-DADE COUNTY
HEARING MAP

Process Number
Z2025000098

Section: 19 Township: 55 Range: 40
 Applicant: Habitat for Humanity of Greater Miami
 Zoning Board: C14
 Commission District: 9
 Drafter ID: EDUARDO CESPEDES
 Scale: NTS

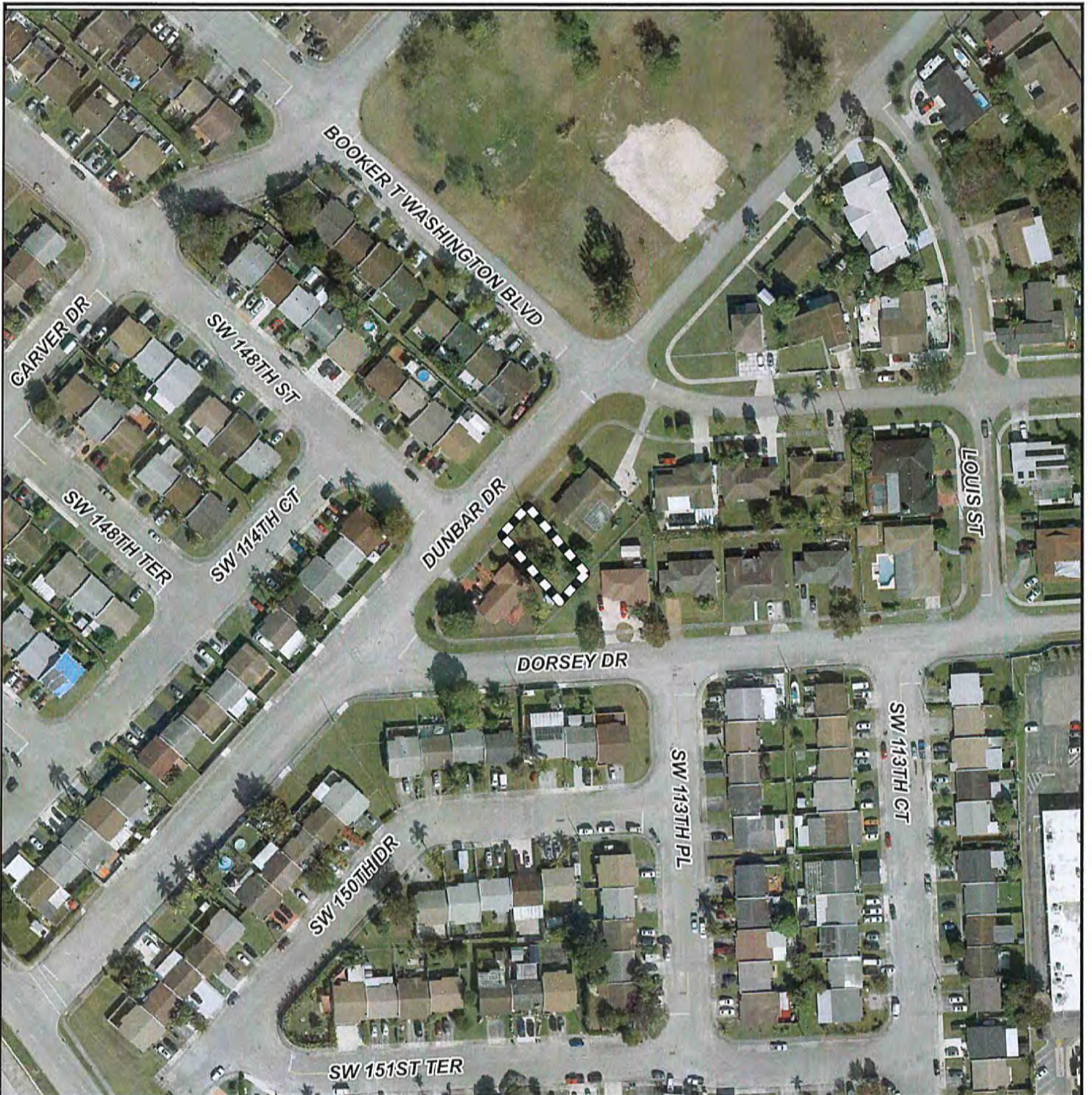
Legend

-  Subject Property Case
-  Zoning




SKETCH CREATED ON: Monday, June 9, 2025


REVISION	DATE	BY



MIAMI-DADE COUNTY
AERIAL YEAR 2024

Process Number
Z2025000098

Legend
 Subject Property

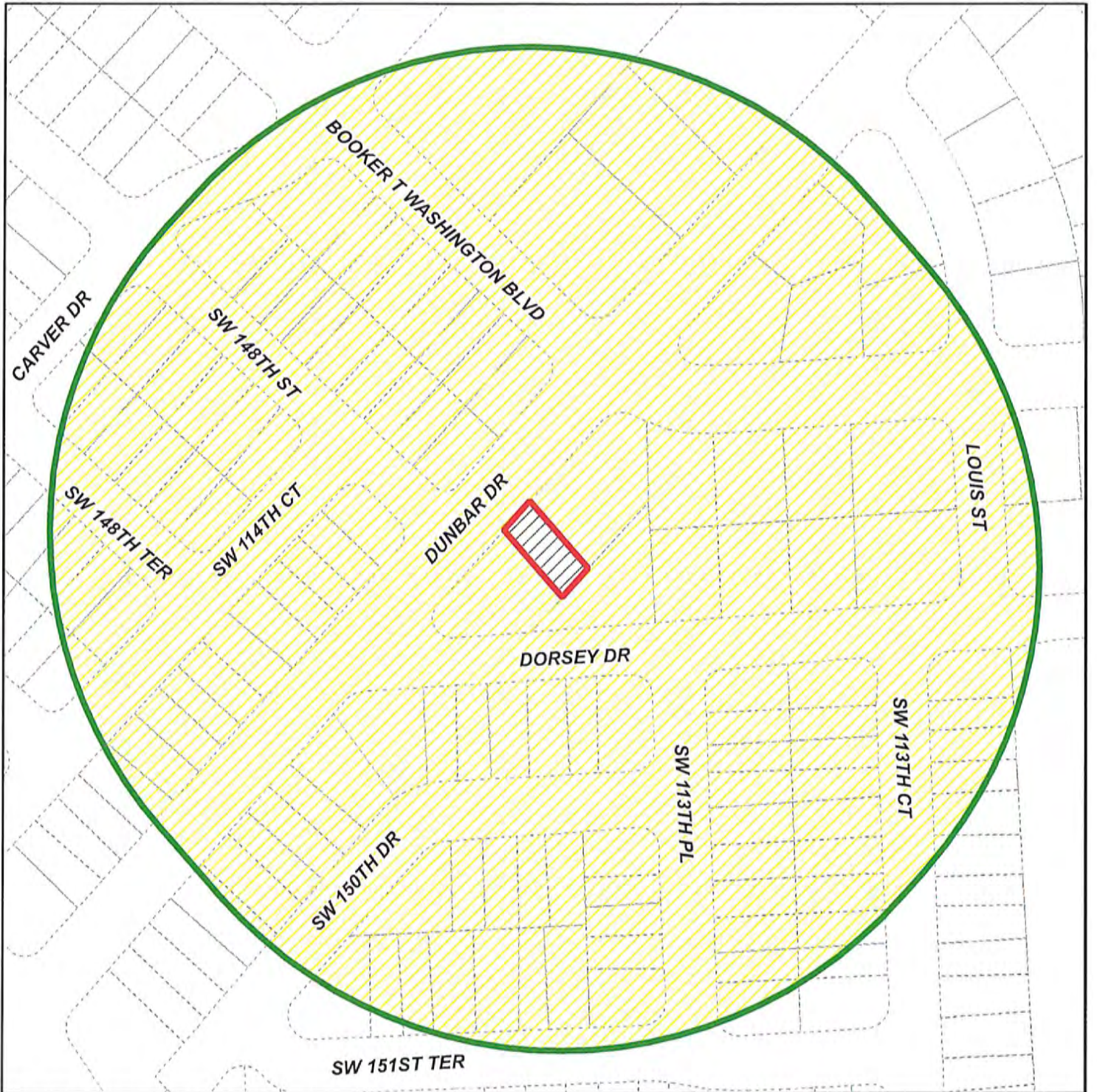


Section: 19 Township: 55 Range: 40
 Applicant: Habitat for Humanity of Greater Miami
 Zoning Board: C14
 Commission District: 9
 Drafter ID: EDUARDO CESPEDES
 Scale: NTS



SKETCH CREATED ON: Monday, June 9, 2025

REVISION	DATE	BY






MIAMI-DADE COUNTY
RADIUS MAP

Process Number
Z2025000098
 RADIUS: 500

Section: 19 Township: 55 Range: 40
 Applicant: Habitat for Humanity of Greater Miami
 Zoning Board: C14
 Commission District: 9
 Drafter ID: EDUARDO CESPEDES
 Scale: NTS

Legend

-  Subject Property
-  Buffer
-  Property Boundaries



SKETCH CREATED ON: Monday, June 9, 2025

REVISION	DATE	BY




MIAMI-DADE COUNTY
CDMP MAP

Process Number

Z2025000098

Section: 19 Township: 55 Range: 40
 Applicant: Habitat for Humanity of Greater Miami
 Zoning Board: C14
 Commission District: 9
 Drafter ID: EDUARDO CESPEDES
 Scale: NTS

Legend

 Subject Property Case



SKETCH CREATED ON: Monday, June 9, 2025

REVISION	DATE	BY

VIA DesignStudio
 ANITA LILLIAN
 INTERIOR DESIGN
 1100 NW 10th St
 MIAMI, FL 33136
 TEL: 305.375.1077
 WWW.VIADesignSTUDIO.COM

VIZI
 STRUCTURAL ENGINEER
 1100 NW 10th St, Suite 204
 MIAMI, FL 33136
 TEL: 305.375.1077
 WWW.VIZIENGINEERS.COM

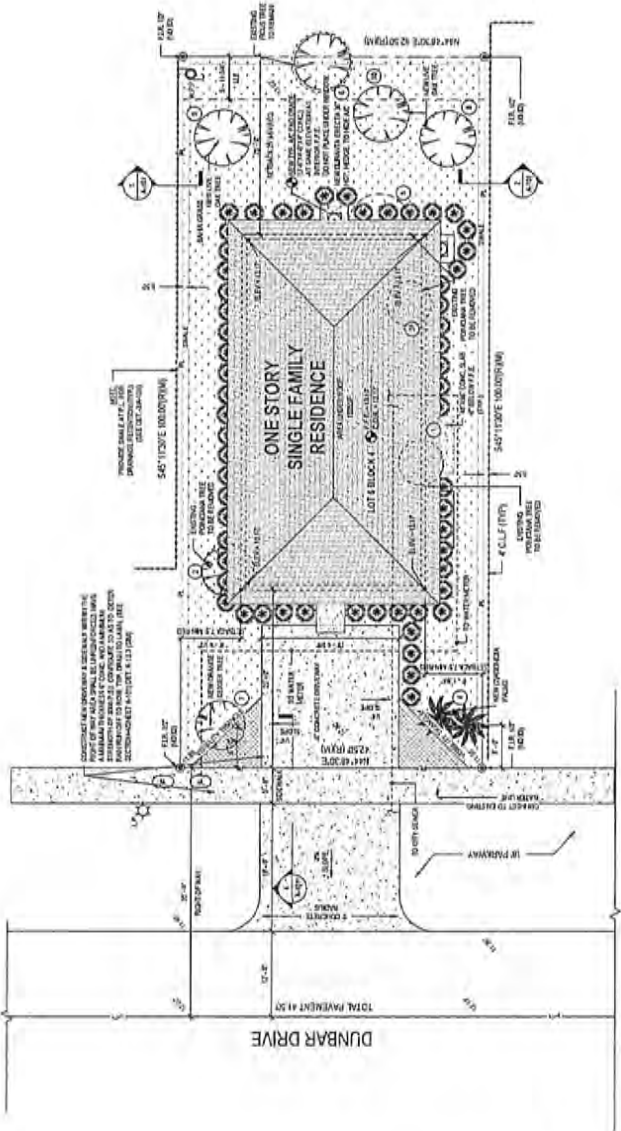
FRAGA ENGINEERS
 MECHANICAL ENGINEER
 1100 NW 10th St, Suite 204
 MIAMI, FL 33136
 TEL: 305.375.1077
 WWW.FRAGAENGINEERS.COM

HABITAT FOR HUMANITY OF GREATER MIAMI
 3000 NW 22nd Avenue, Miami, Florida 33142
 PROJECT NO. 0803114

Habitat for Humanity
 OF GREATER MIAMI

REVISION	NO.	DESCRIPTION	DATE
1	1	ISSUE FOR PERMIT	04/15/2025
2	2	ISSUE FOR PERMIT	05/23/2025
3	3	ISSUE FOR PERMIT	07/11/2025

PROJECT NAME: UNIT - 622
 LEGAL DESCRIPTION: LOT 15, BLOCK 4, SUBDIVISION OF LOT 6, PHASE 2, COUNTY OF MIAMI, FLORIDA
 ADDRESS: 1600 DUNBAR DR, MIAMI, FL 33136
 CODE: MHC-10-10-01
 MODE: A-1
 DATE: 7/11/2025
 VENDOR: VIA DESIGN STUDIO
 SCALE: AS SHOWN
 DRAWN: ANITA LILLIAN
 CHECKED BY: ANITA LILLIAN
 SHEET NAME: SITE PLAN
 SHEET NO: A-100
 PROJECT PHASE: PERMIT SET



1 SITE PLAN
 18' x 10'



LEGAL DESCRIPTION
 LOT 15, BLOCK 4, SUBDIVISION OF LOT 6, PHASE 2, COUNTY OF MIAMI, FLORIDA
 ADDRESS: 1600 DUNBAR DR, MIAMI, FL 33136
 MAP 30-10-01-01

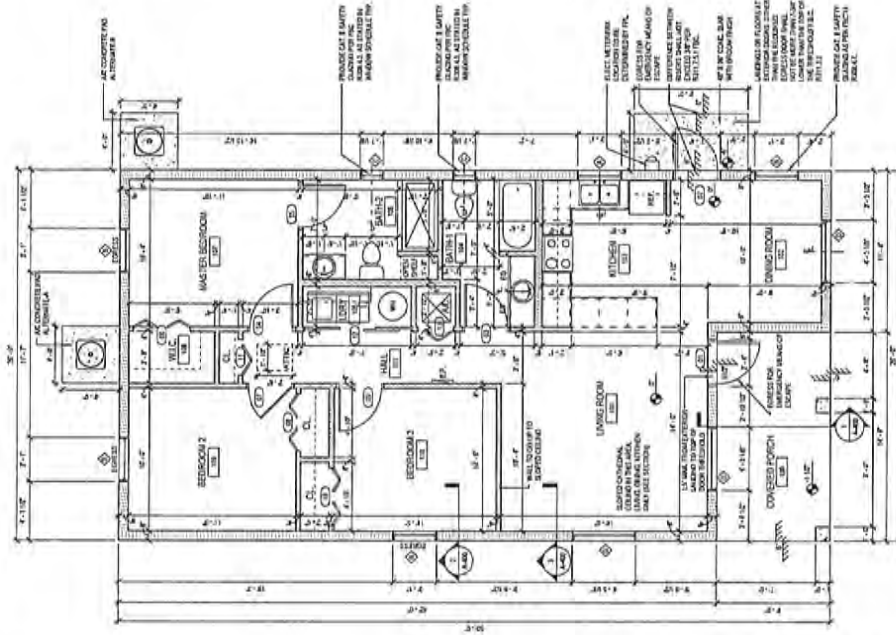
CONCRETE INFORMATION

ITEM	DESCRIPTION	PROVIDED
1	CONCRETE	2" C
2	CONCRETE	3" C
3	CONCRETE	4" C
4	CONCRETE	5" C
5	CONCRETE	6" C
6	CONCRETE	7" C
7	CONCRETE	8" C
8	CONCRETE	9" C
9	CONCRETE	10" C
10	CONCRETE	11" C
11	CONCRETE	12" C
12	CONCRETE	13" C
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98	CONCRETE	99" C
99	CONCRETE	100" C

LANDSCAPE LEGEND

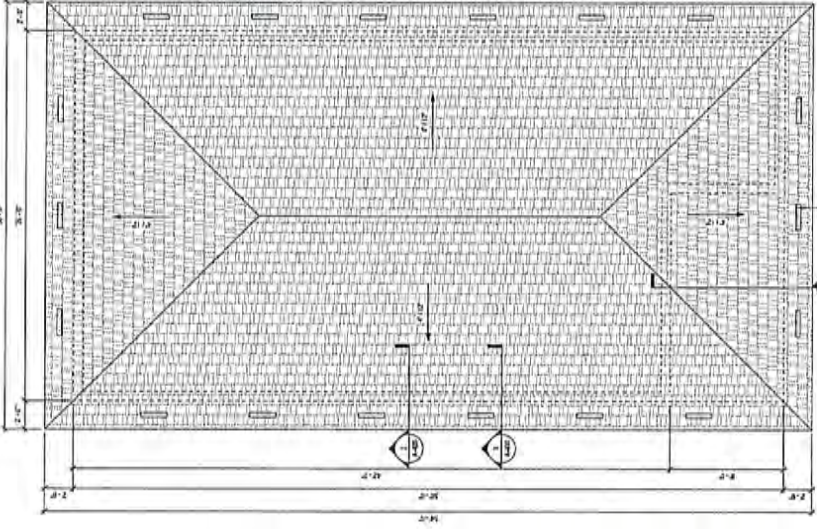
SYMBOL USED ON PLAN	MARK	NEW	EXISTING	PLANT NAME	COMMON	NATIVE SPECIES	INSTALL D	HEDGE ESTIMATED AT MATURITY	CANOPY ESTIMATED AT MATURITY	CONDITION / RECOMMENDATION
1	1	1	1	DELOINX REGIA	NO	NO	10'-18" FT.	15'	15'	EXISTING TO REMOVE
2	2	1	1	DELOINX REGIA	NO	NO	10'-18" FT.	20'	10'	EXISTING TO RESHAPE
3	3	1	1	DELOINX REGIA	NO	NO	10'-12" FT.	12'	10'	EXISTING TO REMOVE
4	4	1	1	MANILA PALM	NO	NO	10'-12" FT.	15'-25" FT.	5'-8" FT.	NEW
5	5	1	1	DELOINX REGIA	NO	NO	10'-18" FT.	40'	20'	EXISTING TO REMOVE
6	6	1	1	FICUS AUREA	YES	YES	10'-12" FT.	18'-20" FT.	18" FT.	EXISTING TO REMAIN
7	7	1	1	CORDIA SEBESTENA	YES	YES	10'-12" FT.	12'-15" FT.	30'-60" FT.	NEW
8	8	1	1	QUERUS VIRGINIANA	YES	YES	10'-12" FT.	12'-15" FT.	30'-60" FT.	NEW
9	9	1	1	QUERUS VIRGINIANA	YES	YES	10'-12" FT.	12'-15" FT.	30'-60" FT.	NEW
10	10	1	1	QUERUS VIRGINIANA	YES	YES	10'-12" FT.	12'-15" FT.	30'-60" FT.	NEW
11	11	15	1	FRAXINUS STYRACIA	YES	YES	2'-3" FT.	15'-15" FT.	9'-12" FT.	NEW
12	12	25	1	DURANTA ERECTA	NO	NO	2'-3" FT.	12'-15" FT.	8'-12" FT.	NEW

GENERAL NOTE
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MIAMI AND THE MIAMI-DADE COUNTY DEPARTMENT OF PUBLIC WORKS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE MIAMI-DADE COUNTY DEPARTMENT OF PUBLIC WORKS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE MIAMI-DADE COUNTY DEPARTMENT OF PUBLIC WORKS.



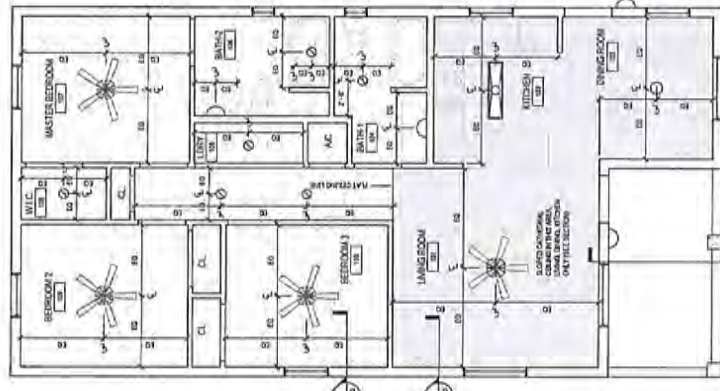
1 FLOOR PLAN 1/8" = 1'-0"

FLOOR PLAN LEGEND	FINISH NOTES
<ul style="list-style-type: none"> CONCRETE FLOOR FINISH CONCRETE FLOOR FINISH CONCRETE FLOOR FINISH 	<p>SEE 2023 SECTION WITH LITERATURE PROTECTION.</p> <p>ALL FINISHES SHALL BE IN ACCORDANCE WITH THE BUILDING DEPARTMENT'S APPROVED SCHEDULE OF FINISHES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE FINISHES TO BE USED.</p> <p>FINISHES SHALL BE IN ACCORDANCE WITH THE BUILDING DEPARTMENT'S APPROVED SCHEDULE OF FINISHES.</p>



3 ROOF PLAN 1/8" = 1'-0"

ROOF PLAN LEGEND	NOTES
<ul style="list-style-type: none"> GENERAL CEILING FLAT CEILING @ 2'-0" CEILING ON RAFTERS CEILING ON TRUSS 	<p>ROOF SHALL BE IN ACCORDANCE WITH THE BUILDING DEPARTMENT'S APPROVED SCHEDULE OF FINISHES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE FINISHES TO BE USED.</p> <p>ROOF SHALL BE IN ACCORDANCE WITH THE BUILDING DEPARTMENT'S APPROVED SCHEDULE OF FINISHES.</p>



2 REFLECTED CEILING PLAN 1/8" = 1'-0"

CEILING PLAN LEGEND	NOTES
<ul style="list-style-type: none"> GENERAL CEILING FLAT CEILING @ 2'-0" CEILING ON RAFTERS CEILING ON TRUSS 	<p>ROOF SHALL BE IN ACCORDANCE WITH THE BUILDING DEPARTMENT'S APPROVED SCHEDULE OF FINISHES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE FINISHES TO BE USED.</p> <p>ROOF SHALL BE IN ACCORDANCE WITH THE BUILDING DEPARTMENT'S APPROVED SCHEDULE OF FINISHES.</p>

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STRUCTURAL ENGINEER
REGISTERED PROFESSIONAL ENGINEER
STATE OF FLORIDA
NO. 12518
FRACOR ENGINEERS
1000 S.W. 15TH AVENUE, SUITE 400
MIAMI, FLORIDA 33135
TEL: 305.375.1111
WWW.FRACOR.COM

Habitat for Humanity
Habitat for Humanity of Greater Miami
3200 NW 22nd Avenue
Miami, Florida 33142
TEL: 305.441.1111

REVISION	NO.	DESCRIPTION	DATE

PERMIT SET
PROJECT NAME: UNIT - 622
LEGAL DESCRIPTION: LOT 12, BLOCK 16, MIAMI GOLFWAY RESUBDIVISION, PLAT BOOK 4, PAGE 11, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
ADDRESS: 1600 SW 60TH DR #600 W, MIAMI, FL 33149
SCALE: 3/8" = 1'-0"

FLOOR PLAN, REFLECTED CEILING PLAN & ROOF PLAN
SHEET NO: A-200
PROJECT NO: PERMIT SET



VIADesignStudio
 ARCHITECTS
 1500 S.W. 15TH AVENUE, SUITE 100
 MIAMI, FL 33135
 TEL: 305.555.1234
 FAX: 305.555.1235

FRAGA ENGINEERS
 STRUCTURAL ENGINEER
 123 SW 15th Ave, Suite 100
 Miami, FL 33135
 TEL: 305.555.1234
 FAX: 305.555.1235



NO.	DESCRIPTION	DATE
1	ISSUE DATE	12/20/2024
2	ISSUE DATE	05/20/2025
3	ISSUE DATE	05/20/2025
4	ISSUE DATE	05/20/2025

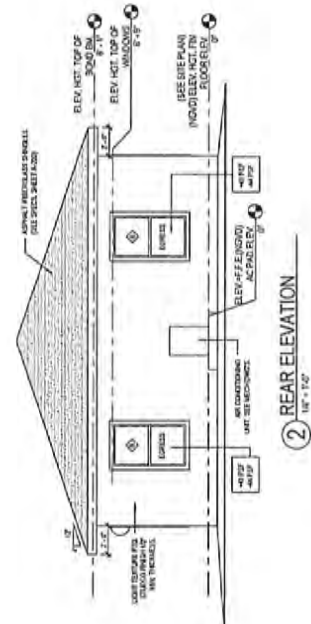


Habitat for Humanity of Greater Miami - 3500 NW
 22nd Avenue
 Miami, Florida 33142

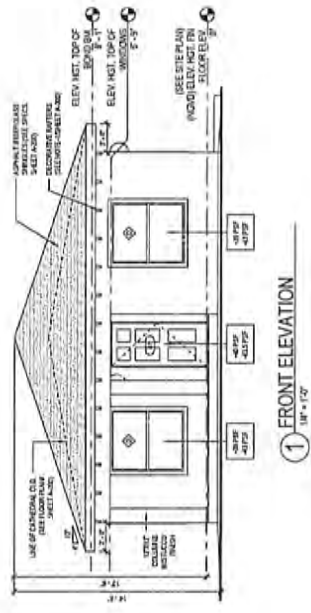
PROJECT NAME: _____
 PROJECT NO: 080221M
 DRAWING NO: 622
 LEGAL DESCRIPTION: _____
 L & P MAY NOT BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF VIADesignStudio.
 ALL RIGHTS RESERVED. © 2025 VIADesignStudio

DATE: 12/20/2024
 VSD: PRAJAY K
 SCALE: AS SHOWN
 DRAWN: A-300
 CHECKED: JAV
 SHEET NAME: _____

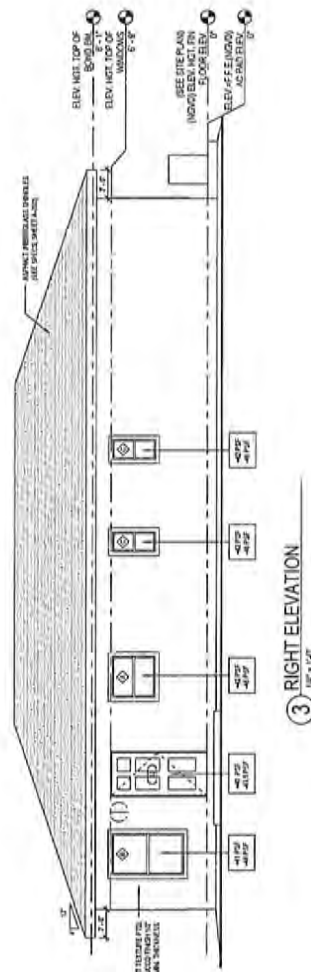
ELEVATIONS
 SHEET NO.: A-300
 PROJECT PHASE: _____
 PERMIT SET



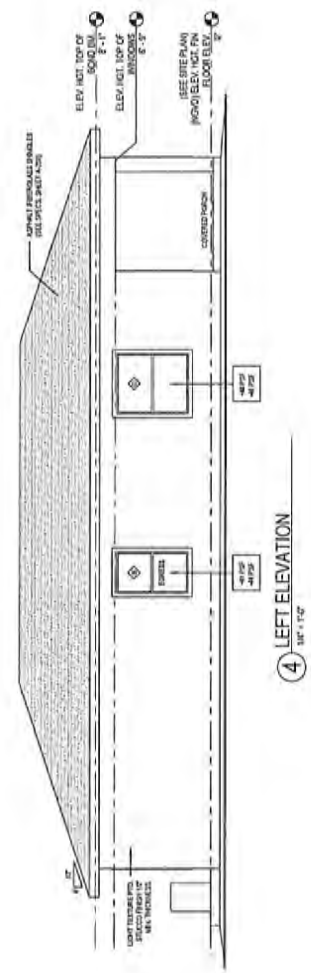
① FRONT ELEVATION
 1/8" = 1'-0"



② REAR ELEVATION
 1/8" = 1'-0"



③ RIGHT ELEVATION
 1/8" = 1'-0"



④ LEFT ELEVATION
 1/8" = 1'-0"

ELEVATION NOTES:
 1. ELEVATIONS ARE TO FINISH UNLESS OTHERWISE NOTED.
 2. FINISHES ARE TO BE APPLIED TO THE EXTERIOR SURFACE UNLESS OTHERWISE NOTED.
 3. FINISHES ARE TO BE APPLIED TO THE INTERIOR SURFACE UNLESS OTHERWISE NOTED.
 4. FINISHES ARE TO BE APPLIED TO THE CEILING UNLESS OTHERWISE NOTED.
 5. FINISHES ARE TO BE APPLIED TO THE FLOOR UNLESS OTHERWISE NOTED.
 6. FINISHES ARE TO BE APPLIED TO THE WALLS UNLESS OTHERWISE NOTED.
 7. FINISHES ARE TO BE APPLIED TO THE ROOF UNLESS OTHERWISE NOTED.
 8. FINISHES ARE TO BE APPLIED TO THE CURBS UNLESS OTHERWISE NOTED.

DISCLOSURE OF INTEREST*

If a **CORPORATION** owns or leases the subject property, list principal stockholders and percent of stock owned by each. [Note: Where principal officers or stockholders consist of other corporation(s), trust(s), partnership(s) or similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

CORPORATION NAME: Habitat for Humanity of Greater Miami, Inc

<u>NAME AND ADDRESS</u>	<u>Percentage of Stock</u>
<u>Mario Artecona 3800 NW 22 AVE MIAMI, FL 33142</u>	<u>100%</u>
<u> </u>	<u> </u>
<u> </u>	<u> </u>
<u> </u>	<u> </u>
<u> </u>	<u> </u>
<u> </u>	<u> </u>

If a **TRUST or ESTATE** owns or leases the subject property, list the trust beneficiaries and percent of interest held by each. [Note: Where beneficiaries are other than natural persons, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

TRUST/ESTATE NAME: _____

<u>NAME AND ADDRESS</u>	<u>Percentage of Interest</u>
<u> </u>	<u> </u>
<u> </u>	<u> </u>
<u> </u>	<u> </u>
<u> </u>	<u> </u>
<u> </u>	<u> </u>

If a **PARTNERSHIP** owns or leases the subject property, list the principals including general and limited partners. [Note: Where partner(s) consist of other partnership(s), corporation(s), trust(s) or similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interests].

PARTNERSHIP OR LIMITED PARTNERSHIP NAME: _____

<u>NAME AND ADDRESS</u>	<u>Percent of Ownership</u>
<u> </u>	<u> </u>
<u> </u>	<u> </u>
<u> </u>	<u> </u>
<u> </u>	<u> </u>
<u> </u>	<u> </u>

If there is a **CONTRACT FOR PURCHASE** by a Corporation, Trust or Partnership, list purchasers below, including principal officers, stockholders, beneficiaries or partners. [Note: Where principal officers, stockholders, beneficiaries or partners consist of other corporations, trusts, partnerships or similar entities, further disclosure shall be made to identify natural persons having ultimate ownership interests].

NAME OF PURCHASER: _____

NAME, ADDRESS AND OFFICE (if applicable)	Percentage of Interest
_____	_____
_____	_____
_____	_____
_____	_____

Date of contract: _____

If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership or trust:

NOTICE: For changes of ownership or changes in purchase contracts after the date of the application, but prior to the date of final public hearing, a supplemental disclosure of interest is required.

The above is a full disclosure of all parties of interest in this application to the best of my knowledge and belief.

Signature: _____
(Applicant)

Sworn to and subscribed before me this 06 day of May, 2025. Affiant is personally known to me or has produced _____ as identification.

Vanessa Maya Jaramillo
(Notary Public)



My commission expires Feb/26/2025

*Disclosure shall not be required of: 1) any entity, the equity interests in which are regularly traded on an established securities market in the United States or another country; or 2) pension funds or pension trusts of more than five thousand (5,000) ownership interests; or 3) any entity where ownership interests are held in a partnership, corporation or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership and where no one (1) person or entity holds more than a total of five per cent (5%) of the ownership interest in the partnership, corporation or trust. Entities whose ownership interests are held in a partnership, corporation, or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership, shall only be required to disclose those ownership interest which exceed five (5) percent of the ownership interest in the partnership, corporation or trust.





















**Miami-Dade County Department of Regulatory and Economic Resources
Staff Report to the Community Zoning Appeals Board 14**

PH: Z25-100

January 14, 2025

Item No. C

Recommendation Summary	
Commission District	8
Applicant	Leon Ranch LLC
Summary of Request	The applicant seeks to permit a rezoning of the subject property from AU (minimum 5 gross acre lots) to EU-M (minimum 15,000 sq. ft. lots) which would allow the property to be developed with more residential units than currently permitted.
Location	18900 SW 132 Avenue, Miami-Dade County.
Property Size	±2.62-gross (±2.55-net) Acres
Existing Zoning	AU, Agricultural Five Acre District
Existing Land Use	Horse training and stables
2030-2040 CDMP Land Use Designation	Estate Density Residential, 1 to 2.5 dua <i>(see attached Zoning Recommendation Addendum)</i>
Comprehensive Plan Consistency	Consistent with the LUP map, and the interpretative text and policies of the CDMP
Applicable Zoning Code Section(s)	Section 33-311, District Boundary Change <i>(see attached Zoning Recommendation Addendum)</i>
Recommendation	Approval, subject to the Board's acceptance of the proffered covenant.

This application was unable to be heard at the Community Zoning Appeals Board (CZAB) #14 meeting scheduled for December 17, 2025, due to a lack of quorum.

The public hearing on this item was not held.

REQUEST:

DISTRICT BOUNDARY CHANGE from AU, Agricultural District, to EU-M, Estate Modified District.

PROJECT DESCRIPTION:

The applicant seeks to rezone the ±2.62-gross (±2.55-net) Acres subject property from AU (Agricultural minimum 5 gross acre lots) to EU-M (minimum 15,000 square foot lots). Staff notes that there were no plans submitted for this application. However, a zoning covenant is being voluntarily proffered by the applicant which restricts that the maximum number of dwelling units on the subject property will not exceed the maximum residential density that would be allowed under the Miami-Dade County Comprehensive Development Master Plan, unless property is developed under the workforce housing standards.

NEIGHBORHOOD CHARACTERISTICS		
	Zoning and Existing Use	Land Use Designation
Subject Property	AU; horse training and stables	Estate Density Residential (1 to 2.5 dua)
North	EU-M; single-family residences	Estate Density Residential (1 to 2.5 dua)
South	EU-M; single-family residences	Estate Density Residential (1 to 2.5 dua)
East	EU-M; single-family residences	Estate Density Residential (1 to 2.5 dua)
West	EU-M; single-family residences	Estate Density Residential (1 to 2.5 dua)

NEIGHBORHOOD COMPATIBILITY:

The ±2.62-gross (±2.55-net) acre subject property consists of horse training areas and stables that are ancillary to the use and is located at 18900 SW 132 Avenue. The surrounding area is characterized by existing single-family residences on properties that are zoned EU-M to the north, west, east and south of the subject property. Additionally, the subject property is located inside the Urban Development Boundary (UDB).

SUMMARY OF THE IMPACTS:

The approval of this application will allow the applicant to rezone the subject property in order to provide additional housing in this area, which could have traffic impacts as well as impacts on other County services. Based on memoranda from the departments reviewing this application, the additional impacts will be minimal and will not cause their facilities and services to operate below their adopted levels of service standards. The Platting and Traffic Review Section of the Department of Regulatory and Economic Resources (RER) state in their memorandum that the application meets the traffic concurrency criteria, does not exceed the acceptable Level of Service (LOS) on the neighboring roadways and will generate approximately 9 PM peak hour vehicle trips. Staff notes that the application requests will add to the population in the area, impact water and sewer services, and may bring additional noise into the area.

COMPREHENSIVE DEVELOPMENT MASTER PLAN ANALYSIS:

The subject property is located within the Urban Development Boundary (UDB) and designated as **Estate Density Residential** use on the Comprehensive Development Master Plan (CDMP) Land Use Plan (LUP) map. *The residential densities allowed in this category shall range from a minimum of 1.0 to a maximum of 2.5 units per gross acre.* This allows the applicant to develop the ±2.62-gross acre subject site with a total of six (6) residential units as the maximum density allowed under the CDMP Estate Density Residential threshold on the LUP map. The applicant seeks a district boundary change from AU to EU-M. Staff notes that EU-M, Single-Family Modified Estate District, has a minimum lot size of 15,000 sq. ft. net and approval of this application could allow the applicant to develop the ±2.55-net acre subject parcel with up to a maximum of seven (7) residential units which would slightly exceed the maximum density threshold allowed under

the CDMP. However, staff notes that the applicant has voluntarily proffered a zoning declaration of restrictions in support of the requested rezoning, which restricts that the maximum number of dwelling units on the subject property will not exceed the maximum residential density that would be allowed under the Miami-Dade County Comprehensive Development Master Plan, unless property is developed under the workforce housing standards. As such, staff opines that subject to the Board's acceptance of the proffered covenant, the rezoning of the subject property to EU-M would be **consistent** with the Estate Density Residential designation on the CDMP LUP map.

The CDMP Land Use Element **Objective LU-4**, states that *Miami-Dade County shall, by the year 2030, reduce the number of land uses, which are inconsistent with the uses designated on the LUP map and interpretive text, or with the character of the surrounding community.* Staff notes that the subject property abuts properties immediately to the north, south, east and west that are developed with EU-M zoned single-family residences. As such, staff opines that the proposed EU-M zoning keeps with the recent residential zoning trend of development that exists within the surrounding neighborhood. Based on the foregoing, staff opines that approval of the rezoning of the subject property to EU-M, subject to the Board's acceptance of the proffered zoning covenant, would be **compatible** with the surrounding area and **consistent** with the density threshold of the **Estate Density Residential** designation of the parcel on the CDMP Land Use Plan map and Land Use Element interpretative text, **Objective LU-4**.

ZONING ANALYSIS:

The applicant seeks approval of a request for a district boundary change from AU, Agricultural District, to EU-M, Single-Family Estate Modified District, on the subject parcel. For the reasons stated above and below, staff opines that when the aforementioned request to rezone the ± 2.62 -gross (± 2.55 -net) Acres subject parcel to the EU-M zoning district is analyzed under Section 33-311, District Boundary Change, the approval of the request would be **compatible** with the surrounding area. Section 33-311 of the Code states that the purpose of the Code is to provide a comprehensive plan and design to among other things, lessen congestion on the highways and promote health, safety, morals, convenience, and general welfare, with the view of giving reasonable consideration among other things to the character of the district or area and its peculiar suitability for particular uses. Staff supports the district boundary change and opines that based on the Comprehensive Development Master Plan land use designation of Estate Density Residential, and for the reasons explained in the Comprehensive Development Master Plan Analysis section, the request for a zone change on the subject property to EU-M is **consistent** with the CDMP designation of the parcel on the CDMP Land Use Plan map, and **compatible** with the natural transition of residential zoning trend of development in the surrounding area.

Staff opines that given the established residential pattern in the surrounding area characterized by existing single-family residences located to the north, west, east and south of the subject property that are already zoned EU-M, staff finds that the proposed rezoning represents a consistent and compatible continuation of the development pattern that would not alter the development trend within the surrounding community. Staff notes that although no site plans were submitted for this application, at the time of permitting any future residential development of the property would have to comply with EU-M zoning requirements, which require the development to be compatible with the adjacent uses through the implementation of adequate buffering, site planning, and/or design features. Based on the aforementioned reasons, staff opines that

approval of the request to rezone the subject parcel to EU-M, subject to the proffered covenant, would be **compatible** with the character of the surrounding neighborhood, when considering the necessity and reasonableness of the zone change in relation to the present and future development of the area.

Staff also notes that based on the memoranda submitted by other departments reviewing the application, approval of the application will not cause their facilities and services to operate below their adopted levels of service standards. Staff notes that the Platting and Traffic Review Section of the Department of Regulatory and Economic Resources (RER), does not object to the application and indicate in their memorandum that the application will meet the traffic concurrency criteria for an Initial Development Order and will generate 9 PM peak hour vehicle trips. Further, the Division of Environmental Resources Management of the Department of Regulatory and Economic Resources indicate in their memorandum that the application meets all applicable LOS standards for an initial development order for potable water service, wastewater disposal, and flood protection. In addition, the other departments reviewing the application, including the Miami Dade Fire Rescue Department and the Water and Sewer Department, do not object to the application. Based on the aforementioned department memoranda, staff opines that the request for rezoning will not result in, among other things, excessive noise or cause undue or excessive burden on public facilities. As such, staff opines that approval of the request to rezone the subject parcel to EU-M, would be **compatible** with the character of the surrounding neighborhood, when considering the necessity and reasonableness of the rezoning in relation to the present and future development of the area. **Therefore, staff recommends approval of the application, subject to the Board's acceptance of the proffered covenant, for a district boundary change to EU-M, Estate Modified Residential District, under Section 33-311, District Boundary Change.**

ACCESS, CIRCULATION AND PARKING: N/A

NEIGHBORHOOD SERVICES PROVIDER REVIEW: See attached.

OTHER: Not applicable.

RECOMMENDATION:

Approval, subject to the Board's acceptance of the proffered covenant.

CONDITIONS FOR APPROVAL: None.

ES:JB:SS:MA



Eric Silva, AICP, Assistant Director
Development Services Division
Miami-Dade County Department of
Regulatory and Economic Resources

ZONING RECOMMENDATION ADDENDUM

LEON RANCH LLC
PH: Z25-100

NEIGHBORHOOD SERVICES PROVIDER COMMENTS*	
Division of Environmental Resources Management (RER)	<i>No objection*</i>
Platting and Traffic Review Section (RER)	<i>No objection*</i>
Miami-Dade Fire Rescue (MDFR)	<i>No objection</i>
Water and Sewer Department (WASD)	<i>No objection</i>
Building and Neighborhood Compliance (BNC)	<i>No objection</i>
<i>*Subject to conditions in their memorandum.</i>	

COMPREHENSIVE DEVELOPMENT MASTER PLAN (CDMP) OBJECTIVES, POLICIES AND INTERPRETATIVE TEXT

Estate Density <i>(Pg. I-31)</i>	<i>This density range is typically characterized by detached estates which utilize only a small portion of the total parcel. Clustering, and a variety of housing types may, however, be authorized. The residential densities allowed in this category shall range from a minimum of 1.0 to a maximum of 2.5 dwelling units per gross acre.</i>
Objective LU-4 <i>(Pg. I-8)</i>	<i>Miami-Dade County shall continue to reduce the number of land uses, which are inconsistent with the uses designated on the LUP map and interpretive text, or with the character of the surrounding community.</i>

PERTINENT ZONING REQUIREMENTS/STANDARDS

Section 33-311 District Boundary Change	<p>(A) <i>The Community Zoning Appeals Boards are advised that the purpose of zoning and regulations is to provide a comprehensive plan and design to lessen the congestion in the highways; to secure safety from fire, panic and other dangers, to promote health, safety, morals, convenience and the general welfare; to provide adequate light and air; to prevent the overcrowding of land and water; to avoid undue concentration of population; to facilitate the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements, with the view of giving reasonable consideration among other things to the character of the district or area and its peculiar suitability for particular uses and with a view to conserving the value of buildings and property and encouraging the most appropriate use of land and water throughout the County.</i></p> <p>(F) Section 33-311 <i>provides that the Board shall take into consideration, among other factors the extent to which:</i></p> <ol style="list-style-type: none"> (1) <i>The development permitted by the application, if granted, conforms to the Comprehensive Development Master Plan for Miami-Dade County, Florida; is consistent with applicable area or neighborhood studies or plans, and would serve a public benefit warranting the granting of the application at the time it is considered;</i> (2) <i>The development permitted by the application, if granted, will have a favorable or unfavorable impact on the environmental and natural resources of Miami-Dade County, including consideration of the means and estimated cost necessary to minimize the adverse impacts; the extent to which alternatives to alleviate adverse impacts may have a substantial impact on the natural and human environment; and</i>
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	<p><i>whether any irreversible or irretrievable commitment of natural resources will occur as a result of the proposed development;</i></p> <p><i>(3) The development permitted by the application, if granted, will have a favorable or unfavorable impact on the economy of Miami-Dade County, Florida;</i></p> <p><i>(4) The development permitted by the application, if granted, will efficiently use or unduly burden water, sewer, solid waste disposal, recreation, education or other necessary public facilities which have been constructed or planned and budgeted for construction;</i></p> <p><i>(5) The development permitted by the application, if granted, will efficiently use or unduly burden or affect public transportation facilities, including mass transit, roads, streets and highways which have been constructed or planned and budgeted for construction, and if the development is or will be accessible by public or private roads, streets or highways.</i></p>
<p>Section 33-311(A)(4)(b) Non-Use Variances From Other Than Airport Regulations.</p>	<p><i>Upon appeal or direct application in specific cases to hear and grant applications for non-use variances from the terms of the zoning and subdivision regulations, the Board (following a public hearing) may grant a non-use variance upon a showing by the applicant that the non-use variance maintains the basic intent and purpose of the zoning, subdivision and other land use regulations, which is to protect the general welfare of the public, particularly as it affects the stability and appearance of the community and provided that the non-use variance will be otherwise compatible with the surrounding land uses and would not be detrimental to the community. No showing of unnecessary hardship to the land is required. For the purpose of this subsection, the term "non-use variances" involves matters such as setback lines, frontage requirements, subdivision regulations, height limitations, lot size restrictions, yard requirements and other variances which have no relation to change of use of the property in question.</i></p>

Building and Neighborhood Compliance

ENFORCEMENT HISTORY

LEON RANCH, LLC/LEON, ROBERTO 18900 SW 132 AVE
MIAMI-DADE COUNTY, FLORIDA.

APPLICANT

ADDRESS

Pending

Z2025000100

DATE

HEARING NUMBER

FOLIO: 30-6902-001-0332

REVIEW DATE OF CURRENT ENFORCEMENT HISTORY:

June 18, 2025

NEIGHBORHOOD REGULATIONS:

There are no open/closed cases in CMS

BUILDING SUPPORT REGULATIONS:

Case No. A2024004097X was opened on 07/11/2024. A Notice of Violation was issued for the expiration of permit no. 1994019517. Violation was corrected and case was closed on 08/15/2024.

Case No. B2024000171-F was opened on 01/31/2025. Civil Violation Notice P059598 was issued on 01/31/2025 for "*FAILURE TO OBTAIN A BUILDING RECERTIFICATION.*" Citation was voided on 05/01/2025 as the Building was exempt from recertification. Case was closed on 05/13/2025.

VIOLATOR:

LEON RANCH, LLC/LEON, ROBERTO

OUTSTANDING LIENS AND FINES:

There are no outstanding liens or fines.

Memorandum



Date: December 4, 2025

To: Lourdes M. Gomez, AICP, Director
Department of Regulatory and Economic Resources (RER)

From: Christine Velazquez, Division Chief
Department of Regulatory and Economic Resources (RER)

Subject: Z2025000100-3rd Review
Leo Ranch LLC
18900 SW 132nd Avenue
DBC from AU to EU-M
(AU) (2.5 acres)
02-56-39

Miami Dade County has performed an environmental review of the above referenced zoning application for compliance with the requirements of Chapter 24 of the Miami-Dade County Code (the Code) for potable water service and wastewater disposal. Based on the information provided, this zoning application is approved pursuant to section 24-43.1 of the Code related to potable water supply and wastewater disposal.

Potable Water Supply and Wastewater Disposal

Pursuant to the Code and based on the requested district boundary change, the future development is within feasible distance to connect to public water and public sanitary sewers. Therefore, the future development shall connect to public water and sanitary sewers in accordance with the Code. Please note that this development will need to obtain water and sanitary sewer extension permits prior to RER approval of future development orders. To the extent that connection to the public sanitary sewer system is not approved due to a sanitary sewer moratorium, this memorandum shall not be interpreted as written approval from RER to allow an alternative means of domestic wastewater disposal.

In accordance with section 24-43.4(2)(b)(iii) of the Code the property has submitted a covenant running with the land in favor of Miami-Dade County acknowledging that the property shall be required to connect to the applicable public infrastructure as a condition of any building permit for development on the property or portion thereof.

Existing public water and sewer facilities and services meet the Level of Service (LOS) standards set forth in the Comprehensive Development Master Plan (CDMP). Furthermore, the proposed development order, if approved, will not result in a reduction in the LOS standards subject to compliance with the conditions required by the County for this proposed development order.

Please note that some of the collection/transmission facilities, which includes sanitary sewer gravity sewer mains, sanitary sewer force mains and sanitary sewer pump stations, throughout the County do not have adequate capacity, as defined in the Consent Decree between Miami-Dade County, Florida Department of Environmental Protection, and the U.S. Environmental Protection Agency case 1:12-cv-

24400-FAM. Under the terms of this Consent Decree, this approval does not constitute an allocation or certification of adequate treatment and transmission system capacity. At the time of building permits RER-Environmental Plan Review will evaluate and may reserve sanitary sewer capacity, through the sanitary sewer certification process, if the proposed development complies with the provisions of the Consent Decree. Building permits for development in sanitary sewer basins which have been determined not to have adequate capacity cannot be approved, until adequate capacity becomes available.

Please be advised, RER-Environmental Plan Review, review and approval is required for any proposed public or private sanitary sewer system. Each parcel within the proposed development that is required to be served by public sanitary sewers shall connect directly to the public sanitary sewer system, without traversing other parcels. Private sanitary sewer collection and transmission systems are limited to one building per parcel connecting directly to a public sanitary sewer system and cannot traverse other parcels to connect to the public sanitary sewer system. If multiple buildings are proposed within a parcel, each building shall connect individually to a public sanitary sewer system without traversing other parcels.

Conditions of Approval: None

Pollution Remediation Review

DERM review based on potential sources (Current/Former Agricultural use), indicates the potential for environmental concerns at the subject property based on historical and/or current land use on the subject or adjoining property(ies). Therefore, the applicant is required to evaluate for and identify all site activities and land uses (historical and current) that represent(ed) a potential to cause or to have caused impairment of the environment (i.e., soil, groundwater, surface water, vapor) at, near or in the vicinity of the site. Based on the findings, appropriate environmental site assessment may be required in support of the site development. A report presenting the results/findings of the above required site investigation(s) and any necessary assessment, including all supporting documentation, shall be submitted to DERM for review prior to the submittal of site development plans including but not limited to soil improvement plans, drainage plans, dewatering plans, etc. DERM review and approval of said documents shall be required.

All construction plans (inclusive of drainage) and dewatering plans shall require the approval from the Environmental Monitoring and Restoration Division of DERM (EMRD) as it relates to environmental contamination issues. Be advised that the EMRD review of this application does not constitute an approval of any site plans, drainage plans, or development plans that may be included as part of this application.

Please note that this information relates to future reviews and assessments. For property that is classified as agricultural by the Miami Dade County Property Appraiser, under certain circumstances, certain DERM activities would be preempted to the Florida Department of Environmental Protection, and such matters would be reviewed on a case-by-case basis to ensure compliance with applicable state law.

Any contaminated portion of the site that is proposed to be sold, transferred or dedicated (including, but not limited to, for public right-of-way) to any public entity shall be identified on the tentative and final plat plans for this development. If any contaminated portion of the site is proposed to be sold, transferred or dedicated to the County, please note that all soil, groundwater or surface water contaminants, solid waste, and methane must be disclosed to the applicable County department at the earliest stage possible. The applicable County departments would include all departments that would receive or manage the

proposed property, and for example, would include PROS for a park and DTPW for road right-of-way. Please note that the presence of any such contamination, solid waste, or methane or a delay by the applicant in disclosing such contamination or impacts to the applicable County departments could result in the county declining to accept the proposed dedication. This may in turn result in the need for the developer to reconfigure or change previously approved site plans, or make other changes to the proposed development, which may require approval after public hearing.

If an applicant elects to address soil contamination, groundwater contamination, solid waste and methane via a No Further Action with Conditions, each individual property owner will be required to execute a restrictive covenant. Please note that nothing stated herein may be interpreted to limit or restrict an engineer's or other professional's responsibility to prepare plans accurately and completely for proposed rights-of-way as well as any other projects or plans.

Please contact Thomas Kux, P.G. at Thomas.kux@miamidade.gov if you have any questions.

Conditions of Approval: None

Tree Preservation Review

An aerial review of the subject property indicates the presence of tree resources, including specimen trees (a tree with a trunk diameter of 18 inches or greater). Section 24-49 of the Code provides for the preservation and protection of specimen tree resources. A Miami-Dade County Tree Permit is required prior to the removal and/or relocation of any tree that is subject to the tree preservation and protection provisions of the Code. Projects and permits shall comply with the requirements of sections 24-49.2 and 24-49.4 of the Code, including the specimen tree standards.

The subject application was reviewed to determine whether the proposed request is in accordance with the specimen tree protection standards contained in section 24-49.2 of the Code; however, no information regarding these tree resources was submitted with this application. It is noted that the applicant has not submitted a site plan for consideration with the application. The applicant is advised that a tree survey that includes a tree disposition table will be required during the tree removal permit application process.

The subject application, which requests a district boundary change from AU to EU-M could result in tree removal/relocation activity to trees. The specimen tree standards of section 24.49.2(11)(1) of the Code require the preservation of the specimen trees whenever reasonably possible, unless a tree removal permit is obtained which authorizes the removal of specimen trees. **Any RER recommendation or approval of the district boundary change shall not be interpreted as approval for the removal or relocation of any tree resources on site.**

The applicant is advised to contact the Tree and Forest Resources Section at (305) 372-6574 for additional information regarding tree permitting procedures and requirements.

In accordance with section 24-49.9 of the Code, all plants prohibited by Miami-Dade County shall be removed from all portions of the property prior to development, or redevelopment and developed parcels shall be maintained to prevent the growth or accumulation of prohibited species. Please contact Jackelyn Alberdi at Jackelyn.Alberdi@miamidade.gov for additional information or concerns regarding this review.

Conditions of Approval: None

DERM Enforcement History Review

There are no open or closed enforcement records for violations of Chapter 24 of the Code for the subject property. There are no outstanding DERM liens or fines for the subject property.

Concurrency Review Summary

A concurrency review has been conducted for this application and the County has determined that the same meets all applicable LOS standards for an initial development order as specified in the adopted CDMP for potable water supply, wastewater disposal, and flood protection. This concurrency approval is valid only for this initial development order. Pursuant to Chapter 33G of the Code, a final concurrency statement will be issued at the time of final development order.

If you have any questions concerning the comments or wish to discuss this matter further, please contact Ninfa Rincon at (305) 372-6764.

cc: Eric Silva, Department of Regulatory and Economic Resources

Memorandum



Date: July 24, 2025

To: Eric Silva, AICP, Assistant Director
Development Services Division
Department of Regulatory and Economic Resources (RER)

Through: James B. Ferguson, P.E.
Assistant Director
Water and Sewer Department (WASD)

From: Maria A. Valdes, CSM, LEED® Green Associate
Chief, Planning & Water Certification Section
Water and Sewer Department (WASD)

Subject: Zoning Application Comments - Leon Ranch LLC
Application No. Z2025000100 (Revision No.1)

Maria Valdes

The Water and Sewer Department has reviewed the proposed development for the subject zoning application. WASD has no objection to this zoning application, based on the information provided. Additional requirements may be needed at the time of permitting. The information provided below is preliminary and it does not affect the Zoning process.

At the time of development, the applicant is advised to consult with the project's engineer and WASD's Plans Review staff to finalize points of connection and capacity approval. A WASD Agreement and/or a Verification Form will be required.

Application Name: Leon Ranch LLC

Location: The proposed project is located on approximately 2.55 acres at 18900 SW 132nd Avenue, with Folio No. 30-6902-001-0332, in unincorporated Miami-Dade County.

Proposed Development: The Applicant is seeking a district boundary change from AU (Agricultural District) to EU-M (Single-Family Estate Modified District). A site plan depicting the future development was not submitted with this application. Therefore, the total water demand cannot be calculated at this time.

Water: The proposed development is located within the WASD's water service area. The water supply will be provided by the Alexander-Orr Water Treatment System (WTP). Currently, there is adequate treatment and water supply capacity at the WTP, consistent with Policy WS-2 A (1) of the CDMP.

There is an existing 12-inch water main (E11774-9) along SW 132nd Avenue, abutting the eastern boundary of the property to where the developer may connect to provide water service to the future development.

Water main extensions may be required depending on the future development. Final points of connections and capacity approval to connect to the water system will be provided at the time the applicant requests connection to the water infrastructure.

A Water Supply Certification (WSC) will be required for the future development. Said Certification will be issued at the time the applicant requests connection to the water system. The WSC letter shall remain active in accordance with terms and conditions specified in said certification. The WSC required is

consistent with Policy CIE-5D and WS-2C in the County's CDMP and in accordance with the permitted withdrawal capacity in the WASD's 20-year Water Use Permit.

For more information on the Water Supply Certification Program please go to:
<http://www.miamidade.gov/water/water-supply-certification.asp>

In addition, all future development will be required to comply with water use efficiency techniques for indoor water use and with landscape standards in accordance with Sections 8-31, 32-84, 18-A, and 18-B of the Miami-Dade County Code, consistent with Policies WS-5E and WS-5F of the CDMP. Also, per Section 8A-381 (c) of the Miami-Dade County Code, effective January 1, 2009, all permit applications for new multifamily residential developments shall be required to include a sub-meter for each individual dwelling unit.

For more information about our Water Conservation Program, please go to:
<http://www.miamidade.gov/conservation/home.asp>

For information concerning the Water-Use Efficiency Standards Manual please go to:
<http://www.miamidade.gov/waterconservation/library/instructions/water-use-efficiency-standards-manual.pdf>

Sewer: The proposed development is located within the WASD's sewer service area. The wastewater flows for the proposed development will be transmitted to the South District Wastewater Treatment Plant (SDWWTP) for treatment and disposal. The SDWWTP is currently operating under a permit from the Florida Department of Environmental Protection. Currently, there is adequate sewer treatment and disposal capacity at the SDWWTP, consistent with Policy WS-2 A (2) of the CDMP.

There is an existing 8-inch gravity sewer (ES8113-12-13) along SW 132nd Avenue, abutting the eastern boundary of the property to where the developer may connect to provide sewer service to the future development.

Any public gravity sewer extensions shall be a minimum of 8-inch diameter. *Final points of connections and capacity approval for connection to the sewer system will be provided at the time the applicant requests connection to the sewer infrastructure.*

If Unity of Title does not apply, then any gravity sewer within the property shall be public and 8-inch minimum in diameter.

The sewage flows from the future development will be transmitted to Pump Station (P.S.) No. 1124. Said pump station is currently in OK Moratorium Code Status.

Connection to the sanitary sewer system is subject to the following conditions:

- Adequate transmission and plant capacity exist at the time of the owner's request consistent with policy WS-2 A (2) of the CDMP. Capacity evaluations of the plant for average flow and peak flows will be required. Connection to the COUNTY'S sewage system will be subject to the terms, covenants and conditions set forth in court orders, judgments, consent orders, consent decrees and the like entered into between the COUNTY and the United States, the State of Florida and/or any other governmental entity, including but not limited to, the Consent Order entered on April 9, 2014 in the United States of America, State of Florida and State of

Florida Department of Environmental Protection v. Miami-Dade County, Case No. 1:12-cv-24400-FAM, as well as all other current, subsequent or future enforcement and regulatory actions and proceedings.

- Approval of all applicable governmental agencies having jurisdiction over these matters are obtained.

Any public water or sewer infrastructure must be within a public right-of-way, or within a utility easement.

Below please find additional links to the WASD portal, which provides information on the Construction & Development process for water and sewer infrastructure.

<http://www.miamidade.gov/water/construction-development.asp>

<http://www.miamidade.gov/water/construction-service-agreement.asp>

<http://www.miamidade.gov/water/construction-existing-service.asp>

<http://www.miamidade.gov/water/library/forms/service-agreement.pdf>

Should you have any questions, please contact Maria A. Valdes, Chief, Planning & Water Certification Section at (786) 552-8198 or mavald@miamidade.gov, Alfredo B. Sanchez at (786) 552-8237 or sanalf@miamidade.gov, or Suyapa Carbajal at (786) 552-8124 or suyapa.carbajal@miamidade.gov

Memorandum



Date: June 26, 2025

To: Eric Silva, AICP, Assistant Director
Department of Regulatory and Economic Resources

From: 
Raul A. Pino, PLS, Division Chief
Platting and Traffic Review Section
Department of Regulatory and Economic Resources

Subject: Z2025000100
Name: Leon Ranch LLC
Location: 31750 SW 189 Court
Section 02 Township 56 South Range 39 East

The Department of Regulatory and Economic Resources Platting and Traffic Review Section has reviewed the subject application and has **no objections**.

This land requires platting in accordance with Chapter 28 of the Miami-Dade County Code. Any right-of-way dedication per Miami-Dade Chapter 33-133 and Chapter 28 and/or improvements required will be accomplished thru the recording of the plat.

This application **does** meet the traffic concurrency criteria (*) for an Initial Development Order. It will generate **9 PM** peak hour vehicle trips. The traffic distribution of these trips to the adjacent roadways reveals that the addition of these new trips exceeds the acceptable level of service on one of the following roadways:

STA.#	LOCATION	LOS PRESENT	LOS W/PROJECT
9878	SW 184 Street west of SW 137 Avenue	C	C
9876	SW 184 Street west of SW 117 Avenue	C	C
9788	SW 127 Avenue south of SW 184 Street	C	C
F-1116	SW 200 Street west of SW 127 Avenue	D	D

NOTE: Station F-1116 is within 5% of reaching the roadway capacity limit.

(*) Traffic concurrency is based on the max density of the property with its proposed use where the number of peak hour vehicle trips may fluctuate.

The request herein, constitutes an Initial Development Order only, and one or more traffic concurrency determinations will subsequently be required before development will be permitted.

Notes: PM =Post Meridiem

The PM peak hour refers to the highest hour of vehicle trips generated during the afternoon peak hours of 4-6 PM

Standard Conditions:

- A letter or a plan containing the following certification signed and sealed by a State of Florida registered engineer shall be submitted as part of the paving and drainage plans: "I hereby certify that the all of the roads for the subject project comply with all of the applicable portions of the Manual of Uniform Minimum Standards for Design, Construction and Maintenance for Streets and Highways (Florida Greenbook) regarding: design speed, lane widths, horizontal alignment, vertical alignment, stopping sight distance, sight distance, horizontal clearance, vertical clearance, superelevation, shoulder widths, grades, bridge widths, etc."

- All landscaping, walls, fences, entrance features, etc. will be subject to the Safe Sight Distance Triangle as per Section 33-11 of the Miami-Dade County Code and G5.3 of the Public Works and Waste Management Department Manual.

Memorandum



Date: July 07, 2025

To: Eric Silva, Assistant Director
Regulatory and Economic Resources

From: Alejandro G Cuello, Principal Planner
Miami-Dade Fire Rescue Department

Subject: Z2025000100

The Miami-Dade Fire Rescue Department has **no objection** to request for zoning designation change uploaded to "EnerGov" on 7/7/2025. Any future site plans will need separate approval.

MDFR's review of this zoning application is limited to assessing fire department access and does not effectuate an approval of the building design. The future building's design must be in compliance with the applicable requirements for the proposed use:

Florida State Statute Chapter 633 (Fire Prevention & Control)
Florida Administrative Code 69A
Florida Fire Prevention Code (NFPA 1 and NFPA 101 (2018 edition))
Applicable adopted NFPA Standards
County Code Chapter 14

For additional information, please contact acuello@miamidade.gov or call 305-775-3357.





MIAMI-DADE COUNTY
HEARING MAP

Process Number
Z2025000100

Section: 02 Township: 56 Range: 39
 Applicant: Leon Ranch LLC
 Zoning Board: C14
 Commission District: 8
 Drafter ID: EDUARDO CESPEDES
 Scale: NTS



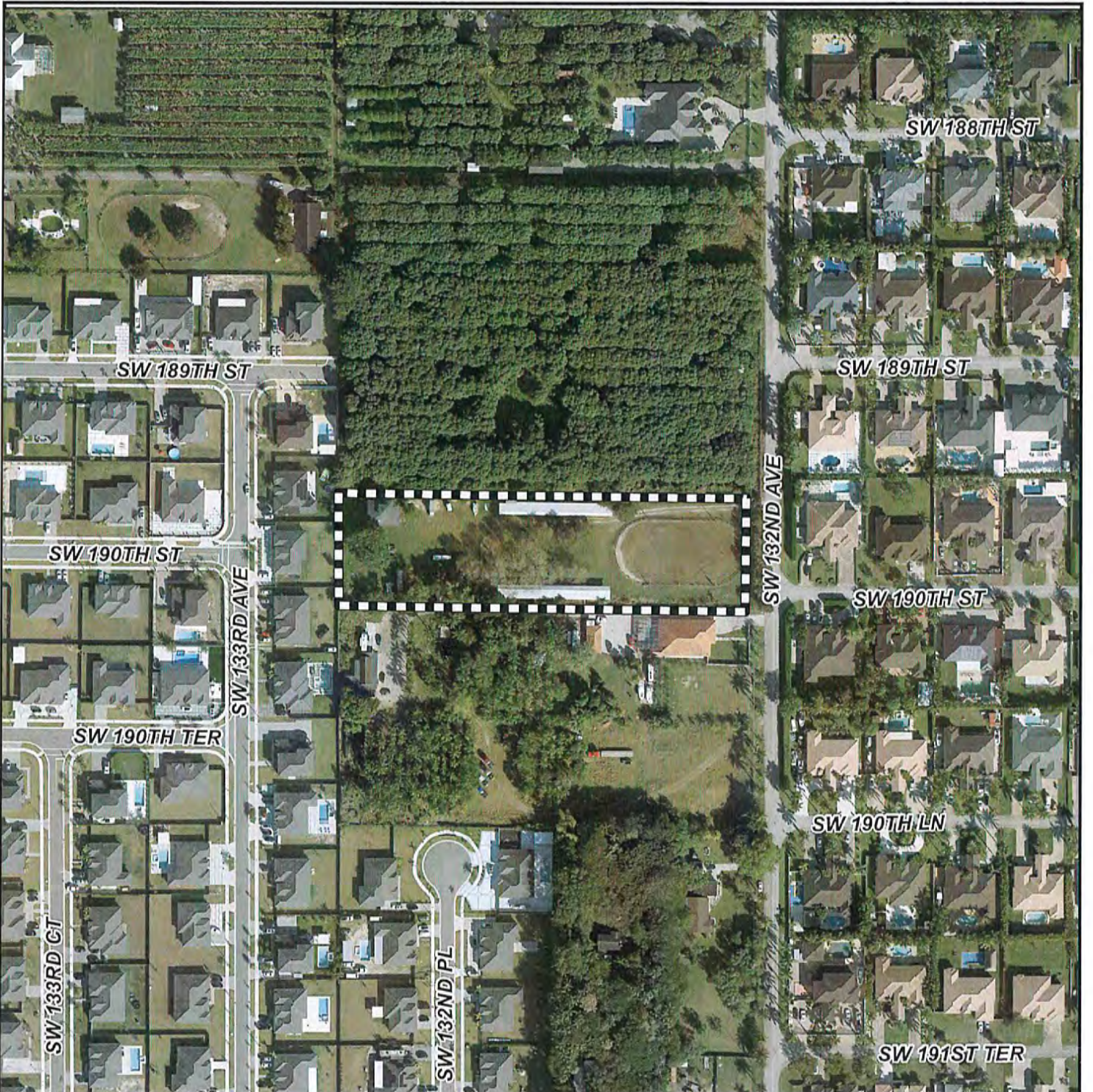
Legend

-  Subject Property Case
-  Zoning




SKETCH CREATED ON: Friday, May 16, 2025

REVISION	DATE	BY



MIAMI-DADE COUNTY
AERIAL YEAR 2024

Process Number
Z2025000100

Legend
 Subject Property

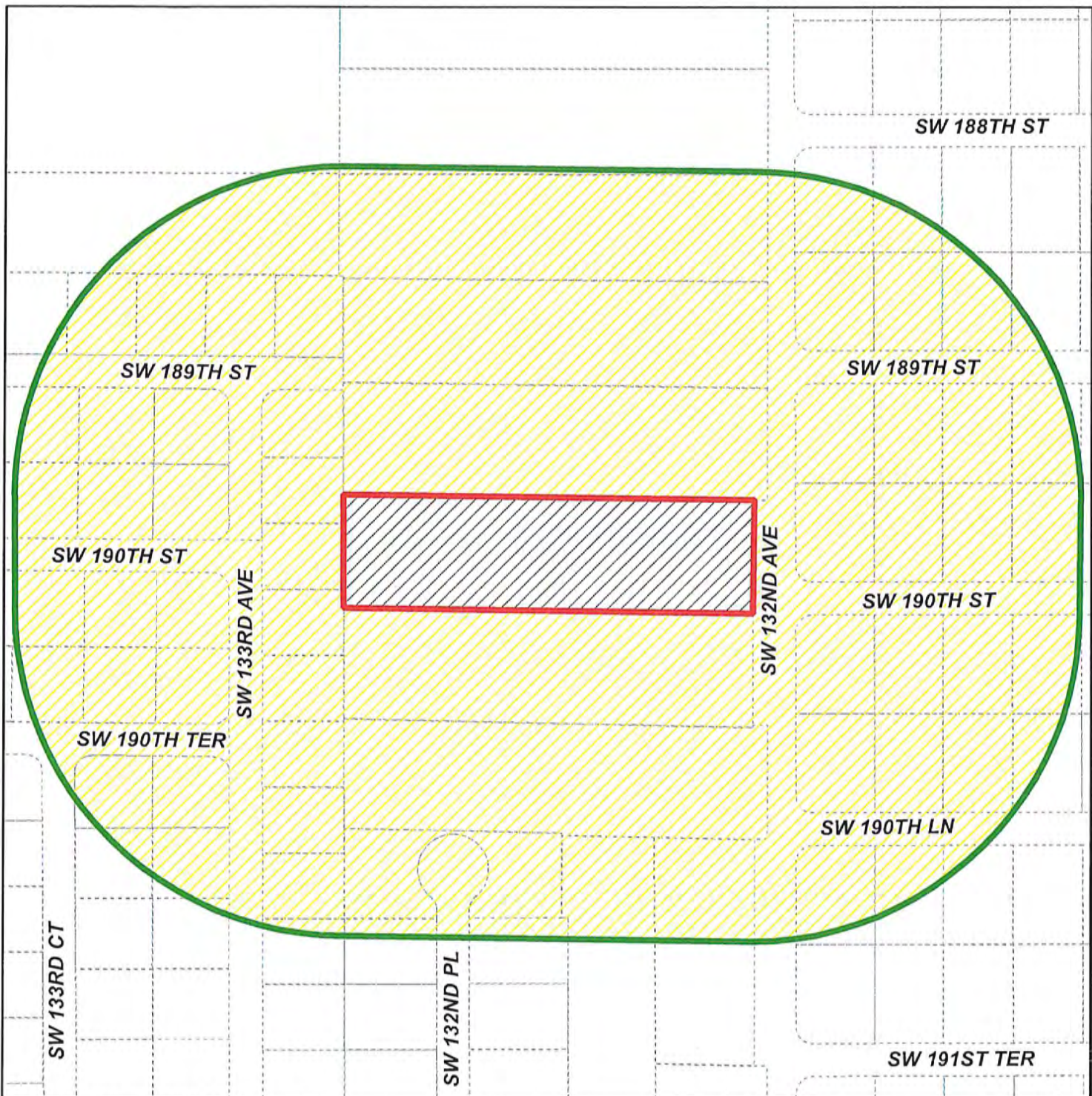


Section: 02 Township: 56 Range: 39
 Applicant: Leon Ranch LLC
 Zoning Board: C14
 Commission District: 8
 Drafter ID: EDUARDO CESPEDES
 Scale: NTS



SKETCH CREATED ON: Friday, May 16, 2025

REVISION	DATE	BY






MIAMI-DADE COUNTY
RADIUS MAP

Section: 02 Township: 56 Range: 39
 Applicant: Leon Ranch LLC
 Zoning Board: C14
 Commission District: 8
 Drafter ID: EDUARDO CESPEDES
 Scale: NTS

Process Number
Z2025000100
 RADIUS: 500

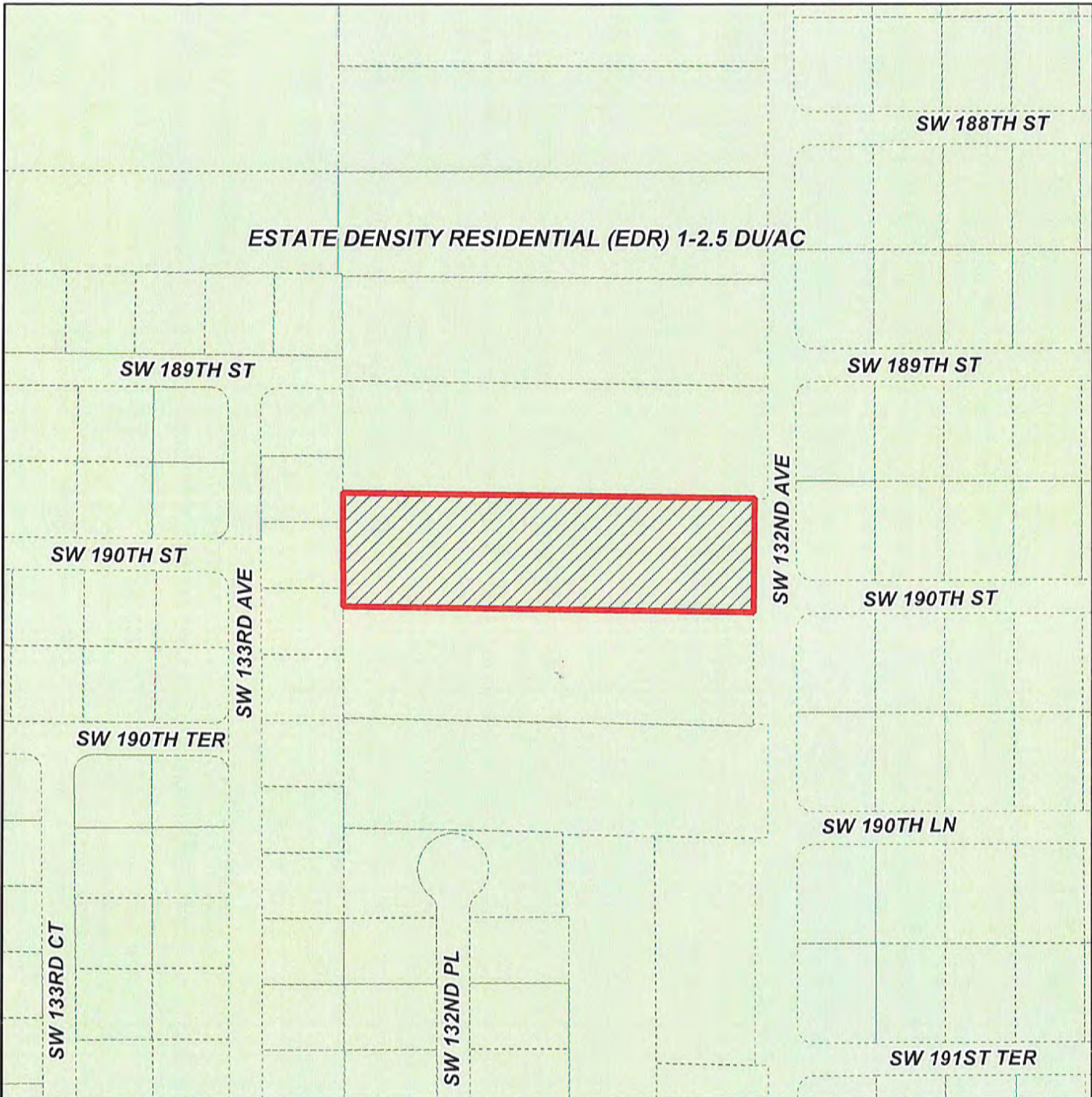
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-  Subject Property
-  Buffer
-  Property Boundaries



SKETCH CREATED ON: Friday, May 16, 2025

REVISION	DATE	BY



MIAMI-DADE COUNTY
CDMP MAP

.Process Number
Z2025000100

Section: 02 Township: 56 Range: 39
 Applicant: Leon Ranch LLC
 Zoning Board: C14
 Commission District: 8
 Drafter ID: EDUARDO CESPEDES
 Scale: NTS

Legend

 Subject Property Case



SKETCH CREATED ON: Friday, May 16, 2025

REVISION	DATE	BY

Disclosure of Interest*

If a CORPORATION owns or leases the subject property, list principal stockholders and percent of stock owned by each. [Note: Where principal officers or stockholders consist of other corporation(s), trust(s), partnership(s) or other similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

CORPORATION NAME: Leon Ranch LLC

NAME AND ADDRESS	PERCENTAGE OF STOCK
<u>Roberto Leon</u>	<u>100%</u>
_____	_____
_____	_____
_____	_____

If a TRUST or ESTATE owns or leases the subject property, list the trust beneficiaries and the percent of interest held by each. [Note: Where beneficiaries are other than natural persons, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

TRUST/ESTATE NAME: _____

NAME AND ADDRESS	PERCENTAGE OF INTEREST
_____	_____
_____	_____
_____	_____
_____	_____

If a PARTNERSHIP owns or leases the subject property, list the principals including general and limited partners. [Note: Where the partner(s) consist of another partnership(s), corporation(s), trust(s) or other similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

PARTNERSHIP OR LIMITED PARTNERSHIP NAME: _____

NAME AND ADDRESS	PERCENTAGE OF OWNERSHIP
_____	_____
_____	_____
_____	_____
_____	_____

**Disclosure shall not be required of: 1) any entity, the equity interests in which are regularly traded on an established securities market in the United States or another country; or 2) pension funds or pension trusts of more than five thousand (5,000) ownership interests; or 3) any entity where ownership interests are held in a partnership, corporation or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership and where no one (1) person or entity holds more than a total of five per cent (5%) of the ownership interest in the partnership, corporation or trust. Entities whose ownership interests are held in a partnership, corporation, or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership, shall only be required to disclose those ownership interest which exceed five (5) percent of the ownership interest in the partnership, corporation or trust.*



Disclosure of Interest

If there is a **CONTRACT FOR PURCHASE**, by a Corporation, Trust or Partnership list purchasers below, including principal officers, stockholders, beneficiaries or partners. [Note: Where principal officers, stockholders, beneficiaries or partners consist of other corporations, trusts, partnerships or other similar entities, further disclosure shall be made to identify natural persons having the ultimate ownership interests].

NAME OF PURCHASER: _____

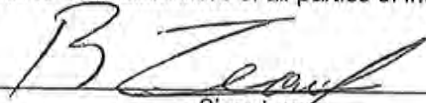
NAME AND ADDRESS	PERCENTAGE OF INTEREST
_____	_____
_____	_____
_____	_____
_____	_____

If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership or trust:

_____	_____
_____	_____
_____	_____
_____	_____


NOTICE: For any changes of ownership or changes in purchase contracts after the date of the application, but prior to the date of final public hearing or zoning determination, a supplemental disclosure of interest is required.

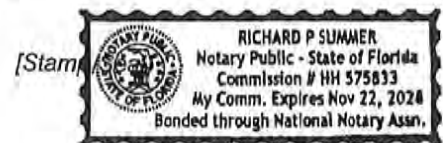
The above is a full disclosure of all parties of interest in this application to the best of my knowledge and belief.


Roberto Leon
Signature
Print Name

Sworn to and subscribed to before me on the 14 day of MAY, 2025

Affiant is personally known to me or has produced _____ as identification.

Notary: 



Commission expires: _____

This form is available online at www.miamidade.gov/zoning/forms.asp

FORM REVISION 2019/3



This instrument was prepared by:

Name: Richard P. Summer

Address: 16225 SW 117 Avenue

Miami, Florida 33177

Property Appraiser Folio # 30-6902-0010332

DECLARATION OF RESTRICTIONS

WHEREAS, Leon Ranch LLC, a Florida limited liability company (the Owner), holds the fee simple title to that certain parcel of land in unincorporated Miami-Dade County (the County), which is legally described in Exhibit A to this Declaration (the Property); and

WHEREAS, the Owner has filed an application with the County's Department of Regulatory and Economic Resources, which application is currently pending under Public Hearing Application No. Z2025000100 (the Application), for the purpose of seeking the rezoning of the Property and certain other approvals to facilitate the future development of the Property.

NOW, THEREFORE, in order to assure Miami-Dade County (the "County") that the representations made by the Owner during the consideration of the Application and the Amendment will be abided by the Owner freely, voluntarily, and without duress makes the following Declaration of Restrictions covering and running with the Property:

1. The maximum number of dwelling units on the Property will not exceed the maximum density allowed under the Miami-Dade County Comprehensive Development Master Plan unless property is developed pursuant to workforce housing standards.

Miscellaneous

- A. **County Inspection.** As further part of this Declaration, it is hereby understood and agreed that any official inspector of Miami-Dade County, or its agents duly authorized, may have the privilege at any time of entering and inspecting the use of the Property to determine whether or not the requirements of the building and zoning regulations and the conditions herein agreed to are being complied with.

- B. **Covenant Running with the Land.** This Declaration on the part of the Owners shall constitute a covenant running with the land and shall be recorded, at Owners expense in the public records of the County and shall remain in full force and effect and be binding upon the undersigned

Owners, and its heirs, successors and assigns until such time as the same is modified or released. The restrictions contained within this Declaration, while in effect, shall be for the benefit of, and constitute limitations upon, all present and future owners of the Property, and for the benefit of Miami-Dade County and the public welfare. The Owners, its heirs, successors, and assigns, acknowledge that acceptance of this declaration does not in any way obligate or provide a limitation on the authority of the County.

- C. **Term.** This Declaration is to run with the land and shall be binding on all parties and all persons claiming under it for a period of thirty (30) years from the date this Declaration is recorded, after which time it shall be extended automatically for successive periods of ten (10) years each, unless an instrument signed by the, then, owner(s) of the Property has been recorded agreeing to change this Declaration in whole, or in part, provided that the Declaration has first been modified or released by the County.

- D. **Modification, Amendment, Release.** This Declaration may be modified, amended or released as to the Property, or any portion thereof, by a written instrument executed by the then- owner(s) of the property, including joinders of all mortgagees, if any, provided that the same is also approved by the Board of County Commissioners or Community Zoning Appeals Board of Miami-Dade County, Florida, whichever by law has jurisdiction over such matters, or the Director as provided by the Miami-Dade County Code of Ordinances. It is provided, however, in the event that the Property is annexed to an existing municipality, or the Property is incorporated into a new municipality, any modification, amendment, or release shall not become effective until it is approved by such municipality and is thereafter approved by the Board of County Commissioners, in accordance with applicable procedures.

- E. **Enforcement.** Enforcement shall be by action against any parties or person violating, or attempting to violate, any covenants set forth in this Declaration. The prevailing party in any action or suit pertaining to or arising out of this Declaration shall be entitled to recover, in addition to costs and disbursements allowed by law,

such sum as the Court may adjudge to be reasonable for the services of his/her/its attorney. This enforcement provision shall be in addition to any other remedies available at law, in equity or both.

F. Authorization for Miami-Dade County to Withhold Permits and Inspections. In the event the terms of this Declaration are not being complied with, in addition to any other remedies available, the County is hereby authorized to withhold, in connection with the particular Parcel which is in default, any further permits, and refuse to make any inspections or grant any approvals with respect to the particular Parcel which is in default, until such time as this Declaration is complied with.

G. Election of Remedies. All rights, remedies and privileges granted herein shall be deemed to be cumulative and the exercise of any one or more shall neither be deemed to constitute an election of remedies, nor shall it preclude the party exercising the same from exercising such other additional rights, remedies, or privileges.

H. Presumption of Compliance. Where construction has occurred on the Property or any portion thereof, pursuant to a lawful permit issued by the County, an inspections made and approval of occupancy given by the County, then such construction, inspection and approval shall create a rebuttable presumption that the buildings or structures thus constructed comply with the intent and spirit of this Declaration.

I. Severability. Invalidation of any one of these covenants, by judgment of Court, shall not affect any of the other provisions which shall remain in full force and effect. However, if any material provision is invalidated, the County shall be entitled to revoke any approval predicated upon the invalidated provision.

J. Recordation and Effective Date. This Declaration shall be filed of record in the public records of Miami- Dade County, Florida, at the cost of the Owner following the approval of the Application. This Declaration shall become effective immediately upon recordation. Notwithstanding the previous sentence, if any appeal is filed, and the disposition of such appeal results in the denial of the application, in its entirety, then this Declaration shall be

null and void and of no further effect. Upon the disposition of an appeal that results in the denial of the Application, in its entirety, and upon written request, the Director of the Department of Regulatory and Economic Resources or the executive officer of the successor of said department, or in the absence of such director or executive officer by her/his assistant in charge of the office in her/his absence, shall forthwith execute a written instrument, in recordable form, acknowledging that this Declaration is null and void and of no further effect.

K. **Acceptance of Declaration.** Acceptance of this Declaration does not obligate the County in any manner, nor does it entitle the Owner to a favorable recommendation or approval of any application, zoning or otherwise, and the County retains its full power and authority to deny each such application in whole or in part and to decline to accept any conveyance or dedication.

L. **Owner.** The term "Owner" shall include the Owner, and its heirs, successors, and assigns.

IN WITNESS WHEREOF, the undersigned has executed this Declaration of Restrictions as of this 12 day of August, 2025.

WITNESSES:

[Signature]
Signature

Clara Puentes
Printed Name

[Signature]
Signature

Ventura Rodriguez
Printed Name

Leon Ranch LLC

a Florida Limited Liability Company

By: *[Signature]*

Roberto Leon, Member Manager

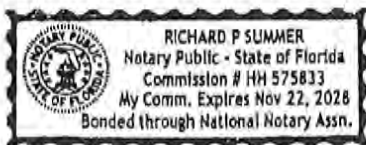
STATE OF FLORIDA

COUNTY OF MIAMI-DADE

The foregoing instrument was acknowledged before me by means of physical presence or online notarization by Roberto Leon as Member Manager of Leon Ranch LLC on behalf of said company. He is personally known to me or has produced, as identification.

Witness my signature and official seal this 12 day of August, 2025, in the County and State aforesaid.

(SEAL)



Signature *[Signature]*

Print Richard P. Summer

EXHIBIT A
LEGAL DESCRIPTION

FOLIO # 30-6902-001-0010332

LEGAL DESCRIPTION: THE SOUTH 1/2 OF THE EAST 1/2 OF TRACT 13 IN TROPICO, A SUBDIVISION IN THE NORTHWEST 1/4 OF SECTION 2, TOWNSHIP 56 SOUTH, RANGE 39 EAST, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 57, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

GARCIA & XIQUES, PA

SUITE 100, GROVE PROFESSIONAL BUILDING
2950 SW 27TH AVENUE
MIAMI, FLORIDA 33133

PHONE (305) 358-4800
FAX (305) 358-4809
AXIQUES@RPTGFLA.COM

OPINION OF TITLE

To: Miami-Dade County, a political subdivision of the State of Florida

With the understanding that this opinion of title is furnished to Miami-Dade County as inducement for acceptance of a covenant running with the land in favor of Miami-Dade County, for a zoning action covering the real property, hereinafter described, it is hereby certified that I have examined a complete "Abstract of Title" issued by Real Property Title Group as agents of Old Republic National Title Insurance Company having an effective date of September 10, 2019 @ 10:47 am and bearing policy number OF6-8714290 (the "Abstract of Title") and we have updated said Abstract of Title through May 21, 2025 at the hour of 11:00 pm, and through June 11, 2025 at the hour of 11:00 pm, inclusive, of the following described real property:

The South 1/2 of the East 1/2 of Tract 13 in Tropic, a subdivision in the Northwest 1/4 of Section 2, Township 56 South, Range 39 East, according to the Plat thereof, recorded in Plat Book 2, Page 57 of the Public Records of Miami-Dade County, Florida.

Basing our opinion on said complete abstract covering said period I am of the opinion that on the last mentioned date the fee-simple interest to the above described real property was vested in:

Leon Ranch LLC, a Florida limited liability company

Note: A review of the Articles of Organization Leon Ranch LLC show that Roberto Leon as the Member of Leon Ranch LLC is authorized to sign documents on behalf of Leon Ranch LLC.

Subject to the following encumbrances, liens and other exceptions:

I. RECORDED MORTGAGES:

NONE

II. RECORDED CONSTRUCTION LIENS, CONTRACT LIENS & JUDGMENTS:

III. GENERAL EXCEPTIONS:

- a. The lien of all special assessments and taxes for the year 2025, and subsequent years.
- b. Rights or claim of parties in possession other than title holders and not shown by the public records.
- c. Easements of claims of easements not shown by the public records.
- d. Encroachments, overlaps, boundary line disputes and other matters that would be disclosed by an accurate survey and inspection of the premises.
- e. Any adverse claims to any portion of said land which has been created by artificial means or has accreted to any such portion so created and riparian rights, if any.
- f. Taxes or special assessments which are not shown as existing liens by the public records.
- g. Any law, ordinance or governmental regulation (including but not limited to building and zoning laws, ordinances, or regulations) restricting, regulating, prohibiting or relating to (i) the occupancy, use, or enjoyment of the land; (ii) the character, dimensions or location of any improvement now or hereafter erected on the land; (iii) a separation in ownership or a change in the dimensions or area of the land or any parcel of which the land is or was a part; or (iv) environmental protection, or the effect of any violation of these laws, ordinances or governmental regulations, except to the extent that a notice of the enforcement thereof or a notice of a defect, lien or encumbrance resulting from a violation or alleged violation affecting the land has been recorded in the Public Records as of the date hereof.
- h. Rights of eminent domain unless notice of the exercise thereof has been recorded in the public records as of the date hereof which would be binding on the rights of a purchaser for value without knowledge.
- i. The information provided herein does not include a search of federal liens filed in the Office of the Secretary of State, pursuant to Sec. 713.901, et. seq., F.S., which became effective January 1, 1993 and which designated that Office as the place for filing federal liens against tangible and intangible personal property of partnerships, corporations, trusts and decedents' estates. For insuring purposes, personal property includes, but is not limited to, mortgages, leaseholds, mortgages on leaseholds, interests in cooperative

associations, vendees' interests, and options.

IV. SPECIAL EXCEPTIONS:

- a. Easement to Florida Power & Light Company for the construction, operation, and maintenance of electric utility facilities, recorded in Public Records of Miami-Dade County, Florida.
- b. Covenant Running With The Land in favor of Metropolitan Dade County recorded in Official Records Book 16135, Page 945, of the Public Records of Miami-Dade, County, Florida.
- c. Right-Of-Way Deed to Dade County recorded in Official Records Book 16240, Page 3538, of the Public Records of Miami-Dade, County, Florida.

I HEREBY CERTIFY that I have reviewed all the aforementioned encumbrances and exceptions.

Therefore, it is my opinion that the following party (ies) must join in the agreement in order to make the agreement a valid and binding covenant on the lands described herein.

Name	Interest	Special Exception Number
Leon Ranch LLC a Florida limited liability company	Fee Simple	

The following is a description of the aforementioned abstract and its continuations:

Number	Company Certifying	No. of Entries	Period Covered
OF6-8714290	Old Republic National Title Insurance Co.	1	11/15/76-09/10/19
	Attorney's Title Fund Services	2	09/10/19-05/21/25
	Attorney's Title Fund Services	3	05/21/25-06/11/25

I HEREBY CERTIFY that I have reviewed all of the aforementioned encumbrances and exceptions and that none of them hinder or affect the recording or enforcement of the zoning action and the recording of the Covenant Running With The Land In Favor of Miami-Dade County.

Respectfully submitted this 27th day of June, 2025.



Alfredo D. Xiques, Esq.
Garcia & Xiques, P.A.
5901 SW 74 Street, Suite 400
Miami, FL 33143
Florida Bar No. 0599581
Phone (305) 358-4800 / Fax (305) 358-4809

STATE OF FLORIDA
COUNTY OF MIAMI-DADE

The foregoing instrument was sworn to and subscribed before me by means of physical presence or online notarization this 27th day of June, 2025, by Alfredo D. Xiques who is personally known to me.



Notary Public



RECEIVED MIAMI-DADE COUNTY PROCESS NO.: Z25-100 DATE: MAY 15 2025 BY: CABR



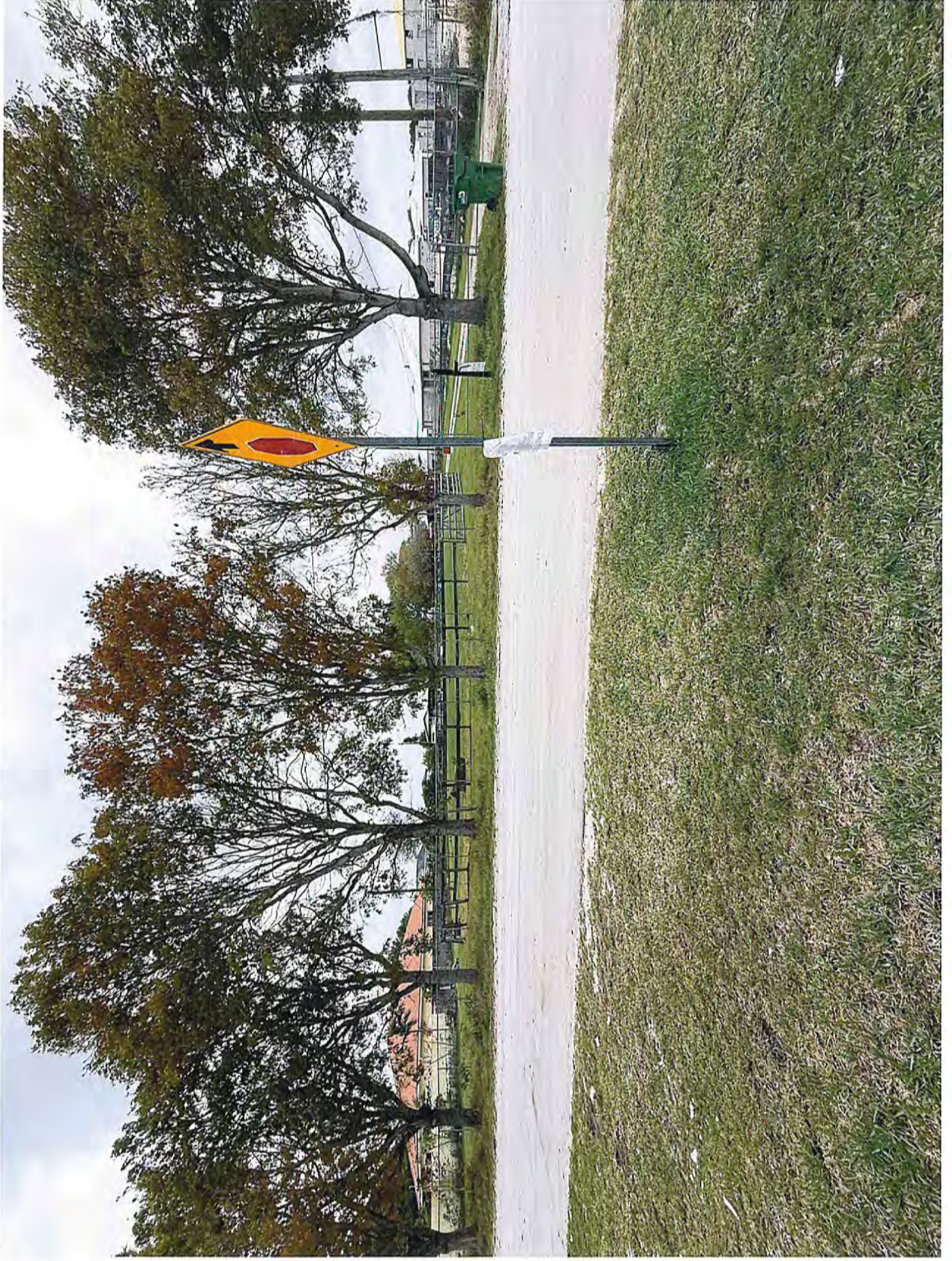
RECEIVED MIAMI-DADE COUNTY PROCESS NO.: Z25-100 DATE: MAY 15 2025 BY: CABR



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RECEIVED MIAMI-DADE COUNTY PROCESS NO.: Z25-100 DATE: MAY 15 2025 BY: CABR





**Miami-Dade County Department of Regulatory and Economic Resources
Staff Report to the Community Zoning Appeal Board 14**

PH: Z24-141

January 14, 2026

Item No. 1

Recommendation Summary	
Commission District	8
Applicant	Frank Osuna
Summary of Requests	The applicant seeks to allow an existing single-family residence with a covered roof addition to be setback less than required from the interior side property line. Additionally, the applicant also seeks to allow an existing detached metal roof structure and a detached gazebo to setback less than required from certain property lines, and to permit a larger sized boat on the property than is otherwise permitted by Code.
Location	21431 SW 129 Court, Miami-Dade County, Florida.
Property Size	0.34 acre
Existing Zoning	EU-M, Single-family Modified Estates District
Existing Land Use	Single-family residence
2030-2040 CDMP Land Use Designation	Low Density Residential (2.5 to 6 du/ac) <i>(see attached Zoning Recommendation Addendum)</i>
Comprehensive Plan Consistency	Consistent with the LUP map, and the interpretative text and policies of the CDMP
Applicable Zoning Code Section(s)	Section 33-311(A)(4)(b) Non-Use Variance From Other Than Airport Regulations <i>(see attached Zoning Recommendation Addendum)</i>
Recommendation	Approval with conditions.

REQUESTS:

- (1) NON-USE VARIANCE to permit an existing single-family residence with an attached roof structure to setback a minimum of 10.3' (15' required) from the interior side (south) property line.
- (2) NON-USE VARIANCE to permit an existing detached metal roof structure to setback a minimum of 10' (20' required) from the interior side (north) property line and 42.1' (75' required) from the front (west) property line.
- (3) NON-USE VARIANCE to permit an existing detached gazebo to setback a minimum of 4.6' (20' required) from the interior side (north) property line.
- (4) NON-USE VARIANCE to permit a boat that is 36' long by 10' wide (30' long and 8.5' wide maximum permitted).

Plans are on file and may be examined in the Department of Regulatory and Economic Resources, entitled "Site plan and elevations", as prepared by All American Engineering & Consulting, LLC., dated stamped received 7/23/2025 consisting of 4 sheets. Plans may be modified at public hearing.

PROJECT DESCRIPTION:

The submitted plans show an existing one (1)-story, 3,262 sq. ft. single-family residence with an attached roof canopy structure located on an interior lot, with existing detached gazebo and a

metal roof structure (for the storage of a large boat) located to the side of the principal residence on the 0.34-acre subject property that fronts along SW 129 Court. The applicant intends to legalize reduced setbacks for the existing single-family residence with its covered roof addition, as well as for the detached metal roof and gazebo structures, and also seeks to permit a boat that is 36' long by 10' wide where a maximum length of 30' long and width of 8.5' for boats is otherwise permitted by Code. The County's Geographical Information System (GIS) aerial map shows existing landscaping in the form of trees and hedges along the west and south side property lines. In addition, the subject property has a 6' high metal fence located along rear and interior sides property lines of the subject property.

NEIGHBORHOOD CHARACTERISTICS		
	Zoning and Existing Use	Land Use Designation
Subject Property	EU-M; single-family residence	Low Density Residential, 2.5 to 6 du/a
North	EU-M; single-family residence	Low Density Residential, 2.5 to 6 du/a
South	EU-M; single-family residence	Low Density Residential, 2.5 to 6 du/a
East	EU-M; single-family residence	Low Density Residential, 2.5 to 6 du/a
West	EU-M; single-family residences	Low Density Residential, 2.5 to 6 du/a

NEIGHBORHOOD COMPATIBILITY:

The subject 0.34-acre property is an interior lot located at 21431 SW 129 Court and consists of an existing single-family residence with accessory detached structures and a boat larger in size than permitted by code. The surrounding area is characterized by existing single-family residences, also developed under the EU-M, Single-family Modified Estates District regulations.

SUMMARY OF THE IMPACTS:

Approval of this application would allow the applicant to legalize reduced setbacks and maintain the existing single-family residence, detached accessory use structures (gazebo and metal roofed structures), as well as a larger boat on the subject property. Staff opines that since the rear yard area is enclosed with a 6' high metal fence along the rear and interior side property lines, together with existing landscaping in the form of trees and hedges, any visual impacts that the requests may have on the surrounding properties is minimal and would be sufficiently mitigated.

COMPREHENSIVE DEVELOPMENT MASTER PLAN ANALYSIS:

The ±0.34-acre subject property is located within the Urban Development Boundary (UDB) and the Comprehensive Development Master Plan (CDMP) Adopted 2030-2040 Land Use Plan (LUP) map designates the site as **Low Density Residential**. The CDMP Land Use Element interpretative text for Low Density Residential states that *the residential densities allowed in this category shall range from a minimum of 2.5 to a maximum of 6.0 dwelling units per gross acre, and is generally characterized by single family housing, e.g., single-family detached, cluster, and townhouses*. Staff opines that the approval of the requests sought in the application for reduced setbacks for the existing residence and detached accessory structures located on the property will not add additional dwelling units to the site beyond what is allowed by the LUP map of the CDMP. Since the applicants are not requesting to add additional dwelling units or change the single-family detached use on the property, staff opines that approval of the application with conditions would be **consistent** with the Low Density Residential Communities designation of the

CDMP LUP map.

ZONING ANALYSIS:

The applicant seeks approval to permit an existing single-family residence with an attached roof structure to setback a minimum of 10.3' (15' required) from the interior side (south) property line (request #1), an existing detached metal roof structure to setback a minimum of 10' (20' required) from the interior side (north) property line and 42.1' (75' required) from the front (west) property line (request #2), an existing detached gazebo to setback a minimum of 4.6' (20' required) from the interior side (north) property line (request #3), and a boat that is 36' long by 10' wide (30' long and 8.5' wide maximum permitted) (request #4). When requests #1 through #4 are analyzed under Section 33-311(A)(4)(b), Non-Use Variance From Other Than Airport Regulations Standards, staff opines that approval with conditions will maintain the basic intent and purpose of the zoning, subdivision and other land use regulations and will be **compatible** with same.

Staff notes that requests to permit an existing single-family residence with an attached roof structure to setback a minimum of 10.3' (15' required) from the interior side (south) property line (request #1), and to permit an existing detached metal roof structure to setback a minimum of 10' (20' required) from the interior side (north) property line and 42.1' (75' required) from the front (west) property line (request #2) could be obtained through the Administrative Adjustment Procedure pursuant to Section 33-36.1 of the County Code. Such procedure allows a setback reduction of 50% and shall be accompanied by the signed consent of all contiguous property owners, including those located across the street(s) from the subject site. Since this application includes 2 more requests that cannot be approved administratively the applicant had no choice but to move forward with the public hearing process. Staff has no objections and opines that that the approval with conditions of requests #1 and #2 would be **compatible** with the surrounding area, would not be detrimental to the neighborhood and would not affect the appearance of the community.

When analyzing request #3 to permit an existing detached gazebo to setback a minimum of 4.6' (20' required) from the interior side (north) property line, staff opines that the encroachment into the affected setback area is internal to the site and would not have a significant negative visual impact on the adjacent property to the north. The existing detached gazebo encroaches 15.4' into the interior side setback area which is mitigated by existing 6' high metal fence along the interior and rear property lines. The 300 sq. ft. detached gazebo meets all other zoning regulations such as not exceeding the rear yard lot coverage of 20%. Based on the foregoing, staff opines that approval of the request would not result in an obvious departure from the aesthetic character of the surrounding area.

Staff's research of the area found a similar approval, the community council appeal board approved on September 9, 2009 under resolution # CZAB141409 to permit a chickee hut setback 6.3' (20' required) from the interior side (west) property line and 5.6' (7.5' required) from the rear (north) property line. In addition, google maps and aerial views of the surrounding properties show similar improvements on the lots in the same neighborhood. The architectural design, scale, mass and building materials of the existing attached and detached structure additions are aesthetically harmonious with that of other existing buildings on the parcel. Staff notes that the proposed improvements are internet to the site. In addition, the submitted plans and the County Geographical Information System (GIS) show that there are existing trees immediately to the east, north and south of the property, hedges to the east and south and a 6' metal fence along the interior sides (north, south and west) property lines. Notwithstanding, staff recommends as a condition for approval that the applicant maintain said fence and that if the fence is removed or

destroyed, the applicant shall install a 6' high concrete block (cbs) wall, opaque fence or hedge that must be 3' high at the time of planting and that shall grow to and be maintained at a minimum height of 6' in accordance with Section 33-11(h) of the County Code.

When analyzing request #4, staff notes that the request is inextricably intertwined with request #2 which staff supports. Staff supports request #4 as well which seeks approval for a boat that is 36' in length and is 10' in width (30' long and 8.5' wide is the maximum permitted for boats) under Section 33-311(A)(4)(b), Non-Use Variance Standards. The plans submitted in conjunction with this application depict the proposed storage and location of the boat along the northern portion of the subject site under the existing detached metal roof structure which is setback a minimum of 10' (20' required) from the interior side (north) property line and 42.1' (75' required) from the front (west) property line (request #2). Staff opines that any visual impact of the additional length and width of the boat will be mitigated by the proposed structure to remain. Staff further opine that the increased length and width of the boat is minor, and would not have a negative visual impact on the adjacent property to the north or west.

Furthermore, staff notes that the memorandum from the Division of Environmental Resources Management of the Department of Regulatory and Economic Resources memorandum indicates that approval will not result in a reduction in the LOS standards for potable water supply, wastewater disposal, or flood protection and that it meets all applicable standards for an initial development order. Additionally, the memorandum from Miami-Dade Water and Sewer Department, the Fire and Rescue and the Platting and Traffic section of the Department do not object to the application as requested. As such, staff opines that approval with conditions of the request would not be an obvious departure from the aesthetic character of the immediate vicinity, would not be detrimental to the neighborhood and would not affect the appearance of the community. **Therefore, staff recommends approval with conditions of the application requests #1 through #4 under Section 33-311(A)(4)(b), Non-Use Variance From Other Than Airport Regulations Standards.**

ACCESS, CIRCULATION AND PARKING: N/A

NEIGHBORHOOD SERVICES PROVIDER COMMENTS: See attached.

OTHER: N/A

RECOMMENDATION:

Approval with conditions.

CONDITIONS FOR APPROVAL:

1. That a site plan be submitted to and met with the approval of the Director of the Department of Regulatory and Economic Resources upon the submittal of an application for a building permit; said plan to include among other things but not be limited thereto, location of structure or structures, types, sizes and location of signs, light standards, off-street parking areas, exits and entrances, drainage, walls, fences, landscaping, and other requirements.
2. That in the approval of the plan, the same be substantially in accordance with that submitted for the hearing entitled, entitled "Site plan and elevations", as prepared by All American Engineering & Consulting, LLC., dated stamped received 7/23/2025 consisting of 4 sheets. Except any future additions on the property which conform to zoning code requirements will

Frank Osuna
Z24-141

Page | 5

not require further public hearing action.

3. That the use be established and maintained in accordance with the approved plan.
4. That the existing 6' high metal fence located along the rear and the 5' chain link fence located along interior side property lines be maintained as a visual buffer, and that if either the fence is removed or destroyed, the applicant shall install a cbs wall, opaque fence or hedge that must be 3' high at the time of planting and that shall grow to and be maintained at a minimum height of 6' in accordance with Section 33-11(h) of the County Code.

ES:JB:SS:PM



Eric Silva, AICP, Assistant Director
Development Services Division
Miami-Dade County Department of
Regulatory and Economic Resources

12/22/2025

ZONING RECOMMENDATION ADDENDUM

Frank Osuna
(PH: Z24-141)

NEIGHBORHOOD SERVICES PROVIDER COMMENTS	
<i>Division of Environmental Resource Management (RER)</i>	<i>No objection</i>
<i>Fire Department</i>	<i>No objection</i>
<i>Platting and Traffic Review Section (RER)</i>	<i>No objection</i>
<i>Water and Sewer Department</i>	<i>No objection</i>
<i>*Subject to conditions in their memorandum.</i>	

COMPREHENSIVE DEVELOPMENT MASTER PLAN (CDMP) OBJECTIVES, POLICIES AND INTERPRETATIVE TEXT

<p>Low Density Residential (Pg. I-31)</p>	<p>The residential densities allowed in this category shall range from a minimum of 2.5 to a maximum of 6.0 dwelling units per gross acre. Residential densities of blocks abutting activity nodes as defined in the Guidelines for Urban Form, or of blocks abutting section line roads between nodes, shall be allowed a maximum residential density of 10.0 dwelling units per gross acre. To promote infill development, residential development exceeding the maximum density of 6.0 dwelling units per acre is permitted for substandard lots that were conveyed or platted prior to August 2nd, 1938. This density category is generally characterized by single family housing, e.g., single family detached, cluster, and townhouses. It could include low-rise apartments with extensive surrounding open space or a mixture of housing types provided that the maximum gross density is not exceeded.</p>
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PERTINENT ZONING REQUIREMENTS/STANDARDS

<p>Section 33-49</p>	<p>For the districts enumerated in this section, the minimum width and area of lots, the maximum lot coverage, and minimum building sizes shall be as set forth in the following table:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>District</th> <th>Families</th> <th>Min. Width</th> <th>Min. Lot Area (Sq. Ft.)</th> <th>Max. Lot Coverage (% of Lot Area)</th> <th>Min. Bldg. Size (Cu. Ft.)</th> </tr> </thead> <tbody> <tr> <td rowspan="2">EU-M</td> <td rowspan="2"></td> <td>Prior to 5-9-57 100'</td> <td>15,000</td> <td>30%</td> <td>12,500</td> </tr> <tr> <td>New sub.-120' (Min. depth 115')</td> <td>15,000</td> <td>30%</td> <td>12,500</td> </tr> </tbody> </table>	District	Families	Min. Width	Min. Lot Area (Sq. Ft.)	Max. Lot Coverage (% of Lot Area)	Min. Bldg. Size (Cu. Ft.)	EU-M		Prior to 5-9-57 100'	15,000	30%	12,500	New sub.-120' (Min. depth 115')	15,000	30%	12,500								
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		New sub.-120' (Min. depth 115')	15,000	30%	12,500																				
<p>Section 33-50</p>	<p>The minimum setback distances and spacing requirements in residential and estate districts shall be as follows:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>District/Families</th> <th>Front (Ft.)</th> <th>Rear (Ft.)</th> <th></th> <th>Interior Side (Ft.)</th> <th>Side Street (Ft.)</th> </tr> </thead> <tbody> <tr> <td>EU-M; One</td> <td>25</td> <td>25</td> <td>—</td> <td>15</td> <td>25</td> </tr> <tr> <td>Acc. bldg.</td> <td>75</td> <td>7½</td> <td></td> <td>20</td> <td>30</td> </tr> <tr> <td>Canopy carport</td> <td>5</td> <td>5</td> <td>—</td> <td>2</td> <td>5</td> </tr> </tbody> </table>	District/Families	Front (Ft.)	Rear (Ft.)		Interior Side (Ft.)	Side Street (Ft.)	EU-M; One	25	25	—	15	25	Acc. bldg.	75	7½		20	30	Canopy carport	5	5	—	2	5
District/Families	Front (Ft.)	Rear (Ft.)		Interior Side (Ft.)	Side Street (Ft.)																				
EU-M; One	25	25	—	15	25																				
Acc. bldg.	75	7½		20	30																				
Canopy carport	5	5	—	2	5																				

<p>Sec. 33-20. - Accessory structures and ancillary uses.</p>	<p><i>(e) Boat storage. Boats of less than thirty (30) feet in length, not more than one hundred and two (102) inches in width and thirteen (13) feet six (6) inches in height above grade, may be stored or temporarily parked in the RU, EU, AU and GU Zoning Districts on lots developed with a residential structure subject to the following conditions:</i></p> <p><i>(1) Sites with less than one-half (0.5) acre of lot area shall be permitted to store up to one (1) boat. The place of storage shall be to the rear of the front building line of the residential structure. Where the boat storage area is located between the residence and a side street property line, the boat shall be visually buffered by a minimum six-foot high privacy fence, masonry wall, or trees or shrubs maintained to a minimum height of six feet. The front building line referred to shall be that portion furthest from the street.</i></p>
<p>Section 33-311(A)(4)(b) Non-Use Variances From Other Than Airport Regulations.</p>	<p><i>Upon appeal or direct application in specific cases, the Board shall hear and grant applications for non-use variances from the terms of the zoning and subdivision regulations and may grant a non-use variance upon a showing by the applicant that the non-use variance maintains the basic intent and purpose of the zoning, subdivision and other land use regulations, which is to protect the general welfare of the public, particularly as it affects the stability and appearance of the community and provided that the non-use variance will be otherwise compatible with the surrounding land uses and would not be detrimental to the community. No showing of unnecessary hardship to the land is required.</i></p>

Building and Neighborhood Compliance

ENFORCEMENT HISTORY

OSUNA, FRANK AND ADRIANA

21431 SW 129 CT
MIAMI-DADE COUNTY, FLORIDA.

APPLICANT	ADDRESS
PENDING	Z2024000141

DATE	HEARING NUMBER
-------------	-----------------------

FOLIO No: 30-6911-012-0040

REVIEW DATE OF CURRENT ENFORCEMENT HISTORY:

October 10, 2025

NEIGHBORHOOD REGULATIONS:

Case No. 202402000328 was opened on 01/23/2024. Warning Notice W420540 was issued on 01/27/2024 for "FAILURE TO OBTAIN A ZONING IMPROVEMENT PERMIT AS STATED IN 33-8.1, TO WIT: CANOPY FABRIC COVERED CARPORT SOUTH SIDE OF THE PROPERTY INSTALLED WITHOUT A PERMIT". Since compliance was not met, Civil Violation Notice **T120038** was issued on 05/07/2024 for "FAILURE TO REMOVE OR OBTAIN A ZONING IMPROVEMENT PERMIT, TO AS STATED IN 33-8.1 WIT: CANOPY FABRIC COVERED CARPORT SOUTH SIDE OF THE PROPERTY INSTALLED WITHOUT A PERMIT". Citation was paid on 07/15/2024, however due to non compliance a lien was recorded on 07/25/2025 under book 34867/page 1763. **Payment Plan was fulfilled with the Lien Unit. There are no outstanding fees at this time.**

BUILDING SUPPORT REGULATIONS:

Case No. 20210210844B was opened on 07/23/2021. A Notice of Violation was issued on 07/26/2021 for "Failure to obtain required building permit(s) prior to commencing work on: detached structure at north of residence." Since compliance was not met, the following citations were issued: **P048658** "SECTION 105.1 OF THE FLORIDA BUILDING CODE: FAILURE OF OWNER-BUILDER OR CONTRACTOR TO OBTAIN A PERMIT PRIOR TO COMMENCING WORK ON electrical gate motors on picket fence. electrical light fixtures on picket fence.", **P048660** "SECTION 105.1 OF THE FLORIDA BUILDING CODE: FAILURE OF OWNER-BUILDER OR CONTRACTOR TO OBTAIN A PERMIT PRIOR TO COMMENCING WORK ON windows and doors. attached structure on N side (terrace), attached structure on NE (shed).", **P048661** "SECTION 105.1 OF THE FLORIDA BUILDING CODE: FAILURE OF OWNER-BUILDER OR CONTRACTOR TO OBTAIN A PERMIT PRIOR TO COMMENCING WORK ON detached structure on N (shed).", **P048662** "SECTION 105.1 OF THE

FLORIDA BUILDING CODE: FAILURE OF OWNER-BUILDER OR CONTRACTOR TO OBTAIN A PERMIT PRIOR TO COMMENCING WORK ON detached structure on N side (terrace).", and **P048663** "SECTION 105.1 OF THE FLORIDA BUILDING CODE: FAILURE OF OWNER-BUILDER OR CONTRACTOR TO OBTAIN A PERMIT PRIOR TO COMMENCING WORK ON detached structure in NE of property (second terrace)." Citations were paid on 07/21/2025. There are no outstanding fees.

Case No. 20240227161B was opened on 01/23/2024. A Notice of Violation was issued on 01/23/2024 for "Failure to obtain required building permit(s) prior to commencing work on: reroof in 2020." Since compliance was not met, Civil Violation Notice **P059106** was issued on 01/21/2025 for "SECTION 105.1 OF THE FLORIDA BUILDING CODE: FAILURE OF OWNER-BUILDER OR CONTRACTOR TO OBTAIN A PERMIT PRIOR TO COMMENCING WORK Reroof." Citation was voided on 01/22/2025 as no permit was required for roof painting. **Case is closed.**

VIOLATOR:

OSUNA, FRANK AND ADRIANA

OUTSTANDING LIENS AND FINES:

There are no outstanding liens or fines.

Memorandum



Date: December 22, 2025

To: Lourdes M. Gomez, AICP, Director
Department of Regulatory and Economic Resources (RER)

From: Christine Velazquez, Division Chief
Department of Regulatory and Economic Resources (RER)

Subject: Z2024000141-4th Review
Frank Osuna
21431 SW 129th Court
Non-Use Variance for setback requirements for the legalization of
metal roof carports, pergola gazebo and storage at a single-family
residence.
(EU-M) (0.34 acres)
11-56-39

Miami Dade County has performed an environmental review of the above referenced zoning application for compliance with the requirements of Chapter 24 of the Miami-Dade County Code (the Code) for potable water service and wastewater disposal. Based on the information provided, this zoning application is approved pursuant to section 24-43.1 of the Code related to potable water supply and wastewater disposal.

Potable Water Supply and Wastewater Disposal

According to RER records, the property is currently connected to public water and sewer. Pursuant to the Code, all structures to be legalized are required to connect to public water and sanitary sewers to the extent that they have plumbing connections for potable water and/or wastewater.

Conditions of Approval: None

Water Control Review

Stormwater shall be retained on site utilizing properly designed seepage or infiltration drainage system. Drainage plans shall provide for full on-site retention of the stormwater runoff.

Site grading and development plans shall comply with the requirements of Chapter 11C of the Code, as well as with all state and federal criteria, and shall not cause flooding of adjacent properties.

Any proposed development shall comply with county and federal flood criteria requirements. The proposed development order, if approved, will not result in a reduction in the LOS standards for flood protection set forth in the CDMP subject to compliance with the conditions required for this proposed development order.

Conditions of Approval: None

Tree Preservation Review

An aerial review of the subject property indicates the presence of tree resources; however, the site plan entitled "Site Plan & Elevations" prepared by Carlos Lopez Reyes, P.E., and dated as received by Miami-Dade County on June 06, 2025, was submitted with the subject application and indicates that tree resources onsite will not be removed. Please note that a Miami-Dade County Tree Permit is required prior to the removal and/or relocation of any tree that is subject to the tree preservation and protection provisions of the Code. Projects and permits shall comply with the requirements of sections 24-49.2 and 24-49.4 of the Code.

In accordance with section 24-49.9 of the Code, all plants prohibited by Miami-Dade County shall be removed from all portions of the property prior to development, or redevelopment and developed parcels shall be maintained to prevent the growth or accumulation of prohibited species. Please contact Jackelyn Alberdi at Jackelyn.Alberdi@miamidade.gov regarding any additional information or concerns with this review.

Conditions of Approval: None

DERM Enforcement History Review

There are no open or closed enforcement records for violations of Chapter 24 of the Code for the subject property. There are no outstanding DERM liens or fines for the subject property.

Concurrency Review Summary

A concurrency review has been conducted for this application and the County has determined that the same meets all applicable LOS standards for an initial development order as specified in the adopted CDM for potable water supply, wastewater disposal, and flood protection. This concurrency approval is valid only for this initial development order. Pursuant to Chapter 33G of the Code, a final concurrency statement will be issued at the time of final development order.

If you have any questions concerning the comments or wish to discuss this matter further, please contact Ninfa Rincon at (305) 372-6764.

cc: Eric Silva, Department of Regulatory and Economic Resources

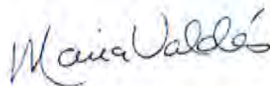
Memorandum



Date: August 12, 2025

To: Eric Silva, AICP, Assistant Director
Development Services Division
Department of Regulatory and Economic Resources (RER)

Through: James B. Ferguson, P.E.
Assistant Director
Water and Sewer Department (WASD)

From: Maria A. Valdes, CSM, LEED® Green Associate
Chief, Planning & Water Certification Section
Water and Sewer Department (WASD) 

Subject: Zoning Application Comments - Frank Y. & Adriana Osuna
Application No. Z2024000141 (Revision No. 3)

The Water and Sewer Department has reviewed the proposed development for the subject zoning application. WASD has no objection to this zoning application, based on the information provided. Additional requirements may be needed at the time of permitting. The information provided below is preliminary and it does not affect the Zoning process.

Application Name: Frank Y. & Adriana Osuna

Location: The proposed project is located on approximately 0.34 acres at 21431 SW 129th Court, with Folio No. 30-6911-012-0040, in unincorporated Miami-Dade County.

Proposed Development: The Applicant is seeking an administrative approval to legalize a canvas roof, five aluminum terraces, a pergola, and a storage at the existing single-family residence. As per the applicant's representative Ms. Maria Vargas email dated 8/30/2024, the shed located along the northern boundary of the property line will be removed.

This project results in a no-net-increase in the water/sewer demand.

Please note that the subject property has a 10 feet Utility Easement within and along the western boundary of the subject property. Permanent structures, trees or palms are not allowed within said utility easement (only passive landscaping along the Utility Easement).

Water/Sewer: The subject site is located within the WASD's water and sewer service area. The subject property is currently being served by WASD.

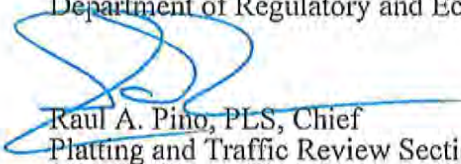
Should you have any questions, please contact Maria A. Valdes, Chief, Planning & Water Certification Section at (786) 552-8198 or mavald@miamidade.gov, Alfredo B. Sanchez at (786) 552-8237 or sanalf@miamidade.gov, or Suyapa Carbajal at (786) 552-8124 or suyapa.carbajal@miamidade.gov.

Memorandum



Date: July 7, 2025

To: Eric Silva, AICP, Assistant Director
Department of Regulatory and Economic Resources

From: 
Raul A. Pino, PLS, Chief
Platting and Traffic Review Section
Department of Regulatory and Economic Resources

Subject: Z2024000141
Name: Frank Osuna
Location: 21431 SW 129 Court
Section 11 Township 56 South Range 39 East

The Department of Regulatory and Economic Resources Platting and Traffic Review Section has reviewed the subject application and has **no objections**.

This land **complies** with Chapter 28 of the Miami-Dade County Code. The property is platted as Lot 4, Block 1, Plat Book 159, Page 52.

This application does not generate any additional trips.

Standard Conditions:

- A letter or a plan containing the following certification signed and sealed by a State of Florida registered engineer shall be submitted as part of the paving and drainage plans: "I hereby certify that the all of the roads for the subject project comply with all of the applicable portions of the Manual of Uniform Minimum Standards for Design, Construction and Maintenance for Streets and Highways (Florida Greenbook) regarding: design speed, lane widths, horizontal alignment, vertical alignment, stopping sight distance, sight distance, horizontal clearance, vertical clearance, superelevation, shoulder widths, grades, bridge widths, etc."
- All landscaping, walls, fences, entrance features, etc. will be subject to the Safe Sight Distance Triangle as per Section 33-11 of the Miami-Dade County Code and G5.3 of the Public Works and Waste Management Department Manual.

Memorandum



Date: July 25, 2025

To: Eric Silva, Assistant Director
Regulatory and Economic Resources

From: Alejandro G Cuello, Principal Planner
Miami-Dade Fire Rescue Department

Subject: Z2024000141

The Miami-Dade Fire Rescue Department has **no objection** to the site plan uploaded to "EnerGov" on 07/23/2025. Single family home.

MDFR's review of this zoning application is limited to assessing fire department access and does not effectuate an approval of the building design. The future building's design must be in compliance with the applicable requirements for the proposed use:

Florida State Statute Chapter 633 (Fire Prevention & Control)
Florida Administrative Code 69A
Florida Fire Prevention Code (NFPA 1 and NFPA 101 (2018 edition))
Applicable adopted NFPA Standards
County Code Chapter 14

For additional information, please contact acuello@miamidade.gov or call 305-775-3357.





MIAMI-DADE COUNTY
HEARING MAP

Process Number
Z2024000141

Section: 11 Township: 56 Range: 39
 Applicant: Frank and Adriana Osuna
 Zoning Board: C14
 Commission District: 8
 Drafter ID: EDUARDO CESPEDES
 Scale: NTS



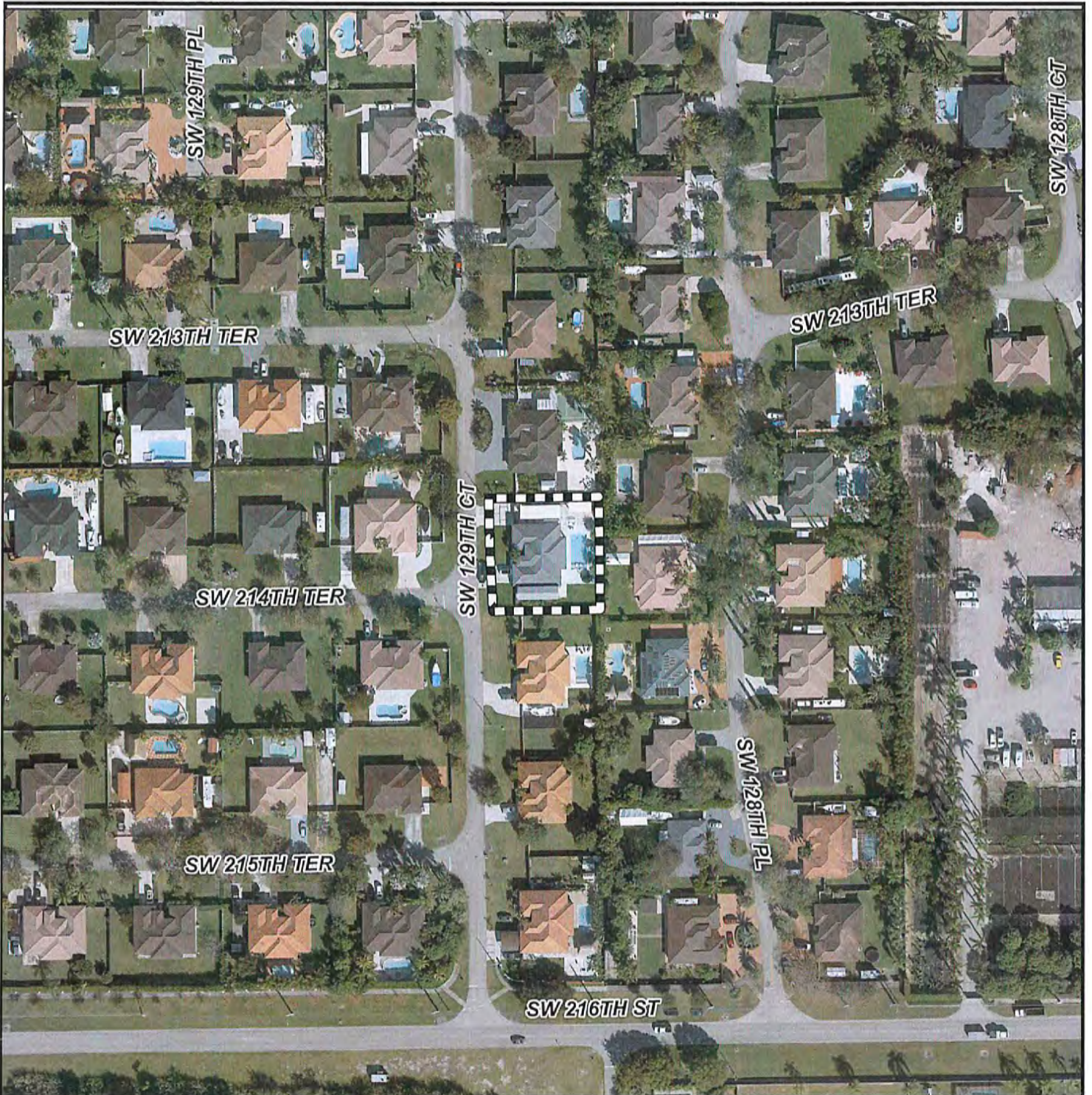
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-  Subject Property Case
-  Zoning




SKETCH CREATED ON: Friday, August 23, 2024

REVISION	DATE	BY



MIAMI-DADE COUNTY
AERIAL YEAR 2023

Process Number
Z2024000141

Legend
 Subject Property

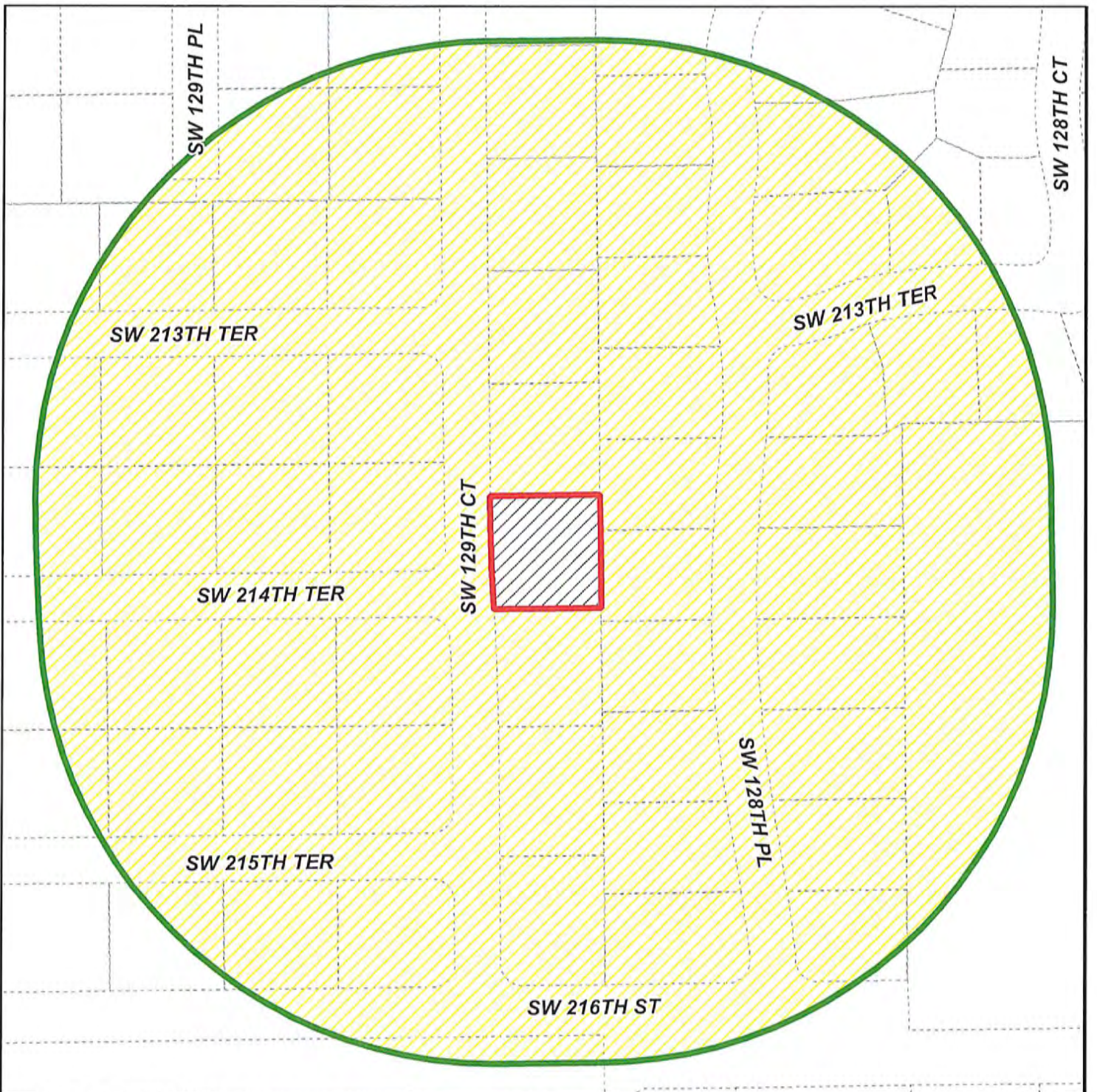


Section: 11 Township: 56 Range: 39
 Applicant: Frank and Adriana Osuna
 Zoning Board: C14
 Commission District: 8
 Drafter ID: EDUARDO CESPEDES
 Scale: NTS



SKETCH CREATED ON: Friday, August 23, 2024

REVISION	DATE	BY






**MIAMI-DADE COUNTY
RADIUS MAP**

Section: 11 Township: 56 Range: 39
 Applicant: Frank and Adriana Osuna
 Zoning Board: C14
 Commission District: 8
 Drafter ID: EDUARDO CESPEDES
 Scale: NTS

Process Number
Z2024000141
 RADIUS: 500

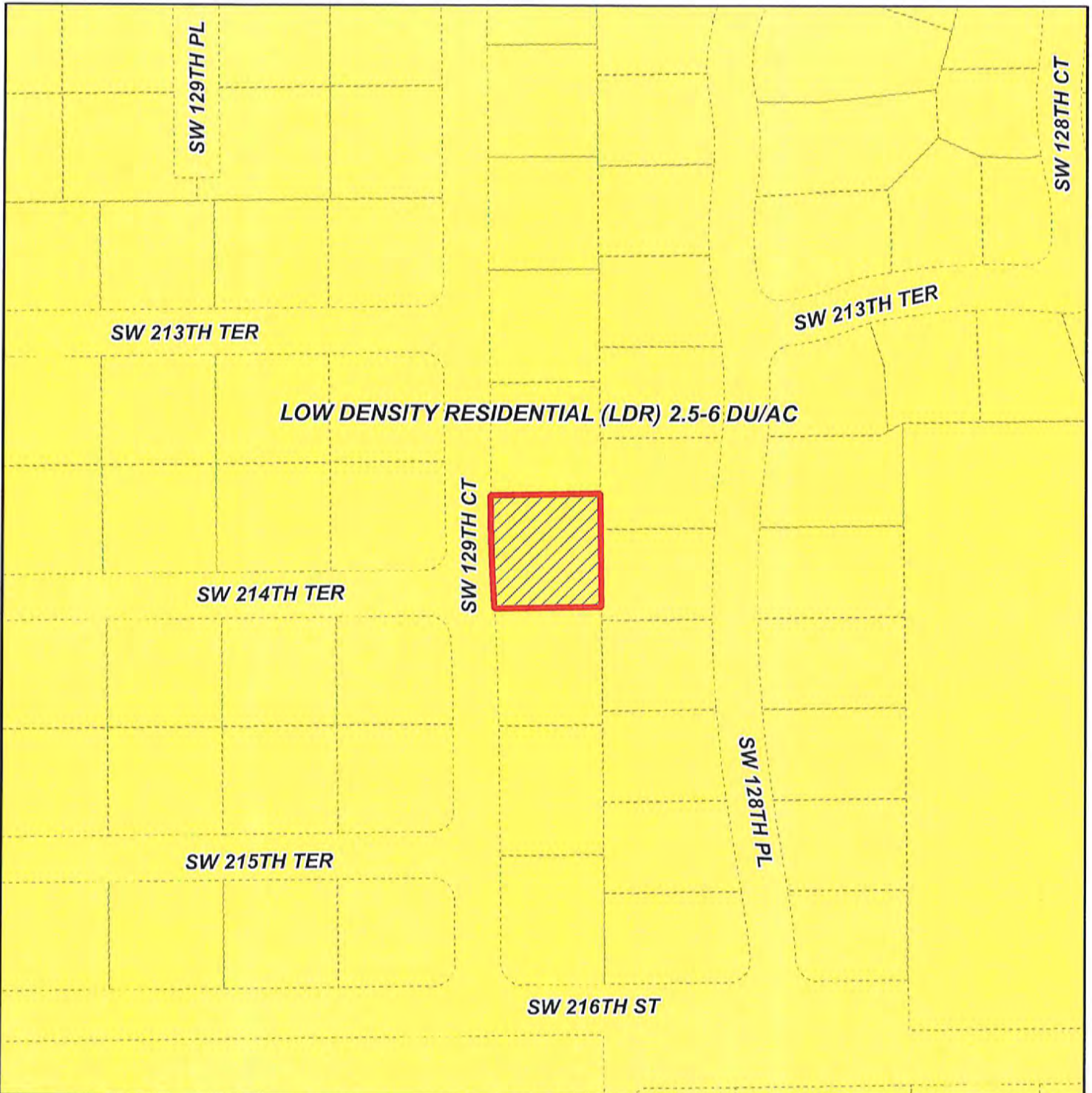
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-  Subject Property
-  Buffer
-  Property Boundaries



SKETCH CREATED ON: Friday, August 23, 2024

REVISION	DATE	BY



MIAMI-DADE COUNTY
CDMP MAP

Process Number
Z2024000141

Section: 11 Township: 56 Range: 39
 Applicant: Frank and Adriana Osuna
 Zoning Board: C14
 Commission District: 8
 Drafter ID: EDUARDO CESPEDES
 Scale: NTS

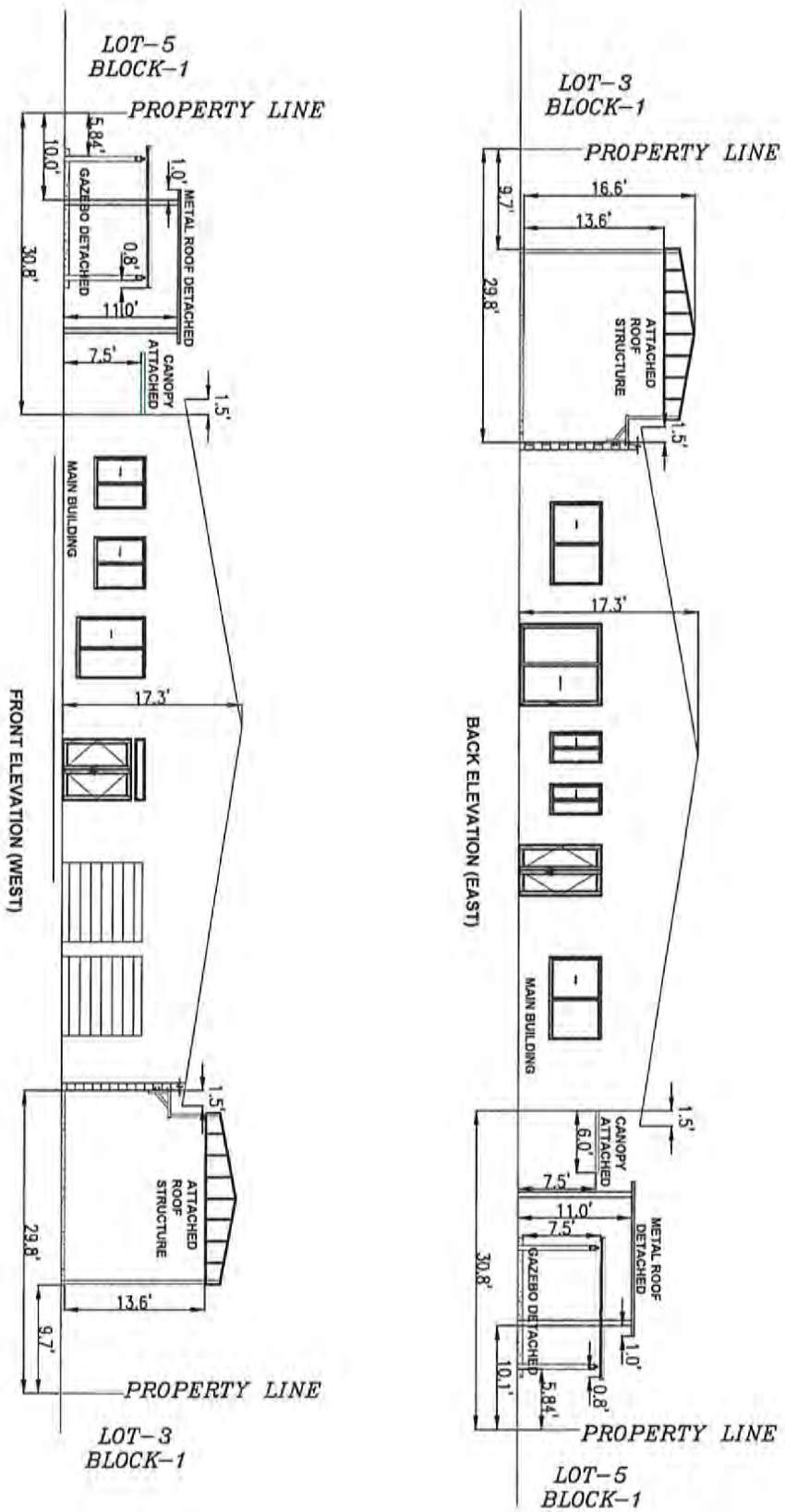
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 Subject Property Case



SKETCH CREATED ON: Friday, August 23, 2024

REVISION	DATE	BY

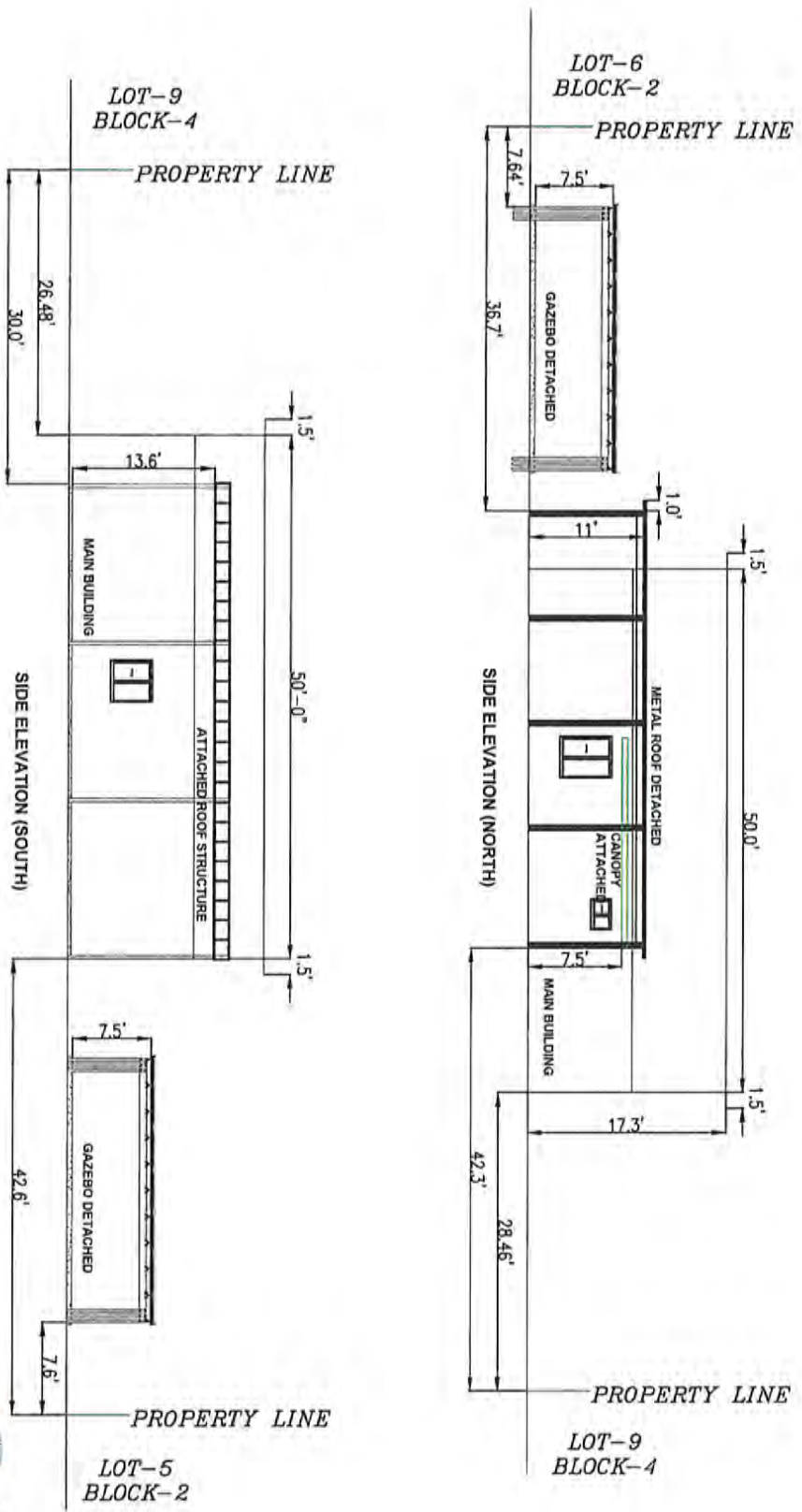


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 Lopez Reyes
 Date: 2025.07.18
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NO.	DATE	DESCRIPTION
1	06/03/24	PRELIMINARY
2	07/18/25	FINAL

ALL AMERICAN
 ENGINEERING &
 CONSULTING, LLC.
 11248 SW 132 CT WEST
 MIAMI, FLORIDA 33186
 (786) 448-0384

PROJECT:	SITE PLAN & ELEVATIONS
LOCATION:	21401 SW 129 CT, MIAMI FL 33177
MANUFACTURER:	
OWNER:	FRANK OSUNA



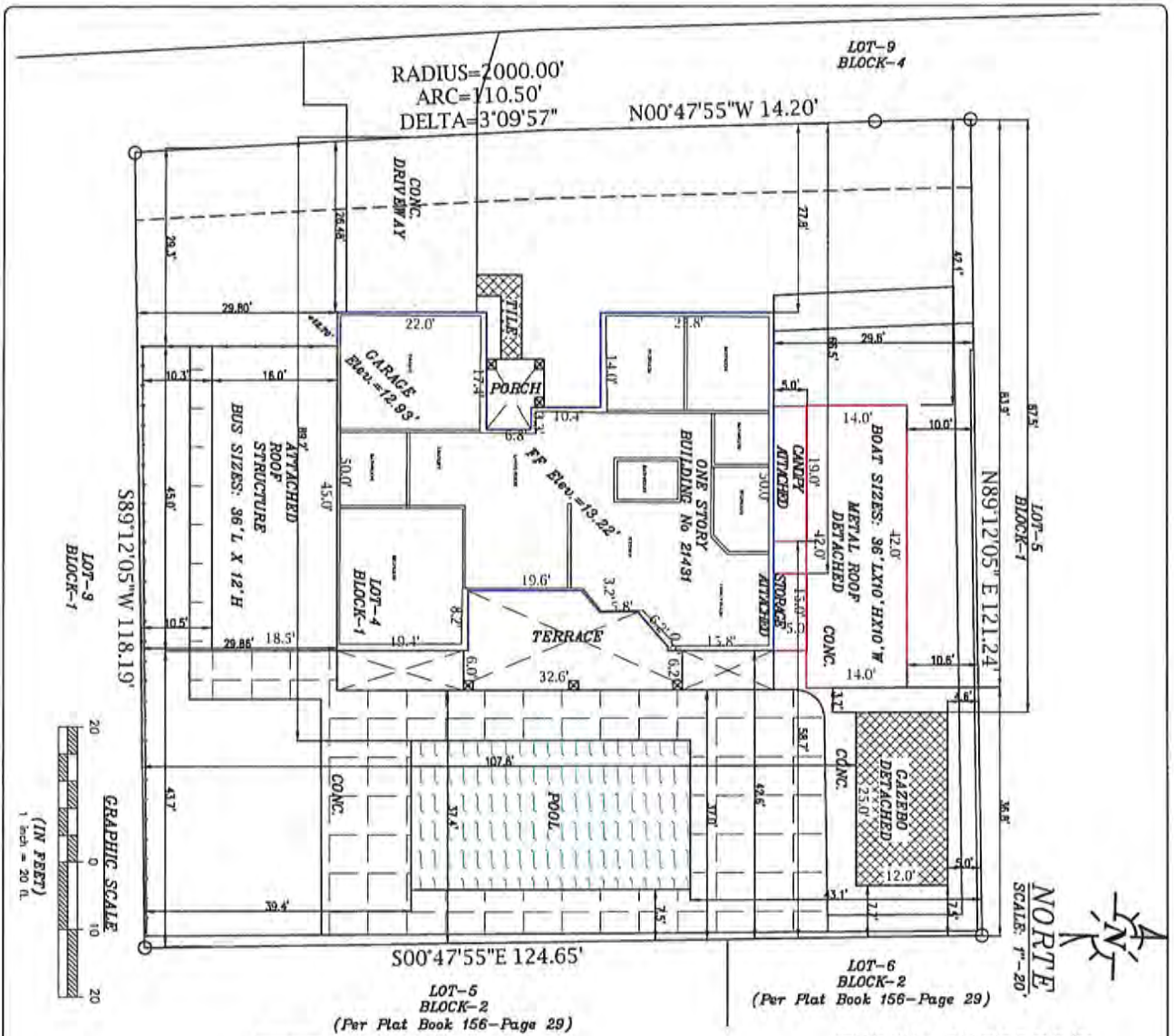
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 Carlos Lopez Reyes
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 American Engineering
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 985, cn=Carlos Lopez
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NO.	DATE	DESCRIPTION
1	07/18/25	ISSUED FOR PERMIT
2		
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ALL AMERICAN
 ENGINEERING &
 CONSULTING, LLC
 11248 SW 132 CT WEST
 MIAMI, FLORIDA 33186
 (786) 448-0384

PROJECT:	SITE PLAN & ELEVATIONS
LOCATION:	21431 SW 129 CT, MIAMI FL 33177
MANUFACTURER:	
OWNER:	FRANK OSTUNA



SCOPE OF WORK
SITE PLAN

LEGAL DESCRIPTION:

OAK SOUTH ESTATES
PB 159-42 T-20945
LOT 4 BLK 1
LOT SIZE 15000 SQFT
FAU 30-6011-000-0370
OR 20124-4118 01/2002 2 (89)
COC 22343-4934 05 2004 1

PROPERTY FOLIO#:

30-6911-012-0040

SUB-DIVISION:

OAK SOUTH ESTATES

PRIMARY ZONE:

2100 ESTATES - 15000 SQFT LOT

PROPERTY ADDRESS:

21431 SW 129 CT, MIAMI, FL 33177

PRIMARY LAND USE:

0104 RESIDENTIAL - SINGLE FAMILY : RESIDENTIAL

LOT COVERAGE CALCULATIONS

COVERED BY HOUSE: 3262 SF
OTHER: 1124 SF
TOTAL COVERED: 4386 SF
LOT AREA: 15000 SF
COVERAGE %: 29.2% < 30%
REAR LOT COVERAGE: 377.58 SF
GAZEBO: 300 SF
METAL ROOF: 77.58 SF
COVERAGE %: 7.55% < 20% OK

NEIGHBOR SIGNATURES

OWNER	FOCID	ADDRESS	SIGNATURE
ANTHONY MAJANAW DEBORAH A MAJANAW	20-4911-012-0499	10235 SW 214 TER MIAMI, FL 33177	
HECTOR MORGAN W MORGAN	20-4911-012-0499	21441 SW 129 CT MIAMI, FL 33177	
JULIO GUERTS OFELIA E ALVAREZ	20-4911-008-0239	21414 SW 129 FL MIAMI, FL 33177	
JUAN C GONZALEZ W MORGAN, V P	20-4911-008-0239	21424 SW 129 PL MIAMI, FL 33177	
NORLAN PEREZ	20-4911-012-0289	11298 SW 124 TER MIAMI, FL 33177	
IRIBELI MORALES	20-4911-008-0200	21441 SW 129 FL MIAMI, FL 33177	



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Carlos Lopez Reyes
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American Engineering
and Consulting LLC,
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995, cn=Carlos Lopez
Reyes
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ALL AMERICAN
ENGINEERING &
CONSULTING, LLC
11248 SW 132 CT WEST
MIAMI, FLORIDA 33186
(786) 448-0334

PROJECT:	SITE PLAN & ELEVATIONS
LOCATION:	21431 SW 129 CT, MIAMI, FL 33177
MANUFACTURER:	
OWNER:	FRANK OBONA

ZONING LEGEND			
	Existing	Required	unit
Minimum lot area	15000	15000	SF
Minimum unit size	3262	1200	SF
Maximum height (feet)	9	25	ft
Number of stories	1	2	
LOT COVERAGE	33.3%	30%	
Accessory structure setback (GAZEBO)			
Front	87.5	75	feet
Side street	N/A	N/A	feet
Interior side	5	20	feet
Rear	7.5	7.5	feet
Accessory structure setback (METAL ROOF)			
Front	42.1	75	feet
Side street	N/A	N/A	feet
Interior side	8	20	feet
Rear	36.8	7.5	feet
Accessory structure setback (STORAGE)			
Front	66.5	75	feet
Side street	N/A	N/A	feet
Interior side	24.6	20	feet
Rear	44.9	7.5	feet
Accessory structure setback (CARPORT)			
Front	29.3	5	feet
Side street	N/A	N/A	feet
Interior side	10.3	2	feet
Rear	43.7	5	feet
Accessory structure setback (CANOPY)			
Front	42.1	5	feet
Side street	N/A	N/A	feet
Interior side	22.9	2	feet
Rear	58.7	5	feet
POOL setback			
Front	89.2	75	feet
Side street	N/A	N/A	feet
Interior side	39.4	20	feet
Rear	7.5	7.5	feet

ZONING LEGEND			
	Existing	Required	unit
Maximum rear lot coverage	377.58		SF
Gazebo Detached	300		SF
Metal Roof Detached	77.58		SF
LOT COVERAGE	7.6%	20%	



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DATE	SCALE	SHEET NO.	TOTAL SHEETS
2025.07.18	AS SHOWN	11 OF 31	

ALL AMERICAN ENGINEERING & CONSULTING, LLC
 11248 SW 132 CT WEST
 MIAMI, FLORIDA 33186
 (786) 448-0384

PROJECT:	SITE PLAN & ELEVATIONS
LOCATION:	2141 SW 129 CT, MIAMI FL 33177
MANUFACTURER:	
OWNER:	FRANK OSUNA

**Miami-Dade County Department of Regulatory and Economic Resources
Staff Report to the Community Zoning Appeal Board 14**

PH: Z25-149

January 14, 2026

Item No. 2

Recommendation Summary	
Commission District	9
Applicant	DRP SOLARIS FL 1, LLC.
Summary of Request	The applicant seeks approval of a district boundary change on the subject property from EU-M (minimum 15,000 square foot net lots) to RU-3M (multi-family residential, maximum 12.9-units per net acres) which would allow the subject property to be developed with more residential units than currently allowed.
Location	Lying south of SW 336th Street, north of SW 338th Street, east of SW 194th Avenue, and west of SW 192nd Avenue, Miami-Dade County, Florida.
Property Size	±10.21-gross (±9.88-net) Acres
Existing Zoning	EU-M, Estate Modified District
Existing Land Use	Vacant and single-family residence
2030-2040 CDMP Land Use Designation	Low Density Residential w/ One Density Increase <i>(see attached Zoning Recommendation Addendum)</i>
Comprehensive Plan Consistency	Consistent with the LUP map, and the interpretative text and policies of the CDMP
Applicable Zoning Code Section	Section 33-311, District Boundary Change <i>(see attached Zoning Recommendation Addendum)</i>
Recommendation	Approval, subject to the Board's acceptance of the proffered covenant.

REQUEST:

DISTRICT BOUNDARY CHANGE from EU-M, Estate Modified District, to RU-3M, Minimum Apartment House District.

PROJECT HISTORY AND PROJECT DESCRIPTION:

During the April 2006 Comprehensive Development Master Plan (CDMP) Amendment Cycle, the subject property, consisting of approximately ±10.21 gross acres, was the subject of a CDMP Land Use Amendment (Application No. 13). Through this amendment, the subject property was redesignated on the CDMP Land Use Plan (LUP) map to Low Density Residential with One Density Increase (6 to 13 dwelling units per gross acre), pursuant to Ordinance No. 07-52. The approved CDMP amendment was conditioned upon the Board of County Commissioners' acceptance of a proffered Declaration of Restrictions (the 2007 Covenant), recorded in Official Records Book 25853, Pages 4309-4321, which, among other provisions, required a minimum of 10 percent of the units to be set aside as workforce housing (increasing to 20 percent if zoning approval was granted for at least 90 percent of the maximum permitted units), and committed the developer to transit improvements, water conservation and treatment capacity measures.

The applicant now seeks to rezone the ±10.21-gross (±9.88-net) acre subject parcel, currently zoned EU-M (Estate Modified District), to RU-3M (Minimum Apartment House District), in order to develop the subject property with 106 residential units. The applicant proposes to develop the subject parcel in accordance with the RU-TH (Townhouse District) development standards, which

are permitted within the RU-3M zoning district. As part of this application, the applicant has submitted a site plan demonstrating compliance with the applicable provisions of the Miami-Dade County Code of Ordinances, including, but not limited to, setbacks, height, and landscape requirements. Staff notes that the applicant is proffering a zoning covenant which, among other things, restricts any future development of the subject property to be in substantial compliance with the submitted plans, establishes a density limitation that the maximum number of dwelling units on the property shall not exceed a total of one hundred six (106) single-family residential townhouse dwelling units, and ensures continued compliance with the workforce housing requirements set forth in the existing CDMP covenant recorded in Official Records Book 25853, Pages 4309-4321.

NEIGHBORHOOD CHARACTERISTICS		
	Zoning and Existing Use	Land Use Designation
Subject Property	EU-M; vacant & single-family residence	Low Density Residential w/ One Density Increase (6 to 13 dua)
North	EU-M; Rock Pit 39 Pineland Preserve (Preserve)	Environmentally Protected Parks
South	EU-M; vacant	Low Density Residential w/ One Density Increase (6 to 13 dua)
East	City of Florida City; PUD; single-family residences, townhomes and multi-family	Low-Medium Density Residential (6 to 13 dua)
West	RU-TH; townhomes and single-family residences	Estate Density Residential w/ One Density Increase (2.5 to 6 dua)

NEIGHBORHOOD COMPATIBILITY:

The ±10.21-gross (±9.88-net) acre subject parcel is currently zoned EU-M (Estate Modified District) and is developed with a single-family residence and vacant parcels. The subject property is located south of SW 336th Street, north of SW 338th Street, east of SW 194th Avenue, and west of SW 192nd Avenue, Miami-Dade County, Florida. The surrounding area is characterized by EU-M zoned Rock Pit 39 Pineland Preserve property to the north, EU-M zoned vacant land to the south, a Planned Unit Development (PUD) zoned residential development to the east under the City of Florida City under tentative plat No. 24959 approved for 232 single-family homes, and RU-TH zoned townhomes and single-family residences to the west. Additionally, the subject property is inside and approximately 0.26 miles (1,378 feet) east of the Urban Development Boundary (UDB).

SUMMARY OF THE IMPACTS:

Approval of this application will allow the applicant to rezone the subject property to permit additional residential development, which may result in an increase in traffic within the surrounding area. Staff also notes that the application may add to the population in the area and may bring additional noise into the neighborhood. Based on memoranda from the departments reviewing this application, any additional impacts will not cause their facilities and services to operate below their adopted levels of service standards. The Platting and Traffic Review Section of the Department of Regulatory and Economic Resources (RER) indicate in its memorandum that the application satisfies the traffic concurrency criteria for an Initial Development Order and

is projected to generate approximately 60 PM peak-hour vehicle trips. Because the distribution of these trips to adjacent roadways exceeds the acceptable level of service, Traffic Concurrency approval for the Initial Development Order is permitted pursuant to Section 33G-5(6)(a) of the Code of Miami-Dade County.

It should be noted that a roadway widening project along SW 344 Street, the failing roadway, is programmed in the County's 2045 Long Range Transportation Plan (LRTP), allowing this application to be approved for Initial Development Order approval and complying with Section 33G-5(6)(a) of the Code for Traffic Concurrency approval. However, the applicant must comply with the requirements of Section 33G-5(6) of the Code in order to obtain approval for an Intermediate Development Order (Tentative Plat) and/or a Final Development Order (Final Plat or permits). As part of this process, the applicant may be required to enter into a Proportionate Share Agreement to mitigate traffic concurrency impacts.

COMPREHENSIVE DEVELOPMENT MASTER PLAN ANALYSIS:

The ±10.21-gross (±9.88-net) acre subject property is located within the Urban Development Boundary (UDB) and is designated **Low Density Residential- w/ One Density Increase [DI-1]** on the Comprehensive Development Master Plan (CDMP) Adopted 2030-2040 Land Use Plan (LUP) map and was the subject of a CDMP amendment, which the Board of County Commissioners (BCC) adopted in April 2006, pursuant to Ordinance No. 07-52. The Low-Density Residential *category allows a range in density from a minimum of 2.5 to a maximum of 6 dwelling units per gross acre and is characterized by single family housing, e.g., single-family detached, cluster, zero lot line and townhouses and a mixture of housing types, provided that the maximum gross density is not exceeded.* Furthermore, the re-designation to Low Density Residential- w/ One Density Increase [DI-1] permits the subject property to be developed one category higher, at the Low-Medium Density Residential category which allows residential development at 6 to 13 units per gross acre. This allows the applicant to develop the ±10.21-gross subject site with a total of 132 residential units as the maximum density allowed under the CDMP. The applicant seeks a district boundary change from EU-M to RU-3M. Staff notes that the RU-3M zoning district allows development at a maximum of 12.9 units per net acre, which is similar to the maximum density allowed under the aforementioned CDMP Low Density Residential w/ One Density Increase threshold on the LUP map. Staff notes that approval of this application and a rezoning to RU-3M could allow the applicant to develop the 9.88-net acre subject parcel with up to a maximum of 127 residential units, which also does not exceed the aforementioned maximum density threshold currently allowed under the CDMP. Staff further notes that the applicant has voluntarily proffered a zoning declaration of restrictions in support of the requested rezoning, restricting the subject property to the submitted plans, and establishing a residential density limitation that the maximum number of dwelling units on the property shall not exceed a total of 106 townhouse units, which would be consistent with the CDMP threshold.

Notwithstanding the above, the CDMP Land Use Amendment (Application No. 14) was conditioned upon the BCC's acceptance of a proffered **Declaration of Restrictions (2007 Covenant)**, which among other provisions, required a minimum of ten (10) percent of the residential units to be set aside as workforce housing, increasing to twenty (20) percent if zoning approval was granted for at least ninety (90) percent of the maximum permitted units, and committed the developer to transit improvements, water conservation measures, and water treatment capacity enhancements. Staff notes that, as part of the application, the applicant has proffered a zoning covenant restricting development of the subject property to one hundred six (106) single-family residential townhouse dwelling units, which represents approximately 80.3

percent of the maximum permitted units. As such, the minimum workforce housing requirement remains ten (10) percent, consistent with both the proffered zoning covenant and the CDMP covenant. Accordingly, subject to the Board's acceptance of the proffered zoning covenant, staff finds that approval of the rezoning to RU-3M would maintain **compliance** with the density limitations established by the CDMP amendment and covenant and would be **consistent** with the CDMP LUP designation and the Land Use Element interpretive text for the **Low Density Residential with One Density Increase (DI-1) category**.

ZONING ANALYSIS:

The applicant seeks approval of a request for a district boundary change from EU-M, Estate Modified District, to RU-3M, Minimum Apartment House District on the subject parcel. For the reasons stated above and below, staff opines that when the request to rezone the ±10.21-gross (±9.88-net) acre parcel to RU-3M is analyzed under Section 33-311, District Boundary Change, the approval of the application would not have an unfavorable impact on the environment, the natural resources, or the economy of the County and would be **compatible** with the surroundings when considering the necessity and reasonableness in relation to the present and future development of the area concerned. Section 33-311 of the Code states that the purpose of the Code is to provide a comprehensive plan and design to among other things, lessen congestion on the highways and promote health, safety, morals, convenience and general welfare, with the view of giving reasonable consideration among other things to the character of the district or area and its peculiar suitability for particular uses. Staff supports the district boundary change and opines that based on the Comprehensive Development Master Plan land use designation of Low Density Residential w/ One Density Increase, and for the reasons explained in the Comprehensive Development Master Plan Analysis section, the request for a zone change on the subject property to RU-3M is **consistent** with the CDMP designation of the parcel on the CDMP Land Use Plan map and the CDMP covenant, and **compatible** with the natural transition of residential zoning trend of development in the surrounding area.

The proposed development of townhouse dwelling units is compatible with the surrounding area in terms of land use, scale, and development pattern. The subject property is located within an area characterized by existing and approved residential uses, including single-family homes, townhomes, and multi-family development. To the east, a PUD development under the jurisdiction of the City of Florida City is currently under construction and will include a mix of single-family residences, townhomes, and multi-family units. To the west, the property is part of the larger ±116.85-gross-acre parcel approved pursuant to Ordinance No. 07-52 and being developed with 244 single-family residences and townhomes. The proposed townhouse development is consistent with this established and emerging residential zoning and development trend, provides a compatible transition in scale and intensity, and aligns with the Low Density Residential with One Density Increase designation on the CDMP Land Use Plan map. Additionally, the proposed building height, setbacks, and landscaped open spaces are **compatible** with adjacent residential development and preserve the character of the surrounding area while allowing for orderly growth **consistent** with the CDMP and County zoning standards.

As previously noted, the applicant has proffered a zoning covenant that limits development of the subject property to 106 single-family residential townhouse dwelling units and ties the site to a specific site plan. The site plan was reviewed by the Development Services Division to ensure compatibility with the surrounding area, compliance with the RU-TH zoning district development standards, and consistency with the CDMP covenant, which requires the incorporation of urban design principles. Staff notes that the proposed development complies with all applicable RU-TH

zoning standards, including but not limited to setbacks, building height, and required landscape open space. In addition, the site plan incorporates key urban design principles consistent with the CDMP covenant, including the distribution of green open spaces throughout the site with centrally located and linear green areas fronting residential units, pedestrian-oriented design with internal sidewalks and walkable connections, front-loaded townhome units oriented toward streets or green spaces with vehicular parking generally located to the rear via private drives, and extensive landscaping along internal drives and perimeter areas to screen parking, soften building edges, and minimize visual impacts from adjacent public rights-of-way.

Staff also notes that based on the memoranda submitted by other departments reviewing the application, approval of the request would not have an unfavorable effect on the economy of Miami-Dade County, would not tend to create a fire or other equally or greater dangerous hazard, or provoke excessive overcrowding of people, or provoke a nuisance, and would not be incompatible with the area concerned. Staff opines that approval of the request for rezoning will not have a significant impact on the surrounding roadways or transportation facilities based on the recommendations and/or information contained in memoranda from the Platting and Traffic Review Section of the Department of Regulatory and Economic Resources (RER). Their memorandum indicates that the application will meet the traffic concurrency criteria for an Initial Development Order. Their memorandum indicates that the application will generate 60 PM peak hour vehicle trips. Further, the RER-Code Coordination and Public Hearings Section in their memo indicate that the application meets all applicable LOS standards for an initial development order for potable water service, wastewater disposal, and flood protection and that Environmentally Endangered Lands (EEL) review indicates no objections to this application. In addition, the other departments reviewing the application, including the Miami-Dade Fire Rescue Department and the Water and Sewer Department, do not object to the application. Based on the aforementioned department memoranda, staff opines that the request for rezoning will not result in, among other things, excessive noise or cause undue or excessive burden on public facilities. As such, staff opines that approval of the request to rezone the subject parcel to RU-3M, subject to the proffered covenant, would be **compatible** with the character of the surrounding neighborhood, when considering the necessity and reasonableness of the modifications in relation to the present and future development of the area. **Therefore, staff recommends approval of the application, subject to the Board's acceptance of the proffered covenant, for a district boundary change to RU-3M, Minimum Apartment House District, under Section 33-311, District Boundary Change.**

ACCESS, CIRCULATION AND PARKING: N/A

NEIGHBORHOOD SERVICES PROVIDER REVIEW: See attached.

OTHER: Not applicable.

RECOMMENDATION:

Approval, subject to the Board's acceptance of the proffered covenant.

CONDITIONS FOR APPROVAL: None.

DRP SOLARIS FL 1, LLC.
Z25-149
Page | 6

ES:JB:SS:EA

Eric Silva

Eric Silva, AICP, Assistant Director
Development Services Division
Miami-Dade County Department of
Regulatory and Economic Resources

ZONING RECOMMENDATION ADDENDUM

DRP SOLARIS FL 1, LLC.
PH: Z25-149

NEIGHBORHOOD SERVICES PROVIDER COMMENTS*	
RER-Code Coordination and Public Hearings Section (RER)	<i>No objection</i>
Platting and Traffic Review Section (RER)	<i>No objection</i>
Fire Rescue Department	<i>No objection</i>
Water and Sewer Department (WASD)	<i>No objection</i>
Parks, Recreation and Open Spaces	<i>No objection</i>
Schools	<i>No objection</i>
Building and Neighborhood Compliance (BNC)	<i>No objection</i>
<i>*Subject to conditions in their memorandum.</i>	

COMPREHENSIVE DEVELOPMENT MASTER PLAN (CDMP) OBJECTIVES, POLICIES AND INTERPRETATIVE TEXT

Low-Density Residential (Pg. I-31)	<i>The residential densities allowed in this category shall range from a minimum of 2.5 to a maximum of 6.0 units per gross acre. This density category is generally characterized by single family housing, e.g., single-family detached, cluster, zero lot line and townhouses. It could include low-rise apartments with extensive surrounding open space or a mixture of housing types provided that the maximum gross density is not exceeded.</i>
Low-Medium Density (Pg. I-31)	<i>This category allows a range in density from a minimum of 6.0 to a maximum of 13 dwelling units per gross acre. The types of housing typically found in areas designated low-medium density include single-family homes, townhouses and low-rise apartments. Zero-lot-line single-family developments in this category shall not exceed a density of 7.0 dwelling units per gross acre.</i>
Density Increase With Urban Design. (Pg. I-32)	<i>Density Increase With Urban Design. Some parcels are designated on the LUP map both with a color designating the allowable residential density basis and one of two hatch patterns. The hatch pattern labeled on the LUP map legend as DI-1 (Density Increase 1) denotes that the parcel is eligible for approval of one density category higher than the residential density indicated by the underlying color code, and DI-2 denotes eligibility for approval of up to two density categories higher. A property shall be eligible for a DI-1 designation only if the development containing the designated property utilizes sound urban design principles adopted by County ordinance or incorporated in the Urban Design Manual endorsed by Resolution R-1360-98 as may be amended from time to time, or addresses the urban design concerns contained in another binding instrument approved by action of the Board of County Commissioners. A property shall be eligible for a DI-2 designation only if it meets the above urban design principles, is located in a transit corridor and addresses in a development agreement or site plan the urban design concerns of identifying civic areas, defining open spaces and streets, incorporating any historic theme and providing a pedestrian-friendly environment along roadways. For purposes of this paragraph, transit corridors are land areas located within 660 feet of planned Major Roadways identified on the LUP map, and within one-quarter mile from existing rail transit stations, express busway stops, future transit corridors and planned transit centers identified in the CDMP. To provide a transition between the transit corridor and adjacent neighborhoods, the height of buildings along the edge of the corridor should taper for at least 20 horizontal feet to the height of the existing adjacent buildings outside the corridor. However, where the adjacent property is vacant, heights of buildings at the edge of the corridor may be based on adopted comprehensive plans and the zoning of the surrounding area. Existing or proposed developments with vehicular entrances that are controlled or have entry gates with private streets are not eligible for a density increase designation of DI-1 or DI-2. If the referenced urban design principles are not employed, the allowable density shall be limited to that authorized only by the underlying color code.</i>

ZONING RECOMMENDATION ADDENDUM

DRP SOLARIS FL 1, LLC.
PH: Z25-149

	<p><i>(DI-1) One Density Increase With Urban Design</i></p> <p><i>(DI-2) Two Density Increase With Urban Design</i></p>
Objective LU-4 <i>(Pg. I-9)</i>	<i>Miami-Dade County shall continue to reduce the number of land uses, which are inconsistent with the uses designated on the LUP map and interpretive text, or with the character of the surrounding community.</i>

PERTINENT ZONING REQUIREMENTS/STANDARDS

<p>Section 33-311 District Boundary Change</p>	<p>(A) <i>The Community Zoning Appeals Boards are advised that the purpose of zoning and regulations is to provide a comprehensive plan and design to lessen the congestion in the highways; to secure safety from fire, panic and other dangers, to promote health, safety, morals, convenience and the general welfare; to provide adequate light and air; to prevent the overcrowding of land and water; to avoid undue concentration of population; to facilitate the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements, with the view of giving reasonable consideration among other things to the character of the district or area and its peculiar suitability for particular uses and with a view to conserving the value of buildings and property and encouraging the most appropriate use of land and water throughout the County.</i></p> <p>(F) Section 33-311 provides that the Board shall take into consideration, among other factors the extent to which:</p> <ol style="list-style-type: none"> (1) <i>The development permitted by the application, if granted, conforms to the Comprehensive Development Master Plan for Miami-Dade County, Florida; is consistent with applicable area or neighborhood studies or plans, and would serve a public benefit warranting the granting of the application at the time it is considered;</i> (2) <i>The development permitted by the application, if granted, will have a favorable or unfavorable impact on the environmental and natural resources of Miami-Dade County, including consideration of the means and estimated cost necessary to minimize the adverse impacts; the extent to which alternatives to alleviate adverse impacts may have a substantial impact on the natural and human environment; and whether any irreversible or irretrievable commitment of natural resources will occur as a result of the proposed development;</i> (3) <i>The development permitted by the application, if granted, will have a favorable or unfavorable impact on the economy of Miami-Dade County, Florida;</i> (4) <i>The development permitted by the application, if granted, will efficiently use or unduly burden water, sewer, solid waste disposal, recreation, education or other necessary public facilities which have been constructed or planned and budgeted for construction;</i> (5) <i>The development permitted by the application, if granted, will efficiently use or unduly burden or affect public transportation facilities, including mass transit, roads, streets and highways which have been constructed or planned and budgeted for construction, and if the development is or will be accessible by public or private roads, streets or highway.</i>
<p>Section 33G-5 procedures (6)</p>	<p>(6) <i>No development order shall be issued by any County board, agency or department unless the following conditions are met:</i></p> <p><i>(a) Initial development orders:</i></p> <ol style="list-style-type: none"> 1. <i>Unless otherwise provided by this chapter, initial development orders may be approved only if all services and facilities (roadways (traffic circulation), mass transit, potable water supply, sanitary sewer, local recreation open space, solid waste disposal, and flood</i>

ZONING RECOMMENDATION ADDENDUM

DRP SOLARIS FL 1, LLC.
PH: Z25-149

	<p><i>protection), except for public schools (which are subject only to a non-binding, planning level review at this stage), meet or exceed LOS standards and the development authorized by issuance of the initial development order must not result in a reduction of any LOS below LOS standards; or the facilities necessary to accommodate the impacts of the proposed development at or above the applicable standards as established in the CDMP are:</i></p> <ul style="list-style-type: none"><i>a. Programmed in the five-year schedule of improvements in the Capital Improvement Element or Transportation Improvement Program; or</i><i>b. In the anticipated projects list in the Capital Improvement Element; or</i><i>c. In the adopted five-year program or long-range facility plan of the applicable other service provider; or</i><i>d. For roadways, satisfied through proportionate share mitigation as provided in section 163.3180, Florida Statutes.</i><i>e. Consistent with respect to the CDMP.</i>
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Building and Neighborhood Compliance

ENFORCEMENT HISTORY

DRP SOLARIS FL 1, LLC/HONARVAR,
HOUDIN 33700 SW 192 AVE
MIAMI-DADE COUNTY, FLORIDA.

APPLICANT

ADDRESS

Pending

Z2025000149

DATE

HEARING NUMBER

FOLIO: 30-7823-002-0025/30-7823-002-0030/30-7823-002-0020

REVIEW DATE OF CURRENT ENFORCEMENT HISTORY:

October 9, 2025

NEIGHBORHOOD REGULATIONS:

Folio No.: 30-7823-002-0025/30-7823-002-0030/30-7823-002-0020

There are no open/closed cases in CMS.

BUILDING SUPPORT REGULATIONS:

Folio No.: 30-7823-002-0025/30-7823-002-0030/30-7823-002-0020

There are no open/closed cases in BSS.

VIOLATOR:

DRP SOLARIS FL 1, LLC/HONARVAR, HOUDIN

OUTSTANDING LIENS AND FINES:

There are no outstanding liens or fines.

Memorandum

Date: October 9, 2025

To: Lourdes M. Gomez, AICP, Director
Department of Regulatory and Economic Resources (RER)

From: Christine Velazquez, Division Chief
Department of Regulatory and Economic Resources (RER)

Subject: Z2025000149-3rd Review
DRP Solaris FL LLC
North of SW 338th Street, between SW 192nd Avenue and SW 194th Avenue.
DBC from EU-M to RU-3M with RU-TH uses to develop attached single-family homes; NUV of requirements to permit lots on private drives and access to public streets by private drives.
(EU-M) (10.21 acres)
23-57-38

RER-Code Coordination and Public Hearings Section has reviewed the above referenced zoning application for compliance with the requirements of Chapter 24 of the Miami-Dade County Code (the Code) for potable water service and wastewater disposal. Based on the information provided, this zoning application is approved pursuant to section 24-43.1 of the Code related to potable water supply and wastewater disposal.

Potable Water Supply and Wastewater Disposal

Pursuant to the Code and based on the documents submitted with this application, the proposed development is within feasible distance to connect to public water and public sanitary sewers. Therefore, the future development shall connect to public water and sanitary sewers in accordance with the Code. Please note that this development will need to obtain water and sanitary sewer extension permits prior to RER approval of future development orders. To the extent that connection to the public sanitary sewer system is not approved due to a sanitary sewer moratorium, this memorandum shall not be interpreted as written approval from DERM to allow an alternative means of domestic wastewater disposal.

Be advised that the required water main extension permit is issued by the Florida Department of Health. Civil drawings for the water main extension will need to be approved by the Miami-Dade Water and Sewer Department and the Environmental Permitting Section of RER.

Civil drawings for the required sewer main extension will need to be approved by MDWASD and the Environmental Permitting Section of RER prior to approval of final development orders.

In accordance with section 24-43.4(2)(b)(iii) of the Code the property has submitted a covenant running with the land in favor of Miami-Dade County recorded in Official Records Book 34966, Page 288, acknowledging that the property shall be required to connect to the applicable public infrastructure as a condition of any building permit for development on the property or portion thereof.

Existing public water and sewer facilities and services meet the Level of Service (LOS) standards set forth in the Comprehensive Development Master Plan (CDMP). Furthermore, the proposed development order, if approved, will not result in a reduction in the LOS standards subject to compliance with the conditions required by the County for this proposed development order.

Please note that some of the collection/transmission facilities, which includes sanitary sewer gravity sewer mains, sanitary sewer force mains and sanitary sewer pump stations, throughout the County do not have adequate capacity, as defined in the Consent Decree between Miami-Dade County, Florida Department of Environmental Protection, and the U.S. Environmental Protection Agency case 1:12-cv-24400-FAM. Under the terms of this Consent Decree, this approval does not constitute an allocation or certification of adequate treatment and transmission system capacity. At the time of building permits, DERM will evaluate and may reserve sanitary sewer capacity, through the DERM sanitary sewer certification process, if the proposed development complies with the provisions of the Consent Decree. Building permits for development in sanitary sewer basins that have been determined not to have adequate capacity cannot be approved until adequate capacity becomes available.

Please be advised, RER-Environmental Plan Review, review and approval is required for any proposed public or private sanitary sewer system. Each parcel within the proposed development that is required to be served by public sanitary sewers shall connect directly to the public sanitary sewer system, without traversing other parcels. Private sanitary sewer collection and transmission systems are limited to one building per parcel connecting directly to a public sanitary sewer system and cannot traverse other parcels to connect to the public sanitary sewer system. If multiple buildings are proposed within a parcel, each building shall connect individually to a public sanitary sewer system without traversing other parcels.

Conditions of approval: none

Natural Forest Communities

This application must comply with Miami-Dade County's Comprehensive Development Master Plan (CDMP) and the Code. A review of the application by RER's Tree and Forest Resources Section (TFRS) revealed that the application area is adjacent to a County-owned NFC and federally-designated critical habitat identified by folio no. 30-7823-002-0010.

The development and use of the subject property must avoid adverse environmental impacts to the NFC, including the storage of construction materials adjacent to the NFC, drainage onto the NFC, and erosion affecting the NFC. Therefore, during future development of the subject properties, DERM recommends a barrier be erected between any site improvement work and the NFC property. RER recommends that future development plans clearly show any proposed or potential NFC impacts and include cross sections for improvements adjacent to folio no. 30-7823-002-0010, including but not limited to, SW 337 Street, to determine if sloping, drainage, and related features would potentially impact the adjacent NFC. A modification to the site plans to avoid and minimize impacts to the NFC or a Miami-Dade County NFC removal permit may be required.

Cross-section "C" on sheet SP-5 of the Site Plans received by Miami-Dade County on September 29, 2025, shows a retaining wall to be installed in the right of way next to the NFC. RER has no objection to the approval of this application provided that a retaining wall is constructed between the NFC and proposed development.

Management of the adjacent NFC may require the use of prescribed burns to assist in controlling exotic and invasive species. RERTFRS also recommends that future site plan development for the subject property separates future residential uses from the adjacent NFC to the maximum extent possible in order to facilitate prescribed burns.

Pursuant to section 24-49.9 of the Code, prohibited species shall not be planted on any site and controlled species shall not be planted within 500 feet of the native plant community.

The applicant is advised to contact Tim Joyner of the Tree and Forest Resources Section at tfrs@miamidade.gov or 305-372-6574 for any questions regarding the NFC.

Conditions of Approval: None

Water Control Review

A RER Surface Water Management General Permit shall be required for the construction and operation of the required surface water management system. This permit shall be obtained prior to any future development order approval.

Stormwater should be retained on site utilizing designed seepage or infiltration drainage system. Drainage plans shall provide for full on-site retention of the stormwater runoff.

Site grading and development shall provide for the full retention and shall also comply with the requirements of Chapter 11C of the Code, as well as with all State and Federal Criteria, and shall not cause flooding of adjacent properties.

Any proposed development shall comply with county and federal flood criteria requirements. The proposed development order, if approved, will not result in a reduction in the LOS standards for flood protection set forth in the CDMP subject to compliance with the conditions required for this proposed development order.

Pursuant to section 24-48.1(1)(f) of the Code, the applicant is advised that a Class VI Permit shall be required for the construction of the proposed surface water management system.

The applicant is advised to contact the RER Water Control Section at (305)372-6681 or dermwatercontrol@miamidade.gov for further information regarding permitting procedures and requirements.

Conditions of Approval: None

Tree Preservation Review

An aerial review of the subject properties indicates the presence of tree resources. Additionally, Tree Permit #2500127 was issued on February 25, 2025, for the subject properties. All approved work shall be performed in accordance with this permit. Section 24-49 of the Code provides for the preservation and protection of tree resources. If any additional trees subject to the tree preservation and protection provisions of the Code are to be removed/relocated and are not associated with Tree Permit #2500127, a new tree removal permit will be required. The applicant is advised that a tree survey that includes a tree disposition table will be required during the tree removal permit application process. Projects and permits shall meet the requirements of sections 24-49.2 and 24-49.4 of the Code, including the specimen tree standards.

Additionally, the proposed development lies within 500 feet of a County designated NFC. According to the landscape Code for Miami-Dade County, controlled species may not be planted within 500 feet of a

native plant community (including NFCs). Please refer to the Landscape Manual of the Department of Planning and Zoning for a list of these controlled landscaping plants.

In accordance with section 24-49.9 of the Code, all plants prohibited by Miami-Dade County shall be removed from all portions of the properties prior to development, or redevelopment and developed parcels shall be maintained to prevent the growth or accumulation of prohibited species. Please contact Jackelyn Alberdi at Jackelyn.Alberdi@miamidade.gov regarding any additional information or concerns with this review.

Conditions of Approval: None

Environmentally Endangered Lands (EEL) Review

EEL has no objections, please see the following advisory comments:

The subject application is immediately adjacent to Rock Pit 39 Pineland Preserve (Preserve) identified by folio no. 30-7823-002-0010. The Preserve is located on the southwest corner of SW 336 Street and SW 192 Avenue and contains Natural Forest Community pine rockland. This Preserve is public conservation land owned by the County and managed by the Miami-Dade County EEL Program to be maintained as a natural preserve in accordance with section 24-50 of the Code and CDMP.

The Preserve is home to multiple endangered and threatened species and is federally-designated Critical Habitat. The Preserve is bounded on the north by SW 336 Street, on the east by SW 192 Avenue, on the west by theoretical SW 194 Avenue and on the south by theoretical SW 337 Street. Please be aware that protected resources may extend into the eastern right-of-way of the Preserve at SW 192 Avenue and cannot be negatively impacted. The development and use of the subject property must avoid impacts to the Preserve, including the storage of construction materials adjacent to the Preserve, drainage onto the Preserve, and erosion affecting the Preserve. **The EEL Program will require detailed plans and dimension in the cross-sections in the Paving and Drainage review process that demonstrates a suitable slope or retaining wall that will properly contain all fill, and road or other improvements, that will not impact the Preserve, including but not limited to, SW 337 Street.**

The adjacent Preserve contains pine rockland plant community that requires land management practices, which include periodic ecological prescribed burning and wildfire response. Periodic burning, which is generally performed once every three years, is a management practice that reduces the threat of wildfires and is beneficial to wildlife and the rare and endangered plant species within the Preserve. The applicant is advised that management of the adjacent Preserve requires the use of prescribed burns to assist in controlling invasive and non-native species. Any dwellings developed here would be within the potential smoke dispersion corridor and may be affected by periodic smoke events from prescribed burns or unexpected wildfires. Owners and residents adjacent to fire-prone preserves are typically notified twice per year of potential burns on site. For more information regarding Rock Pit 39 Pineland Preserve or the EEL Program, please contact Janet Gil at janet.gil@miamidade.gov or Robin Gray at robin.gray@miamidade.gov

Endangered Species Review

The subject property is within the U.S. Fish and Wildlife Service (USFWS) consultation area for the endangered Florida bonneted bat (*Eumops floridanus*), which may utilize the subject property for foraging, nesting, and roosting. The County's CDMP has policies and objectives for the protection of habitat critical to federal, state or county designated endangered, threatened, or rare species.

Please be advised that prior to any future development at the subject property, it is recommended that the applicant contact the USFWS in the Vero Beach office at (352) 448-9151 and the Natural Resources Division of RER at (305) 372-6575 with any questions regarding threatened and endangered species.

Conditions of Approval: None

Pollution Remediation Review

DERM review based on potential sources (Current/Former Agricultural use), indicates the potential for environmental concerns at the subject property based on historical and/or current land use on the subject or adjoining property(ies). Therefore, the applicant is required to evaluate for and identify all site activities and land uses (historical and current) that represent(ed) a potential to cause or to have caused impairment of the environment (i.e., soil, groundwater, surface water, vapor) at, near or in the vicinity of the site. Based on the findings, appropriate environmental site assessment may be required in support of the site development. A report presenting the results/findings of the above required site investigation(s) and any necessary assessment, including all supporting documentation, shall be submitted to DERM for review prior to the submittal of site development plans including but not limited to soil improvement plans, drainage plans, dewatering plans, etc. DERM review and approval of said documents shall be required.

All construction plans (inclusive of drainage) and dewatering plans shall require the approval from the Environmental Monitoring and Restoration Division of DERM (EMRD) as it relates to environmental contamination issues. Be advised that the EMRD review of this application does not constitute an approval of any site plans, drainage plans, or development plans that may be included as part of this application.

Any contaminated portion of the site that is proposed to be sold, transferred or dedicated (including, but not limited to, for public right-of-way) to any public entity shall be identified on the tentative and final plat plans for this development. If any contaminated portion of the site is proposed to be sold, transferred or dedicated to the County, please note that all soil, groundwater or surface water contaminants, solid waste, and methane must be disclosed to the applicable County department at the earliest stage possible. The applicable County departments would include all departments that would receive or manage the proposed property, and for example, would include PROS for a park and DTPW for road right-of-way. Please note that the presence of any such contamination, solid waste, or methane or a delay by the applicant in disclosing such contamination or impacts to the applicable County departments could result in the county declining to accept the proposed dedication. This may in turn result in the need for the developer to reconfigure or change previously approved site plans, or make other changes to the proposed development, which may require approval after public hearing.

If an applicant elects to address soil contamination, groundwater contamination, solid waste and methane via a No Further Action with Conditions, each individual property owner will be required to execute a restrictive covenant.

Please note that nothing stated herein may be interpreted to limit or restrict an engineer's or other professional's responsibility to prepare plans accurately and completely for proposed rights-of-way as well as any other projects or plans. Please contact Thomas Kux at Thomas.Kux@miamidade.gov if you have any questions.

Conditions of Approval: None

DERM Enforcement History Review

There are no open or closed enforcement records for violations of Chapter 24 of the Code for the subject property. There are no outstanding DERM liens or fines for the subject property.

Concurrency Review Summary

A concurrency review has been conducted for this application and RER has determined that the same meets all applicable LOS standards for an initial development order as specified in the adopted CDMP for potable water supply, wastewater disposal, and flood protection. This concurrency approval is valid only for this initial development order. Pursuant to Chapter 33G of the Code, a final concurrency statement will be issued at the time of final development order.

If you have any questions concerning the comments or wish to discuss this matter further, please contact Ninfa Rincon at (305) 372-6764.

cc: Eric Silva, Department of Regulatory and Economic Resources

Memorandum



Date: October 3, 2025

To: Eric Silva, AICP, Assistant Director
Development Services Division
Department of Regulatory and Economic Resources (RER)

Through: James B. Ferguson, P.E.
Assistant Director
Water and Sewer Department (WASD)

From: Maria A. Valdes, CSM, LEED® Green Associate
Chief, Planning & Water Certification Section
Water and Sewer Department (WASD) *Maria Valdes*

Subject: Zoning Application Comments - Reto West
Application No. Z2025000149 - (Revision No. 2) - (Pre-App. No. Z25P-079)

The Water and Sewer Department has reviewed the proposed development for the subject zoning application. WASD has no objection to this zoning application, based on the information provided. Additional requirements may be needed at the time of permitting. The information provided below is preliminary and it does not affect the Zoning process.

At the time of development, the applicant is advised to consult with the project's engineer and WASD's Plans Review staff to finalize points of connection and capacity approval. A WASD Agreement and/or Verification form will be required.

Application Name: Reto West

Location: The proposed project is located north of SW 338th Street between SW 192nd Avenue and SW 194th Avenue with Folio Nos. 30-7823-002-0025, 30-7823-002-0020 and 30-7823-002-0030, in unincorporated Miami-Dade County.

Proposed Development: The applicant is seeking approval for a District boundary change from EU-M (Single Family Estate Modified District) to RU-3M (Minimum Apartment House District) with RU-TH (Townhouse District) uses, as well as a non-use variance to permit lots to front on private drives and to permit access to public streets by means of private drives. The applicant intends to develop 106 townhouse units through the Workforce Housing Program.

The estimated total water demand for the proposed project will be 17,490 gallons per day (gpd).

Water: The proposed development is located within the WASD's water service area. The water supply will be provided by the South Dade Water System. Currently, there is adequate treatment and water supply capacity, consistent with Policy WS-2 A (1) of the CDMP.

On July 7, 2025, WASD Agreement No. 33227 was offered, for the subject site, with approved points of connection (P.O.C.) dated May 20, 2025. Per said P.O.C., since this property is connecting to WASD's water system for the first time, the developer is required to install a water main along one entire boundary of the property, as per WASD's Rules and Regulations. Therefore, the developer shall connect to an existing 16-inch water main (E14588-5) in SW 192nd Avenue, and proposed SW 337th Street and extend an 8-inch water main westerly in proposed SW 337th Street to proposed SW 194th Avenue near the northwestern corner of the development. If Agreement No. 32417 is conveyed by the time this project is ready for construction, the developer shall interconnect to a proposed 12-inch water main (DW2024-32417-1; Plans Approved) at that location.

If Agreement No. 32417 is conveyed by the time this project is ready for construction, the developer shall also connect to any of the following:

1. A proposed 12-inch water main (DW2024-32417-1; Plans Approved) in SW 338th Street that will about the entire southern boundary of the development.
2. A proposed 12-inch water main (DW2024-32417-1; Plans Approved) in SW 194th Avenue that will about the entire western boundary of the development.

Furthermore, the developer shall also connect to the aforementioned existing 16-inch water main (E14588-5) in SW 192nd Avenue, abutting the eastern boundary of the development.

Any public water main extension within the property shall be 8-inch minimum diameter. If two (2) or more fire hydrants are to be connected to a public water main extension, then the water system shall be looped with two (2) points of connections.

If the proposed water main improvements under ID No. 32417 are not conveyed by the time this project is ready for construction, a revision of this POC will be necessary to determine the available POC at that time. Additionally, the developer is responsible to revise the design and re-submitting it to WASD for Concurrent Plans Review and Approval.

Note to the Developer:

1. The Developer of this project shall coordinate and cooperate on water and sewer interconnections, construction sequence, and schedule with other development projects that are in the vicinity either downstream or upstream with regard to obtaining approval and permits from WASD and other regulatory governmental agencies to avoid conflict with utility plans.
2. If a vicinity development has a water and/or sewer construction permit but has not started construction and another developer would like to take over the other development scope of water and/or sewer work, then the developers shall coordinate to withdraw the existing permit prior to the other developer submitting plans to WASD and other regulatory governmental agencies for review.

A Water Supply Certification (WSC) letter from WASD was issued on July 7, 2025, through WASD Agreement No. 33227. The WSC letter shall remain active in accordance with terms and conditions specified in said certification. The WSC is required consistent with Policy CIE-5D and WS-2C in the County's CDMP and in accordance with the permitted withdrawal capacity in the WASD's 20-year Water Use Permit.

For more information on the Water Supply Certification Program please go to:
<http://www.miamidade.gov/water/water-supply-certification.asp>

In addition, all future development will be required to comply with water use efficiency techniques for indoor water use and with landscape standards in accordance with Sections 8-31, 32-84, 18-A and 18-B of the Miami-Dade County Code and consistent with Policies WS-5E and WS-5F of the CDMP.

For more information about our Water Conservation Program, please go to:
<http://www.miamidade.gov/conservation/home.asp>

For information concerning the Water-Use Efficiency Standards Manual please go to <http://www.miamidade.gov/waterconservation/library/instructions/water-use-efficiency-standards-manual.pdf>

Sewer: The proposed development is located within the WASD's sewer service area. The wastewater flows for the proposed development will be transmitted to the South District Wastewater Treatment Plant (SDWWTP) for treatment and disposal. The SDWWTP is operating under a permit from the Florida Department of Environmental Protection. Currently, there is adequate sewer treatment and disposal capacity at the SDWWTP, consistent with Policy WS-2 A (2) of the CDMP.

Per approved P.O.C. dated May 20, 2025, since this property is connecting to WASD's sewer system for the first time, the developer is required to install a gravity sewer main along one entire boundary of the property, as per WASD's Rules and Regulations, Section 3.02(6) and 3.04(2)(d). Therefore, if Agreement No. 32417 is conveyed by the time this project is ready for construction, the developer shall connect to a proposed 8-inch gravity sewer main (DS2024-32417-1) in SW 340th Street and proposed SW 194th Avenue, south of the southwestern corner of the property, and extend the same 8-inch gravity sewer main northerly **at full depth** in proposed SW 194th Avenue to SW 338th Street, then continue extending the same easterly **at full depth** in SW 338th Street to SW 192nd Avenue, as required to fully abut one boundary of the development.

If unity of title does not apply, thence any gravity sewer within the property shall be public and 8-inch minimum diameter.

If the proposed sewer main improvements under Agreement No. 32417 are not conveyed by the time this project is ready for construction, a revision of this POC will be necessary to determine the available POC at that time. Additionally, the developer is responsible to revise the design and re-submitting it to WASD for Concurrent Plans Review and Approval

Note to the Developer:

1. The Developer of this project shall coordinate and cooperate on water and sewer interconnections, construction sequence, and schedule with other development projects that are in the vicinity either downstream or upstream with regards to obtaining approval and permits from WASD and other regulatory governmental agencies to avoid conflict with utility plans.
2. If a vicinity development has a water and/or sewer construction permit but has not started construction and another developer would like to take over the other development scope of water and/or sewer work, then the developers shall coordinate to withdraw the existing permit prior to the other developer submitting plans to WASD and other regulatory governmental agencies for review.

Connection to the sanitary sewer system is subject to the following conditions:

- Adequate transmission and plant capacity exist at the time of the owner's request consistent with policy WS-2 A (2) of the CDMP. Capacity evaluations of the plant for average flow and peak flows will be required. Connection to the COUNTY'S sewage system will be subject to the terms, covenants and conditions set forth in court orders, judgments, consent orders, consent decrees and the like entered into between the COUNTY and the United States, the State of Florida and/or any other governmental entity, including but not limited to, the Consent Order entered on April 9, 2014 in the United States of America, State of Florida and State of Florida Department of

Environmental Protection v. Miami-Dade County, Case No. 1:12-cv-24400-FAM, as well as all other current, subsequent or future enforcement and regulatory actions and proceedings.

- Approval of all applicable governmental agencies having jurisdiction over these matters are obtained.

Any public water or sewer infrastructure must be within a public right-of-way, or within a utility easement.

Below please find additional links to the WASD portal, which provides information on the Construction & Development process for water and sewer infrastructure.

<http://www.miamidade.gov/water/construction-development.asp>

<http://www.miamidade.gov/water/construction-service-agreement.asp>

<http://www.miamidade.gov/water/construction-existing-service.asp>

<http://www.miamidade.gov/water/library/forms/service-agreement.pdf>

Should you have any questions, please contact Maria A. Valdes, Chief, Planning & Water Certification Section at (786) 552-8198 or mavald@miamidade.gov, Alfredo B. Sanchez at (786) 552-8237 or sanalf@miamidade.gov, or Benita Ramirez at (786) 552-8121 or benita.ramirez@miamidade.gov

Memorandum



Date: September 30, 2025

To: Eric Silva, Assistant Director
Regulatory and Economic Resources

From: Alejandro G Cuello, Principal Planner
Miami-Dade Fire Rescue Department

Subject: Z2025000149

The Miami-Dade Fire Rescue Department has **no objection** to the site plan uploaded to "EnerGov" on 9/29/2025.

MDFR's review of this application is limited to assessing fire department access and does not effectuate an approval of the building design. The future building's design must be in compliance with the applicable requirements for the proposed use:

Florida State Statute Chapter 633 (Fire Prevention & Control)
Florida Administrative Code 69A
Florida Fire Prevention Code (NFPA 1 and NFPA 101 (2018 edition))
Applicable adopted NFPA Standards
County Code Chapter 14

For additional information, please contact acuello@miamidadecounty.gov or call 305-775-3357.

Memorandum



Date: Thursday, October 2, 2025

To: Eric Silva
Assistant Director, Zoning Division
Department of Regulatory and Economic Resources (RER)

From: Miguel Soria, P.E.
Assistant Director Highway Engineering
Department of Transportation and Public Works

Subject: Review of Z2025000149
Applicant Name: Retro West

Miami-Dade County Department of Transportation and Public Works (DTPW) Traffic Engineering Division has reviewed the subject application and has no objections to this application, subject to the conditions in Section I:

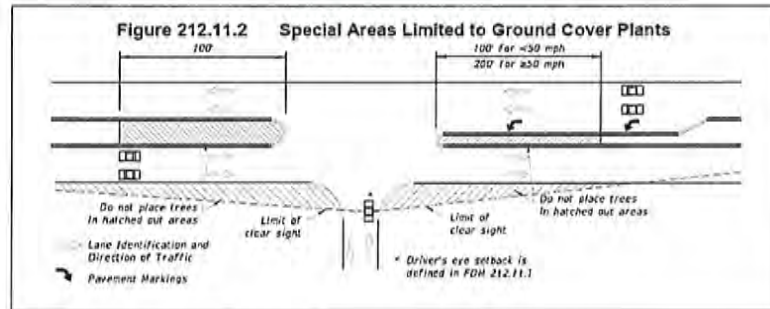
PROJECT LOCATION:

The property is located north of SW 338th Street, between SW 192nd Avenue and SW 194th Avenue, in unincorporated Miami-Dade County, Florida.

COMMENTS/RECOMMENDATION:

I. CONDITIONS:

1. This development is approved to construct a 106-unit residential development comprising of single-family (attached) townhomes. In the case that the land use information is modified, a new site plan/traffic study must be submitted for review.
2. The developer intends to construct their half of the right-of-way of SW 337th Street, SW 338th Street, and SW 194th Avenue along the frontage of the project site to construct sidewalks and the roadway network. SW 337th Street will be constructed as a one-way eastbound roadway from SW 194th Avenue to SW 192nd Avenue, and SW 338th Street will be constructed as a one-way westbound roadway from SW 194th Avenue to SW 192nd Avenue. The southbound approach of SW 194th Avenue between SW 337th and SW 338th streets will be constructed by the adjacent developments. The developer has agreed to construct these subdivision improvements which will allow for connectivity to the site. The developer also plans to construct sidewalks along all public roadways abutting the development
3. According to the latest FDOT FDM manual Section 212.11.6, trees may not be placed within the hatched-out areas of the sight triangles.



If you have any questions concerning the comments, or wish to discuss this matter further, please contact Anamersy Arce at anamersy.arce@miamidade.gov.

Memorandum



Date: July 14, 2025

To: Eric Silva, Assistant Director
Development Services Division
Regulatory and Economic Resources Department (RER)

From: Alejandro Zizold, PROS Chief of Planning, Research, and Grants *Alejandro Zizold*
Planning, Design and Construction Excellence Division
Parks, Recreation and Open Spaces Department (PROS)

Subject: Z2025000149– Retro West (Pre-application: Z2025P00079)

Applicant Name: Amanda Naldjieff, Esq. on behalf of DRP Solaris FL 1 LLC

Project Location: The applicant site is located on ±10.21-acres located north of SW 338 Street, between SW 192 Avenue and SW 194 Avenue, in unincorporated Miami-Dade County (Folio: 30-7823-002-0025, 30-7823-002-0020, 30-7823-002-0030).

Proposed Development: The applicant approval of a District Boundary Change request to rezone subject property from EU-M, Single-Family Estate Modified District, to RU-3M, Minimum Apartment House District, with RU-TH uses, to develop 12.9 dwelling units per net acre and a maximum height of 2 stories. The applicant proposes a residential development comprised of 106 attached single-family homes, including 11 workforce housing units. The applicant also seeks to implement the workforce housing intensity standards available pursuant to Section 33-193.11(D) of the County Code.

Current Park Benefit District Area Conditions: County-owned park and recreation facilities, both Areawide and Local, serving Park Benefit District 3 (PBD 3) are shown in Figure 1. County-owned local parks that are within three miles of the subject application are described in Table A, which lists the park name, park address, park classification, acreage for each park, and type of recreation facility.

Table A - County Parks (Local) Within a 3 Mile Radius of Application Area.

NAME	ADDRESS	CLASS	ACRES	TYPE
BISCADO PARK	29150 SW 193RD AVE	NEIGHBORHOOD PARK	4.76	LOCAL
PLAZA LICENCIADO BENITO JUAREZ PARK	19825 SW 376TH ST	COMMUNITY PARK	10.34	LOCAL
CINCO DE MAYO PARK	19337 SW 384TH ST	COMMUNITY PARK	9.3	LOCAL

Impact and Demand: The proposed 106 single family attached dwelling units would generate a population of 291 and an impact of ±0.80-acres of local parkland when analyzed using Miami-Dade County's minimum Level of Service standard for the provision of local recreation open space. Recreation and Open Space Element policies ROS-2a (i); (ii); (iii); (iv); and (v) provide for the establishment of Miami-Dade County's minimum Level of Service standard for the provision of local recreation open space. The site is in PBD 3, which currently meets park concurrency requirements.

As shown in Table A, there are 2 Miami-Dade County local parks and open spaces of 5 acres or larger within the 3-mile distance from the application area. However, there are no local parks within the 1/4-to-1/2-mile distance from the project site as recommended in the Equity Access Criteria included in the Miami-Dade County Parks and Open Spaces Master Plan (OSMP) and adopted as part of the Recreation and Open Space Element of the Comprehensive Development Master Plan. Therefore, **PROS recommends that the applicant provides the equivalent local recreation open space within the project or consider a full or partial public parkland conveyance, in-lieu of impact fees.**

Recommendation: PROS offers the following recommendations and requests additional information regarding this project:

- Given the potential impact of 0.80 acres of local parkland and to provide relief to the Equity Access Criteria, PROS strongly recommends the applicant provide adequate recreational space and amenities that meet the level of service needed for the residents, as space allows. Recreation amenities include but are not limited to fitness equipment, athletic courts, clear areas to allow group exercises, lighted walking paths, shaded outdoor seating areas, safe picnicking/leisure areas, playgrounds, picnic tables, bike racks, and/or pet waste areas throughout the development.
- PROS recommends minimizing hardscape within the site plan as feasible, and increasing planting and permeable materials to assist in offsetting the Urban Heat Island Effect, in order to make the area cooler and more walkable for residents and visitors.
- Given the adjacency to DERM's preserved land, please consider using native plants from the Miami Rockland Pine Forest plant community in the landscape plan. PROS suggests coordinating with the NFC, Tree and Forest Resources Section, for more information on the topic.
- Please provide calculations and a color-coded Open Space Requirements Diagram, detailing proposed versus required common/open space. Please reach out to RER Zoning to understand the areas that would count towards the common/open space calculation.

These recommendations are based on the following Recreation and Open Space policies and objectives in the CDMP:

Objective ROS-1 Provide a comprehensive system of public and private sites for recreation, including but limited to public spaces, natural preserve and cultural areas, greenways, trails, playgrounds, parkways, beaches and public access to beaches, open space, waterways, and other recreational facilities and programs serving the entire County; and local parks and recreation programs adequately meeting the needs of Miami-Dade County's unincorporated population, through 2017.

Objective ROS-2 Require the availability of adequate local recreation open space as a condition for the approval of residential development orders, and maintain an adequate inventory of recreational areas and facilities through 2017.

Policy ROS-3E The Parks, Recreation and Open Spaces Department shall seek to increase public awareness of available recreation opportunities through education and information programs and signage on roadways, at park entrances, and within large parks.

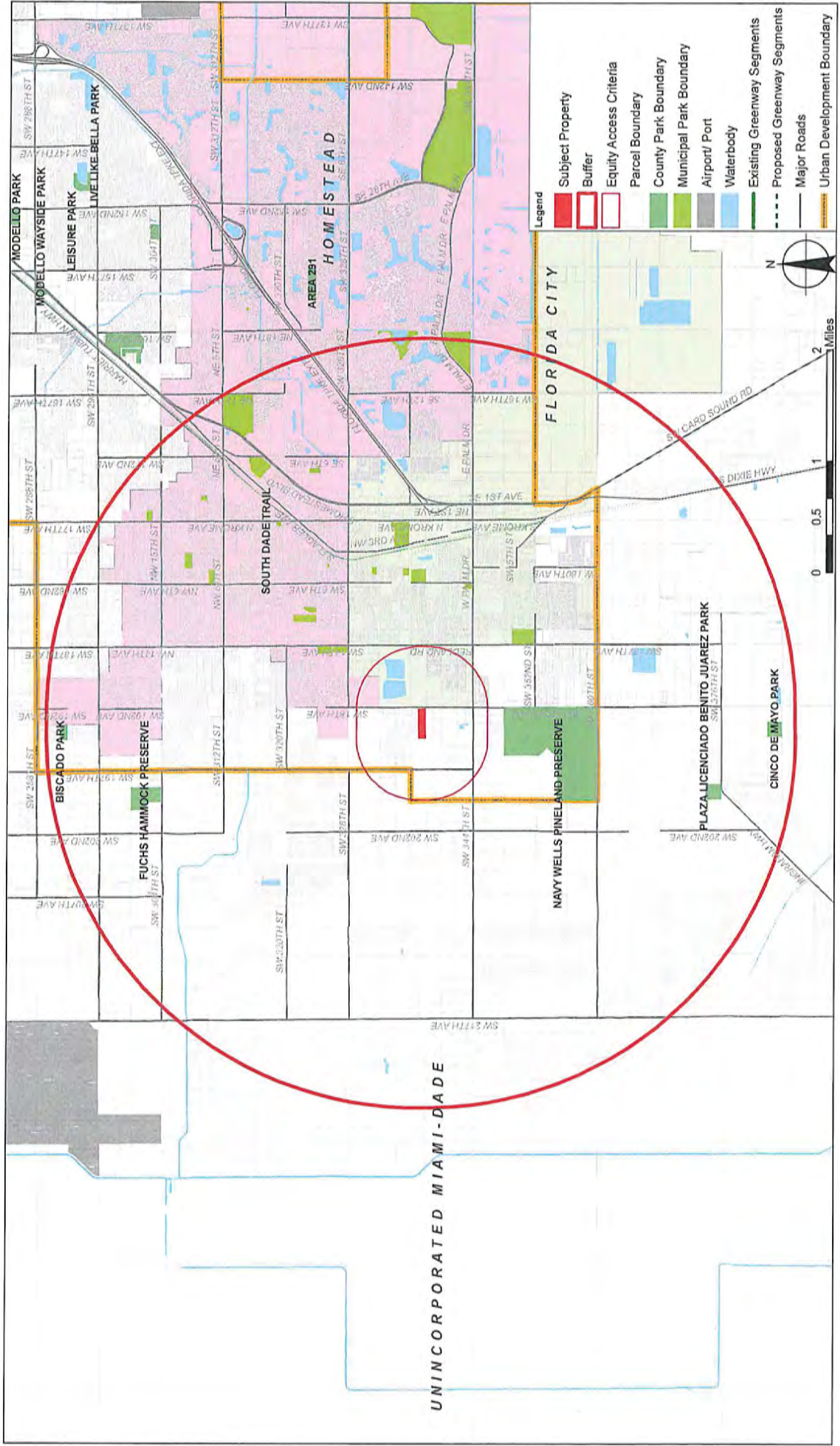
Objective ROS-8 The Miami-Dade County Parks and Open Space System Master Plan (OSMP), through a 50-year planning horizon, shall guide the creation of an interconnected framework of parks, public spaces, natural and cultural areas, greenways, trails, and streets that promote sustainable communities, the health and wellness of County residents, and that serve the diverse local, national, and international communities.

Based on our findings described herein, **PROS has no objection to the application.** Once the documents mentioned above have been provided, the department will offer further review.

Should you have any questions, or if you need any additional information or clarification on this review, please contact Alexandra Dreybus, Park Planner 2, by email at alexandra.dreybus@miamidade.gov

AZ: at ad
Attachment

Z2025000149 - RETRO WEST MIAMI-DADE COUNTY PARKS, RECREATION AND OPEN SPACES DEPARTMENT ANALYSIS



Memorandum



Date: October 21, 2025

To: Eric Silva, AICP, Assistant Director
Development Services Division
Regulatory and Economic Resources (RER)

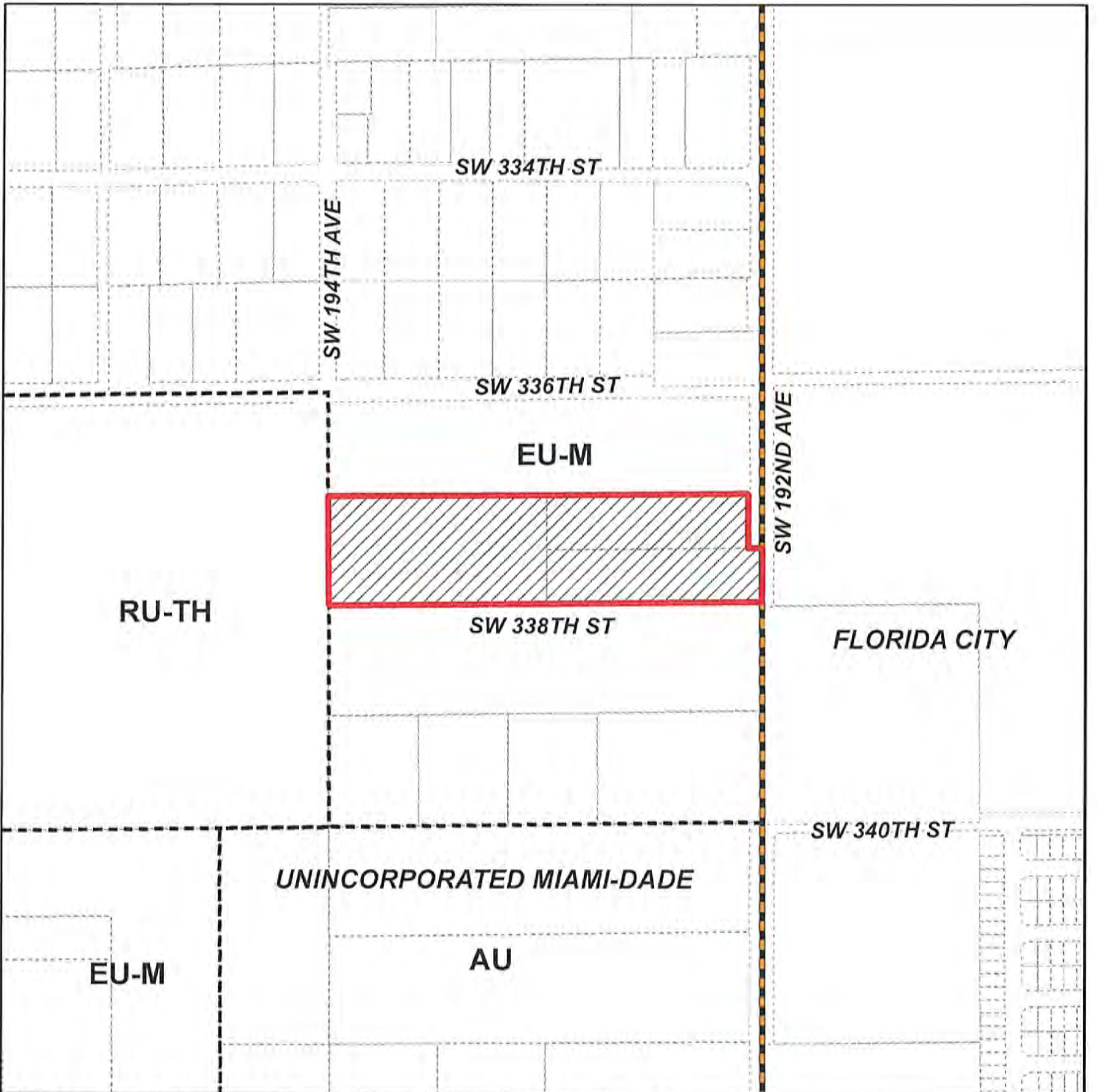
From: Christina Salinas Cotter, Assistant Director, Program Excellence *Christina Salinas Cotter*
Housing & Community Development (HCD)

Subject: Zoning Application Comments
Application No.: Z2025000149
Applicant: DRP SOLARIS FL 1 LLC
Location: North of SW 338th Street, between SW 192nd Avenue and SW 194th Avenue
Folio No(s): 30-7823-002-0025; -0030; -0020

Housing and Community Development (HCD) has completed its review of the proposed development associated with the subject zoning application.

For questions or assistance related to HCD programs, please contact the appropriate staff:

- **Workforce Housing Agreements, Rental Regulatory Agreements, Compliance, and Impact Fee Waiver Requests:**
A'kari Johnson – (786) 469-4234 | A'kari.Johnson@miamidade.gov
or
Phyllis Tynes Saunders – (786) 469-4167 | Phyllis.TynesSaunders@miamidade.gov
- **Infill Housing Program Inquiries:**
Oscar Barco – (786) 469-4226 | Oscar.Barco@miamidade.gov





MIAMI-DADE COUNTY
HEARING MAP

Process Number
Z2025000149

Section: 23 Township: 57 Range: 38
 Applicant: DRP SOLARIS FL 1 LLC
 Zoning Board: C14
 Commission District: 9
 Drafter ID: EDUARDO CESPEDES
 Scale: NTS



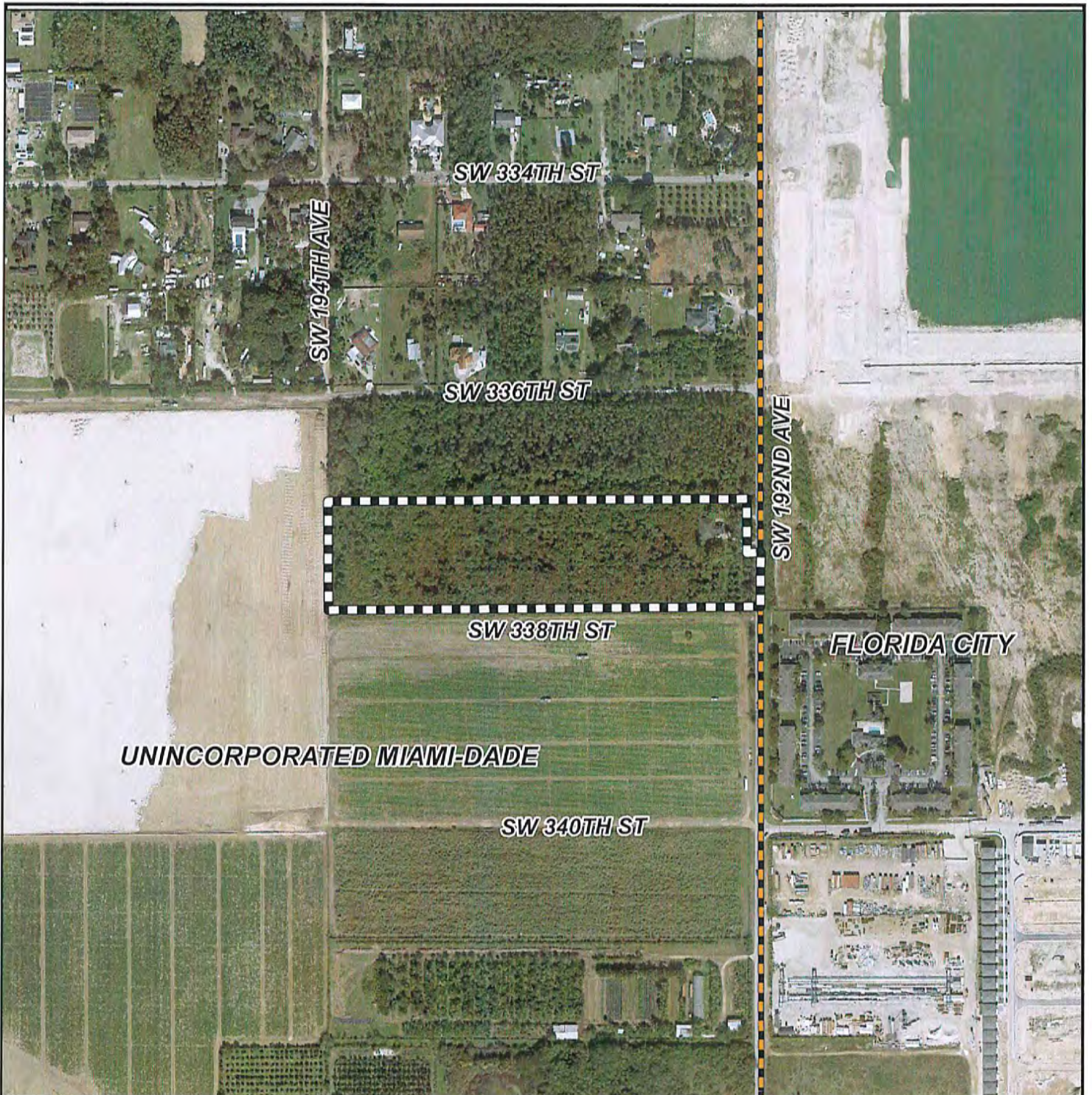
Legend

-  Subject Property Case
-  Zoning



SKETCH CREATED ON: Monday, June 30, 2025

REVISION	DATE	BY





MIAMI-DADE COUNTY

AERIAL YEAR 2024

Process Number

Z2025000149

Legend

-  Subject Property
-  Municipalities



Section: 23 Township: 57 Range: 38

Applicant: DRP SOLARIS FL 1 LLC

Zoning Board: C14

Commission District: 9

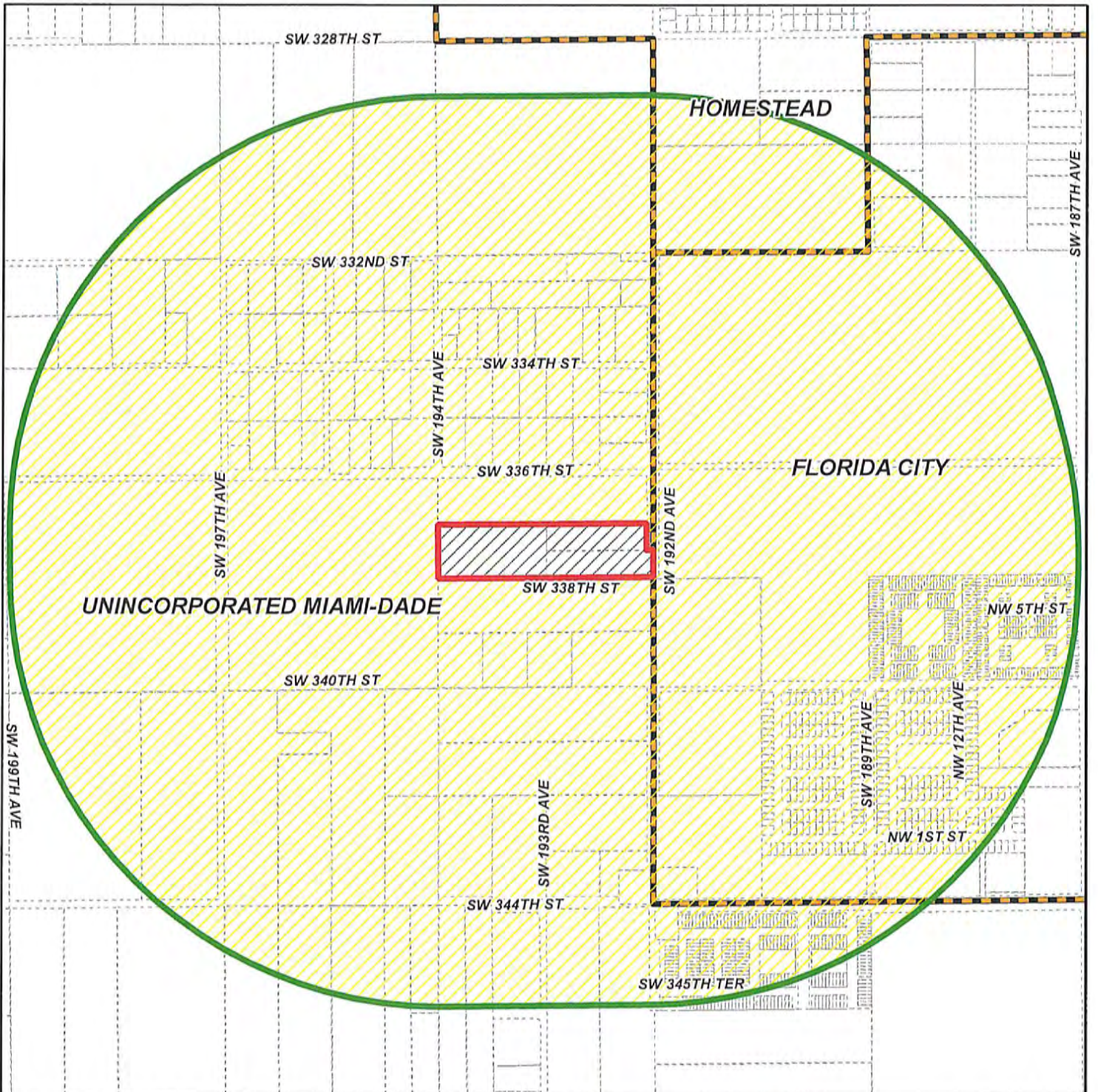
Drafter ID: EDUARDO CESPEDES

Scale: NTS



SKETCH CREATED ON: Monday, June 30, 2025

REVISION	DATE	BY






**MIAMI-DADE COUNTY
RADIUS MAP**

Section: 23 Township: 57 Range: 38
 Applicant: DRP SOLARIS FL 1 LLC
 Zoning Board: C14
 Commission District: 9
 Drafter ID: EDUARDO CESPEDES
 Scale: NTS

Process Number
Z2025000149
 RADIUS: 2640

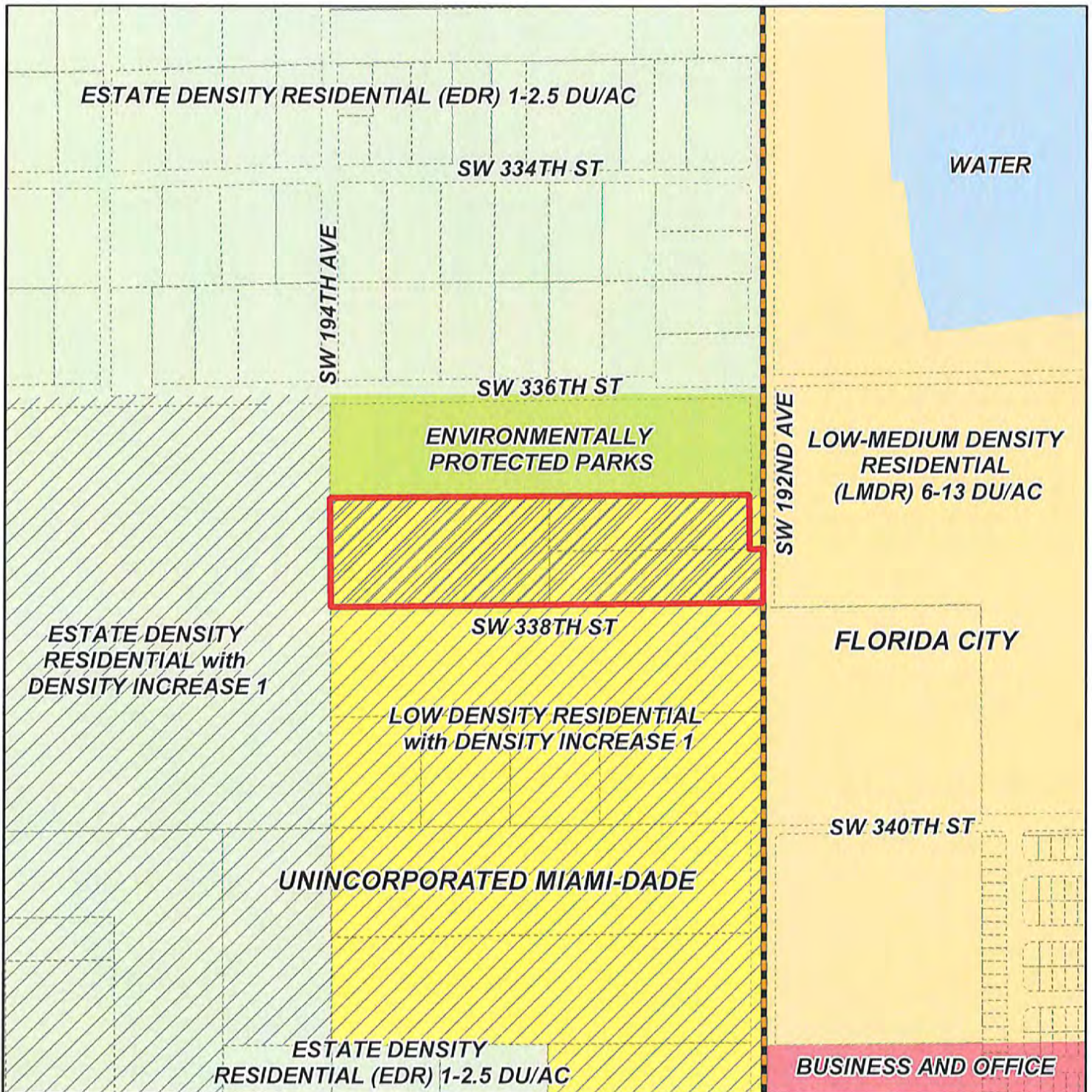
Legend

-  Subject Property
-  Buffer
-  Municipalities
-  Property Boundaries



SKETCH CREATED ON: Monday, June 30, 2025

REVISION	DATE	BY




MIAMI-DADE COUNTY
CDMP MAP

Process Number
Z2025000149

Section: 23 Township: 57 Range: 38
 Applicant: DRP SOLARIS FL 1 LLC
 Zoning Board: C14
 Commission District: 9
 Drafter ID: EDUARDO CESPEDES
 Scale: NTS

Legend

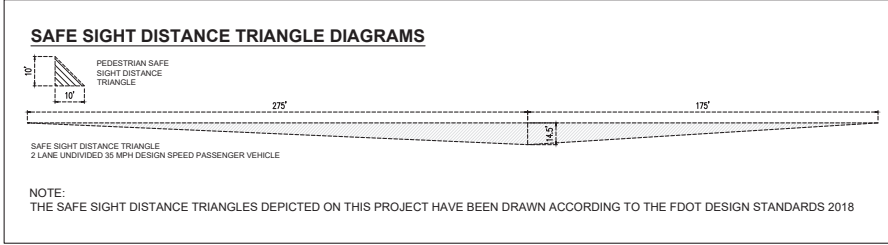
 Subject Property Case



SKETCH CREATED ON: Monday, June 30, 2025

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TOWNHOMES (RU-TH)		
	SF	ACRES
GROSS AREA SURVEY	444,764.00	10.21
ROW DEDICATIONS	14,391.00	0.33
NET AREA SURVEY	430,373.00	9.88
ADDITIONAL ROW DEDICATIONS	72,037.92	1.65
NET AREA	358,335.08	8.23
	UNITS	DUA
CDMP UNITS ALLOWED MAX 13 DUA GROSS	133	13
RU-3M UNITS ALLOWED MAX 12.9 DUA NET	106	12.90
VILLA LOTS PROVIDED	106	12.90
	UNITS	%
WHU UNITS	11	10%
MARKET RATE UNITS	95	90%

AREA CALCULATIONS		
	SF	%
LOTS AREA	199,875.00	55.78
PRIVATE STREETS & PAVED AREAS	56936.05	15.89
SIDEWALKS	28208.76	7.87
DUMPSTER	1,150.50	0.32
MAILBOXES	219.98	0.78
UNENCUMBERED COMMON GREEN AREA	72,164.77	20.14
TOTAL	358,335.08	100.00
OPEN SPACE BREAKDOWN		
	SF	%
SIDEWALKS	28,208.76	27.30% (7.87)
UNENCUMBERED COMMON GREEN AREA	72,164.77	72.70% (20.14)
TOTAL	100,373.53	100% (28.01)
ZONING DATA		
	PERMITTED/ALLOWED	PROVIDED
COMMON OPEN SPACE	20.00%	28.01%
GROUPING LENGTH	240'-0"	239'-0"
LOT AREA	1,250 SF	1,879 SF
AVERAGE LOT AREA	1,500	1,886 SF
FRONT YARD TO EDGE OF PAVEMENT	15'-0"	24'-0"
INTERIOR SIDE VILLA	0'-0"	0'-0"
SIDE YARD VILLA *	15'-0"	7'-6"
BETWEEN BUILDINGS VILLA	20'-0"	N/A
REAR YARD VILLA	10'-0"	48'-2"
PRIVATE PATIO AREA VILLA	400 SF	415 SF
PARKING		
	REQUIRED	PROVIDED
VILLAS 2 PER UNIT	212	212
VISITOR'S 0.25 PER UNIT	27	32
TOTAL	239	244

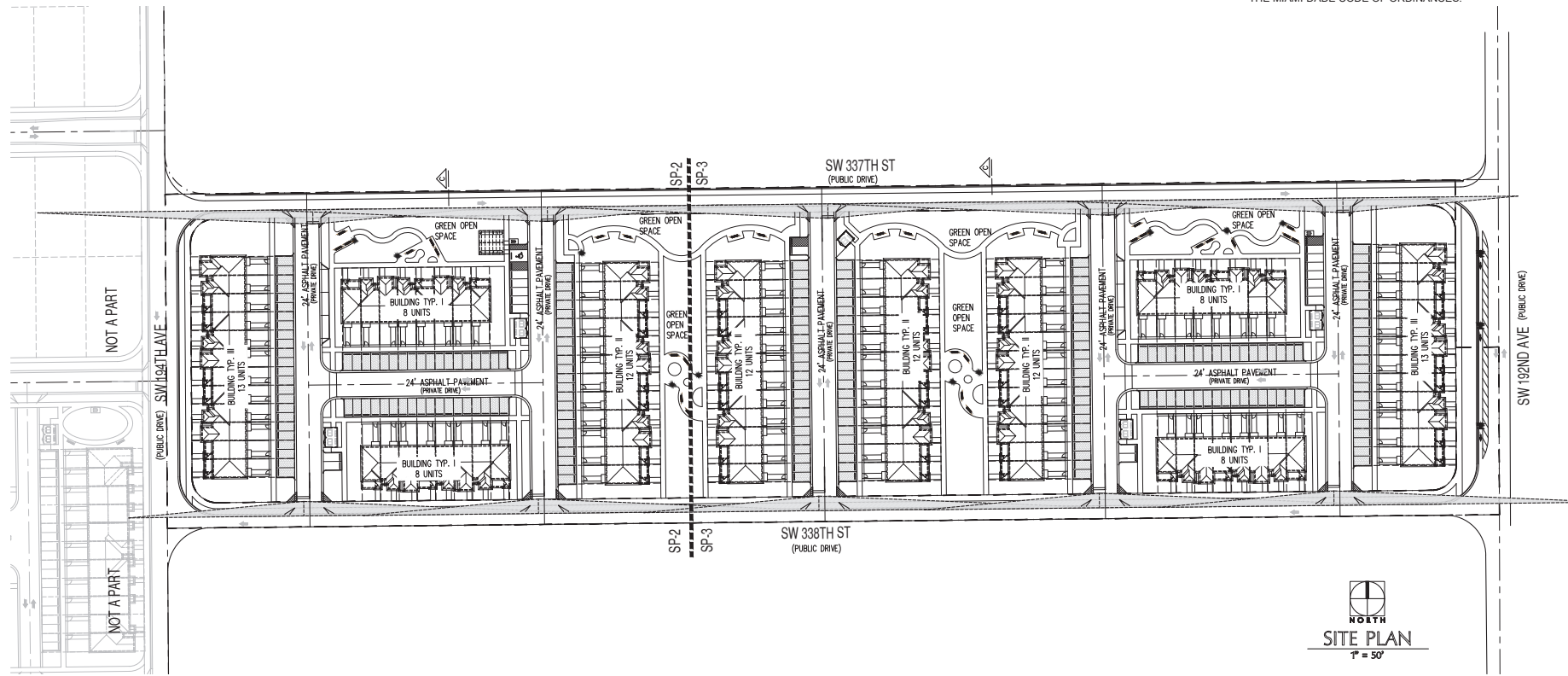
* PER ADMINISTRATIVE ADJUSTMENT SEC.33-193.11 (D) OF THE MIAMI-DADE CODE OF ORDINANCES.

PASCUAL PEREZ KILIDDJIAN STARR
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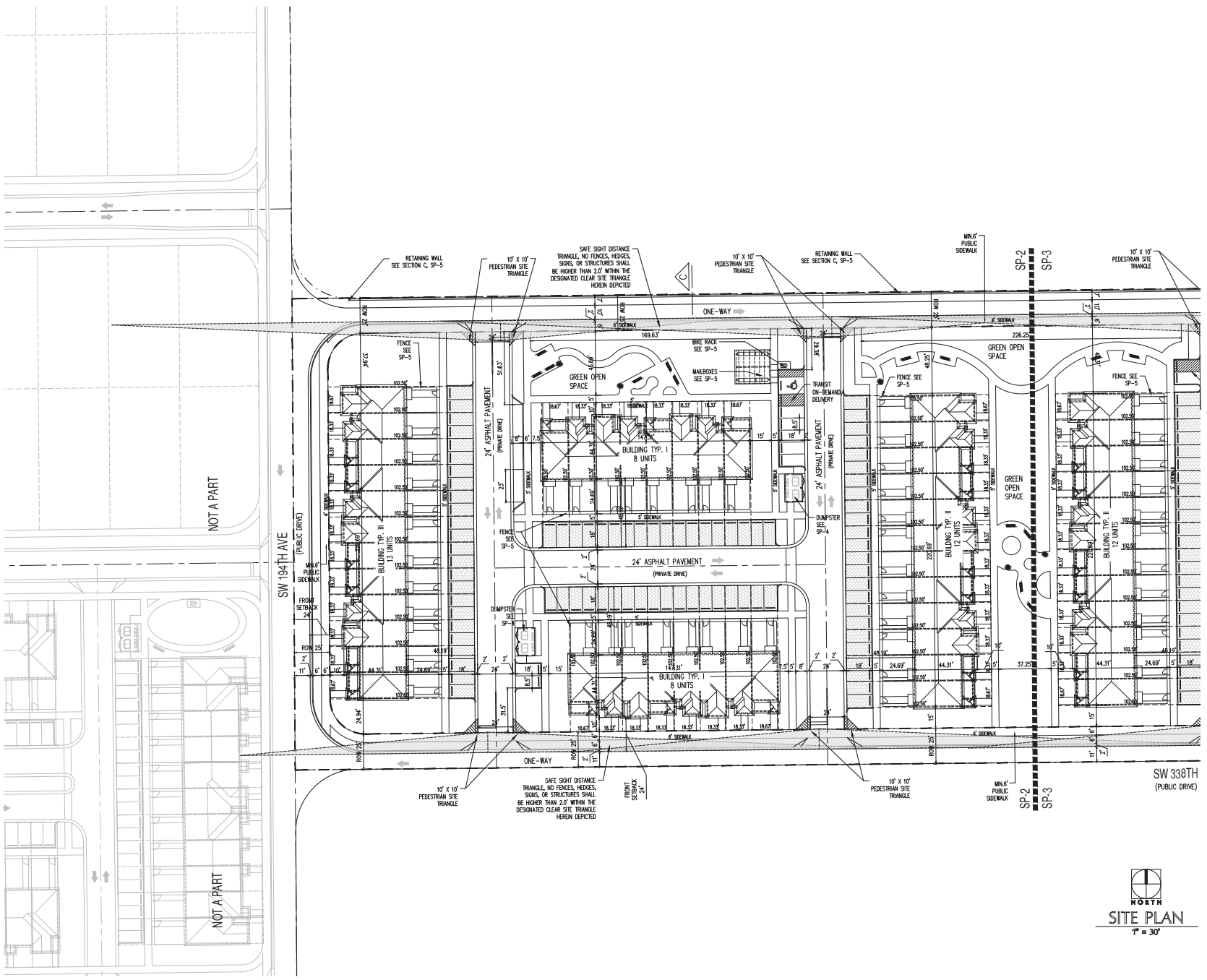
RETO WEST BY LENNAR HOMES MIAMI-DADE COUNTY, FLORIDA

DATE: 2025-09-04
SCALE: AS SHOWN
DRAWN: CCS
CHECK BY: PMS
JOB NO.:



SHEET NO.:

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SITE PLAN
 1" = 30'

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 BRANDY P. PASCUAL, AIA
 LICENSE NO.: AA 0006254
 PETER KILIDDJIAN, AIA
 LICENSE NO.: AA 0209067
 ANDREW STARR, AIA
 LICENSE NO.: AA 0209130

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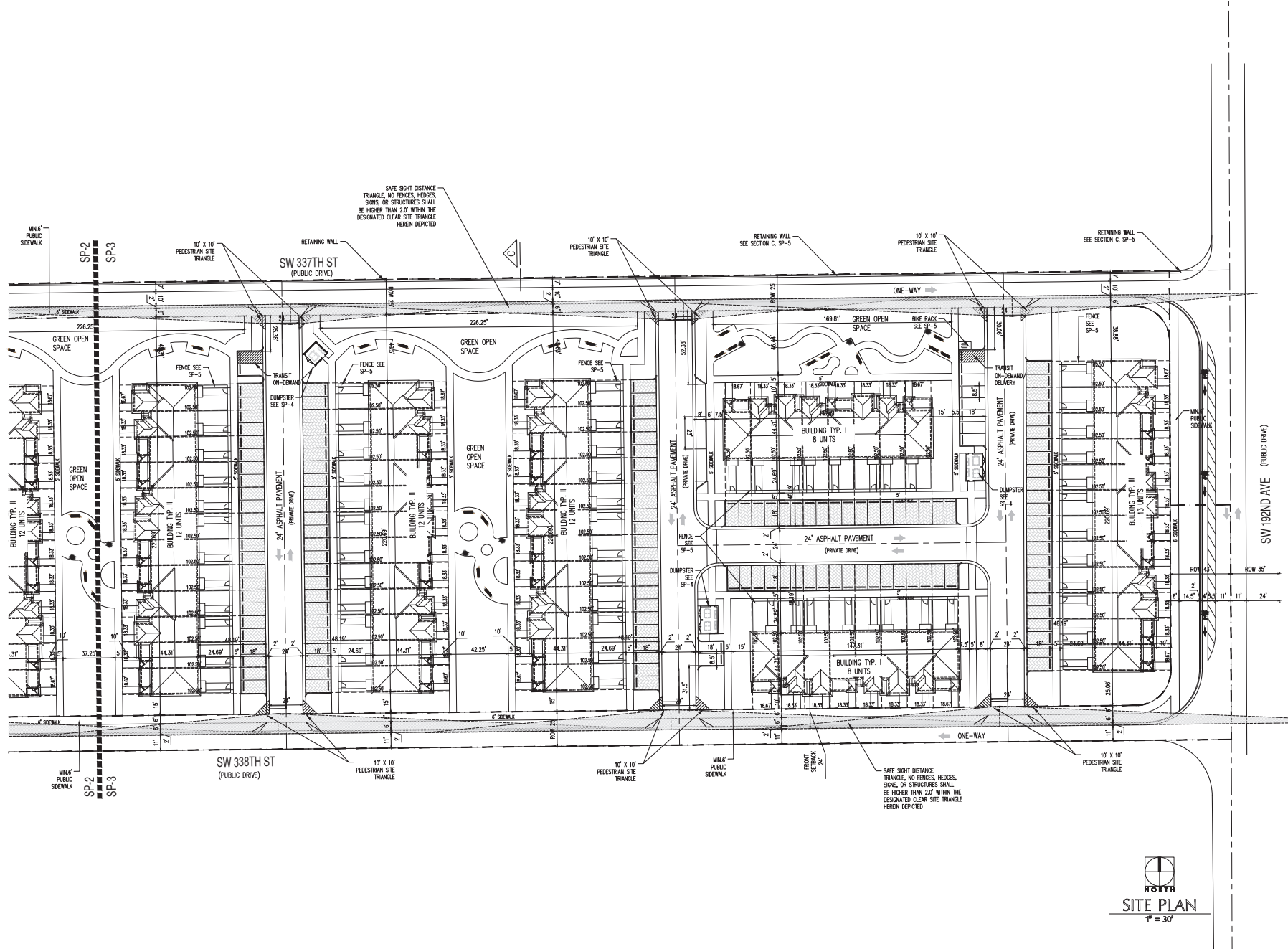


SITE PLAN

SITE PLAN
 DATE: 2025-09-04
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 DRAWN: CCS
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 NORTH
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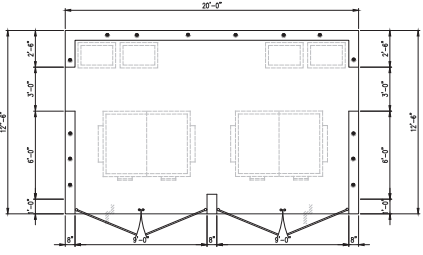
RETO WEST
 BY
LENINAR HOMES
 MIAMI-DADE COUNTY, FLORIDA



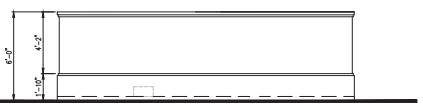
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 CHECK BY: PPS
 JOB NO.:

SP-3
 SHEET NO.:

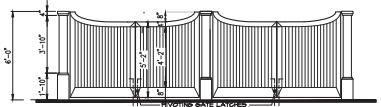
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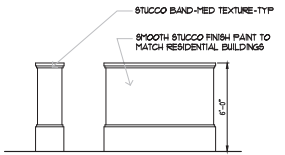
DOUBLE DUMPSTER PLAN
SCALE 1/4" = 1'-0"



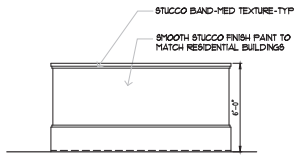
DOUBLE DUMPSTER REAR ELEVATION
SCALE 1/4" = 1'-0"



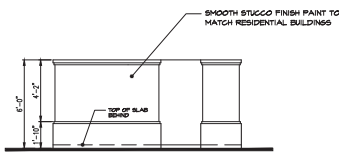
DOUBLE DUMPSTER FRONT ELEVATION
SCALE 1/4" = 1'-0"



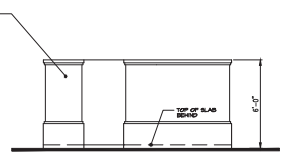
DUMPSTER LEFT SIDE ELEVATION
SCALE 1/4" = 1'-0"



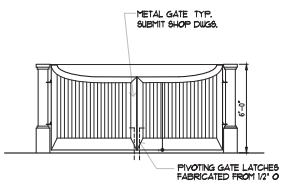
DUMPSTER RIGHT SIDE ELEVATION
SCALE 1/4" = 1'-0"



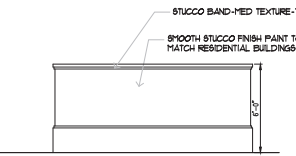
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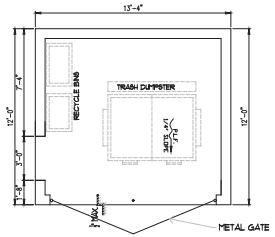
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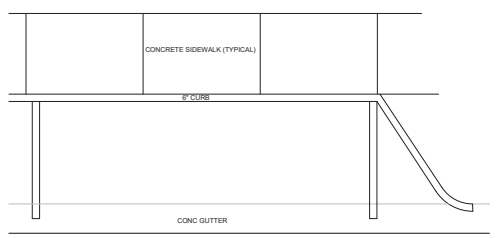
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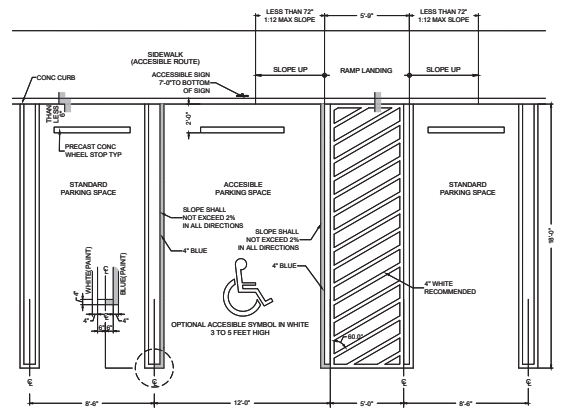
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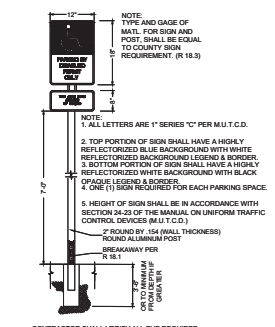
DUMPSTER PLAN
SCALE 1/4" = 1'-0"



PARALLEL PARKING DETAIL
SCALE 1/4" = 1'-0"



PARKING DETAILS
SCALE 1/4" = 1'-0"



NOTE: CONTRACTOR SHALL VERIFY ALL THE REQUIRED INFORMATION NECESSARY AT EACH SIGN WITH LOCAL AUTHORITIES PRIOR TO PURCHASING.

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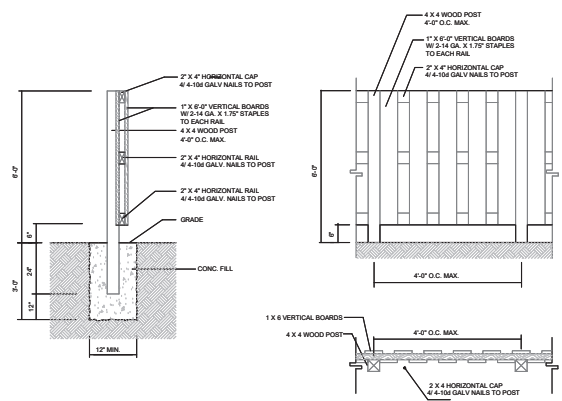


SITE PLAN

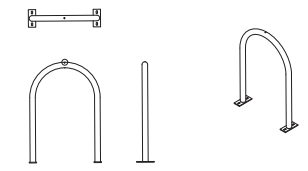
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SHEET NO.:

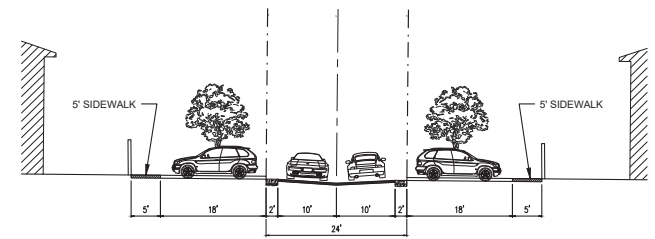
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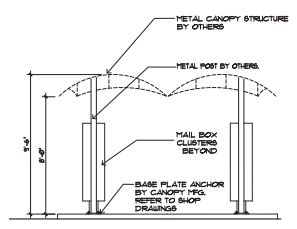
REAR YARD ENCLOSURE FENCE
SCALE 1/4" = 1'-0"



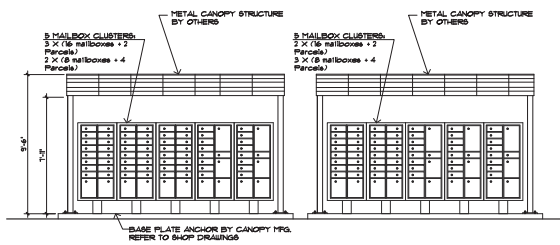
BICYCLE RACK DETAIL
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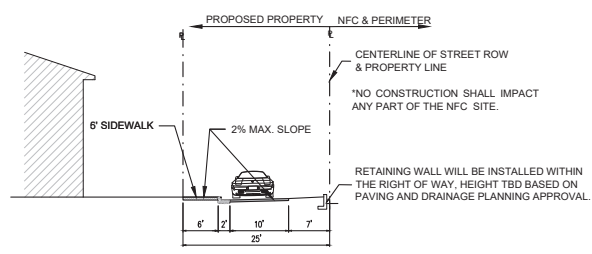
TYP. PRIVATE DRIVE SECTION
SCALE 1" = 10'-0"



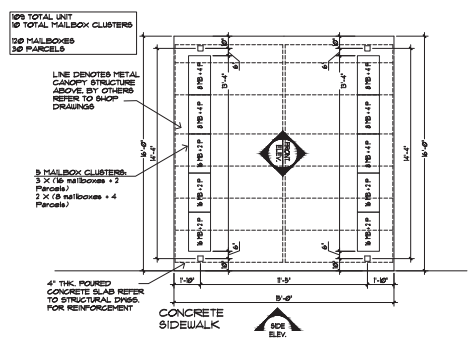
MAIL KIOSK SIDE ELEVATION
SCALE 3/8" = 1'-0"



MAIL KIOSK FRONT ELEVATION
SCALE 3/8" = 1'-0"



SECTION C AT NFC
SCALE 1" = 10'-0"



MAIL KIOSK PLAN
SCALE 3/8" = 1'-0"

MAILBOX KIOSK DETAILS
SCALE 1/4" = 1'-0"

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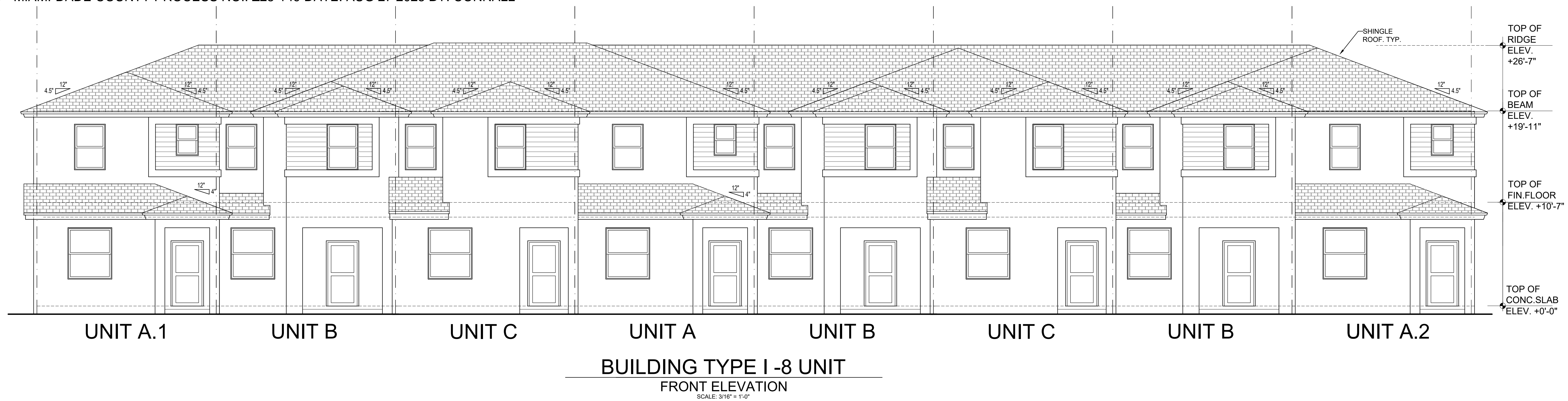


SITE PLAN

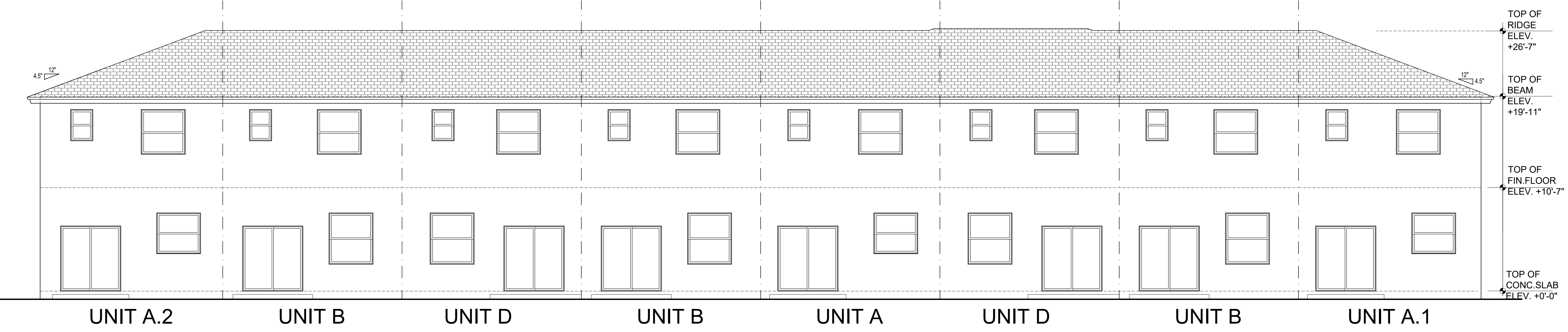
SITE PLAN
DATE: 2025-09-04
SCALE: AS SHOWN
DRAWN: CC
CHECK BY: PPS
JOB NO.:

SP-5
SHEET NO.:

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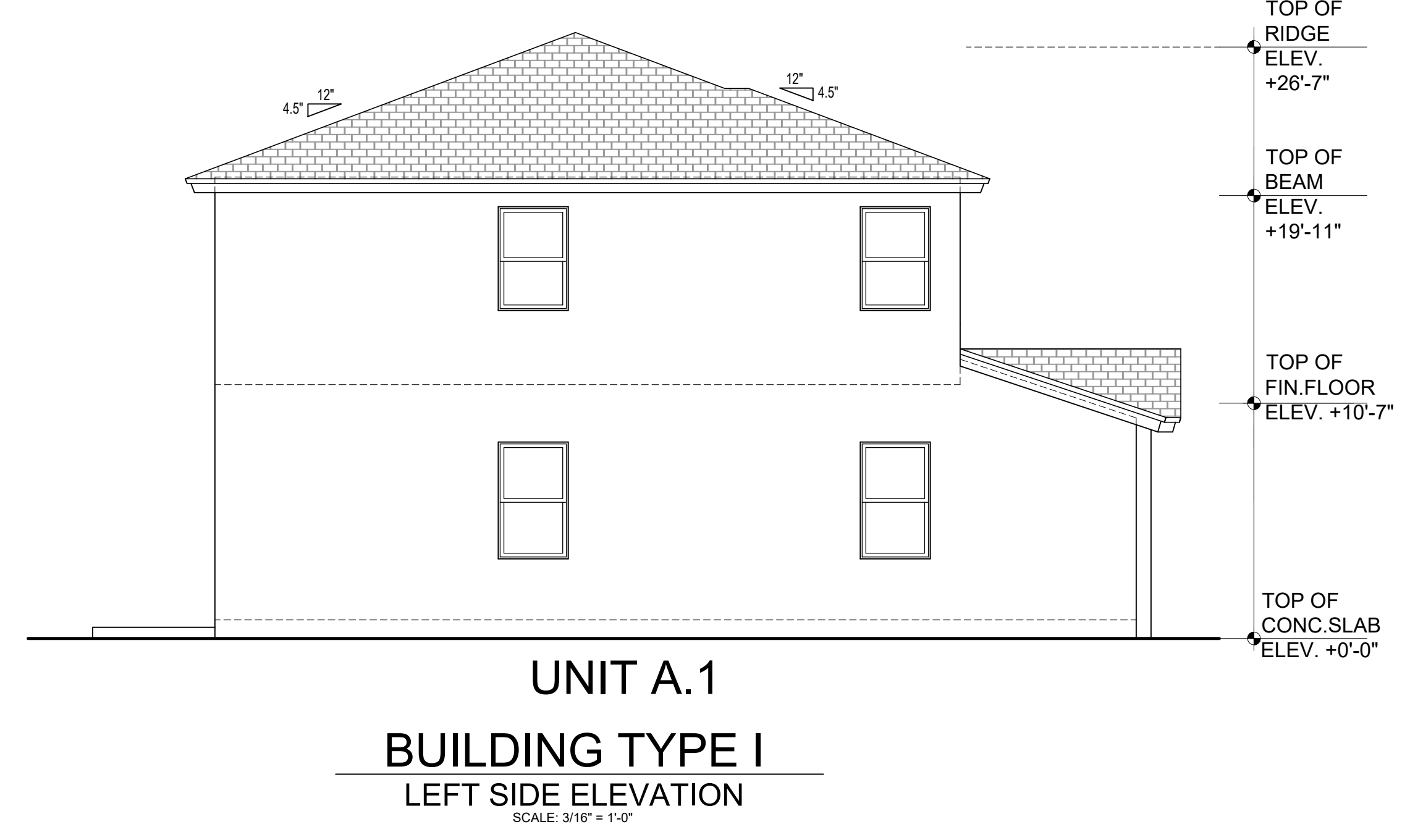


BUILDING TYPE I - 8 UNIT
FRONT ELEVATION
SCALE: 3/16" = 1'-0"

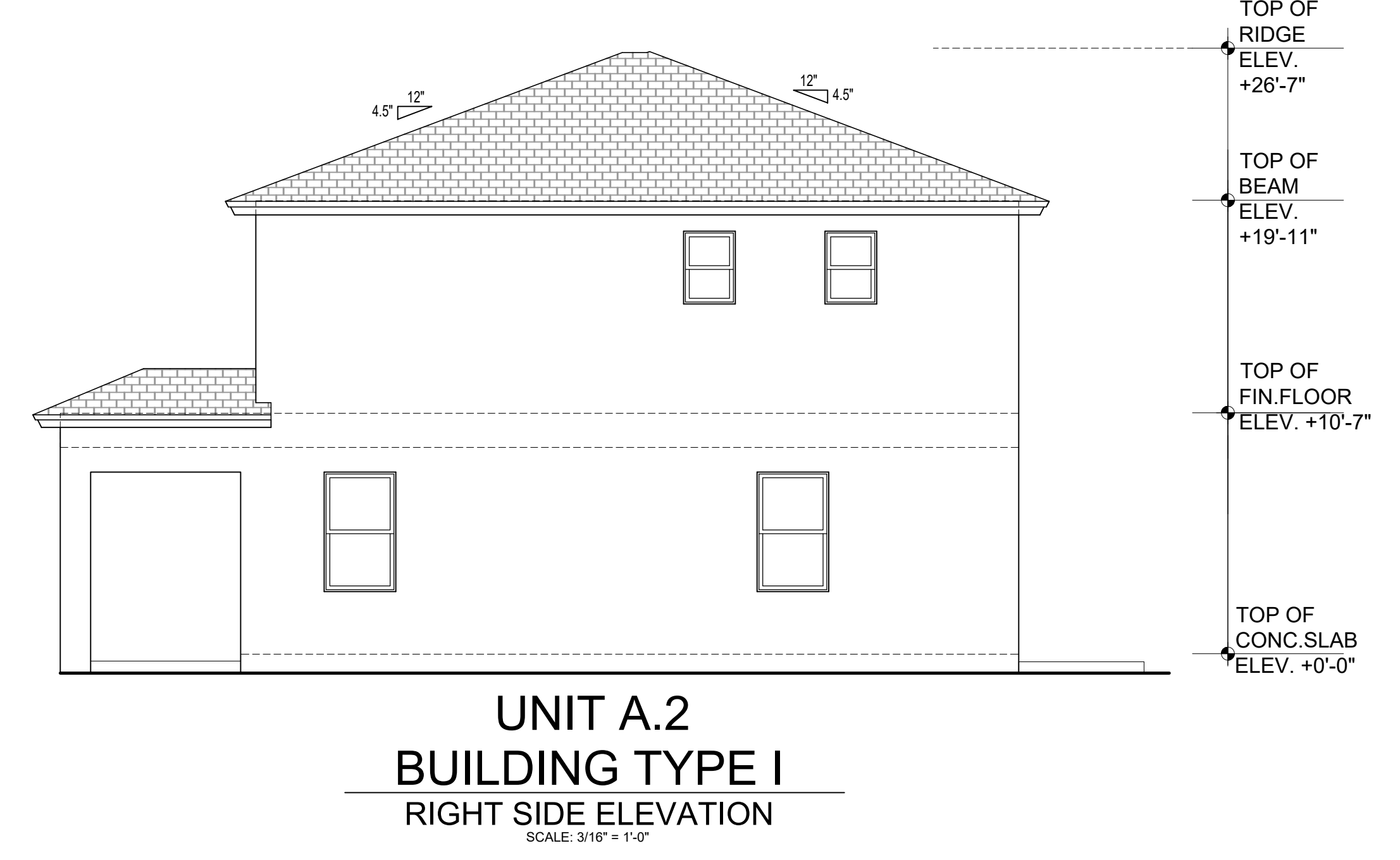


BUILDING TYPE I - 8 UNIT
REAR ELEVATION
SCALE: 3/16" = 1'-0"

NOTE:
ANY COMBINATION OF BUILDING AND UNIT TYPES DEPICTED ON THESE PLANS MAY BE SUBSTITUTED WITH ANY OTHER COMBINATION OF BUILDING AND UNIT TYPES APPROVED. ADDITIONALLY, ANY TYPICAL BUILDING ELEVATION DEPICTED ON THESE PLANS MAY BE SUBSTITUTED WITH ANY OTHER BUILDING ELEVATION PROVIDED ANY NEW ELEVATION MAINTAINS ELEMENTS OF THE ARCHITECTURAL EXPRESSIONS APPROVED."



UNIT A.1
BUILDING TYPE I
LEFT SIDE ELEVATION
SCALE: 3/16" = 1'-0"



UNIT A.2
BUILDING TYPE I
RIGHT SIDE ELEVATION
SCALE: 3/16" = 1'-0"

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MARIO P. PASCUAL, AIA
LICENSE No.: AR 0008254
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LICENSE No.: AR 093067
ANDREW STARR, AIA
LICENSE No.: AR 0095130

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REVISIONS:

OWNER:
LENNAR HOMES

RETRO WEST
 BY: **LENNAR HOMES**
 VILLAS
 MIAMI-DADE COUNTY, FLORIDA

SEAL:

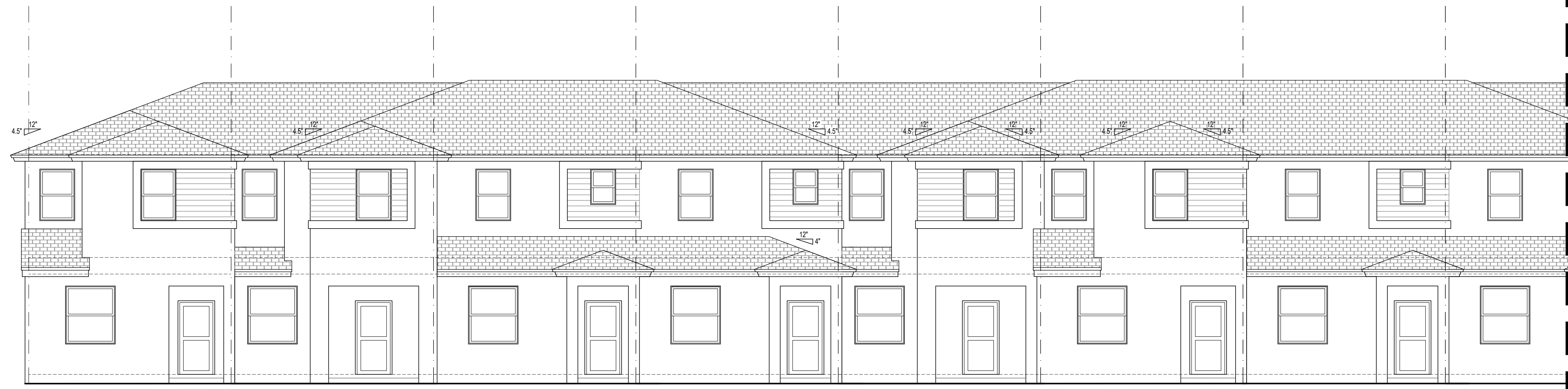
BUILDING 8 UNIT

ELEVATIONS
DATE: 2025-08-14
SCALE: AS SHOWN
DRAWN BY: CC
CHECK BY: PPKS
JOB NO.: 25-08

A-11

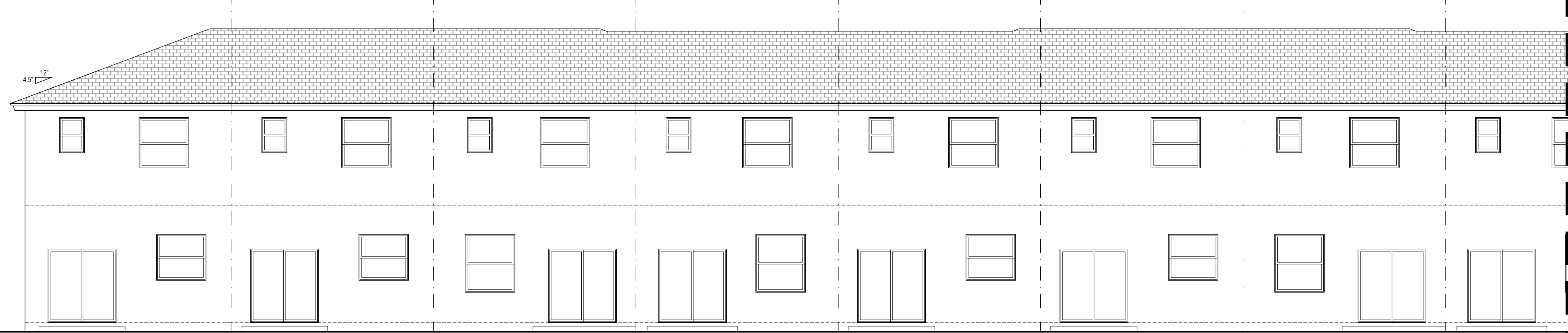
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UNIT C.2 UNIT B UNIT A UNIT A UNIT B UNIT C UNIT A UNIT

BUILDING TYPE II - 12 UNIT
 FRONT ELEVATION
 SCALE: 3/16" = 1'-0"



UNIT A.2 UNIT A UNIT D UNIT B UNIT A UNIT A UNIT D UNIT

BUILDING TYPE II - 12 UNIT
 REAR ELEVATION
 SCALE: 3/16" = 1'-0"

NOTE:
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 LENNAR HOMES

RETRO WEST
 BY: LENNAR HOMES
 VILLAS
 MIAMI-DADE COUNTY, FLORIDA

SEAL:

BUILDING 12 UNIT

ELEVATIONS
 DATE: 2025-08-14
 SCALE: AS SHOWN
 DRAWN: CG
 CHECK BY: PPKS
 JOB NO.: 25-08

A-16

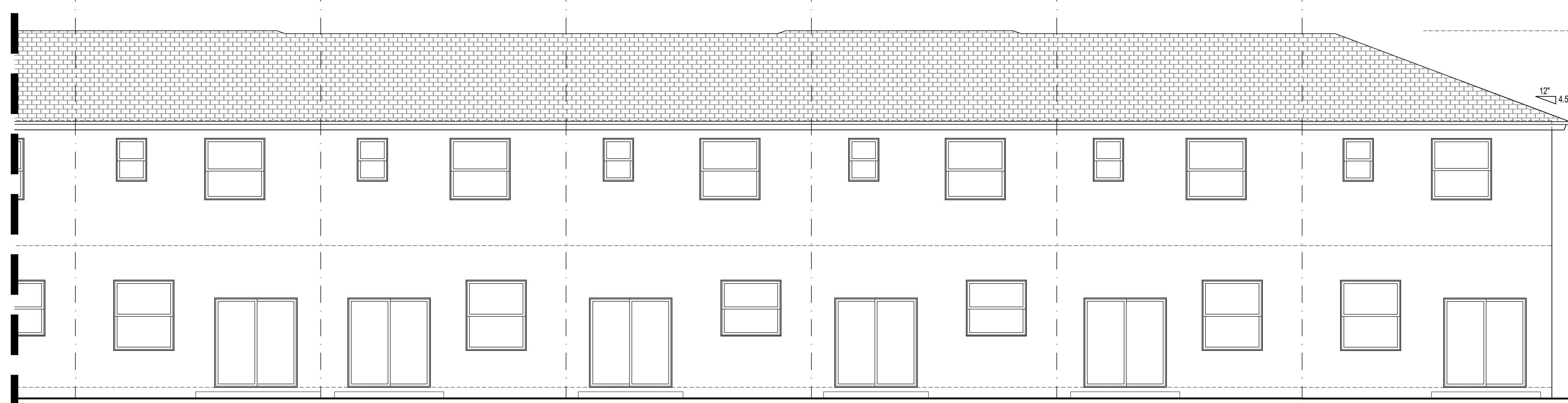
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UNIT A UNIT A UNIT B UNIT C UNIT A UNIT A.2

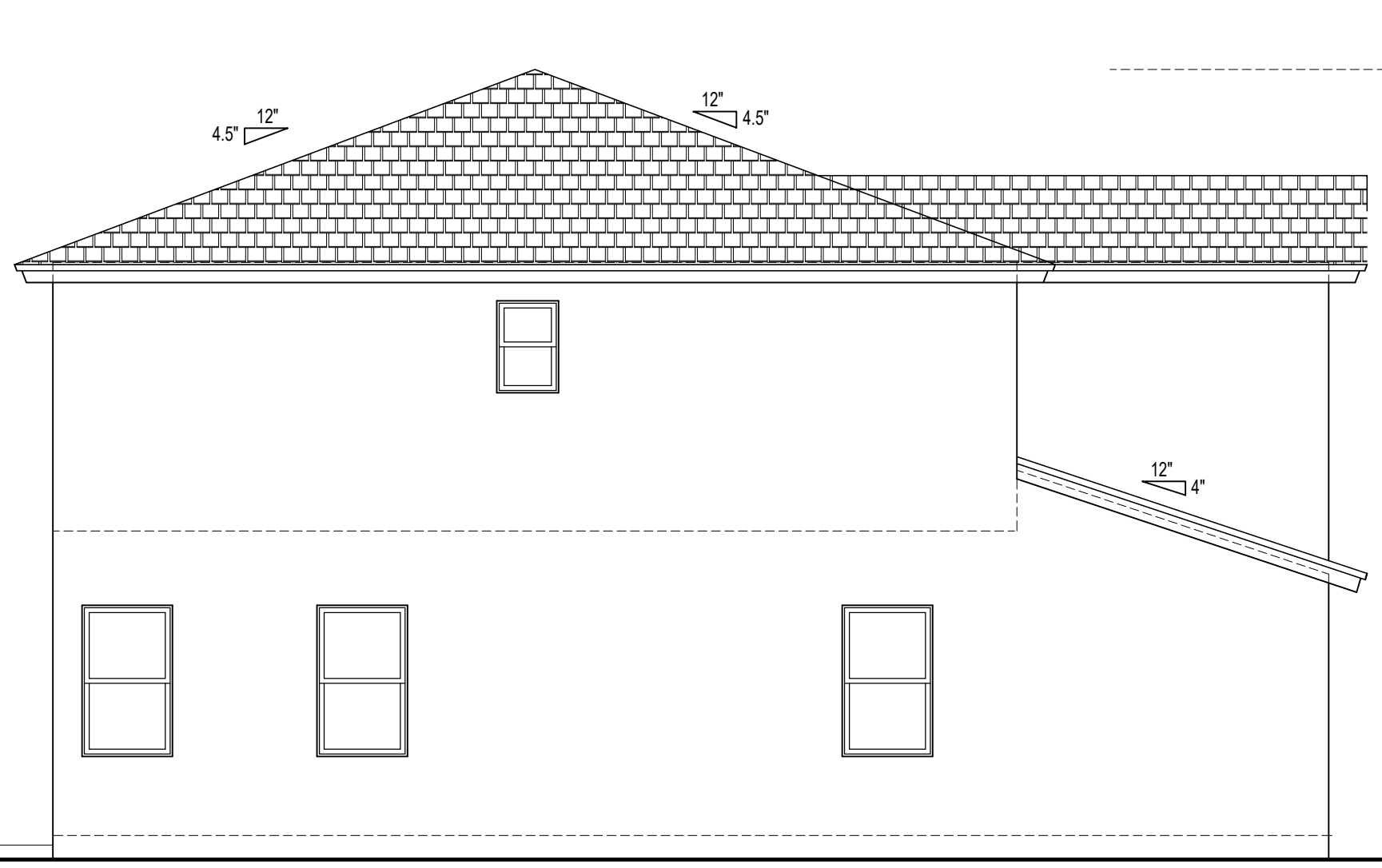
BUILDING TYPE II - 12 UNIT
FRONT ELEVATION
SCALE: 3/16" = 1'-0"



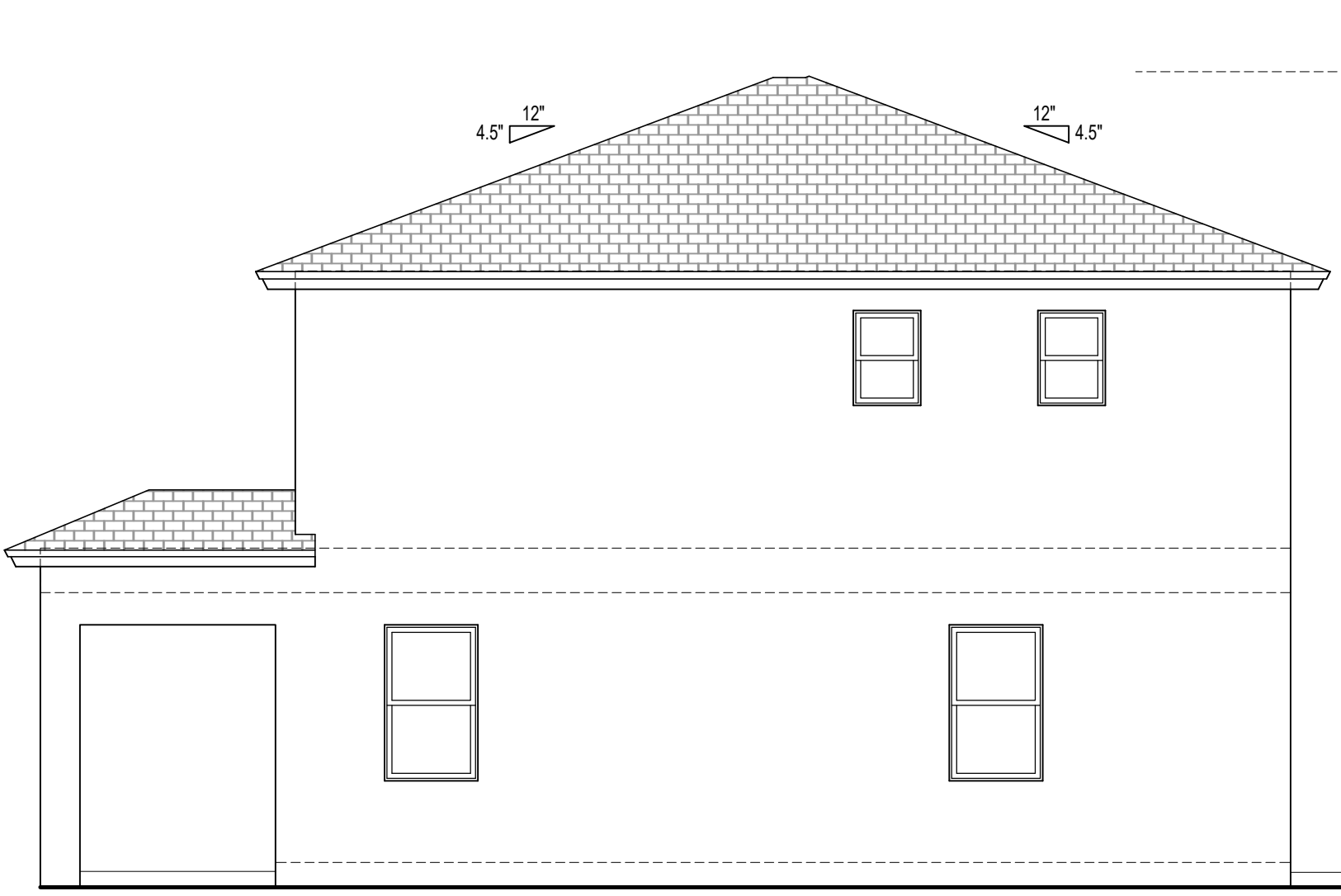
UNIT D UNIT B UNIT A UNIT A UNIT B UNIT D.2

BUILDING TYPE VIII - 12 UNIT
REAR ELEVATION
SCALE: 3/16" = 1'-0"

MATCH SHEET A-16



UNIT D.2
BUILDING TYPE II - 12 UNIT
LEFT SIDE ELEVATION
SCALE: 3/16" = 1'-0"



UNIT A.2
BUILDING TYPE II - 12 UNIT
RIGHT SIDE ELEVATION
SCALE: 3/16" = 1'-0"

NOTE:
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RETRO WEST
BY: LENNAR HOMES
VILLAS
MIAMI-DADE COUNTY, FLORIDA

SEAL:

BUILDING 12 UNIT

ELEVATIONS
DATE: 2025-08-14
SCALE: AS SHOWN
DRAWN: CG
CHECK BY: PPKS
JOB NO.: 25-08

A-17

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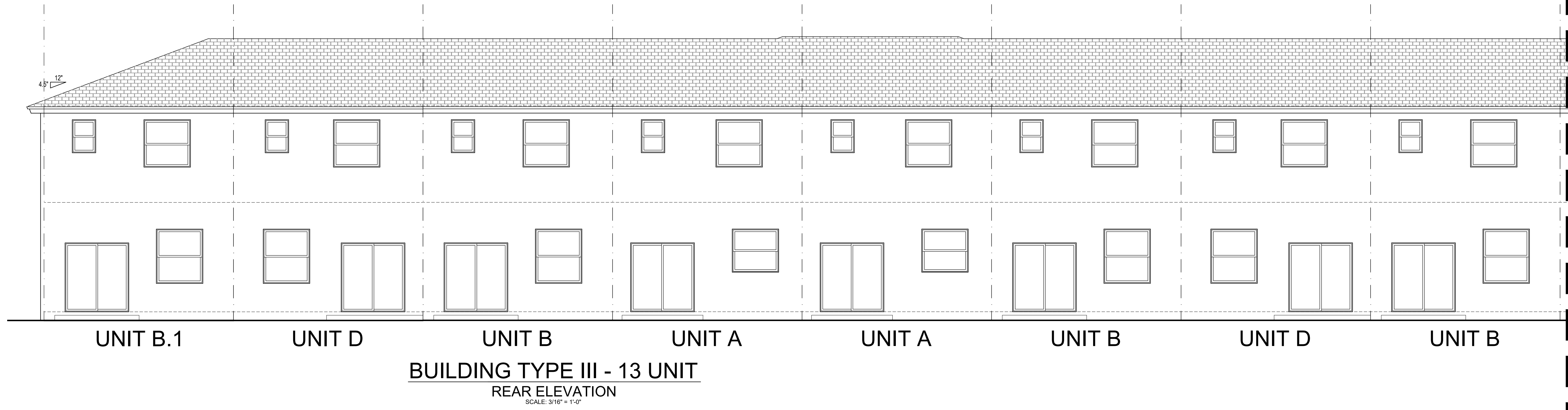
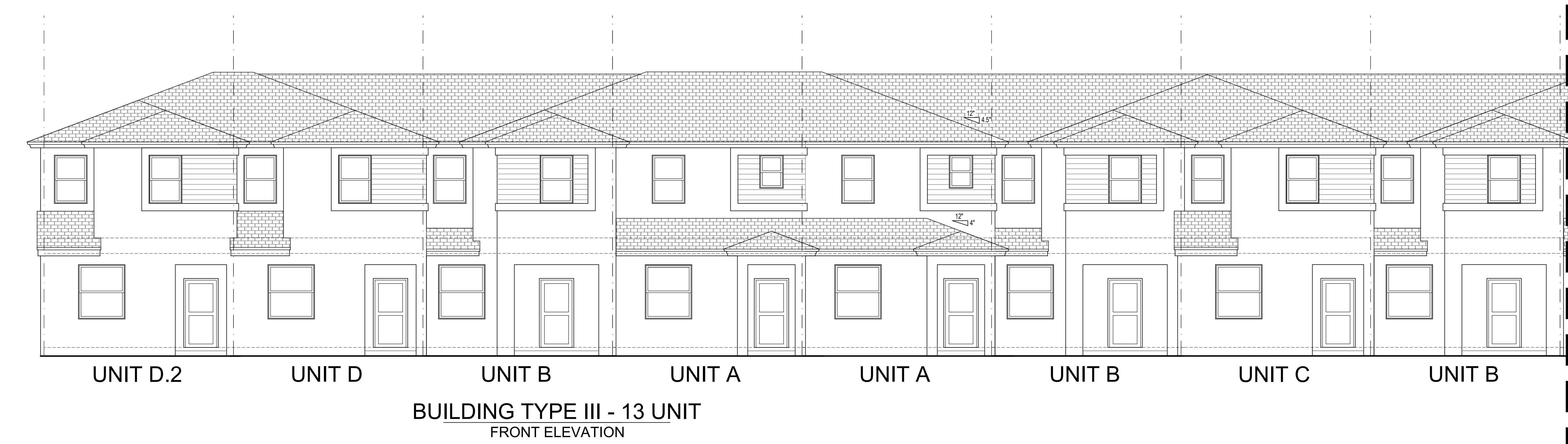
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MATCH SHEET A-23

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SEAL:

BUILDING 13 UNIT

ELEVATIONS
 DATE: 2025-08-14
 SCALE: AS SHOWN
 DRAWN: CG
 CHECK BY: PPKS
 JOB NO.: 25-08

A-22

SHEET NO.:

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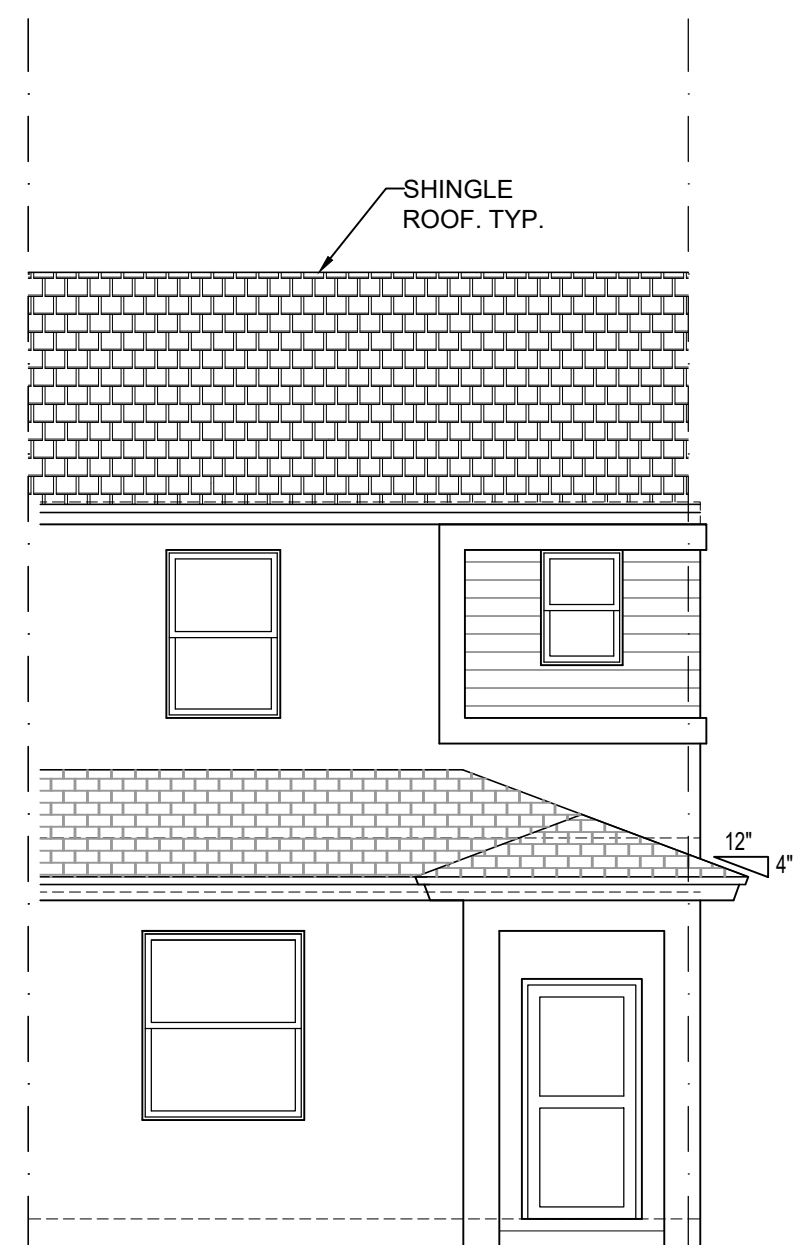
BUILDING 13 UNIT

ELEVATIONS
DATE: 2025-08-14
SCALE: AS SHOWN
DRAWN: CG
CHECK BY: PPKS
JOB NO.: 25-08

NOTE:
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A-23
SHEET NO.:

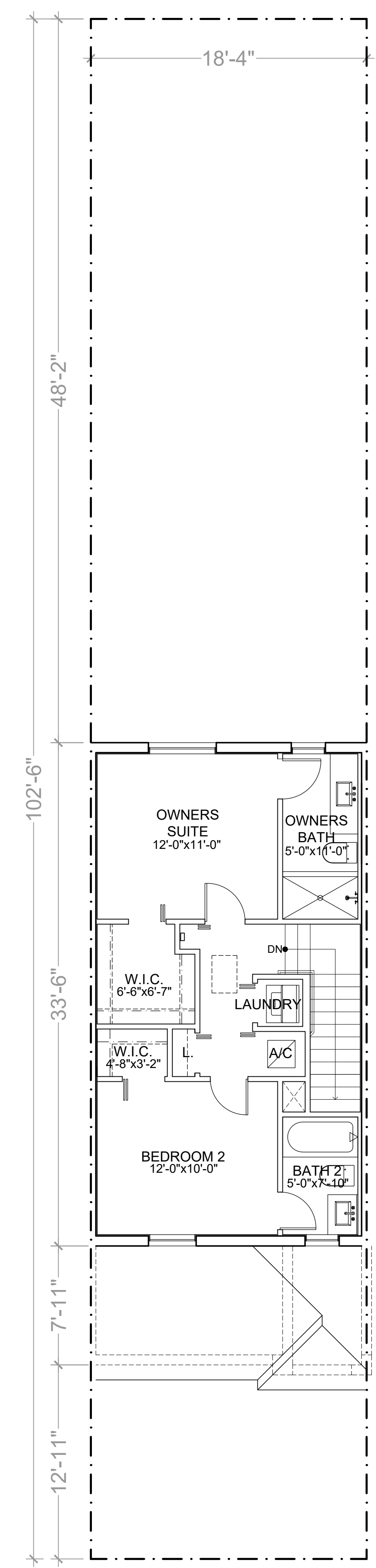
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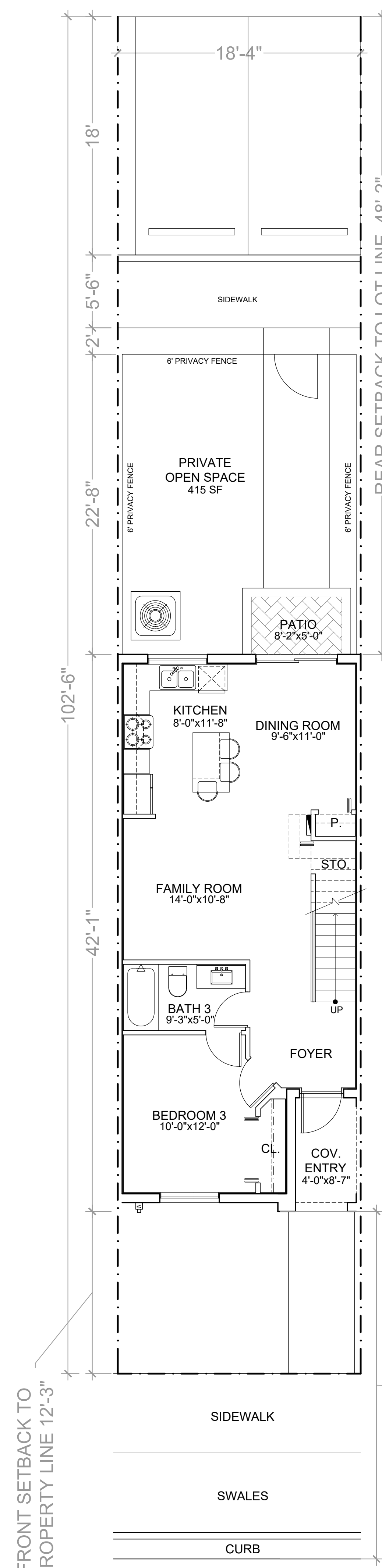
UNIT A
FRONT ELEVATION
SCALE: 3/16" = 1'-0"

AREA CALCULATIONS:	
A/C 1st FLOOR	720 SQUARE FEET
A/C 2nd. FLOOR	614 SQUARE FEET
TOTAL A/C	1,334 SQUARE FEET
COVERED ENTRY	43 SQUARE FEET
TOTAL	1,377 SQUARE FEET

NOTE:
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UNIT A
SECOND FLOOR
SCALE: 3/16" = 1'-0"



UNIT A
FIRST FLOOR
SCALE: 3/16" = 1'-0"

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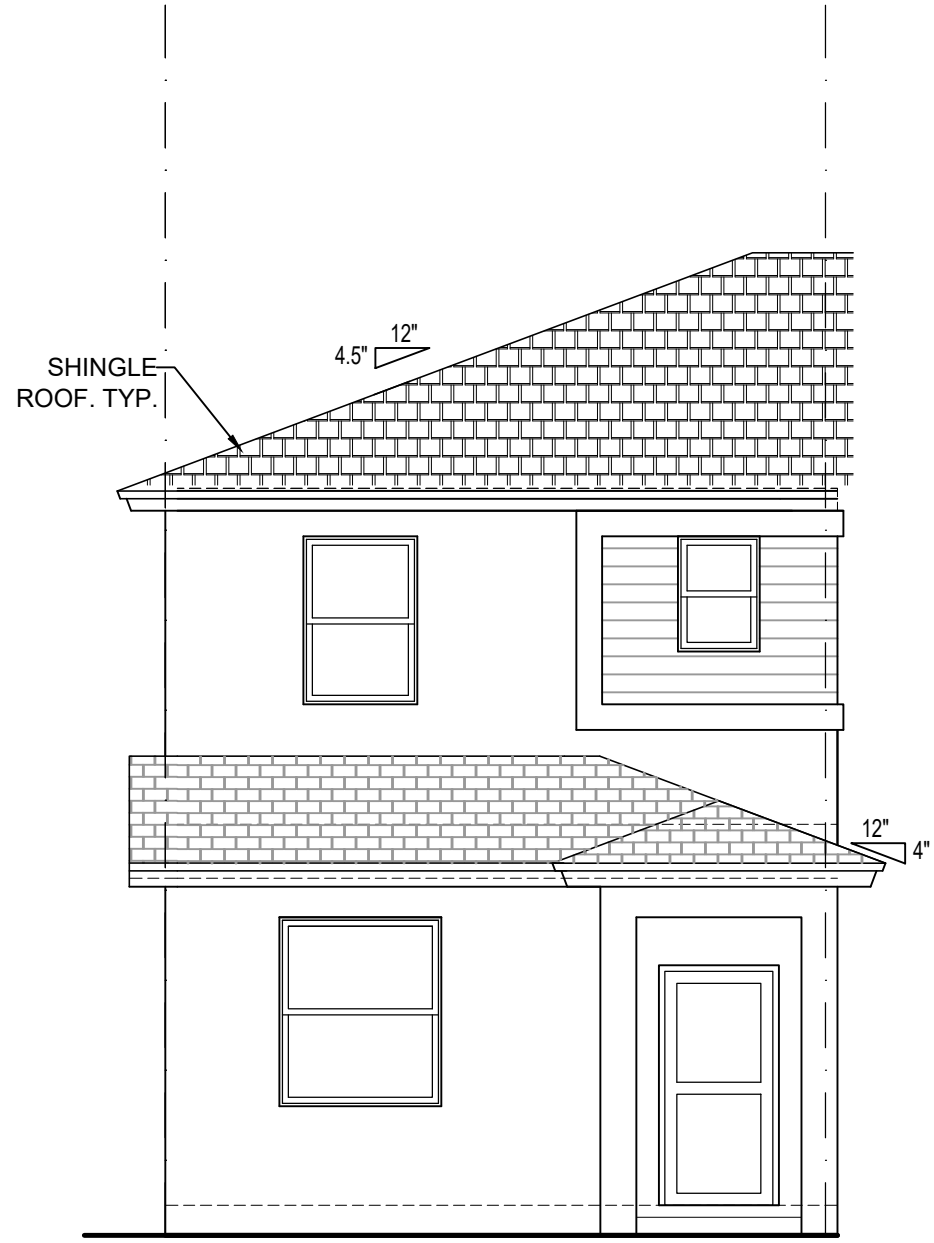
UNIT A

FLOOR PLANS
 DATE: 2025-08-14
 SCALE: AS SHOWN
 DRAWN BY: CG
 CHECK BY: PPKS
 JOB NO.: 25-08

A-1

SHEET NO.:

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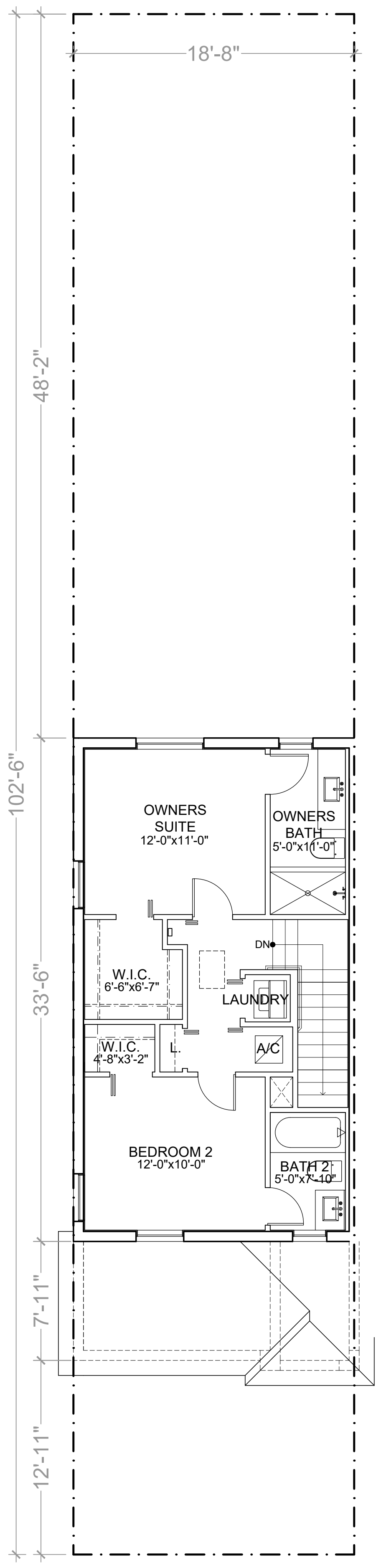


UNIT A.1
FRONT ELEVATION
SCALE: 3/16" = 1'-0"

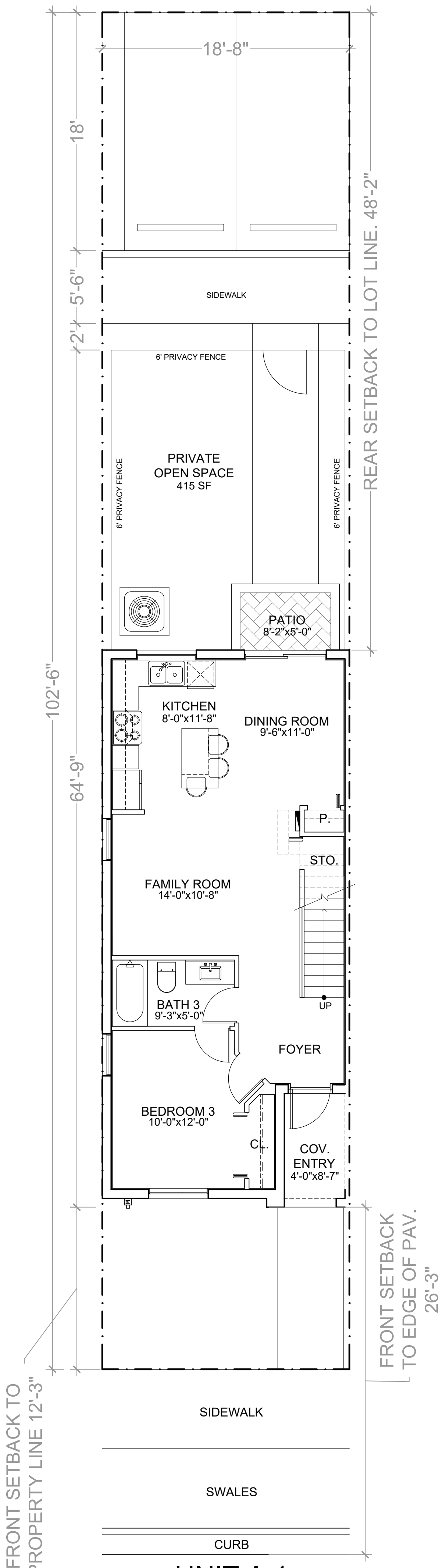
AREA CALCULATIONS:

A/C 1st FLOOR	720 SQUARE FEET
A/C 2nd. FLOOR	614 SQUARE FEET
TOTAL A/C	1,334 SQUARE FEET
COVERED ENTRY	43 SQUARE FEET
TOTAL	1,377 SQUARE FEET

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UNIT A.1
SECOND FLOOR
SCALE: 3/16" = 1'-0"



UNIT A.1
FIRST FLOOR
SCALE: 3/16" = 1'-0"

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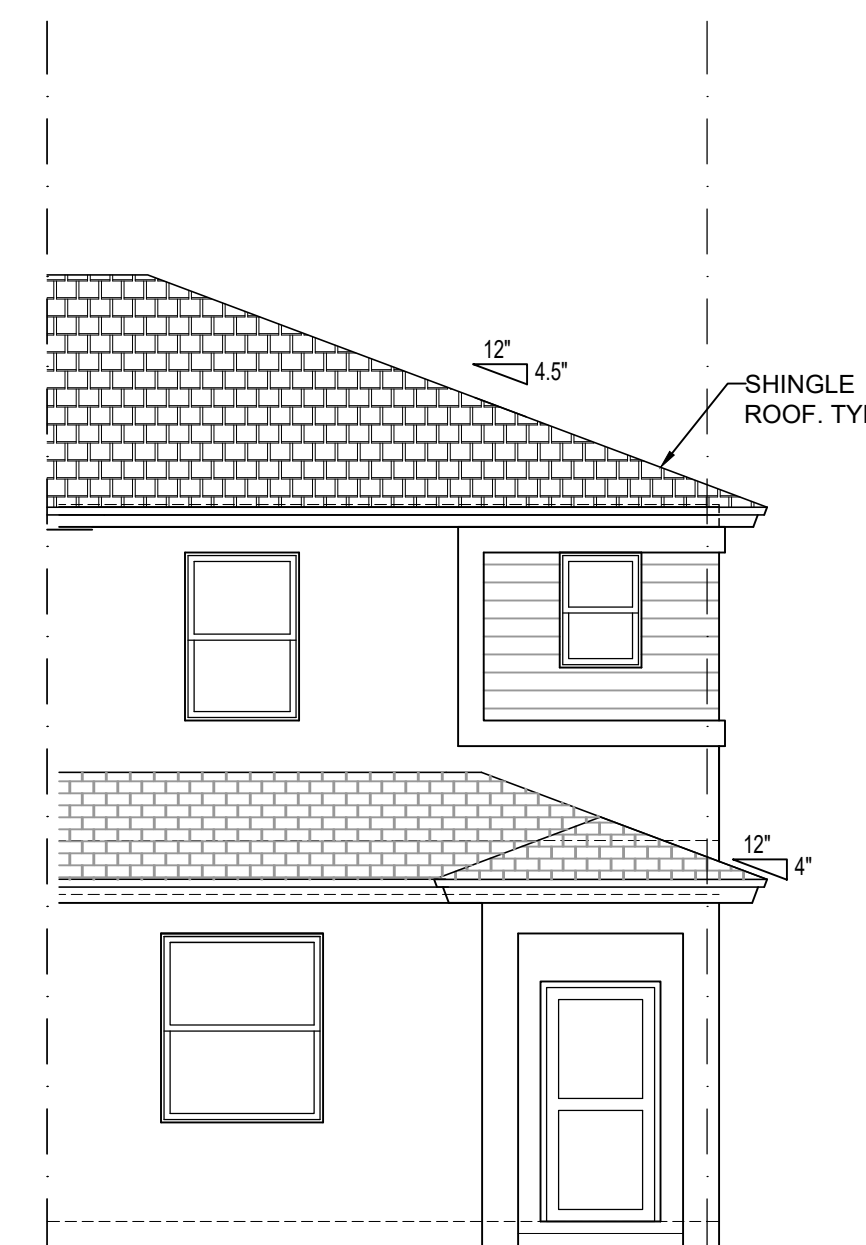
UNIT A1

FLOOR PLANS
 DATE: 2025-08-14
 SCALE: AS SHOWN
 DRAWN: CG
 CHECK BY: PPKS
 JOB NO.: 25-08

A-2

SHEET NO.:

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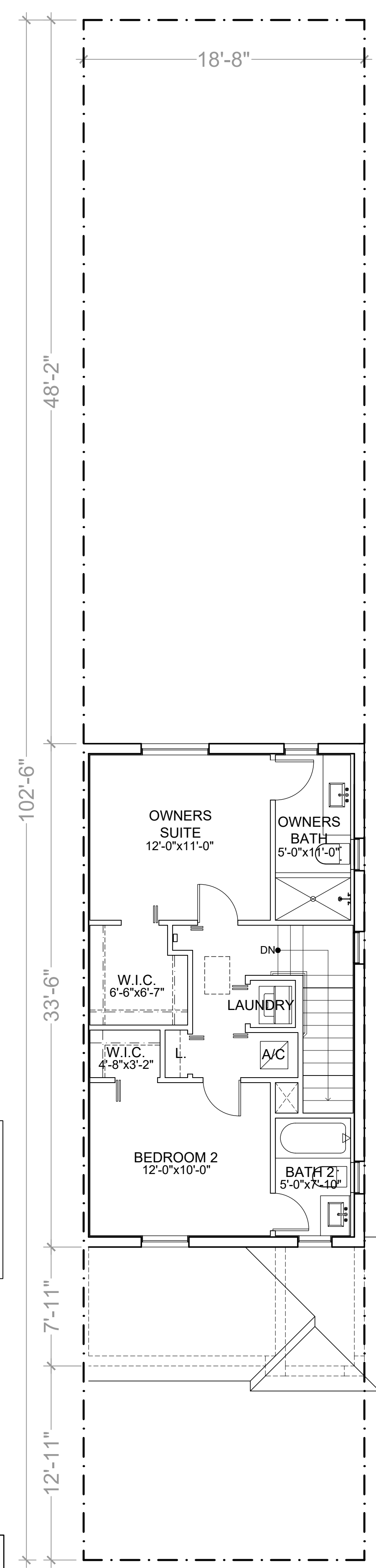


UNIT A.2
FRONT ELEVATION
SCALE: 3/16" = 1'-0"

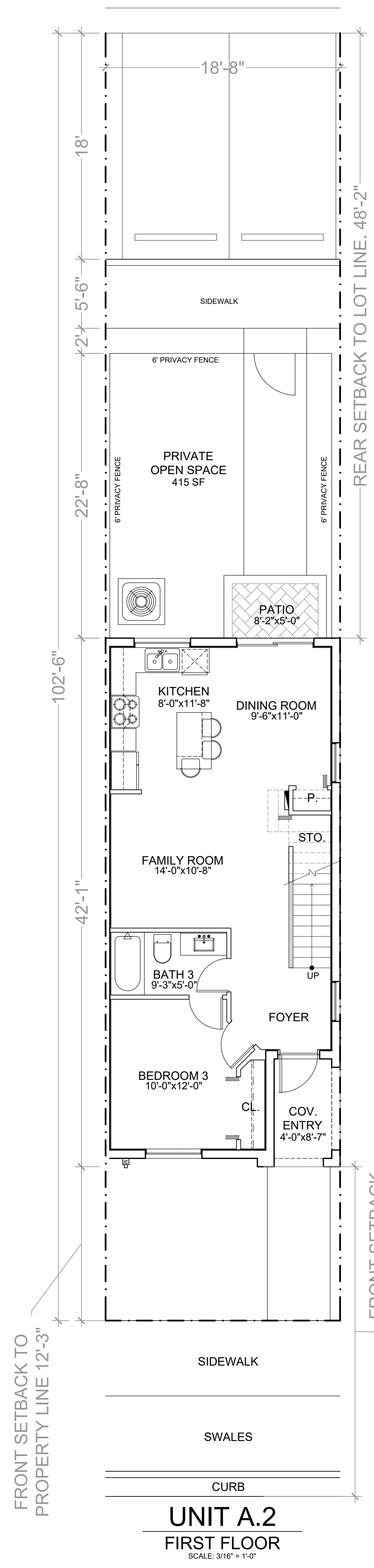
AREA CALCULATIONS:

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A/C 2nd. FLOOR	614 SQUARE FEET
TOTAL A/C	1,334 SQUARE FEET
COVERED ENTRY	43 SQUARE FEET
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UNIT A.2
SECOND FLOOR
SCALE: 3/16" = 1'-0"



UNIT A.2
FIRST FLOOR
SCALE: 3/16" = 1'-0"

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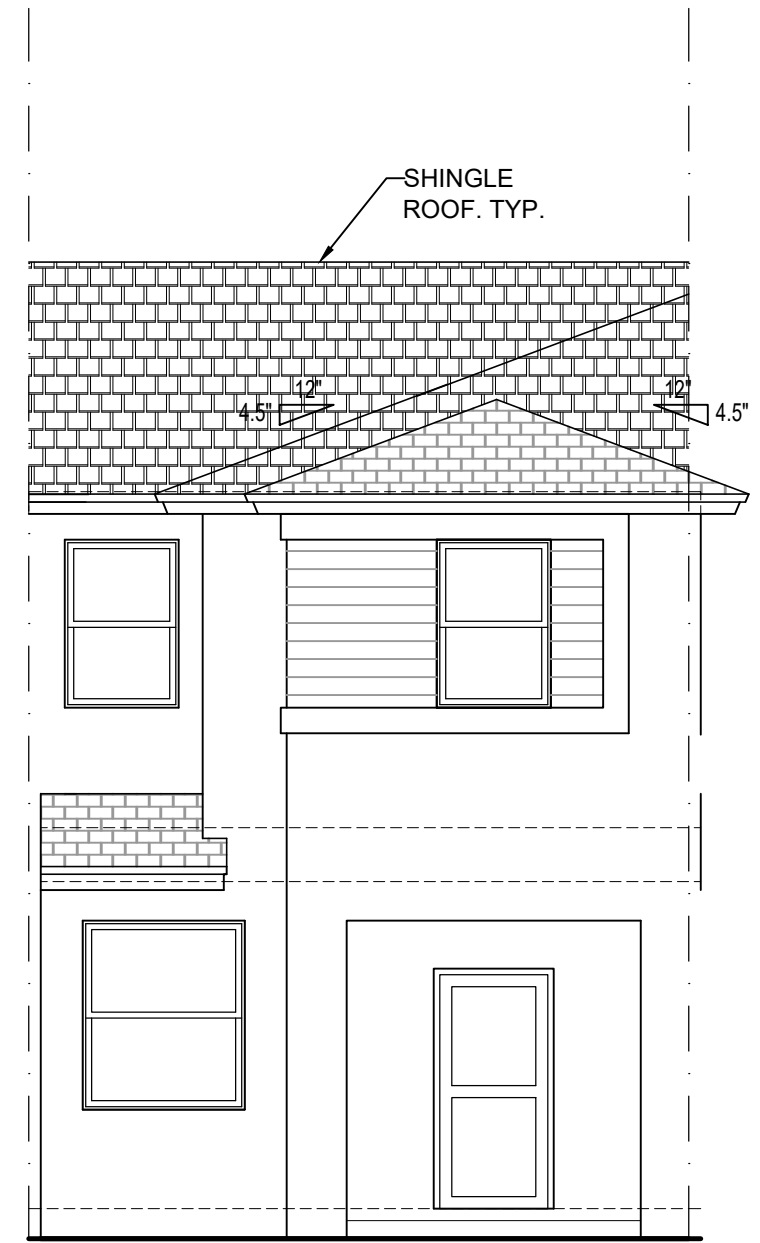
UNIT A2

FLOOR PLANS
 DATE: 2025-08-14
 SCALE: AS SHOWN
 DRAWN: CG
 CHECK BY: PPKS
 JOB NO.: 25-08

A-3

SHEET NO.:

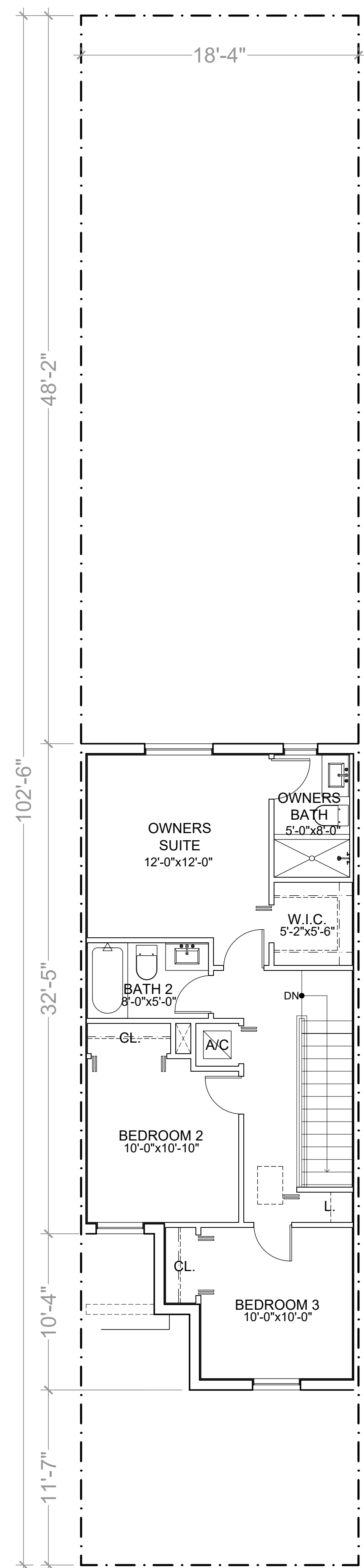
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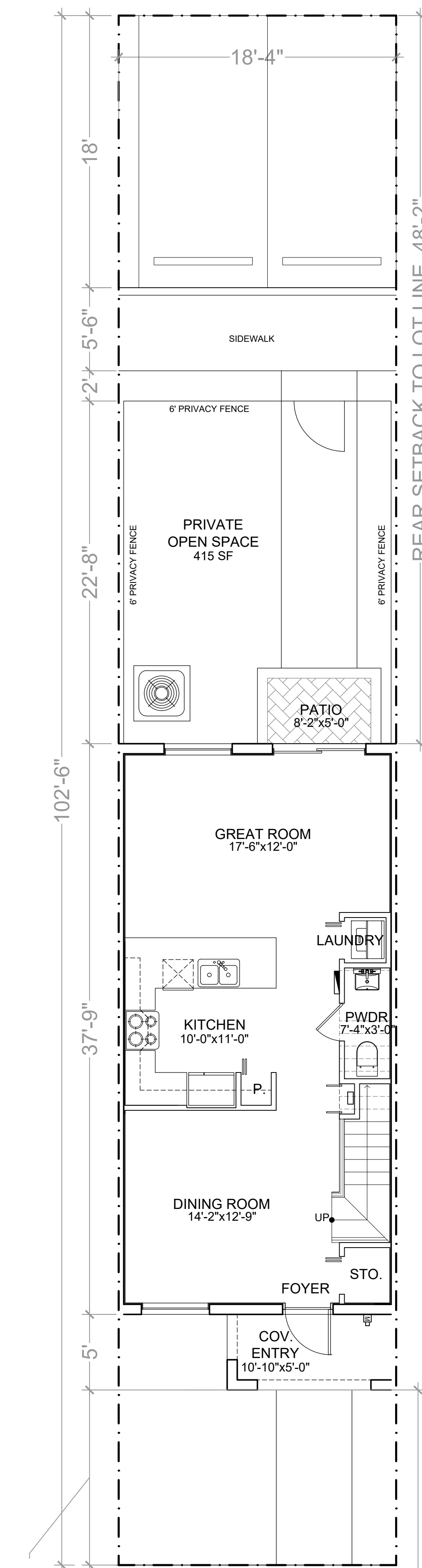
UNIT B
FRONT ELEVATION
SCALE: 3/16" = 1'-0"

AREA CALCULATIONS:	
A/C 1st FLOOR	692 SQUARE FEET
A/C 2nd. FLOOR	722 SQUARE FEET
TOTAL A/C	1,414 SQUARE FEET
COVERED ENTRY	56 SQUARE FEET
TOTAL	1,470 SQUARE FEET

NOTE:
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UNIT B
SECOND FLOOR
SCALE: 3/16" = 1'-0"



UNIT B
FIRST FLOOR
SCALE: 3/16" = 1'-0"

FRONT SETBACK TO PROPERTY LINE 11'-7"

FRONT SETBACK TO EDGE OF PAV. 25'-7"

REAR SETBACK TO LOT LINE. 48'-2"

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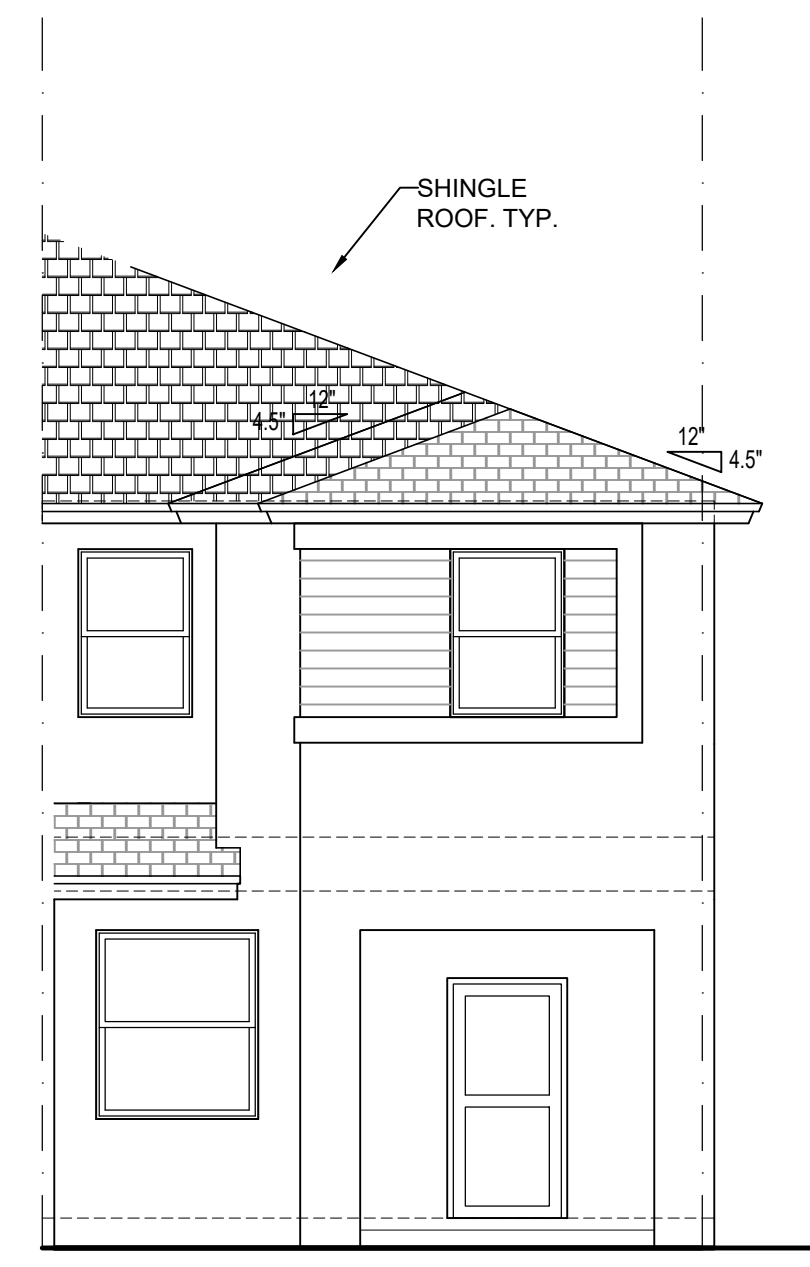
UNIT B

FLOOR PLANS
 DATE: 2025-08-14
 SCALE: AS SHOWN
 DRAWN: CC
 CHECK BY: PPKS
 JOB NO.: 25-08

A-4

SHEET NO.:

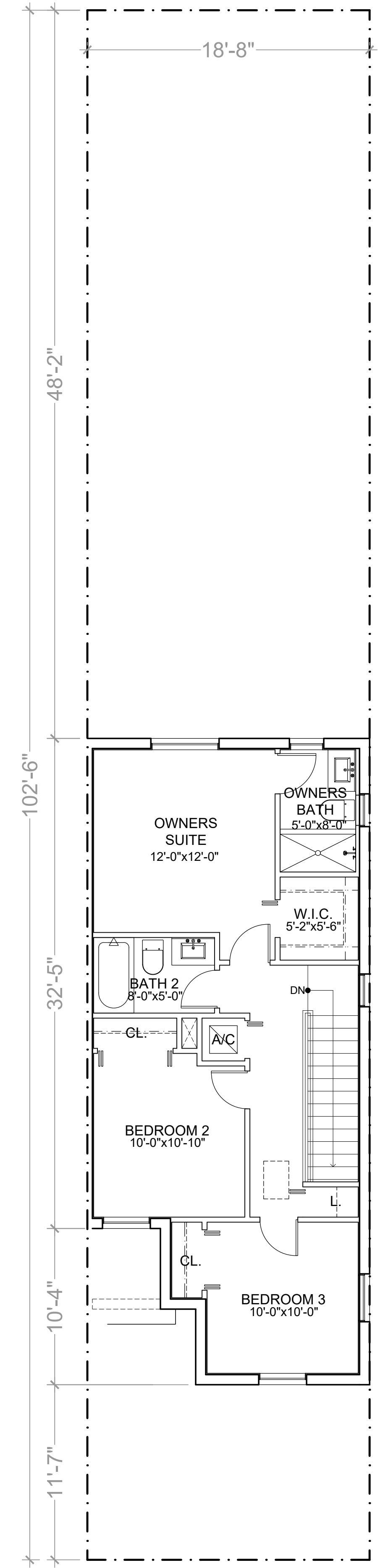
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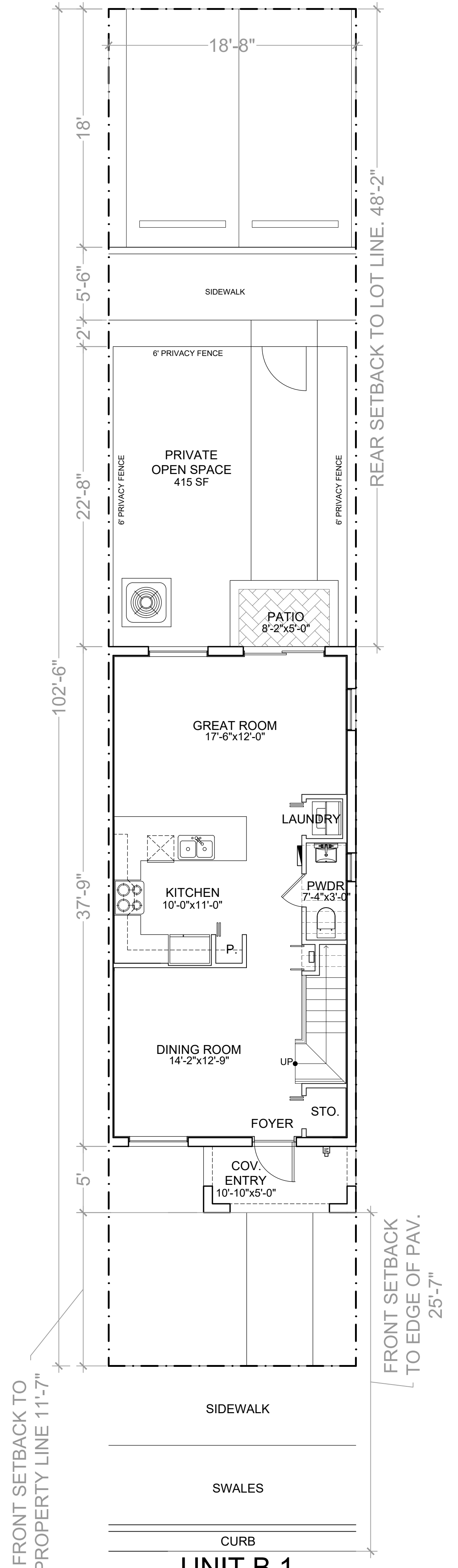
UNIT B.1
FRONT ELEVATION
SCALE: 3/16" = 1'-0"

AREA CALCULATIONS:	
A/C 1st FLOOR	692 SQUARE FEET
A/C 2nd. FLOOR	722 SQUARE FEET
TOTAL A/C	1,414 SQUARE FEET
COVERED ENTRY	56 SQUARE FEET
TOTAL	1,470 SQUARE FEET

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UNIT B.1
SECOND FLOOR
SCALE: 3/16" = 1'-0"



UNIT B.1
FIRST FLOOR
SCALE: 3/16" = 1'-0"

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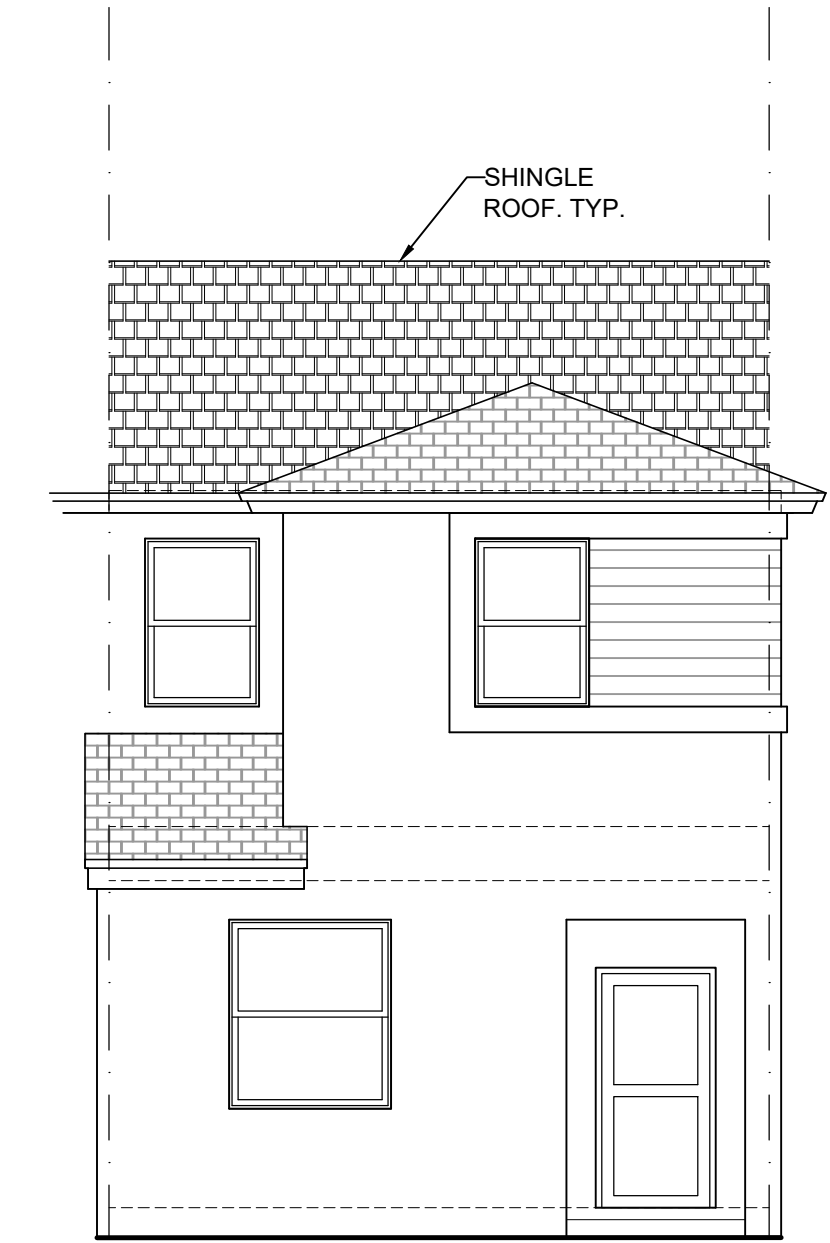
UNIT B.1

FLOOR PLANS
 DATE: 2025-08-14
 SCALE: AS SHOWN
 DRAWN BY: CG
 CHECK BY: PPKS
 JOB NO.: 25-08

A-5

SHEET NO.:

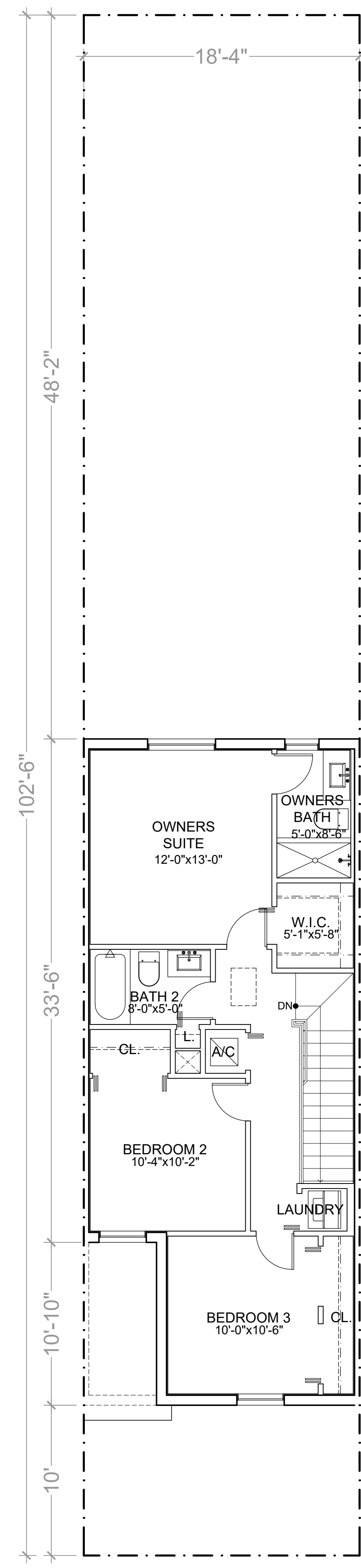
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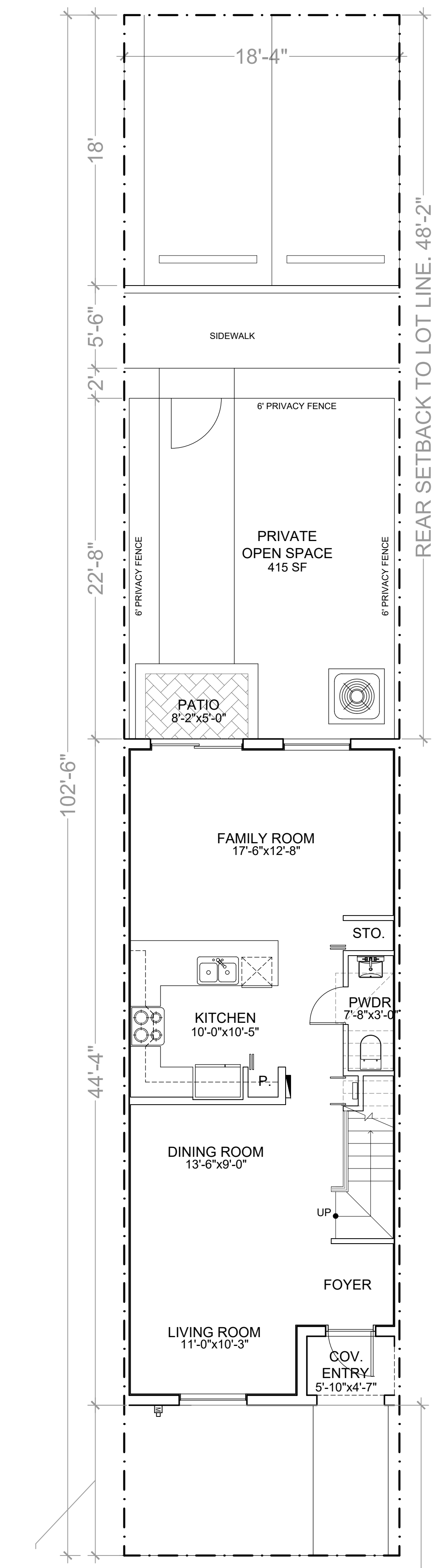
UNIT C
FRONT ELEVATION
SCALE: 3/16" = 1'-0"

AREA CALCULATIONS:	
A/C 1st FLOOR	785 SQUARE FEET
A/C 2nd. FLOOR	760 SQUARE FEET
TOTAL A/C	1,545 SQUARE FEET
COVERED ENTRY	28 SQUARE FEET
TOTAL	1,573 SQUARE FEET

NOTE:
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UNIT C
SECOND FLOOR
SCALE: 3/16" = 1'-0"



UNIT C
FIRST FLOOR
SCALE: 3/16" = 1'-0"

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KILIDDJIAN
STARR**

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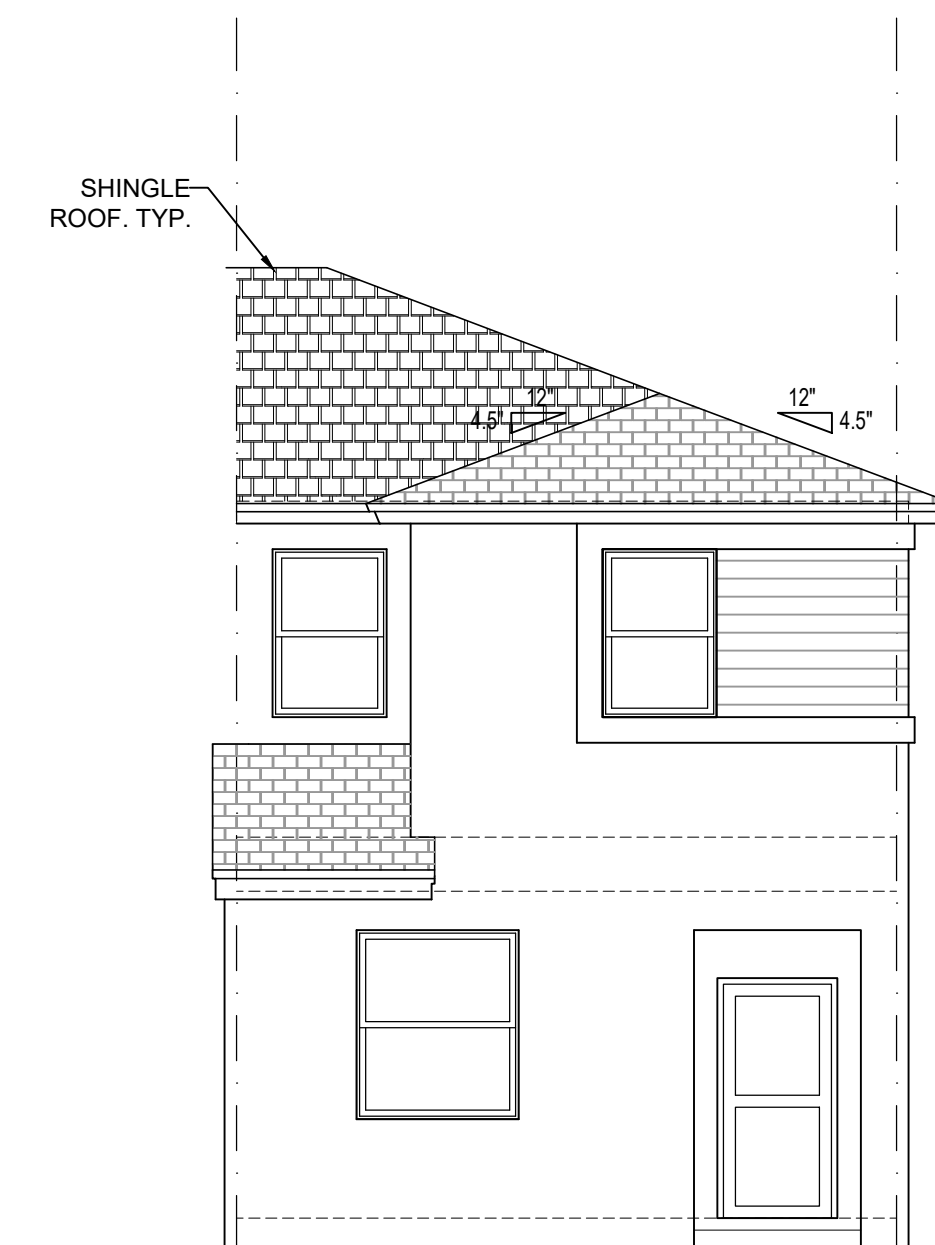
UNIT C

FLOOR PLANS
 DATE: 2025-08-14
 SCALE: AS SHOWN
 DRAWN BY: CG
 CHECK BY: PPKS
 JOB NO.: 25-08

A-6

SHEET NO.:

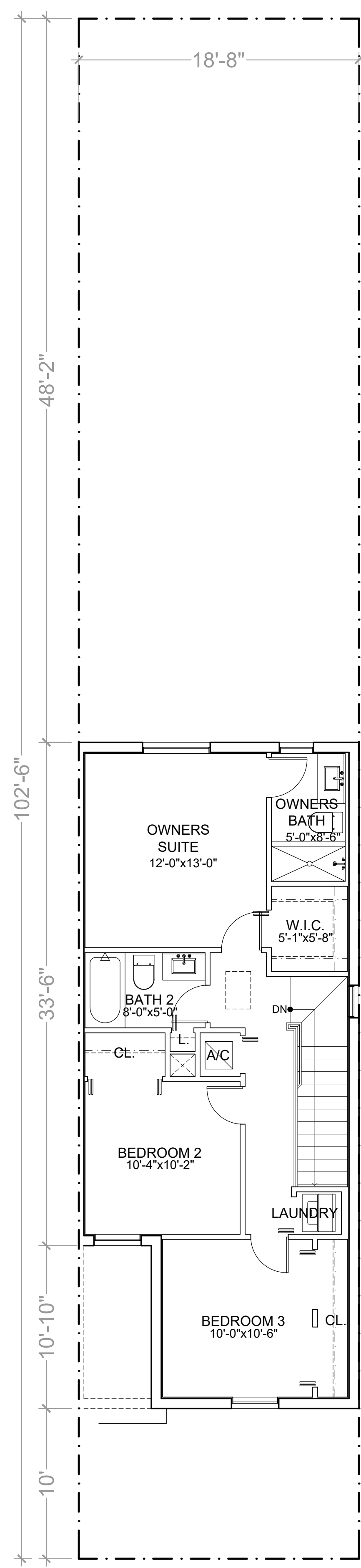
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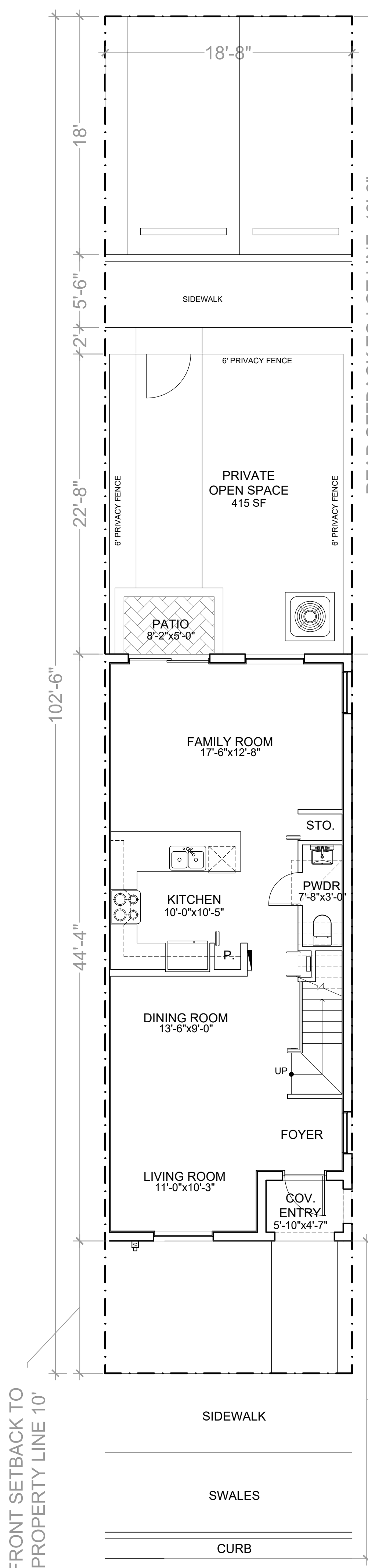
UNIT C.1
FRONT ELEVATION
SCALE: 3/16" = 1'-0"

AREA CALCULATIONS:	
A/C 1st FLOOR	785 SQUARE FEET
A/C 2nd. FLOOR	760 SQUARE FEET
TOTAL A/C	1,545 SQUARE FEET
COVERED ENTRY	28 SQUARE FEET
TOTAL	1,573 SQUARE FEET

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UNIT C.1
SECOND FLOOR
SCALE: 3/16" = 1'-0"



UNIT C.1
FIRST FLOOR
SCALE: 3/16" = 1'-0"

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KILIDDJIAN
STARR**

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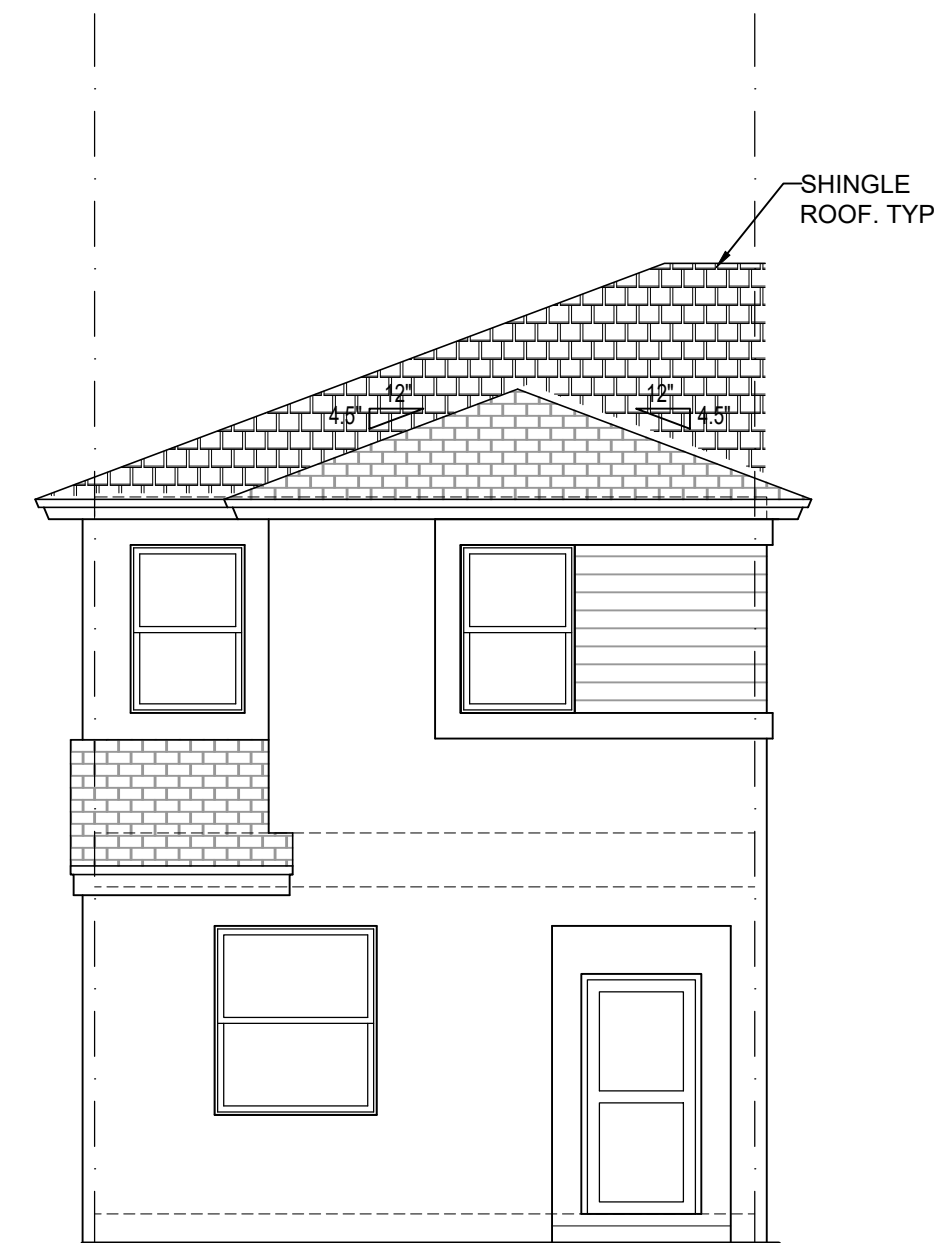
UNIT C1

FLOOR PLANS
 DATE: 2025-08-14
 SCALE: AS SHOWN
 DRAWN BY: CG
 CHECK BY: PPKS
 JOB NO.: 25-08

A-7

SHEET NO.:

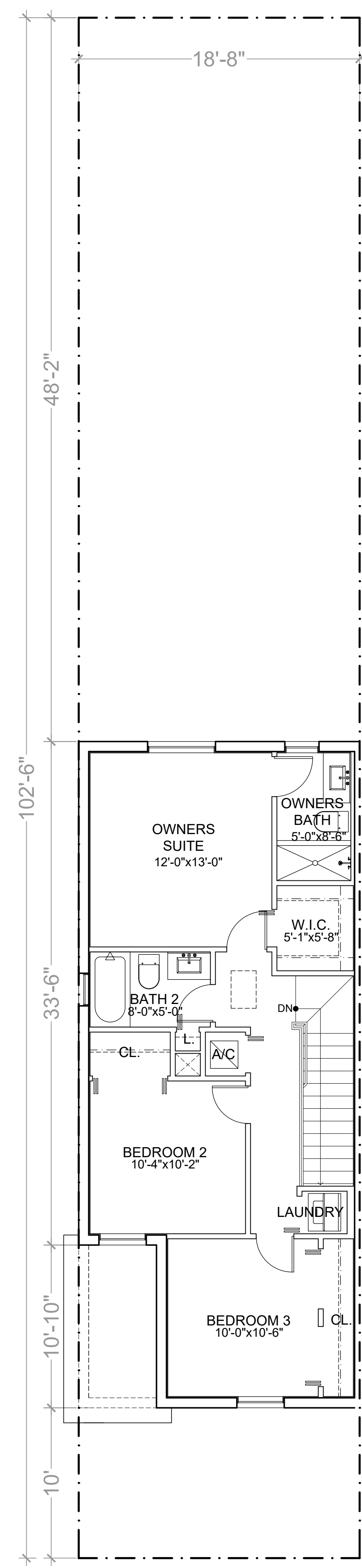
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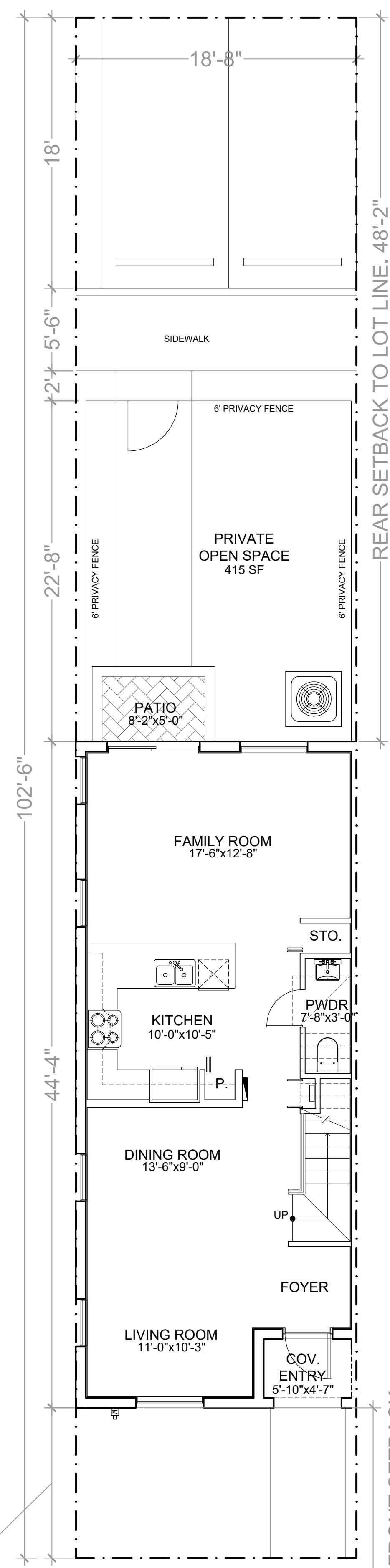
UNIT C.2
FRONT ELEVATION
 SCALE: 3/16" = 1'-0"

AREA CALCULATIONS:	
A/C 1st FLOOR	785 SQUARE FEET
A/C 2nd. FLOOR	760 SQUARE FEET
TOTAL A/C	1,545 SQUARE FEET
COVERED ENTRY	28 SQUARE FEET
TOTAL	1,573 SQUARE FEET

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UNIT C.2
SECOND FLOOR
 SCALE: 3/16" = 1'-0"



UNIT C.2
FIRST FLOOR
 SCALE: 3/16" = 1'-0"

FRONT SETBACK TO PROPERTY LINE 10'

FRONT SETBACK TO EDGE OF PAV. 24'

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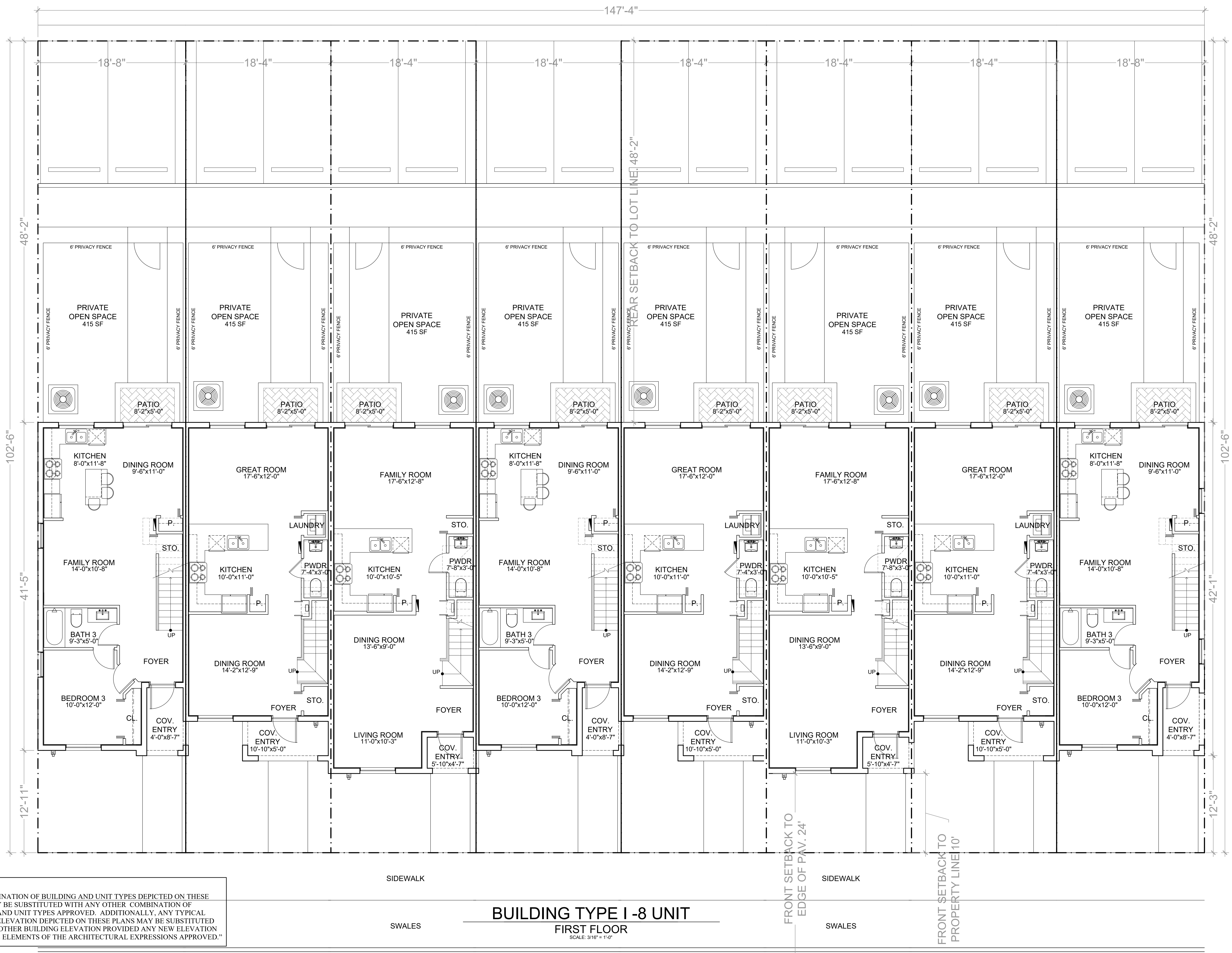
UNIT C2

FLOOR PLANS
 DATE: 2025-08-14
 SCALE: AS SHOWN
 DRAWN: CG
 CHECK BY: PPKS
 JOB NO.: 25-08

A-8

SHEET NO.:

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BUILDING TYPE I-8 UNIT
 FIRST FLOOR
 SCALE: 3/16" = 1'-0"

UNIT A.1 UNIT B UNIT C UNIT A UNIT B UNIT C UNIT B UNIT A.2

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SCALE:

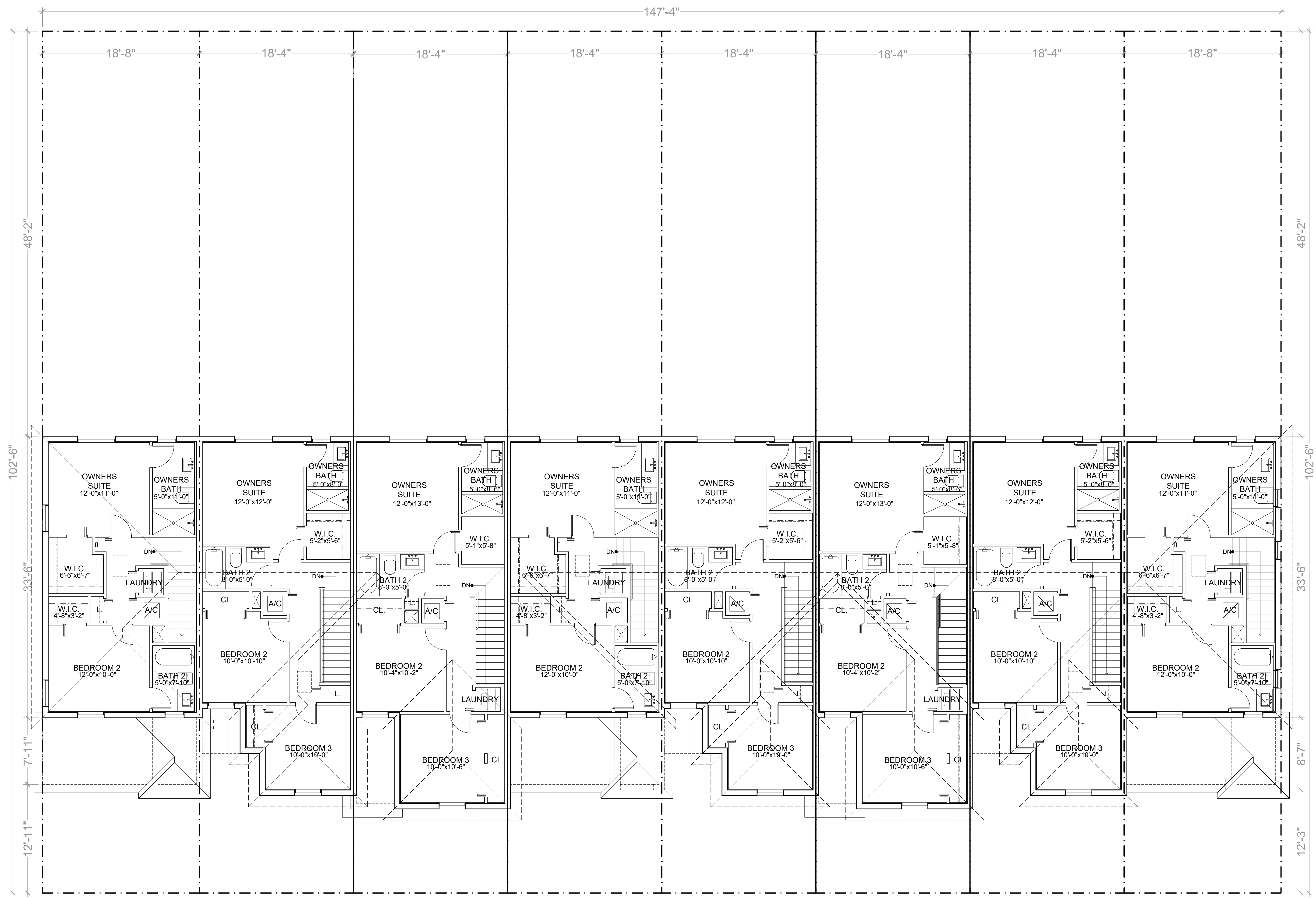
BUILDING 8 UNIT

FLOOR PLAN
 DATE: 2025-08-14
 SCALE: AS SHOWN
 DRAWN BY: CG
 CHECK BY: PPKS
 JOB NO.: 25-08

A-9

SHEET NO.:

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UNIT A.1 UNIT B UNIT C UNIT A UNIT B UNIT C UNIT B UNIT A.2

BUILDING TYPE I-8 UNIT
SECOND FLOOR
 SCALE: 3/16" = 1'-0"

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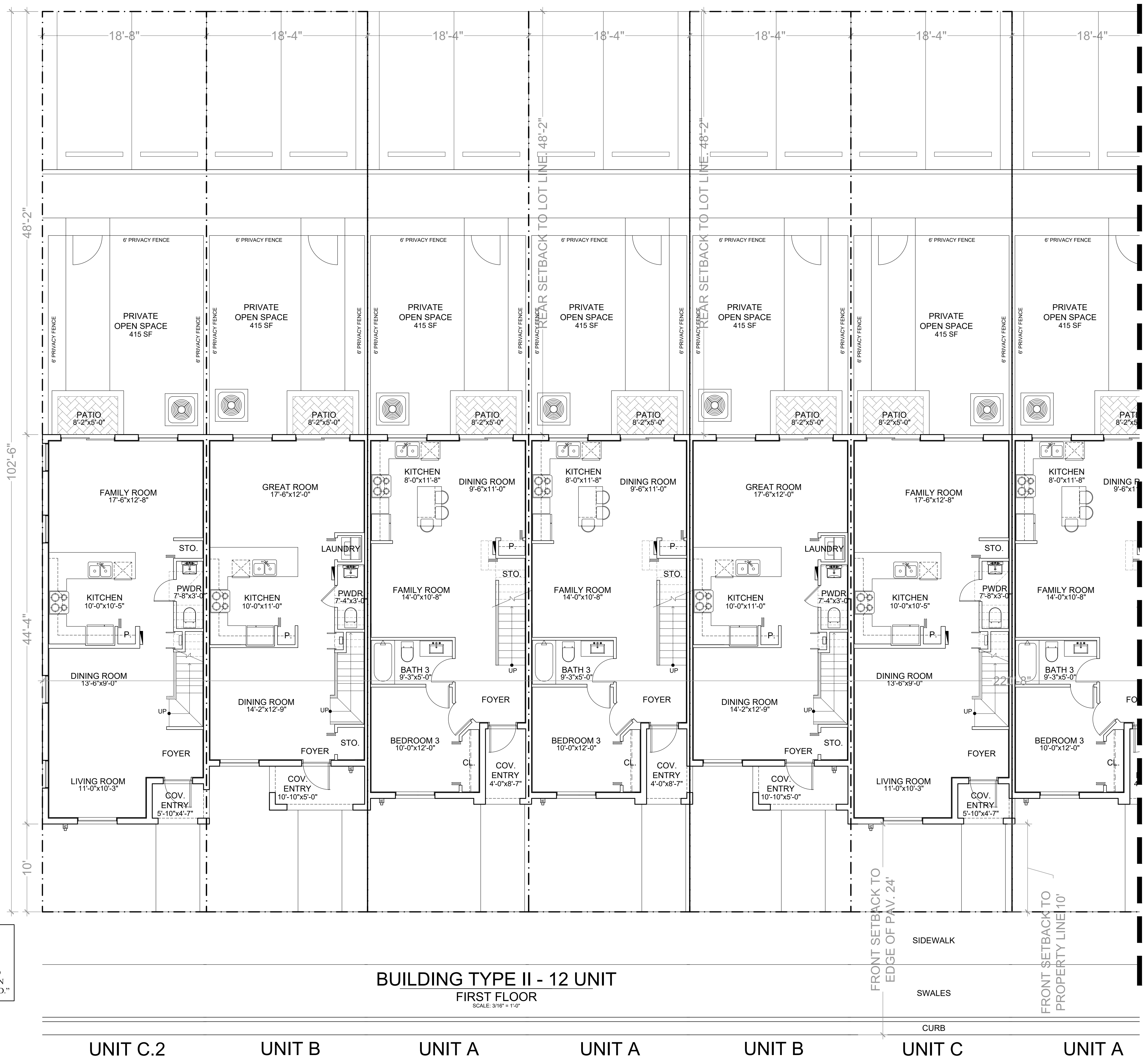
BUILDING 8 UNIT

FLOOR PLAN
 DATE: 2025-08-14
 SCALE: AS SHOWN
 DRAWN BY: CC
 CHECK BY: PPKS
 JOB NO.: 25-08

A-10

SHEET NO.:

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BUILDING TYPE II - 12 UNIT
 FIRST FLOOR
 SCALE: 3/16" = 1'-0"

UNIT C.2 UNIT B UNIT A UNIT A UNIT B UNIT C UNIT A

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MATCH SHEET A-13

SEAL:

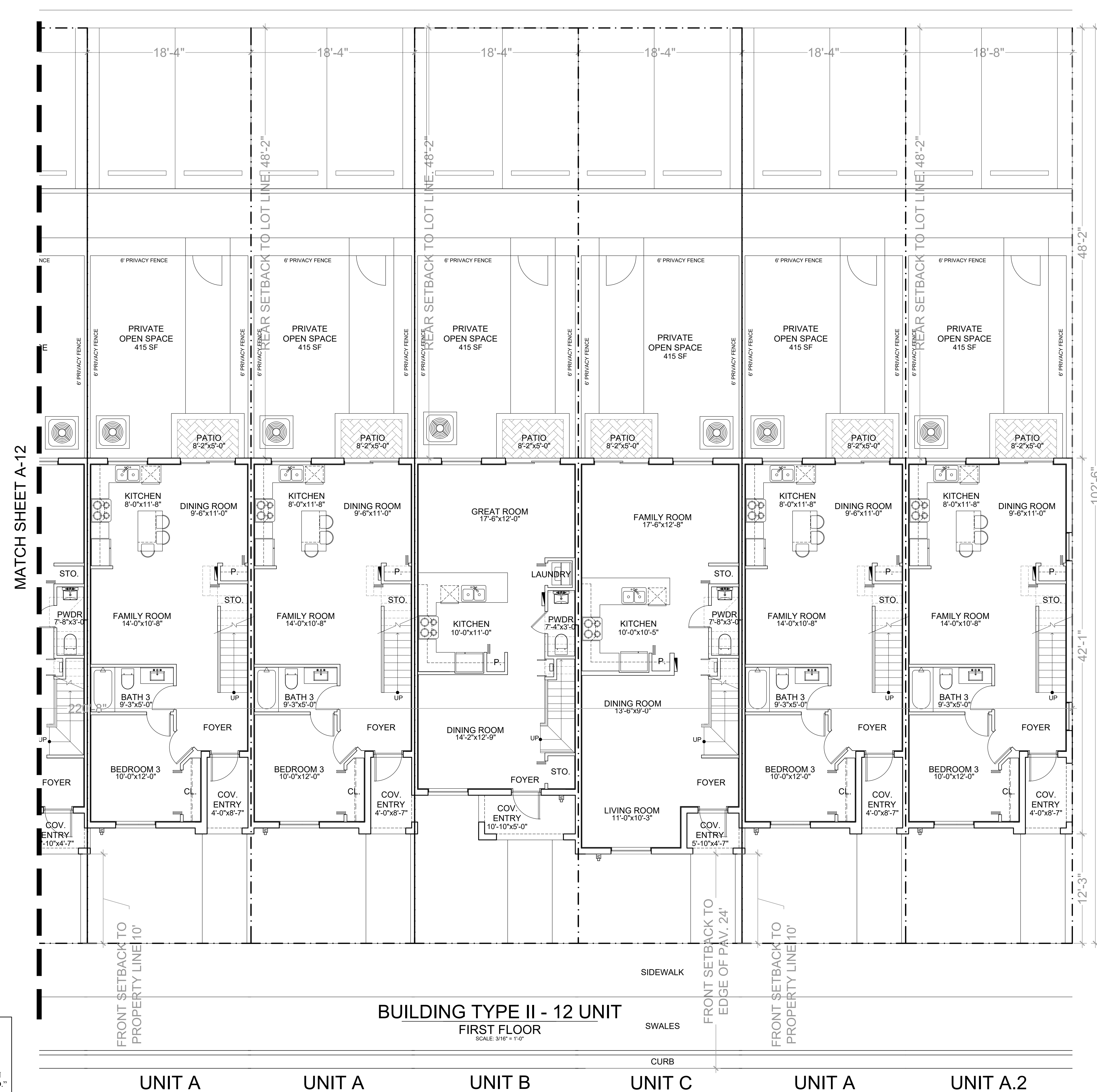
BUILDING 12 UNIT

FLOOR PLAN
 DATE: 2025-08-14
 SCALE: AS SHOWN
 DRAWN: CC
 CHECK BY: PPKS
 JOB NO.: 25-08

A-12

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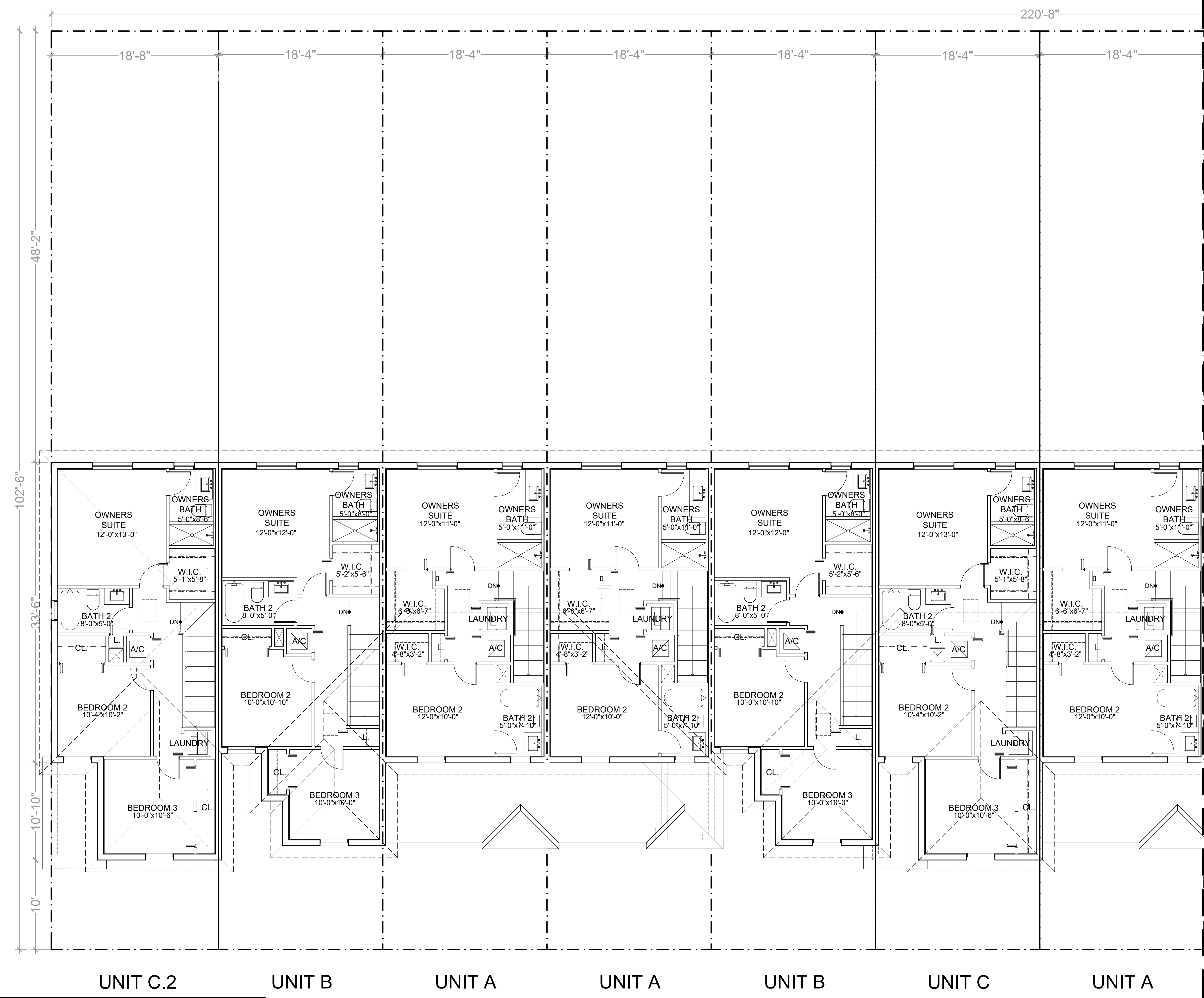
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BUILDING TYPE II - 12 UNIT
SECOND FLOOR
 SCALE: 3/16" = 1'-0"

MATCH SHEET A-15

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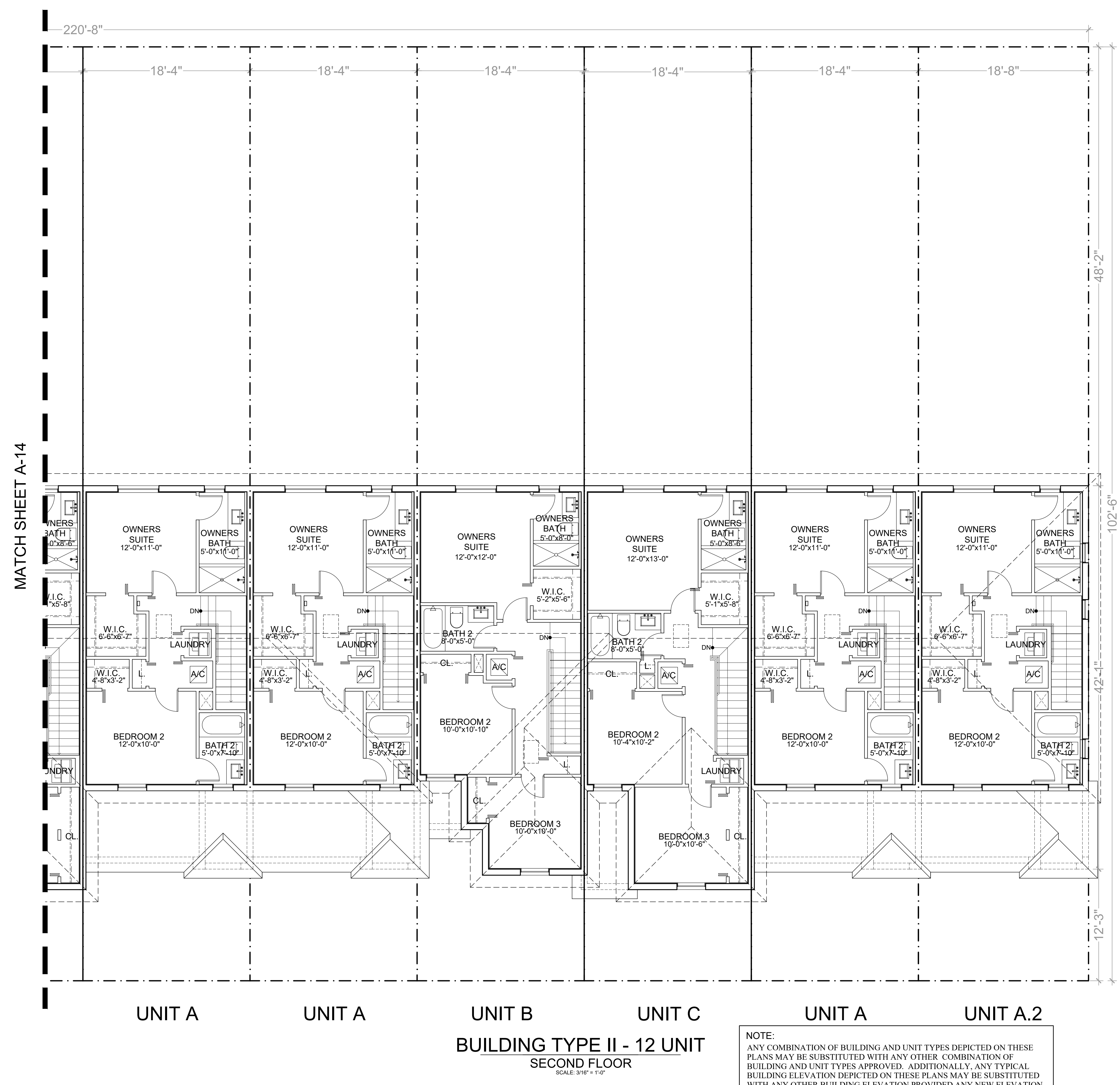
BUILDING 12 UNIT

FLOOR PLAN
 DATE: 2025-08-14
 SCALE: AS SHOWN
 DRAWN: CG
 CHECK BY: PPKS
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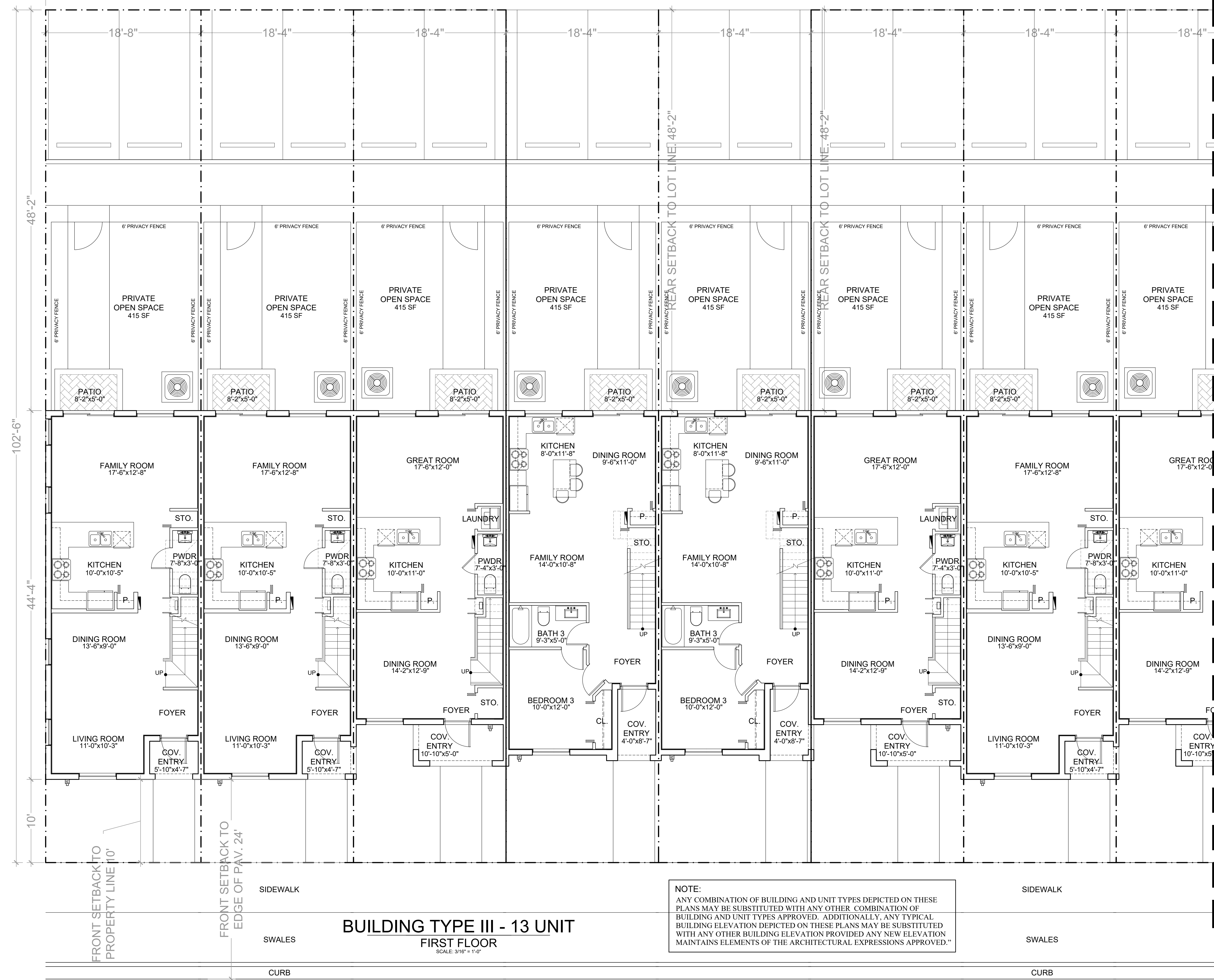
BUILDING 12 UNIT

FLOOR PLAN
 DATE: 2025-08-14
 SCALE: AS SHOWN
 DRAWN: CG
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A-15
 SHEET NO.:

BUILDING TYPE II - 12 UNIT
 SECOND FLOOR
 SCALE: 3/16" = 1'-0"

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FRONT SETBACK TO PROPERTY LINE 10'

FRONT SETBACK TO EDGE OF PAV. 24'

NOTE: ANY COMBINATION OF BUILDING AND UNIT TYPES DEPICTED ON THESE PLANS MAY BE SUBSTITUTED WITH ANY OTHER COMBINATION OF BUILDING AND UNIT TYPES APPROVED. ADDITIONALLY, ANY TYPICAL BUILDING ELEVATION DEPICTED ON THESE PLANS MAY BE SUBSTITUTED WITH ANY OTHER BUILDING ELEVATION PROVIDED ANY NEW ELEVATION MAINTAINS ELEMENTS OF THE ARCHITECTURAL EXPRESSIONS APPROVED.

BUILDING TYPE III - 13 UNIT
FIRST FLOOR
SCALE: 3/16" = 1'-0"

UNIT C.2 UNIT C UNIT B UNIT A UNIT A UNIT B UNIT C UNIT I

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BUILDING 12 UNIT

FLOOR PLAN
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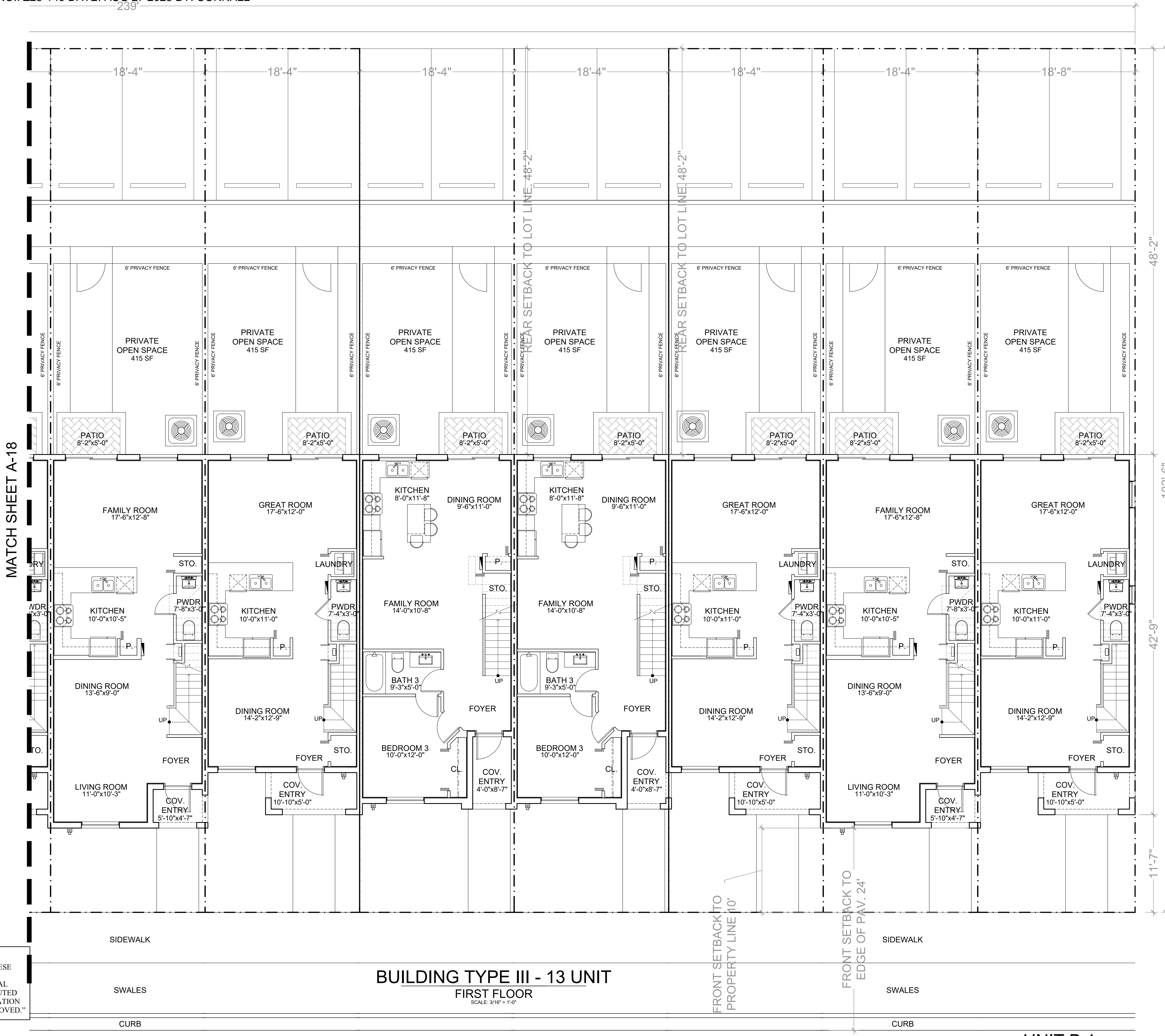
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BUILDING TYPE III - 13 UNIT
 FIRST FLOOR
 SCALE: 3/16" = 1'-0"

UNIT C UNIT B UNIT A UNIT A UNIT B UNIT C UNIT B.1

PASCUAL PEREZ KILIDDJIAN STARR
 ARCHITECTS+PLANNERS

LICENSE # AA 26001357
 EDGARDO PEREZ, AIA
 LICENSE No.: AR 0015394
 MARIO P. PASCUAL, AIA
 LICENSE No.: AR 0008254
 PETER KILIDDJIAN, AIA
 LICENSE No.: AR 093067
 ANDREW STARR, AIA
 LICENSE No.: AR 0095130

AT THE BEACON CENTER
 1330 NW 84th AVENUE
 DORAL, FLORIDA 33126
 TELEPHONE: (305) 592-1363
 FACSIMILE: (305) 592-6865
 http://www.ppkarch.com

REVISIONS:

OWNER:
 LENNAR HOMES

RETRO WEST
 BY: LENNAR HOMES
 VILLAS
 MIAMI-DADE COUNTY, FLORIDA

SEAL:

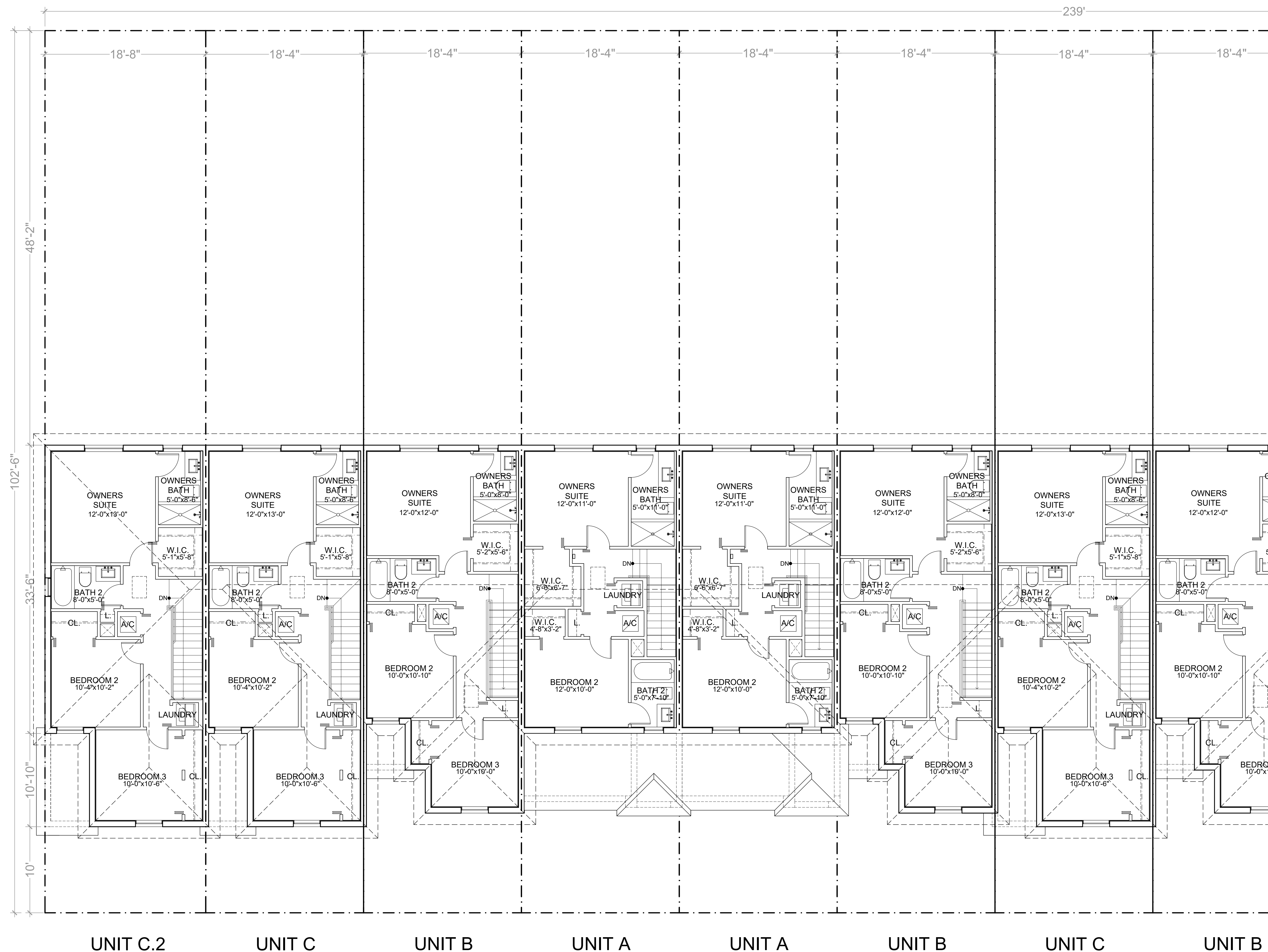
BUILDING 13 UNIT

FLOOR PLAN
 DATE: 2025-08-14
 SCALE: AS SHOWN
 DRAWN BY: CG
 CHECK BY: PPKS
 JOB NO.: 25-08

A-19

SHEET NO.:

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UNIT C.2

UNIT C

UNIT B

UNIT A

UNIT A

UNIT B

UNIT C

UNIT B

BUILDING TYPE III - 13 UNIT
 SECOND FLOOR
 SCALE: 3/16" = 1'-0"

NOTE:
 ANY COMBINATION OF BUILDING AND UNIT TYPES DEPICTED ON THESE PLANS MAY BE SUBSTITUTED WITH ANY OTHER COMBINATION OF BUILDING AND UNIT TYPES APPROVED. ADDITIONALLY, ANY TYPICAL BUILDING ELEVATION DEPICTED ON THESE PLANS MAY BE SUBSTITUTED WITH ANY OTHER BUILDING ELEVATION PROVIDED ANY NEW ELEVATION MAINTAINS ELEMENTS OF THE ARCHITECTURAL EXPRESSIONS APPROVED."

MATCH SHEET A-21

PASCUAL PEREZ KILIDDJIAN STARR
 ARCHITECTS+PLANNERS
 LICENSE # AA 26001357
 EDGARDO PEREZ, AIA
 LICENSE No.: AR 0015394
 MARIO P. PASCUAL, AIA
 LICENSE No.: AR 0008254
 PETER KILIDDJIAN, AIA
 LICENSE No.: AR 093067
 ANDREW STARR, AIA
 LICENSE No.: AR 0095130

AT THE BEACON CENTER
 1330 NW 84th AVENUE
 DORAL, FLORIDA 33126
 TELEPHONE: (305) 592-1343
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REVISIONS:

OWNER:
 LENNAR HOMES

RETRO WEST
 BY: LENNAR HOMES
 VILLAS
 MIAMI-DADE COUNTY, FLORIDA

SEAL:

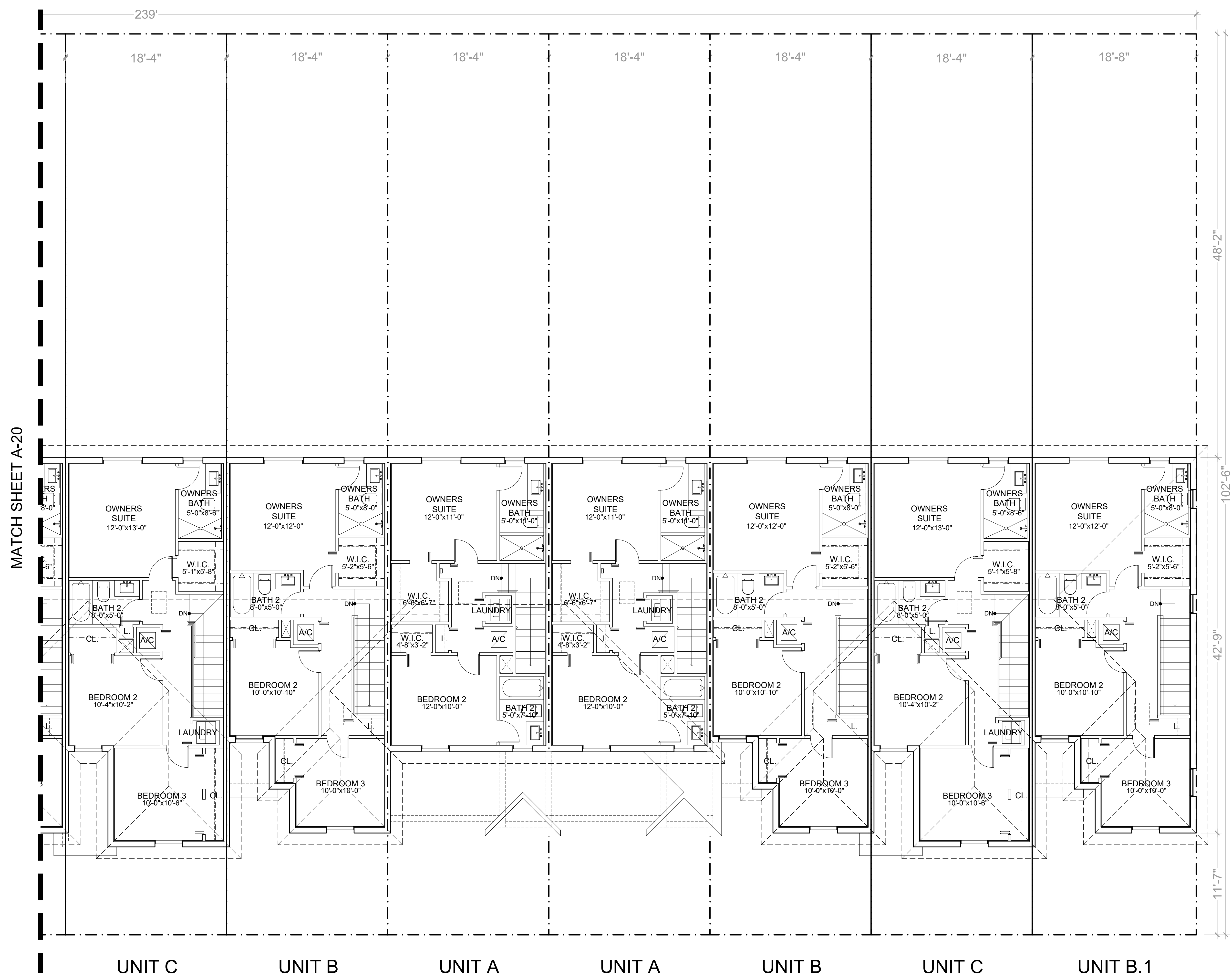
BUILDING 13 UNIT

FLOOR PLAN
 DATE: 2025-08-14
 SCALE: AS SHOWN
 DRAWN BY: CG
 CHECK BY: PPKS
 JOB NO.: 25-08

A-20

SHEET NO.:

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BUILDING TYPE III - 13 UNIT
SECOND FLOOR
 SCALE: 3/16" = 1'-0"

NOTE:
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PASCUAL PEREZ KILIDDJIAN STARR
 ARCHITECTS+PLANNERS
 LICENSE # AA 26001357
 EDGARDO PEREZ, AIA
 LICENSE No.: AR 0015394
 MARIO P. PASCUAL, AIA
 LICENSE No.: AR 0008254
 PETER KILIDDJIAN, AIA
 LICENSE No.: AR 093067
 ANDREW STARR, AIA
 LICENSE No.: AR 0095130
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OWNER:
 LENNAR HOMES

RETRO WEST
 BY: LENNAR HOMES
 VILLAS
 MIAMI-DADE COUNTY, FLORIDA

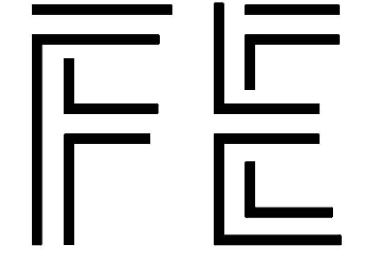
SEAL:

BUILDING 13 UNIT

FLOOR PLAN
 DATE: 2025-08-14
 SCALE: AS SHOWN
 DRAWN: CG
 CHECK BY: PPKS
 JOB NO.: 25-08

A-21

SHEET NO.:

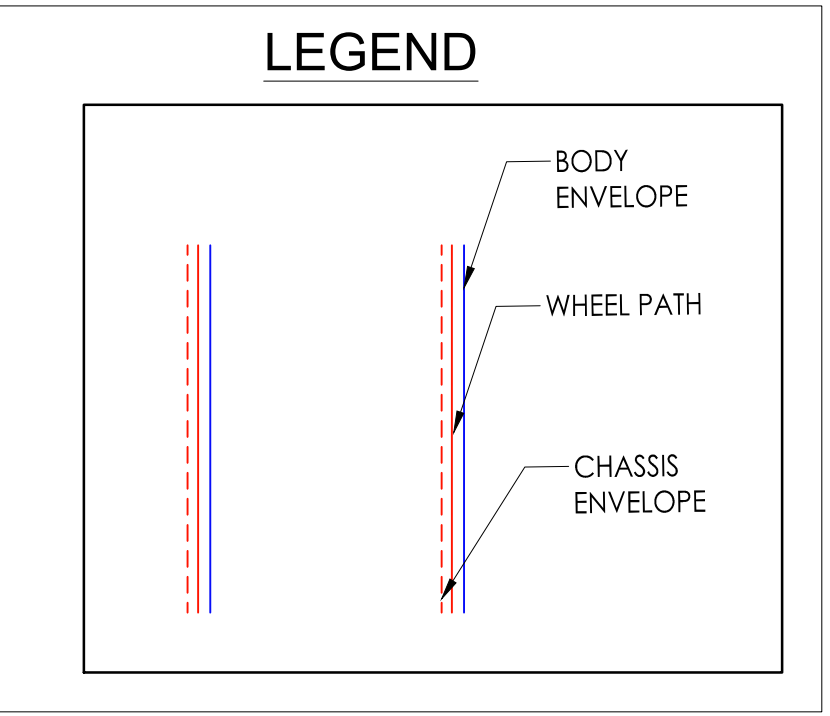
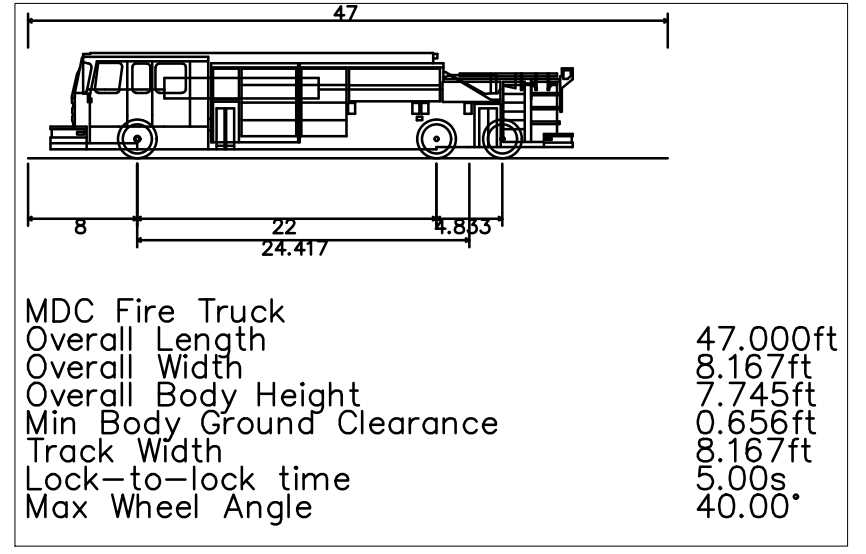
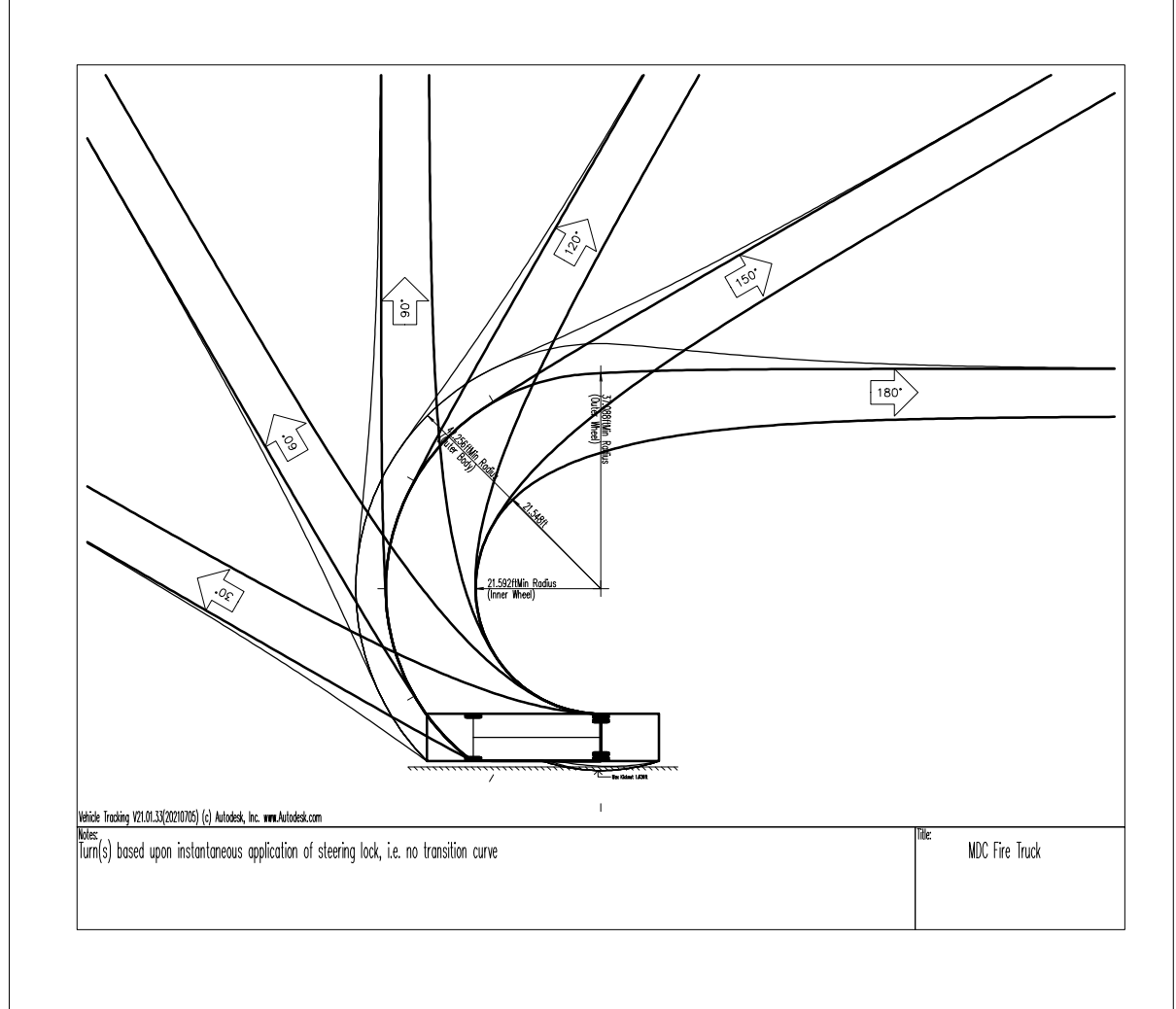
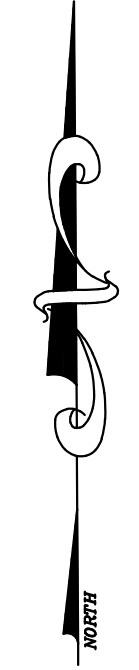
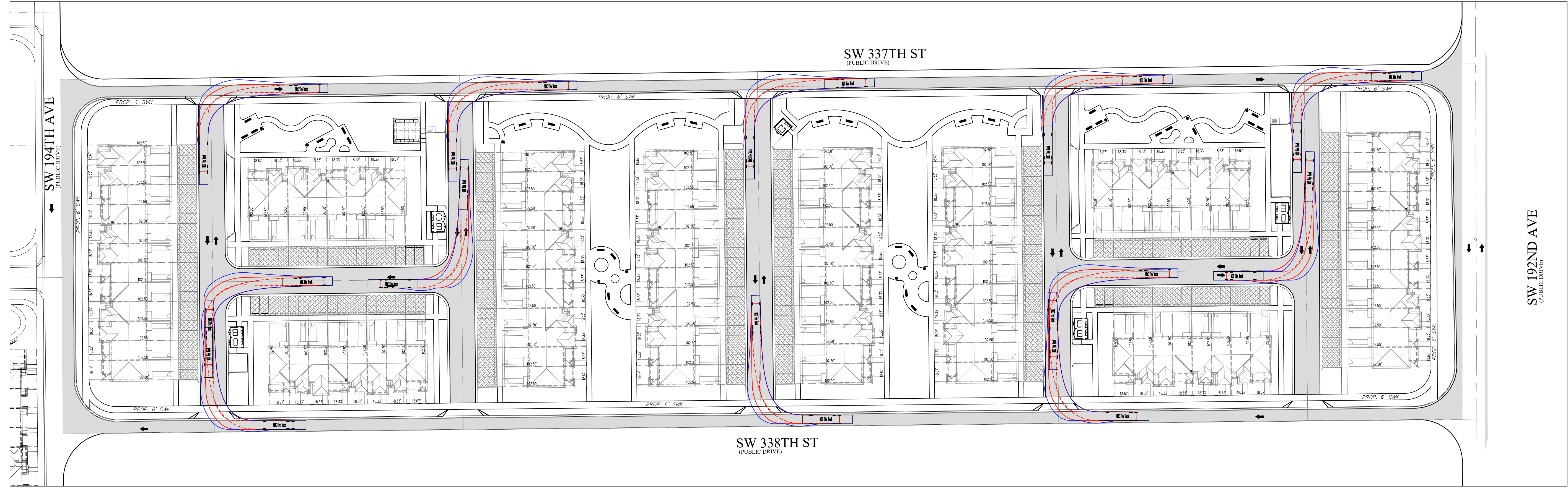


FORD ENGINEERS
 FORD ENGINEERS, INC.
 1950 N.W. 94th AVENUE, 2nd FLOOR
 MIAMI, FLORIDA 33172
 PH. (305) 477-6472
 FAX (305) 477-8054

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RECORD OF REVISION

No.	DATE	DESCRIPTION	BY	APP.



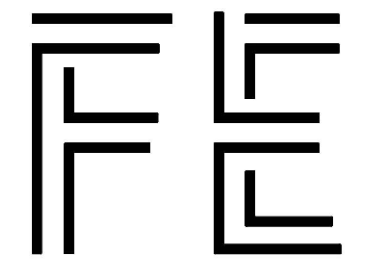
RETO WEST
ADMINISTRATIVE SITE PLAN REVIEW
FIRE TRUCK SIMULATION
 PROJ. LOC: MIAMI-DADE COUNTY, FLORIDA
 CLIENT: **LENNAR HOMES INC.**

September 09, 2025
 This item has been digitally signed and sealed by Edwin F. Ibarra, P.E. on the date adjacent to the seal.
 Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

SCALE: 1"=50'
 DESIGNED BY: B. RUIZ
 DRAWN BY: B. RUIZ
 CHECKED BY: E. IBARRA
 DATE: 8/8/2025
 PROJECT No: **25-0019**

SHEET: **SP-2**
 2 of 3

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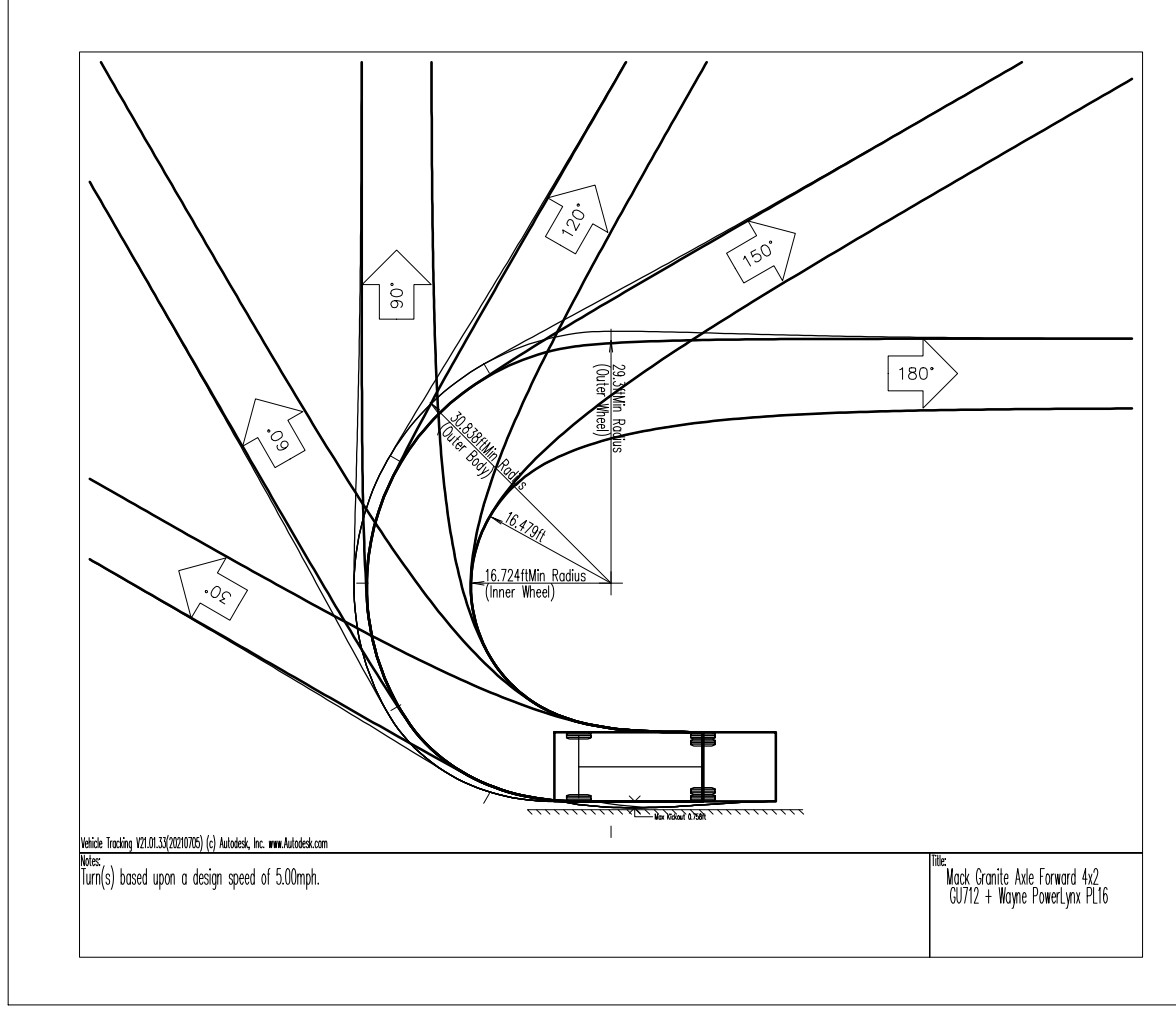
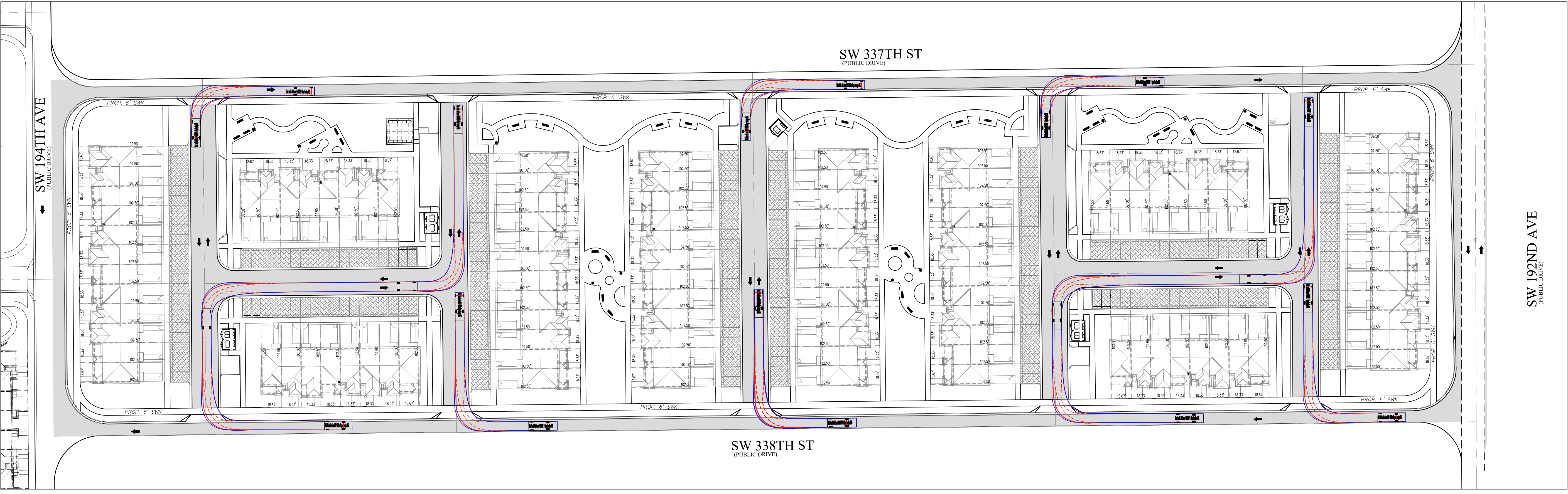


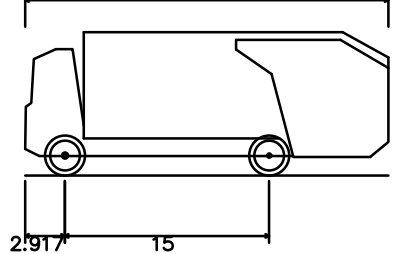
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 FORD ENGINEERS, INC.
 1950 N.W. 94th AVENUE, 2nd FLOOR
 MIAMI, FLORIDA 33172
 PH. (305) 477-6472
 FAX (305) 477-8054

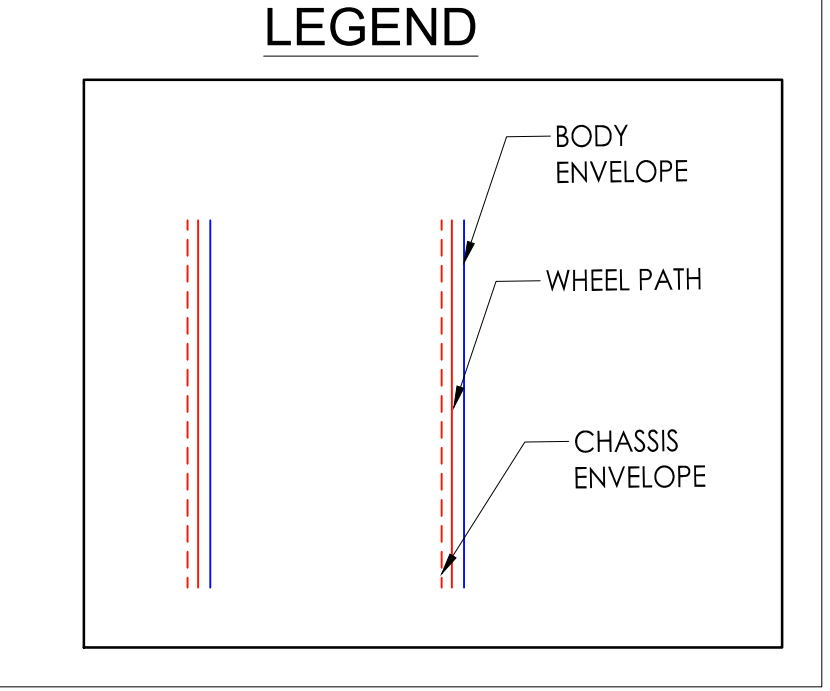
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RECORD OF REVISION

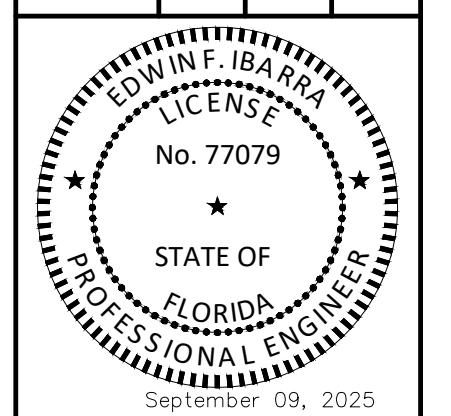
No.	DATE	DESCRIPTION	BY	APP.



	26.708
2.917	15
Mack Granite Axle Forward 4x2 GU712 + Wayne PowerLynx PL16	
Overall Length	26.708ft
Overall Width	8.375ft
Overall Body Height	10.546ft
Min Body Ground Clearance	1.375ft
Track Width	8.375ft
Lock-to-lock time	6.00s
Curb to Curb Turning Radius	29.300ft



RETO WEST
 ADMINISTRATIVE SITE PLAN REVIEW
 GARBAGE TRUCK SIMULATION
 PROJ. LOC.: MIAMI-DADE COUNTY, FLORIDA
 CLIENT: LENNAR HOMES INC.



September 09, 2025
 This item has been digitally signed and sealed by Edwin F. Ibarra, PE on the date adjacent to the seal.
 Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

SCALE:	1"=50'
DESIGNED BY:	B. RUIZ
DRAWN BY:	B. RUIZ
CHECKED BY:	E. IBARRA
DATE:	8/8/2025
PROJECT No:	25-0019

SHEET: **SP-3**
 3 of 3

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DISCLOSURE OF INTEREST*

If a **CORPORATION** owns or leases the subject property, list principal, stockholders and percent of stock owned by each. [Note: Where principal officers or stockholders consist of other corporation(s), trust(s), partnership(s) or similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

CORPORATION NAME: DRP SOLARIS FL 1, LLC, a Delaware limited liability company

NAME AND ADDRESS	Percentage of Stock
<u>Domain Solaris Holdings, LLC (Manager)</u>	<u>100%</u>
<u>520 Madison Avenue - 21st Fl, NY, NY 10022</u>	

If a **TRUST** or **ESTATE** owns or leases the subject property, list the trust beneficiaries and percent of interest held by each. [Note: Where beneficiaries are other than natural persons, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

TRUST/ESTATE NAME: _____

NAME AND ADDRESS	Percentage of Interest

If a **PARTNERSHIP** owns or leases the subject property, list the principals including general and limited partners. [Note: Where partner(s) consist of other partnership(s), corporation(s), trust(s) or similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interests].

PARTNERSHIP OR LIMITED PARTNERSHIP NAME: _____

NAME AND ADDRESS	Percentage of Ownership

If there is a **CONTRACT FOR PURCHASE** by a Corporation, Trust or Partnership, list purchasers below including principal officers, stockholders, beneficiaries or partners. [Note: Where principal officers, stockholders, beneficiaries or partners consist of other corporations, trusts, partnerships or similar entities, further disclosure shall be made to identify natural persons having ultimate ownership interests].

NAME OF PURCHASER: Lennar Homes, LLC

NAME AND ADDRESS (if applicable)	Percentage of Interest
Lennar Corporation (NYSE:LEN – a publicly traded entity)*	99%
U.S. Home Corporation (a wholly owned subsidiary of Lennar Corporation)*	1%

Date of contract: _____

If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership or trust:

NOTICE: For changes of ownership or changes in purchase contracts after the date of the application, but prior to the date of final public hearing, a supplemental disclosure of interest is required.

The above is a full disclosure of all parties of interest in this application to the best of my knowledge and belief.

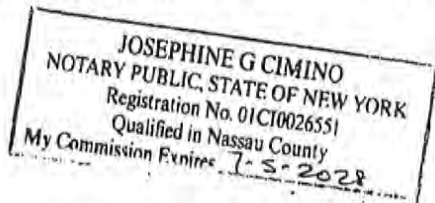
DRP SOLARIS FL 1, LLC, a Delaware limited liability company

Address: 520 Madison Avenue - 21st Fl
New York, NY 10022

By: *Houdin Honarvar*
 Print Name: Houdin Honarvar
 Title: Authorized Signatory

The foregoing instrument was acknowledged before me by means of physical presence [] or online notarization [] by Houdin Honarvar, AS Authorized Signatory of **DRP SOLARIS FL 1, LLC**, a Delaware limited liability company, and for the purposes stated herein. They are personally known to me or have produced _____ as identification.

Sworn to and subscribed before me on the 25th day of February, 2025.



Josephine G. Cimino
 Notary Public Signature

Notary Public State of New York

Josephine G. Cimino
 Print Name

My Commission Expires: 7-5-2028

*Disclosure shall not be required of: 1) any entity, the equity interests in which are regularly traded on an established securities market in the United States or another country; or 2) pension funds or pension trusts of more than five thousand (5,000) ownership interests; or 3) any entity where ownership interests are held in a partnership, corporation or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership and where no one (1) person or entity holds more than a total of five per cent (5%) of the ownership interest in the partnership, corporation or trust. Entities whose ownership interests are held in a partnership, corporation, or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership, shall only be required to disclose those ownership interest which exceed five (5) percent of the ownership interest in the partnership, corporation or trust.

DISCLOSURE OF INTEREST*

If a **CORPORATION** owns or leases the subject property, list principal, stockholders and percent of stock owned by each. [Note: Where principal officers or stockholders consist of other corporation(s), trust(s), partnership(s) or similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

CORPORATION NAME: Lennar Homes, LLC, a Florida limited liability company

NAME AND ADDRESS	Percentage of Stock
Lennar Corporation * 5505 Blue Lagoon Drive, Floor 5, Miami, FL 33126	99%
U.S. Home Corporation (a wholly owned subsidiary of Lennar Corporation*, a publicly traded company	1%
* Lennar Corporation is a publicly traded company on the NYSE: LEN	

If a **TRUST** or **ESTATE** owns or leases the subject property, list the trust beneficiaries and percent of interest held by each. [Note: Where beneficiaries are other than natural persons, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

TRUST/ESTATE NAME: _____

NAME AND ADDRESS	Percentage of Interest
_____	_____
_____	_____
_____	_____
_____	_____

If a **PARTNERSHIP** owns or leases the subject property, list the principals including general and limited partners. [Note: Where partner(s) consist of other partnership(s), corporation(s), trust(s) or similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interests].

PARTNERSHIP OR LIMITED PARTNERSHIP NAME: _____

NAME AND ADDRESS	Percentage of Ownership
_____	_____
_____	_____
_____	_____
_____	_____

If there is a **CONTRACT FOR PURCHASE** by a Corporation, Trust or Partnership, list purchasers below including principal officers, stockholders, beneficiaries or partners. [Note: Where principal officers,

stockholders, beneficiaries or partners consist of other corporations, trusts, partnerships or similar entities, further disclosure shall be made to identify natural persons having ultimate ownership interests].

NAME OF PURCHASER: Lennar Homes, LLC, a Florida limited liability company

NAME AND ADDRESS (if applicable)	Percentage of Interest
<u>Lennar Corporation (NYSE:LEN – a publicly traded entity)*</u>	<u>99%</u>
<u>U.S. Home Corporation (a wholly owned subsidiary of Lennar Corporation)*</u>	<u>1%</u>

Date of contract: Confidential

If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership or trust:

NOTICE: For changes of ownership or changes in purchase contracts after the date of the application, but prior to the date of final public hearing, a supplemental disclosure of interest is required.

The above is a full disclosure of all parties of interest in this application to the best of my knowledge and belief.

Lennar Homes, LLC, a Florida limited liability company

By: _____
Print Name: Greg Marderson
Title: Vice President

Sworn to and subscribed before me this 20 day of February, 2025. Affiant is personally known to me or has produced _____ as identification.

[Signature]
(Notary Public)



My commission expires 10/06/2028

*Disclosure shall not be required of: 1) any entity, the equity interests in which are regularly traded on an established securities market in the United States or another country; or 2) pension funds or pension trusts of more than five thousand (5,000) ownership interests; or 3) any entity where ownership interests are held in a partnership, corporation or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership and where no one (1) person or entity holds more than a total of five per cent (5%) of the ownership interest in the partnership, corporation or trust. Entities whose ownership interests are held in a partnership, corporation, or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership, shall only be required to disclose those ownership interest which exceed five (5) percent of the ownership interest in the partnership, corporation or trust.

This instrument was prepared by:

Name: Hugo P. Arza, Esq.
Address: Holland & Knight LLP
701 Brickell Avenue Suite 3300
Miami, Florida 33131

(Space Reserved for Clerk of the Court)

DECLARATION OF RESTRICTIONS

WHEREAS, the undersigned DRP SOLARIS FL 1, LLC, a Delaware limited liability company (hereinafter, referred to as the "Owner"), holds fee simple title to that certain ±10.21 gross acre parcel of land, located generally south of SW 336th Street, north of SW 338th Street, east of SW 194th Avenue, and west of SW 192nd Avenue, in unincorporated Miami-Dade County (the "County"), and identified by the Property Appraiser's Office under Tax Folio Nos. 30-7823-002-0020, 30-7823-002-0025, and 30-7823-002-0030, which is legally described in **Exhibit "A"** attached hereto (hereinafter, referred to as the "Property"), which is supported by the Opinion of Title; and

WHEREAS, the Property is designated for "Low Density Residential with a DI-1 Density Increase" with urban design on the Land Use Plan (LUP) map of the County's Comprehensive Development Master Plan (CDMP), pursuant to Application No. 13 in the April 2006 Cycle ("CDMP Application No. 13"), and subject to a CDMP Declaration of Restrictions (the "CDMP Declaration") recorded in Official Records Book 25853, Pages 4309-4321, of the Public Records of Miami-Dade County, Florida, a copy of which is attached to this Declaration as Exhibit "B";

WHEREAS, the CDMP Declaration contains a workforce housing commitment to the effect that if the Property receives zoning approval for at least 90% of the Maximum Density for the properties described in the CDMP Declaration, a minimum of 20% of the residential dwelling units shall be set aside for sale or rent as Workforce Housing Units. In no event shall

Section-Township-Range: 23-57-38

Folio Number: 30-7823-002-0020, 30-7823-002-0025, and 30-7823-002-0030

less than 10% of the residential dwelling units be set aside for sale or rent as Workforce Housing Units.

WHEREAS, the Owner has filed a zoning application seeking zoning approvals to facilitate the future development of the Property with the Miami-Dade County Department of Regulatory and Economic Resources (the "Department"), which zoning application is pending under Public Hearing No. Z2025000149 (the "Application"), to facilitate the future residential development of the Property; and

WHEREAS, the Property's land use designation "Estate Density with a DI-1 Density Increase" would allow up to 13 dwelling units per gross acres, or the development of one hundred and thirty-three (133) dwelling units on the Property.

NOW, THEREFORE, IN ORDER TO ASSURE the County, that the representations made by the Owner during consideration of the Application will be abided by, the Owner freely, voluntarily and without duress makes the following Declaration of Restrictions (the "Declaration") covering and running with the Property:

1. **Recitals.** The foregoing recitals are true and correct and are incorporated herein.
2. **Residential Density Limit.** Notwithstanding the zoning district and land use designation of the Property, the maximum number of dwelling units permitted to be developed on the Property shall not exceed a total of one hundred six (106) single-family residential townhouse dwelling units ("Density Limitation"), including any workforce housing increase.
3. **Controlling Plans.** The Property shall be developed substantially in accordance with conceptual plans submitted in connection with the Application entitled "Reto West," with architectural plans prepared by Pascual Perez Kiliddjian Starr, Architects and Planners, with 23 sheets dated stamped received 8/27/2025 and 5 sheets dated stamped received 10/28/2025, landscape plans, prepared by Witkin Hults + Partners, dated stamped received 10/28/2025 and

consisting of 7 sheets, and civil plans prepared by Ford Engineers, Inc., dated stamped received 10/28/2025 and consisting of 3 sheets, for a total of 38 sheets, as may be modified at the public hearing (the "Plans").

4. **Workforce Housing.**

- (a) *Commitment.* If the Property receives zoning approval for at least 90% of the maximum density permitted under the approved CDMP designation (including applicable bonuses), a minimum of 20% of the residential dwelling units shall be set aside for sale or rent as Workforce Housing Units. In no event shall less than 10% of the residential dwelling units be set aside for sale or rent as Workforce Housing Units ("WHU").
- (b) *Definition.* A "Workforce Housing Unit" shall consist of residential dwelling units that are made available for sale or rent by the Owner to persons with a median family income that is 65% to 140% of the median family income in Miami-Dade County, as published annually by the U.S. Department of Housing and Urban Development (a "Qualified Purchaser").
- (c) *Distribution of Workforce Housing Units.* If pursuant to Section I(a) of this Declaration the Owner sets aside twenty percent (20%) of the residential dwelling units as Workforce Housing Units, then the Owner shall set aside twenty five percent (25%) of such Workforce Housing Units for sale or rent to persons with a median family income that is 65% to 105% of the median family income in Miami-Dade County, as published annually by the U.S. Department of Housing and Urban Development ("Moderate WHU").

(d) *Process.* Prior to obtaining the initial building permit for the construction of any residential dwelling unit (other than model homes) for the Property, the Owner shall submit a declaration of restrictions, in a form acceptable to the County, setting forth restrictions on the re-sale of such residential dwelling units consistent with the intent of maintaining such residential dwelling units as Workforce Housing Units for a period of twenty (20) years from the date of its initial sale. The Owner further agrees to grant to the County the right of first refusal to purchase any WHU in which a Qualified Purchaser cannot be located within two hundred and ten (210) days from the date the WHU is offered for sale, which right of first refusal must be exercised by the County within thirty (30) days of the County's receipt of notification that a Qualified Purchaser cannot be located as provided for herein. In the event a qualified purchaser cannot be located and the County does not exercise its right of first refusal, then the Owner may sell the WHU at market rate.

Miscellaneous

A. County Inspection. As further part of this Declaration, it is hereby understood and agreed that any official inspector of Miami-Dade County, or its agents duly authorized, may have the privilege at any time of entering and inspecting the use of the Property to determine whether or not the requirements of the building and zoning regulations and the conditions herein agreed to are being complied with.

B. Covenant Running with the Land. This Declaration on the part of the Owners shall constitute a covenant running with the land and shall be recorded, at Owners expense, in the public records of the County and shall remain in full force and effect and be binding upon the undersigned Owners, and its heirs, successors and assigns until such time as the same is modified or released. The restrictions

contained within this Declaration, while in effect, shall be for the benefit of, and constitute limitations upon, all present and future owners of the Property, and for the benefit of Miami-Dade County and the public welfare. The Owners, its heirs, successors and assigns, acknowledge that acceptance of this declaration does not in any way obligate or provide a limitation on the authority of the County.

C. Term. This Declaration is to run with the land and shall be binding on all parties and all persons claiming under it for a period of thirty (30) years from the date this Declaration is recorded, after which time it shall be extended automatically for successive periods of ten (10) years each, unless an instrument signed by the, then, owner(s) of the Property has been recorded agreeing to change this Declaration in whole, or in part, provided that the Declaration has first been modified or released by the County.

D. Modification. Amendment. Release. This Declaration may be modified, amended or released as to the Property, or any portion thereof, by a written instrument executed by the then-owner(s) of the property, including joinders of all mortgagees, if any, provided that the same is also approved by the Board of County Commissioners or Community Zoning Appeals Board of Miami-Dade County, Florida, whichever by law has jurisdiction over such matters, or the Director as provided by the Miami-Dade County Code of Ordinances. It is provided, however, in the event that the Property is annexed to an existing municipality or the Property is incorporated into a new municipality, any modification, amendment, or release shall not become effective until it is approved by such municipality and is thereafter approved by the Board of County Commissioners, in accordance with applicable procedures.

E. Enforcement. Enforcement shall be by action against any parties or person violating, or attempting to violate, any covenants set forth in this Declaration. The prevailing party in any action or suit pertaining to or arising out of this Declaration shall be entitled to recover, in addition to costs and disbursements allowed by law, such sum as the Court may adjudge to be reasonable for the services of his/her/its attorney. This enforcement provision shall be in addition to any other remedies available at law, in equity or both.

F. Authorization for Miami-Dade County to Withhold Permits and Inspections. In the event the terms of this Declaration are not being complied with, in addition to any other remedies available, the County is hereby authorized to withhold, in connection with the particular Parcel which is in default, any further permits, and refuse to make any inspections or grant any approvals with respect to the particular Parcel which is in default, until such time as this Declaration is complied with.

G. Election of Remedies. All rights, remedies and privileges granted herein shall be deemed to be cumulative and the exercise of any one or more shall neither be deemed to constitute an election of remedies, nor shall it preclude the party exercising the same from exercising such other additional rights, remedies, or privileges.

H. Presumption of Compliance. Where construction has occurred on the Property or any portion thereof, pursuant to a lawful permit issued by the County, and inspections made and approval of occupancy given by the County, then such construction, inspection and approval shall create a rebuttable presumption that the buildings or structures thus constructed comply with the intent and spirit of this Declaration.

I. Severability. Invalidation of any one of these covenants, by judgment of Court, shall not affect any of the other provisions which shall remain in full force and effect. However, if any material provision is invalidated, the County shall be entitled to revoke any approval predicated upon the invalidated provision.

J. Recording. This Declaration shall be filed of record in the public records of Miami-Dade County, Florida, at the cost of the Owner following the approval of the Application. This Declaration shall become effective immediately upon recordation. Notwithstanding the previous sentence, if any appeal is filed, and the disposition of such appeal results in the denial of the application, in its entirety, then this Declaration shall be null and void and of no further effect. Upon the disposition of an appeal that results in the denial of the Application, in its entirety, and upon written request, the Director of the Department of Regulatory and Economic Resources or the executive officer of the successor of said department, or in the

absence of such director or executive officer by her/his assistant in charge of the office in her/his absence, shall forthwith execute a written instrument, in recordable form, acknowledging that this Declaration is null and void and of no further effect.

K. Acceptance of Declaration. Acceptance of this Declaration does not obligate the County in any manner, nor does it entitle the Owner to a favorable recommendation or approval of any application, zoning or otherwise, and the County retains its full power and authority to deny each such application in whole or in part and to decline to accept any conveyance or dedication.

L. Owner. The term "Owner" shall include the Owner, and its heirs, successors, and assigns.

[Signature Pages Follow]

EXHIBIT "A"
LEGAL DESCRIPTION

Parcel One:

The North 1/2 of the South 1/2 of the NE 1/4 of the NE 1/4 of the SW 1/4 of Section 23, Township 57 South, Range 38 East; A/K/A The East 1/2 of the North 1/2 of Lot 2 of C.M. NELSON'S SUBDIVISION, according to the Plat thereof, as recorded in Plat Book 1, Page 163, of the Public Records of Miami-Dade County, Florida, less the East 43 feet for right-of-way.

Folio Number: 30-7823-002-0020

Parcel Two:

The South 1/2 of the NW 1/4 of the NE 1/4 of the SW 1/4 of Section 23, Township 57 South, Range 38 East; A/K/A The West 1/2 of Lot 2 of C.M. NELSON'S SUBDIVISION, according to the Plat thereof, as recorded in Plat Book 1, Page 163, of the Public Records of Miami-Dade County, Florida.

Folio Number 30-7823-002-0030

Parcel Three:

The South 1/4 of the NE 1/4 of the NE 1/4 of the SW 1/4 of Section 23, Township 57 South, Range 38 East, lying and being in Miami-Dade County, Florida.

A/K/A

The East 1/2 of the South 1/2 of Lot 2 of C.M. NELSON'S SUBDIVISION, according to the Plat thereof, as recorded in Plat Book 1, Page 163, of the Public Records of Miami-Dade County, Florida, less the East 43 feet for right-of-way.

Folio Number: 30-7823-002-0025

EXHIBIT "B"

**Declaration of Restrictions recorded in Official Records Book 25853, Pages 4309-4321, of
the Public Records of Miami-Dade County, Florida.**

H&K DRAFT / 12-21-2025

OPINION OF TITLE

To: MIAMI-DADE COUNTY

With the understanding that this Opinion of Title is furnished to Miami-Dade County, as an inducement for acceptance of a Covenant Running With the Land pursuant to Chapter 24, Code of Miami-Dade County, covering the real property, hereinafter described (the "Covenant") it is hereby certified that I have examined First American Title Insurance Company Title Search Report No. 110892718, covering the period from the beginning to the 8th day of September, 2025, at the hour of 8:00 a.m., inclusive, of the property described on Exhibit "A" hereto. I know of no reason that this Title Commitment is inaccurate or incomplete.

I am of the opinion that on the last mentioned date, the fee simple title to the above-described real property was vested in:

DRP SOLARIS FL 1, LLC, a Delaware limited liability company (the "Company")

Further, I am of the opinion that Houdin Honarvar and Marc Valdes as Authorized Signatories of the Company, are authorized to execute all documents on behalf of the Company. This is based solely on the State of Florida Division of Corporations' Sunbiz website.

Subject to the following encumbrances, liens, and other exceptions:

1. RECORDED MORTGAGES:

None.

2. RECORDED CONSTRUCTION LIENS, CONTRACT LIENS AND JUDGMENTS:

None.

3. GENERAL EXCEPTIONS:

1. All taxes for the year 2025 and subsequent years.
2. Rights of persons other than the above owners who are in possession.
3. Facts that would be disclosed upon accurate survey.
4. Any unrecorded labor, mechanics' or materialmen's liens.
5. Zoning and other restrictions imposed by governmental authority.

6. Any disputes as to the boundaries caused by a change in the location of any water body within or adjacent to the land and any adverse claim to all or part of the land that is or was previously under water.
7. Any lien provided by County Ordinance or by Chapter 159, Florida Statutes, in favor of any city, town, village or port authority for unpaid service charges for service by any water, sewer or gas system supplying the property.

4. **SPECIAL EXCEPTIONS:**

1. Plat of C.M. Nelson's Subdivision recorded in Plat Book 1, Page 163, of the Public Records of Miami-Dade County, Florida.
2. Declaration of Restrictions recorded in Official Records Book 25853, Page 4309, of the Public Records of Miami-Dade County, Florida.
3. Declaration of Restrictions in favor of School Board recorded in Official Records Book 26027, Page 3386, of the Public Records of Miami-Dade County, Florida.
4. Memorandum of Additional Purchase Price recorded in Official Records Book 34536, Page 1049, of the Public Records of Miami-Dade County, Florida.
5. Memorandum of Option Agreement recorded in Official Records Book 34608, Page 54, of the Public Records of Miami-Dade County, Florida.

NOTE: All references herein are to the Public Records of Miami-Dade County, Florida.

I HEREBY CERTIFY that I have reviewed all the aforementioned encumbrances and exceptions and that none of them hinder or affect the recording or enforcement of the Covenant.

Therefore, it is my opinion that the following parties must join in the Covenant in order to make the Covenant a valid and binding covenant on the lands described herein:

<u>Name</u>	<u>Interest</u>
DRP SOLARIS FL 1, LLC, a Delaware limited liability company	Owner

I HEREBY CERTIFY that the legal description contained in this Opinion of Title coincides with, and is the same as, the legal description in the proffered, recordable Covenant.

I, the undersigned, further certify that I am attorney-at-law duly admitted to practice in the State of Florida and a member in good standing of the Florida Bar.

Respectfully submitted this 18th day of September, 2025.



Jonathan S. Marcus
Florida Bar No. 333591
Holland & Knight LLP
P.O. Box 14070 (Zip Code 33302-4070)
515 East Las Olas Boulevard, Suite 1200
Fort Lauderdale, FL 33301
Telephone: (954) 468-7924

STATE OF FLORIDA

COUNTY OF BROWARD

The foregoing instrument was acknowledged before me by means of X physical presence or _____ online notarization, on this 18th day of September, 2025, by Jonathan S. Marcus, who is personally known to me.



Notary Public, State of Florida

EXHIBIT "A"

Parcel One:

The North 1/2 of the South 1/2 of the NE 1/4 of the NE 1/4 of the SW 1/4 of Section 23, Township 57 South, Range 38 East; A/K/A The East 1/2 of the North 1/2 of Lot 2 of C.M. NELSON'S SUBDIVISION, according to the Plat thereof, as recorded in Plat Book 1, Page 163 of the Public Records of Miami-Dade County, Florida, less the East 43 feet for right-of-way.

Folio Number: 30-7823-002-0020

Panel Two:

The South 1/2 of the NW 1/4 of the NE 1/4 of the SW 1/4 of Section 23, Township 57 South, Range 38 East; A/K/A The West 1/2 of Lot 2 of C.M. NELSON'S SUBDIVISION, according to the Plat thereof, as recorded in Plat Book 1, Page 163 of the Public Records of Miami-Dade County, Florida.

Folio Number 30-7823-002-0030

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A/K/A

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Folio Number: 30-7823--002-0025

RECEIVED

x

33596 Tower Road

Florida City, Florida



Apr 2023 See more dates



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33535 SW 154th Ave
Bonita Springs, Florida



May 2011

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33864 SW 172nd Ave
Florida City, Florida
Google Street View
Apr 2023 See more dates

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Preserve

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Navigation controls including a compass, a location pin, and zoom in (+) and zoom out (-) buttons.

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SW 340th St
Hornstead, Iowa
GeoEye Street View
Apr 2023 See more dates

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SW 340th St



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