



COMMUNITY ZONING APPEALS BOARD 8
HENRY REEVES ELEMENTARY SCHOOL
2005 NW 111 Street, Miami
Tuesday, March 2, 2010 at 7:00 p.m.

PREVIOUSLY DEFERRED

A.. 10-2-CZ8-2 HOUSES UNLIMITED, INC. 09-35 16-53-41

CURRENT

- 1. 10-3-CZ8-1 EMILIO SANCHEZ & MAGALY FONSECA 07-393 28-53-41 N
- 2. 10-3-CZ8-2 HOUSE OF MESSIAH INC 09-105 19-52-42 N
- 3. 10-3-CZ-8-3 MIAMI DADE PUBLIC HOUSING AGENCY 09-125 10-53-41 N
- 4. 10-3-CZ-8-4 MIAMI DADE PUBLIC HOUSING AGENCY 09-130 10-53-41 N

A. HOUSE UNLIMITED, INC.
(Applicant)

10-2-CZ8-2 (09-035)
Area 8/District 2
Hearing Date: 03/02/10

Property Owner (if different from applicant) **Same.**

Is there an option to purchase /lease the property predicated on the approval of the zoning request? Yes No

Disclosure of interest form attached? Yes No

Previous Zoning Hearings on the Property:

<u>Year</u>	<u>Applicant</u>	<u>Request</u>	<u>Board</u>	<u>Decision</u>
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NO HISTORY

Action taken today does not constitute a final development order, and one or more concurrency determinations will subsequently be required. Provisional determinations or listings of needed facilities made in association with this Initial Development Order shall not be binding with regard to future decisions to approve or deny an Intermediate or Final Development Order on any grounds.

**MIAMI-DADE COUNTY
COMMUNITY ZONING APPEALS BOARD - AREA 8
MOTION SLIP**

#2

APPLICANT'S NAME: **HOUSE UNLIMITED, INC.**

REPRESENTATIVE: Stephen Garcia Vidal and Mushtaq Mian

HEARING NUMBER	HEARING DATE	RESOLUTION NUMBER
10-2-CZ8-2 (09-035)	February 2 , 2010	CZAB8 10

REC: Denial without prejudice of request #1 and approval with conditions of request #2.

WITHDRAW: APPLICATION ITEM(S): _____
 DEFER: INDEFINITELY TO: March 2, 2010 W/LEAVE TO AMEND
 DENY: WITH PREJUDICE WITHOUT PREJUDICE
 ACCEPT PROFFERED COVENANT ACCEPT REVISED PLANS
 APPROVE: PER REQUEST PER DEPARTMENT PER D.I.C.
 WITH CONDITIONS
 OTHER: At the Board's request's for the applicant to clarify the issues of the application with staff.

TITLE	M/S	NAME	YES	NO	ABSENT
COUNCILMAN		Richard C. BROWN (C.A.)	X		
COUNCILMAN	M	Patrick CURE	X		
VICE CHAIR		Joy J. Davis	X		
COUNCILMAN	S	Arthemon JOHNSON	X		
COUNCIL WOMAN		Voncarol Yvette KINCHEN			X
COUNCILMAN		Fredericke Alan MORLEY			X
CHAIRMAN		Vernell EVERETT	X		
VOTE:			5	0	

EXHIBITS: YES NO

COUNTY ATTORNEY: NO ATTORNEY PRESENT

**MIAMI-DADE COUNTY DEPARTMENT OF PLANNING AND ZONING
RECOMMENDATION TO COMMUNITY COUNCIL No. 8**

APPLICANT: Houses Unlimited, Inc.

PH: Z09-035 (10-2-CZ8-2)

SECTION: 16-53-41

DATE: March 2, 2010

COMMISSION DISTRICT: 2

ITEM NO.: A

A. INTRODUCTION

o **REQUESTS:**

- (1) Applicant is requesting to permit a minimum 5' wide greenbelt (8' required) along the rights-of-way.
- (2) Applicant is requesting to waive the zoning regulations limiting the wall to a height of 4' within the required front and side street setback areas on a dual frontage lot; to permit a 8' high wall in lieu thereof.

Plans are on file and may be examined in the Department of Planning and Zoning entitled "Metal Movers, Inc.," as prepared by Eusebio M. Mora, Architect, Sheet "A-1", dated stamped received 7/8/09 and sheet "A-2" dated stamped received 7/30-09 for a total of 2 sheets last handwritten revision dated 12/11/09. Plans may be modified at public hearing.

o **SUMMARY OF REQUESTS:**

The applicant seeks to waive the required 8' wide greenbelt along the public rights-of-way of NW 67 Street and NW 68 Street and to exceed the wall height limitation within the required front (dual frontage lot) and side street setback areas.

o **LOCATION:** 6700 NW 32 Avenue, Miami-Dade County, Florida.

o **SIZE:** 0.85 Acre

B. ZONING HEARINGS HISTORY: None

C. COMPREHENSIVE DEVELOPMENT MASTER PLAN (CDMP):

1. The Adopted 2015 and 2025 Land Use Plan designates the subject property for **Industrial and Office** use. Industries, manufacturing operations, warehouses, mini-warehouses, office buildings, wholesale showrooms, distribution centers, merchandise marts and similar uses are permitted in areas designated as "Industrial and Office" on the LUP map. Also included are construction and utility-equipment maintenance yards, utility plants, public facilities, hospitals and medical buildings. Limited commercial uses to serve the firms and workers in the industrial and office area are encouraged, dispersed as small business districts and centers throughout the industrial areas. Hotels and motels are also authorized. Free-standing retail and personal service uses and shopping centers larger than 10 acres in size are prohibited in these areas because they

would deplete the industrial land supply and they are better located in commercially designated areas and in closer proximity to residential areas. Free-standing retail and personal service uses and shopping centers that are approved in Industrial and Office areas should front on major access roads, particularly near major intersections. In addition, uncommon commercial uses such as amusement uses, and others with unusual siting requirements may also be considered at appropriate locations. Quarrying activities and ancillary uses may also be approved in areas designated Industrial and Office where compatible with the surrounding area and environment. The specific range and intensity of uses appropriate in a particular Industrial and Office area vary by location as a function of the availability of public services and access and, among other factors, compatibility with neighboring development. Through the zoning review process, use of particular sites or areas may be limited to something less than the maximum allowed in this category. Moreover, special limitations may be imposed where necessary to protect environmental resources.

2. Policy LU-4A

When evaluating compatibility among proximate land uses, the County shall consider such factors as noise, lighting, shadows, glare, vibration, odor, runoff, access, traffic, parking, height, bulk, scale of architectural elements, landscaping, hours of operation, buffering, and safety, as applicable.

D. NEIGHBORHOOD CHARACTERISTICS:

<u>ZONING</u>	<u>LAND USE PLAN DESIGNATION</u>
<u>Subject Property:</u>	
IU-1; storage	Industrial and Office
<u>Surrounding Properties:</u>	
NORTH: IU-1; warehouses	Industrial and Office
SOUTH: IU-1; warehouses	Industrial and Office
EAST: BU-1, BU-1A; commercial	Business and Office
WEST: IU-1; warehouse	Industrial and Office

E. SITE AND BUILDINGS:

Site Plan Review:	(Site plan submitted)
Scale/Utilization of Site:	Acceptable
Location of Buildings:	Acceptable
Compatibility:	Acceptable
Landscape Treatment:	Unacceptable
Open Space:	Unacceptable
Buffering:	Acceptable
Access:	Acceptable
Parking Layout/Circulation:	Acceptable

Visibility/Visual Screening: **Acceptable**
Urban Design: **N/A**

F. PERTINENT REQUIREMENTS/STANDARDS:

Section 33-311(A)(4)(b) Non-Use Variances From Other Than Airport Regulations. Upon appeal or direct application in specific cases, the Board shall hear and grant applications for **non-use variances** from the terms of the zoning and subdivision regulations and may grant a non-use variance upon a showing by the applicant that the non-use variance maintains the basic intent and purpose of the zoning, subdivision and other land use regulations, which is to protect the general welfare of the public, particularly as it affects the stability and appearance of the community and provided that the non-use variance will be otherwise compatible with the surrounding land uses and would not be detrimental to the community. No showing of unnecessary hardship to the land is required.

G. NEIGHBORHOOD SERVICES:

DERM	No objection
Public Works	No objection
Parks	No objection
MDT	No objection
Fire Rescue	No objection
Police	No objection
Schools	No comment

H. ANALYSIS:

This application was deferred from the February 2, 2010 meeting by the CZAB 8 at the applicant's request. The subject property is located at 6700 NW 32 Avenue within an established industrial and commercial area. The Land Use Plan (LUP) map of the Comprehensive Development Master Plan (CDMP) designates this site for **Industrial and Office** use. Uses permitted in these areas are manufacturing operations, maintenance and repair facilities, warehouses, mini-warehouses, office buildings, wholesale showrooms, distribution centers, and similar uses are permitted in areas designated as "Industrial and Office" on the LUP map. The existing IU-1 zoning on the site allows the existing storage facility. As such, the subject property is **consistent** with the LUP map designation of the CDMP.

The Department of Environmental Resources Management (**DERM**) has **no objections** to this application and has indicated that it meets the minimum requirements of Chapter 24 of the Code of Miami-Dade County. The **Public Works Department** has **no objections** to this application and their memorandum indicates that this application meets the traffic concurrency criteria. The Miami-Dade Fire Rescue Department (**MDFR**) has **no objection** to this application and their memorandum indicates that the estimated average travel response time is **6:18** minutes.

When request #1 is analyzed under Section 33-311(A)(4)(b), the Non-Use Variance (NUV) standards, staff is of the opinion that approval of this request would be **incompatible** with the surrounding area, would be detrimental to the neighborhood, and would have a negative effect on the stability and appearance of the community. Staff notes that approval of request #1 will allow the applicant to waive a required 8' wide greenbelt along the right-of-way lines of NW 67 Street and NW 68 Street. Staff is of the opinion that the approval of a 5' wide greenbelt in lieu

of the required 8' wide greenbelt would not provide adequate buffering between the right-of-way line of the aforementioned streets since the applicant is also seeking to allow the storage of materials from within the aforementioned 8' high masonry concrete wall (request #2). Staff opines that it would be too intense and visually intrusive to allow the storage of materials only to within 5' from the aforementioned right-of-way lines. In addition staff notes that a 5' distance of such intense use to the existing sidewalks along the aforementioned rights-of-ways could create a safety hazard to pedestrians when loading and unloading materials being delivered and being picked up on the site. As such, staff is of the opinion, that request #1 is **incompatible** with the surrounding area and recommends denial without prejudice of same.

When request #2 is analyzed under Section 33-311(A)(4)(b), the Non-Use Variance (NUV) standards, staff is of the opinion that approval of this request would be **compatible** with the surrounding area, would not be detrimental to the neighborhood, and would not have a negative effect on the stability and appearance of the community. Staff notes that approval of request #2 will allow the applicant to erect a proposed 8' high masonry concrete wall to encroach into the front (north and south) and side street (east) setback areas. Staff notes that the surrounding area is mostly developed with warehouse uses, storage yards, and some commercial uses across the street which are similar to the use being conducted on the subject property. However, staff recommends approval of this request with the condition that the landscaped area along the rights-of-way be properly maintained and that a hedge be provided within the required 8' wide greenbelt between the right-of-way and the proposed 8' high masonry concrete wall. Additionally, staff recommends that the site be used only for the storage of bundled material and that no dismantling or sorting of material be conducted on site. Staff also recommends the approval of request #2 with a condition that the applicant properly maintains the aforementioned hedge within the required 8' wide greenbelt along the right-of-way line of NW 67 Street, NW 68 Street and NW 32 Avenue. As such, staff is of the opinion that request #2 is **compatible** with the surrounding area and recommends approval with conditions of same.

I. RECOMMENDATION:

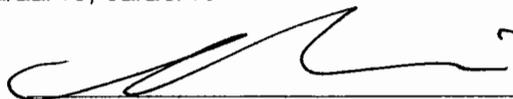
Denial without prejudice of request #1 and approval with conditions of request #2.

J. CONDITIONS: (for request #2 only).

1. That a site plan be submitted to and meet with the approval of the Director upon the submittal of an application for a building permit and/or Certificate of Use; said plan to include among other things but not be limited thereto, location of structure or structures, types, sizes and location of signs, light standards, off-street parking areas, exits and entrances, drainage, walls, fences, landscaping, etc.
2. That in the approval of the plan, the same be substantially in accordance with that submitted for the hearing entitled "Metal Movers, Inc.," as prepared by Eusebio M. Mora, Architect, Sheet "A-1", dated stamped received 7/8/09 and sheet "A-2" dated stamped received 7/30-09 for a total of 2 sheets last handwritten revision dated 12/11/09, except as amended to show the required 8' wide greenbelt and hedge along NW 67 Street, NW 68 Street and NW 32 Avenue.
3. That the use be established and maintained in accordance with the approved plan.

4. That the applicant submit to the Department for its review and approval a landscaping plan which indicates the type and size of plant material prior to the issuance of a building permit and to be installed prior to the issuance of a Certificate of Use.
5. That a continuous hedge not less than 3' high at the time of planting, which shall grow to and be maintained at a height of 8' be provided within the required 8' wide greenbelt along the right-of-way lines of NW 67 Street, NW 68 Street and NW 32 Avenue penetrated only at approved points for ingress and egress to the property.
6. That the material being stored on the site be delivered to the site in bundles or prepackaged and that no sorting of material be conducted on the premises.
7. That the applicant obtain a Certificate of Use from, and promptly renew the same annually with, the Department, upon compliance with all terms and conditions, the same subject to cancellation upon violation of any of the conditions.

DATE INSPECTED: 12/10/09
DATE TYPED: 12/10/09
DATE REVISED: 12/11/09; 12/21/09; 02/22/10; 02/23/10
DATE FINALIZED: 02/23/10
MCL:GR:NN:CH:TA



Marc C. LaFerrier, AICP, Director
Miami-Dade County Department of
Planning and Zoning

J.V.
GR

Memorandum



Date: April 14, 2009

To: Marc C. LaFerrier, AICP, Director
Department of Planning and Zoning

From: Jose Gonzalez, P.E., Assistant Director
Environmental Resources Management

A handwritten signature in black ink, appearing to read "Jose Gonzalez", written over the printed name in the "From:" field.

Subject: C-08 #Z2009000035
Houses Unlimited, Inc.
6700 N.W. 32 Avenue
Request to Permit the Landscape Buffer along a Right-of-Way to be Less
than Required
(IU-1) (.84 Acres)
16-53-41

The Department of Environmental Resources Management (DERM) has reviewed the subject application and has determined that it meets the minimum requirements of Chapter 24 of the Code of Miami-Dade County, Florida (the Code). Accordingly, DERM may approve the application, and the same may be scheduled for public hearing.

DERM has no pertinent comments regarding this application since the request does not entail any environmental concern.

Enforcement History

DERM has found no open or closed enforcement records for the subject property.

Concurrency Review Summary

DERM has conducted a concurrency review for this application and has determined that the same meets all applicable Level of Service (LOS) standards for an initial development order, as specified in the adopted Comprehensive Development Master Plan for potable water supply, wastewater disposal, and flood protection. Therefore, the application has been approved for concurrency subject to the comments and conditions contained herein.

This concurrency approval does not constitute a final concurrency statement and is valid only for this initial development order, as provided for in the adopted methodology for concurrency review. Additionally, this approval does not constitute any assurance that the LOS standards would be met by any subsequent development order applications concerning the subject property.

This memorandum shall constitute DERM's written approval, as required by the Code.

If you have any questions concerning the comments, or wish to discuss this matter further, please contact Enrique A. Cuellar at (305) 372-6764.

PUBLIC WORKS DEPARTMENT COMMENTS

Applicant's Names: HOUSES UNLIMITED, INC.

This Department has no objections to this application.

Additional improvements may be required at time of permitting.

This project meets traffic concurrency because it lies within the urban infill area where traffic concurrency does not apply.



Raul A Pino, P.L.S.

07-APR-09

Memorandum



Date: 11-DEC-09
To: Marc LaFerrier, Director
 Department of Planning and Zoning
From: Herminio Lorenzo, Fire Chief
 Miami-Dade Fire Rescue Department
Subject: Z2009000035

Fire Prevention Unit:

This memo supersedes MDRF memorandum dated May 16, 2009.
 APPROVAL
 No objections to site plan date stamped July 8, 2009, with handwritten corrections dated July 7, 2009.

Service Impact/Demand

Development for the above - Z2009000035
 located at 6700 N.W. 32 AVENUE, MIAMI-DADE COUNTY, FLORIDA.
 in Police Grid 0860 is proposed as the following:

N/A <u>residential</u>	dwelling units	N/A <u>industrial</u>	square feet
N/A <u>Office</u>	square feet	42,236 <u>institutional</u>	square feet
N/A <u>Retail</u>	square feet	N/A <u>nursing home/hospitals</u>	square feet

Based on this development information, estimated service impact is: 1.86 alarms-annually.
 The estimated average travel time is: 6:18 minutes

Existing services

The Fire station responding to an alarm in the proposed development will be:
 Station 2 - Model Cities - 6460 NW 27 Avenue.
 Rescue, BLS 65' Aerial, Squad, Battalion.

Planned Service Expansions:

The following stations/units are planned in the vicinity of this development:
 None.

Fire Planning Additional Comments

Current service impact calculated based on plan date stamped July 8, 2009. Substantial changes to the plan will require additional service impact analysis.

For information regarding the aforementioned comments, please contact the Miami-Dade Fire Rescue Department Planning Section at 786-331-4540.

10

DATE: 24-DEC-09
REVISION 1

BUILDING AND NEIGHBORHOOD
COMPLIANCE DEPARTMENT

ENFORCEMENT HISTORY OF VIOLATIONS OF CHAPTER 19 AND
CHAPTER 33 OF THE MIAMI-DADE COUNTY CODE

HOUSES UNLIMITED, INC.

6700 N.W. 32 AVENUE, MIAMI-
DADE COUNTY, FLORIDA.

APPLICANT

ADDRESS

Z2009000035

HEARING NUMBER

HISTORY:

CURRENT ENFORCEMENT HISTORY:

Case #200904010167 was opened based on enforcement history request and inspected on 12/24/09. No violation observed and case closed.

**OUTSTANDING FINES, PENALTIES, COST OR LIENS
INCURRED PURSUANT TO CHAPTER 8CC:**

REPORTER NAME:

Belinda Brown

DISCLOSURE OF INTEREST*

If a CORPORATION owns or leases the subject property, list principal stockholders and percent of stock owned by each. [Note: Where principal officers or stockholders consist of other corporation(s), trust(s), partnership(s) or other similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

CORPORATION NAME: Houses Unlimited, Inc.

<u>NAME AND ADDRESS</u>	<u>Percentage of Stock</u>
<u>Mushtaq Mian</u>	<u>100%</u>
<u>4851 NW 103rd Ave, Suite 446</u>	
<u>Sunrise, Florida 33351</u>	

If a TRUST or ESTATE owns or leases the subject property, list the trust beneficiaries and the percent of interest held by each. [Note: Where beneficiaries are other than natural persons, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

TRUST/ESTATE NAME _____

<u>NAME AND ADDRESS</u>	<u>Percentage of Interest</u>
_____	_____
_____	_____
_____	_____
_____	_____

If a PARTNERSHIP owns or leases the subject property, list the principals including general and limited partners. [Note: Where the partner(s) consist of another partnership(s), corporation(s), trust(s) or other similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

PARTNERSHIP OR LIMITED PARTNERSHIP NAME: _____

<u>NAME AND ADDRESS</u>	<u>Percentage of Ownership</u>
_____	_____
_____	_____
_____	_____
_____	_____

RECEIVED
M-209035
MAR 16 2009
ZONING HEARINGS SECTION
MIAMI-DADE PLANNING AND ZONING DEPT.
BY: _____

If there is a CONTRACT FOR PURCHASE, by a Corporation, Trust or Partnership list purchasers below, including principal officers, stockholders, beneficiaries or partners. [Note: Where principal officers, stockholders, beneficiaries or partners consist of other corporations, trusts, partnerships or other similar

entities, further disclosure shall be made to identify natural persons having the ultimate ownership interests].

NAME OF PURCHASER: _____

NAME, ADDRESS AND OFFICE (if applicable)	Percentage of Interest
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

Date of contract: _____

If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership or trust.

_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

NOTICE: For any changes of ownership or changes in purchase contracts after the date of the application, but prior to the date of final public hearing, a supplemental disclosure of interest is required.

The above is a full disclosure of all parties of interest in this application to the best of my knowledge and belief.

Signature: [Signature]
(Applicant)
as President of Houses Unlimited, Inc.

Sworn to and subscribed before me this 2nd day of February, 2009. Affiant is personally know to me or has produced _____ as identification.

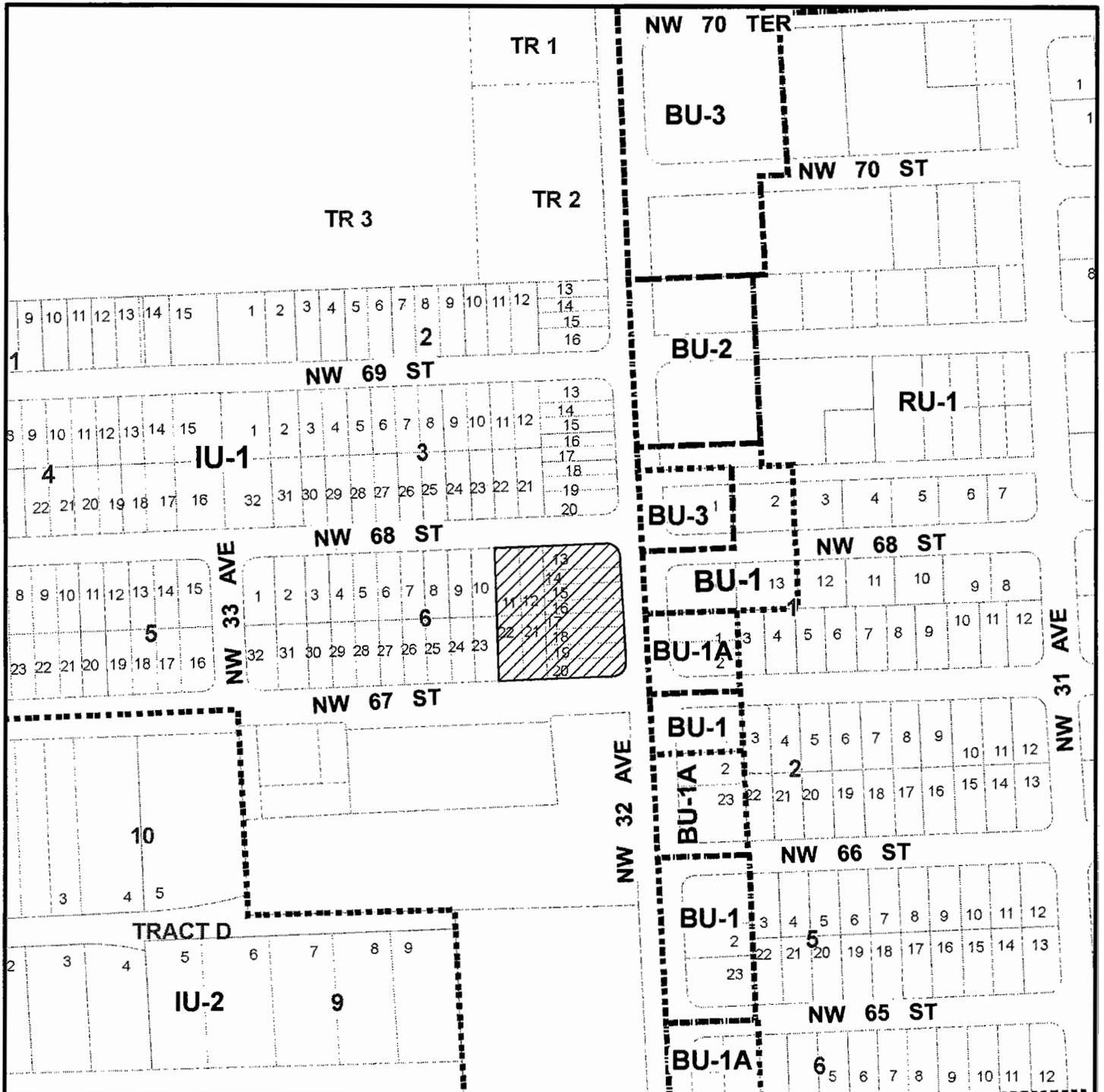
(Notary Public)

NOTARY PUBLIC-STATE OF FLORIDA
Stephen Raoul Garcia-Vidal
Commission # DD461819
Expires: OCT. 01, 2009
Bonded thru Atlantic Bonding Co., Inc. Seal

My commission expires: _____

*Disclosure shall not be required of: 1) any entity, the equity interests in which are regularly traded on an established securities market in the United States or another country; or 2) pension funds or pension trusts of more than five thousand (5,000) ownership interests; or 3) any entity where ownership interests are held in a partnership, corporation or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership and where no one (1) person or entity holds more than a total of five per cent (5%) of the ownership interest in the partnership, corporation or trust. Entities whose ownership interests are held in a partnership, corporation, or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership, shall only be required to disclose those ownership interest which exceed five (5) percent of the ownership interest in the partnership, corporation or trust.

MAR 16 2009
ZONING HEARINGS SECTION
MIAMI-DADE PLANNING AND ZONING DEPT

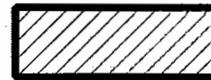


**MIAMI-DADE COUNTY
HEARING MAP**

Section: 16 Township: 53 Range: 41
 Applicant: HOUSES UNLIMITED ,INC
 Zoning Board: C08
 Commission District: 02
 Drafter ID: JEFFER
 Scale: NTS
 ----- Zoning

Process Number

09-035

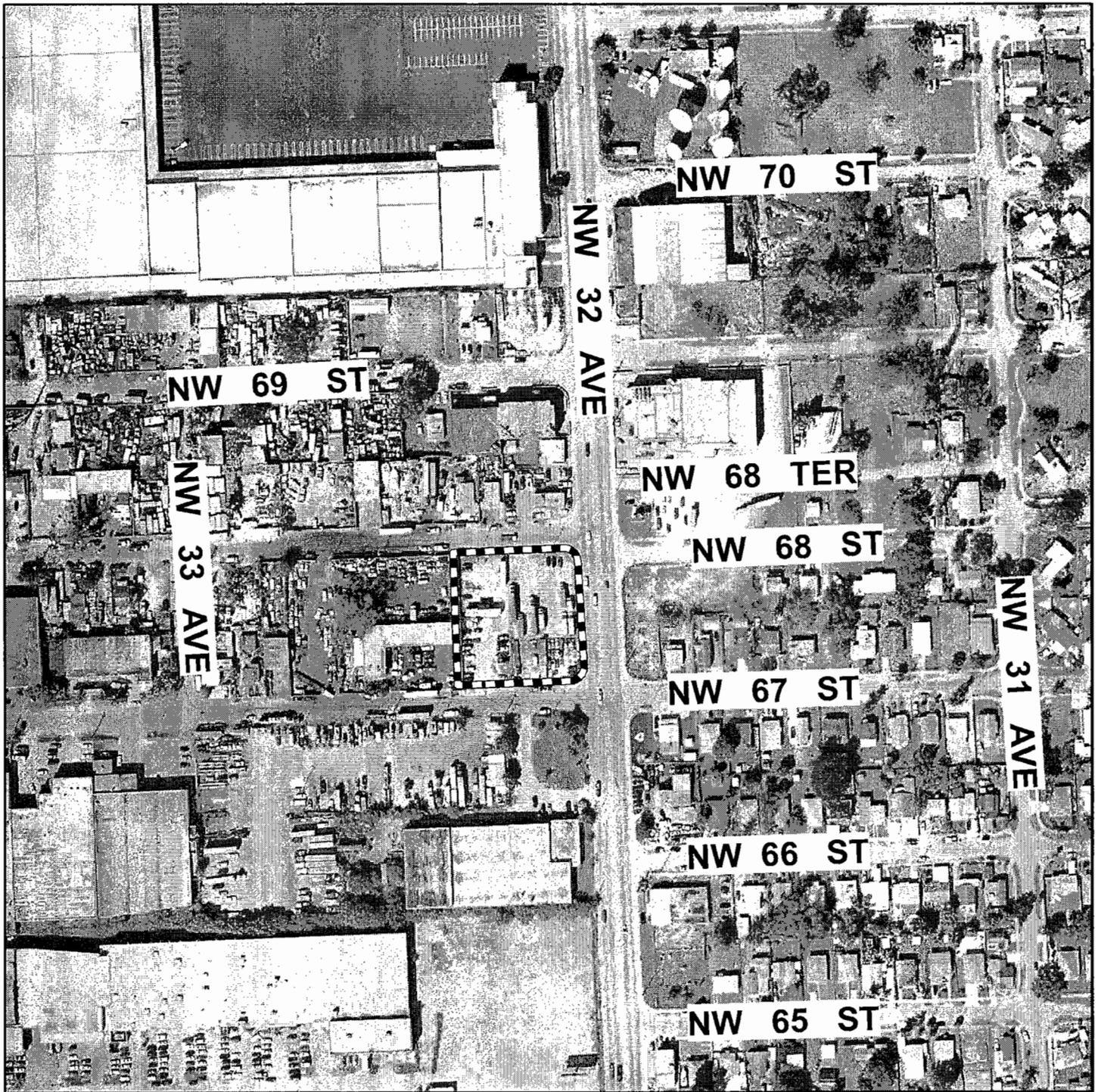


SUBJECT PROPERTY



SKETCH CREATED ON: 03/20/09

REVISION	DATE	BY
		17



MIAMI-DADE COUNTY
AERIAL YEAR 2008

Process Number
09-035

Section: 16 Township: 53 Range: 41
 Applicant: HOUSES UNLIMITED ,INC
 Zoning Board: C08
 Commission District: 02
 Drafter ID: JEFFER
 Scale: NTS
 ----- Zoning



SUBJECT PROPERTY



SKETCH CREATED ON: 03/20/09

REVISION	DATE	BY

1. EMILIO SANCHEZ & MAGALY FONSECA
(Applicant)

10-3-CZ8-1 (07-393)
Area 8/District 2
Hearing Date: 03/02/10

Property Owner (if different from applicant) **Same.**

Is there an option to purchase /lease the property predicated on the approval of the zoning request? Yes No

Disclosure of interest form attached? Yes No

Previous Zoning Hearings on the Property:

<u>Year</u>	<u>Applicant</u>	<u>Request</u>	<u>Board</u>	<u>Decision</u>
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NO HISTORY

Action taken today does not constitute a final development order, and one or more concurrency determinations will subsequently be required. Provisional determinations or listings of needed facilities made in association with this Initial Development Order shall not be binding with regard to future decisions to approve or deny an Intermediate or Final Development Order on any grounds.

**MIAMI-DADE COUNTY DEPARTMENT OF PLANNING AND ZONING
RECOMMENDATION TO COMMUNITY COUNCIL No. 8**

APPLICANTS: Emilio Sanchez and Magaly Fonseca

PH: Z07-393 (10-3-CZ8-1)

SECTION: 28-53-41

DATE: March 2, 2010

COMMISSION DISTRICT: 2

ITEM NO.: 1

=====

A. INTRODUCTION

o **REQUESTS:**

- (1) RU-3B to IU-1
- (2) Applicants are requesting to permit an existing building setback 4.75' (20' required) from the rear (north) property line, setback 3.75' (5' required) from the interior side (east) property line and setback 3.75' (5' required) from the interior side (west) property line.
- (3) Applicants are requesting to waive the required 8' wide, continuous, densely planted greenbelt along the rear (north) property line which abuts a residential zoning district.

Plans are on file and may be examined in the Zoning Department entitled "Owner: Emilio Sanchez Proposed IU-1 Change," as prepared by Charles C. Mitchell, P. E., Sheet "A-2", dated stamped received 2/23/09 and Sheet "LSP" dated stamped received 5/20/09, both sheets last handwritten 01/26/10 for a total of 2 sheets. Plans may be modified at public hearing.

- o **SUMMARY OF REQUESTS:** The applicants seek to change the zoning on the subject property from RU-3B, Bungalow Court District, to IU-1, Light Manufacturing Industrial District. Additionally, the applicants are seeking to legalize the rear and both interior side setbacks of the existing building on the site and to waive the landscape regulations requiring an 8' wide landscape buffer along the rear property line which abuts residentially zoned property.

- o **LOCATION:** 3221 N.W. 30 Street, Miami-Dade County, Florida.

- o **SIZE:** 50' x 135'

B. ZONING HEARINGS HISTORY: None.

C. COMPREHENSIVE DEVELOPMENT MASTER PLAN (CDMP):

1. The Adopted 2015 and 2025 Land Use Plan designates the subject property for **Industrial and Office** use. Manufacturing operations, maintenance and repair facilities, warehouses, mini-warehouses, office buildings, wholesale showrooms, distribution centers, and similar uses are permitted in areas designated as "Industrial and Office" on the LUP map. Also included are construction and utility-equipment maintenance yards, utility plants, public facilities, hospitals and medical buildings. The full range of telecommunication facilities, including switching and transmission facilities, satellite telecommunications facilities, microwave towers, radar stations and

cell towers is also allowed. Very limited commercial uses to serve the firms and workers in the industrial and office area are allowed dispersed as small business districts and centers throughout the industrial areas. Hotels and motels are also authorized. Freestanding retail and personal service uses and shopping centers larger than 10 acres in size are prohibited in these areas because they would deplete the industrial land supply and they are better located in commercially designated areas and in closer proximity to residential areas. Freestanding retail and personal service uses and shops that are approved in Industrial and Office areas should front on major access roads, particularly near major intersections. In addition, uncommon commercial uses such as amusement uses, and others with unusual siting requirements may also be considered at appropriate locations. Quarrying activities and ancillary uses may also be approved in areas designated Industrial and Office where compatible with the surrounding area and environment. The specific range and intensity of uses appropriate in a particular Industrial and Office area vary by location as a function of the availability of public services and access and, among other factors, compatibility with neighboring development. Through the zoning review process, use of particular sites or areas may be limited to something less than the maximum allowed in this category. Moreover, special limitations may be imposed where necessary to protect environmental resources.

D. NEIGHBORHOOD CHARACTERISTICS:

<u>ZONING</u>	<u>LAND USE PLAN DESIGNATION</u>
<u>Subject Property:</u>	
RU-3B; warehouse	Industrial and Office
<u>Surrounding Properties:</u>	
NORTH: RU-2; warehouse	Industrial and Office
SOUTH: IU-1; warehouses	Industrial and Office
EAST: BU-1A; office	Industrial and Office
WEST: IU-1; warehouse	Industrial and Office

The subject property consists of an interior lot located at 3221 N.W. 30 Street. The area where the subject property lies is predominantly characterized by industrial uses such as warehouses, offices and some retail uses.

E. SITE AND BUILDINGS:

Site Plan Review:	(Plans submitted)
Scale/Utilization of Site:	Acceptable
Location of Buildings:	Acceptable
Compatibility:	Acceptable
Landscape Treatment:	Acceptable
Open Space:	Acceptable

Buffering:	Acceptable
Access:	Acceptable
Parking Layout/Circulation:	Acceptable
Visibility/Visual Screening:	Acceptable
Urban Design:	N/A

F. PERTINENT REQUIREMENTS/STANDARDS:

In evaluating an application for a **district boundary change**, **Section 33-311** provides that the Board shall take into consideration, among other factors the extent to which:

- (1) The development permitted by the application, if granted, conforms to the Comprehensive Development Master Plan for Miami-Dade County, Florida; is consistent with applicable area or neighborhood studies or plans, and would serve a public benefit warranting the granting of the application at the time it is considered;
- (2) The development permitted by the application, if granted, will have a favorable or unfavorable impact on the environmental and natural resources of Miami-Dade County, including consideration of the means and estimated cost necessary to minimize the adverse impacts; the extent to which alternatives to alleviate adverse impacts may have a substantial impact on the natural and human environment; and whether any irreversible or irretrievable commitment of natural resources will occur as a result of the proposed development;
- (3) The development permitted by the application, if granted, will have a favorable or unfavorable impact on the economy of Miami-Dade County, Florida;
- (4) The development permitted by the application, if granted, will efficiently use or unduly burden water, sewer, solid waste disposal, recreation, education or other necessary public facilities which have been constructed or planned and budgeted for construction;
- (5) The development permitted by the application, if granted, will efficiently use or unduly burden or affect public transportation facilities, including mass transit, roads, streets and highways which have been constructed or planned and budgeted for construction, and if the development is or will be accessible by public or private roads, streets or highways.

Section 33-311(A)(4)(b) Non-Use Variances From Other Than Airport Regulations.

Upon appeal or direct application in specific cases, the Board shall hear and grant applications for non-use variances from the terms of the zoning and subdivision regulations and may grant a non-use variance upon a showing by the applicant that the non-use variance maintains the basic intent and purpose of the zoning, subdivision and other land use regulations, which is to protect the general welfare of the public, particularly as it affects the stability and appearance of the community and provided that the non-use variance will be otherwise compatible with the surrounding land uses and would not be detrimental to the community. No showing of unnecessary hardship to the land is required.

G. NEIGHBORHOOD SERVICES:

DERM	No objection*
Public Works	No objection
Parks	No objection
MDT	No objection
Fire Rescue	No objection
Police	No objection
Schools	No objection

*Subject to the conditions indicated in their memorandum.

H. ANALYSIS:

The subject property consists of an interior lot located at 3221 N.W. 30 Street. The area where the subject property lies is predominantly characterized by industrial uses such as warehouses, offices and some retail uses. The applicants seek to change the zoning on the subject property from RU-3B, Bungalow Court District, to IU-1, Light Manufacturing Industrial District. Additionally, the applicants are seeking to legalize the rear and interior side setbacks of the existing building on the site and to waive the landscape regulations requiring an 8' wide continuously densely planted greenbelt along the rear (north) property line which abuts residentially zoned property. The approval of this application will allow the applicants to utilize the subject property as permitted under the IU-1 Zoning regulations. The Land Use Plan (LUP) map of the Comprehensive Development Master Plan (CDMP) designates this site for **Industrial and Office** use. Uses permitted in these areas are manufacturing operations, maintenance and repair facilities, warehouses, mini-warehouses, office buildings, wholesale showrooms, distribution centers, and similar uses are permitted in areas designated as "Industrial and Office" on the LUP map. The proposed IU-1 zoning on the site would legalize the warehouse use. As such, the warehouse building on the subject property is **consistent** with the LUP map designation of the CDMP. Existing uses already occurring in the area include primarily warehouse facilities, maintenance and repair facilities, and other uses which are permitted uses in the Industrial District. Therefore, the applicant's request to rezone the property from RU-3B, Bungalow Court District, to IU-1, Light Manufacturing Industrial District, is **consistent** with the goals and objectives of the CDMP and consistent with the development trend toward industrial uses in the area.

The Department of Environmental Resources Management (**DERM**) has **no objections** to this application and has indicated that it meets the minimum requirements of Chapter 24 of the Code of Miami-Dade County. However, the applicants will have to comply with all DERM conditions as set forth in their memorandum pertaining to this application. The **Public Works Department** also has **no objections** to this application. The Miami-Dade Fire Rescue Department (**MDFR**) does not object to this application and their memorandum indicates that the estimated average travel response time is **7:24** minutes.

When considering district boundary changes, the Board shall hear and grant or deny applications by taking into consideration if the proposed development will have a favorable or unfavorable impact on the environmental and natural resources of Miami-Dade County, including consideration of the means and estimated cost necessary to minimize the adverse impacts, the extent to which alternatives to alleviate adverse impacts may have a substantial impact on the natural and human environment, and whether any irreversible or irretrievable

commitment of natural resources will occur as a result of the proposed development. The Board shall consider if the development will have a favorable or unfavorable impact on the economy of Miami-Dade County, if it will efficiently utilize or unduly burden water, sewer, solid waste disposal, recreation, education, public transportation facilities which have been constructed or planned and budgeted for construction, and if the development is or will be accessible by public or private roads, streets or highways. Staff opines that the rezoning of the subject site to IU-1 will not have an unfavorable impact on the environment based upon the recommendation issued by the Department of Environmental Resources Management (DERM) pursuant to their memorandum pertaining to this application. The development of the subject property will not have an unfavorable economic impact on Miami-Dade County and will not unduly burden water, sewer, solid waste disposal, or other necessary public facilities. It should be noted that the subject site is one of three remnant residentially zoned parcels found within the industrially zoned area located west of NW 32 Avenue. As such, staff opines that the approval of IU-1 zoning would be in keeping with the character of the surrounding industrial uses in the area, and therefore, would be **compatible** with same and **consistent** with the Industrial and Office land use designation of the CDMP. As such, staff recommends approval of the district boundary change from RU-3B to IU-1.

When requests #2 and #3 are analyzed under the Non-Use Variance (NUV) Standards, Section 33-311(A)(4)(b), staff is of the opinion that the approval of these requests would be **compatible** with the surrounding area and would not negatively affect the appearance of the community. As previously mentioned, the applicants are seeking to legalize the existing building on the site which was originally a single-family residence and has since been converted into a warehouse for the storage of roofing supplies and equipment. The existing building is setback 4.75' from the rear (north) property line, where 20' is required, and is setback 3.75' from the interior side (east and west) property lines where 5' is required. Staff acknowledges that the rear portion of the property located immediately to the north of the subject site is zoned RU-2, however the front portion of said site is zoned BU-1A and is developed with a commercial use. Moreover, staff notes that the submitted plans illustrate a 8' high CBS wall along the rear (north) property line. As such, staff opines that the requested relief of rear setback requirements would not be aurally or visually intrusive to the RU-2 zoned property located to the north of the site. Staff is of the opinion that the 1.25' encroachments into the required 5' interior side (east and west) setback areas are not intrusive to the existing office use located to the east of the site or to the existing warehouse use located to the west of the site. Moreover, staff notes that the submitted plans illustrate a 6' high CBS wall along portions of both interior side (east and west) property lines that coincide with the existing building. As such staff recommends approval with conditions of request #2. Request #3 seeks to waive the required 8' wide, continuous, densely planted greenbelt along the rear (north) property line which abuts a residential zoning district. As previously mentioned, staff notes that the property to the north of the subject site features RU-2 zoning towards the rear of the site which abuts the subject property and BU-1A zoning towards the front portion of the site which fronts on NW 32 Avenue. The site to the north of the subject site is developed with a commercial use, thus rendering the rear, RU-2 zoned portion of that site a remnant residentially zoned property that is surrounded by industrial and commercial development. Therefore, staff opines that the requested waiver of the required landscaped greenbelt along the rear (north) property line would not cause a negative impact to the commercial development located to the north of the subject site. Additionally, staff's review of the submitted plans indicate that the applicant is providing abundant landscaping in the form of a 21.33' landscaped greenbelt along the right-of-way of NW 30 Street and street trees which will enhance the aesthetic quality of the facade of the

site. In staff's opinion the ample greenbelt along NW 30 Street and street trees compensate for the requested waiver of the greenbelt along the rear (north) property line. As such, staff recommends approval with conditions of request #3.

I. RECOMMENDATION:

Approval of request #1 and approval with conditions of requests #2 and #3.

J. CONDITIONS: For requests #2 and #3 only.

1. That a site plan be submitted to and meet with the approval of the Director upon the submittal of an application for a building permit and/or Certificate of Use; said plan to include among other things but not be limited thereto, location of structure or structures, types, sizes and location of signs, light standards, off-street parking areas, exits and entrances, drainage, walls, fences, landscaping, etc.
2. That in the approval of the plan, the same be substantially in accordance with that submitted for the hearing entitled "Owner: Emilio Sanchez Proposed IU-1 Change," as prepared by Charles C. Mitchell, P. E., Sheet "A-2", dated stamped received 2/23/09 and Sheet "LSP" dated stamped received 5/20/09, both sheets last handwritten 01/26/10 for a total of 2 sheets.
3. That the use be established and maintained in accordance with the approved plan.
4. That the applicants submit to the Department for its review and approval a landscaping plan which indicates the type and size of plant material prior to the issuance of a building permit and to be installed prior to the issuance of a Certificate of Use.
5. That the applicants obtain an annually renewable Certificate of Use from the Department, upon compliance with all terms and conditions, the same subject to cancellation upon violation of any of the conditions.
6. That the applicants comply with all the conditions and requirements of the Department of Environmental Resources Management (DERM) as contained in their Memorandum pertaining to this application.

DATE TYPED: 01/19/10
DATE REVISED: 01/26/10; 02/02/10; 02/22/10
DATE FINALIZED: 02/22/10
MCL:GR:NN:TA:JV:NC



Marc C. LaFerrier, AICP, Director
Miami-Dade County Department of
Planning and Zoning

J.V.
GR

Memorandum



Date: December 20, 2007

To: Subrata Basu, AIA, AICP, Interim Director
Department of Planning and Zoning

From: Jose Gonzalez, P.E., Assistant Director
Environmental Resources Management 

Subject: C-08 #Z2007000393
Emilio Sanchez and Magaly Fonseca
3221 N.W. 30th Street
District Boundary Change from RU-3B to IU-1
(RU-3B) (0.15 Acres)
28-53-41

The Department of Environmental Resources Management (DERM) has reviewed the subject application and has determined that it meets the minimum requirements of Chapter 24 of the Code of Miami-Dade County, Florida (the Code). Accordingly, DERM may approve the application, and the same may be scheduled for public hearing.

Potable Water Service and Wastewater Disposal

Public water and public sanitary sewers can be made available to the subject property. Therefore, connection of the proposed development to the public water supply system and sanitary sewer system shall be required in accordance with Code requirements.

Existing public water and sewer facilities and services meet the Level of Service (LOS) standards set forth in the Comprehensive Development Master Plan (CDMP). Furthermore, the proposed development order, if approved, will not result in a reduction in the LOS standards subject to compliance with the conditions required by DERM for this proposed development order.

Notwithstanding the foregoing, and in light of the fact that the County's sanitary sewer system has limited sewer collection, transmission, and treatment capacity, no new sewer service connections can be permitted, unless there is adequate capacity to handle the additional flows that this project would generate. Consequently, final development orders for this site may not be granted if adequate capacity in the system is not available at the point in time when the project will be contributing sewage to the system. Lack of adequate capacity in the system may require the approval of alternative means of sewage disposal. Use of an alternative means of sewage disposal may only be granted in accordance with Code requirements, and shall be an interim measure, with connection to the public sanitary sewer system required upon availability of adequate collection/transmission and treatment capacity.

Stormwater Management

All stormwater shall be retained on-site utilizing properly designed seepage or infiltration drainage structures. Drainage plans shall provide for full on-site retention of the stormwater runoff of a 5-year/1-day storm event.

Site grading and development shall comply with the requirements of Chapter 11C of the Code.

Any proposed development shall comply with County and Federal flood criteria requirements. The proposed development order, if approved, will not result in a reduction in the LOS standards for flood protection set forth in the CDMP, subject to compliance with the conditions required by DERM for this proposed development order.

Hazardous Materials Management

Due to the nature of uses allowed in the proposed zoning classification, the applicant may be required to obtain DERM approval for management practices to control the potential discharge and spillage of pollutants associated with some land uses permitted in the requested zoning district. The applicant is advised to contact the Permitting Section of DERM's Pollution Regulation and Enforcement Division, at (305) 372-6600 concerning permitting requirements for fuel storage facilities.

Operating Permits

Section 24-18 of the Code authorizes DERM to require operating permits from facilities that could be a source of pollution. The applicant should be advised that due to the nature of some land uses permitted under the proposed zoning classification, operating permits from DERM may be required. The Permitting Section of DERM's Pollution Regulation and Enforcement Division may be contacted at (305) 372-6600 for further information concerning operating requirements.

Fuel Storage Facilities

Section 24-45 of the Code outlines regulations for any proposed or existing underground storage facilities. The regulations provide design, permitting, installation, modification, repair, replacement and continuing operation requirements and criteria. In addition, monitoring devices, inventory control practices and pressure testing of fuel storage tanks is required. The applicant is advised to contact the Permitting Section of DERM's Pollution Regulation and Enforcement Division, at (305) 372-6600 concerning permitting requirements for fuel storage facilities.

Pollution Remediation

The subject property is located within a designated brownfield area. The applicant is advised that there are economic incentives available for development within this area. For further information concerning these incentives contact the Pollution Remediation Section of DERM at 305-372-6700.

Wetlands

The subject property does not contain jurisdictional wetlands, as defined by Section 24-5 of the Code; therefore, a Class IV Wetland Permit will not be required.

The applicant is advised that permits from the Army Corps of Engineers (305-526-7181), the Florida Department of Environmental Protection (561-681-6600), and the South Florida Water Management District (1-800-432-2045), may be required for the proposed project. It is the applicant's responsibility to contact these agencies.

Tree Preservation

Section 24-49 of the Code provides for the preservation and protection of tree resources. A Miami-Dade County Tree Removal Permit is required prior to the removal or relocation of any tree that is subject to the Tree Preservation and Protection provisions of the Code. Said permit shall meet the requirements of Sections 24-49.2 and 24-49.4 of the Code.

The applicant is required to comply with the above tree permitting requirements. DERM's approval of the subject application is contingent upon inclusion of said tree permitting requirements in the resolution

approving this application. The applicant is advised to contact DERM staff for additional information regarding permitting procedures and requirements prior to site development.

Enforcement History

DERM has found no open or closed enforcement record for the subject property.

Concurrency Review Summary

DERM has conducted a concurrency review for this application and has determined that the same meets all applicable LOS standards for an initial development order, as specified in the adopted CDMP for potable water supply, wastewater disposal and flood protection. Therefore, the application has been approved for concurrency subject to the comments and conditions contained herein.

This concurrency approval does not constitute a final concurrency statement and is valid only for this initial development order as provided for in the adopted methodology for concurrency review. Additionally, this approval does not constitute any assurance that the LOS standards would be met by any subsequent development order applications concerning the subject property.

This memorandum shall constitute DERM's written approval, as required by the Code.

If you have any questions concerning the comments, or wish to discuss this matter further, please contact Enrique A. Cuellar at (305) 372-6764.

cc: Lynne Talleda, Zoning Evaluation - P&Z
Ron Connally, Zoning Hearings - P&Z
Franklin Gutierrez, Zoning Agenda Coordinator - P&Z

REVISION 1
PH# Z2007000393
CZAB - C08

PUBLIC WORKS DEPARTMENT COMMENTS

Applicant's Names: EMILIO SANCHEZ & MAGALY FONSECA

This Department has no objections to this application.

Additional improvements may be required at time of permitting.

This project meets traffic concurrency because it lies within the urban infill area where traffic concurrency does not apply.

A handwritten signature in black ink, appearing to read "Raul", with a long horizontal stroke extending to the right.

Raul A Pino, P.L.S.

22-JUL-09

Memorandum



Date: 13-FEB-09
To: Marc LaFerrier, Director
 Department of Planning and Zoning
From: Herminio Lorenzo, Fire Chief
 Miami-Dade Fire Rescue Department
Subject: Z2007000393

Fire Prevention Unit:

Not applicable to Fire Engineering & Water Supply Bureau site requirements.

Service Impact/Demand:

Development for the above Z2007000393
 located at 3221 N.W. 30 STREET, MIAMI-DADE COUNTY, FLORIDA.
 in Police Grid 1074 is proposed as the following:

<u>N/A</u> residential	dwelling units	<u>N/A</u> industrial	square feet
<u>N/A</u> Office	square feet	<u>N/A</u> institutional	square feet
<u>N/A</u> Retail	square feet	<u>N/A</u> nursing home/hospitals	square feet

Based on this development information, estimated service impact is: N/A alarms-annually.
 The estimated average travel time is: 7:24 minutes

Existing services:

The Fire station responding to an alarm in the proposed development will be:
 Station 2 - Model Cities - 6460 NW 27 Avenue
 Rescue, BLS 65, Aerial, Squad, Battalion

Planned Service Expansions:

The following stations/units are planned in the vicinity of this development:
 None.

Fire Planning Additional Comments:

Not applicable to service impact analysis.

DATE: 27-JAN-10

BUILDING AND NEIGHBORHOOD
COMPLIANCE DEPARTMENT

ENFORCEMENT HISTORY OF VIOLATIONS OF CHAPTER 19 AND
CHAPTER 33 OF THE MIAMI-DADE COUNTY CODE

EMILIO SANCHEZ & MAGALY
FONSECA

3221 N.W. 30 STREET, MIAMI-
DADE COUNTY, FLORIDA.

APPLICANT

ADDRESS

Z2007000393

HEARING NUMBER

HISTORY:

Case 201013000059 1/26/10 Citation issued for unauthorized use (storage of roofing equipment, trucks, containers).

Case 200713001911 8/15/07 Citation issued for commercial vehicle. Compliance met. Case closed.

Case 200713001895 8/15/07 Citation issued for construction materials/equipment. Compliance met. Case closed.

Case 200713001893 8/15/07 Citation issued for roofing materials, trucks. Compliance met. Case closed.

Case 200713001888 8/15/07 Citation issued for junk and trash. Compliance met. Case closed.

**OUTSTANDING FINES, PENALTIES, COST OR LIENS
INCURRED PURSUANT TO CHAPTER 8CC:**

REPORTER NAME:

COMPLEMENTARY FEATURES

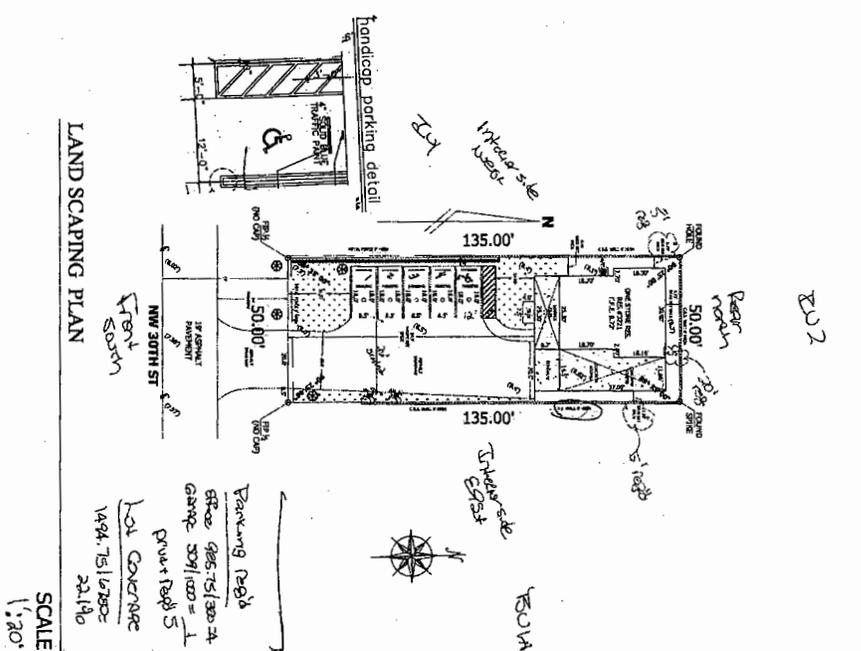
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PLANTING SPECIFICATIONS

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CONCRETE WORK

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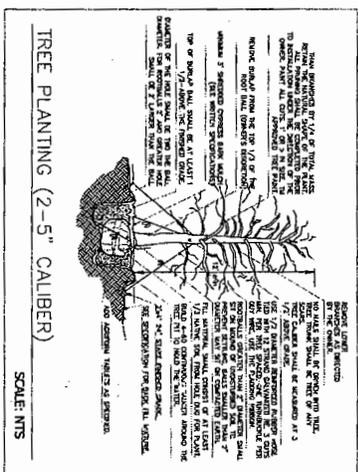
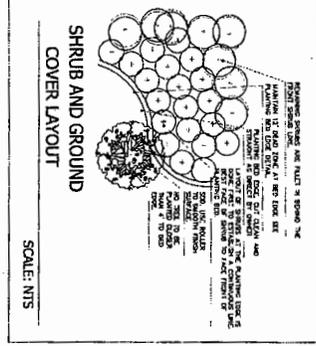
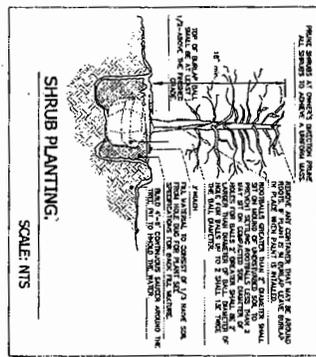


GENERAL NOTES

1. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI AND THE COUNTY OF DADE. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI AND THE COUNTY OF DADE.

2. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI AND THE COUNTY OF DADE. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI AND THE COUNTY OF DADE.

PLANTING	QUANTITY	SIZE	LOCATION
...



SYMBOL	DESCRIPTION
...	...

PROPERTY INFORMATION

FOLIO NO: 30-3128-013-1901

SITE ADDRESS: 3221 NW 30TH ST, MIAMI, FL 33142

PRIMARY ZONE: 5100 BUNGALOW COURTS

CLUC: 0001 RESIDENTIAL - SINGLE FAMILY

LOT SIZE: 6,750 SQ FT

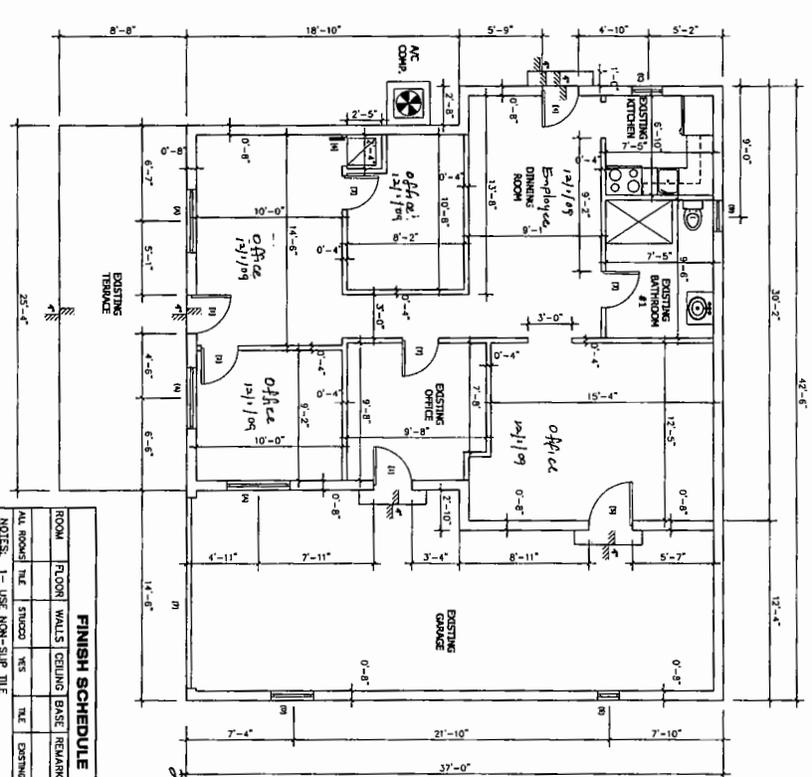
ZONING INFORMATION: IU-1

PREPARED BY

5/20/09

MARK	CONDITION	CAUSE	TYPE	WIDTH	HEIGHT	MATERIAL
11	EXISTING	2	EXTENSION	2'-0"	6'-0"	WOOD
12	EXISTING	3	W/REVISION	2'-0"	6'-0"	WOOD
13	EXISTING	1	W/REVISION	2'-0"	6'-0"	WOOD
14	EXISTING	1	EXTENSION	2'-0"	6'-0"	WOOD
15	EXISTING	1	EXTENSION	2'-0"	6'-0"	WOOD
16	EXISTING	1	W/REVISION	2'-0"	6'-0"	WOOD
17	EXISTING	1	W/REVISION	1'-0"	7'-0"	STEEL

MARK	CONDITION	CAUSE	TYPE	WIDTH	HEIGHT	TYPE
18	EXISTING	3	---	2'	4'	SHIELDING
19	EXISTING	1	---	2'	4'	SHIELDING
20	EXISTING	1	---	2'	4'	SHIELDING
21	EXISTING	1	---	2'	4'	SHIELDING
22	EXISTING	1	---	2'	4'	SHIELDING

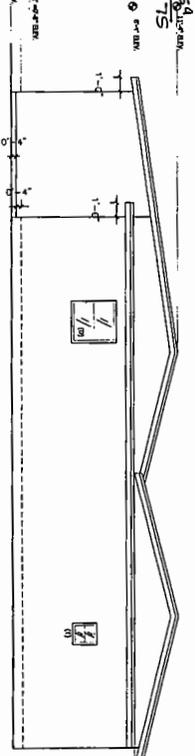
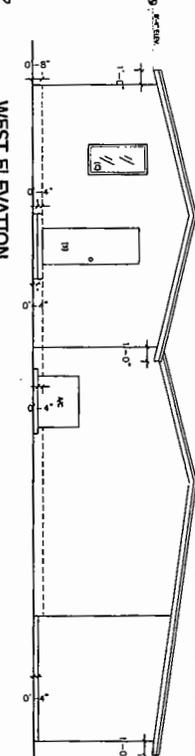
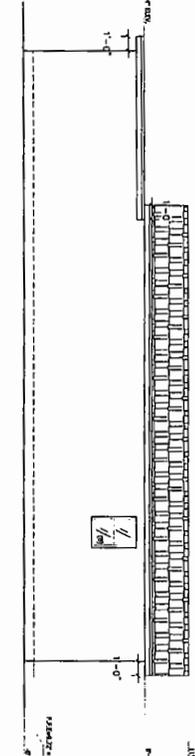
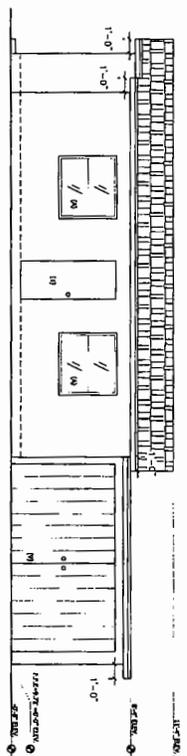


ROOM	FLOOR	WALLS	CEILING	BASE	REMARKS
ALL ROOMS	1st	STUCCO	---	---	---

NOTES:
 1- USE NON-SLIP TILE
 2- USE IMPERVIOUS MATERIAL
 3- BRICK FINISH CONCRETE FLOOR

EXISTING FLOOR PLAN

SCALE: 1/4" = 1'-0"



EXISTING ELEVATION PLAN

SCALE: 1/4" = 1'-0"

37 x 233 = 4510
 282 x 1882 = 33
 Garage = 509
 2533 x 37 = 93721
 282 x 1882 = 52854
 925.75



A-2

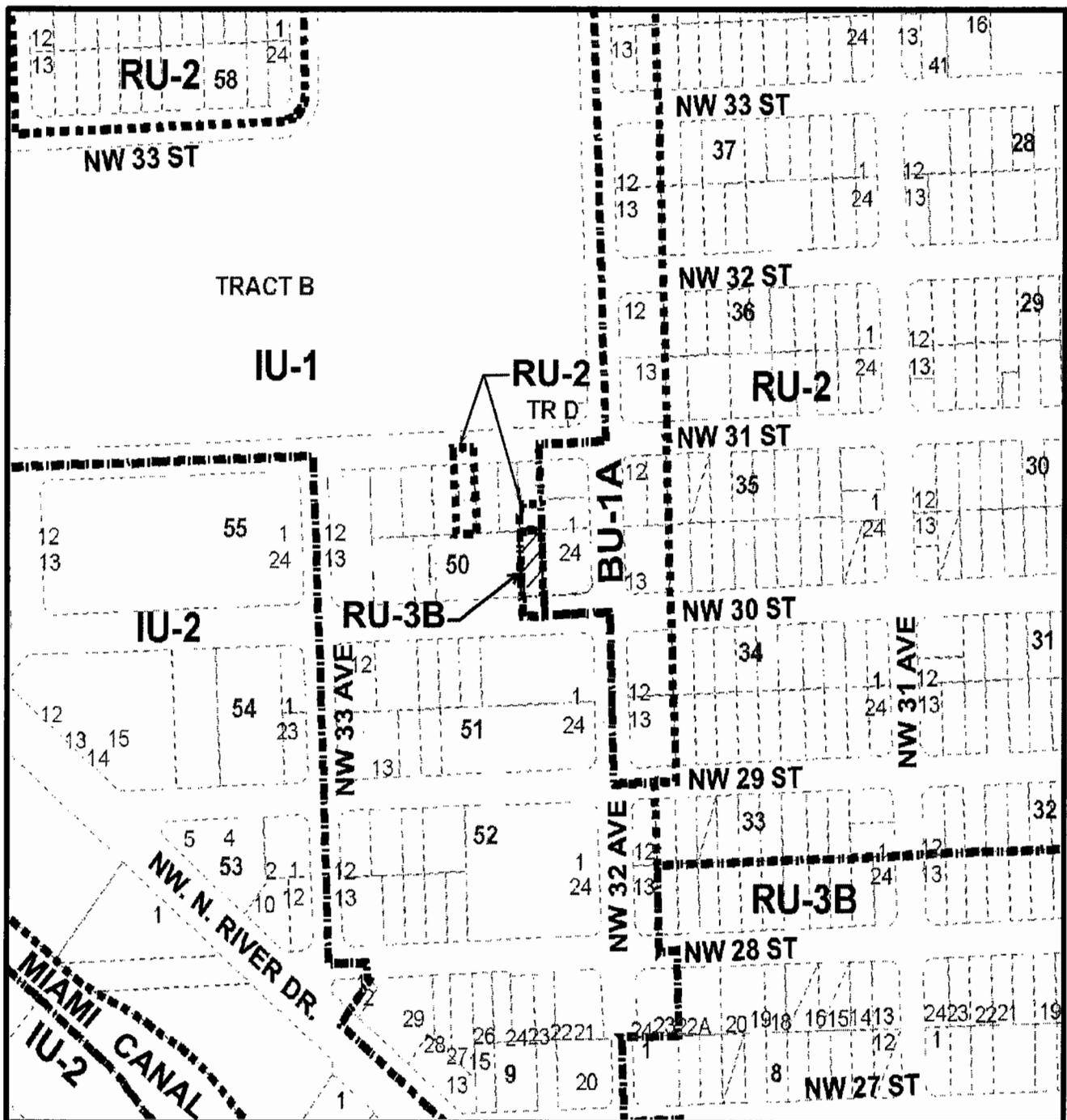
CHARLES C. MITCHELL, P.E.
 Consulting Engineer P.E. 0011127
 (305) 336-5069
 99 NW 183 th Street,
 Miami, Florida 33169

OWNER: EMILIO SANCHEZ
 PROPOSED IU-1 CHANGE:
 3221 NW 30th ST,
 MIAMI, FLORIDA, 33142

Revised	Date

16

Feb 23, 2009



MIAMI-DADE COUNTY
HEARING MAP

Process Number

07-393



SUBJECT PROPERTY

Section: 28 Township: 53 Range: 41
 Applicant: EMILO SANCHEZ & MAGALY FONSECA
 Zoning Board: C08
 District Number: 02
 Drafter ID: KEELING
 Scale: NTS



APPROVED	DATE	BY

17



MIAMI-DADE COUNTY
AERIAL

Process Number
07-393



SUBJECT PROPERTY

Section: 28 Township: 53 Range: 41
 Applicant: EMILO SANCHEZ & MAGALY FONSECA
 Zoning Board: C08
 District Number: 02
 Drafter ID: KEELING
 Scale: NTS



CREATED ON: 12/12/07

VERSION	DATE	BY
ADD LINDA CAROL	6/18/08	EM
ADD TONY D'AMICO	2/11/09	FWG

2. HOUSE OF MESSIAH INC
(Applicant)

10-3-CZ8-2 (09-105)
Area 8/District 2
Hearing Date: 03/02/10

Property Owner (if different from applicant) Same.

Is there an option to purchase /lease the property predicated on the approval of the zoning request? Yes No

Disclosure of interest form attached? Yes No

Previous Zoning Hearings on the Property:

<u>Year</u>	<u>Applicant</u>	<u>Request</u>	<u>Board</u>	<u>Decision</u>
1952	Charles James Richard	- Special Permit for Moose Lodge.	BCC	Approved
1961	North Miami Lodge 1656, Loyal Order of Moose Corp.	- Non Use Variance setbacks.	ZAB	Approved
1970	Loyal Order of Moose, North Miami Lodge #1656	- Special exception to expand existing lodge. - Non Use Variance setbacks.	ZAB	Approved w/conds.

Action taken today does not constitute a final development order, and one or more concurrency determinations will subsequently be required. Provisional determinations or listings of needed facilities made in association with this Initial Development Order shall not be binding with regard to future decisions to approve or deny an Intermediate or Final Development Order on any grounds.

**MIAMI-DADE COUNTY DEPARTMENT OF PLANNING AND ZONING
RECOMMENDATION TO COMMUNITY COUNCIL No. 8**

APPLICANT: House of Messiah, Inc.

PH: Z09-105 (10-3-CZ8-2)

SECTION: 19-52-42

DATE: March 2, 2010

COMMISSION DISTRICT: 2

ITEM NO.: 2

=====

A. INTRODUCTION

o **REQUESTS:**

- (1) SPECIAL EXCEPTION to permit a religious facility.
- (2) Applicant is requesting to permit the religious facility setback 21.9' (50' required/22.5' previously approved) from the interior side (east) property line.
- (3) Applicant is requesting to permit the religious facility spaced a minimum of 68' (75' required) from a residence under different ownership.
- (4) Applicant is requesting to permit parking within 25' of an official right-of-way (not permitted).

Plans are on file and may be examined in the Department of Planning and Zoning entitled "Proposed Renovation for House of Messiah, Inc.," as prepared by Michael Alimba, P. E., Sheets "A1" and "A2" dated stamped received 11/6/09 and Sheet "A3" dated stamped received 7/8/09 and Sheet "A4" entitled "Loyal Order of Moose N. Miami #1656," dated stamped received 7/8/09 for a total of 4 sheets. Plans may be modified at public hearing.

o **SUMMARY OF REQUESTS:**

The applicant is seeking a special exception to develop a religious facility with reduced setbacks and spaced less than required from residences under different ownership. The applicant also seeks to permit the religious facility with parking and drives within 25' of the right-of-way.

o **LOCATION:** 25 NW 150 Street, Miami-Dade County, Florida.

o **SIZE:** 131.75' x 275.43'

B. ZONING HEARINGS HISTORY:

In September 1952, pursuant to Resolution #5348, the subject property was approved for a Special Permit in lieu of a zone change to BU-1, Neighborhood Business District, to permit a Moose lodge hall. In December 1961, a variance was approved on the subject property to allow a building of public assemblage to setback 44.1' (50' required) from the side (east) property line, pursuant to Resolution #2-ZAB-117-61. Subsequently, the

subject property was approved, pursuant to Resolution #4-ZAB-308-70, in July 1970, to permit the expansion of a non-conforming use and to permit an addition to setback 22.5' (50' required) from the side (east) property line. Prior to the aforementioned, the subject property was approved for variances to the spacing requirement for buildings on the property which are not relevant to this hearing.

C. COMPREHENSIVE DEVELOPMENT MASTER PLAN (CDMP):

The Adopted 2015 and 2025 Land Use Plan designates the designates approximately 75% of the subject property inclusive of the southern half and a triangular northwest portion of subject property as being within the Urban Development Boundary for **Business and Office**. This category accommodates the full range of sales and service activities. Included are retail, wholesale, personal and professional services, call centers, commercial and professional offices, hotels, motels, hospitals, medical buildings, nursing homes (also allowed in the institutional category), entertainment and cultural facilities, amusements and commercial recreation establishments such as private commercial marinas. Also allowed are telecommunication facilities (earth stations for satellite communication carriers, satellite terminal stations, communications telemetry facilities and satellite tracking stations). These uses may occur in self-contained centers, high-rise structures, campus parks, municipal central business districts or strips along highways. In reviewing zoning requests or site plans, the specific intensity and range of uses, and dimensions, configuration and design considered to be appropriate will depend on locational factors, particularly compatibility with both adjacent and adjoining uses, and availability of highway capacity, ease of access and availability of other public services and facilities. Uses should be limited when necessary to protect both adjacent and adjoining residential use from such impacts as noise or traffic, and in most wellfield protection areas uses are prohibited that involved the use, handling, storage, generation or disposal of hazardous material or waste, and may have limitations as to the maximum buildable area, as defined in Chapter 24 of the County Code. When the land development regulations are amended pursuant to Land Use Element Policies LU-9P and LU-9Q, live-work and work-live developments shall be permitted on land designated as Business and Office, as transitional uses between commercial and residential areas.

The Adopted 2015 and 2025 Land Use Plan designates the balance of the subject property as being within the Urban Development Boundary for **Low Density Residential** use. The residential densities allowed in this category shall range from a minimum of 2.5 to a maximum of 6.0 dwelling units per gross acre. This density category is generally characterized by single family housing, e.g., single family detached, cluster and townhouses. It could include low-rise apartments with extensive surrounding open space or a mixture of housing types provided that the maximum gross density is not exceeded.

Residential Communities. The areas designated Residential Communities permit housing types ranging from detached single-family to attached multifamily buildings, as well as different construction systems. Also permitted in Residential Communities are neighborhood and community services including schools, parks, **houses of worship**, daycare centers, group housing facilities, and utility facilities, only when consistent with other goals, objectives and policies of this Plan and compatible with the neighborhood.

The character of the "neighborhood" reflects the intensity and design of developments, mix of land uses, and their relationships.

Neighborhood or community-serving institutional uses, cell towers and utilities including schools, libraries, sanitary sewer pump stations and fire and rescue facilities in particular, and cemeteries may be approved where compatible in all urban land use categories, in keeping with any conditions specified in the applicable category, and where provided in certain Open Land subareas. Compatibility shall be determined in accordance to Policy LU-4A. Co-location of communication and utility facilities are encouraged. Major utility and communication facilities should generally be guided away from residential areas; however, when considering such approvals, the County shall consider such factors as the type of function involved, the public need, existing land use patterns in the area and alternative locations for the facility. All approvals must be consistent with the goals, objectives and policies of the Comprehensive Development Master Plan.

Uses and Zoning Not Specifically Depicted. Some existing lawful uses and zoning are not specifically depicted on the LUP map. However, all such existing uses and zoning are deemed to be consistent with this Plan as provided in the section of this chapter titled "Concepts and Limitations of the Land Use Plan Map." The limitations referenced in this paragraph pertain to existing zoning and uses. All approval of new commercial locations must be consistent with the LUP map or the specific exceptions provided in the various LUP map categories and the objectives and policies of this plan.

Policy LU-4A. of the Land Use Element state when evaluating compatibility among proximate land uses, the County shall consider such factors as noise, lighting, shadows, glare, vibration, odor, runoff, access, traffic, parking, height, bulk, scale of architectural elements, landscaping, hours of operation, buffering, and safety, as applicable.

D. NEIGHBORHOOD CHARACTERISTICS:

ZONING

LAND USE PLAN DESIGNATION

Subject Property:

RU-2; private club

Business and Office/
Low Density Residential, 2.5 to 6 du

Surrounding Properties:

NORTH: RU-1; duplex residence

Low Density Residential, 2.5 to 6 du

SOUTH: BU-1; church

Business and Office

EAST: RU-2; private club,
duplex residence

Business and Office/
Low Density Residential, 2.5 to 6 du

WEST: BU-1; apartments, vacant land,
Retail building

Business and Office

E. SITE AND BUILDINGS:

Site Plan Review:	(Plans submitted.)
Scale/Utilization of Site:	Acceptable
Location of Buildings:	Acceptable
Compatibility:	Acceptable
Landscape Treatment:	Acceptable
Open Space:	Acceptable
Buffering:	Acceptable
Access:	Acceptable

F. PERTINENT REQUIREMENTS/STANDARDS:

Section 33-311(A)(3) Special Exception, Unusual and New Uses. Hear applications for and grant or deny **special exceptions**; that is, those exceptions permitted by the regulations only upon approval after public hearing, new uses and unusual use which by the regulations are only permitted upon approval after public hearing; provide the applied for exception or use, including exception for site or plot plan approval, in the opinion of the Community Zoning Appeals Board, would not have an unfavorable effect on the economy of Miami-Dade County, Florida, would not generate or result in excessive noise or traffic, cause undue or excessive burden on public facilities, including water, sewer, solid waste disposal, recreation, transportation, streets, roads, highways or other such facilities which have been constructed or planned and budgeted for construction, area accessible by private or public roads, streets or highways, tend to create a fire or other equally or greater dangerous hazards, or provoke excessive overcrowding or concentration of people or population, when considering the necessity for and reasonableness of such applied for exception or use in relation to the present and future development of the area concerned and the compatibility of the applied for exception or use with such area of and its development.

Section 33-311(A)(4)(b) Non-Use Variances From Other Than Airport Regulations. Upon appeal or direct application in specific cases, the Board shall hear and grant applications for **non-use variances** from the terms of the zoning and subdivision regulations and may grant a non-use variance upon a showing by the applicant that the non-use variance maintains the basic intent and purpose of the zoning, subdivision and other land use regulations, which is to protect the general welfare of the public, particularly as it affects the stability and appearance of the community and provided that the non-use variance will be otherwise compatible with the surrounding land uses and would not be detrimental to the community. No showing of unnecessary hardship to the land is required.

G. NEIGHBORHOOD SERVICES:

DERM	No objection*
Public Works	No objection
Parks	No objection
MDT	No objection
Fire Rescue	No objection
Police	No objection

Schools

No comment

*Subject to the conditions indicated in their memorandum.

H. ANALYSIS:

Approval of this application will permit a religious facility in an existing building that was previously approved to allow a 22.5' interior side (east) setback for a lodge hall. Additionally, the applicant seeks to permit the religious facility with reduced spacing from residences under different ownership and with parking within 25' of the right-of-way. The Land Use Plan (LUP) map of the Comprehensive Development Master Plan (CDMP) designates the southern half and approximately 50% of the northern half of the subject property for **Business and Office** use. This designation accommodates a full range of sales and service activities which include, among other things, retail, wholesale, personal and professional services, commercial and professional offices, entertainment and cultural facilities, amusements and commercial recreation establishments. The remaining eastern portion of the northern half of the subject property is designated **Low Density Residential** use. This category allows densities from a minimum of 2.5 to a maximum of 6 dwelling units per gross acre and the typical type of housing structures permitted in this category include single family housing, e.g., single-family detached, cluster, zero lot line and townhouses. Also permitted in Residential Communities are neighborhood and community services including schools, parks, **houses of worship**, daycare centers, group housing facilities, and utility facilities, only when consistent with other goals, objectives and policies of the Master Plan and compatible with the neighborhood. Staff notes that the subject property was previously approved for a special permit to allow a Moose lodge hall, which staff opines is similar to private club, pursuant to Resolution #5348, in 1952, and subsequently, to allow an addition to a building of public assemblage, in December 1961, pursuant to Resolution #2-ZAB-117-61. The religious facility is also classified as a building of public assemblage which staff opines is similar to the previously approved use. Further, the CDMP states that neighborhood or community-serving institutional uses such as churches may be approved where compatible in any land use category. The submitted plans indicate a single-story religious facility on a dual frontage lot. The applicant has provided adequate parking for the facility as well as a sufficient landscape buffer along the interior side (east) property lines where it abuts residentially zoned properties to the east. The subject property abuts similar public assemblage uses to include a club and church to the east and south and abuts properties to the west that are commercially zoned. As such, staff opines that the application for a religious facility is **compatible** with the surrounding area, and therefore, **consistent** with LUP map and Policy LU-4A of the interpretative text of the CDMP.

The Department of Environmental Resources Management (**DERM**) has **no objections** to this application and has indicated that it meets the minimum requirements of Chapter 24 of the Code of Miami-Dade County. However, the applicant will have to comply with all DERM conditions as set forth in their memorandum pertaining to this application. The **Public Works Department** also has **no objections** to this application. Their memorandum indicates that this application meets traffic concurrency because it lies within the urban infill area where traffic concurrency does not apply. The Miami-Dade

Fire Rescue Department (**MDFR**) also has **no objections** to this application and indicates that the estimated average travel response time is **6:15** minutes.

When analyzing request #1, a Special Exception to permit a religious facility, under Section 33-311(A)(3), Standards For **Special Exceptions**, Unusual Uses And New Uses, staff is of the opinion that, as proposed, the religious facility would not result in excessive noise or traffic, cause undue or excessive burden on transportation, streets, roads or highways, or provoke excessive overcrowding and concentration of people. When considering the necessity for and reasonableness of the applied for exception in relation to the present and future development of the area and the compatibility of the applied for exception with the area and its development, staff opines that approval of the request would be **compatible** with the surrounding area. As previously mentioned, the subject property was previously approved to allow the lodge hall and to allow an addition to a building of public assemblage, which is similar to the religious facility. Also, as previously noted, the property to the south of the subject property was approved to allow a church (synagogue) in the BU-1, Neighborhood Business District, pursuant to Resolution #4-ZAB-315-78, in August 1978. Staff therefore opines that approval of the proposed religious facility is **compatible** with the surrounding area and **consistent** with the CDMP. As such, staff therefore recommends approval with conditions of request #1 under Section 33-311(A)(3).

When requests #2 through #4 are analyzed under Section 33-311(A)(4)(b), the Non-Use Variance Standards, staff is of the opinion that approval with conditions of these requests would be **compatible** with the surrounding area and would maintain the basic intent and purpose of the zoning, subdivision and other land use regulations, which is to protect the general welfare of the public, particularly as it affects the stability and appearance of the community. Staff opines that request #2, to permit the building setback 21.9' from the interior side (east) property line is due to an inadvertent construction error as the property was previously approved to allow a 22.5' setback from the aforementioned property line. Similarly, staff opines that approval of request #3, to permit the facility spaced a minimum of 68' from a residence under different ownership would not be out of character with the surrounding neighborhood, nor would it have a negative visual or aural impact on the abutting residential property to the east. As such, staff opines that the 68' spacing in conjunction with the buffering provided in the form of a continuous hedge and trees, is sufficient to mitigate any negative visual or aural impact on the residential property located to the east. Staff also notes that the existing building in which the proposed religious facility is to be located was built in 1948 and, as previously noted, was approved for a public assemblage use, to wit, the lodge hall, in 1952. The Property Appraiser's records indicate that the residential building that is the subject of this request was built in 1971. Therefore, staff opines that the residence was built at least 19 years after the approval for a similar public assemblage use, the lodge hall, was approved and approval of the religious facility now will not have a negative impact on this residence. However, staff would recommend as a condition for approval that the applicant obtains permits for all additions to the existing sanctuary and office buildings and that the existing shed located to the east of the sanctuary building be removed prior to permitting.

Staff's research of properties in the surrounding area also indicated that the previously mentioned property to the south, the church that was approved in 1978, was also

permitted to have parking within 25' of an official right-of-way, pursuant to Resolution #4-ZAB-315-78. As such, staff opines that approval of request #4, to permit parking within 25' of the right-of-way, will not be out of character with the surrounding area and will be **compatible** with same. Staff therefore recommends approval with conditions of requests #2 through #4 under Section 33-311(A)(4)(b) (Non-Use Variance Standards).

Based on the aforementioned, staff opines that approval of the application would be **compatible** with the surrounding area and **consistent** with the LUP map and the interpretative text of the CDMP. Therefore, staff recommends approval with conditions of request #1 under Section 33-311(A)(3) and approval with conditions of requests #2 through #4 under Section 33-311(A)(4)(b) (Non-Use Variance Standards).

I. RECOMMENDATION:

Approval with conditions.

J. CONDITIONS:

1. That a site plan be submitted to and meet with the approval of the Director of the Department of Planning and Zoning upon the submittal of an application for a building permit and/or Certificate of Use; said plan to include, but not limited to, location of structure or structures, exits and entrances, drainage, walls, fences, landscaping, and other requirements.
2. That in the approval of the plan, the same be substantially in accordance with that submitted for the hearing entitled "Proposed Renovation for House of Messiah, Inc," as prepared by Michael Alimba, P. E., Sheets "A1" and "A2" dated stamped received 11/6/09 and Sheet "A3" dated stamped received 7/8/09 and Sheet "A4" entitled "Loyal Order of Moose N. Miami #1656," dated stamped received 7/8/09 for a total of 4 sheets.
3. That the use be established and maintained in accordance with the approved plan.
4. That the applicant submit to the Department for its review and approval a landscaping plan which indicates the type and size of plant material prior to the issuance of a building permit and to be installed prior to final zoning inspection.
5. That the applicant apply for and secure building permits for all non-permitted additions and structures on the property from the Building Department within 120 days of the expiration of the appeal period for this public hearing application, unless a time extension is granted by the Director of the Department of Planning and Zoning for good cause shown.

DATE INSPECTED: 12/14/09
DATE TYPED: 01/20/10
DATE REVISED: 01/21/10, 02/02/10, 02/22/10
DATE FINALIZED: 02/22/10
MCL: GR: NN: NC:CH:



Marc C. LaFerrier, AICP, Director
Miami-Dade County Department of
Planning and Zoning

JV.
GR

Date: January 19, 2010
To: Marc C. LaFerrier, AICP, Director
Department of Planning and Zoning

From: Jose Gonzalez, P.E., Assistant Director
Environmental Resources Management



Subject: C-08 #Z2009000105-3rd Revision
House of Messiah, Inc.
25 N.W. 150th Street
Special Exception to Permit a Religious Facility and Non-Use Variance of
Setback Requirements
(RU-2) (0.83 Acres)
19-52-42

The Department of Environmental Resources Management (DERM) has reviewed the subject application and has determined that it meets the minimum requirements of Chapter 24 of the Code of Miami-Dade County, Florida (the Code). Accordingly, DERM may approve the application, and the same may be scheduled for public hearing.

Potable Water Service

Public water can be made available to the subject property. Therefore, connection of the proposed development to the public water supply system shall be required in accordance with chapter 24 of the Code.

Existing public water facilities and services meet the Level of Service (LOS) standards set forth in the Comprehensive Development Master Plan (CDMP). Furthermore, the proposed development order, if approved, will not result in a reduction in the LOS standards subject to compliance with the conditions required by DERM for this proposed development order.

Wastewater Disposal

Public sanitary sewers are not located within feasible distance for connection to the subject property; consequently, any proposed development would have to be served by a septic tank and drainfield as a means for the disposal of domestic liquid waste.

DERM would not object to the interim use of a septic tank and drainfield system provided that the site is connected to the public water supply system and the proposed development meets the sewage loading requirements of Section 24-43.1(4) of the Code. Based upon the available information the proposal meets said requirements. Furthermore, since the request is for a non-residential land use, the property owner has submitted a properly executed covenant running with the land in favor of Miami-Dade County as required by Section 24-43.1(4)(a) of the Code, which provides that the only liquid waste, less and except the exclusions contained therein, which shall be generated, disposed of, discharged or stored on the property shall be domestic sewage discharged into a septic tank.

Notwithstanding the foregoing, the applicant is advised that certain land uses such as medical offices utilizing x-ray equipment and others that generate liquid waste other than domestic sewage, cannot be permitted by DERM since it would violate the aforesaid Code Section and would also violate the covenant. Approval of land uses that are not compatible with the usage of a septic tank and drainfield system as a means for the disposal of the domestic liquid waste would require a variance from the Environmental Quality Control Board (EQCB) from the aforesaid Code Section.

Wetlands

The subject property does not contain wetlands as defined by Section 24-5 of the Code; therefore, a Class IV Wetland Permit will not be required.

The applicant is advised that permits from the Army Corps of Engineers (305-526-7181), the Florida Department of Environmental Protection (561-681-6600) and the South Florida Water Management District (1-800-432-2045) may be required for the proposed project. It is the applicant's responsibility to contact these agencies.

Tree Preservation

The subject property contains tree resources. Section 24-49 of the Code provides for the preservation and protection of tree resources. A Miami-Dade County Tree Removal Permit is required prior to the removal or relocation of any tree that is subject to the Tree Preservation and Protection provisions of Chapter 24. Said permit shall meet the requirements of Sections 24-49.2 and 24-49.4 of the Code.

The applicant is required to comply with the above tree permitting requirements. DERM's approval of the subject application is contingent upon inclusion of said tree permitting requirements in the resolution approving this application.

The applicant is advised to contact DERM staff for additional information regarding permitting procedures and requirements prior to site development.

Enforcement History

DERM has found no open or closed enforcement records for the subject property.

Concurrency Review Summary

DERM has conducted a concurrency review for this application and has determined that the same meets all applicable LOS standards for an initial development order, as specified in the adopted CDMP for potable water supply, wastewater disposal, and flood protection. Therefore, the application has been approved for concurrency subject to the comments and conditions contained herein.

This concurrency approval does not constitute a final concurrency statement and is valid only for this initial development order, as provided for in the adopted methodology for concurrency review. Additionally, this approval does not constitute any assurance that the LOS standards would be met by any subsequent development order applications concerning the subject property.

This memorandum shall constitute DERM's written approval, as required by the Code.

If you have any questions concerning the comments, or wish to discuss this matter further, please contact Christine Velazquez, Interim Manager at (305) 372-6764.

PUBLIC WORKS DEPARTMENT COMMENTS

Applicant's Names: HOUSE OF MESSIAH INC

This Department has no objections to this application.

This Department has no objections to the request to permit drives and parking within 25 feet of the right-of-way.

Additional improvements may be required at time of permitting.

This project meets traffic concurrency because it lies within the urban infill area where traffic concurrency does not apply.



Raul A Pino, P.L.S.

25-NOV-09

Memorandum



Date: 21-JAN-10
To: Marc LaFerrier, Director
 Department of Planning and Zoning
From: Herminio Lorenzo, Fire Chief
 Miami-Dade Fire Rescue Department
Subject: Z2009000105

Fire Prevention Unit:

This memo supersedes MDRF memorandum dated July 27, 2009.
 APPROVAL
 No objection to site plan date stamped November 6, 2009.

Service Impact/Demand

Development for the above Z2009000105
 located at 25 NW 150 ST, MIAMI-DADE COUNTY, FLORIDA.
 in Police Grid 0331 is proposed as the following:

N/A residential	dwelling units	N/A industrial	square feet
N/A Office	square feet	7,431 institutional	square feet
N/A Retail	square feet	N/A nursing home/hospitals	square feet

Based on this development information, estimated service impact is: 2.20 alarms-annually.
 The estimated average travel time is: 6:15 minutes

Existing services

The Fire station responding to an alarm in the proposed development will be:
 Station 32 - Uleta - 358 NE 168 Street
 Rescue, ALS Engine

Planned Service Expansions:

The following stations/units are planned in the vicinity of this development:
 None.

Fire Planning Additional Comments

Current service impact calculated based on plan date stamped November 6, 2009. Substantial changes to the plan will require additional service impact analysis.

For information regarding the aforementioned comments, please contact the Miami-Dade Fire Rescue Department Planning Section at 786-331-4540.

TEAM METRO

ENFORCEMENT HISTORY

CELESTINE IZUNOBI

25 N.W. 150 STREET, MIAMI-DADE
COUNTY, FLORIDA.

APPLICANT

ADDRESS

Z2009000105

HEARING NUMBER

CURRENT ENFORCEMENT HISTORY:

NO CURRENT ZONING VIOLATIONS OBSERVED

HOUSE OF MESSIAH INC

JUAN CASTRO

NAME OF PURCHASER: House of Messiah, Inc.

NAME, ADDRESS AND OFFICE (if applicable)

Percentage of Interest

Dr Celestine IZUNOBI
Mrs Felicia IZUNOBI
Mr Festus IKpete

Date of contract: _____

If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership or trust.

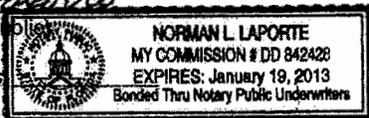
NOTICE: For any changes of ownership or changes in purchase contracts after the date of the application, but prior to the date of final public hearing, a supplemental disclosure of interest is required.

The above is a full disclosure of all parties of interest in this application to the best of my knowledge and belief.

Signature: *[Signature]*
(Applicant)

Sworn to and subscribed before me this 6 day of July, 2009 Affiant is personally know to me or has produced as identification.

Norman L. Laporte
(Notary Public)



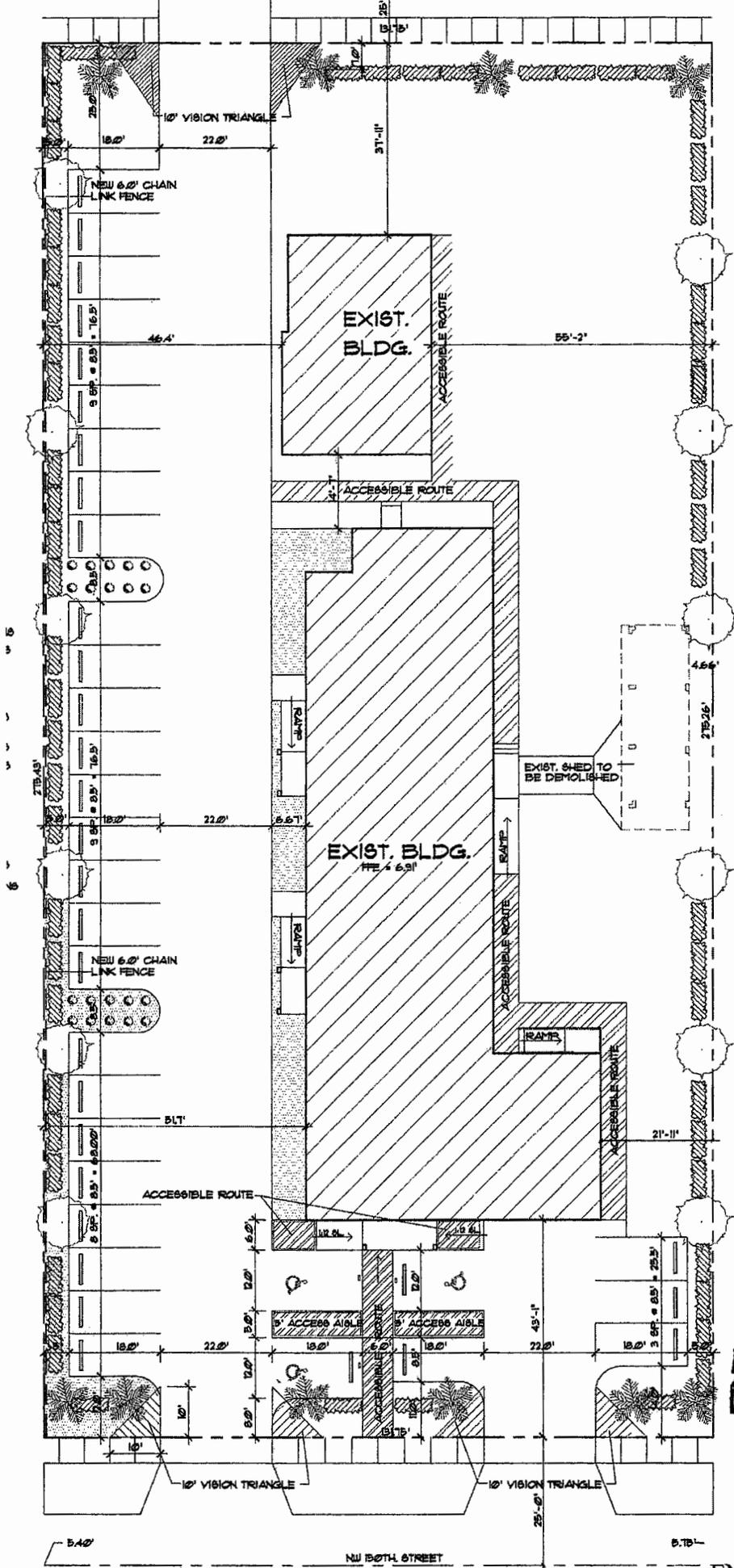
My commission expires

*Disclosure shall not be required of: 1) any entity, the equity interests in which are regularly traded on an established securities market in the United States or another country; or 2) pension funds or pension trusts of more than five thousand (5,000) ownership interests; or 3) any entity where ownership interests are held in a partnership, corporation or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership and where no one (1) person or entity holds more than a total of five per cent (5%) of the ownership interest in the partnership, corporation or trust. Entities whose ownership interests are held in a partnership, corporation, or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership, shall only be required to disclose those ownership interest which exceed five (5) percent of the ownership interest in the partnership, corporation or trust.

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ZONING HEARINGS SECTION
MIAMI-DADE PLANNING AND ZONING DEPT.
BY *[Signature]*

16



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ZONING HEARINGS SECTION
 MIAMI-DADE PLANNING AND ZONING DEPT.
 BY _____

17

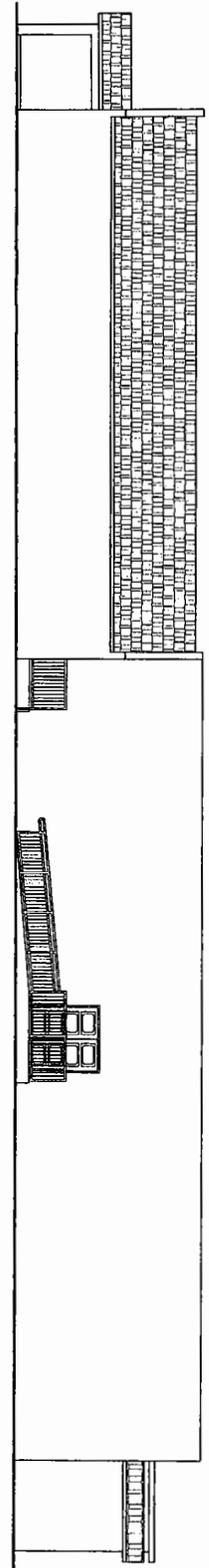
ENLARGE SITE PLAN

LEGAL DESCRIPTION:
 FOLIO NUMBER: 30-2215-001-2000
 LOT# 804, BISCAYNE GARDENS SECTION 'D' ACCORDING
 ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT

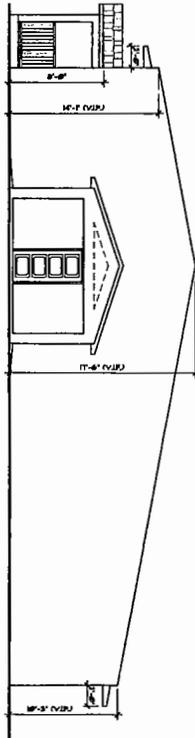
OCCUPANCY TYPE:
 SMALL ASSEMBLY



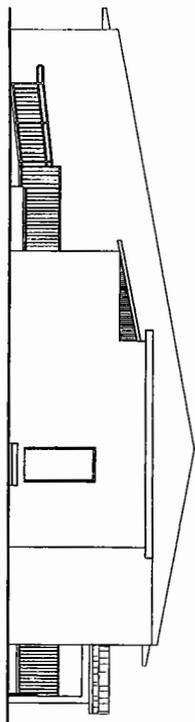
EAST ELEVATION
3/8" = 1'-0"



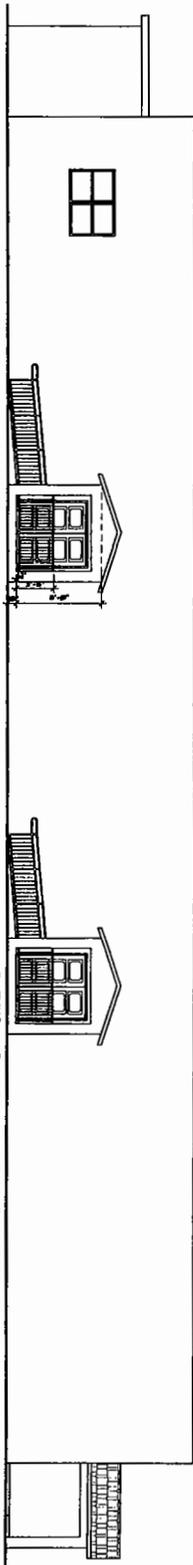
SOUTH ELEVATION
3/8" = 1'-0"



NORTH ELEVATION
3/8" = 1'-0"



WEST ELEVATION
3/8" = 1'-0"



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MIAMI-DADE PLANNING AND ZONING DEPT.

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A-3

DESIGNER	NAME
DRAWN	NAME
APPROVED	TITLE
DATE	DATE

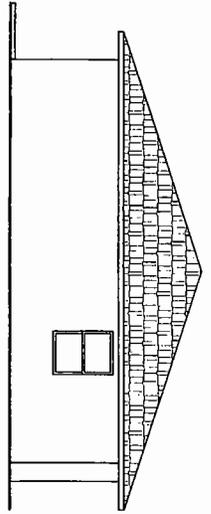
PROPOSED RENOVATION FOR
HOUSE OF MESSIAH, INC.
75 NW 84TH STREET
MIAMI, FLORIDA 33166-1860

MICHAEL ALMBA, P.E.
3448 NE 6TH AVENUE
MIAMI, FLORIDA 33132

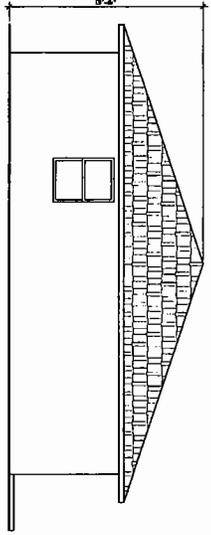
Call 68 hours before you dig
42, 44 and 45
1-800-4-A-DIG
Responsible Parties: Call or Permit
TOLL FREE: 1-800-4-A-DIG
All work must be done in accordance with the Florida Building Code and all applicable local codes and regulations. This permit is valid for 180 days from the date of issuance. For more information, call 311 or visit us online at www.miamidade.gov

SECTIONS

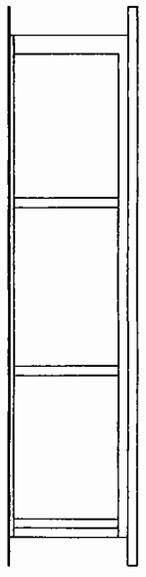
▲	SECTION



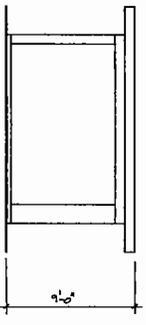
NORTH ELEVATION
1/8" = 1'-0"



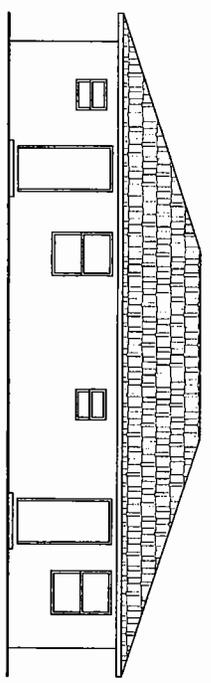
SOUTH ELEVATION
1/8" = 1'-0"



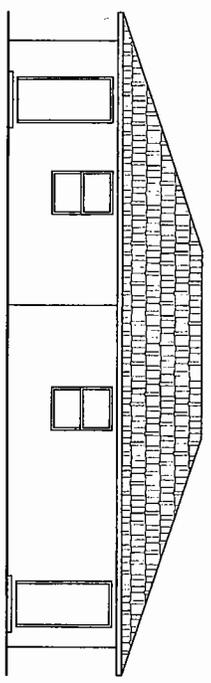
WEST ELEVATION
1/8" = 1'-0"



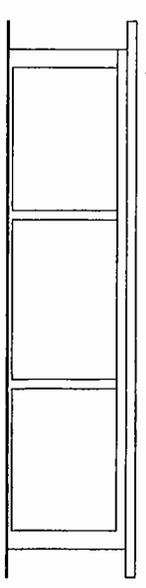
SHEED SOUTH ELEVATION
1/8" = 1'-0"



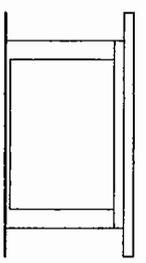
EAST ELEVATION
1/8" = 1'-0"



WEST ELEVATION
1/8" = 1'-0"



SHEED EAST ELEVATION
1/8" = 1'-0"



SHEED NORTH ELEVATION
1/8" = 1'-0"

RECEIVED

JUL - 8 2009

ZONING HEARINGS SECTION
MIAMI-DADE PLANNING AND ZONING DEPT.

BY _____

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ZONING HEARINGS SECTION
MIAMI-DADE PLANNING AND ZONING DEPT.

A-4

DESIGNER	DATE
DRAWN	DATE
APPROVED	DATE
CHECK	DATE

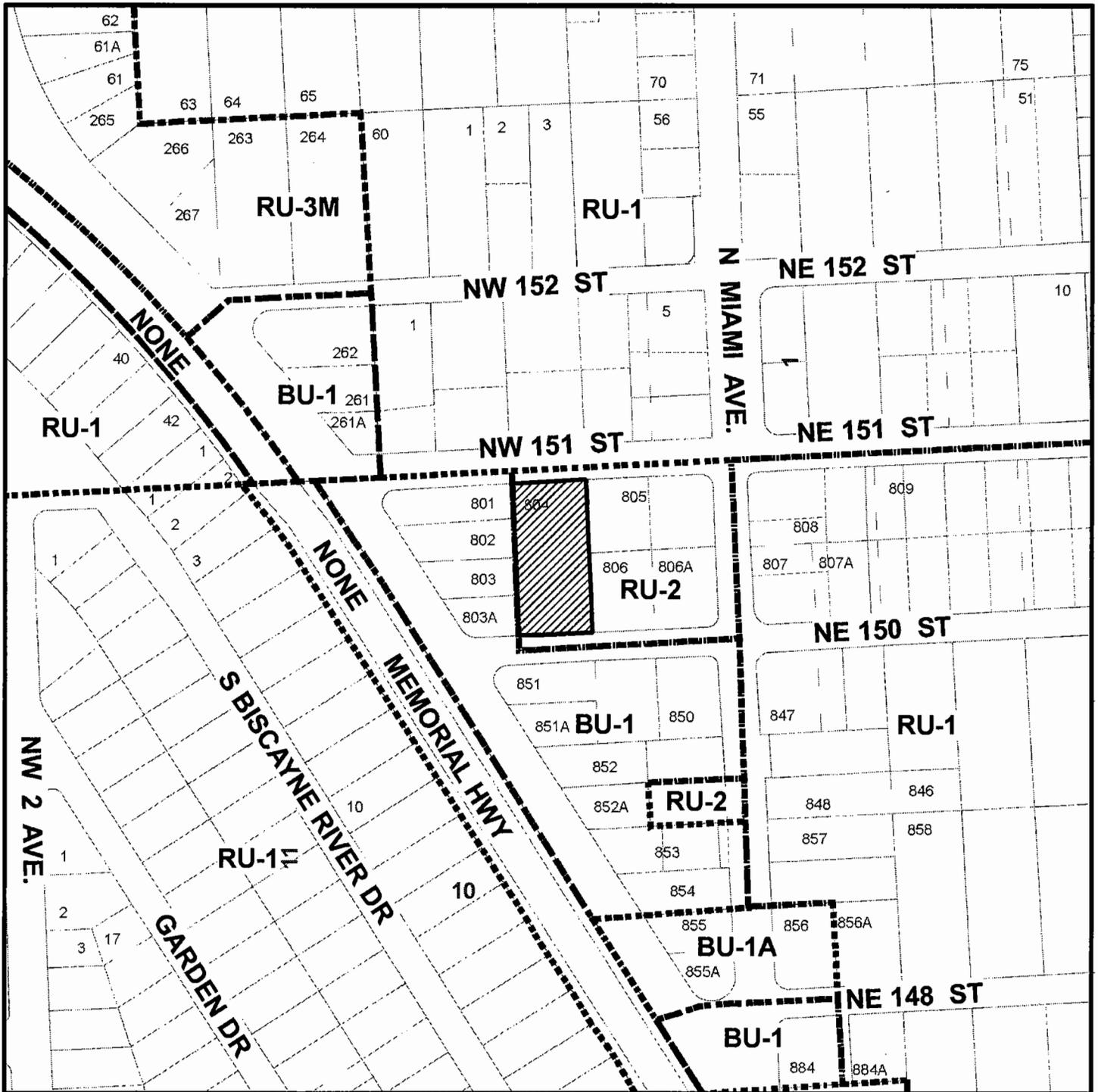
PROPOSED RENOVATION FOR
LOYAL ORDER OF MOOSE - N. MIAMI #1656
70 NW 84TH STREET
MIAMI, FLORIDA 33146-1780



MICHAEL ALIMBA, P.E.
3845 NE 6TH AVENUE
MIAMI, FLORIDA 33132

Call 44 times before you dig
1-800-421-7179
MIAMI, FLORIDA 33132

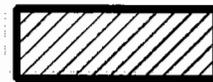
REVISIONS
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**MIAMI-DADE COUNTY
HEARING MAP**

Process Number
09-105

Section: 24 Township: 52 Range: 41
 Applicant: HOUSE OF MESSIAH, INC.
 Zoning Board: C08
 Commission District: 02
 Drafter ID: ALFREDO
 Scale: NTS
 ----- Zoning



SUBJECT PROPERTY



SKETCH CREATED ON: 07/13/09

REVISION	DATE	BY
Change Applicant Name	Feb 02/10	AFT
		22



MIAMI-DADE COUNTY
AERIAL YEAR 2009

Process Number
09-105

Section: 24 Township: 52 Range: 41
 Applicant: HOUSE OF MESSIAH, INC.
 Zoning Board: C08
 Commission District: 02
 Drafter ID: ALFREDO
 Scale: NTS
 ----- Zoning

SUBJECT PROPERTY



SKETCH CREATED ON: 07/13/09

REVISION	DATE	BY
Change Applicant Name	Feb 02/10	AFT

3. MIAMI DADE PUBLIC HOUSING AGENCY
(Applicant)

10-3-CZ8-3 (09-125)
Area 8/District 2
Hearing Date: 03/02/10

Property Owner (if different from applicant) Same.

Is there an option to purchase /lease the property predicated on the approval of the zoning request? Yes No

Disclosure of interest form attached? Yes No

Previous Zoning Hearings on the Property:

<u>Year</u>	<u>Applicant</u>	<u>Request</u>	<u>Board</u>	<u>Decision</u>
1965	Miami Housing - City of Miami	- Zone change from RU-2 to RU-4L. - Special exemption to permit multi family housing.	BCC	Approved w/conds.
1965	Miami Housing - City of Miami	- Zone change from RU-2 to RU-4L. - Special exemption to permit multi family housing. - Variance of parking.	ZAB	Approved w/conds.

Action taken today does not constitute a final development order, and one or more concurrency determinations will subsequently be required. Provisional determinations or listings of needed facilities made in association with this Initial Development Order shall not be binding with regard to future decisions to approve or deny an Intermediate or Final Development Order on any grounds.

**MIAMI-DADE COUNTY DEPARTMENT OF PLANNING AND ZONING
RECOMMENDATION TO COMMUNITY COUNCIL No. 8**

APPLICANT: Miami Dade Public Housing Agency

PH: Z09-125 (10-3-CZ8-3)

SECTION: 10-53-41

DATE: March 2, 2010

COMMISSION DISTRICT: 2

ITEM NO.: 3

=====

A. INTRODUCTION

o **REQUESTS:**

- (1) MODIFICATION of Condition #3 of Resolution Z-210-65, passed and adopted by the Board of County Commissioners, reading as follows:

FROM: "3. That in the approval of said plan, the same be substantially in accordance with that submitted for the hearing as prepared by T. Trip Russell & Associates, Architects, dated April 2, 1965, except for the relocation of the parking spaces."

TO:"3. That in the approval of said plan, the same be substantially in accordance with that submitted for the hearing entitled 'Scott/Carver – IIB: Carver Redevelopment,' as prepared by 'McCormack, Baron, Salazar., Reliance Housing Foundation, Torti Gallas and Partners, consisting of 24 sheets; Sheets 3, 3A and 3B dated stamped received 11/12/09 and the remaining 21 sheets dated stamped received 11/02/09."

- (2) MODIFICATION of Paragraph #1 of Agreement, recorded in Official Record Book 5905, Pages 637 – 640, reading as follows:

FROM: "1. That said property shall be developed substantially in accordance with the spirit and intent of the plans previously submitted, prepared by T. Trip Russell and Associates entitled 'Proposed Low-Rent Housing Project Fla. 5-20, The Housing Authority of the City of Miami, Florida; Bethune Homesites S-53 dated the 2nd day of April, 1965."

TO:"1. That in the approval of said plan, the same be substantially in accordance with that submitted for the hearing entitled 'Scott/Carver – IIB: Carver Redevelopment,' as prepared by 'McCormack, Baron, Salazar., Reliance Housing Foundation, Torti Gallas and Partners, consisting of 24 sheets; Sheets 3, 3A and 3B dated stamped received 11/12/09 and the remaining 21 sheets dated stamped received 11/02/09."

The purpose of Requests #1 and #2 is to allow the applicant to submit a revised site plan showing the property being developed into 4 platted tracts for a previously approved multi-family residential development.

- (3) Applicant is requesting to permit a multi-family residential development setback a minimum of 10' (25' required) from the front property lines and setback a minimum of 9' (25' required) from the side street property lines.
- (4) Applicant is requesting to permit porches with railings setback a minimum of 6.26' (25' required) from the front property lines and setback a minimum of 6.25' (25' required) from the side street property lines.
- (5) Applicant is requesting to permit handicap ramps with railings setback a minimum of 3.72' (25' required) from the front property lines and setback a minimum of .08' (25' required) from the side street property lines.
- (6) Applicant is requesting to permit balconies setback a minimum of 8.67' (25' required) from the front property lines and setback a minimum of 11.67' (25' required) from the side street property lines.
- (7) Applicant is requesting to permit a minimum spacing of 16.71' (30' required) between buildings.
- (8) Applicant is requesting to permit on a certain tract a floor area ratio of .55 (.5 maximum permitted).
- (9) Applicant is requesting to permit on certain proposed tracts, a minimum of 39 parking spaces (45 required).

The aforementioned plans are on file and may be examined in the Department of Planning and Zoning. Plans may be modified at public hearing.

o **SUMMARY OF REQUESTS:**

This application will allow the applicant to modify a condition of a previously adopted Resolution and a paragraph of a previously recorded Agreement that will allow the applicant to submit revised plans showing a different configuration for a proposed multi-family apartment development with reduced front and side street setbacks, spacing between buildings and with less than the required number of parking spaces. Additionally, the applicant seeks to exceed the permitted floor area ratio.

o **LOCATION:**

The southwest corner of NW 74 Terrace and NW 19 Avenue, Miami-Dade County, Florida.

o **SIZE:** 9.2 Acres

B. ZONING HEARINGS HISTORY:

In 1966, pursuant to Resolution #4-ZAB-308-65, the Zoning Appeals Board granted the approval for a multiple family housing development on the subject property, along with a non-use variance of the parking requirements allowing such development with less than the required number of parking spaces and denied without prejudice a request to allow parking within 25' of the public right-of-way. Additionally, the Zoning Appeals Board recommended for approval to the Board of County Commissioners a zone change from RU-2, Two-Family

Residential District, to RU-4L, Limited Apartment House District which was granted by the Board of County Commissioners, pursuant to Resolution #Z-210-65.

C. COMPREHENSIVE DEVELOPMENT MASTER PLAN (CDMP):

1. The Adopted 2015 and 2025 Land Use Plan designates the subject property as being within the Urban Development Boundary for **Medium Density Residential use**. This category allows densities from 13 to 25 dwelling units per gross acre. The type of housing structures typically permitted in this category include townhouses and low-rise and medium-rise apartments.
2. Existing lawful residential and non-residential uses and zoning are not specifically depicted on the LUP map. They are however reflected in the average Plan Density depicted. All such lawful uses and zoning are deemed to be consistent with this Plan as provided in the section of this CDMP titled "Concepts and Limitations of the Land Use Plan Map." The limitation referenced in this paragraph pertain to existing zoning and uses. All approval of new zoning must be consistent with the provisions of the specific category in which the subject parcel exists, including the provisions for density averaging and definition of gross density.

D. NEIGHBORHOOD CHARACTERISTICS:

ZONING

LAND USE PLAN DESIGNATION

Subject Property:

RU-4L; vacant
dua

Medium Density Residential, 13 to 25

Surrounding Properties

NORTH: BU-1; commercial buildings

Low Medium Density Residential 6 to 13
dua

SOUTH: GU; railroad right-of-way
RU-2; duplexes and single
family residences

Medium Density Residential, 13 to 25
dua

EAST: RU-2; duplexes and single-family
residences

Medium Density Residential, 13 to 25
dua

WEST: RU-4; vacant

Medium Density Residential, 13 to 25
dua

The subject property is located at the southwest corner of NW 74 Terrace and NW 19 Avenue. Duplexes, vacant land, commercial buildings, and single family residences characterize the area where the subject property lies.

E. SITE AND BUILDINGS:

Site Plan Review:	(Site plan submitted)
Scale/Utilization of Site:	Acceptable
Location of Buildings:	Acceptable
Compatibility:	Acceptable
Landscape Treatment:	Acceptable
Open Space:	Acceptable
Buffering:	Acceptable
Access:	Acceptable
Parking Layout/Circulation:	Acceptable
Visibility/Visual Screening:	N/A

F. PERTINENT REQUIREMENTS/STANDARDS:

33-311(A)(7) Generalized Modification Standards. The Board shall hear applications to **modify** or eliminate any condition or part thereof which has been imposed by any final decision adopted by resolution; provided, that the appropriate Board finds after public hearing that the modification or elimination, in the opinion of the Community Zoning Appeals Board, would not generate excessive noise or traffic, tend to create a fire or other equally or greater dangerous hazard, or provoke excessive overcrowding of people, or would not tend to provoke a nuisance, or would not be incompatible with the area concerned, when considering the necessity and reasonableness of the modification or elimination in relation to the present and future development of the area concerned.

Section 33-311(A)(4)(b) Non-Use Variances from other than Airport Regulations. Upon appeal or direct application in specific cases, the Board shall hear and grant applications for **non-use variances** from the terms of the zoning and subdivision regulations and may grant a non-use variance upon a showing by the applicant that the non-use variance maintains the basic intent and purpose of the zoning, subdivision and other land use regulations, which is to protect the general welfare of the public, particularly as it affects the stability and appearance of the community and provided that the non-use variance will be otherwise compatible with the surrounding land uses and would not be detrimental to the community. No showing of unnecessary hardship to the land is required.

G. NEIGHBORHOOD SERVICES:

DERM	No objection*
Public Works	No objection
Parks	No objection
MDT	No objection
Fire Rescue	No objection*
Police	No objection
Schools	No objection

*Subject to conditions indicated in their memoranda.

H. ANALYSIS:

The 9.2-acre subject property is located at the southwest corner of NW 74 Terrace and NW 19 Avenue, in a mixed residential and commercial neighborhood. The Land Use Plan (LUP) map of the Comprehensive Development Master Plan (CDMP) designates the subject property for **Medium Density Residential** use. This category allows densities from 13 to 25 dwelling units per gross acre. The types of housing structures typically permitted in this category include townhouses and low-rise and medium-rise apartments. As previously mentioned, the subject property is designated as Medium Density Residential use, which allows a density from a minimum of 13 to a maximum of 25 dwelling units per gross acre. The plans submitted by the applicant depict a parcel of land broken down into four (4) Tracts which make up the entire development. A maximum of 25 units where the Land Use Plan (LUP) map of the Comprehensive Development Master Plan (CDMP) allows a maximum of 54 units on proposed Tract A; a maximum of 57 units where the Land Use Plan (LUP) map of the Comprehensive Development Master Plan (CDMP) allows a maximum of 109 units on proposed Tract B; and a maximum of 24 units where the Land Use Plan (LUP) map of the Comprehensive Development Master Plan (CDMP) allows a maximum of 49 units on proposed Tract C. In accordance with the Master Plan, this 9.2-acre parcel of land can be developed with a maximum of 230 units. The plans submitted by the applicant for this application depict the development of the 9.2-acre site with a total of 106 units which is 124 units below that permitted by the Land Use Plan (LUP) map of the Comprehensive Development Master Plan (CDMP). Therefore, the proposed development of 106 units on the subject property is numerically **consistent** with the LUP map designation of the Comprehensive Development Master Plan (CDMP).

The Department of Environmental Resources Management (**DERM**) has **no objections** to this application and has indicated that it meets the minimum requirements of Chapter 24 of the Miami-Dade County Code. However, the applicant will have to comply with all DERM conditions as set forth in their memorandum pertaining to this application. The **Public Works Department objects** to this application and indicates further in their memorandum that this application meets traffic concurrency because it lies within the urban infill area where traffic concurrency does not apply. However, the Public Works Department memorandum indicates that they object to the request to permit less parking than required. Furthermore, the Public Works Department indicates that this land requires platting and road dedications and improvements will be accomplished through the recording of a plat. The Miami-Dade Fire Department (**MDFRD**) has no objections to this application and their memorandum indicates that the estimated average travel response time is **6:09** minutes. Miami-Dade County Public Schools (**MDCPS**) has indicated that the Public School concurrency will take place at time of plat.

In request #1 the applicant is seeking to modify a previously approved plan, which was approved in 1965, pursuant to Resolution #Z-210-65 by the Board of County Commissioners for a 96 unit multi-family apartment development. As depicted on the plans submitted for this application the proposed development will increase the total number of units from the previously approved plans from 96 units to 106 units. However, as previously mentioned the development of the 9.2 acre site with 106 units is 124 units below that permitted by the LUP map designation of the Comprehensive Development Master Plan (CDMP) and 53 units below that permitted by the Zoning Code under the RU-4L zoning district. The submitted plans also depict that the proposed apartment buildings have been designed with

a mediterranean architectural style which include barrel tile roof, colonial windows, front porches with railings and columns and architectural arches. Staff is of the opinion that these architectural features are an enhancement over the previously approved 1965 plans which did not depict any specific type of architectural style and were poorly designed and similar to a bungalow court type of development, which is highly discouraged by staff. Additionally, the proposed plans only indicate a parking shortage of 18 parking spaces which is 4 parking spaces less than the previously approved non-use variance of parking requirements in 1965. Staff notes, that the new plans depict the location of the parking areas on Tracts A, B and C, behind the proposed buildings, and away from the front building line. Staff is supportive of this design since it makes the parking area barely visible from the street. Additionally, the submitted plans depict that Tract D will be designated for a passive recreational area which will include a future playground. Additionally, the footprint of the proposed buildings have been designed to be constructed with proximity to the sidewalks, running along the public rights-of-ways which, in staff's opinion will make the proposed multi-family residential development pedestrian friendly. Based on all the aforementioned reasons, staff recommends approval with conditions of request #1 under Section 33-311(A)(7) (Generalized Modification Standards).

In request #2 the applicant is seeking a modification of paragraph #1 of a proffered Agreement recorded in Official Record Book 5905, pages 637-640. The modification will allow the applicant to submit a new Agreement identifying the plans submitted with this application. As previously mentioned staff is supportive of the plans submitted with this application and is of the opinion that request #2 is germane to request #1. As such, staff recommends approval of the requested modification of paragraph #1 of the recorded agreement subject to a condition that a new agreement be recorded to reflect the plans submitted with this application.

When requests #3 through #10 are analyzed under the Non-Use Variance (NUV) Standards, Section 33-311(A)(4)(b), staff is of the opinion that the approval of these requests would be **compatible** with the surrounding area, would not be detrimental to the neighborhood, and would not negatively affect the stability and appearance of the community. As previously mentioned, staff is of the opinion that the previously approved multi-family apartment development was poorly designed, did not reflect any specific architectural style, and depicted a parking shortage greater than that depicted on the plans submitted with this application. Moreover, staff notes that most of the non-use variances of setback requirements being requested on Tracts A, B and C are for encroachments into the front and side street setbacks (requests #3, #4, #5 and #6) and of spacing requirements between buildings (request #7) are necessary in order to allow the handicapped ramps and railings within the front and side street setback areas. Staff notes that these encroachments are necessary in order to provide better accessibility to the units for the handicapped residents. Additionally, staff notes that some of the balconies and front porches also encroach into the front and side street setback areas, however staff opines that said encroachments add architectural style and character to the development. Moreover, staff notes that the floor area ratio (request #9) on proposed Tract C exceeds that permitted by the Zoning Code by 0.05. However, staff notes, that when the average of the floor area ratio for Tracts A, B and C is calculated, the floor area ratio results in 0.45 which represents a reduction of the permitted floor area ratio by 0.05 which in staff's opinion balances out the floor area ratio deficiency on Tract C. The applicant is also seeking a parking variance for a shortage of 6 parking spaces on proposed Tract A and a shortage of 15 parking spaces on proposed

Tract C which, when combined results in a shortage of 21 parking spaces. However, staff notes that in the previous plan the Board granted a parking variance of 24 parking spaces which is 3 parking spaces greater than that being requested by the applicant under this application. Staff notes that the previous variance of parking requirements would normally be carry on forward if the property is maintained as one site. However, since the subject site of the original hearing is being proposed to be subdivided into four tracts (Tracts A, B, C and D) and since each of the proposed tracts must comply the applicable zoning regulations a request for a variance of the parking shortage is necessary for Tracts A and C. Based on the foregoing staff opines that the previous parking variance granted in 1965 is more severe than the one being requested under this application and therefore recommends approval of requests #8 and #10. Therefore, based on all of the above, staff is of the opinion that there will be no negative visual impact to the surrounding residential developments or to the traffic in the area, and recommends that requests #3 through #10 be approved with conditions under the NUV standards.

I. **RECOMMENDATION:** Approval with conditions

J. **CONDITIONS:**

1. That all conditions of Resolution #Z-210-65 remain in full force and effect, except as herein modified.
2. That the applicant submit to the Department for its review and approval a landscaping plan which indicates the type and size of plant material prior to the issuance of a building permit and to be installed prior to the issuance of a Certificate of Use.
3. That a recordable agreement be submitted to and meet with the approval of the Director providing for permanent and safe access for pedestrian and vehicular traffic within the development and particularly for right of access for fire, police, health, and sanitation and other public service personnel and vehicles. The agreement, which shall be a covenant running with the land, shall also include a stipulation that the streets, or access ways, shall be installed and maintained by the applicant, including, but not limited to, sidewalks, drainage facilities, water, sewers and fire hydrants, meeting with the approval of the Director and the Director of the Public Works Department. Such agreement shall be executed by the property owner and any and all parties having an interest in the land, such as mortgagees, etc., and its improvements.
4. To the extent property is not dedicated to Miami-Dade County, that in order to preserve each of the integrity and maintenance of the common areas of each of the proposed developments on each of the proposed tracts, a Unity of Title or Declaration of Restrictions be submitted on each of the proposed Tracts (Tracts A, B and C) with the exception of Tract D (the recreational tract) which should be combined with a Unity of Title or Declaration of Restrictions with one or more of the aforementioned Tracts (Tracts A, B and C); in the event of multiple ownership, a homeowners' association (or special taxing district) be established in accordance with applicable regulations to assure that all common areas and facilities for use of all residents shall be maintained in a continuous and satisfactory manner, and

without expense to the general taxpayer of Miami-Dade County. The instrument incorporating such provisions shall be approved by the County Attorney as to form and legal sufficiency and shall be recorded in the public records of Miami-Dade County at the time of the recording of the subdivision plat.

DATE TYPED: 01/25/2010
DATE REVISED: 01/29/2010; 02/22/10
DATE FINALIZED: 02/22/2010
MCL:GR:NN:NC:TA



Marc C. LaFerrer, AICP, Director
Miami-Dade County Department of
Planning and Zoning

J.V.
GR

Memorandum



Date: December 1, 2009

To: Marc C. LaFerrier, AICP, Director
Department of Planning and Zoning

From: Jose Gonzalez, P.E., Assistant Director
Environmental Resources Management

A handwritten signature in black ink, appearing to read "Jose Gonzalez". The signature is written in a cursive, flowing style.

Subject: C-08 #Z2009000125-1st Revision
Miami-Dade Public Housing Agency
Southwest Corner of N.W. 74TH Terrace and N.W. 19TH Avenue
Modification of a Previous Resolution to Submit a New Site Plan for a
Multi-Family Residence Development and To Permit the Multi-Family
Residential Development Setbacks Less than Required from Property
Lines
(RU-4L) (9 Acres)
10-53-41

The Department of Environmental Resources Management (DERM) has reviewed the subject application and has determined that it meets the minimum requirements of Chapter 24 of the Code of Miami-Dade County, Florida (the Code). Accordingly, DERM may approve the application, and the same may be scheduled for public hearing.

Potable Water Service and Wastewater Disposal

Public water and public sanitary sewers can be made available to the subject property. Therefore, connection of the proposed development to the public water supply system and sanitary sewer system shall be required in accordance with Code requirements.

Existing public water and sewer facilities and services meet the Level of Service (LOS) standards set forth in the Comprehensive Development Master Plan (CDMP). Furthermore, the proposed development order, if approved, will not result in a reduction in the LOS standards subject to compliance with the conditions required by DERM for this proposed development order.

Notwithstanding the foregoing, and in light of the fact that the County's sanitary sewer system has limited sewer collection, transmission, and treatment capacity, no new sewer service connections can be permitted, unless there is adequate capacity to handle the additional flows that this project would generate. Consequently, final development orders for this site may not be granted if adequate capacity in the system is not available at the point in time when the project will be contributing sewage to the system. Lack of adequate capacity in the system may require the approval of alternate means of sewage disposal. Use of an alternate means of sewage disposal may only be granted in accordance with Code requirements, and shall be an interim measure, with connection to the public sanitary sewer system required upon availability of adequate collection/transmission and treatment capacity.

Stormwater Management

A Surface Water Management General Permit from DERM shall be required for the construction and operation of the required surface water management system. This permit shall be obtained prior to site

development, final plat, or public works approval of paving and drainage plans. The applicant is advised to contact DERM for further information regarding permitting procedures and requirements.

All stormwater shall be retained on-site utilizing properly designed seepage or infiltration drainage structures. Drainage must be provided for the 5-year/1-day storm event with full on-site retention of the 25-year/3-day storm. Pollution Control devices shall be required at all drainage inlet structures.

Site grading and development shall comply with the requirements of Chapter 11C of the Code.

Any proposed development shall comply with County and Federal flood criteria requirements. The proposed development order, if approved, will not result in a reduction in the Level of Service standards for flood protection set forth in the CDMP subject to compliance with the conditions required by DERM for this proposed development order.

Pollution Control

DERM has reviewed the information regarding the above referenced site and found that there are no records of current contamination assessment or remediation issues on this property (HUD-Carver Homes, 7410 NW 19 Ave, /F-17572), nor are there historical records of contamination assessment or remediation issues regarding non-permitted sites associated with this property.

Please be advised that the abutting property to the west has records of current contamination assessment or remediation issues (HUD-Scott Homes Sector 4, 7250 NW 21 AVE, HWR-506/F-17571). The contaminated site is currently under assessment. Except as noted above there are no other abutting properties with records of current contamination assessment/remediation issues.

Additionally, there are no historical records of contamination assessment or remediation issues regarding non-permitted sites associated with the abutting the properties.

Wetlands

The subject property does not contain wetlands as defined by Section 24-5 of the Code; therefore, a Class IV Wetland Permit will not be required.

The applicant is advised that permits from the Army Corps of Engineers (305-526-7181), the Florida Department of Environmental Protection (561-681-6600) and the South Florida Water Management District (1-800-432-2045) may be required for the proposed project. It is the applicant's responsibility to contact these agencies.

Tree Preservation

Tree Removal Permit 2009-TREE-PER-00351 was issued for this property to Miami Dade County/Miami Dade Housing Authority, on November 19, 2009. All approved tree removal/relocation, replanting and final inspection (a two weeks notice is required prior to the final inspection) must be completed prior to the scheduled expiration date of this permit on November 19, 2010 in order to avoid violation of permit conditions. A two weeks notice is required prior to the final inspection. Please be advised that a new Miami-Dade County Tree Removal Permit or an amendment to this permit is required prior to the removal or relocation of any other trees on the subject property. Please contact this Program at 305-372-6574 for information regarding tree permits.

Enforcement History

DERM staff has found one (1) closed enforcement case for the referenced property address. The following is a summary of the closed enforcement case associated with the subject folio:

MDHA Carver Homes, 7410 NW 19th Avenue, Miami-Dade County, FL (PSO 786)

On September 15th 2004 a Notice of Violation (NOV) was issued to this facility for failure to submit the required Sanitary Sewer Evaluation Survey (SSES). On September 15th 2005 this case was administratively closed by the Department as the buildings along with pump stations were demolished.

Concurrency Review Summary

DERM has conducted a concurrency review for this application and has determined that the same meets all applicable LOS standards for an initial development order, as specified in the adopted CDMP for potable water supply, wastewater disposal, and flood protection. Therefore, the application has been approved for concurrency subject to the comments and conditions contained herein.

This concurrency approval does not constitute a final concurrency statement and is valid only for this initial development order, as provided for in the adopted methodology for concurrency review. Additionally, this approval does not constitute any assurance that the LOS standards would be met by any subsequent development order applications concerning the subject property.

This memorandum shall constitute DERM's written approval, as required by the Code.

If you have any questions concerning the comments, or wish to discuss this matter further, please contact Enrique A. Cuellar at (305) 372-6764.

PUBLIC WORKS DEPARTMENT COMMENTS

Applicant's Names: MIAMI DADE PUBLIC HOUSING AGENCY

This Department objects to this application.

This Department objects to the request to permit less parking than required.

This land requires platting in accordance with Chapter 28 of the Miami-Dade County Code. The road dedications and improvements will be accomplished thru the recording of a plat.

Additional improvements may be required at time of platting.

This project meets traffic concurrency because it lies within the urban infill area where traffic concurrency does not apply.



Raul A Pino, P.L.S.

14-DEC-09

Memorandum



Date: 30-SEP-09
To: Marc LaFerrier, Director
Department of Planning and Zoning
From: Herminio Lorenzo, Fire Chief
Miami-Dade Fire Rescue Department
Subject: Z2009000125

Fire Prevention Unit:

APPROVAL

Fire Engineering and Water Supply Bureau has no objection to Site plans date stamped August 19, 2009. Any changes to the vehicular circulation must be resubmitted for review and approval.

This plan has been reviewed to assure compliance with the MDFR Access Road Requirements for zoning hearing applications only. Please be advised that during the platting and permitting stages of this project, the proffered site plan must adhere to corresponding MDFR requirements.

Service Impact/Demand

Development for the above Z2009000125

located at THE SOUTHWEST CORNER OF N.W. 74 TERRACE & N.W. 19 AVENUE, MIAMI-DADE COUNTY, FLORIDA.

in Police Grid 8795 is proposed as the following:

<u>106</u> residential	dwelling units	<u>N/A</u> industrial	square feet
<u>N/A</u> Office	square feet	<u>N/A</u> institutional	square feet
<u>N/A</u> Retail	square feet	<u>N/A</u> nursing home/hospitals	square feet

Based on this development information, estimated service impact is: 29.75 alarms-annually.
The estimated average travel time is: 6:09 minutes

Existing services

The Fire station responding to an alarm in the proposed development will be:

Station 7 - W Little River - 9350 NW 22 Avenue
Rescue, ALS Engine, Squad

Planned Service Expansions:

The following stations/units are planned in the vicinity of this development:

Station 67 - Arcola - 1275 NW 79 Street.

Fire Planning Additional Comments

Current service impact calculated based on site plans date stamped August 19, 2009. Substantial changes to the plans will require additional service impact analysis.

TEAM METRO

ENFORCEMENT HISTORY

MIAMI DADE PUBLIC HOUSING
AGENCY

THE SOUTHWEST CORNER OF
N.W. 74 TERRACE & N.W. 19
AVENUE, MIAMI-DADE COUNTY,
FLORIDA.

APPLICANT

ADDRESS

Z2009000125

HEARING NUMBER

CURRENT ENFORCEMENT HISTORY:

Current Enforcement History:

Case #200904009188 was opened based on enforcement history request on 11/09/09. No violations observed at time of inspection.

Henry Byrd

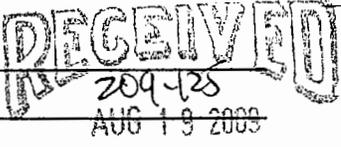
DISCLOSURE OF INTEREST*

~~NOT APPLICABLE~~

If a CORPORATION owns or leases the subject property, list principal stockholders and percent of stock owned by each. [Note: Where principal officers or stockholders consist of other corporation(s), trust(s), partnership(s) or other similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

CORPORATION NAME: MIAMI DADE PUBLIC HOUSING AGENCY

<u>NAME AND ADDRESS</u>	<u>Percentage of Stock</u>
_____	_____
_____	_____
_____	_____
_____	_____



ZONING HEARINGS SECTION
MIAMI-DADE PLANNING AND ZONING DEPT.
BY: AD

If a TRUST or ESTATE owns or leases the subject property, list the trust beneficiaries and the percent of interest held by each. [Note: Where beneficiaries are other than natural persons, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

TRUST/ESTATE NAME _____

<u>NAME AND ADDRESS</u>	<u>Percentage of Interest</u>
_____	_____
_____	_____
_____	_____
_____	_____

If a PARTNERSHIP owns or leases the subject property, list the principals including general and limited partners. [Note: Where the partner(s) consist of another partnership(s), corporation(s), trust(s) or other similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

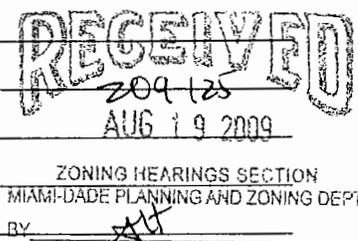
PARTNERSHIP OR LIMITED PARTNERSHIP NAME: _____

<u>NAME AND ADDRESS</u>	<u>Percentage of Ownership</u>
_____	_____
_____	_____
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_____	_____

If there is a CONTRACT FOR PURCHASE, by a Corporation, Trust or Partnership list purchasers below, including principal officers, stockholders, beneficiaries or partners. [Note: Where principal officers, stockholders, beneficiaries or partners consist of other corporations, trusts, partnerships or other similar

entities, further disclosure shall be made to identify natural persons having the ultimate ownership interests].

NAME OF PURCHASER: _____

NAME, ADDRESS AND OFFICE (if applicable)	Percentage of Interest
	

Date of contract: _____

If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership or trust.

_____	_____
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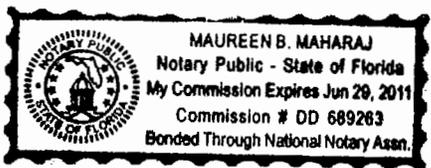
NOTICE: For any changes of ownership or changes in purchase contracts after the date of the application, but prior to the date of final public hearing, a supplemental disclosure of interest is required.

The above is a full disclosure of all parties of interest in this application to the best of my knowledge and belief.

Signature: [Signature]
(Applicant)

Sworn to and subscribed before me this 19th day of August, 2009. Affiant is personally know to me or has produced Miami Dade County Employees Assn. as identification.

Maureen B. Mahara
(Notary Public) **MAUREEN B MAHARA**



My commission expires: _____

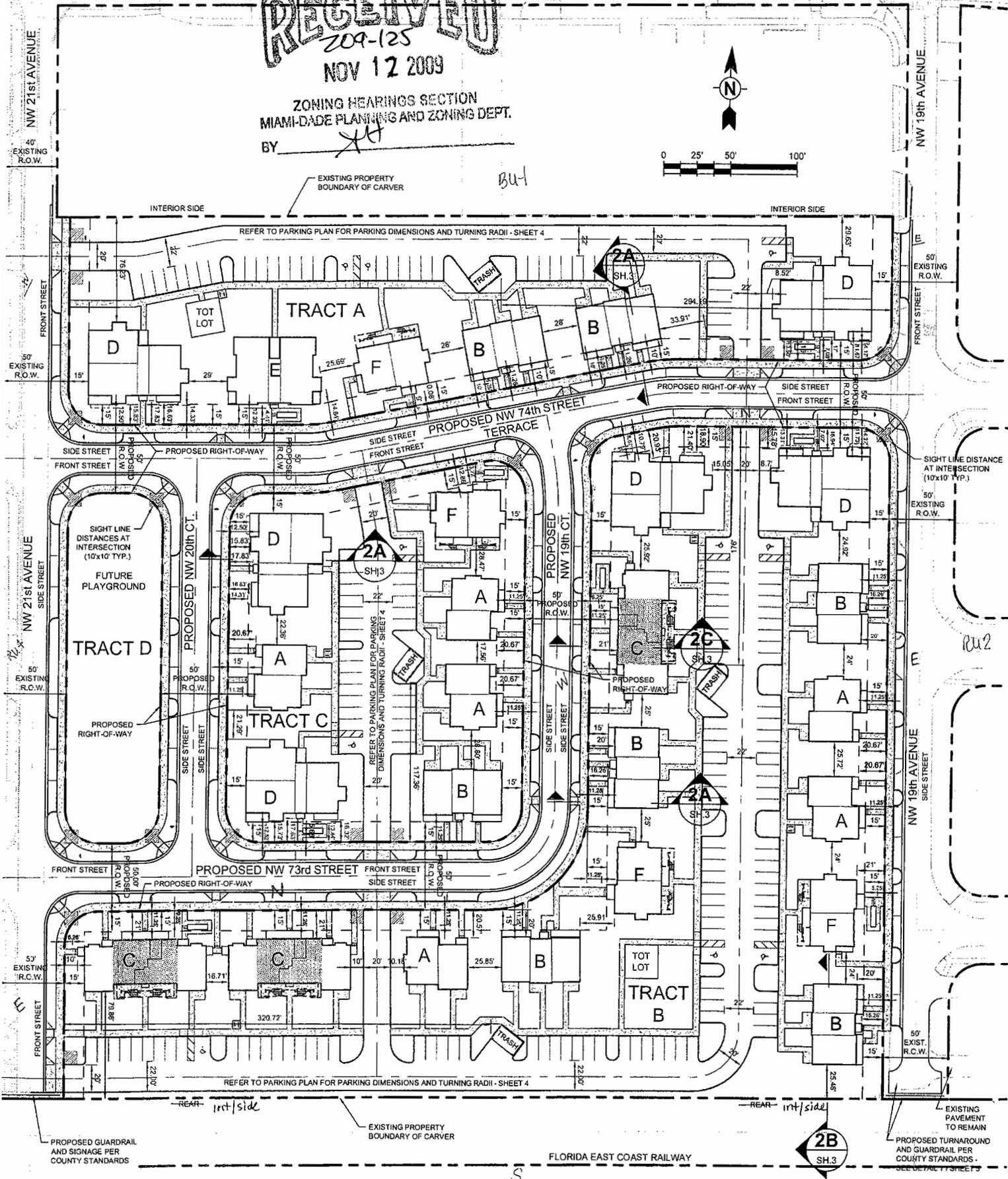
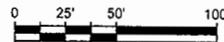
Seal

*Disclosure shall not be required of: 1) any entity, the equity interests in which are regularly traded on an established securities market in the United States or another country; or 2) pension funds or pension trusts of more than five thousand (5,000) ownership interests; or 3) any entity where ownership interests are held in a partnership, corporation or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership and where no one (1) person or entity holds more than a total of five per cent (5%) of the ownership interest in the partnership, corporation or trust. Entities whose ownership interests are held in a partnership, corporation, or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership, shall only be required to disclose those ownership interest which exceed five (5) percent of the ownership interest in the partnership, corporation or trust.

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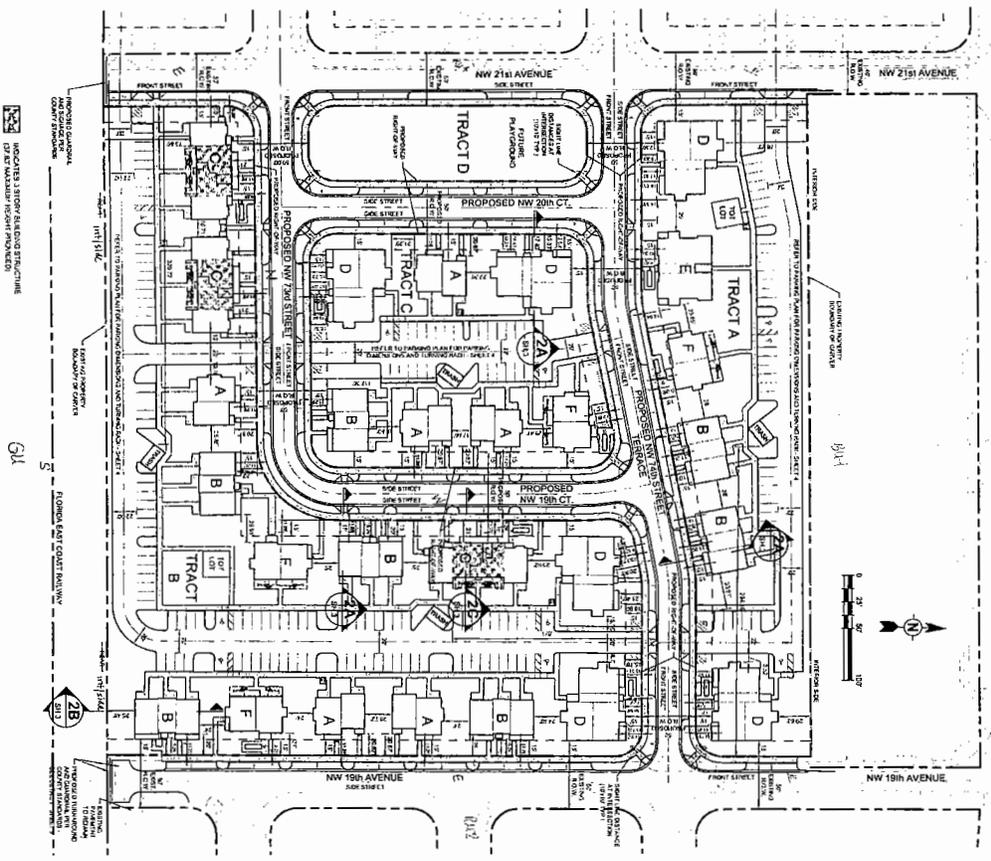
18

INDICATES 3 STORY BUILDING STRUCTURE
(37.83' MAXIMUM HEIGHT PROVIDED)

ENLARGED SITE PLAN

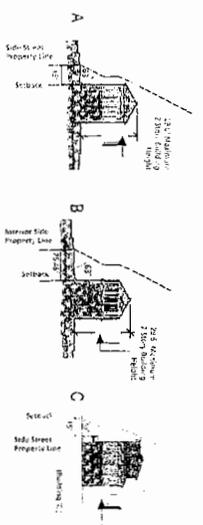
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NW 19th STREET



4 Site Plan with Property line Boundary, Proposed Tract Boundary lines
R.O.W and setback dimensions

Carver Site plan and Zoning Legend: RU-4L Zoning
MCCORMACK BARON SALAZAR
RELIANCE HOUSING FOUNDATION
TORRI GALLAS AND PARTNERS



2 Side Street and Interior Side Building Setback Diagrams

Carver - Tract A: Building Data

Building Type	Lot	Units per Lot	Total Units	Total Floor Area	Total Gross Area	Net Area	Net Density
Building A	1	2	2	2,123.87 - 4,247.74	2,123.87 - 4,247.74	1,061.93	1.06
Building B	2	2	2	2,123.87 - 4,247.74	2,123.87 - 4,247.74	1,061.93	1.06
Building C	3	2	2	2,123.87 - 4,247.74	2,123.87 - 4,247.74	1,061.93	1.06
Building D	4	2	2	2,123.87 - 4,247.74	2,123.87 - 4,247.74	1,061.93	1.06
Building E	5	2	2	2,123.87 - 4,247.74	2,123.87 - 4,247.74	1,061.93	1.06
Building F	6	2	2	2,123.87 - 4,247.74	2,123.87 - 4,247.74	1,061.93	1.06
Total	6	12	12	12,743.12 - 25,486.24	12,743.12 - 25,486.24	6,371.56	6.37

Carver - Tract B: Building Data

Building Type	Lot	Units per Lot	Total Units	Total Floor Area	Total Gross Area	Net Area	Net Density
Building A	1	2	2	2,123.87 - 4,247.74	2,123.87 - 4,247.74	1,061.93	1.06
Building B	2	2	2	2,123.87 - 4,247.74	2,123.87 - 4,247.74	1,061.93	1.06
Building C	3	2	2	2,123.87 - 4,247.74	2,123.87 - 4,247.74	1,061.93	1.06
Building D	4	2	2	2,123.87 - 4,247.74	2,123.87 - 4,247.74	1,061.93	1.06
Building E	5	2	2	2,123.87 - 4,247.74	2,123.87 - 4,247.74	1,061.93	1.06
Building F	6	2	2	2,123.87 - 4,247.74	2,123.87 - 4,247.74	1,061.93	1.06
Total	6	12	12	12,743.12 - 25,486.24	12,743.12 - 25,486.24	6,371.56	6.37

3 Carver - Building Data

Carver - Tract C: Building Data

Building Type	Lot	Units per Lot	Total Units	Total Floor Area	Total Gross Area	Net Area	Net Density
Building A	1	2	2	2,123.87 - 4,247.74	2,123.87 - 4,247.74	1,061.93	1.06
Building B	2	2	2	2,123.87 - 4,247.74	2,123.87 - 4,247.74	1,061.93	1.06
Building C	3	2	2	2,123.87 - 4,247.74	2,123.87 - 4,247.74	1,061.93	1.06
Building D	4	2	2	2,123.87 - 4,247.74	2,123.87 - 4,247.74	1,061.93	1.06
Building E	5	2	2	2,123.87 - 4,247.74	2,123.87 - 4,247.74	1,061.93	1.06
Building F	6	2	2	2,123.87 - 4,247.74	2,123.87 - 4,247.74	1,061.93	1.06
Total	6	12	12	12,743.12 - 25,486.24	12,743.12 - 25,486.24	6,371.56	6.37

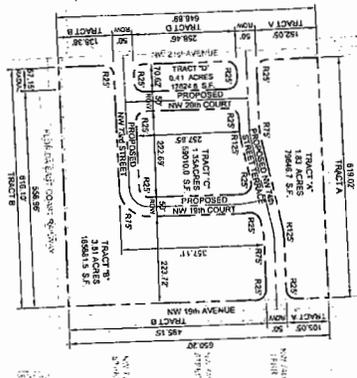
Carver - Tract D: Building Data

Building Type	Lot	Units per Lot	Total Units	Total Floor Area	Total Gross Area	Net Area	Net Density
Building A	1	2	2	2,123.87 - 4,247.74	2,123.87 - 4,247.74	1,061.93	1.06
Building B	2	2	2	2,123.87 - 4,247.74	2,123.87 - 4,247.74	1,061.93	1.06
Building C	3	2	2	2,123.87 - 4,247.74	2,123.87 - 4,247.74	1,061.93	1.06
Building D	4	2	2	2,123.87 - 4,247.74	2,123.87 - 4,247.74	1,061.93	1.06
Building E	5	2	2	2,123.87 - 4,247.74	2,123.87 - 4,247.74	1,061.93	1.06
Building F	6	2	2	2,123.87 - 4,247.74	2,123.87 - 4,247.74	1,061.93	1.06
Total	6	12	12	12,743.12 - 25,486.24	12,743.12 - 25,486.24	6,371.56	6.37

1 Carver Zoning Legend: Variance: RU-4L Zoning

SCOTT/ CARVER - II B: CARVER REDEVELOPMENT

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BY *ST*



5 Tract Dimensioning Plan

SHEET 3
Revised November 10, 2009
November 14, 2009

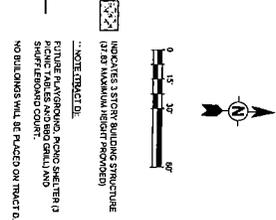
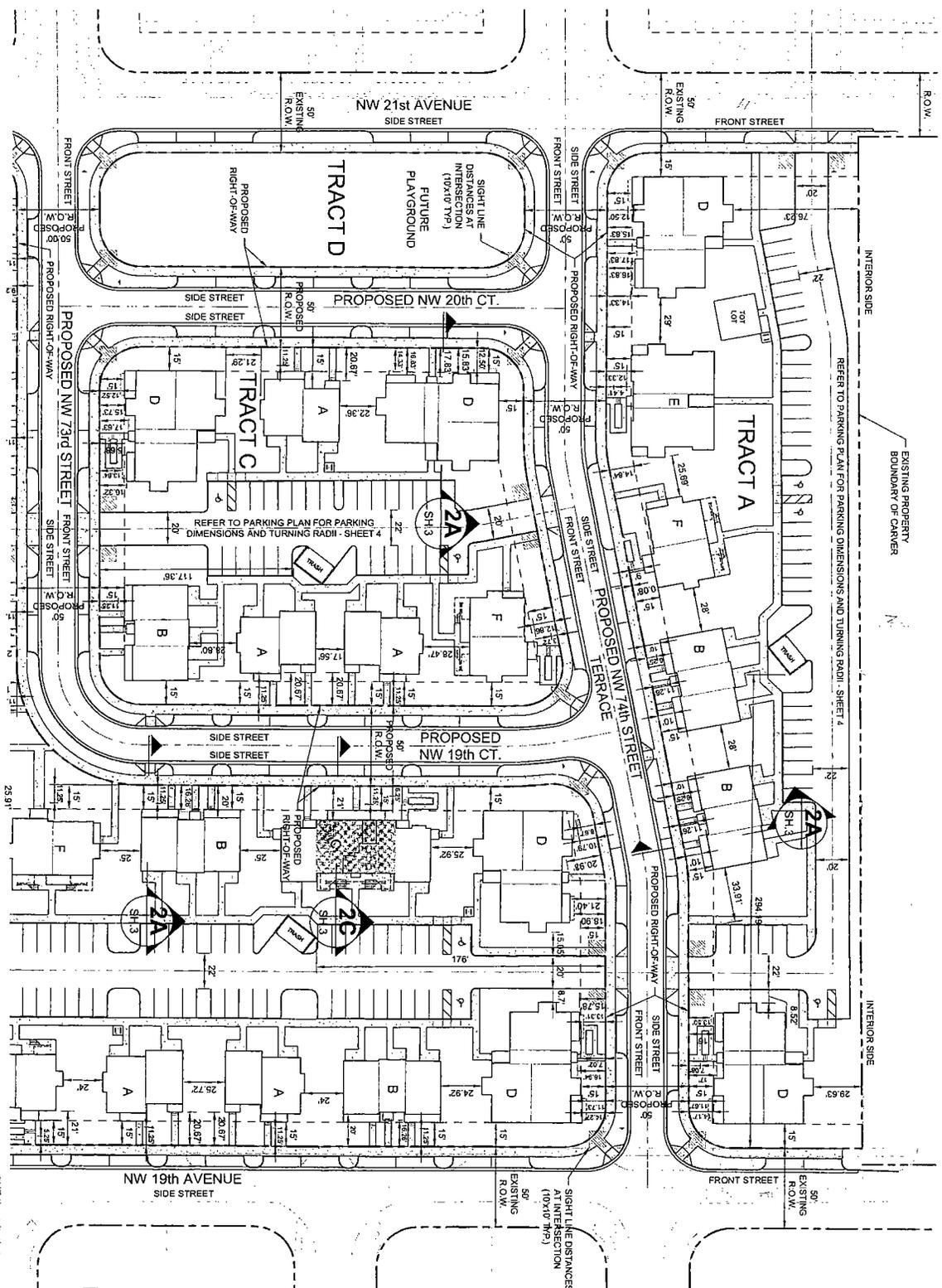
Illustrative Masterplan
 ACCORNAK BAYON SALAZAR
 RELIANCE HOUSING FOUNDATION
 TORRETT GALLES AND PARTNERS

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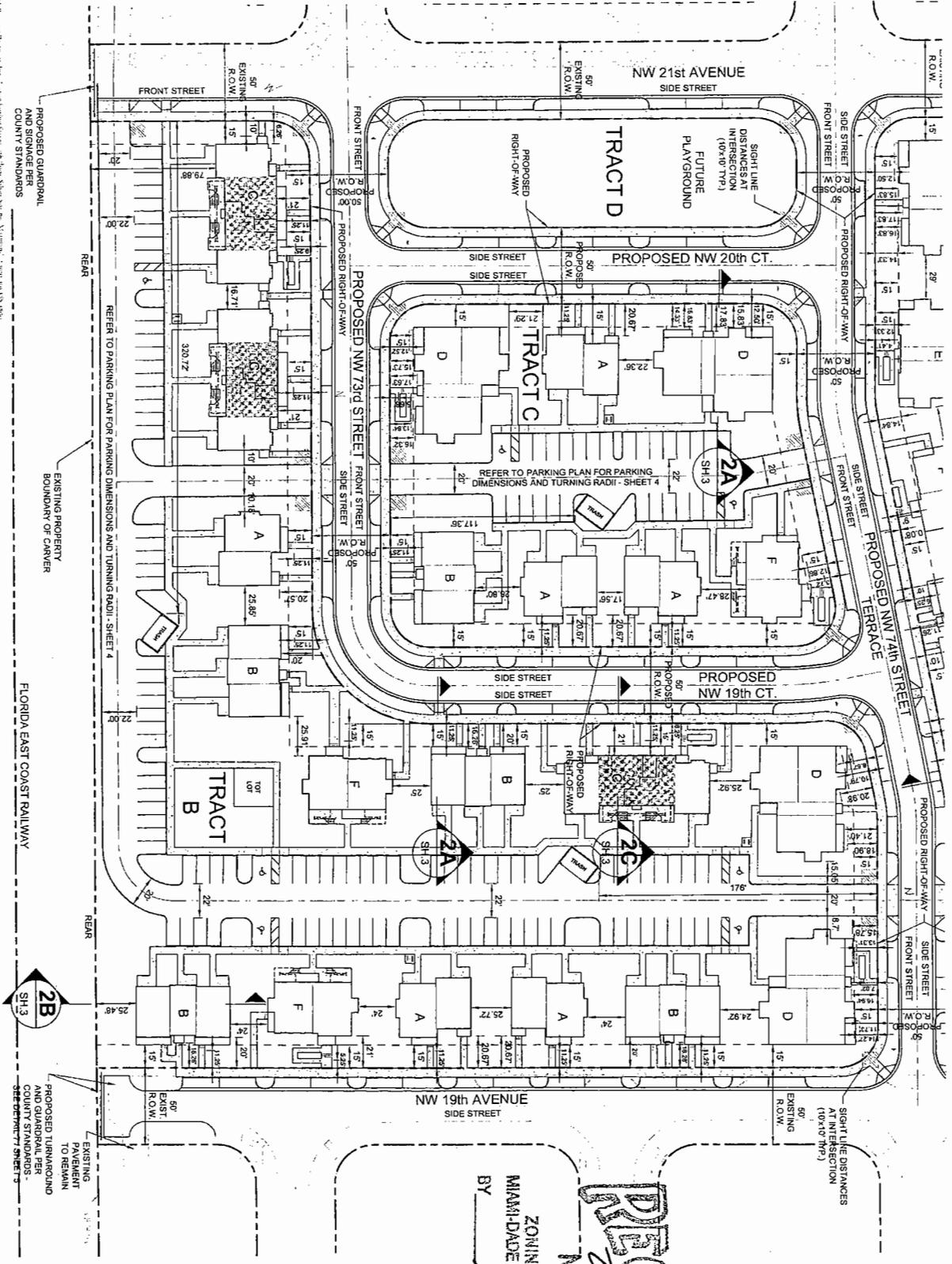
SCOTT / CARVER - II B : CARVER REDEVELOPMENT

SHEET 3A
 Revised November 10, 2009
 August 14, 2009



INDICATES 3 STORY BUILDING STRUCTURE
 (BY 2D HATCHING NOT SHOWN)
 FUTURE PARKING SPACES LOCATED IN
 FRONT YARDS AND SIDE YARDS TO
 SHUTTERBOARD COURT.
 NO BUILDINGS WILL BE PLACED ON TRACT B.

510 measured from SH-3
 515 measured from gutter/walkways
 520 measured from centerline
 525 measured from sidewalk



Illustrative Masterplan
 MCCORMACK ERON SALAZAR
 RELIANCE HOUSING FOUNDATION
 TORI GALIAS AND PARTNERS

SCOTT / CARVER - II B : CARVER REDEVELOPMENT

SHEET 3B
 Revised November 10, 2009
 August 14, 2009

0 15 30 60
 NORTH

OWNER'S STORM DRAINAGE STRUCTURE
 (SEE PLAN SHEET 3B FOR LOCATION)

NOTE: EXISTING PAVEMENT TO REMAIN AND GUARDRAIL PER COUNTY STANDARDS - SEE PLAN SHEET 3B

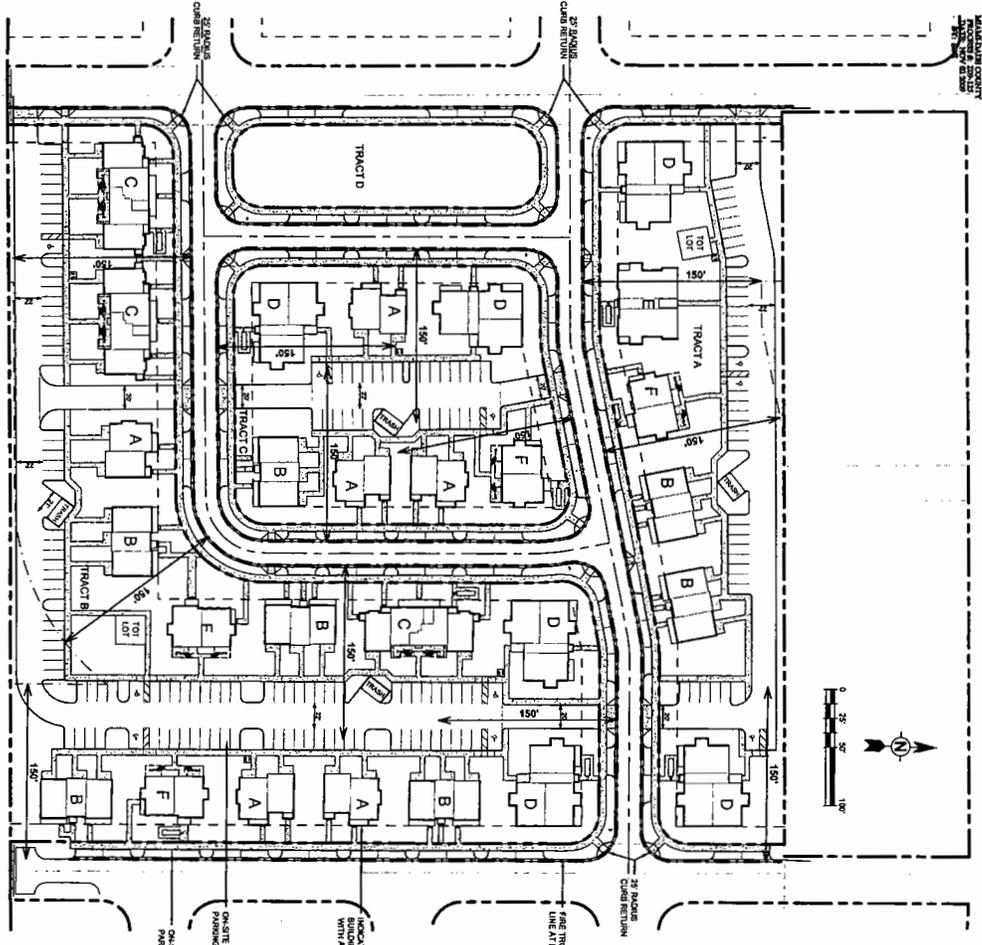
FUTURE PLAYGROUND, FENCE SHEET 3B FROM TRACT B PLAN

NO BUILDINGS WILL BE PLACED ON TRACT D

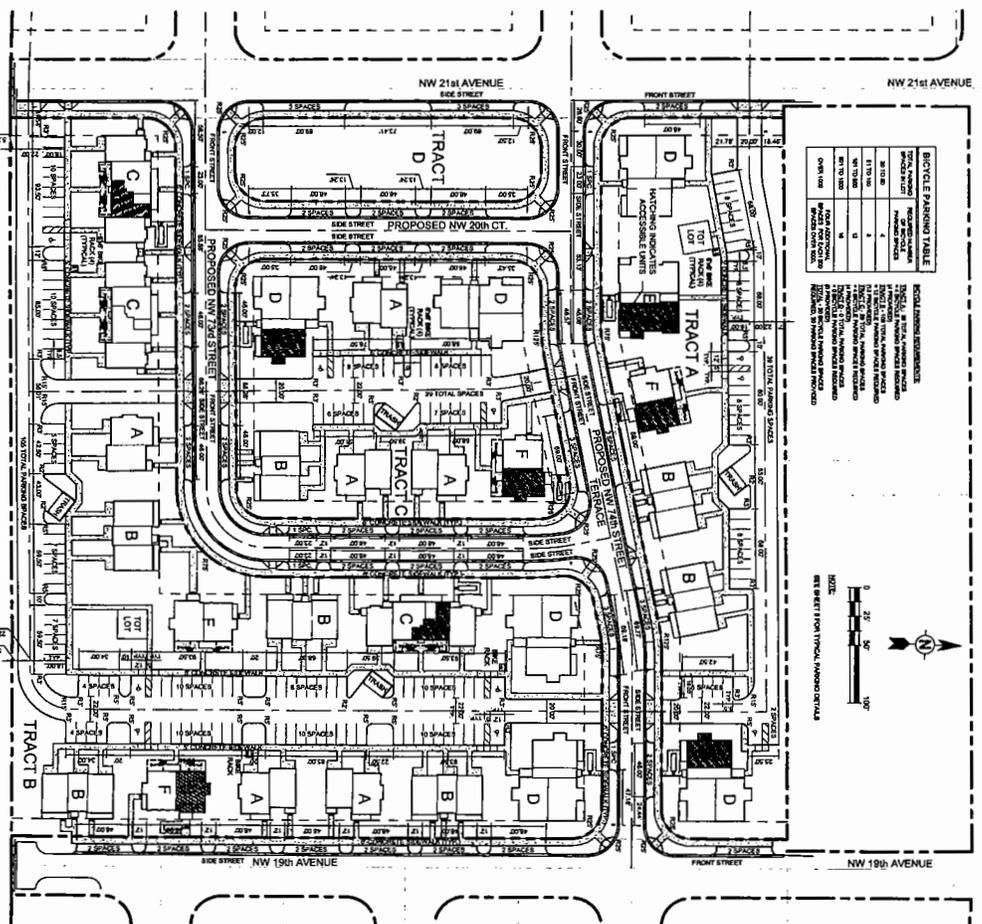
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If measured from 10'4" height
 10' measured from 6'6" height
 10' measured from 5'6" height
 10' measured from 4'6" height



2 Fire Access Diagram



1 Parking plan with dimensions and Accessible Unit locations

Carver: Parking Plan and Fire Access diagram

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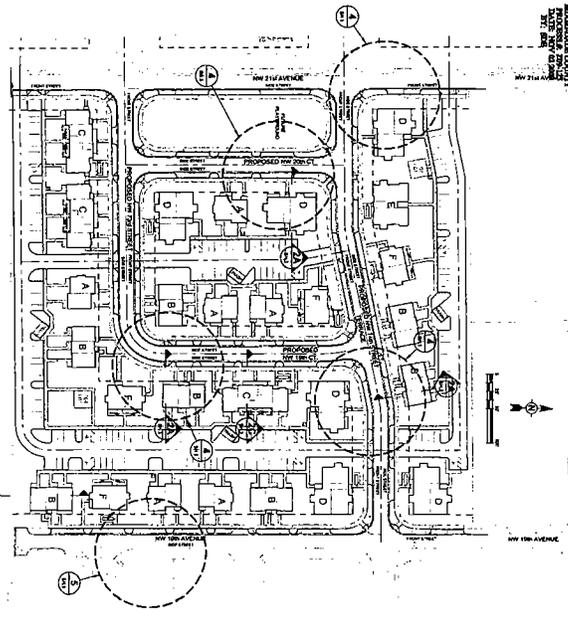
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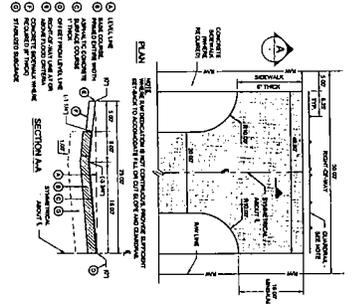
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SCOTT / CARVER - II B : CARVER REDEVELOPMENT

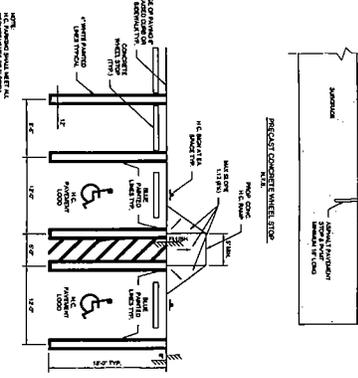
SHEET 4
 Revised October 23, 2009
 August 14, 2009



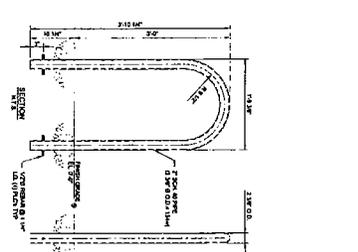
6 Carver Street Section Key Plan



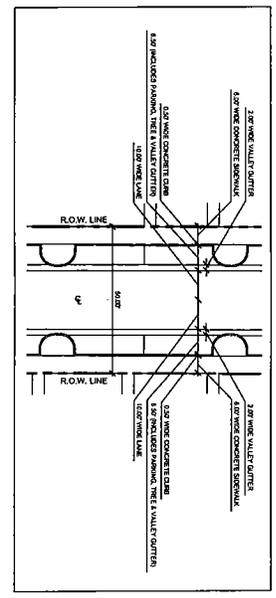
7 Turnaround Detail



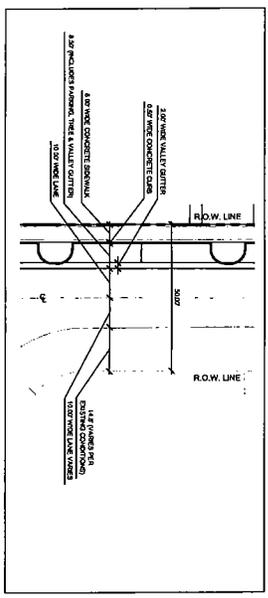
8 Typical Parking Details



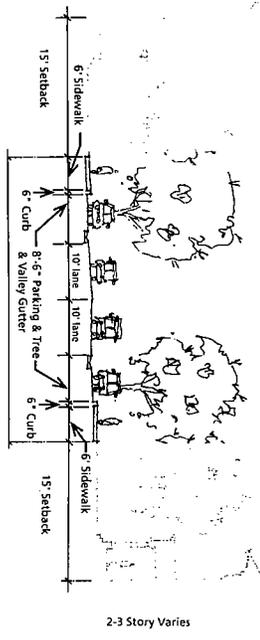
9 Bike Rack Detail



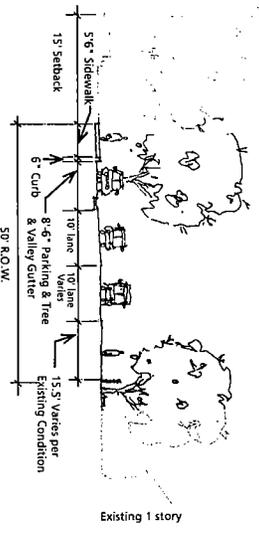
4 NW 73rd St, NW 74th St, NW 20th Ave, NW 21st Ave. Proposed R.O.W Detail Plan. Typical



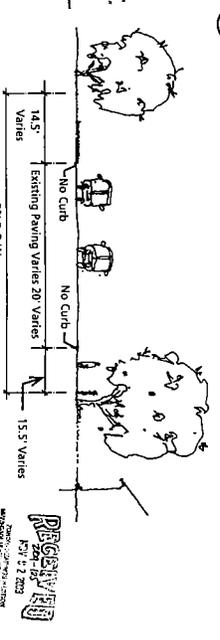
5 NW 19th Avenue Proposed ROW Detail Plan. Typical



3 NW 73rd St., NW 74th St., NW 20th Ave, NW 21st Ave. Proposed Typical Street Section



2 NW 19th Avenue Proposed Street Section



1 Existing 19th Avenue Section

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 RELIANCE HOUSING FOUNDATION
 TORTI GALLAS AND PARTNERS

Carver: Street Sections

SCOTT / CARVER - II B : CARVER REDEVELOPMENT

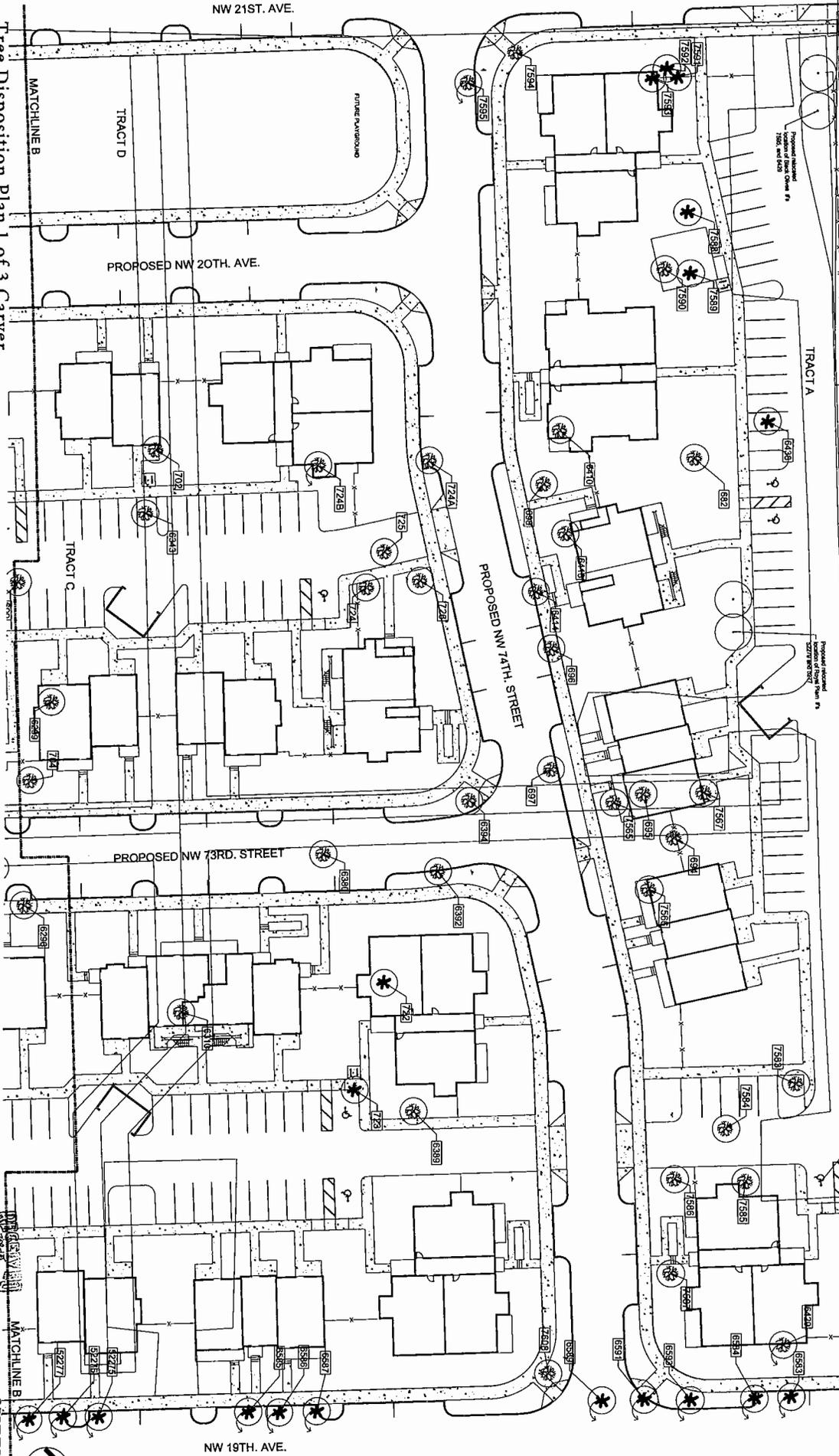
SHEET 5
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LEGEND
 ○ EXISTING TREE TO BE REMOVED
 ● EXISTING TREE TO BE SAVED AND RELOCATED



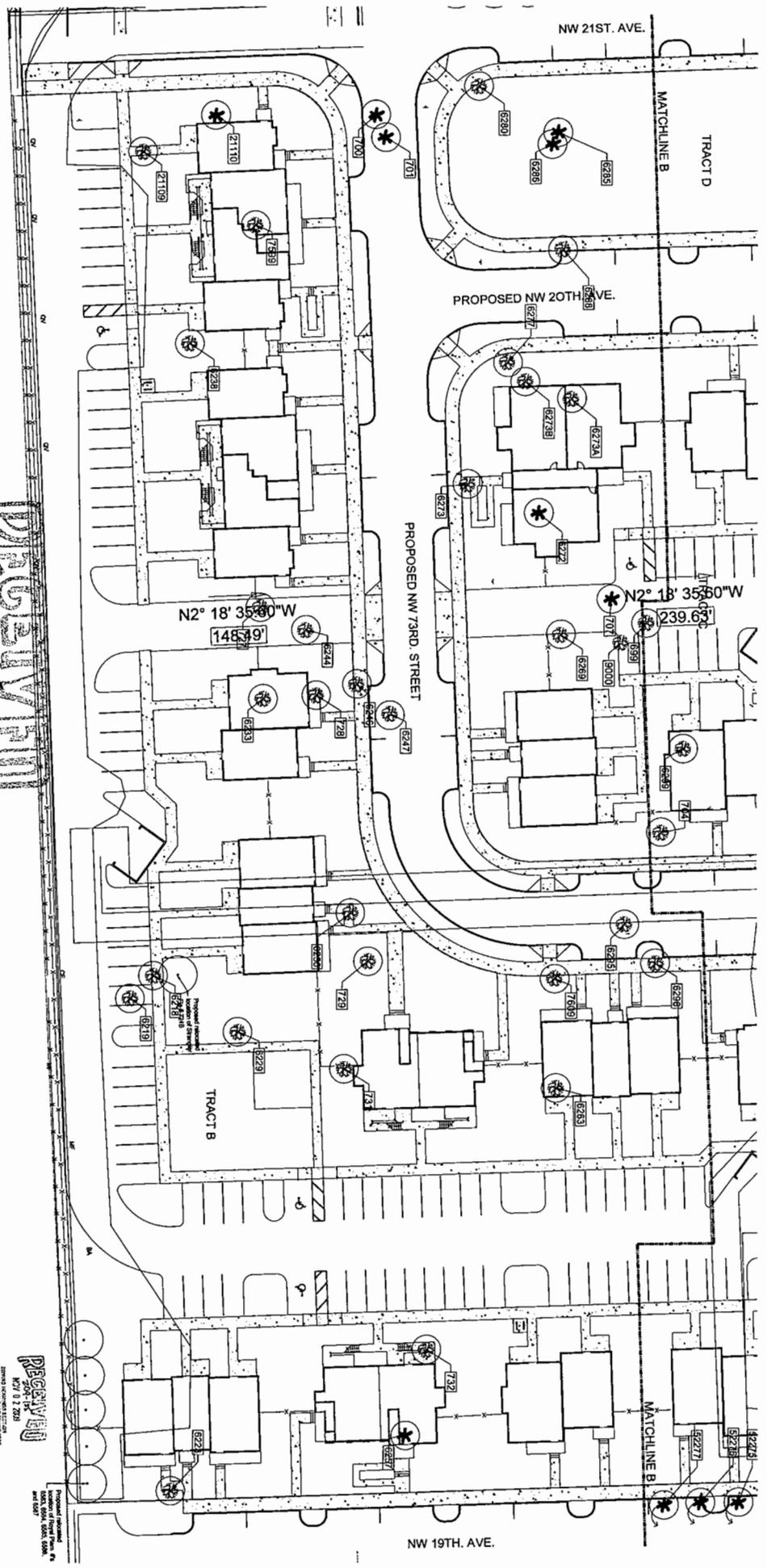
Tree Disposition Plan 1 of 3 Carver

Scale: 1" = 20'-0"

MCCORMACK BARON SALAZAR
 RELIANCE HOUSING FOUNDATION
 LAOUIATRA BONCI ASSOCIATES/BELLAQUOI LANDSCAPE ARCHITECTURE, LLC.

SCOTT CARVER - II B : CARVER REDEVELOPMENT

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Tree Disposition Plan 2 of 3 Carver

Scale: 1" = 30'-0"

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 RELIANCE HOUSING FOUNDATION
 LAOATRA BONCI ASSOCIATES/BEI-AOUI LANDSCAPE ARCHITECTURE, LLC.

ZONING HEARINGS SECTION
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Tree Disposition Plan 3 of 3 Carver

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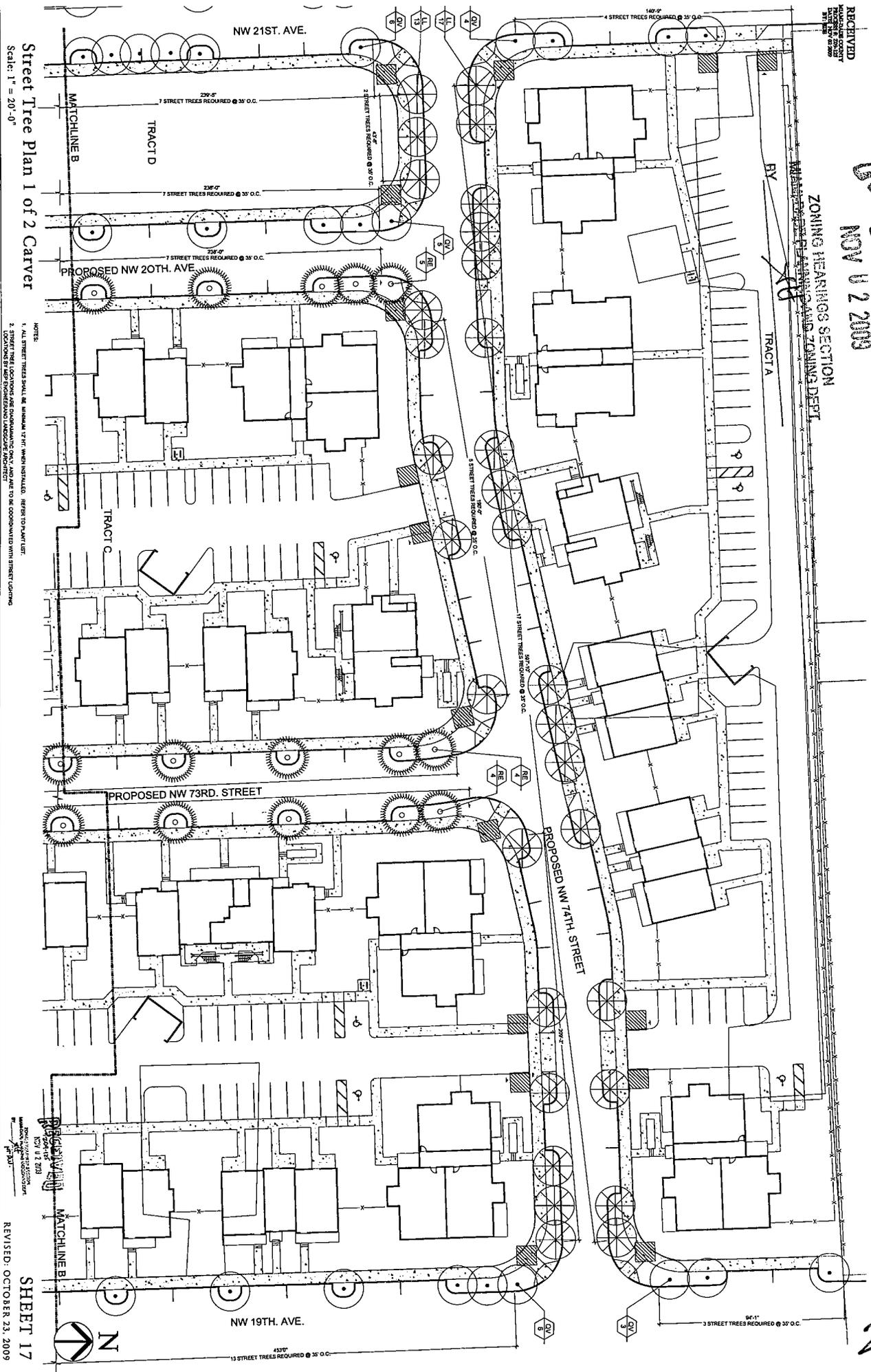
SHEET 16
 REVISED: OCTOBER 23, 2009

Existing Tree Information

Tree ID	Species	DBH (in)	Height (ft)	Condition	Disposition	Notes
001	Black Oak	21	46	0	Remove	Good
002	Black Oak	21	46	0	Remove	Good
003	Black Oak	21	46	0	Remove	Good
004	Black Oak	21	46	0	Remove	Good
005	Black Oak	21	46	0	Remove	Good
006	Black Oak	21	46	0	Remove	Good
007	Black Oak	21	46	0	Remove	Good
008	Black Oak	21	46	0	Remove	Good
009	Black Oak	21	46	0	Remove	Good
010	Black Oak	21	46	0	Remove	Good
011	Black Oak	21	46	0	Remove	Good
012	Black Oak	21	46	0	Remove	Good
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021	Black Oak	21	46	0	Remove	Good
022	Black Oak	21	46	0	Remove	Good
023	Black Oak	21	46	0	Remove	Good
024	Black Oak	21	46	0	Remove	Good
025	Black Oak	21	46	0	Remove	Good
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098	Black Oak	21	46	0	Remove	Good
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100	Black Oak	21	46	0	Remove	Good

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Street Tree Plan 1 of 2 Carver

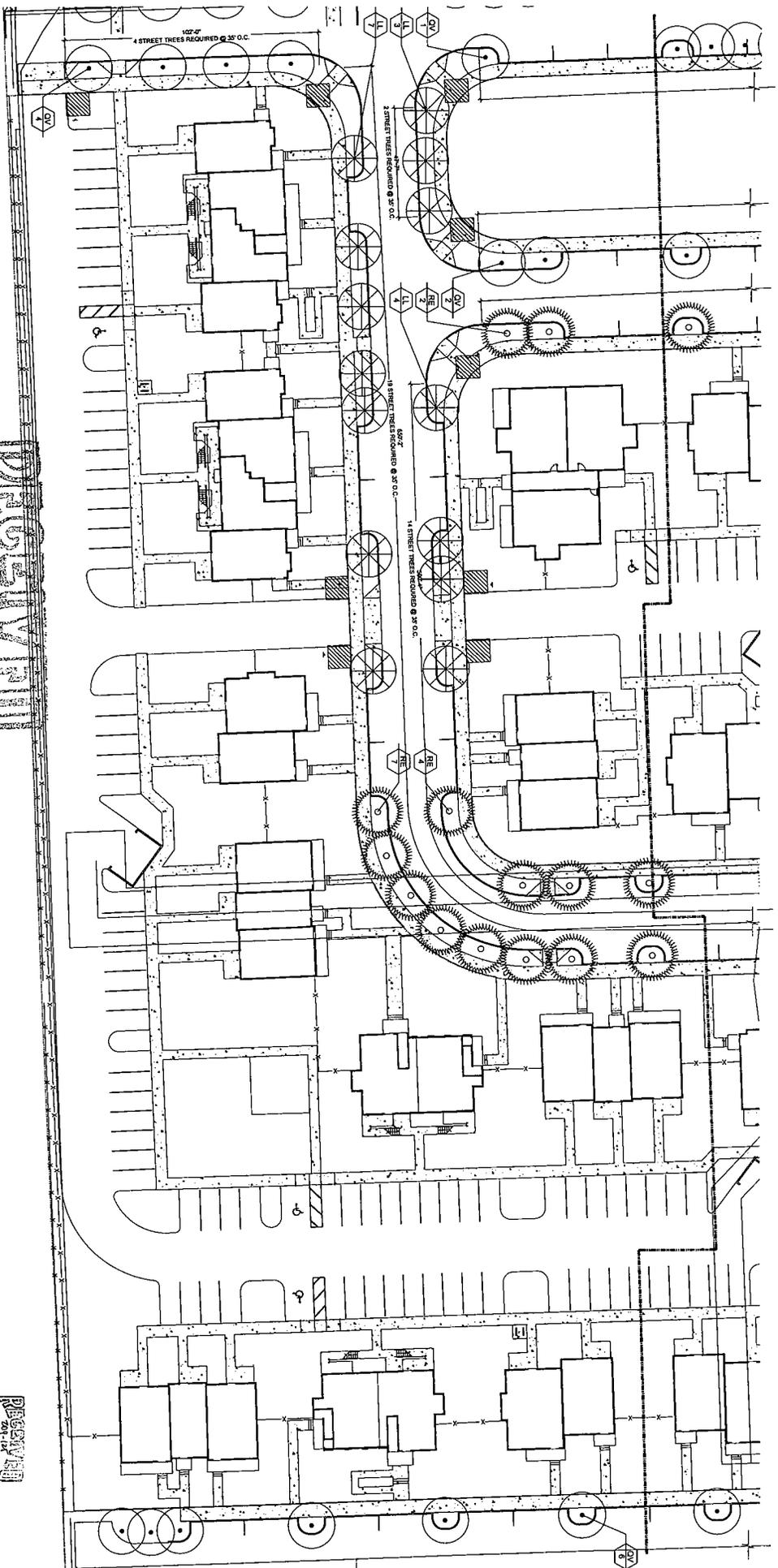
Scale: 1" = 20'-0"

NOTES:
 1. ALL STREET TREES SHALL BE MINIMUM 17 FT. WHEN INSTALLED. REFER TO PLANT LIST.
 2. STREET TREE LOCATIONS ARE DISBURGMENT ONLY, AND ARE TO BE COORDINATED WITH STREET LIGHTING.
 3. LOCATIONS BY REPRESENTED LANDSCAPE ARCHITECT.

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 LAQUATRA BONCI ASSOCIATES/BELLAQUO LANDSCAPE ARCHITECTURE, LLC.

SCOTT CARVER - II B : CARVER REDEVELOPMENT



- NOTES:
1. ALL STREET TREES SHALL BE MAINTAINED PER THE AMERICAN STANDARD. REFER TO PLAN SET.
 2. STREET TREE LOCATIONS ARE FOR INFORMATION ONLY AND ARE TO BE COORDINATED WITH STREET LIGHTING LOCATIONS BY THE POWERED LANSCAPE ARCHITECT.

Street Tree Plan 2 of 2 Carver
Scale: 1" = 20'-0"

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MANHATTAN COUNTY
PLANNING & ZONING
DEPARTMENT

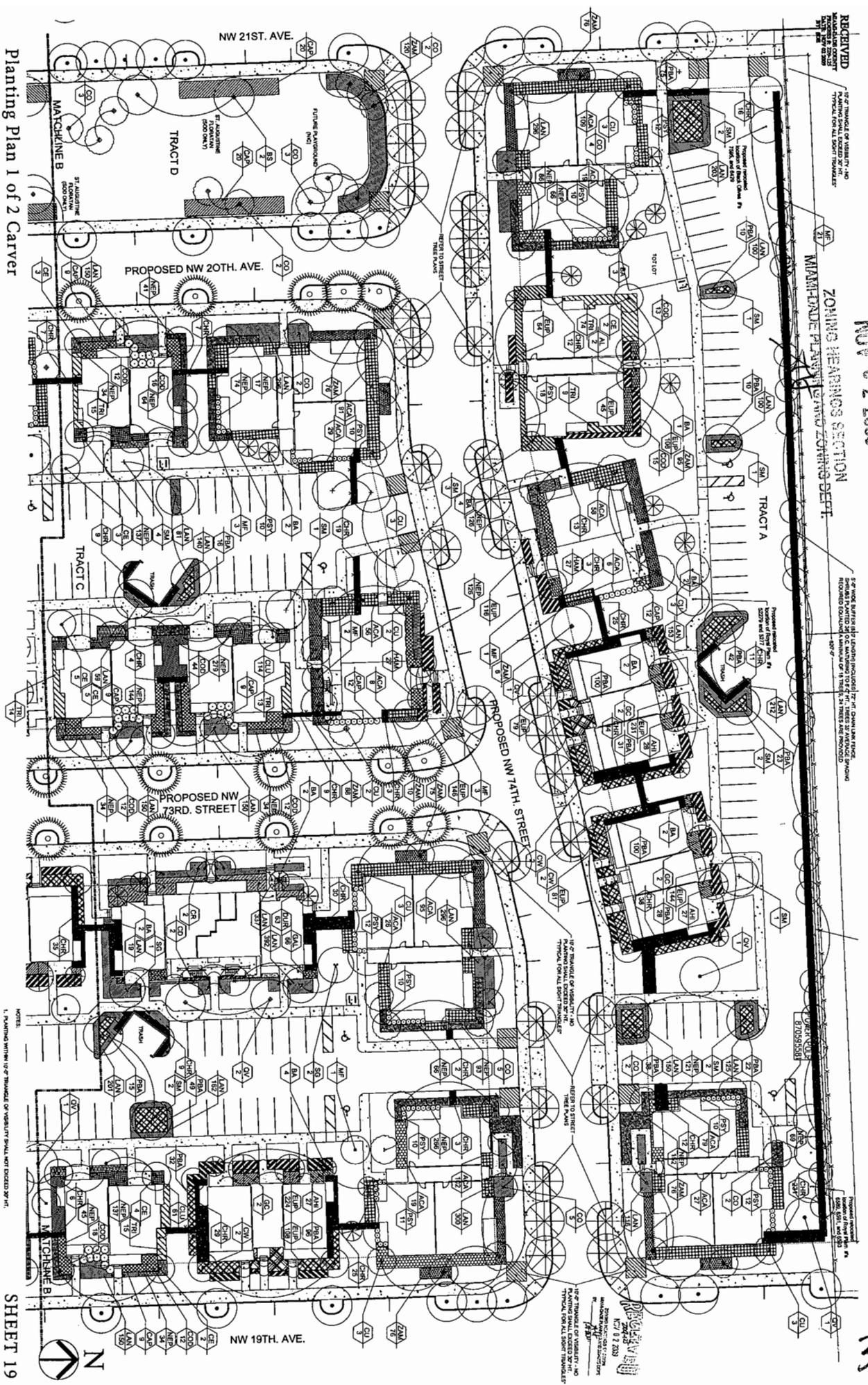


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 MAINTENANCE PLAN AND ZONING DEPT.



Planting Plan 1 of 2 Carver

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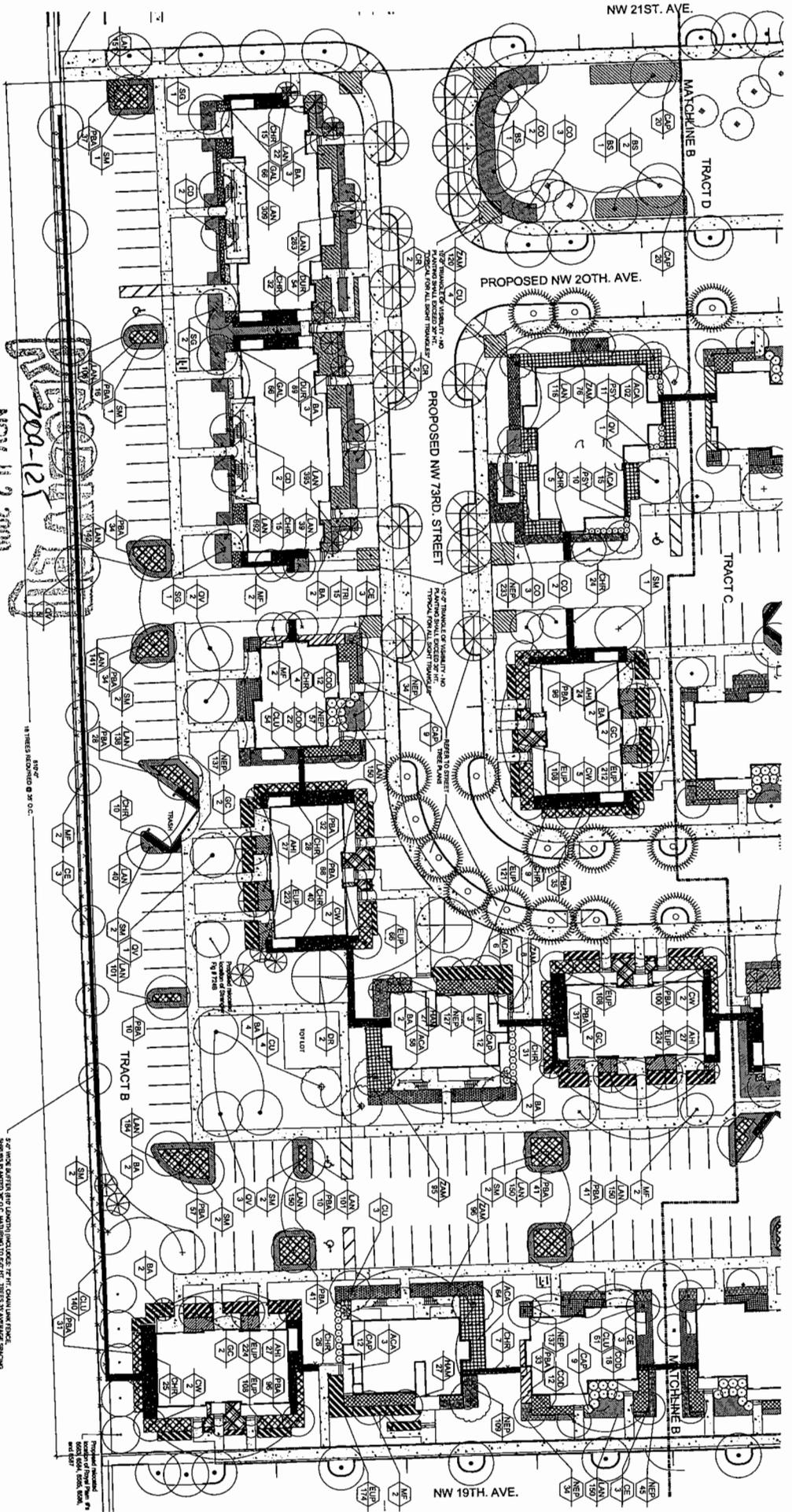
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SCOTT CARVER - II B : CARVER REDEVELOPMENT

SHEET 19

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NOTES:
 1. PLANNING WITHIN 10' OF THROAT OF
 VEHICULAR DRIVE SHALL BE OPEN TO TRAFFIC.
 2. ALL TREES PLANTED WITHIN EACH LOT
 REFER TO PLANT LIST

ZONING HEARINGS SECTION
 MIAMI-DADE PLANNING AND ZONING DEPT.
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Planting Plan 2 of 2 Carver
 Scale: 1" = 20'-0"

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SCOTT CARVER - II B : CARVER REDEVELOPMENT

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 SHEET 20
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PLANT LIST
NAME OF PROJECT: SCOTT CARVER IIB : SECTOR CARVER REDEVELOPMENT - TRACT A

PLANT TYPE	COMMON NAME	INSTALLMENT	QUANTITY	HEIGHT AT Maturity	SPREAD AT Maturity	ORIGIN
SHRUB
TREE

PLANT TYPE	COMMON NAME	INSTALLMENT	QUANTITY	HEIGHT AT Maturity	SPREAD AT Maturity	ORIGIN
SHRUB
TREE

PLANT TYPE	COMMON NAME	INSTALLMENT	QUANTITY	HEIGHT AT Maturity	SPREAD AT Maturity	ORIGIN
SHRUB
TREE

PLANT TYPE	COMMON NAME	INSTALLMENT	QUANTITY	HEIGHT AT Maturity	SPREAD AT Maturity	ORIGIN
SHRUB
TREE

PLANT TYPE	COMMON NAME	INSTALLMENT	QUANTITY	HEIGHT AT Maturity	SPREAD AT Maturity	ORIGIN
SHRUB
TREE

PLANT TYPE	COMMON NAME	INSTALLMENT	QUANTITY	HEIGHT AT Maturity	SPREAD AT Maturity	ORIGIN
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TREE

PLANT TYPE	COMMON NAME	INSTALLMENT	QUANTITY	HEIGHT AT Maturity	SPREAD AT Maturity	ORIGIN
SHRUB
TREE

PLANT TYPE	COMMON NAME	INSTALLMENT	QUANTITY	HEIGHT AT Maturity	SPREAD AT Maturity	ORIGIN
SHRUB
TREE

Plant List and Details

MCCORMACK BARON SALAZAR
RELIANCE HOUSING FOUNDATION
LAOULTRA BONICI ASSOCIATES/BEL+ANOU LANDSCAPE ARCHITECTURE, LLC.

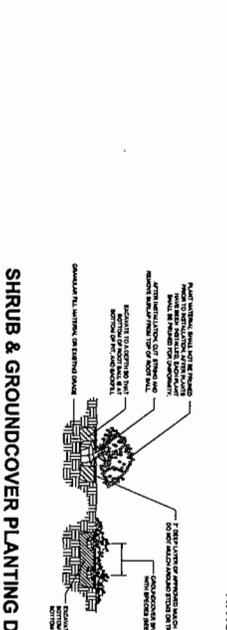
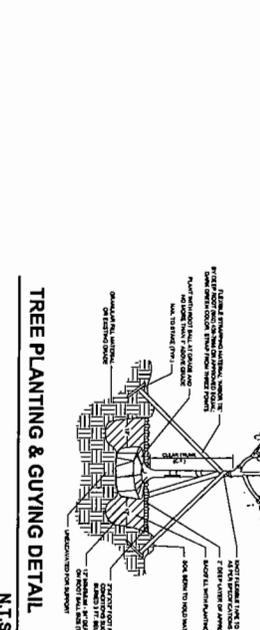
PLANT LIST
NAME OF PROJECT: SCOTT CARVER IIB : SECTOR CARVER REDEVELOPMENT - TRACT C

PLANT TYPE	COMMON NAME	INSTALLMENT	QUANTITY	HEIGHT AT Maturity	SPREAD AT Maturity	ORIGIN
SHRUB
TREE

PLANT TYPE	COMMON NAME	INSTALLMENT	QUANTITY	HEIGHT AT Maturity	SPREAD AT Maturity	ORIGIN
SHRUB
TREE

PLANT TYPE	COMMON NAME	INSTALLMENT	QUANTITY	HEIGHT AT Maturity	SPREAD AT Maturity	ORIGIN
SHRUB
TREE

PLANT TYPE	COMMON NAME	INSTALLMENT	QUANTITY	HEIGHT AT Maturity	SPREAD AT Maturity	ORIGIN
SHRUB
TREE



NOTES:
1. ALL STREET TREES SHALL BE A MINIMUM 12" DBH.
2. ALL TREES PLANTED WITHIN EACH LOT SHALL BE GUAYED 12" WHEN INSTALLED.

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Irrigation Head Lay Out Plan 1/2
 Scale: 1" = 20'-0"

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 RELIANCE HOUSING FOUNDATION
 LAQUATRA BONCI ASSOCIATES/BELL+AQUIL LANDSCAPE ARCHITECTURE, LLC.

SCOTT CARVER - II B : CARVER REDEVELOPMENT

PROPOSED NW 20TH AVE.
 PROPOSED NW 74TH STREET
 PROPOSED NW 73RD STREET

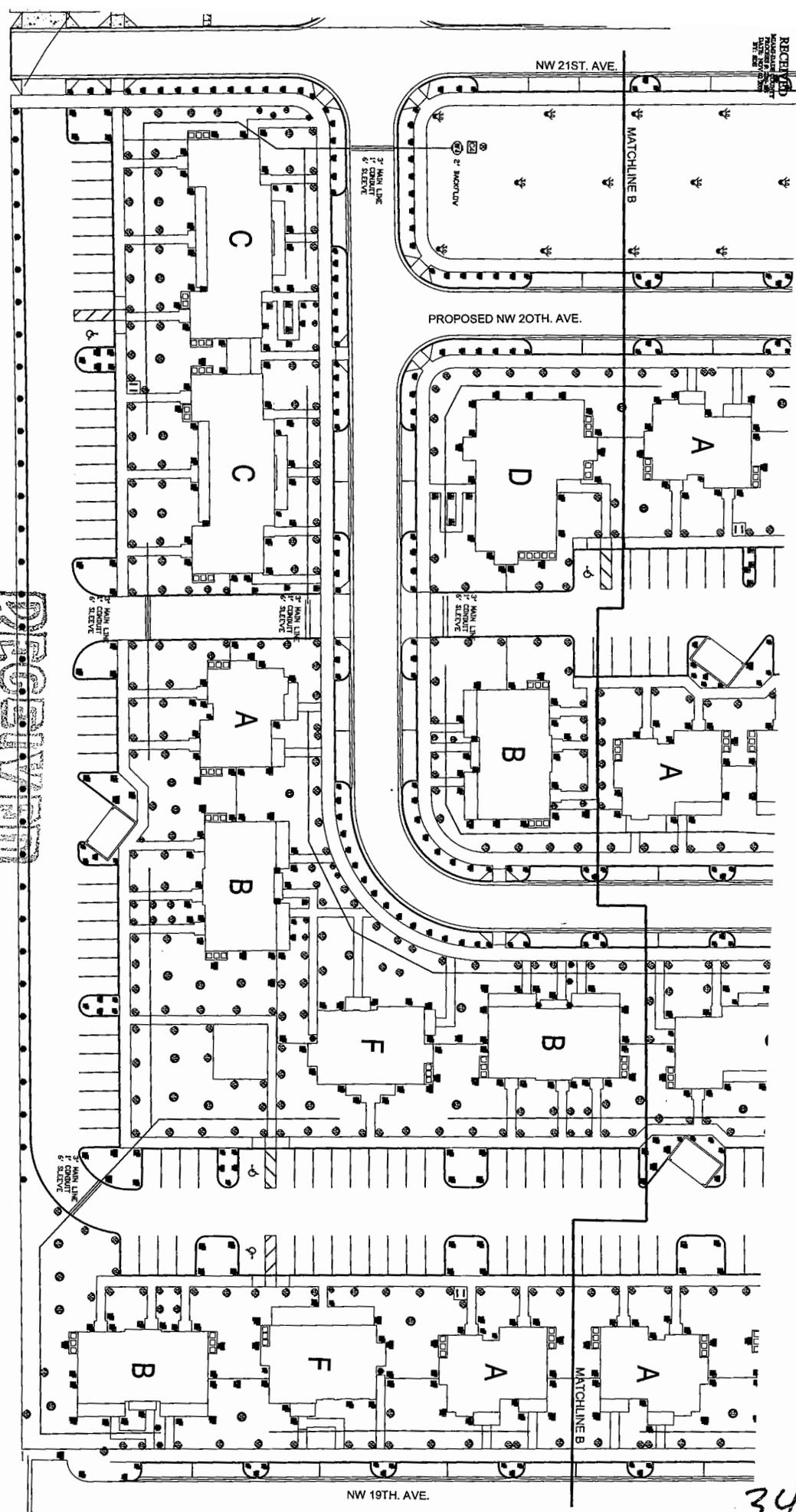
NW 21ST AVE.
 NW 19TH AVE.

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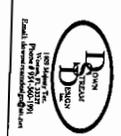
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Irrigation Head Lay Out Plan 2/2
Scale: 1" = 20'-0"

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RELIANCE HOUSING FOUNDATION
LANDSCAPE ARCHITECTURE, LLC.

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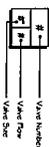


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 MIAMI-DADE PLANNING AND ZONING DEPT.
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SYMBOL	MANUFACTURER/DESCRIPTION	QTY	NO. OF STATIONS
①	Bar Post 100K 10' Spine 2x4 1st Spine 6' Prevue	1	40
②	Bar Post 100K 8' Spine 1x1K 1st Spine 6' Prevue	1	40
③	Bar Post 100K 10' Spine 1x1K 1st Spine 6' Prevue	1	40
④	Bar Post 100K 10' Spine 1x1K 1st Spine 6' Prevue	1	40
⑤	Bar Post 100K 10' Spine 1x1K 1st Spine 6' Prevue	1	40
⑥	Bar Post 100K 10' Spine 1x1K 1st Spine 6' Prevue	1	40
⑦	Bar Post 100K 10' Spine 1x1K 1st Spine 6' Prevue	1	40
⑧	Bar Post 100K 10' Spine 1x1K 1st Spine 6' Prevue	1	40
⑨	Bar Post 100K 10' Spine 1x1K 1st Spine 6' Prevue	1	40
⑩	Bar Post 100K 10' Spine 1x1K 1st Spine 6' Prevue	1	40
⑪	Bar Post 100K 10' Spine 1x1K 1st Spine 6' Prevue	1	40
⑫	Bar Post 100K 10' Spine 1x1K 1st Spine 6' Prevue	1	40
⑬	Bar Post 100K 10' Spine 1x1K 1st Spine 6' Prevue	1	40
⑭	Bar Post 100K 10' Spine 1x1K 1st Spine 6' Prevue	1	40
⑮	Bar Post 100K 10' Spine 1x1K 1st Spine 6' Prevue	1	40
⑯	Bar Post 100K 10' Spine 1x1K 1st Spine 6' Prevue	1	40
⑰	Bar Post 100K 10' Spine 1x1K 1st Spine 6' Prevue	1	40
⑱	Bar Post 100K 10' Spine 1x1K 1st Spine 6' Prevue	1	40
⑲	Bar Post 100K 10' Spine 1x1K 1st Spine 6' Prevue	1	40
⑳	Bar Post 100K 10' Spine 1x1K 1st Spine 6' Prevue	1	40
㉑	Bar Post 100K 10' Spine 1x1K 1st Spine 6' Prevue	1	40
㉒	Bar Post 100K 10' Spine 1x1K 1st Spine 6' Prevue	1	40
㉓	Bar Post 100K 10' Spine 1x1K 1st Spine 6' Prevue	1	40
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㉜	Bar Post 100K 10' Spine 1x1K 1st Spine 6' Prevue	1	40
㉝	Bar Post 100K 10' Spine 1x1K 1st Spine 6' Prevue	1	40
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㊳	Bar Post 100K 10' Spine 1x1K 1st Spine 6' Prevue	1	40
㊴	Bar Post 100K 10' Spine 1x1K 1st Spine 6' Prevue	1	40
㊵	Bar Post 100K 10' Spine 1x1K 1st Spine 6' Prevue	1	40
㊶	Bar Post 100K 10' Spine 1x1K 1st Spine 6' Prevue	1	40
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㊸	Bar Post 100K 10' Spine 1x1K 1st Spine 6' Prevue	1	40
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㊺	Bar Post 100K 10' Spine 1x1K 1st Spine 6' Prevue	1	40
㊻	Bar Post 100K 10' Spine 1x1K 1st Spine 6' Prevue	1	40
㊼	Bar Post 100K 10' Spine 1x1K 1st Spine 6' Prevue	1	40
㊽	Bar Post 100K 10' Spine 1x1K 1st Spine 6' Prevue	1	40
㊾	Bar Post 100K 10' Spine 1x1K 1st Spine 6' Prevue	1	40
㊿	Bar Post 100K 10' Spine 1x1K 1st Spine 6' Prevue	1	40
①	Walls 1000 10' Spine 1x1K 1st Spine 6' Prevue	1	40
②	Walls 1000 10' Spine 1x1K 1st Spine 6' Prevue	1	40
③	Walls 1000 10' Spine 1x1K 1st Spine 6' Prevue	1	40
④	Walls 1000 10' Spine 1x1K 1st Spine 6' Prevue	1	40
⑤	Walls 1000 10' Spine 1x1K 1st Spine 6' Prevue	1	40
⑥	Walls 1000 10' Spine 1x1K 1st Spine 6' Prevue	1	40
⑦	Walls 1000 10' Spine 1x1K 1st Spine 6' Prevue	1	40
⑧	Walls 1000 10' Spine 1x1K 1st Spine 6' Prevue	1	40
⑨	Walls 1000 10' Spine 1x1K 1st Spine 6' Prevue	1	40
⑩	Walls 1000 10' Spine 1x1K 1st Spine 6' Prevue	1	40
⑪	Walls 1000 10' Spine 1x1K 1st Spine 6' Prevue	1	40
⑫	Walls 1000 10' Spine 1x1K 1st Spine 6' Prevue	1	40
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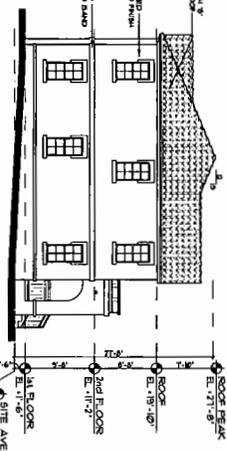
SCOTT CARVER - II B : CARVER REDEVELOPMENT

SHEET 25
 REVISED: OCTOBER 23, 2009

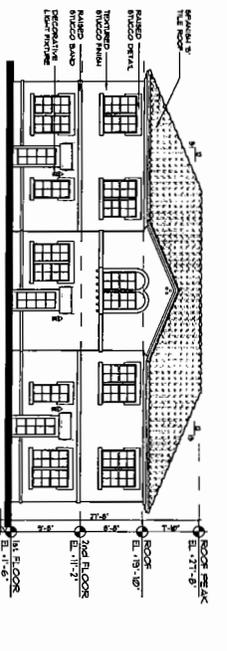
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 MUNICIPAL COURT
 1000 W. 10TH AVENUE
 MIAMI, FL 33135

Year	Development Class	Building	Net (sq ft)	Total Building Ft
1998	1	1	1,000	1,000
2000	1	1	1,000	2,000
2002	1	1	1,000	3,000
2004	1	1	1,000	4,000
2006	1	1	1,000	5,000
2008	1	1	1,000	6,000
2010	1	1	1,000	7,000
2012	1	1	1,000	8,000
2014	1	1	1,000	9,000
2016	1	1	1,000	10,000
2018	1	1	1,000	11,000
2020	1	1	1,000	12,000
2022	1	1	1,000	13,000
2024	1	1	1,000	14,000
2026	1	1	1,000	15,000
2028	1	1	1,000	16,000
2030	1	1	1,000	17,000
2032	1	1	1,000	18,000
2034	1	1	1,000	19,000
2036	1	1	1,000	20,000
2038	1	1	1,000	21,000
2040	1	1	1,000	22,000
2042	1	1	1,000	23,000
2044	1	1	1,000	24,000
2046	1	1	1,000	25,000
2048	1	1	1,000	26,000
2050	1	1	1,000	27,000
2052	1	1	1,000	28,000
2054	1	1	1,000	29,000
2056	1	1	1,000	30,000
2058	1	1	1,000	31,000
2060	1	1	1,000	32,000
2062	1	1	1,000	33,000
2064	1	1	1,000	34,000
2066	1	1	1,000	35,000
2068	1	1	1,000	36,000
2070	1	1	1,000	37,000
2072	1	1	1,000	38,000
2074	1	1	1,000	39,000
2076	1	1	1,000	40,000
2078	1	1	1,000	41,000
2080	1	1	1,000	42,000
2082	1	1	1,000	43,000
2084	1	1	1,000	44,000
2086	1	1	1,000	45,000
2088	1	1	1,000	46,000
2090	1	1	1,000	47,000
2092	1	1	1,000	48,000
2094	1	1	1,000	49,000
2096	1	1	1,000	50,000
2098	1	1	1,000	51,000
2100	1	1	1,000	52,000
2102	1	1	1,000	53,000
2104	1	1	1,000	54,000
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2110	1	1	1,000	57,000
2112	1	1	1,000	58,000
2114	1	1	1,000	59,000
2116	1	1	1,000	60,000
2118	1	1	1,000	61,000
2120	1	1	1,000	62,000
2122	1	1	1,000	63,000
2124	1	1	1,000	64,000
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2132	1	1	1,000	68,000
2134	1	1	1,000	69,000
2136	1	1	1,000	70,000
2138	1	1	1,000	71,000
2140	1	1	1,000	72,000
2142	1	1	1,000	73,000
2144	1	1	1,000	74,000
2146	1	1	1,000	75,000
2148	1	1	1,000	76,000
2150	1	1	1,000	77,000
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2156	1	1	1,000	80,000
2158	1	1	1,000	81,000
2160	1	1	1,000	82,000
2162	1	1	1,000	83,000
2164	1	1	1,000	84,000
2166	1	1	1,000	85,000
2168	1	1	1,000	86,000
2170	1	1	1,000	87,000
2172	1	1	1,000	88,000
2174	1	1	1,000	89,000
2176	1	1	1,000	90,000
2178	1	1	1,000	91,000
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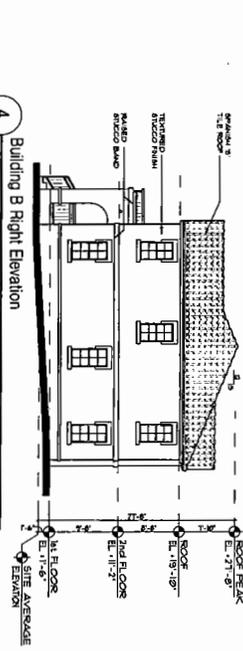
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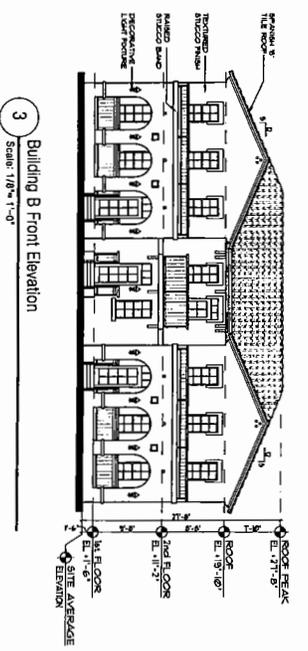
6 Building B Left Elevation
 Scale: 1/8" = 1'-0"



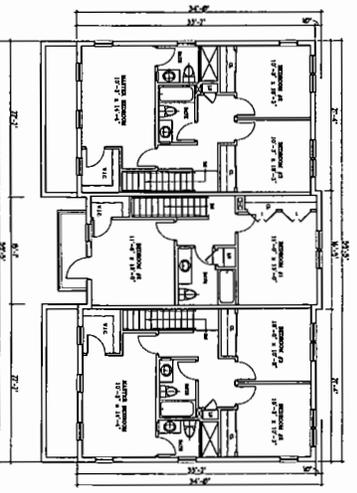
5 Building B Rear Elevation
 Scale: 1/8" = 1'-0"



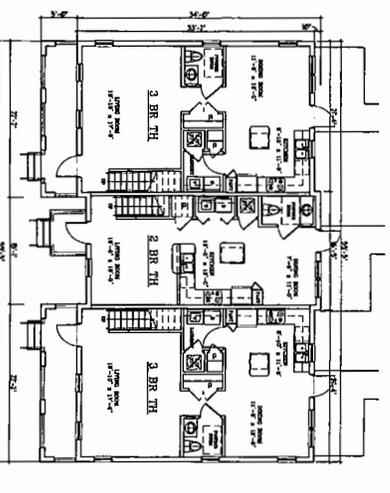
4 Building B Right Elevation
 Scale: 1/8" = 1'-0"



3 Building B Front Elevation
 Scale: 1/8" = 1'-0"



2 Building B Second Level Plan
 Scale: 1/8" = 1'-0"



1 Building B Ground Level Plan
 Scale: 1/8" = 1'-0"

PROPOSED BUILDING CONSTRUCTION ASSEMBLIES

PIE: ENGINEERED ROOF ASSEMBLY
 Wood trusses min. 16ft height 14"

FLOOR SYSTEM
 Concrete slab

FOUNDATION SYSTEM to be based upon soils report recommendations

EXTERIOR WALLS
 8" Concrete Masonry Unit with wood furring channels and 1/2" gfr-td (typical)

INTERIOR DWELLING SEPARATION WALLS
 2 1/2" Thick Rainscreen

INTERIOR WALLS AND PARTITIONS
 Metal studs construction with gfr-td, both sides

All dimensions (faced to face CMU and/or framing) are based on the above assumptions.

Floor Plans and Elevations : Building B
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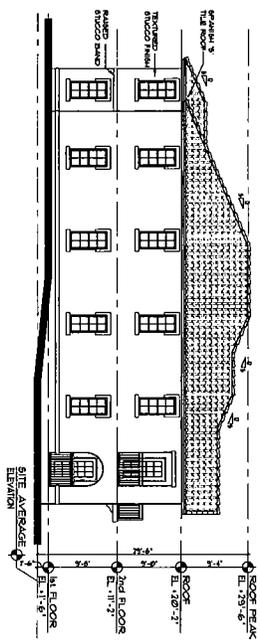
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 August 14, 2009

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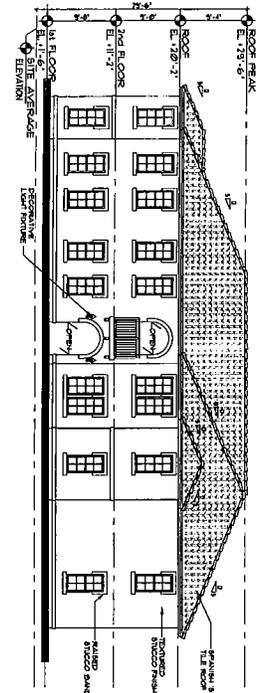
PROPOSED Units and Unit Summary - Building D (Two Stories)

Quantity of Units	Description of Units	Building Footprint SF	Net Unit SF	Unit	Front	Rear	Corner	Total
1	2 Bedrooms - 1 Bath	888	1006	106				26
1	2 Bedrooms - 1 Bath	888	1006	50				26
1	2 Bedrooms - 1 Bath	888	1006	128				26
1	2 Bedrooms - 1 Bath	888	1006					26
1	2 Bedrooms - 1 Bath	888	1006					26
1	2 Bedrooms - 1 Bath	888	1006					26
6		5,328	6,336	218	288	452	734	

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6 Building D Left Elevation
 Scale: 1/8" = 1'-0"



5 Building D Rear Elevation
 Scale: 1/8" = 1'-0"

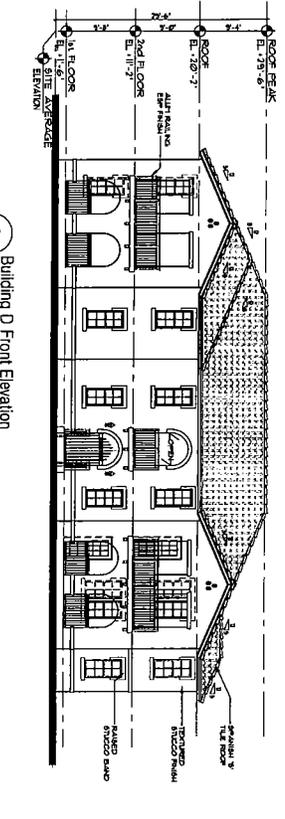


4 Building D Right Elevation
 Scale: 1/8" = 1'-0"

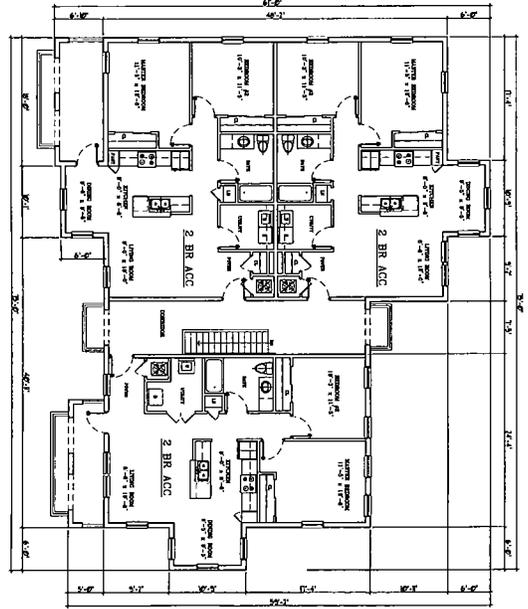
PROPOSED BUILDING CONSTRUCTION ASSEMBLIES

- PRE-ENGINEERED ROOF-ASSEMBLY
 Wood trusses min. load height 14'
- FLOOR SYSTEM
 Concrete slab
- FOUNDATION SYSTEM* to be based upon soils report recommendations
- EXTERIOR WALLS
 8" Concrete Masonry Unit with wood furring channels and 1/2" GFI Ins. (typical)
- INTERIOR DWELLING SEPARATION WALLS
 2" Insul. Board
- INTERIOR WALLS AND PARTITIONS
 Mead stud construction with GFI Ins. both sides

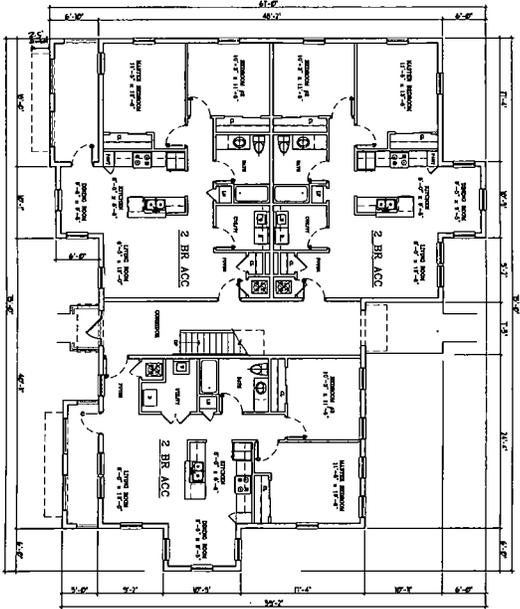
*All dimensions face to face CMU and/or framing are based on the above assumptions.



3 Building D Front Elevation
 Scale: 1/8" = 1'-0"



2 Building D Second Level Plan
 Scale: 1/8" = 1'-0"



1 Building D Ground Level Plan
 Scale: 1/8" = 1'-0"

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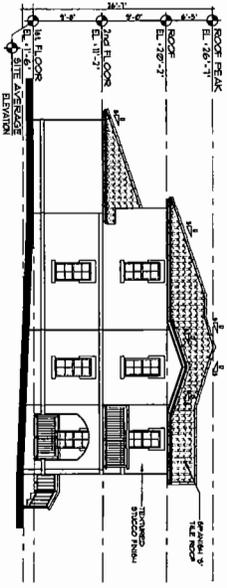
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SHEET 10
 Revised October 2, 2009
 August 14, 2009

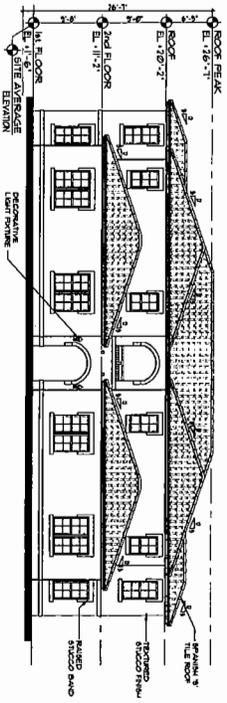
RECEIVED Municipal Planning Department NOV 12 2009	Quantity of Units		Building Footprint SF	Net Unit SF	Unit	Gross Building SF		
	Units	Description of Units				Bedroom	Bath	Total
	1	3 Bedrooms - 2 Baths		1,224	1,460	58		
	1	3 Bed Garden - R		1,224	1,460	58		244
	1	2 Bedrooms - 2 Baths	3,036	908	1,126		58	
	1	2 Bed Garden - R		908	1,126		58	244
	1	2 Bedrooms - 1 Bath						
	1	2 Bed Garden - R						
	4			4,264	5,172	116	116	488
								5,822

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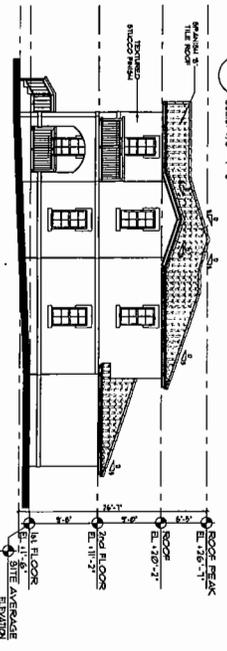
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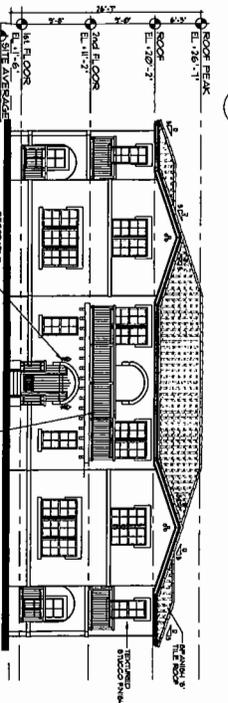
6 Building E Left Elevation
Scale: 1/8" = 1'-0"



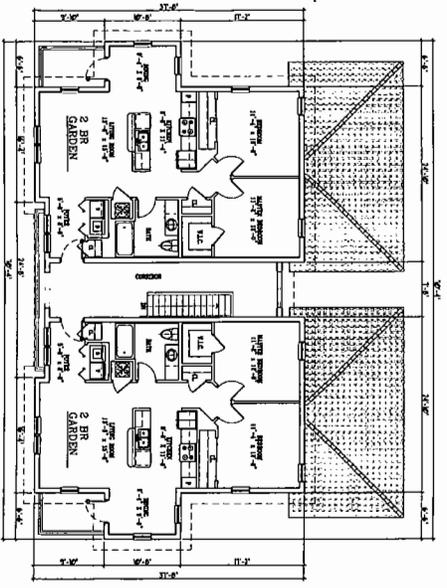
5 Building E Rear Elevation
Scale: 1/8" = 1'-0"



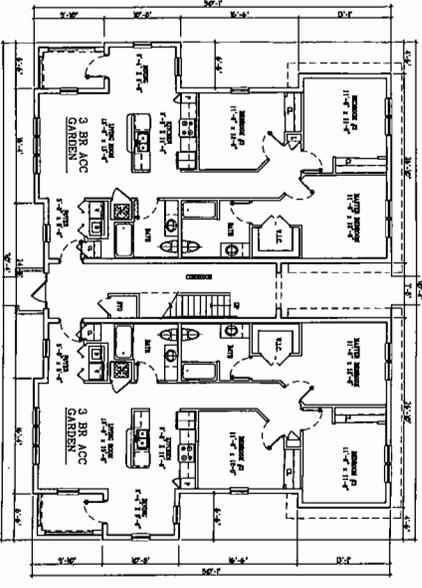
4 Building E Right Elevation
Scale: 1/8" = 1'-0"



3 Building E Front Elevation
Scale: 1/8" = 1'-0"



2 Building E Second Level Plan
Scale: 1/8" = 1'-0"



1 Building E Ground Level Plan
Scale: 1/8" = 1'-0"

PROPOSED BUILDING CONSTRUCTION ASSEMBLIES
PRE-ENGINEERED ROOF ASSEMBLY Wood trusses min. head height 14"
FLOOR SYSTEM Concrete slab
FOUNDATION SYSTEM* to be based upon soils report recommendations
EXTERIOR WALLS 8" Concrete Masonry Unit with wood framing sheathed and 1/2" GYP - hd. (typical)
INTERIOR DWELLING SEPARATION WALLS 2 Hour Rated
INTERIOR WALLS AND PARTITIONS Metal studs construction with GYP - hd. both sides
All dimensions given to face CMU and/or framing) are based on the above assumptions.

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Floor Plans and Elevations : Building E

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COHEN FREEDMAN ENCINOSA & ASSOCIATES

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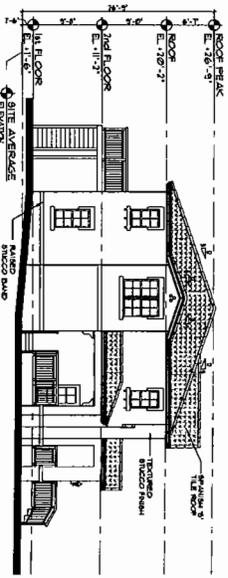
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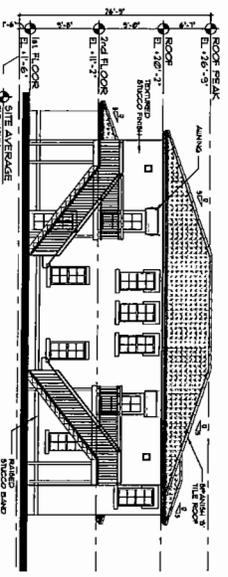
Building Data and Unit Summary : Building F (Two Stories)

Unit Name	Quantity of Units	Description of Units	Building Footprint SF	Net Unit SF	Unit	Gross Building SF	Total
1 Bed Ac	1	4Bedroom - 2Baths		1,440	1,566	32	
1 Bed Garden	1	1Bedroom - 1Bath		768	888	42	
1 Bed Garden	1	1Bedroom - 1 Bath	1,984	882	966	32	88
Blgd Totals	3			3,070	3,430	106	136
							3,672

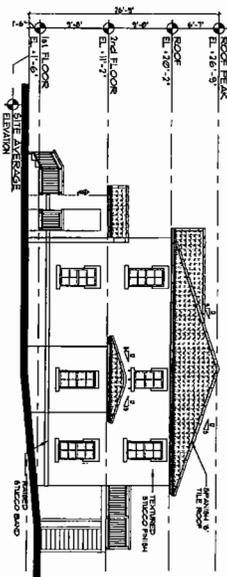
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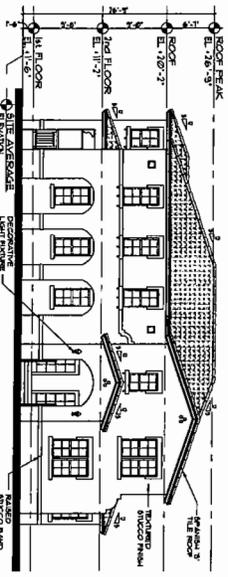
6 Building F Left Elevation
 Scale: 1/8" = 1'-0"



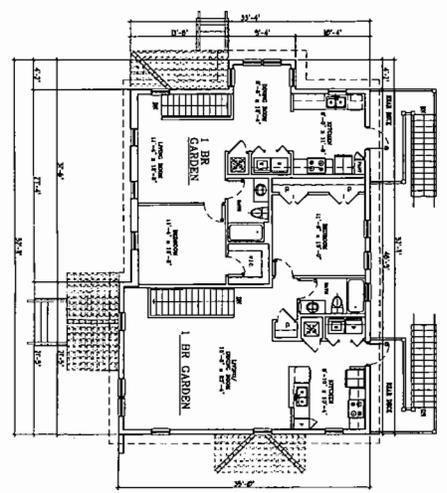
5 Building F Rear Elevation
 Scale: 1/8" = 1'-0"



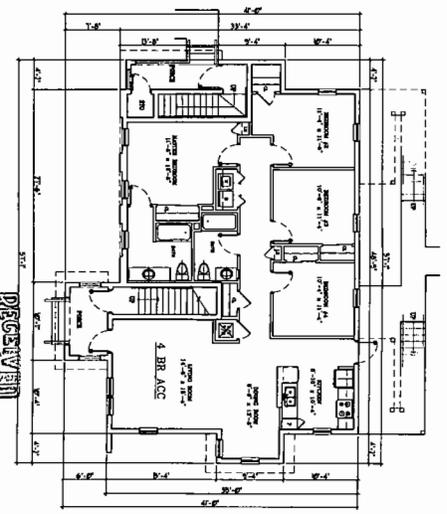
4 Building F Right Elevation
 Scale: 1/8" = 1'-0"



3 Building F Front Elevation
 Scale: 1/8" = 1'-0"



2 Building F Second Level Plan
 Scale: 1/8" = 1'-0"



1 Building F Ground Level Plan
 Scale: 1/8" = 1'-0"

PROPOSED BUILDING CONSTRUCTION ASSEMBLIES

PRE-ENGINEERED ROOF ASSEMBLY
 Wood trusses min. head height 14'

FLOOR SYSTEM
 Concrete slab

FOUNDATION SYSTEM to be based upon soils report recommendations

EXTERIOR WALLS
 8" Concrete Masonry Unit with wood framing channels and 1/2" G.P. hd. (typical)

INTERIOR DWELING SEPARATION WALLS
 2 Hour Rated

INTERIOR WALLS AND PARTITIONS
 Metal studs construction with gyp. hd. both sides

All dimensions (face to face CMU and/or framing) are based on the above assumptions.

Floor Plans and Elevations : Building F

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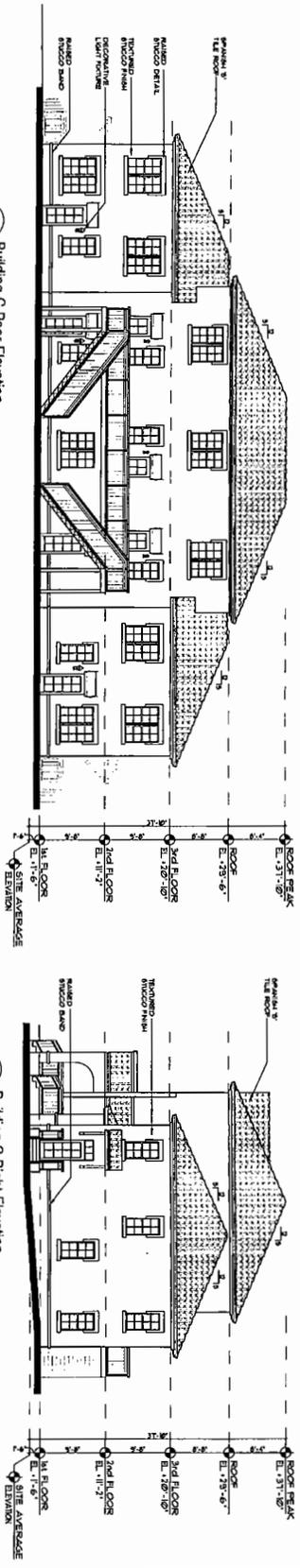
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PROPOSED BUILDING CONSTRUCTION ASSEMBLIES
PRE-ENGINEERED ROOF ASSEMBLY Wood trusses min. head height 14'
FLOOR SYSTEM Concrete slab
FOUNDATION SYSTEM To be based upon soils report recommendations
EXTERIOR WALLS 8" Concrete Masonry Unit with wood burning chimneys and 1/2" gyp. bd. (typical)
INTERIOR DWELING SEPARATION WALLS 2' Thick Mason
INTERIOR WALLS AND PARTITIONS Metal studs construction with gyp. bd. both sides
All dimensions (face to face CMU and/or framing) are based on the above assumptions.

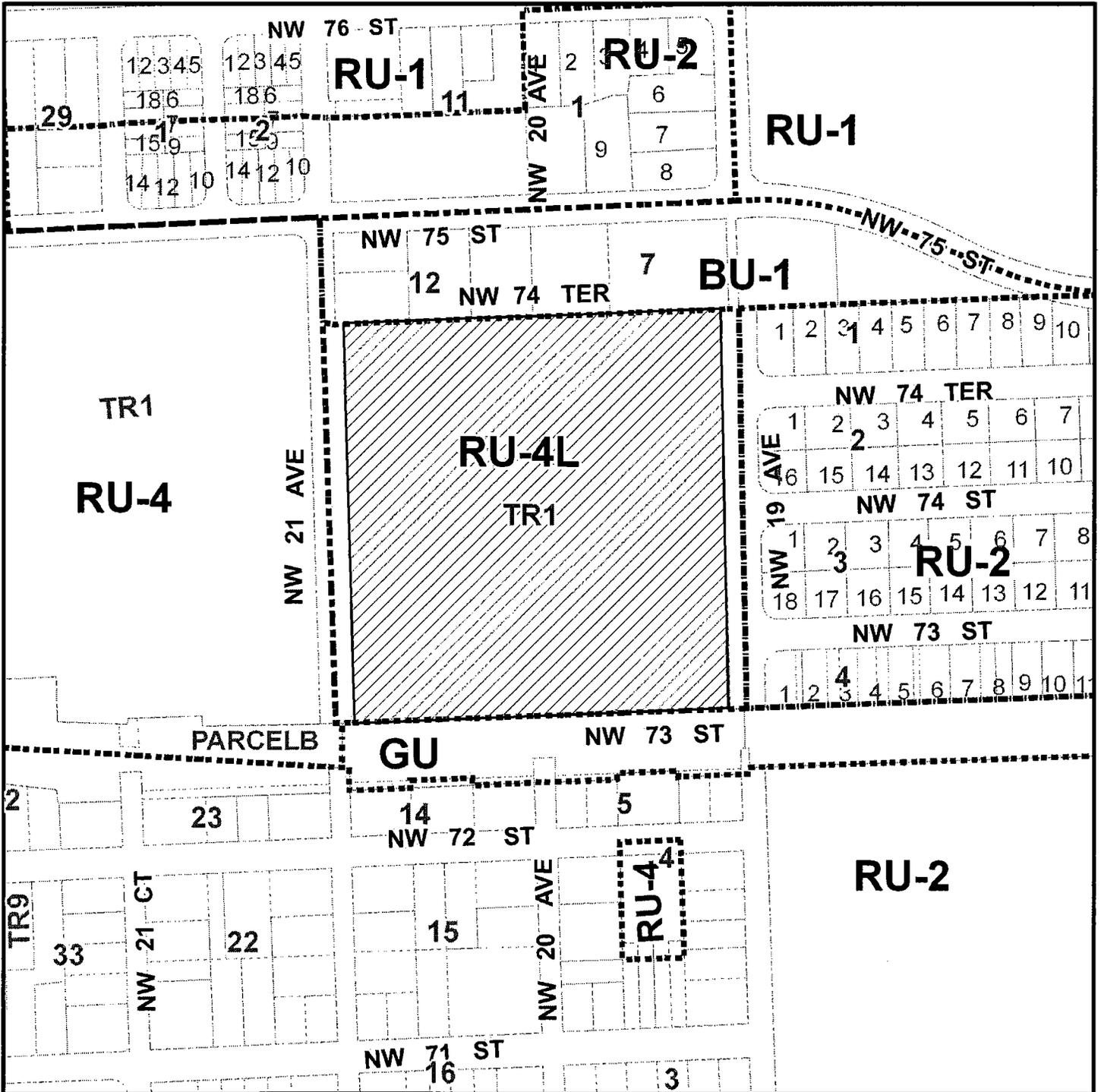
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McCormack Baron Salazar
 Reliance Housing Foundation
 Torti Gallas and Partners
 Cohen Freedman Encinosa & Associates

SCOTT / CARVER - II B : CARVER REDEVELOPMENT

SHEET 9
 Revised October 2, 2009
 August 14, 2009

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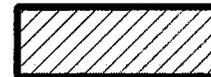


**MIAMI-DADE COUNTY
HEARING MAP**

Process Number

09-125

Section: 10 Township: 53 Range: 41
 Applicant: MIAMI DADE PUBLIC HOUSING
 Zoning Board: C08
 Commission District: 2
 Drafter ID: JEFFER
 Scale: NTS
 ----- Zoning

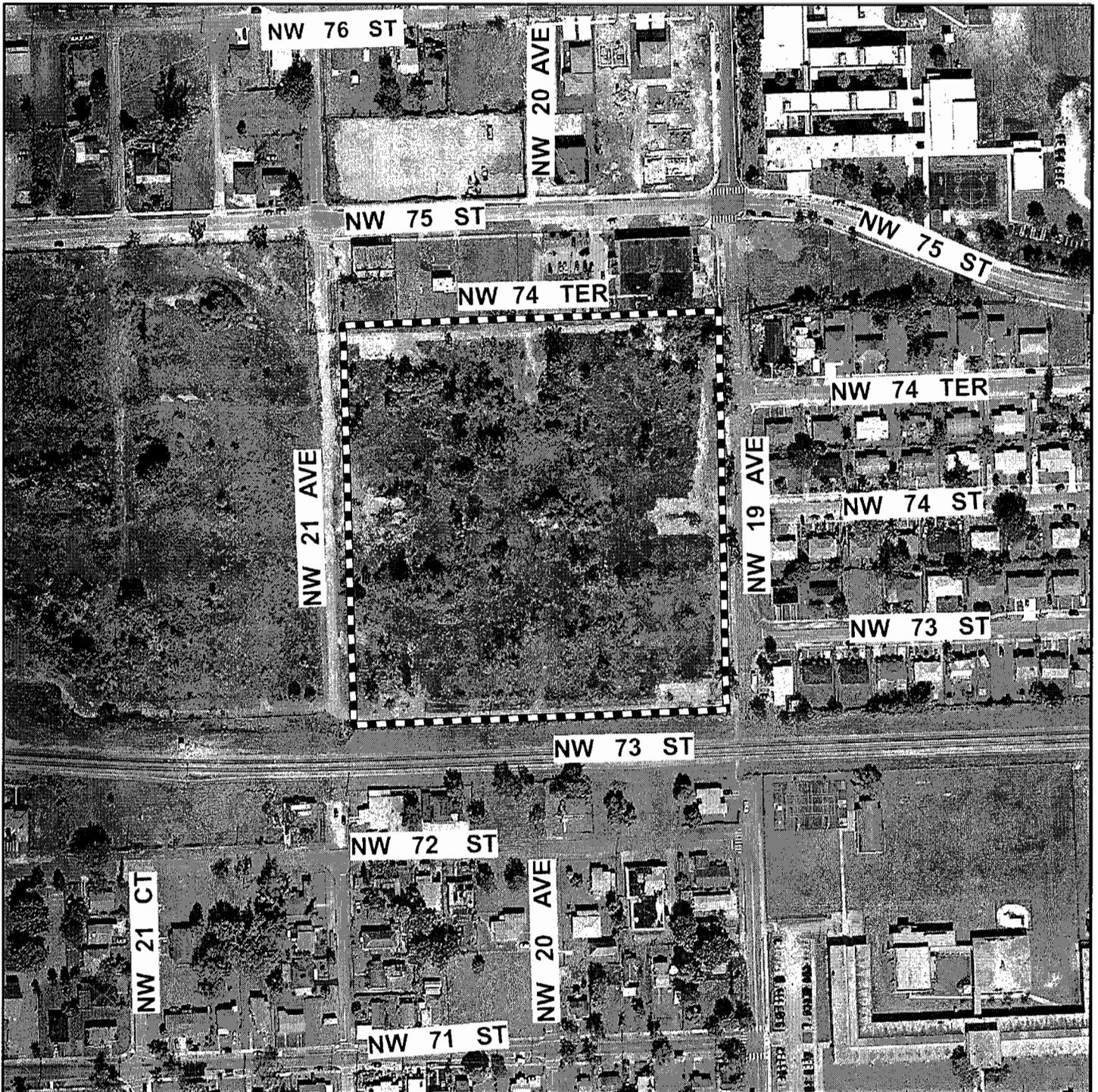


SUBJECT PROPERTY



SKETCH CREATED ON: 08/28/09

REVISION	DATE	BY
		43



MIAMI-DADE COUNTY
HEARING MAP

Process Number

09-125

Section: 10 Township: 53 Range: 41
 Applicant: MIAMI DADE PUBLIC HOUSING
 Zoning Board: C08
 Commission District: 2
 Drafter ID: JEFFER
 Scale: NTS
 ----- Zoning



SUBJECT PROPERTY



SKETCH CREATED ON: 08/28/09

REVISION	DATE	BY

4. MIAMI DADE PUBLIC HOUSING AGENCY
(Applicant)

10-3-CZ8-4 (09-130)
Area 8/District 2
Hearing Date: 03/02/10

Property Owner (if different from applicant) **Same.**

Is there an option to purchase /lease the property predicated on the approval of the zoning request? Yes No

Disclosure of interest form attached? Yes No

Previous Zoning Hearings on the Property:

<u>Year</u>	<u>Applicant</u>	<u>Request</u>	<u>Board</u>	<u>Decision</u>
1954	Department of Planning & Zoning	Zone change from RU-4 to RU-1, RU-2, RU-3 & RU-4	BCC	Approved

Action taken today does not constitute a final development order, and one or more concurrency determinations will subsequently be required. Provisional determinations or listings of needed facilities made in association with this Initial Development Order shall not be binding with regard to future decisions to approve or deny an Intermediate or Final Development Order on any grounds.

**MIAMI-DADE COUNTY DEPARTMENT OF PLANNING AND ZONING
RECOMMENDATION TO COMMUNITY COUNCIL No. 8**

APPLICANT: Miami Dade Public Housing Agency

PH: Z09-130 (10-3-CZ8-4)

SECTION: 10-53-41

DATE: March 2, 2010

COMMISSION DISTRICT: 2

ITEM NO.: 4

A. INTRODUCTION

o **REQUESTS:**

- (1) Applicant is requesting to permit multiple residential apartment buildings setback a minimum of 15' (25' required) from the front property lines and setback a minimum of 12'3" (25' required) from the side street property lines.
- (2) Applicant is requesting to permit the 3-story apartment buildings setback 15' (26'2" required) from the front and side street property lines.
- (3) Applicant is requesting to permit buildings with railings setback a minimum of 11.25' (25' required) and building D setback a minimum of 6.3' (26'2" required) from the front and side street property lines.
- (4) Applicant is requesting to permit balconies setback a minimum of 12.5' (25' required) from the front and side street property lines.
- (5) Applicant is requesting to permit a handicap ramp with railings setback a minimum of 5.1' (25' required) from the front and side street property lines.
- (6) Applicant is requesting to permit a minimum spacing of 15.5' (30' required for buildings with openings) between buildings.
- (7) Applicant is requesting to permit on certain proposed tracts, a minimum of 35 parking spaces (50 required) and a minimum of 75 parking spaces (97 required).

Plans are on file and may be examined in the Department of Planning and Zoning entitled "Scott/Carver IIC Sector III Redevelopment," as prepared by McCormack Baron Salazar Reliance Housing Foundation Torti Gallas and Partners, Sheets "3," "3A," "3B" and "3C" dated stamped received 11/13/09 and the remaining sheets dated stamped received 11/3/08 and landscape plans as prepared by Bell + Aquil Landscape Architect, L. L. C. for a total of 28 sheets. Plans may be modified at public hearing.

o **SUMMARY OF REQUESTS:**

This application will allow the applicant to submit plans for a proposed multi-family apartment development site with reduced front and side street setbacks, spacing between buildings and with less than the required number of parking spaces.

o **LOCATION:**

Lying south of N.W. 75 Street, between N.W. 23 Avenue and N.W. 24 Avenue, Miami-Dade County, Florida

o **SIZE:** 9.75 Acres

B. ZONING HEARINGS HISTORY:

In 1954, pursuant to Resolution #7740, the subject property was a part of larger parcel of land which was granted a district boundary change from RU-4 to RU-1, Single-Family Residential district, RU-2, Two-Family Residential District, RU-3, Four Unit Apartment District and RU-4, Apartment House and Hotel District.

C. COMPREHENSIVE DEVELOPMENT MASTER PLAN (CDMP):

1. The Adopted 2015 and 2025 Land Use Plan designates the subject property as being within the Urban Development Boundary for **Medium Density Residential use**. This category allows densities from 13 to 25 dwelling units per gross acre. The type of housing structures typically permitted in this category include townhouses and low-rise and medium-rise apartments.
2. Existing lawful residential and non-residential uses and zoning are not specifically depicted on the LUP map. They are however reflected in the average Plan Density depicted. All such lawful uses and zoning are deemed to be consistent with this Plan as provided in the section of this CDMP titled "Concepts and Limitations of the Land Use Plan Map." The limitation referenced in this paragraph pertain to existing zoning and uses. All approval of new zoning must be consistent with the provisions of the specific category in which the subject parcel exists, including the provisions for density averaging and definition of gross density.

D. NEIGHBORHOOD CHARACTERISTICS:

ZONING

LAND USE PLAN DESIGNATION

Subject Property:

RU-4; vacant

Medium Density Residential, 13 to 25
dua

Surrounding Properties

NORTH: IU-1and IU-2; vacant

Industrial and Office

SOUTH: RU-4; vacant
IU-2; Dade County Park

Medium Density Residential, 13 to 25
dua and Parks and Recreation

EAST: RU-2; duplexes and single-family residences Medium Density Residential, 13 to 25 du

WEST: IU-2; vacant Industrial and Office

The subject property is located south of NW 75 Street, between NW 23 Avenue and NW 24 Avenue. Vacant land, a park, and single family residences characterize the area where the subject property lies.

E. SITE AND BUILDINGS:

Site Plan Review:	(Site plan submitted)
Scale/Utilization of Site:	Acceptable
Location of Buildings:	Acceptable
Compatibility:	Acceptable
Landscape Treatment:	Acceptable
Open Space:	Acceptable
Buffering:	Acceptable
Access:	Acceptable
Parking Layout/Circulation:	Acceptable
Visibility/Visual Screening:	N/A

F. PERTINENT REQUIREMENTS/STANDARDS:

Section 33-311(A)(4)(b) Non-Use Variances from other than Airport Regulations. Upon appeal or direct application in specific cases, the Board shall hear and grant applications for **non-use variances** from the terms of the zoning and subdivision regulations and may grant a non-use variance upon a showing by the applicant that the non-use variance maintains the basic intent and purpose of the zoning, subdivision and other land use regulations, which is to protect the general welfare of the public, particularly as it affects the stability and appearance of the community and provided that the non-use variance will be otherwise compatible with the surrounding land uses and would not be detrimental to the community. No showing of unnecessary hardship to the land is required.

G. NEIGHBORHOOD SERVICES:

DERM	No objection*
Public Works	No objection
Parks	No objection
MDT	No objection
Fire Rescue	No objection
Police	No objection
Schools	No objection

*Subject to conditions indicated in their memoranda.

H. ANALYSIS:

The 9.75-acre subject property is located south of NW 75 Street, between NW 23 Avenue and NW 24 Avenue, in a mixed residential and industrial neighborhood. The Land Use Plan (LUP) map of the Comprehensive Development Master Plan (CDMP) designates the subject property for **Medium Density Residential** use. This category allows densities from 13 to 25 dwelling units per gross acre. The types of housing structures typically permitted in this category include townhouses and low-rise and medium-rise apartments. As previously mentioned, the subject property is designated as Medium Density Residential use, which allows a density from a minimum of 13 to a maximum of 25 dwelling units per gross acre. The plans submitted by the applicant depict a parcel of land broken down into four (4) Tracts which make up the entire development. A maximum of 54 units where the Land Use Plan (LUP) map of the Comprehensive Development Master Plan (CDMP) allows a maximum of 182 units on proposed Tract A; a maximum of 46 units where the Land Use Plan (LUP) map of the Comprehensive Development Master Plan (CDMP) allows a maximum of 191 units on proposed Tract B; and a maximum of 24 units where the Land Use Plan (LUP) map of the Comprehensive Development Master Plan (CDMP) allows a maximum of 46 units on proposed Tract C. In accordance with the Master Plan, this 9.75-acre parcel of land can be developed with a maximum of 487 units. The plans submitted by the applicant for this application depict the development of the 9.75-acre site with a total of 128 units which is 359 units below that permitted by the Land Use Plan (LUP) map of the Comprehensive Development Master Plan (CDMP). Therefore, the proposed development of 128 units on the subject property is numerically **consistent** with the LUP map designation of the Comprehensive Development Master Plan (CDMP).

The Department of Environmental Resources Management (**DERM**) has **no objections** to this application and has indicated that it meets the minimum requirements of Chapter 24 of the Miami-Dade County Code. However, the applicant will have to comply with all DERM conditions as set forth in their memorandum pertaining to this application. The **Public Works Department objects** to this application and indicates further in their memorandum that this application meets traffic concurrency because it lies within the urban infill area where traffic concurrency does not apply. However, the Public Works Department memorandum indicates that they object to the request to permit less parking than required. Furthermore, the Public Works Department indicates that this land requires platting and road dedications and improvements will be accomplished through the recording of a plat. The Miami-Dade Fire Department (**MDFRD**) has no objections to this application and their memorandum indicates that the estimated average travel response time is **6:30** minutes. Miami-Dade County Public Schools (**MDCPS**) has indicated that the Public School concurrency will take place at time of plat.

When requests #1 through #7 are analyzed under the Non-Use Variance (NUV) Standards, Section 33-311(A)(4)(b), staff is of the opinion that the approval of these requests would be **compatible** with the surrounding area, would not be detrimental to the neighborhood, and would not negatively affect the stability and appearance of the community. Staff notes that most of the non-use variances of setback requirements being requested on Tracts A, B and C are for encroachments into the front and side street setbacks (requests #1 through #5) and of spacing requirements between buildings (request #6). Staff opines that said requests are necessary in order to allow the handicapped ramps, balconies and railings within the front and side street setback areas and provide better accessibility to the handicapped

residents from the public right-of-way to the apartment units. Additionally, staff notes that some of the balconies and front porches also encroach into the front and side street setback areas which, staff opines, add architectural style and character to the proposed development. Additionally, the submitted plans depict Tract D,, as a proposed passive park, and indicates that a future playground will be provided on this Tract. Staff opines that this passive park is an enhancement to the proposed multi-family residential development, since it would be an area were the residents can go for walks and get to know their neighbors. The applicant is also seeking a variance of the parking requirements to allow the proposed development with a parking shortage of 22 parking spaces on proposed Tract A, and a shortage of 15 parking spaces on proposed Tract C. When combined, the parking shortage results in 37 parking spaces. However, staff notes that there are 5 surplus parking spaces on proposed Tract B, for an overall parking shortage of 31 parking spaces. Although, staff acknowledges that the Public Works Department objects to the 31 parking space deficiency for the proposed multi-family apartment development, staff opines that some of the future residents will be utilizing public transportation which is available approximately one block away from the site along NW 22 Avenue and at the Northside Metro-Rail Station, located at 3150 NW 79 Street, which is located pproximately about one (1) mile from the subject property. Based on the foregoing, staff recommends approval with conditions of the applicaiton under the NUV standards.

I. RECOMMENDATION: Approval with conditions

J. CONDITIONS:

1. That a site plan be submitted to and meet with the approval of the Director upon the submittal of an application for a building permit; said plan to include among other things but not be limited thereto, location of structure or structures, types, sizes and location of signs, light standards, off-street parking areas, exits and entrances, drainage, walls, fences, landscaping, etc.
2. That in the approval of the plan, the same be substantially in accordance with that submitted for the hearing entitled "Scott/Carver IIC Sector III Redevelopment," as prepared by McCormack Baron Salazar Reliance Housing Foundation Torti Gallas and Partners, Sheets "3," "3A," "3B" and "3C" dated stamped received 11/13/09 and the remaining sheets dated stamped received 11/3/08 and landscape plans as prepared by Bell + Aquil Landscape Architect, L. L. C. for a total of 28 sheets.
3. That the use be established and maintained in accordance with the approved plan.
4. That the applicant submit to the Department for its review and approval a landscaping plan which indicates the type and size of plant material prior to the issuance of a building permit and to be installed prior to the issuance of a Certificate of Use.
5. That a recordable agreement be submitted to and meet with the approval of the Director providing for permanent and safe access for pedestrian and vehicular traffic within the development and particularly for right of access for fire, police, health, and sanitation and other public service personnel and vehicles. The agreement, which shall be a covenant running with the land, shall also include a stipulation that the

streets, or access ways, shall be installed and maintained by the applicant, including, but not limited to, sidewalks, drainage facilities, water, sewers and fire hydrants, meeting with the approval of the Director and the Director of the Public Works Department. Such agreement shall be executed by the property owner and any and all parties having an interest in the land, such as mortgagees, etc., and its improvements.

6. To the extent property is not dedicated to Miami-Dade County, that in order to preserve each of the integrity and maintenance of the common areas of each of the proposed developments on each of the proposed tracts, a Unity of Title or Declaration of Restrictions be submitted on each of the proposed Tracts (Tracts A, B and C) with the exception of Tract D (the recreational tract) which should be combined with a Unity of Title or Declaration of Restrictions with one or more of the aforementioned Tracts (Tracts A, B and C); in the event of multiple ownership, a homeowners' association (or special taxing district) be established in accordance with applicable regulations to assure that all common areas and facilities for use of all residents shall be maintained in a continuous and satisfactory manner, and without expense to the general taxpayer of Miami-Dade County. The instrument incorporating such provisions shall be approved by the County Attorney as to form and legal sufficiency and shall be recorded in the public records of Miami-Dade County at the time of the recording of the subdivision plat.
7. That the applicant comply with all applicable conditions and requirements of the Department of Environmental Resources Management (DERM) as contained in their memorandum pertaining to this application.
8. That the applicant comply with all applicable conditions and requirements of the Public Works Department as contained in their memorandum pertaining to this application.

DATE TYPED: 01/24/10

DATE REVISED: 01/26/10; 01/29/10; 02/09/10, 02/22/10

DATE FINALIZED: 02/22/10

MCL:GR:NN:NC:TA



Marc C. LaFerrier, AICP, Director
Miami-Dade County Department of
Planning and Zoning

J.V.
6R

Memorandum



Date: December 16, 2009

To: Marc C. LaFerrier, AICP, Director
Department of Planning and Zoning

From: Jose Gonzalez, P.E., Assistant Director
Environmental Resources Management

A handwritten signature in black ink, appearing to read "Jose Gonzalez". The signature is written in a cursive, flowing style.

Subject: C-08 #Z2009000130 Revised
Miami-Dade Public Housing Agency
Southwest corner of N.W. 75 Street and N.W. 23 Avenue
To permit a Multi-Family Residential Development Setback Less than
Required from Property Lines and to Permit Less Parking than Required
(RU-4) (9.75 Acres)
10-53-41

The Department of Environmental Resources Management (DERM) has reviewed the subject application and has determined that it meets the minimum requirements of Chapter 24 of the Code of Miami-Dade County, Florida (the Code). Accordingly, DERM may approve the application, and the same may be scheduled for public hearing.

Wastewater Disposal and Wastewater Disposal

Public water and public sanitary sewers can be made available to the subject property. Therefore, connection of the proposed development to the public water supply system and sanitary sewer system shall be required in accordance with Code requirements.

Existing public water and sewer facilities and services meet the Level of Service (LOS) standards set forth in the Comprehensive Development Master Plan (CDMP). Furthermore, the proposed development order, if approved, will not result in a reduction in the LOS standards subject to compliance with the conditions required by DERM for this proposed development order.

Notwithstanding the foregoing, and in light of the fact that the County's sanitary sewer system has limited sewer collection, transmission, and treatment capacity, no new sewer service connections can be permitted, unless there is adequate capacity to handle the additional flows that this project would generate. Consequently, final development orders for this site may not be granted if adequate capacity in the system is not available at the point in time when the project will be contributing sewage to the system. Lack of adequate capacity in the system may require the approval of alternate means of sewage disposal. Use of an alternate means of sewage disposal may only be granted in accordance with Code requirements, and shall be an interim measure, with connection to the public sanitary sewer system required upon availability of adequate collection/transmission and treatment capacity.

Stormwater Management

This project qualifies for an Environmental Resources Permit from the South Florida Water Management District (SFWMD). Proof of permit must be submitted to this Section prior to Final Plat.

All stormwater shall be retained on-site utilizing properly designed seepage or infiltration drainage structures. Drainage must be provided for the 5-year/1-day storm event with full on-site retention of the 25-year/3-day storm. Pollution Control devices shall be required at all drainage inlet structures.

Site grading and development shall comply with the requirements of Chapter 11C of the Code.

Any proposed development shall comply with County and Federal flood criteria requirements. The proposed development order, if approved, will not result in a reduction in the Level of Service standards for flood protection set forth in the CDMP subject to compliance with the conditions required by DERM for this proposed development order.

Pollution Remediation

DERM records indicate that there are no records of current contamination assessment or remediation issues on the property nor are there historical records of contamination assessment or remediation issues regarding non-permitted sites on this property.

Please be advised that the following abutting properties have records of current contamination assessment or remediation issues:

The property to the northwest (Folio # 30-3110-074-0040, Poinciana Industrial Center, 7527 NW 24 AVE, HWR-39/F-15993) has records of current arsenic contamination assessment and remediation issues that are presently being assessed.

The property to the northeast (Poinciana Industrial Center Tract DE, Folio # 30-3110-074-0030, HWR-27/F-15989) has records of current pesticide contamination assessment and remediation issues that are presently being assessed. This property also has records of historical pesticide contamination assessment or remediation issues regarding non-permitted sites

Except as noted above there are no other abutting properties with records of current contamination assessment or remediation issues.

Wetlands

The subject property does not contain wetlands as defined by Section 24-5 of the Code; therefore, a Class IV Wetland Permit will not be required.

The applicant is advised that permits from the Army Corps of Engineers (305-526-7181), the Florida Department of Environmental Protection (561-681-6600) and the South Florida Water Management District (1-800-432-2045) may be required for the proposed project. It is the applicant's responsibility to contact these agencies.

Tree Preservation

Tree Removal Permit 2009-TREE-PER-00393 was issued for this property to Miami Dade County Miami Dade Housing Agency on November 19, 2009 and is scheduled to expire on November 19, 2010. This permit requires the preservation of a specimen-sized (Trunk diameter 18 inches or greater) mahogany tree #5571 located in Sector IIIA however this application is for Sector III only. Therefore this Section recommends approval of this application.

All approved tree removal or relocation; replanting and final inspection must be completed prior to the scheduled expiration date of this permit to avoid violation of permit conditions. A two weeks notice is required prior to the final inspection. Please be advised that a new Miami-Dade County Tree Removal Permit or an amendment to this permit is required prior to the removal or relocation of any other tree on

the subject property. Please contact this Program at 305-372-6574 for information regarding tree permits.

Enforcement History

DERM has found no open or closed enforcement records for the subject property.

Pollution Control

The subject property is located within a designated brownfield area. The applicant is advised that there are economic incentives for development within this area. For further information concerning these incentives contact the Pollution Remediation Section of DERM at 305-372-6700.

Concurrency Review Summary

DERM has conducted a concurrency review for this application and has determined that the same meets all applicable LOS standards for an initial development order, as specified in the adopted CDMP for potable water supply, wastewater disposal, and flood protection. Therefore, the application has been approved for concurrency subject to the comments and conditions contained herein.

This concurrency approval does not constitute a final concurrency statement and is valid only for this initial development order, as provided for in the adopted methodology for concurrency review. Additionally, this approval does not constitute any assurance that the LOS standards would be met by any subsequent development order applications concerning the subject property.

This memorandum shall constitute DERM's written approval, as required by the Code.

If you have any questions concerning the comments, or wish to discuss this matter further, please contact Christine Velazquez, Interim Manager at (305) 372-6764.

PUBLIC WORKS DEPARTMENT COMMENTS

Applicant's Names: MIAMI DADE PUBLIC HOUSING AGENCY

This Department objects to this application.

This Department objects to the request to permit less parking than required.

This land requires platting in accordance with Chapter 28 of the Miami-Dade County Code. The road dedications and improvements will be accomplished thru the recording of a plat.

Additional improvements may be required at time of platting.

This project meets traffic concurrency because it lies within the urban infill area where traffic concurrency does not apply.



Raul A Pino, P.L.S.

14-DEC-09

Memorandum



Date: 28-SEP-09
To: Marc LaFerrier, Director
Department of Planning and Zoning
From: Herminio Lorenzo, Fire Chief
Miami-Dade Fire Rescue Department
Subject: Z2009000130

Fire Prevention Unit:

APPROVAL

Fire Engineering and Water Supply Bureau has no objection to Site plan date stamped September 9, 2009. Any changes to the vehicular circulation must be resubmitted for review and approval.

This plan has been reviewed to assure compliance with the MDFR Access Road Requirements for zoning hearing applications only. Please be advised that during the platting and permitting stages of this project, the proffered site plan must adhere to corresponding MDFR requirements.

Service Impact/Demand

Development for the above Z2009000130

located at SOUTHWEST CORNER OF NW 75 STREET & NW 23 AVENUE, MIAMI-DADE COUNTY, FLORIDA.

in Police Grid 8793 is proposed as the following:

<u>128</u> residential	dwelling units	<u>N/A</u> industrial	square feet
<u>N/A</u> Office	square feet	<u>N/A</u> institutional	square feet
<u>N/A</u> Retail	square feet	<u>N/A</u> nursing home/hospitals	square feet

Based on this development information, estimated service impact is: 36 alarms-annually.

The estimated average travel time is: 6:30 minutes

Existing services

The Fire station responding to an alarm in the proposed development will be:

Station 2 - Model Cities - 6460 NW 27 Avenue
Rescue, BLS 65' Aerial, Battalion

Planned Service Expansions:

The following stations/units are planned in the vicinity of this development:

None.

Fire Planning Additional Comments

Current service impact calculated based on letter of intent date stamped Septemeber 9, 2009. Substantial changes to the letter of intent will require additional service impact analysis.

TEAM METRO

ENFORCEMENT HISTORY

MIAMI DADE PUBLIC HOUSING
AGENCY

SOUTHWEST CORNER OF NW 75
STREET & NW 23 AVENUE, MIAMI-
DADE COUNTY, FLORIDA.

APPLICANT

ADDRESS

Z2009000130

HEARING NUMBER

CURRENT ENFORCEMENT HISTORY:

CURRENT CASE HISTORY:

Case 200904007397 was opened based on Enforcement History request and inspected on 09/11/09. Overgrowth bushes and weeds exceeding 18 inches in height were observed and a referral was immediately e-mail to Miami-Dade Housing Agency for compliance and case was closed.

PREVIOUS CASE HISTORY:

Case 200104000904 was opened on 03/05/01 for abandoned white truck at premises. Re-inspection on 03/19/01, vehicle was removed and case was closed.

NCO HENRY BYRD

DISCLOSURE OF INTEREST*

Miami-Dade County, Miami-Dade Public Housing Agency

If a **CORPORATION** owns or leases the subject property, list principal stockholders and percent of stock owned by each. [Note: Where principal officers or stockholders consist of other corporation(s), trust(s), partnership(s) or other similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

Owner Name:
CORPORATION NAME: Miami-Dade Public Housing Agency

<u>NAME AND ADDRESS</u>	<u>Percentage of Stock</u>
_____	_____
_____	_____
_____	_____
RECEIVED 209-130 SEP 09 2009 ZONING HEARINGS SECTION MIAMI-DADE PLANNING AND ZONING DEPT. BY: <u>AK</u>	

If a **TRUST** or **ESTATE** owns or leases the subject property, list the trust beneficiaries and the percent of interest held by each. [Note: Where beneficiaries are other than natural persons, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

TRUST/ESTATE NAME _____

<u>NAME AND ADDRESS</u>	<u>Percentage of Interest</u>
_____	_____
_____	_____
_____	_____
_____	_____

If a **PARTNERSHIP** owns or leases the subject property, list the principals including general and limited partners. [Note: Where the partner(s) consist of another partnership(s), corporation(s), trust(s) or other similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

PARTNERSHIP OR LIMITED PARTNERSHIP NAME: _____

<u>NAME AND ADDRESS</u>	<u>Percentage of Ownership</u>
_____	_____
_____	_____
_____	_____
_____	_____

If there is a **CONTRACT FOR PURCHASE**, by a Corporation, Trust or Partnership list purchasers below, including principal officers, stockholders, beneficiaries or partners. [Note: Where principal officers, stockholders, beneficiaries or partners consist of other corporations, trusts, partnerships or other similar

entities, further disclosure shall be made to identify natural persons having the ultimate ownership interests].

NAME OF PURCHASER: _____

NAME, ADDRESS AND OFFICE (if applicable)

Percentage of Interest

RECEIVED
209-130
SEP 09 2009

ZONING HEARINGS SECTION
MIAMI-DADE PLANNING AND ZONING DEPT.
BY AK

Date of contract: _____

If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership or trust.

NOTICE: For any changes of ownership or changes in purchase contracts after the date of the application, but prior to the date of final public hearing, a supplemental disclosure of interest is required.

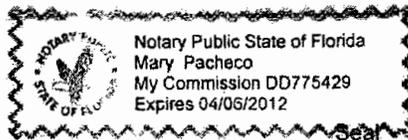
The above is a full disclosure of all parties of interest in this application to the best of my knowledge and belief.

Signature: X Jorge R. Cieran
(Applicant)

Miami-Dade Public Housing Agency, by: JORGE R. CIERAN (print name)

Sworn to and subscribed before me this 20 day of August, 2009. Affiant is personally know to me or has produced _____ as identification.

Mary Pacheco
(Notary Public)



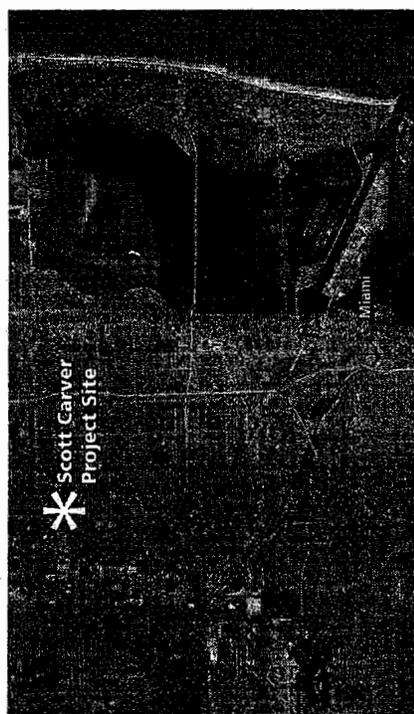
My commission expires: _____

*Disclosure shall not be required of: 1) any entity, the equity interests in which are regularly traded on an established securities market in the United States or another country; or 2) pension funds or pension trusts of more than five thousand (5,000) ownership interests; or 3) any entity where ownership interests are held in a partnership, corporation or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership and where no one (1) person or entity holds more than a total of five per cent (5%) of the ownership interest in the partnership, corporation or trust. Entities whose ownership interests are held in a partnership, corporation, or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership, shall only be required to disclose those ownership interest which exceed five (5) percent of the ownership interest in the partnership, corporation or trust.

SCOTT/CARVER II C: SECTOR III REDEVELOPMENT APPLICATION FOR ZONING VARIANCE (CURRENT ZONING RU-4)- MULTIFAMILY DEVELOPMENT

Partners for Scott Carver Redevelopment

- Development Team**
- McCormack Baron Salazar
1415 Olive Street, Suite 310
St. Louis, MO 63103-2334
314.621.3400
www.mccormackbaron.com
 - Reliance Housing Foundation
Master Developer
805 E. Broadway Boulevard
Fort Lauderdale, FL 33301
954.927-0545
 - Torti Gallas and Partners
Master Planning and Urban Design
1350 Spring Street, 4th Floor
Silver Spring, MD 20910
301.588-8800
www.tortigallas.com
 - Urban Strategies
Community Engagement / Supportive Services
1415 Olive Street, Suite 209
St. Louis, MO 63103
314.421.4270
www.urbanstrategiesinc.com
- Consultant Team**
- K&J Design and Build
Architects
211 North Broadway, Suite 1900
St. Louis, MO 63102
314.241.5188
www.k&j-db.com
 - Zeacore, Inc.
Civil Engineering
Suite 1000
City Center, F. 33081
407.839.9955
www.zeacore.com
 - Millan, Swain & Associates, Inc.
2035 SW 32nd Avenue
Miami, FL 33145
305.447.0123
www.millanswain.com
 - LeQuatra Bond
Landscape Design
95 S 10th St.
Pittsburgh, PA 15202-1143
412.486.8822
www.lequatrabond.com
 - Gilting Jackson Korber Anglin, Inc.
Transportation Planning and Engineering
120 North Orange Avenue
Orlando, Florida 32801
407.843.6552
www.gilting.com
 - 8000 West Gallas and Partners, Inc. | 1000 Spring Street, 4th Floor, Silver Spring, Maryland 20910-3000 #466



Project Location



Site Location

Drawing List for Master Planning and Architecture

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Plans and Elevations, Unit data: Building F	11
Plans and Elevations, Unit data: Building F	12
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Drawing List for Landscape Design

LaQuatra Bond

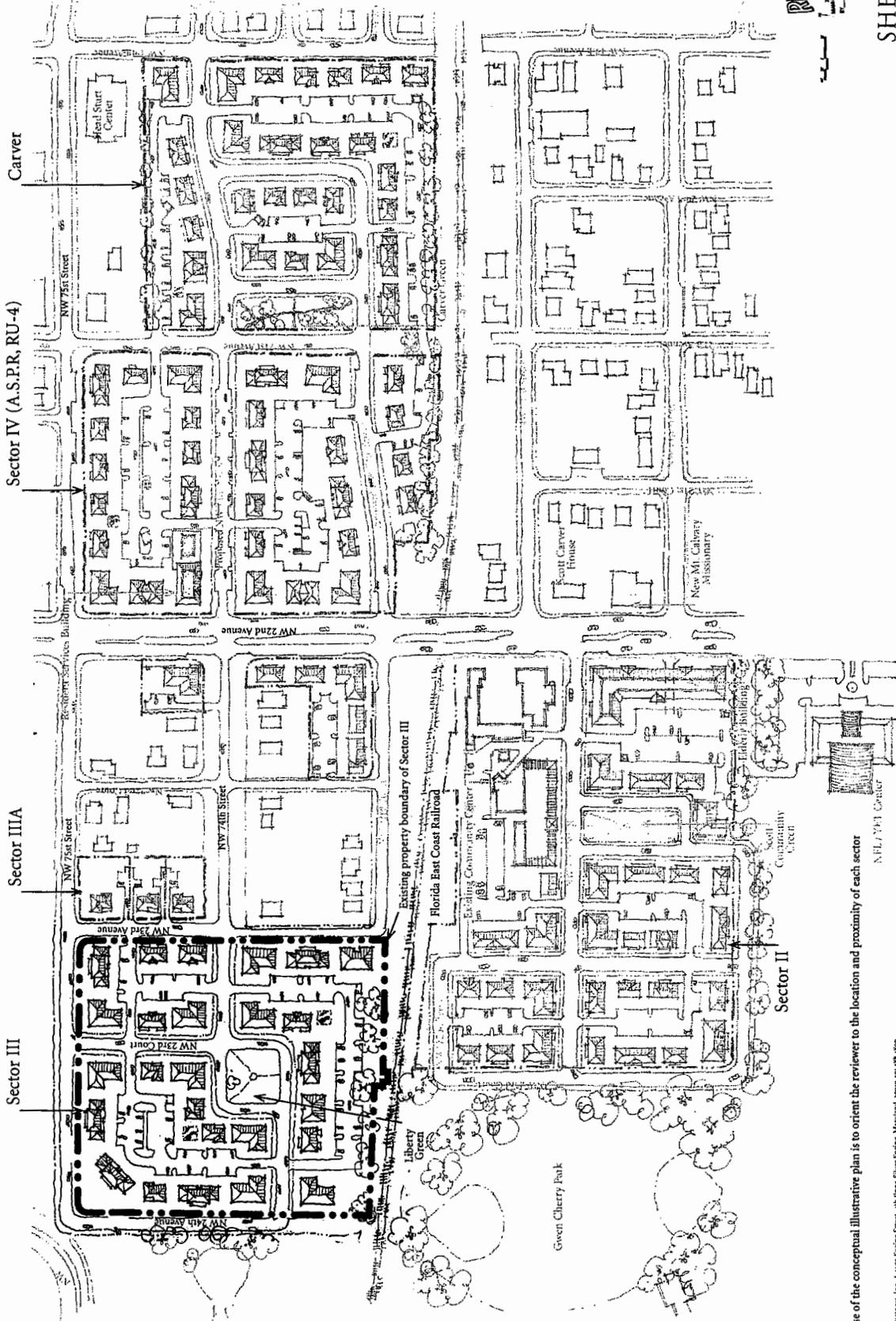
Content	Page Number
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SHEET 1
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August 23, 2009

SCOTT/ CARVER -II C : SECTOR III REDEVELOPMENT

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TORTI GALLAS AND PARTNERS



SHEET 2
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Note: The purpose of the conceptual illustrative plan is to orient the reviewer to the location and proximity of each sector

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Illustrative Masterplan

MCCORMACK BARON SALAZAR
 RELIANCE HOUSING FOUNDATION
 TORTI GALLAS AND PARTNERS

Sector III - Tract A - Building Data

Building Type	Units	Units per Acre	Tract Area SF	Tract Area AC	Tract Area SF	Tract Area AC	Tract Area SF	Tract Area AC
Building A	3	2	1,171,215	26.83	1,171,215	26.83	1,171,215	26.83
Building B	3	2	1,171,215	26.83	1,171,215	26.83	1,171,215	26.83
Building C	3	2	1,171,215	26.83	1,171,215	26.83	1,171,215	26.83
Building D	3	2	1,171,215	26.83	1,171,215	26.83	1,171,215	26.83
Total	12	8	4,683,860	107.32	4,683,860	107.32	4,683,860	107.32

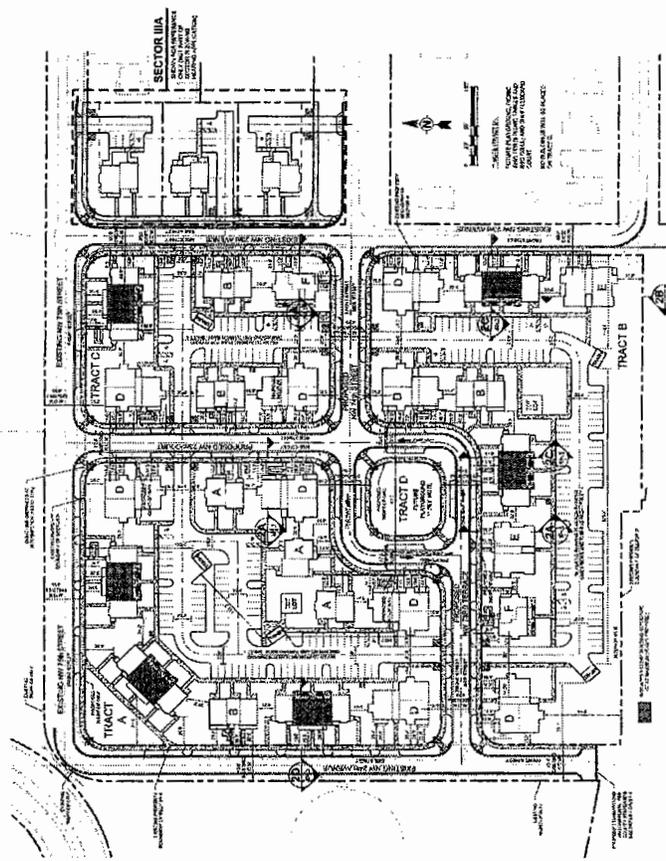
Sector III - Tract B - Building Data

Building Type	Units	Units per Acre	Tract Area SF	Tract Area AC	Tract Area SF	Tract Area AC	Tract Area SF	Tract Area AC
Building A	3	2	1,171,215	26.83	1,171,215	26.83	1,171,215	26.83
Building B	3	2	1,171,215	26.83	1,171,215	26.83	1,171,215	26.83
Building C	3	2	1,171,215	26.83	1,171,215	26.83	1,171,215	26.83
Building D	3	2	1,171,215	26.83	1,171,215	26.83	1,171,215	26.83
Total	12	8	4,683,860	107.32	4,683,860	107.32	4,683,860	107.32

Sector III - Tract C - Building Data

Building Type	Units	Units per Acre	Tract Area SF	Tract Area AC	Tract Area SF	Tract Area AC	Tract Area SF	Tract Area AC
Building A	3	2	1,171,215	26.83	1,171,215	26.83	1,171,215	26.83
Building B	3	2	1,171,215	26.83	1,171,215	26.83	1,171,215	26.83
Building C	3	2	1,171,215	26.83	1,171,215	26.83	1,171,215	26.83
Building D	3	2	1,171,215	26.83	1,171,215	26.83	1,171,215	26.83
Total	12	8	4,683,860	107.32	4,683,860	107.32	4,683,860	107.32

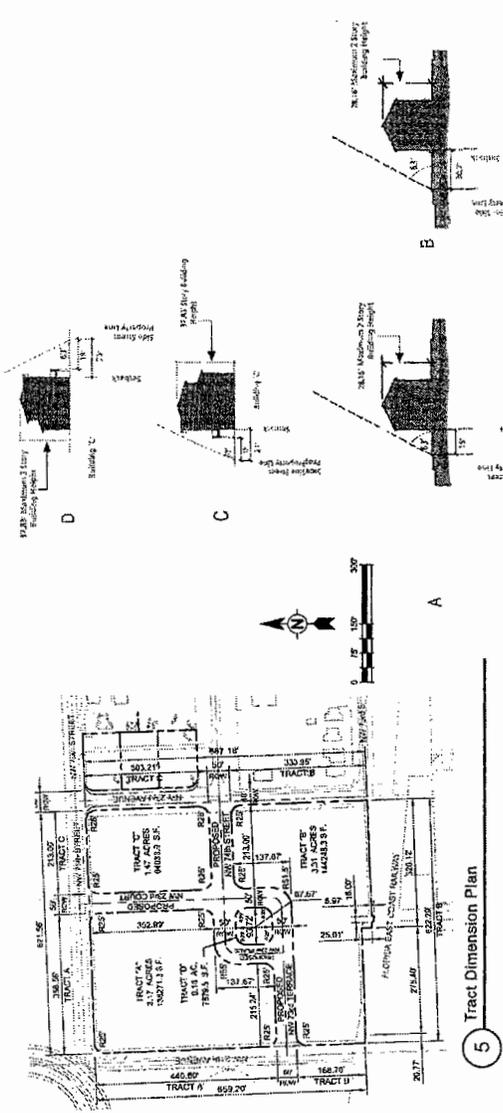
3 Sector III: Building Data



4 Site Plan with Property Line Boundary, Proposed Tract Boundary Lines, R.O.W and setback dimensions

Sector III Site plan and Zoning Legend: Variance of RU-4 Zoning

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TORTI GALLAS AND PARTNERS



5 Tract Dimension Plan

2 Site Street and Interior Side Building Setback Diagrams

Tract	Area (SF)	Area (AC)	Units	Units per Acre	Setback (ft)	Notes
Tract A	1,171,215	26.83	3	2	15	
Tract B	1,171,215	26.83	3	2	15	
Tract C	1,171,215	26.83	3	2	15	
Tract D	1,171,215	26.83	3	2	15	

1 Sector III Zoning Legend: Variance of RU-4 Zoning

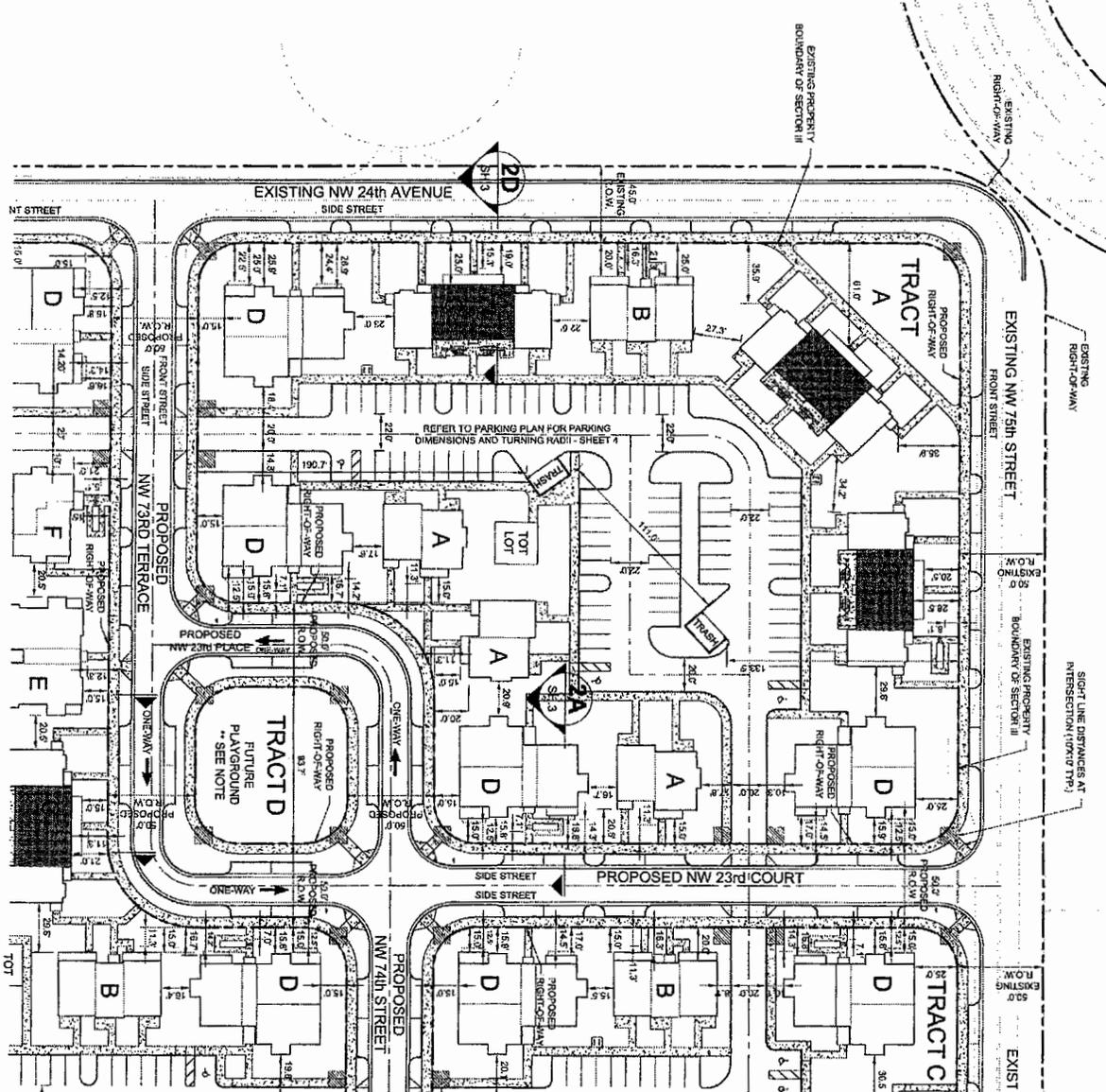
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August 25, 2009

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REY
ZAVARO
ARCHITECTS

City of Portland, Oregon, 1100 Spring Street, 4th Floor, Suite 2000, Portland, Oregon 97202-3100
SCOTT / CARVER - II C : SECTOR III REDEVELOPMENT
TRACT A & D SITE PLAN AND ZONING LEGEND: VARIANCE OF RU-4 ZONING
 MCCORMACK BARON SAJAZAR
 RELIANCE HOUSING FOUNDATION
 FORTI GALIAS AND PARTNERS

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TRACT A & D SITE PLAN AND ZONING LEGEND: VARIANCE OF RU-4 ZONING
 SHEET 3A
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 August 25, 2009



1 Tract A & D Site Plan with Property line Boundary, Proposed Tract Boundary lines R.O.W and setback dimensions



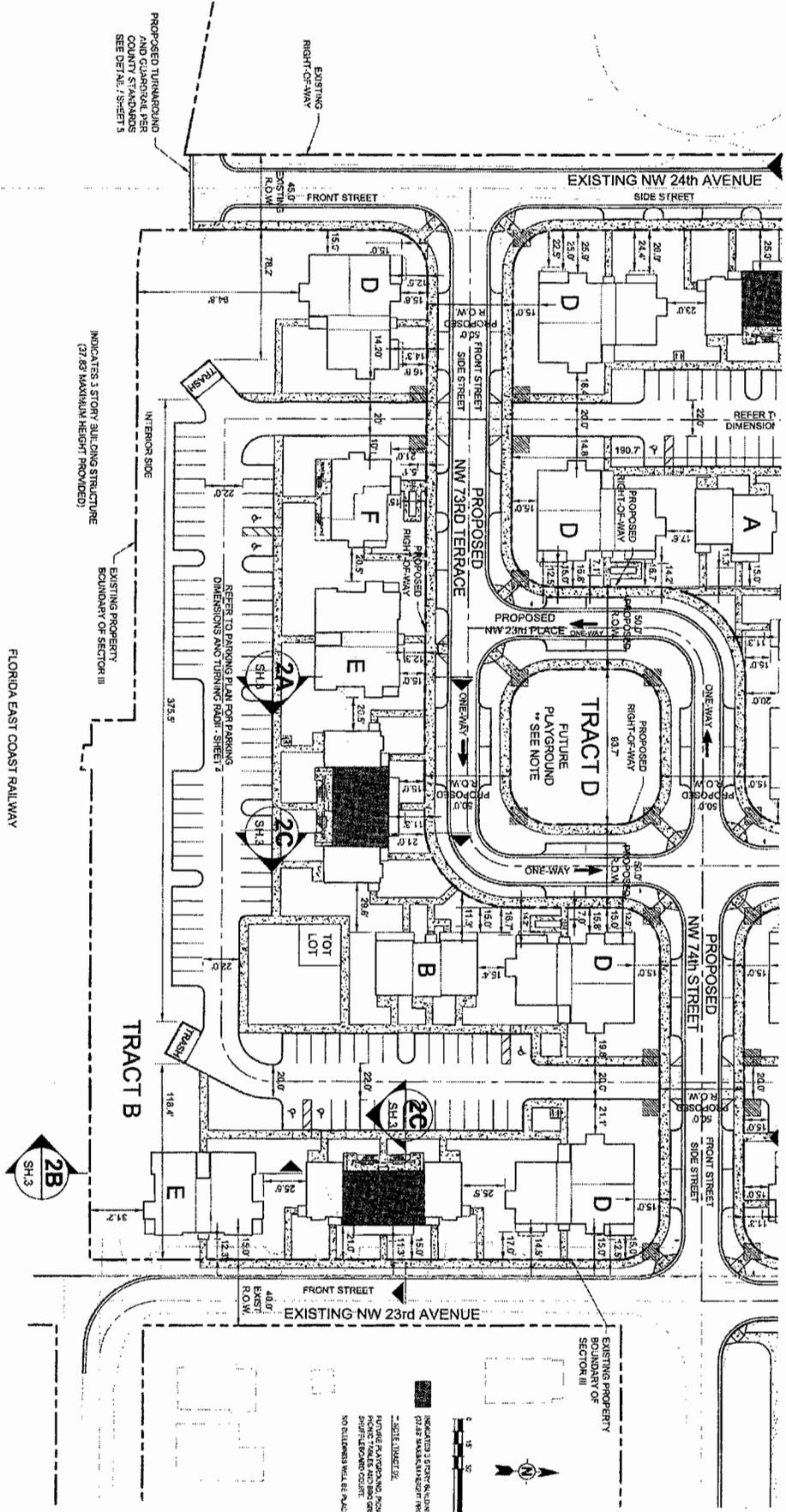
19

4300 Bartlett and Partners, Inc. | 1000 Hyde Street, Suite 300, San Diego, California 92101
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SCOTT/ CARVER - II C : SECTOR III REDEVELOPMENT

SHEET 3B
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 August 25, 2009

1 Tract 8 Site Plan with Property line Boundary.
 Proposed Tract Boundary lines R.O.W and setback dimensions

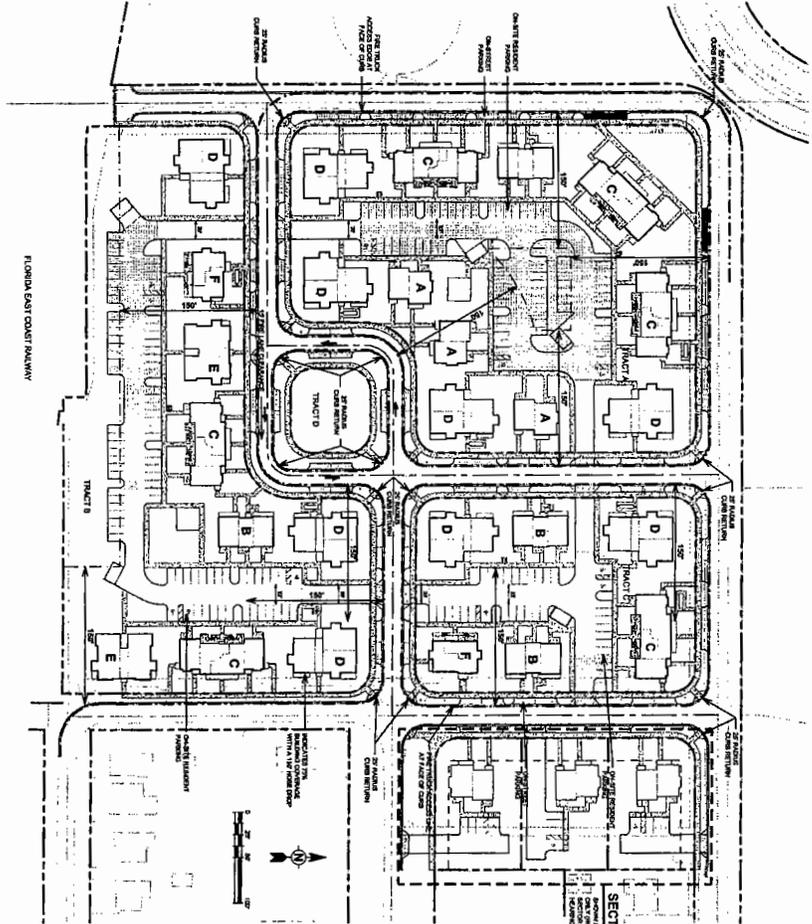


Owner: Torti Callas and Partners, Inc. | 1100 Spridge Street, 4th Floor, Silver Spring, Maryland | 301.583.4200

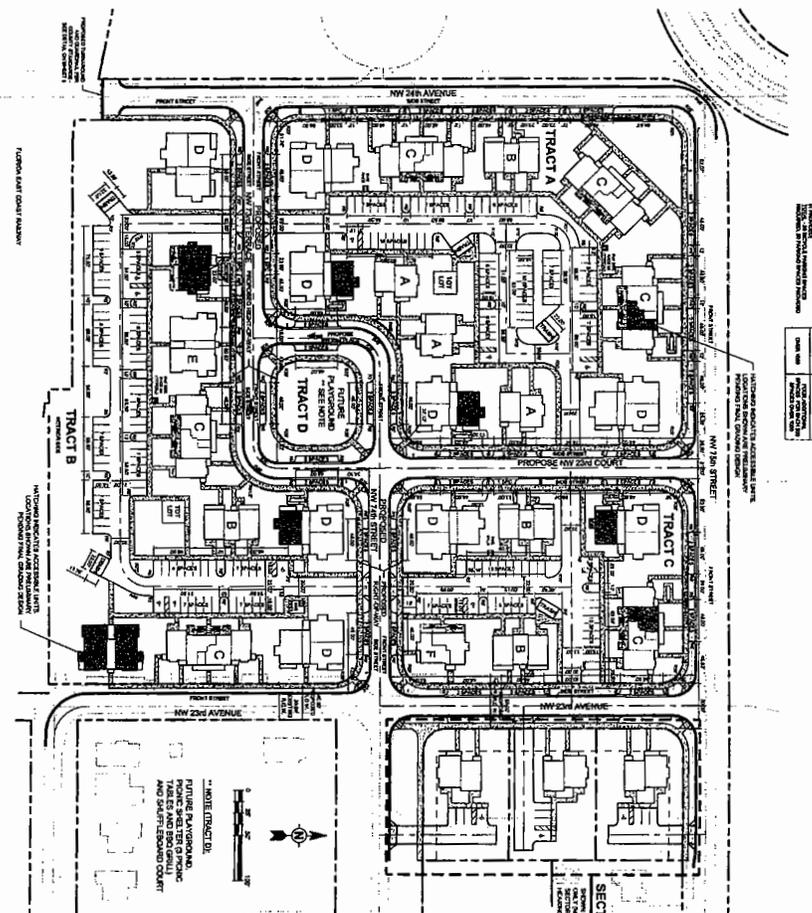
Sector III: Parking Plan and Fire Access diagram

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RELIANCE HOUSING FOUNDATION
TORTI CALLAS AND PARTNERS

2 Fire Access Diagram



1 Parking plan with dimensions and Accessible Unit locations



SECTOR IIIA ACCESSIBLE UNIT LEGEND

UNIT TYPE	ACCESSIBLE UNIT	LOCATION
1-BEDROOM	1	TRACT A, UNIT 101
1-BEDROOM	1	TRACT B, UNIT 201
1-BEDROOM	1	TRACT C, UNIT 301
1-BEDROOM	1	TRACT D, UNIT 401
2-BEDROOM	1	TRACT A, UNIT 102
2-BEDROOM	1	TRACT B, UNIT 202
2-BEDROOM	1	TRACT C, UNIT 302
2-BEDROOM	1	TRACT D, UNIT 402

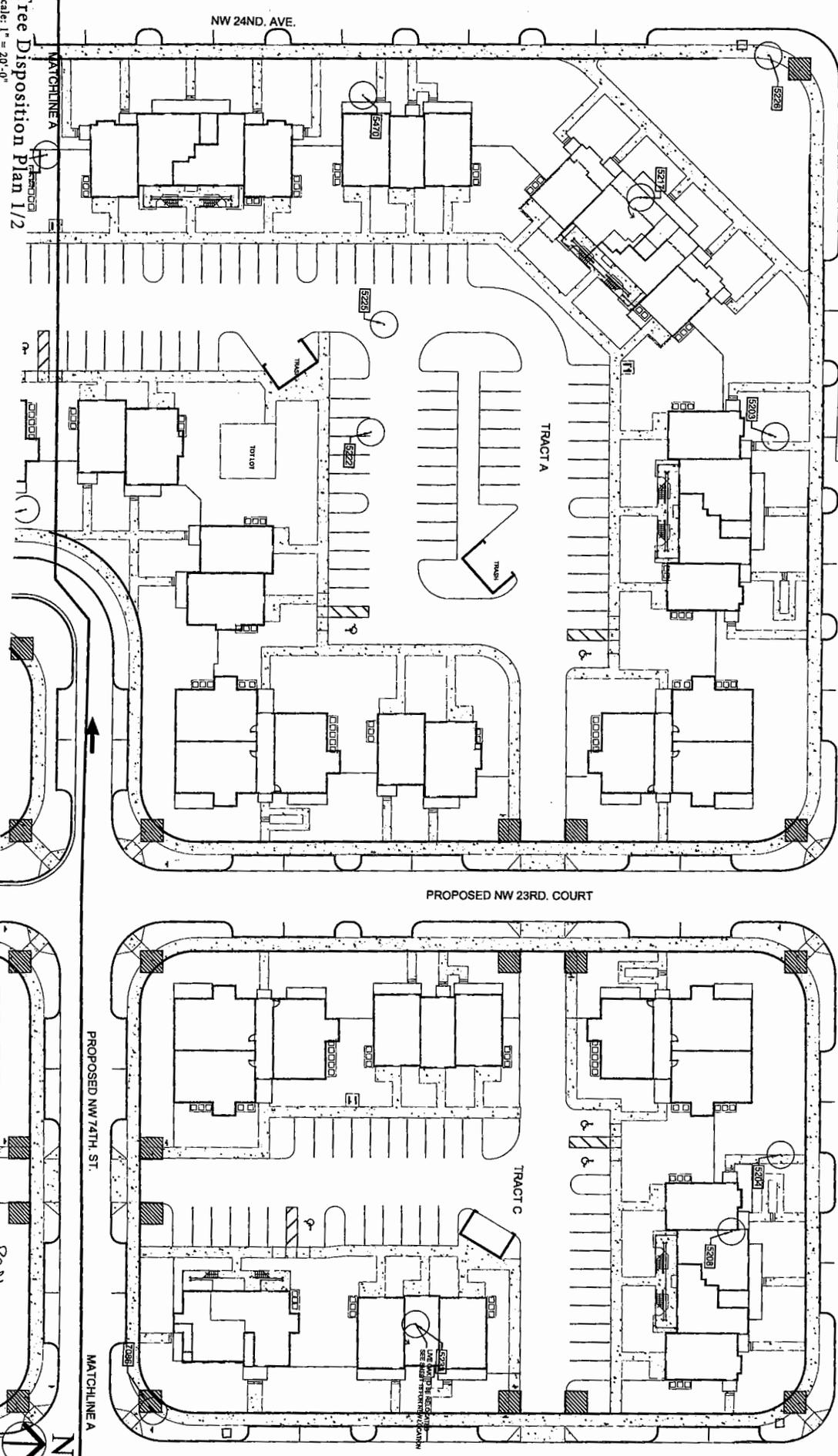
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SHEET 4
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August 23, 2009



LEGEND

- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO BE SAVED AND RELOCATED



Tree Disposition Plan 1/2
Scale: 1" = 20'-0"

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LAQUANTRA BONCI ASSOCIATES/BELL+AQUIL LANDSCAPE ARCHITECTURE, LLC.

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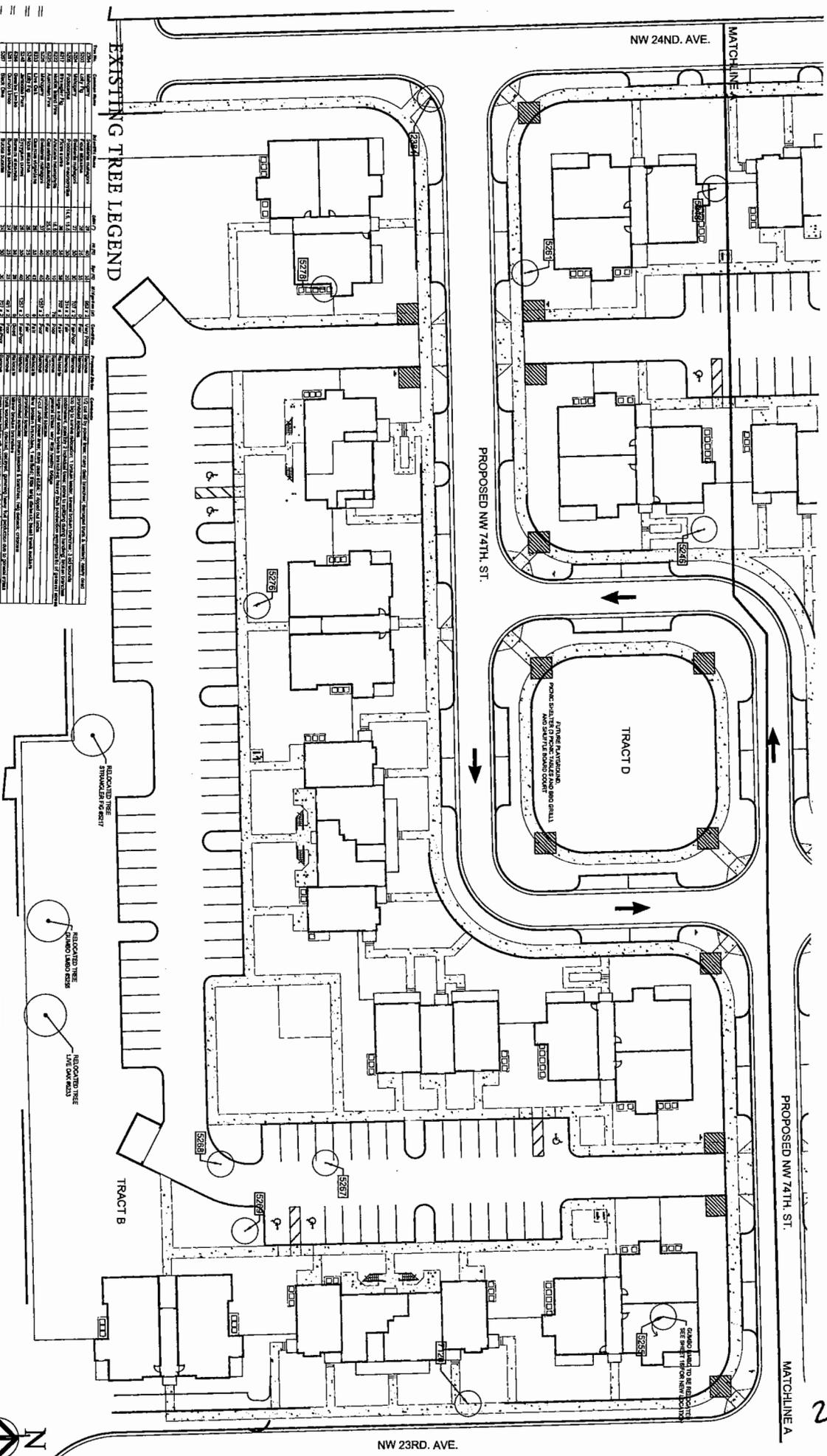
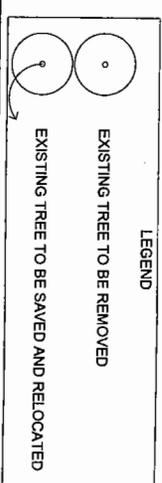
Tree Disposition Plan 2/2
 Scale: 1" = 20'-0"

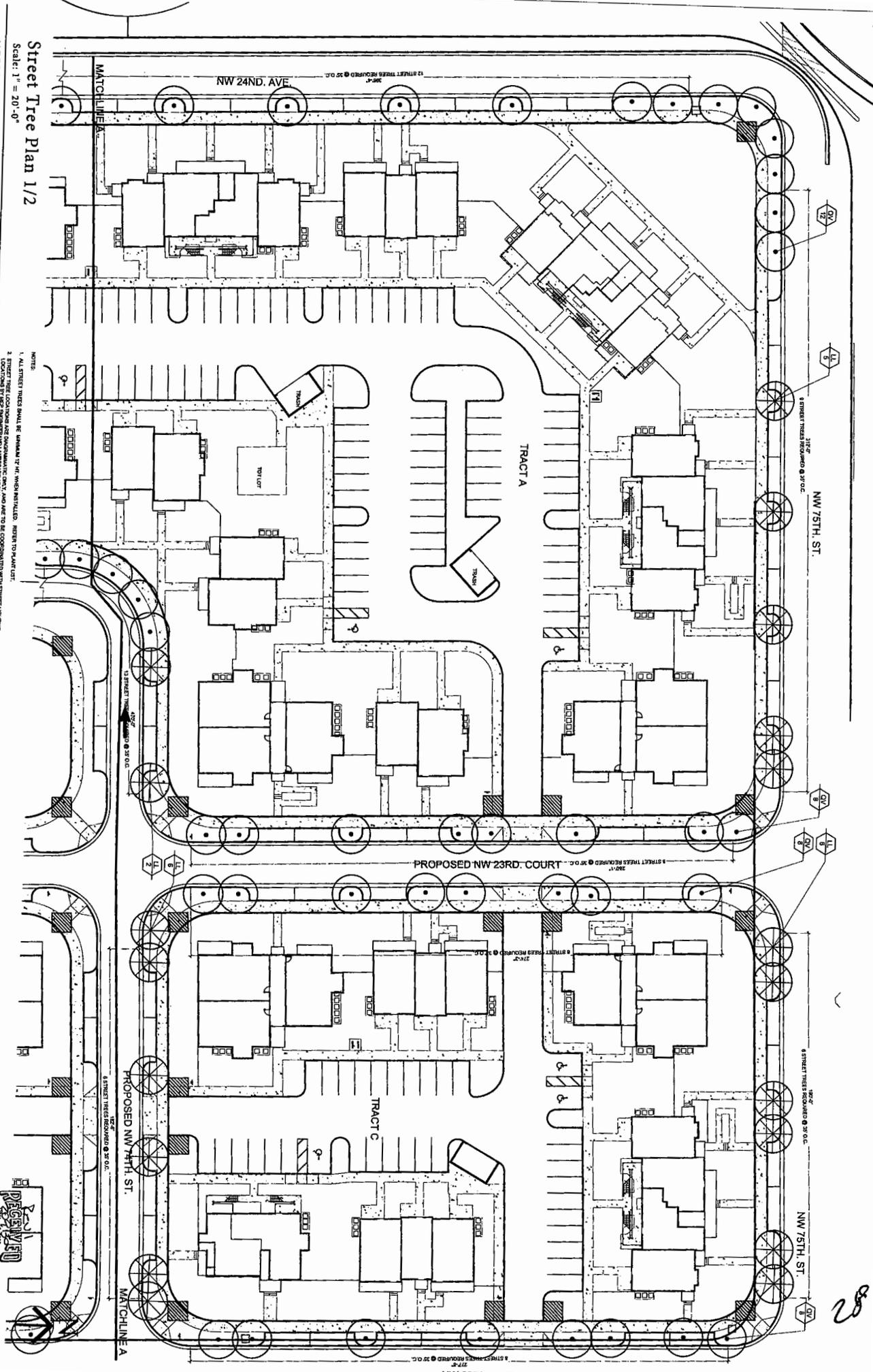
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EXISTING TREE LEGEND

Tree ID	Species	DBH (in)	Height (ft)	Condition	Disposition
101	FRAXINUS AMERICANA	12	25	GOOD	TO BE REMOVED
102	FRAXINUS AMERICANA	10	20	GOOD	TO BE REMOVED
103	FRAXINUS AMERICANA	8	18	GOOD	TO BE REMOVED
104	FRAXINUS AMERICANA	6	15	GOOD	TO BE REMOVED
105	FRAXINUS AMERICANA	4	12	GOOD	TO BE REMOVED
106	FRAXINUS AMERICANA	3	10	GOOD	TO BE REMOVED
107	FRAXINUS AMERICANA	2	8	GOOD	TO BE REMOVED
108	FRAXINUS AMERICANA	1	6	GOOD	TO BE REMOVED
109	FRAXINUS AMERICANA	1	6	GOOD	TO BE REMOVED
110	FRAXINUS AMERICANA	1	6	GOOD	TO BE REMOVED
111	FRAXINUS AMERICANA	1	6	GOOD	TO BE REMOVED
112	FRAXINUS AMERICANA	1	6	GOOD	TO BE REMOVED
113	FRAXINUS AMERICANA	1	6	GOOD	TO BE REMOVED
114	FRAXINUS AMERICANA	1	6	GOOD	TO BE REMOVED
115	FRAXINUS AMERICANA	1	6	GOOD	TO BE REMOVED
116	FRAXINUS AMERICANA	1	6	GOOD	TO BE REMOVED
117	FRAXINUS AMERICANA	1	6	GOOD	TO BE REMOVED
118	FRAXINUS AMERICANA	1	6	GOOD	TO BE REMOVED
119	FRAXINUS AMERICANA	1	6	GOOD	TO BE REMOVED
120	FRAXINUS AMERICANA	1	6	GOOD	TO BE REMOVED
121	FRAXINUS AMERICANA	1	6	GOOD	TO BE REMOVED
122	FRAXINUS AMERICANA	1	6	GOOD	TO BE REMOVED
123	FRAXINUS AMERICANA	1	6	GOOD	TO BE REMOVED
124	FRAXINUS AMERICANA	1	6	GOOD	TO BE REMOVED
125	FRAXINUS AMERICANA	1	6	GOOD	TO BE REMOVED
126	FRAXINUS AMERICANA	1	6	GOOD	TO BE REMOVED
127	FRAXINUS AMERICANA	1	6	GOOD	TO BE REMOVED
128	FRAXINUS AMERICANA	1	6	GOOD	TO BE REMOVED
129	FRAXINUS AMERICANA	1	6	GOOD	TO BE REMOVED
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197	FRAXINUS AMERICANA	1	6	GOOD	TO BE REMOVED
198	FRAXINUS AMERICANA	1	6	GOOD	TO BE REMOVED
199	FRAXINUS AMERICANA	1	6	GOOD	TO BE REMOVED
200	FRAXINUS AMERICANA	1	6	GOOD	TO BE REMOVED





Street Tree Plan 1/2
 Scale: 1" = 20'-0"

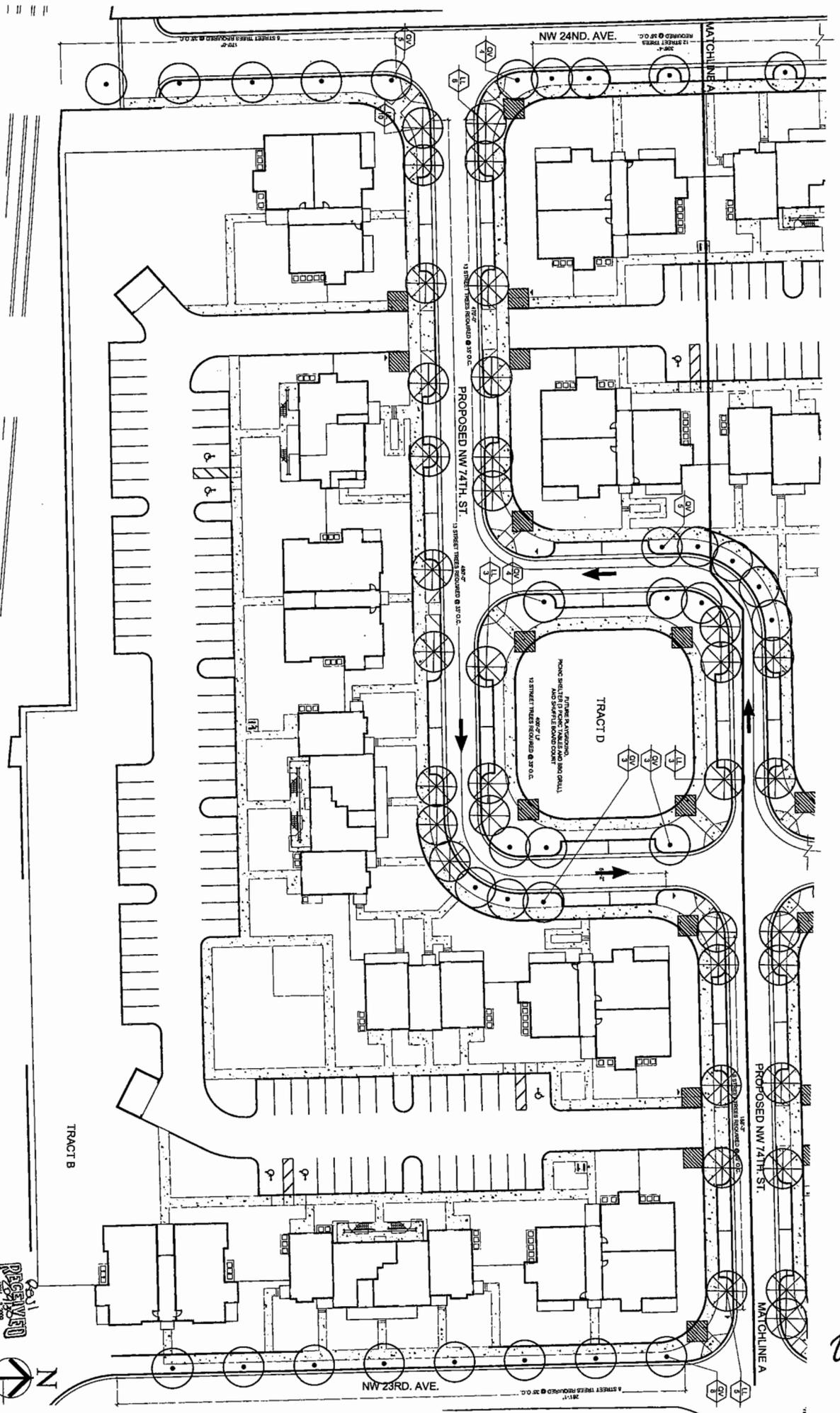
MCCORMACK BARON SALAZAR
 RELIANCE HOUSING FOUNDATION
 LAQUANTRA BONCI ASSOCIATES/BELI+NOU LANDSCAPE ARCHITECTURE, LLC

- NOTES:
1. ALL STREET TREES SHALL BE MINIMUM 12" IN. HEIGHT INSTALLED. REFER TO PLANT LIST.
 2. STREET TREE LOCATIONS AND SPACING SHALL BE AS SHOWN AND ARE TO BE COORDINATED WITH STREET LIGHTING.
 3. LOCATIONS BY THE SIDEWALKS AND DRIVEWAYS SHALL BE AS SHOWN.

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Street Tree Plan 2/2

Scale: 1" = 20'-0"

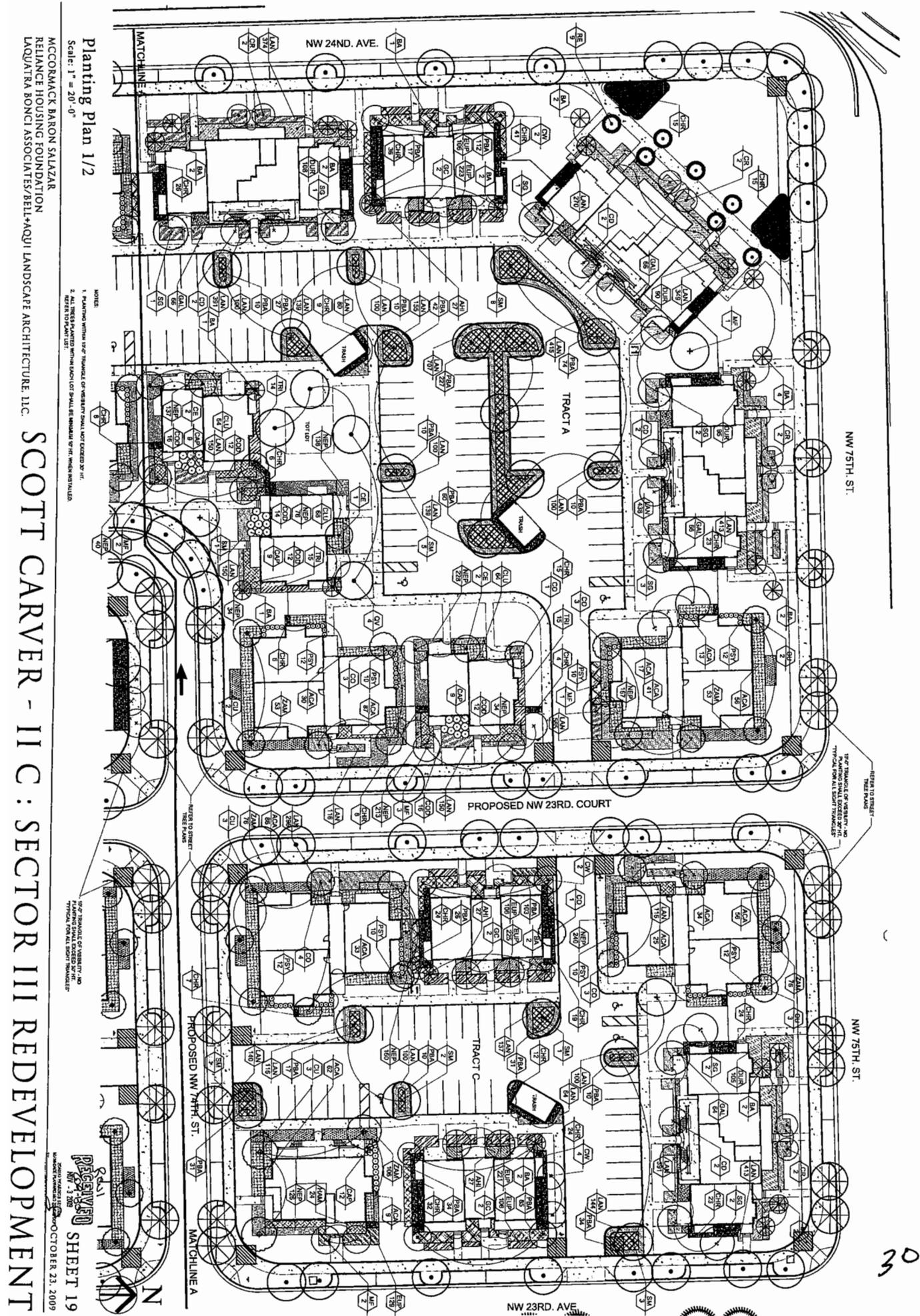
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 RELIANCE HOUSING FOUNDATION
 LAQUANITA BONCI ASSOCIATES/BELL+ACQUI LANDSCAPE ARCHITECTURE, LLC

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- NOTES:
1. ALL STREET TREES SHALL BE MINIMUM 12" IN DBH UNLESS NOTED. REFER TO PLAN SET.
 2. STREET TREE LOCATIONS ARE DISAPPEARANT ONLY AND ARE TO BE CORRELATED WITH STREET LIGHTING LOCATIONS BY A PROFESSIONAL LANDSCAPE ARCHITECT.

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Planting Plan 1/2
 Scale: 1" = 20'-0"

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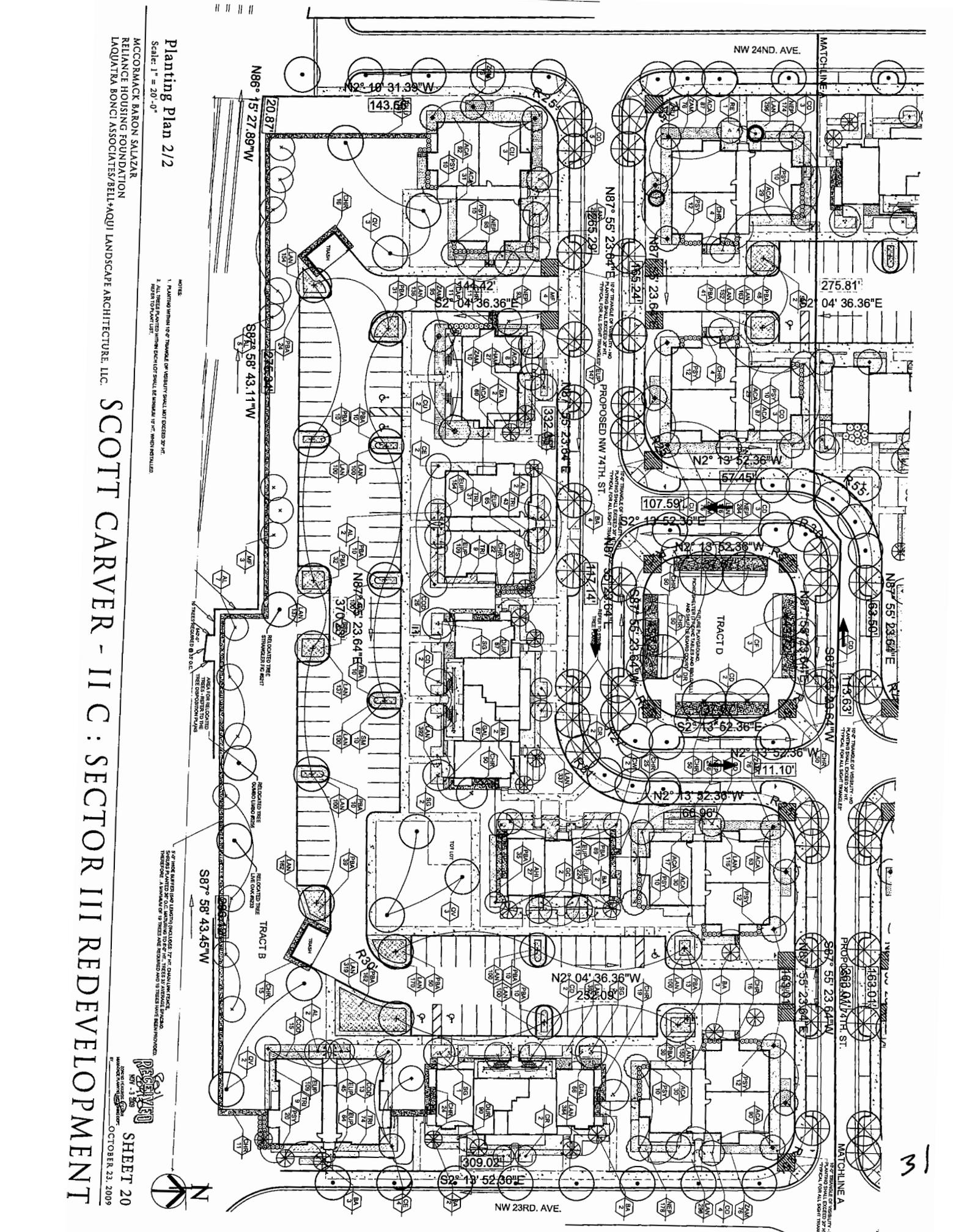
SCOTT CARVER - IIC : SECTOR III REDEVELOPMENT

- NOTES:
1. PLANTING WITHIN FOOTPRINTS OF RESIDENTS SHALL NOT EXCEED 30' FT.
 2. ALL TREE PLANTINGS WITHIN FOOTPRINT SHALL BE REMOVED BY THE OWNER INSTALLED AFTER THE PLANT LIST.

SEE TRACT B FOR GENERAL AND TYPICAL FOR ALL SIGHT TRIANGLE.

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Planting Plan 2/2
 Scale: 1" = 20'-0"

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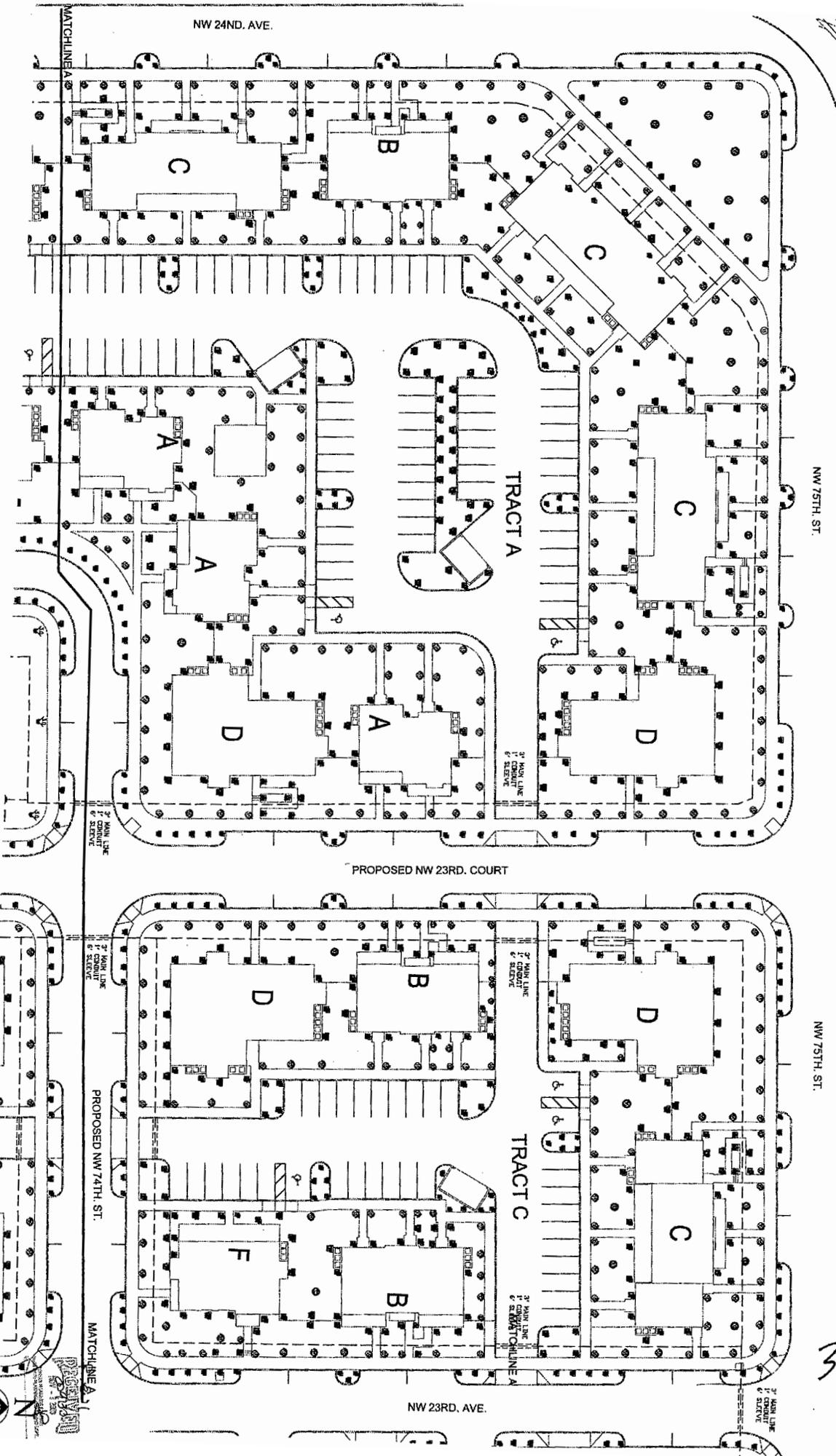
RESERVED SHEET 20
 OCTOBER 23, 2009

- NOTES
1. PLANTING WITHIN 10' OF BOUNDARY OF VISIBILITY SHALL NOT EXCEED 20' IN HEIGHT TO PLANT LIST.
 2. ALL TREES PLANTED WITHIN EACH LOT SHALL BE NUMBERED BY THE LANDSCAPE ARCHITECT AND REFERRED TO IN THE PLANT LIST.

3. PLANTING WITHIN 10' OF BOUNDARY OF VISIBILITY SHALL NOT EXCEED 20' IN HEIGHT TO PLANT LIST.



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Irrigation Plan 1/2

Scale: 1" = 20'-0"

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SHEET 23
 OCTOBER 21, 2009



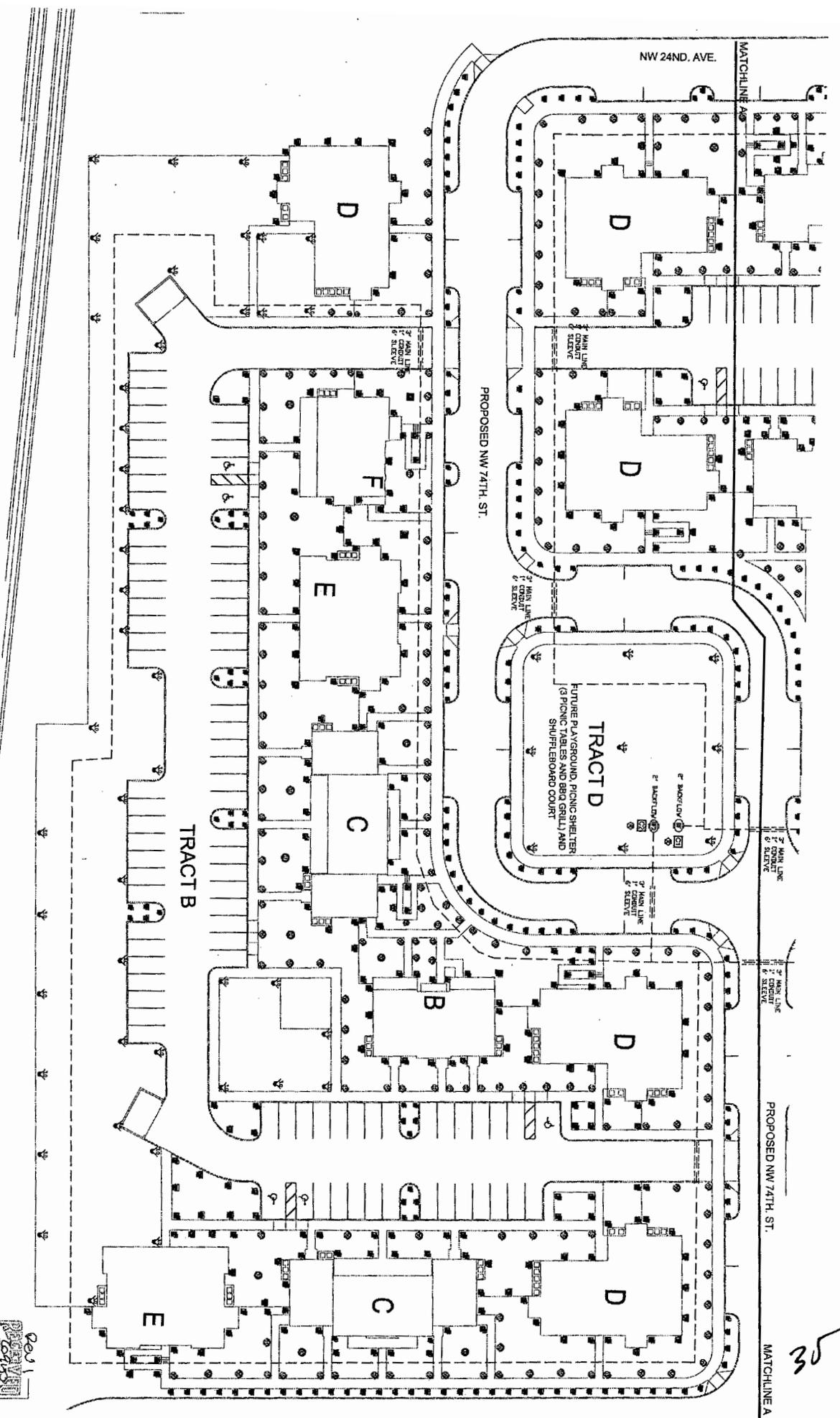
NW 75TH. ST.

NW 75TH. ST.

PROPOSED NW 23RD. COURT

NW 23RD. AVE.

34



Irrigation Plan 2/2

Scale: 1" = 20'-0"

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 RELIANCE HOUSING FOUNDATION
 LAQUATRA BONCI ASSOCIATES/BEHL+ACQU
 LANDSCAPE ARCHITECTURE, LLC.

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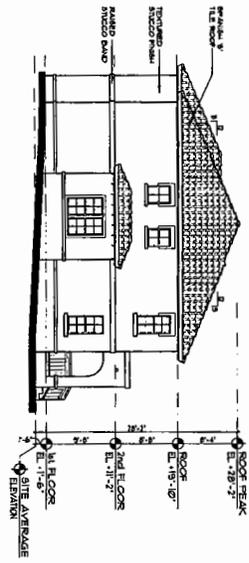
DATE: OCTOBER 23, 2009
 SHEET 24



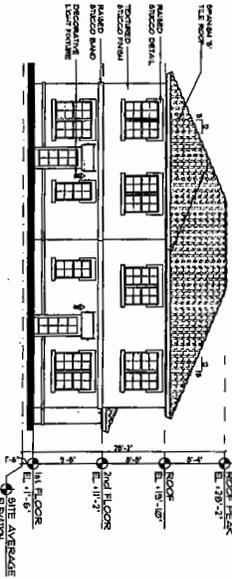
NW 23RD. AVE.

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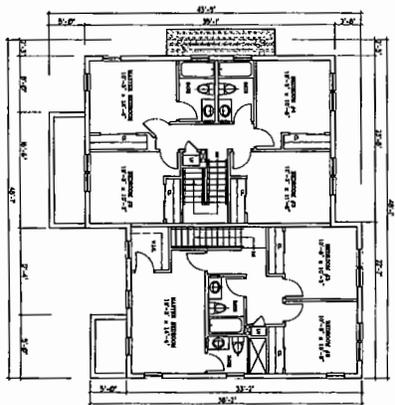
Building Name and Use Category / Building A (Two Stories)	Volume of Development (Square Feet)	Number of Units	Lot Area	Unit Total	Number of Units	Total
Unit 1	1,500 sq. ft.	4	1,250	4	4	4
Unit 2	1,500 sq. ft.	4	1,250	4	4	4
Unit 3	1,500 sq. ft.	4	1,250	4	4	4
Unit 4	1,500 sq. ft.	4	1,250	4	4	4
Unit 5	1,500 sq. ft.	4	1,250	4	4	4
Unit 6	1,500 sq. ft.	4	1,250	4	4	4
Unit 7	1,500 sq. ft.	4	1,250	4	4	4
Unit 8	1,500 sq. ft.	4	1,250	4	4	4
Unit 9	1,500 sq. ft.	4	1,250	4	4	4
Unit 10	1,500 sq. ft.	4	1,250	4	4	4
Unit 11	1,500 sq. ft.	4	1,250	4	4	4
Unit 12	1,500 sq. ft.	4	1,250	4	4	4
Unit 13	1,500 sq. ft.	4	1,250	4	4	4
Unit 14	1,500 sq. ft.	4	1,250	4	4	4
Unit 15	1,500 sq. ft.	4	1,250	4	4	4
Unit 16	1,500 sq. ft.	4	1,250	4	4	4
Unit 17	1,500 sq. ft.	4	1,250	4	4	4
Unit 18	1,500 sq. ft.	4	1,250	4	4	4
Unit 19	1,500 sq. ft.	4	1,250	4	4	4
Unit 20	1,500 sq. ft.	4	1,250	4	4	4
Unit 21	1,500 sq. ft.	4	1,250	4	4	4
Unit 22	1,500 sq. ft.	4	1,250	4	4	4
Unit 23	1,500 sq. ft.	4	1,250	4	4	4
Unit 24	1,500 sq. ft.	4	1,250	4	4	4
Unit 25	1,500 sq. ft.	4	1,250	4	4	4
Unit 26	1,500 sq. ft.	4	1,250	4	4	4
Unit 27	1,500 sq. ft.	4	1,250	4	4	4
Unit 28	1,500 sq. ft.	4	1,250	4	4	4
Unit 29	1,500 sq. ft.	4	1,250	4	4	4
Unit 30	1,500 sq. ft.	4	1,250	4	4	4
Unit 31	1,500 sq. ft.	4	1,250	4	4	4
Unit 32	1,500 sq. ft.	4	1,250	4	4	4
Unit 33	1,500 sq. ft.	4	1,250	4	4	4
Unit 34	1,500 sq. ft.	4	1,250	4	4	4
Unit 35	1,500 sq. ft.	4	1,250	4	4	4
Unit 36	1,500 sq. ft.	4	1,250	4	4	4
Unit 37	1,500 sq. ft.	4	1,250	4	4	4
Unit 38	1,500 sq. ft.	4	1,250	4	4	4
Unit 39	1,500 sq. ft.	4	1,250	4	4	4
Unit 40	1,500 sq. ft.	4	1,250	4	4	4
Unit 41	1,500 sq. ft.	4	1,250	4	4	4
Unit 42	1,500 sq. ft.	4	1,250	4	4	4
Unit 43	1,500 sq. ft.	4	1,250	4	4	4
Unit 44	1,500 sq. ft.	4	1,250	4	4	4
Unit 45	1,500 sq. ft.	4	1,250	4	4	4
Unit 46	1,500 sq. ft.	4	1,250	4	4	4
Unit 47	1,500 sq. ft.	4	1,250	4	4	4
Unit 48	1,500 sq. ft.	4	1,250	4	4	4
Unit 49	1,500 sq. ft.	4	1,250	4	4	4
Unit 50	1,500 sq. ft.	4	1,250	4	4	4
Unit 51	1,500 sq. ft.	4	1,250	4	4	4
Unit 52	1,500 sq. ft.	4	1,250	4	4	4
Unit 53	1,500 sq. ft.	4	1,250	4	4	4
Unit 54	1,500 sq. ft.	4	1,250	4	4	4
Unit 55	1,500 sq. ft.	4	1,250	4	4	4
Unit 56	1,500 sq. ft.	4	1,250	4	4	4
Unit 57	1,500 sq. ft.	4	1,250	4	4	4
Unit 58	1,500 sq. ft.	4	1,250	4	4	4
Unit 59	1,500 sq. ft.	4	1,250	4	4	4
Unit 60	1,500 sq. ft.	4	1,250	4	4	4
Unit 61	1,500 sq. ft.	4	1,250	4	4	4
Unit 62	1,500 sq. ft.	4	1,250	4	4	4
Unit 63	1,500 sq. ft.	4	1,250	4	4	4
Unit 64	1,500 sq. ft.	4	1,250	4	4	4
Unit 65	1,500 sq. ft.	4	1,250	4	4	4
Unit 66	1,500 sq. ft.	4	1,250	4	4	4
Unit 67	1,500 sq. ft.	4	1,250	4	4	4
Unit 68	1,500 sq. ft.	4	1,250	4	4	4
Unit 69	1,500 sq. ft.	4	1,250	4	4	4
Unit 70	1,500 sq. ft.	4	1,250	4	4	4
Unit 71	1,500 sq. ft.	4	1,250	4	4	4
Unit 72	1,500 sq. ft.	4	1,250	4	4	4
Unit 73	1,500 sq. ft.	4	1,250	4	4	4
Unit 74	1,500 sq. ft.	4	1,250	4	4	4
Unit 75	1,500 sq. ft.	4	1,250	4	4	4
Unit 76	1,500 sq. ft.	4	1,250	4	4	4
Unit 77	1,500 sq. ft.	4	1,250	4	4	4
Unit 78	1,500 sq. ft.	4	1,250	4	4	4
Unit 79	1,500 sq. ft.	4	1,250	4	4	4
Unit 80	1,500 sq. ft.	4	1,250	4	4	4
Unit 81	1,500 sq. ft.	4	1,250	4	4	4
Unit 82	1,500 sq. ft.	4	1,250	4	4	4
Unit 83	1,500 sq. ft.	4	1,250	4	4	4
Unit 84	1,500 sq. ft.	4	1,250	4	4	4
Unit 85	1,500 sq. ft.	4	1,250	4	4	4
Unit 86	1,500 sq. ft.	4	1,250	4	4	4
Unit 87	1,500 sq. ft.	4	1,250	4	4	4
Unit 88	1,500 sq. ft.	4	1,250	4	4	4
Unit 89	1,500 sq. ft.	4	1,250	4	4	4
Unit 90	1,500 sq. ft.	4	1,250	4	4	4
Unit 91	1,500 sq. ft.	4	1,250	4	4	4
Unit 92	1,500 sq. ft.	4	1,250	4	4	4
Unit 93	1,500 sq. ft.	4	1,250	4	4	4
Unit 94	1,500 sq. ft.	4	1,250	4	4	4
Unit 95	1,500 sq. ft.	4	1,250	4	4	4
Unit 96	1,500 sq. ft.	4	1,250	4	4	4
Unit 97	1,500 sq. ft.	4	1,250	4	4	4
Unit 98	1,500 sq. ft.	4	1,250	4	4	4
Unit 99	1,500 sq. ft.	4	1,250	4	4	4
Unit 100	1,500 sq. ft.	4	1,250	4	4	4



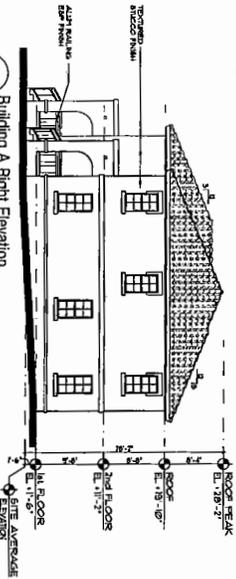
6 Building A Left Elevation
Scale: 1/8" = 1'-0"



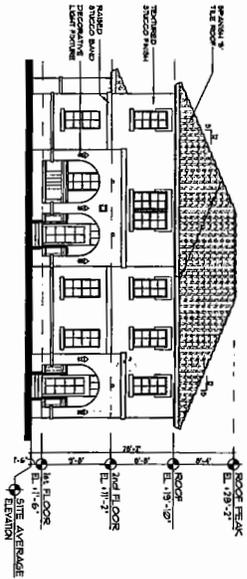
5 Building A Rear Elevation
Scale: 1/8" = 1'-0"



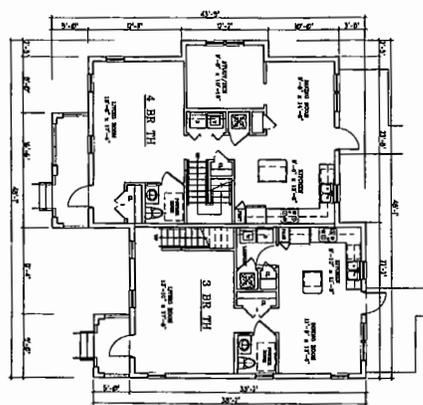
2 Building A Second Level Plan
Scale: 1/8" = 1'-0"



4 Building A Right Elevation
Scale: 1/8" = 1'-0"



3 Building A Front Elevation
Scale: 1/8" = 1'-0"



1 Building A Ground Level Plan
Scale: 1/8" = 1'-0"

PROPOSED BUILDING CONSTRUCTION ASSEMBLIES
PREF. ENGINEERED ROOF ASSEMBLY Wood trusses min. bed height 14"
FLOOR SYSTEM Concrete slab
FOUNDATION SYSTEM to be based upon soils report recommendations
EXTERIOR WALLS & Concrete Masonry Units with wood facing channels and 1/2" GPM bed (typical)
INTERIOR DWELLING SEPARATION WALLS 2 Hour Rated
INTERIOR WALLS AND PARTITIONS Metal studs construction with GPM bed, both sides
All dimensions (from face CMU and/or framing) are based on the above assumptions.

Office: Torrey Pines and Fremont, Inc. | 1300 Spring Street, 4th Floor | Silver Spring, Maryland 20910 301.484.4500
Floor Plans and Elevations : Building A

MCCORMACK BARON SALAZAR
RELIANCE HOUSING FOUNDATION
TORI GALLAS AND PARTNERS
COHEN FREEDMAN ENCINOSA & ASSOCIATES

SCOTT / CARVER - II C : SECTOR III REDEVELOPMENT

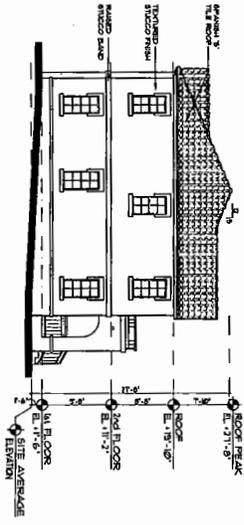
SHEET 7

August 21, 2009

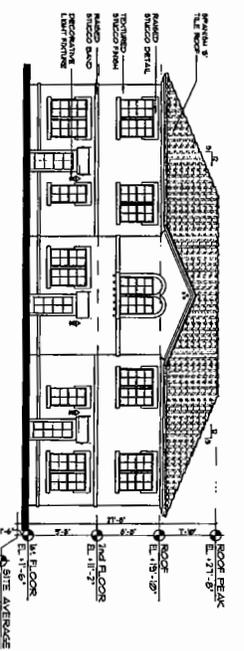


37

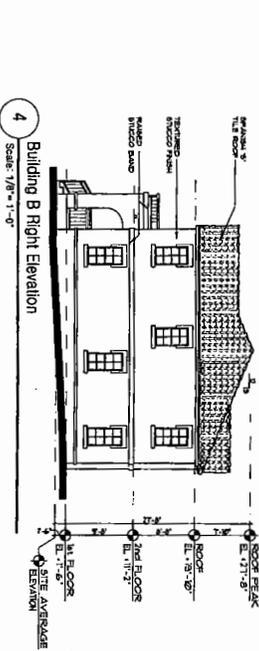
Lot Area	Number of Units	Maximum Density	Maximum Height	Maximum Floor Area	Maximum Volume
10,000 sq. ft.	1	1.0	35'	10,000 sq. ft.	10,000 cu. ft.
20,000 sq. ft.	2	2.0	35'	20,000 sq. ft.	20,000 cu. ft.
30,000 sq. ft.	3	3.0	35'	30,000 sq. ft.	30,000 cu. ft.
40,000 sq. ft.	4	4.0	35'	40,000 sq. ft.	40,000 cu. ft.
50,000 sq. ft.	5	5.0	35'	50,000 sq. ft.	50,000 cu. ft.
60,000 sq. ft.	6	6.0	35'	60,000 sq. ft.	60,000 cu. ft.
70,000 sq. ft.	7	7.0	35'	70,000 sq. ft.	70,000 cu. ft.
80,000 sq. ft.	8	8.0	35'	80,000 sq. ft.	80,000 cu. ft.
90,000 sq. ft.	9	9.0	35'	90,000 sq. ft.	90,000 cu. ft.
100,000 sq. ft.	10	10.0	35'	100,000 sq. ft.	100,000 cu. ft.



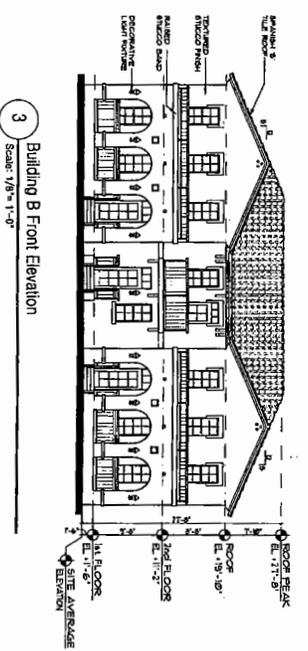
6 Building B Left Elevation
Scale: 1/8" = 1'-0"



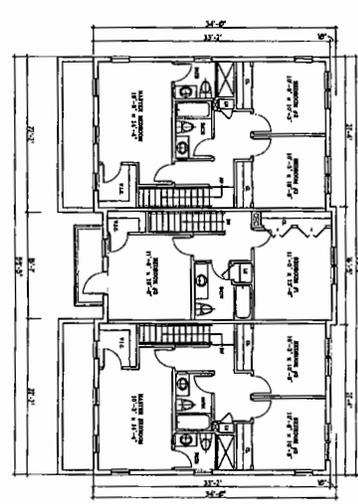
5 Building B Rear Elevation
Scale: 1/8" = 1'-0"



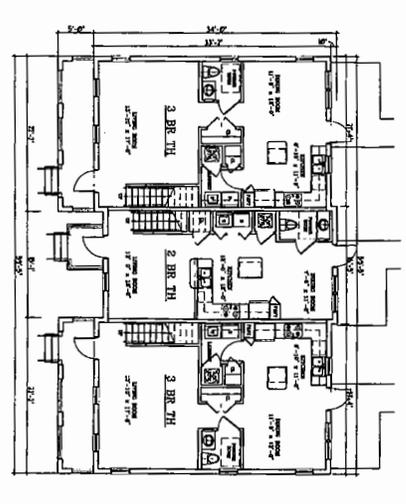
4 Building B Right Elevation
Scale: 1/8" = 1'-0"



3 Building B Front Elevation
Scale: 1/8" = 1'-0"



2 Building B Second Level Plan
Scale: 1/8" = 1'-0"



1 Building B Ground Level Plan
Scale: 1/8" = 1'-0"

PROPOSED BUILDING CONSTRUCTION ASSEMBLIES

PRE-ENGINEERED ROOF ASSEMBLY
Wood trusses min. head height: 14'

FLOOR SYSTEM
Concrete slab

FOUNDATION SYSTEM to be based upon soils report recommendations

EXTERIOR WALLS & CONCRETE MASONRY 12in. with wood framing (minimum 1/2" GFI, 5k, 5' span)

INTERIOR DWELLING SEPARATION WALLS
2 Hour Rated

INTERIOR WALLS AND PARTITIONS
Metal studs construction with GFI 1/2" both sides

All dimensions (face to face CMU and/or framing) are based on the above assumptions.

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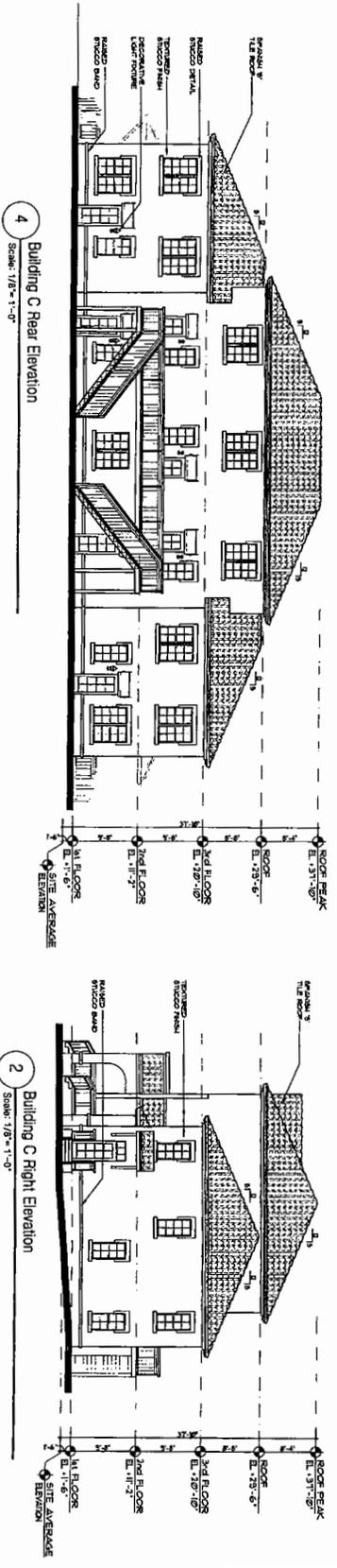
Floor Plans and Elevations : Building B

MCCORMACK BARON SALAZAR
RELIANCE HOUSING FOUNDATION
TORI GALLES AND PARTNERS
COHEN FRIEDMAN ENCINOSA & ASSOCIATES

SCOTT / CARVER - II C : SECTOR III REDEVELOPMENT



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<p>PROPOSED BUILDING CONSTRUCTION ASSEMBLIES</p> <p>PIE - ENGINEERED ROOF ASSEMBLY Wood truss min. head height 14"</p> <p>FLOOR SYSTEM Concrete slab</p> <p>FOUNDATION SYSTEM To be based upon soil report recommendations</p> <p>EXTERIOR WALLS 8" Concrete Masonry Unit with wood furring channels and 1/2" gyp. bd. (typical)</p> <p>INTERIOR DWELLING SEPARATION WALLS 2" Thin Rigid</p> <p>INTERIOR WALLS AND PARTITIONS Metal stud construction with gyp. bd. both sides</p> <p>All dimensions (face to face, CMU and/or framing) are based on the above assumptions.</p>
--

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Floor Plans and Elevations : Building C

MCCORMACK BARON SALAZAR
RELANCE HOUSING FOUNDATION
TORTI GALASS AND PARTNERS
COHEN FREEDMAN ENCINOSA & ASSOCIATES

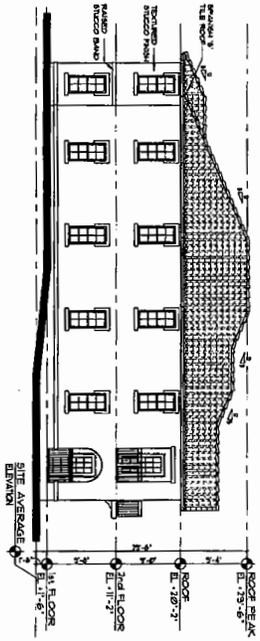
SCOTT / CARVER - II C : SECTOR III REDEVELOPMENT

SHEET 10

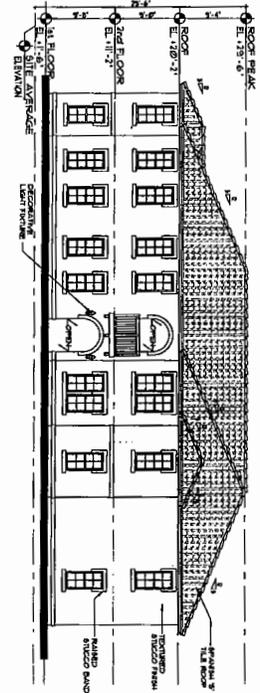
August 21, 2009



Building Plans and Unit Summary: Building D (Two Stories)				Gross Building SF					
Unit Name	Quantity of Units	Description of Units	Building Program SF	Net Unit SF	Unit	Perch	Balance	Carinder	Total
2 Bed/acc	1	2 Bedrooms - 1 Bath	888	1056	90				276
2 Bed/acc	1	2 Bedrooms - 1 Bath	888	1056	128				276
2 Bed/Cham	1	2 Bedrooms - 1 Bath	888	1056	128				276
2 Bed/Cham	1	2 Bedrooms - 1 Bath	888	1056	128				276
2 Bed/Cham	1	2 Bedrooms - 1 Bath	888	1056	128				276
Blk. Totals	6		5,328	6,336	218	288	552	7,304	



6 Building D Left Elevation
Scale: 1/8" = 1'-0"



5 Building D Rear Elevation
Scale: 1/8" = 1'-0"



4 Building D Right Elevation
Scale: 1/8" = 1'-0"

PROPOSED BUILDING CONSTRUCTION ASSEMBLIES

PRE-ENGINEERED ROOF ASSEMBLY
Wood trusses min. head height 1'-6"

FLOOR SYSTEM
Concrete slab

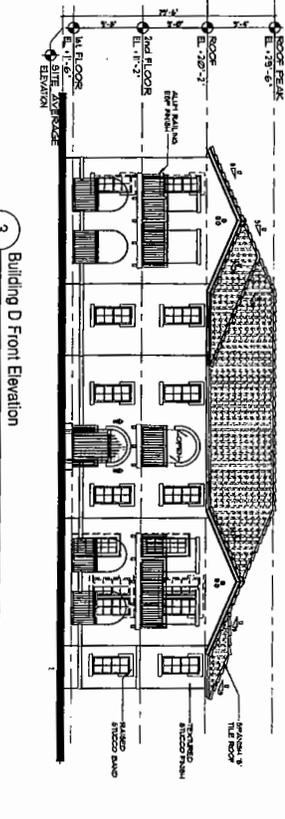
FOUNDATION SYSTEM to be based upon soils report recommendations

EXTERIOR WALLS
8" Concrete Masonry Unit with wood furring channels and 1/2" GYP. bd. (typical)

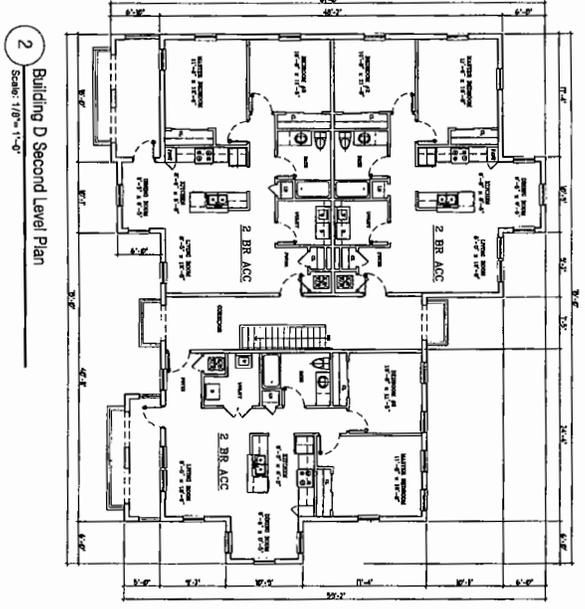
INTERIOR DWELLING SEPARATION WALLS
2 Hour Rated

INTERIOR WALLS AND PARTITIONS
Metal stud construction with GYP. bd. both sides

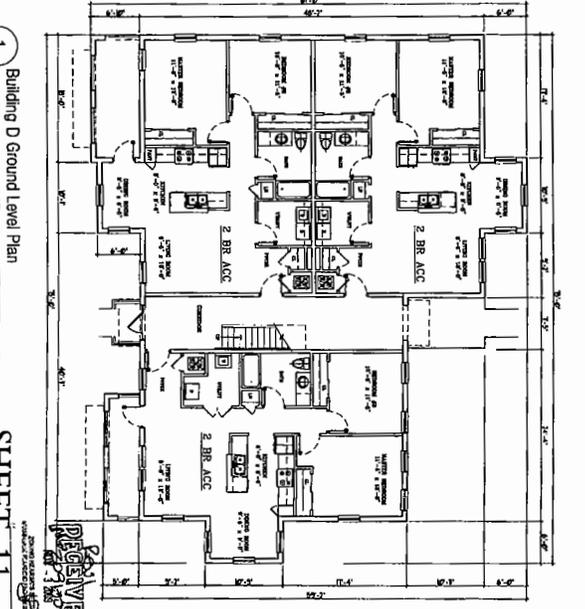
All dimensions (face to face CMU and/or framing) are based on the above assumptions.



3 Building D Front Elevation
Scale: 1/8" = 1'-0"



2 Building D Second Level Plan
Scale: 1/8" = 1'-0"



1 Building D Ground Level Plan
Scale: 1/8" = 1'-0"

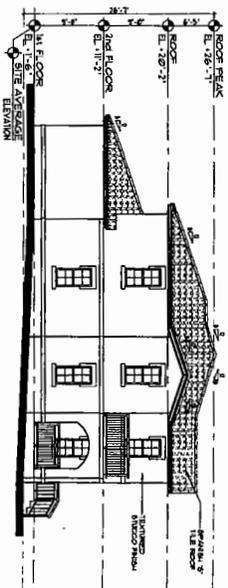
© 2009 Fort Collins and Preston, Inc. | 1800 Spring Street, 4th floor, Suite 300, Greeley, CO 80639 | 970.333.4400

Floor Plans and Elevations : Building D

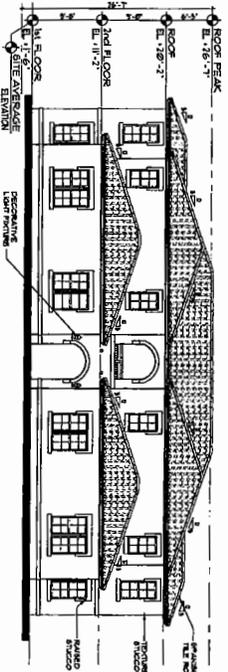
MCCORMACK BARON SALAZAR
RELANCE HOUSING FOUNDATION
TORI GALLAS AND PARTNERS
COHEN FREDMAN ENCINOSA & ASSOCIATES

SCOTT / CARVER - II C : SECTOR III REDEVELOPMENT

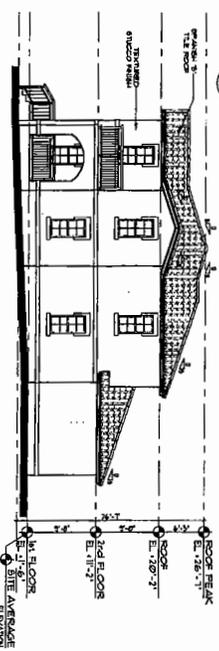
Unit Name	Quantity of Units	Description of Units	Building Footprint SF	Net Unit SF	Unit	Perch	Balcony	Corridor	Total
3 Bed Garden - R	1	3 Bedrooms - 2 Baths		1,224	1,460	38			2,444
3 Bed Garden - R	1	3 Bedrooms - 2 Baths		1,224	1,460	38			2,444
2 Bed Garden - R	1	2 Bedrooms - 1 Bath	3,036	908	1,126			38	2,444
2 Bed Garden - R	1	2 Bedrooms - 1 Bath		908	1,126			38	2,444
Build Totals	4			4,264	5,172	116	116	488	5,882



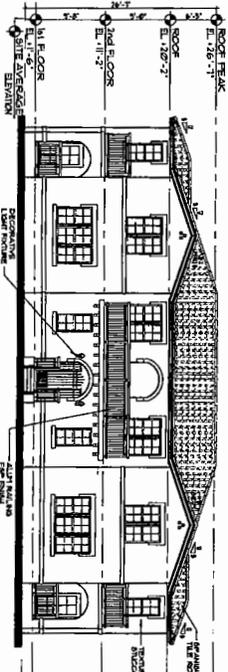
6 Building E Left Elevation
Scale: 1/8" = 1'-0"



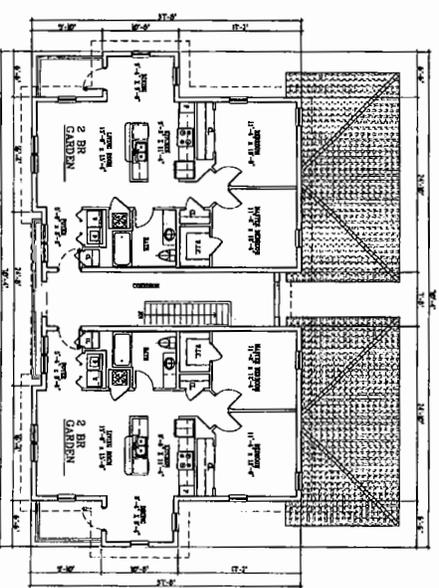
5 Building E Rear Elevation
Scale: 1/8" = 1'-0"



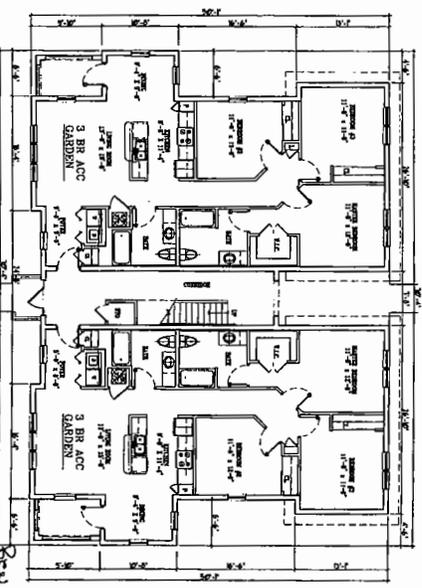
4 Building E Right Elevation
Scale: 1/8" = 1'-0"



3 Building E Front Elevation
Scale: 1/8" = 1'-0"



2 Building E Second Level Plan
Scale: 1/8" = 1'-0"



1 Building E Ground Level Plan
Scale: 1/8" = 1'-0"

PROPOSED BUILDING CONSTRUCTION ASSEMBLIES

PRE-ENGINEERED ROOF ASSEMBLY
Wood trusses min. head height: 14"
FLOOR SYSTEM
Concrete slab

FOUNDATION SYSTEM to be based upon soils report recommendations

EXTERIOR WALLS
Concrete Masonry Unit with wood laming channels and 1/2" GFI Ins. (typical)

INTERIOR DWELLING SEPARATION WALLS
2 1/2" Insul. Board

INTERIOR WALLS AND PARTITIONS
Metal stud construction with GFI Ins. and/or framing) are based on the above assumptions.

All dimensions (Face to Face, CMU and/or framing) are based on the above assumptions.

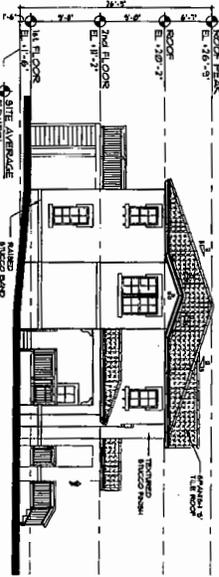
Floor Plans and Elevations : Building E

MCCORMACK BARON SALAZAR
RELIANCE HOUSING FOUNDATION
TORI GALLAS AND PARTNERS
COHEN FRIEDMAN ENCINOSA & ASSOCIATES

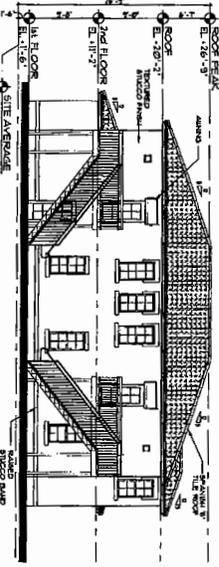
SCOTT / CARVER - II C : SECTOR III REDEVELOPMENT

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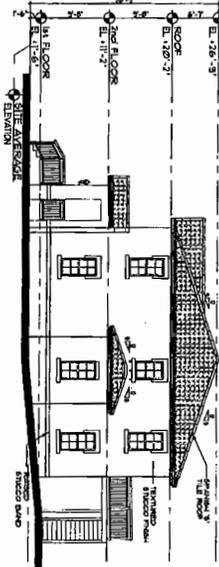
Building Data and Unit Summary: Building F (Two Stories)						
Unit Name	Quantity of Units	Description of Units	Building Footprint SF	Net Unit SF	Unit	Gross Building SF
4 Bed Acc	1	4 Bedrooms - 2 Baths	1,440	1,566	32	1,472
1 Bed Garden	1	1 Bedroom - 1 Bath	748	888	42	790
1 Bed Garden	1	1 Bedroom - 1 Bath	882	966	32	914
Baby Totals	3		3,070	3,430	106	3,536
						3,672



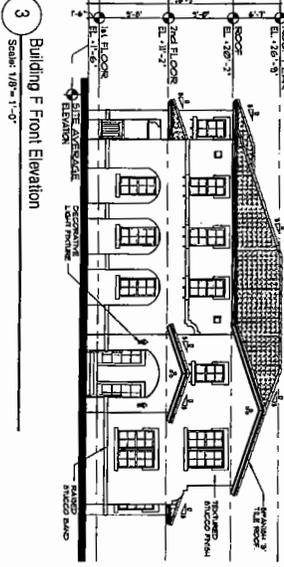
6 Building F Left Elevation
Scale: 1/8" = 1'-0"



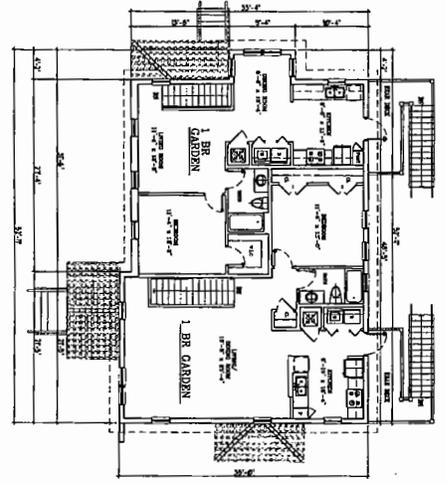
5 Building F Rear Elevation
Scale: 1/8" = 1'-0"



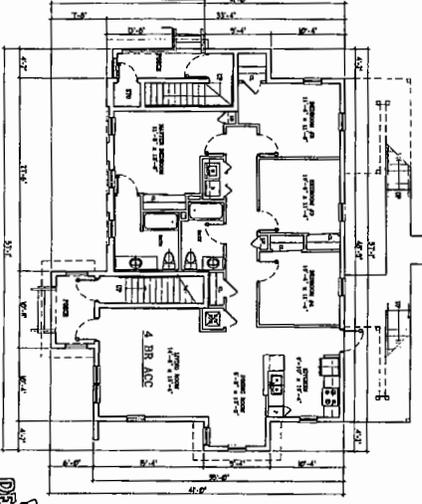
4 Building F Right Elevation
Scale: 1/8" = 1'-0"



3 Building F Front Elevation
Scale: 1/8" = 1'-0"



2 Building F Second Level Plan
Scale: 1/8" = 1'-0"



1 Building F Ground Level Plan
Scale: 1/8" = 1'-0"

PROPOSED BUILDING CONSTRUCTION ASSEMBLIES

PRE-ENGINEERED ROOF ASSEMBLY
Wood trusses min. head height: 14"

FLOOR SYSTEM
Concrete slab

FOUNDATION SYSTEM to be based upon soils report recommendations

EXTERIOR WALLS
8" Concrete Masonry Unit with wood framing channels and 1/2" gyp. hd. (typical)

ANTERIOR DWELLING SEPARATION WALLS
2 Hour Rated

ANTERIOR WALLS AND PARTITIONS
Metal studs construction with gyp. hd. both sides

All dimensions (face to face CMU and/or framing) are based on the above assumptions.

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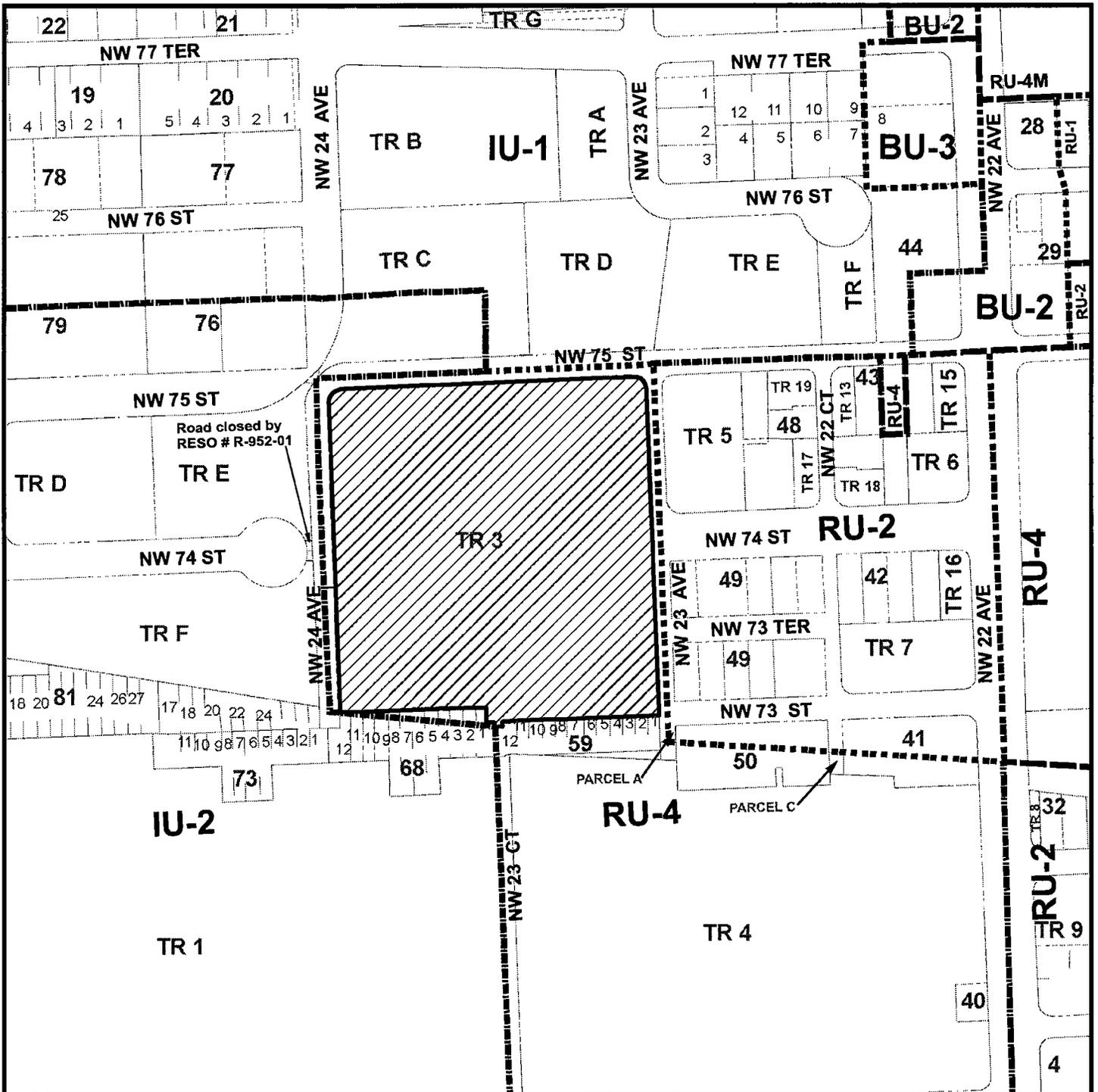
Floor Plans and Elevations : Building F

MCCORMACK BARON SALAZAR
RELIANCE HOUSING FOUNDATION
TORII GALIAS AND PARTNERS
COHEN FREEDMAN ENCINOSA & ASSOCIATES

SCOTT / CARVER - II C : SECTOR III REDEVELOPMENT



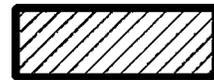
43



**MIAMI-DADE COUNTY
HEARING MAP**

Process Number
09-130

Section: 10 Township: 53 Range: 41
 Applicant: MIAMI DADE PUBLIC HOUSIG AGENCY
 Zoning Board: C08
 Commission District: 02
 Drafter ID: KEELING
 Scale: NTS
 ----- Zoning

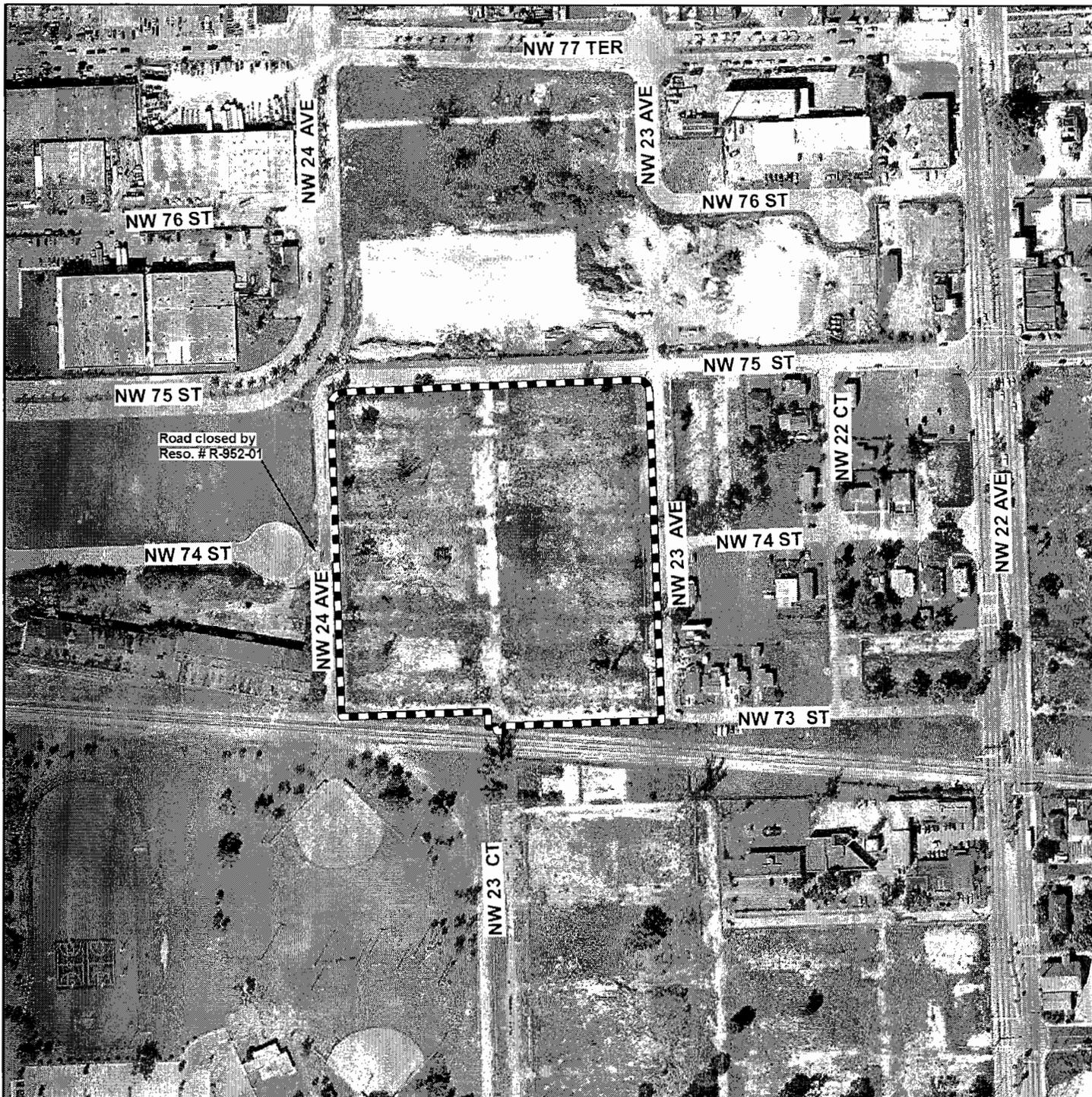


SUBJECT PROPERTY



SKETCH CREATED ON: 09/14/09

REVISION	DATE	BY
Show road closure	10/08/09	KWS
		94



MIAMI-DADE COUNTY
AERIAL YEAR 2009

Process Number
09-130

Section: 10 Township: 53 Range: 41
 Applicant: MIAMI DADE PUBLIC HOUSIG AGENCY
 Zoning Board: C08
 Commission District: 02
 Drafter ID: KEELING
 Scale: NTS
 ----- Zoning



SUBJECT PROPERTY



SKETCH CREATED ON: 09/14/09

REVISION	DATE	BY
Show road closure	10/08/09	KWS