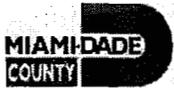


# FINAL AGENDA

11-23-2011 Version # 2



COMMUNITY ZONING APPEALS BOARD 8  
HENRY REEVES ELEMENTARY SCHOOL  
2005 NW 111 Street, Miami  
Thursday, December 1, 2011 at 7:00 p.m.

## PREVIOUSLY DEFERRED

A. 11-12-CZ8-1 JENE'S RETIREMENT INVESTORS, LTD 10-175 20-52-42 N

## CURRENT

1. 11-12-CZ8-1 WRC PROPERTIES, INC 08-96 51-53-40 N  
2. 11-12-CZ8-2 HABITAT FOR HUMANITY OF GREATER MIAMI INC. 10-169 16-53-41 N  
3. 11-12-CZ8-3 HABITAT FOR HUMANITY OF GREATER MIAMI, INC. 10-173 11-53-41 N  
4. 11-12-CZ8-4 JUAN DE DIOS PROPERTY INC. 10-192 28-53-41 N  
5. 11-12-CZ8-5 HABITAT FOR HUMANITY OF GREATER MIAMI INC. 11-4 16-53-41 N  
6. 11-12-CZ8-6 QUISQUELLA RESTAURANT INC. 11-81 03-53-41 N



# Official Zoning Agenda

## COMMUNITY ZONING APPEALS BOARD

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### COMMUNITY ZONING APPEALS BOARD - AREA 8

MEETING OF THURSDAY, DECEMBER 1, 2011

HENRY REEVES ELEMENTARY SCHOOL

2005 NW 111 STREET, MIAMI, FLORIDA

NOTICE: THE FOLLOWING HEARINGS ARE SCHEDULED FOR 7:00 P.M., AND

ALL PARTIES SHOULD BE PRESENT AT THAT TIME

ANY PERSON MAKING IMPERTINENT OR SLANDEROUS REMARKS OR WHO BECOMES BOISTEROUS WHILE ADDRESSING THE COMMUNITY ZONING APPEALS BOARD SHALL BE BARRED FROM FURTHER AUDIENCE BEFORE THE COMMUNITY ZONING APPEALS BOARD BY THE PRESIDING OFFICER, UNLESS PERMISSION TO CONTINUE OR AGAIN ADDRESS THE BOARD BE GRANTED BY THE MAJORITY VOTE OF THE BOARD MEMBERS PRESENT.

NO CLAPPING, APPLAUDING, HECKLING OR VERBAL OUTBURSTS IN SUPPORT OR OPPOSITION TO A SPEAKER OR HIS OR HER REMARKS SHALL BE PERMITTED. NO SIGNS OR PLACARDS SHALL BE ALLOWED IN THE MEETING ROOM. PERSONS EXITING THE MEETING ROOM SHALL DO SO QUIETLY.

THE USE OF CELL PHONES IN THE MEETING ROOM IS NOT PERMITTED. RINGERS MUST BE SET TO SILENT MODE TO AVOID DISRUPTION OF PROCEEDINGS. INDIVIDUALS, INCLUDING THOSE ON THE DAIS, MUST EXIT THE MEETING ROOM TO ANSWER INCOMING CELL PHONE CALLS. COUNTY EMPLOYEES MAY NOT USE CELL PHONE CAMERAS OR TAKE DIGITAL PICTURES FROM THEIR POSITIONS ON THE DAIS.

THE NUMBER OF FILED PROTESTS AND WAIVERS ON EACH APPLICATION WILL BE READ INTO THE RECORD AT THE TIME OF HEARING AS EACH APPLICATION IS READ.

THOSE ITEMS NOT HEARD PRIOR TO THE ENDING TIME FOR THIS MEETING, WILL BE DEFERRED TO THE NEXT AVAILABLE ZONING HEARING MEETING DATE FOR THIS BOARD.

SWEARING IN OF WITNESSES

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**A. JENE'S RETIREMENT INVESTORS, LTD (11-10-CZ8-1/10-175)**

**20-52-42  
Area 8/District 02**

- (1) UNUSUAL USE to permit an Adult Congregate Living Facility.
- (2) MODIFICATION of Condition #2 of Resolution 4-ZAB-216-84, passed and adopted by the Zoning Appeals Board, reading as follows:

FROM: "2. That the plan be substantially in accordance with that submitted for the hearing entitled 'Colony House Apt. Building,' as prepared by Luis Felipe Lacau, dated received 4-30-84, and consisting of five pages."

TO: "2. That the plan be substantially in accordance with that submitted for the hearing entitled 'Colony House Apt. Building Existing Layout to Existing 2 Story Building,' as prepared by Robert A. Guzman, P.E. consisting of 6 sheets dated stamped received 03/09/11."

- (3) Deletion of Conditions #3, #4, #6 and #9 of Resolution 4-ZAB-216-84, passed and adopted by the Zoning Appeals Board, reading as follows:

"3. That the existing door into the living room to be converted into a bedroom, be replaced with a solid block wall, with or without a window, prior to the issuance of a certificate of use and occupancy."

"4. That a revised plan be submitted to the Planning Department for the proposed two common area rooms for the residents, prior to the issuance of a building permit."

"6. That a solid partition be provided in each unit between the dining area and living room, with a door, and to be inspected by the Building and Zoning Department prior to the issuance of a certificate of use and occupancy."

"9. That the use be limited to a maximum of 50 elderly residents."

The purpose of Requests #2 and #3 is to allow the applicant to submit a new site plan showing an Adult Congregate Living Facility in lieu of the previously approved home for the aged, delete the restriction tying the site to elderly residence only and remove interior remodeling restrictions.

- (4) NON-USE-VARIANCE to permit the Adult Congregate Living Facility setback 27' (50' required) from the rear (west) property line, setback 25' (50' required) from the rear (north) property line.
- (5) NON-USE-VARIANCE to permit a Floor Area Ratio (F.A.R.) of .56 (.51 maximum permitted).
- (6) NON-USE-VARIANCE to permit parking backing-out into the right-of-way (not permitted).
- (7) NON-USE-VARIANCE to permit a 2-way drive with a width of 19' (20' is required).
- (8) NON-USE-VARIANCE to permit a 0' wide landscape buffer abutting the right-of-way (7' wide required).

(9) NON-USE-VARIANCE to permit a lawn area of 138.9% (20% maximum permitted).

The aforementioned plans are on file and may be examined in the Department of Permitting, Environment and Regulatory Affairs. Plans may be modified at public hearings.

LOCATION: 1595 N.E. 145 Street, Miami-Dade County, Florida.

SIZE OF PROPERTY: 137.42' X 162'

Department of Permitting, Environment and  
Regulatory Affairs  
Recommendation:

Approval with conditions.

Protests: 0

Waivers: 0

APPROVED: \_\_\_\_\_

DENIED WITH PREJUDICE: \_\_\_\_\_

DENIED WITHOUT PREJUDICE: \_\_\_\_\_

DEFERRED: \_\_\_\_\_

Deferred from: 10/04/2011

**1. WRC PROPERTIES, INC. (11-12-CZ8-1/08-096)**

**51-54-40  
Area 8/District 06**

- (1) NON-USE VARIANCE to permit a hotel setback a minimum of 56' (69.76' required) from the side street (west) property line.
- (2) NON-USE VARIANCE to permit an office building setback 34' (47.1' required) from the side street (east) property line.
- (3) NON-USE VARIANCE to waive the zoning regulations limiting the building height to be no greater than the width of the widest street on which it abuts; to permit buildings with a height varying from 134'.8" to 150'.6" abutting a 100' wide street.

Plans are on file and may be examined in the Department of Permitting, Environment and Regulatory Affairs entitled "Waterford Core," as prepared by TVS Florida, Inc., Architecture. Sheets A-100.1, A-101.1, A-102.1, A-103.1 & A-104.1 dated stamped received 6/30/11. Sheets 203, 204, 208, 209, 213, 214, 305, 402, 504, and 605 dated stamped received 7/14/11 and the remaining 31 sheets dated stamped received 5/31/11 and plans entitled "Renaissance Hotel" as prepared by Cubellis Architect consisting of 8 sheets, dated stamped received 5/31/11 for a total of 54 sheets. Plans may be modified at public hearing.

LOCATION: Lying north of N.W. 7 Street, between N.W. 62 Avenue and N.W. 65 Avenue, Miami-Dade County, Florida.

SIZE OF PROPERTY: 21.71 Acres

Department of Permitting, Environment and  
Regulatory Affairs  
Recommendation:

Approval with conditions.

Protests: 0

Waivers: 0

APPROVED: \_\_\_\_\_

DENIED WITH PREJUDICE: \_\_\_\_\_

DENIED WITHOUT PREJUDICE: \_\_\_\_\_

DEFERRED: \_\_\_\_\_

**2. HABITAT FOR HUMANITY OF (11-12-CZ8-2/10-169)  
GREATER MIAMI, INC.**

**16-53-41  
Area 8/District 02**

- (1) NON-USE VARIANCE to permit a parcel of land with a lot frontage of 40' (75' required) and a lot area of 3,400 sq. ft. (7,500 sq. ft. required).
- (2) NON-USE VARIANCE to permit a single-family residence setback 10'2" (25' required) from the rear (south) property line and setback 6' 10" (15' required) from the side street (east) property line.
- (3) NON-USE VARIANCE a lot coverage of 38% (35% permitted).

Plans are on file and may be examined in the Department of Permitting, Environment and Regulatory Affairs entitled "Habitat for Humanity," as prepared by Thomas & Calzadilla, Sheet A-1 dated stamped received 3/2/11 and Sheet A-2 dated stamped received 10/5/10 for a total of 2 sheets. Plans may be modified at public hearing.

LOCATION: The Southwest corner of NW 69 Street and NW 31 Avenue,  
Miami-Dade County, Florida.

SIZE OF PROPERTY: 40'X 85'

Department of Permitting, Environment and  
Regulatory Affairs  
Recommendation:

Approval with conditions.

Protests: \_\_\_\_\_ 0 \_\_\_\_\_

Waivers: \_\_\_\_\_ 0 \_\_\_\_\_

APPROVED: \_\_\_\_\_

DENIED WITH PREJUDICE: \_\_\_\_\_

DENIED WITHOUT PREJUDICE: \_\_\_\_\_

DEFERRED: \_\_\_\_\_

**3. HABITAT FOR HUMANITY OF (11-12-CZ8-3/10-173)  
GREATER MIAMI, INC.**

**11-53-41  
Area 8/District 02**

- (1) NON-USE VARIANCE to permit a parcel of land with a lot frontage of 47' (75' required) and a lot area of 3,584 sq. ft. (7,500 sq. ft. required).
- (2) NON-USE VARIANCE to permit a single-family residence setback 8'2" (25' required) from the rear (west) property line.
- (3) NON-USE VARIANCE to permit a lot coverage of 36.7% (35% permitted).

Plans are on file and may be examined in the Department of Permitting, Environment and Regulatory Affairs entitled "Habitat for Humanity," as prepared by Thomas & Calzadilla, Sheet A-1 dated stamped received 1/11/11 and Sheet A-2 dated stamped received 10/5/10 for a total of two sheets. Plans may be modified at public hearing.

LOCATION: Lying West of NW 14 Avenue and approximately 74.83' South of NW 74 Street,  
Miami-Dade County, Florida.

SIZE OF PROPERTY: 47' x 76.27'

Department of Permitting, Environment and  
Regulatory Affairs  
Recommendation:

Approval with conditions.

Protests: 0

Waivers: 0

APPROVED: \_\_\_\_\_

DENIED WITH PREJUDICE: \_\_\_\_\_

DENIED WITHOUT PREJUDICE: \_\_\_\_\_

DEFERRED: \_\_\_\_\_

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**4. JUAN DE DIOS PROPERTY, INC. (11-12-CZ8-4/10-192)**

**28-53-41  
Area 8/District 02**

- (1) NON-USE VARIANCE to permit a retail building setback 7.50' (15' required) from the interior side (east) property line.
- (2) NON-USE VARIANCE to permit a greenbelt with a minimum width of 3' (7' required) along the right-of-way.

Plans are on file and may be examined in the Department of Permitting, Environment and Regulatory Affairs entitled "Proposed Commercial Building" as prepared by Hidalgo Construction Group. Sheet SP & LP dated stamped received 8/17/11 and the remaining 2 sheets dated stamped received 2/8/11 for a total of 4 sheets. Plans may be modified at public hearing.

LOCATION: Northeast Corner of Northwest 32<sup>nd</sup> Avenue & Northwest 32<sup>nd</sup> Street,  
Miami-Dade County, Florida.

SIZE OF PROPERTY: 12,859 Square Feet

Department of Permitting, Environment and  
Regulatory Affairs  
Recommendation:

Approval with conditions.

Protests: 0

Waivers: 0

APPROVED: \_\_\_\_\_

DENIED WITH PREJUDICE: \_\_\_\_\_

DENIED WITHOUT PREJUDICE: \_\_\_\_\_

DEFERRED: \_\_\_\_\_

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**5. HABITAT FOR HUMANITY OF (11-12-CZ8-5/11-004)  
GREATER MIAMI, INC.**

**16-53-41  
Area 8/District 02**

- (1) NON-USE VARIANCE to permit a parcel of land with a lot frontage of 40' (75' required) and a lot area of 3,400 sq. ft. (7,500 sq. ft. required).
- (2) NON-USE VARIANCE to permit a single-family residence setback 10'2" (25' required) from the rear (south) property line.
- (3) NON-USE VARIANCE to permit a lot coverage of 38% (35% maximum permitted).

Plans are on file and may be examined in the Department of Permitting, Environment and Regulatory Affairs entitled "Habitat for Humanity," as prepared by Thomas & Calzadilla, dated stamped received 1/19/2011, consisting of two sheets. Plans may be modified at public hearing.

LOCATION: Lying south of N.W. 69 Street, approximately 80' west of S.W. 31 Avenue, Miami-Dade County, Florida.

SIZE OF PROPERTY: 40' x 85'

Department of Permitting, Environment and Regulatory Affairs

Recommendation:

Approval with conditions.

Protests: 0

Waivers: 0

APPROVED: \_\_\_\_\_

DENIED WITH PREJUDICE: \_\_\_\_\_

DENIED WITHOUT PREJUDICE: \_\_\_\_\_

DEFERRED: \_\_\_\_\_

**6. QUISQUELLA RESTAURANT INC. (11-12-CZ8-6/11-081)**

**03-53-41  
Area 8/District 02**

NON-USE VARIANCE to permit an existing restaurant to have sales of alcoholic beverages until 4am (1am permitted).

LOCATION: 9513 NW 27<sup>th</sup> Avenue, Miami-Dade County, Florida.

SIZE OF PROPERTY: 100' X 120'

Department of Permitting, Environment and Regulatory Affairs

Recommendation:

Denial without prejudice.

Protests: 0

Waivers: 0

APPROVED: \_\_\_\_\_

DENIED WITH PREJUDICE: \_\_\_\_\_

DENIED WITHOUT PREJUDICE: \_\_\_\_\_

DEFERRED: \_\_\_\_\_

**NOTICE**

\*\*\*\*\*  
THE FOLLOWING SUMMARY INFORMATION IS PROVIDED AS A COURTESY; IT SHOULD NOT BE TREATED AS LEGAL ADVICE AND IT SHOULD NOT BE RELIED UPON. LEGAL CONSULTATION MAY BE WARRANTED IF AN APPEAL OR OTHER LEGAL CHALLENGE IS BEING CONTEMPLATED.  
\*\*\*\*\*

Decisions of the Community Zoning Appeals Board (CZAB) may be subject to appeal or other challenge. For example, depending upon the nature of the requests and applications addressed by the CZAB, a CZAB decision may be directly appealable to the Board of County

Commissioners (BCC) or may be subject to challenge in Circuit Court. Challenges asserted in Circuit Court, where available, must ordinarily be filed within 30 days of the transmittal of the pertinent CZAB resolution to the Clerk of the BCC. Appeals to the BCC, where available, must be filed with the Zoning Hearing Section of the Department of Permitting, Environment and Regulatory Affairs (PERA) within 14 days after PERA has posted a short, concise statement (such as that furnished above for the listed items) that sets forth the action that was taken by the CZAB. (PERA's posting will be made on a bulletin board located in the office of PERA.) All other applicable requirements imposed by rule, ordinance, or other law must also be observed when filing or otherwise pursuing any challenge to a CZAB decision.

Further information regarding options and methods for challenging a CZAB decision may be obtained from sources that include, but are not limited to, the following: Sections 33-312, 33-313, 33-314, 33-316, and 33-317 of the Code of Metropolitan Dade County, Florida; the Florida Rules of Appellate Procedure; and the Municode website ([www.municode.com](http://www.municode.com)). Miami-Dade County does not provide legal advice regarding potential avenues and methods for appealing or otherwise challenging CZAB decisions; however, a licensed attorney may be able to provide assistance and legal advice regarding any potential challenge or appeal.

**A. JENE'S RETIREMENT INVESTORS, LTD**  
**(Applicant)**

**11-10-CZ8-1 (10-175)**  
**Area 8/District 02**  
**Hearing Date: 12/01/11**

Property Owner (if different from applicant) **JENE'S RETIREMENT INVESTORS, INC.**

Is there an option to purchase /lease  the property predicated on the approval of the zoning request? Yes  No

Disclosure of interest form attached? Yes  No

**Previous Zoning Hearings on the Property:**

<b><u>Year</u></b>	<b><u>Applicant</u></b>	<b><u>Request</u></b>	<b><u>Board</u></b>	<b><u>Decision</u></b>
1964	Anthony Aiello	- Variance detached swimming pool setback.	ZAB	Approved
1984	Leon Brauser Tr.	- Unusual Use to permit a home for the aged for 50 elderly adults. - Non-Use Variance of parking.	ZAB	Approved w/conds.

Action taken today does not constitute a final development order, and one or more concurrency determinations will subsequently be required. Provisional determinations or listings of needed facilities made in association with this Initial Development Order shall not be binding with regard to future decisions to approve or deny an Intermediate or Final Development Order on any grounds.

MIAMI-DADE COUNTY  
COMMUNITY ZONING APPEALS BOARD - AREA 8  
MOTION SLIP

#1

APPLICANT'S NAME: JENE'S RETIREMENT INVESTORS, LTD

REPRESENTATIVE: No applicant present at the hearing

HEARING NUMBER	HEARING DATE	RESOLUTION NUMBER	
11-10-CZ8-1 (10-175)	October 4, 2011	CZAB8	11

**REC: Approval with conditions.**

WITHDRAW:  APPLICATION       ITEM(S): \_\_\_\_\_

DEFER:       INDEFINITELY       TO: Dec 1, 2011       W/LEAVE TO AMEND

DENY:       WITH PREJUDICE       WITHOUT PREJUDICE

ACCEPT PROFFERED COVENANT       ACCEPT REVISED PLANS

APPROVE:       PER REQUEST       PER DEPARTMENT       PER D.I.C.

WITH CONDITIONS

**OTHER:** Deferral at applicant's request.

TITLE	M/S	NAME	YES	NO	ABSENT
COUNCILMAN	<b>M</b>	Richard C. BROWN (C.A.)	X		
COUNCILMAN		Patrick CURE	X		
COUNCILMAN		Arthemon JOHNSON	X		
COUNCIL WOMAN	<b>S</b>	Voncarol Yvette KINCHEN	X		
VICE CHAIRMAN		Fredericke Alan MORLEY	X		
CHAIRWOMAN		Joy J. DAVIS	X		
VOTE:			<b>6</b>	<b>0</b>	

EXHIBITS:  YES       NO

COUNTY ATTORNEY: DENNIS KERBEL

MIAMI-DADE COUNTY DEPARTMENT OF PERMITTING, ENVIRONMENT AND REGULATORY AFFAIRS  
RECOMMENDATION TO COMMUNITY COUNCIL No. 8

APPLICANT: Jene's Retirement Investors, LTD.

PH: Z10-175 (11-10-CZ08-1)

SECTION: 20-52-42

DATE: December 1, 2011

COMMISSION DISTRICT: 2

ITEM NO.: A

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A. INTRODUCTION

o SUMMARY OF REQUESTS:

The approval of this application will allow the applicant to:

- Establish an adult congregate living facility with greater FAR and lesser setbacks than required.
- Modify and delete previously approved conditions of a resolution.
- Permit backing out into the right-of-way from parking spaces.
- Permit a 19' 2-way driveway.
- Permit a 0' wide landscape buffer and a lawn area of 138.9%.

o REQUESTS:

- (1) UNUSUAL USE to permit an adult congregate living facility.
- (2) MODIFICATION of Condition #2 of Resolution 4-ZAB-216-84, passed and adopted by the Zoning Appeals Board, reading as follows:

FROM: "2. That the plan be substantially in accordance with that submitted for the hearing entitled "Colony House Apt. Building," as prepared by Luis Felipe Lacau, dated received 4-30-84, and consisting of five pages.

TO: 2. That the plan be substantially in accordance with that submitted for the hearing entitled "Colony House Apt. Building Existing Layout to Existing 2 Story Building," as prepared by Robert Guzman, P. E. consisting of 6 sheets dated stamped received 3/9/11."

- (3) Deletion of Conditions #3, #4, #6 and #9 of Resolution 4- ZAB-216-84, passed and adopted by the Zoning Appeals Board, reading as follows:

"3. That the existing door into the living room to be converted into a bedroom, be replaced with a solid block wall, with or without a window, prior to the issuance of a certificate of use and occupancy."

"4. That a revised plan be submitted to the Planning Department for the proposed two common area rooms for the residents, prior to the issuance of a building permit."

"6. That a solid partition be provided in each unit between the dining area and living room, with a door, and to be inspected by the Building and Zoning Department prior to the issuance of a certificate of use and occupancy."

"9. That the use be limited to a maximum of 50 elderly residents."

The purpose of request #2 and #3 is to allow the applicant to submit a new site plan showing an adult congregate living facility in lieu of the previously approved home for the aged, delete the restriction tying the site to elderly residence only and remove interior remodeling restrictions.

- (4) Applicant is requesting the adult congregate living facility setback 27' (50' required) from the rear (west) property line, setback 25' (50' required) from the rear (north) property line.
- (5) Applicant is requesting to permit a Floor Area Ratio (FAR) of .56 (.51 maximum permitted).
- (6) Applicant is requesting to permit parking backing-out into the right-of-way (not permitted).
- (7) Applicant is requesting to permit 19' for a 2-way drive (20' is required).
- (8) Applicant is requesting to permit a 0' wide landscape buffer abutting the right-of-way (7' wide required).
- (9) Applicant is requesting to permit a lawn area of 138.9% (20% maximum permitted).

The aforementioned plans are on file and may be examined in the Department of Permitting, Environment and Regulatory Affairs. Plans may be modified at public hearings.

o **LOCATION:**

1595 NE 145 Street, Miami-Dade County, Florida.

o **SIZE:** 137.45' x 162'

**B. ZONING HEARINGS HISTORY:**

In 1984, pursuant to Resolution #4-ZAB-216-84, the property was approved for an unusual use to permit the conversion of an existing 2-story apartment house into a home for the aged for 50 elderly adults. The approval prohibited alcoholic and mental patients of any type from the premises.

**C. NEIGHBORHOOD CHARACTERISTICS:**

ZONING

LAND USE PLAN DESIGNATION

**Subject Property:**

BU-1; home for the aged

Low Density Residential, 2.5 to 6 dua

**Surrounding Properties:**

NORTH: BU-1; commercial	Low Density Residential, 2.5 to 6 dua and Business and Office
SOUTH: RU-3; multi-family residences	Low Density Residential, 2.5 to 6 dua
EAST: RU-2; duplex residences	Low Density Residential, 2.5 to 6 dua
WEST: BU-1; commercial	Low Density Residential, 2.5 to 6 dua and Business and Office

**D. NEIGHBORHOOD SERVICES PROVIDER COMMENTS:**

DERM	<b>No objection*</b>
Public Works	<b>No objection*</b>
Parks	<b>No objection</b>
Fire Rescue	<b>No objection</b>
Police	<b>No comments</b>
Schools	<b>No comments</b>

\*Subject to the conditions indicated in their memoranda.

**E. PLANNING AND ZONING ANALYSIS :**

This application was deferred from the October 4, 2011 meeting due to an error in the advertisement.

The Land Use Plan (LUP) map of the Comprehensive Development Master Plan (CDMP) designates the subject property as **Low Density Residential** (see attached *Zoning Recommendation Addendum*) use. The land use interpretative text, under residential communities permits neighborhood and community services such as adult congregate living facility when consistent with other goals, objectives and policies of the Master Plan and compatible with the neighborhood.

Staff notes that the CDMP Residential Communities interpretative text indicates group housing facilities are permitted in residential communities only when consistent with other goals, objectives and policies and compatible with the neighborhood. Furthermore, staff opines that said adult congregate living facility is **compatible** with the surrounding community because the proposed facility is similar to the existing home for the aged and will be located within the existing building. Staff opines the proposed adult congregate living facility is compatible based on criteria detailed in **Land Use Element Objective 4** (see attached *Zoning Recommendation Addendum*) which states that Miami-Dade County shall, by the year 2015, reduce the number of land uses, which are inconsistent with the uses designated on the LUP map and interpretive text, or with the character of the surrounding community. Moreover, **Land Use Policy 4D** (see attached *Zoning Recommendation Addendum*) indicates that *uses which are supportive but potentially incompatible shall be permitted on sites within functional neighborhoods, communities or districts only where proper design solutions can and will be used to integrate the compatible and complementary elements and buffer any potentially incompatible elements.* Staff notes that the density and

intensity of the site will not increase because as a condition of approval, the applicant will be limited to a maximum of 50 residents which is the same number of residents that was previously approved. Therefore the proposed adult congregate living facility will be **compatible** with the surrounding area **consistent** with Land Use Element Objective 4 and Policy 4D.

Staff opines that the proposed adult congregate living facility is similar to the existing use on this site which consists of a home for the aged. Said existing use was approved in 1984, pursuant to the Resolution 4-ZAB-216-84 which the applicant is requesting to modify through this application. Staff notes that the request to establish a new use on the subject property requires that the applicant bring the site up to the current Zoning Code standards, therefore resulting in the six (6) requested non-use variances.

When request #1 is analyzed under Section 33-311(A)(3) Special Exceptions, **Unusual Uses** and New Uses and requests #2 and #3 are analyzed under the Generalized Modification Standards, Section 33-311(A)(7), staff recommends that the requested unusual use to permit a adult congregate living facility (request #1), and the requested modification and deletion of the previously approved resolution (requests #2 and #3), be approved with conditions. Staff is of the opinion that the proposed adult congregate living facility would be **compatible** with the surrounding area. Staff notes, that since 1984 the subject site has been utilized by a home for the aged and the building footprint and elevations will remain the same for the proposed adult congregate adult living facility. As such, staff opines the proposed adult congregate living facility will not generate excessive traffic; cause any undue or excessive burden on public facilities, including water, sewer, or solid waste disposal. Further, staff opines that approval of the modified site plan and the deletion of conditions will not have a negative visual or aural impact on the surrounding residential communities as the maximum number of residents will be the same as was previously approved and can be accommodated in the existing buildings which as previously noted will not and therefore would be **compatible**. **As such staff recommends approval with conditions of request #1, under Section 33-311(A)(3) Special Exceptions, Unusual Uses and New Uses and approval with conditions of requests #2 and #3 under Section 33-311(A)(7) Generalized Modification Standards.**

When requests #4 through #9 are analyzed under Section 33-311(A)(4)(b), the Non-Use Variance (NUV) Standards, staff opines that approval of these are germane to requests #1 through #3 and represent the existing conditions on the subject site. However, staff notes that while the proposed adult congregate living facility is similar to the existing use, in order to accommodate the new use on the site, the applicant has requested to permit the adult congregate living facility to setback less than required, have a greater FAR, back-out into the right-of-way from parking spaces, a 19' two-way drive, a 0' wide landscape buffer and lawn area of 138.9%. Staff further opines that, the applicant is not proposing any new development on the subject site, as such, staff opines that approval of the requests would not have a negative visual or aural impact and the existing facility would continue to be **compatible** with the surrounding area. **As such, staff recommends approval requests #4 through #9 under the Non-Use Variance Standards (NUV).**

**F. RECOMMENDATION:**

**Approval with conditions.**

**G. CONDITIONS:**

1. That all the conditions of Resolution No. 4-ZAB-216-84 remain in full force and effect, except as herein modified.
2. That the use be limited to a maximum of 50 residents.

DATE TYPED: 08/08/11  
DATE REVISED: 08/24/11; 09/12/11; 10/25/11, 11/14/11  
DATE FINALIZED: 09/06/11  
CD:ES:GR:NN:CH:AN

ADDENDUM



Charles Danger, P.E., Interim Director  
Miami-Dade County Department of  
Permitting, Environment and Regulatory Affairs

NDA  
GMR  
EG



Mark R. Woerner, AICP  
Interim Assistant Director of Planning  
Miami-Dade County Department of  
Sustainability, Planning and Economic Enhancement

NDA  
EG

# ZONING RECOMMENDATION ADDENDUM

*Jene's Retirement Investors LTD.*

10-175

## COMPREHENSIVE DEVELOPMENT MASTER PLAN (CDMP) OBJECTIVES, POLICIES AND INTERPRETATIVE TEXT

<b>Low Density Residential</b> <i>(Pg. I-31)</i>	<i>The Adopted 2015 and 2025 Land Use Plan designates the subject property as being within the Urban Development Boundary for <b>Low Density Residential</b>. The residential densities allowed in this category shall range from a minimum of 2.5 to a maximum of 6.0 units per gross acre. This density category is generally characterized by single family housing, e.g., single-family detached, cluster, zero lot line and townhouses. It could include low-rise apartments with extensive surrounding open space or a mixture of housing types provided that the maximum gross density is not exceeded.</i>
<b>Residential Communities</b> <i>(Pg. I-26)</i>	<i>The areas designated Residential Communities permit housing types ranging from detached single-family to attached multifamily buildings, as well as different construction systems. Also permitted in Residential Communities are neighborhood and community services including schools, parks, houses of worship, daycare centers, <b>group housing facilities</b>, and utility facilities, only when consistent with other goals, objectives and policies of this Plan and compatible with the neighborhood. The character of the "neighborhood" reflects the intensity and design of developments, mix of land uses, and their relationships.</i>
<b>Land Use Objective 4</b> <i>(Pg. I-11)</i>	<i>Miami-Dade County shall, by the year 2015, reduce the number of land uses, which are inconsistent with the uses designated on the LUP map and interpretive text, or with the character of the surrounding community.</i>
<b>Land Use Policy 4D</b> <i>(Pg. I-11)</i>	<i>Uses which are supportive but potentially incompatible shall be permitted on sites within functional neighborhoods, communities or districts only where proper design solutions can and will be used to integrate the compatible and complementary elements and buffer any potentially incompatible elements.</i>

## PERTINENT ZONING REQUIREMENTS/STANDARDS

<b>33-311(A)(3)</b> <b>Special Exceptions, Unusual Uses and New Uses</b>	<i>The Board shall hear an application for and grant or deny special exceptions; that is, those exceptions permitted by regulations only upon approval after public hearing, new uses and unusual uses which by the regulations are only permitted upon approval after public hearing; provided the applied for exception or use, including exception for site or plot plan approval, in the opinion of the Community Zoning Appeals Board, would not have an unfavorable effect on the economy of Miami-Dade County, Florida, would not generate or result in excessive noise or traffic, cause undue or excessive burden on public facilities, including water, sewer, solid waste disposal, recreation, transportation, streets, roads, highways or other such facilities which have been constructed or which are planned and budgeted for construction, are accessible by private or public roads, streets or highways, tend to create a fire or other equally or greater dangerous hazards, or provoke excessive overcrowding or concentration of people or population, when considering the necessity for and reasonableness of such applied for exception or use in relation to the present and future development of the area concerned and the compatibility of the applied for exception or use with such area and its development.</i>
<b>33-311(A)(7)</b> <b>Generalized Modification Standards</b>	<i>The Board shall hear applications to modify or eliminate any condition or part thereof which has been imposed by any final decision adopted by resolution, and to modify or eliminate any provisions of restrictive covenants, or parts thereof, accepted at public hearing, except as otherwise provided in Section 33-314(C)(3); provided, that the appropriate board finds after public hearing (a) that the modification or elimination, in the opinion of the Community Zoning Appeals Board, would not generate excessive noise or traffic, tend to create a fire or other equally or greater dangerous hazard, or provoke excessive overcrowding of people, or would not tend to provoke a nuisance, or would not be incompatible with the area concerned, when considering the necessity and reasonableness of the modification or elimination in relation to the present and future development of the area concerned, or (b) (i) that the resolution that contains the condition approved a school use that was permitted only as a special exception, (ii) that</i>

# ZONING RECOMMENDATION ADDENDUM

*Jene's Retirement Investors LTD.*

10-175

	<i>subsequent law permits that use as of right without the requirement of approval after public hearing, and (iii) that the requested modification or elimination would not result in development exceeding the standards provided for schools authorized as a matter of right without the requirement of approval after public hearing.</i>
<b>33-311(A)(4)(b) Non-Use Variances From Other Than Airport Regulations</b>	<i>Upon appeal or direct application in specific cases, the Board shall hear and grant applications for non-use variances from the terms of the zoning and subdivision regulations and may grant a non-use variance upon a showing by the applicant that the non-use variance maintains the basic intent and purpose of the zoning, subdivision and other land use regulations, which is to protect the general welfare of the public, particularly as it affects the stability and appearance of the community and provided that the non-use variance will be otherwise compatible with the surrounding land uses and would not be detrimental to the community. No showing of unnecessary hardship to the land is required.</i>

**Date:** January 19, 2011  
**To:** Marc C. LaFerrier, AICP, Director  
Department of Planning and Zoning

**From:** Jose Gonzalez, P.E., Assistant Director  
Environmental Resources Management



**Subject:** C-08 #Z2010000175-1<sup>st</sup> Revision  
Jene's Retirement Investors, Ltd.  
1595 N.E. 145<sup>th</sup> Street  
Unusual Use to Permit a Group Home  
(BU-1) (2.5 Acres)  
20-52-42

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The Department of Environmental Resources Management (DERM) has reviewed the subject application and has determined that it meets the minimum requirements of Chapter 24 of the Code of Miami-Dade County, Florida (the Code). Accordingly, DERM may approve the application, and the same may be scheduled for public hearing.

Potable Water Service and Wastewater Disposal

Public water and public sanitary sewers can be made available to the subject property. Therefore, connection of the proposed development to the public water supply system and sanitary sewer system shall be required in accordance with Code requirements.

Existing public water and sewer facilities and services meet the Level of Service (LOS) standards set forth in the Comprehensive Development Master Plan (CDMP). Furthermore, the proposed development order, if approved, will not result in a reduction in the LOS standards subject to compliance with the conditions required by DERM for this proposed development order.

Notwithstanding the foregoing, and in light of the fact that the County's sanitary sewer system has limited sewer collection, transmission, and treatment capacity, no new sewer service connections can be permitted, unless there is adequate capacity to handle the additional flows that this project would generate. Consequently, final development orders for this site may not be granted if adequate capacity in the system is not available at the point in time when the project will be contributing sewage to the system. Lack of adequate capacity in the system may require the approval of alternate means of sewage disposal. Use of an alternate means of sewage disposal may only be granted in accordance with Code requirements, and shall be an interim measure, with connection to the public sanitary sewer system required upon availability of adequate collection/transmission and treatment capacity.

Stormwater Management

According to the information found on this project, the proposed change will not affect the existing stormwater management system.

### Wetlands

The subject property does not contain wetlands as defined by Section 24-5 of the Code; therefore, a DERM Class IV Wetland Permit will not be required.

The applicant is advised that permits from the Army Corps of Engineers (305-526-7181), the Florida Department of Environmental Protection (561-681-6600) and the South Florida Water Management District (1-800-432-2045) may be required for the proposed project. It is the applicant's responsibility to contact these agencies.

### Tree Preservation

The subject property contains specimen-sized trees. Section 24-49.2(II) of, the Code requires that specimen trees be preserved whenever reasonably possible. The applicant is aware of DERM preservation requirements and has submitted a landscape plan of record entitled "Colony House Apt Building as Built to existing Building 1595 N.E. 145<sup>th</sup> Street", sheet LS1.0, prepared by Avlis Group LLC, signed and sealed by Robert Guzman on December 17, 2010 and dated May 5, 2010, that provides for the preservation of the existing trees on-site. A Miami-Dade County Tree Removal Permit is required prior to the removal or relocation of any tree that is subject to the Tree Preservation and Protection provisions of the Code. Said Tree Removal Permit shall meet the requirements of Sections 24-49.2 and 24-49.4 of the Code.

The applicant is required to comply with the above tree permitting requirements. DERM's approval of the subject application is contingent upon inclusion of said tree permitting requirements in the resolution approving this application. The applicant is advised to contact DERM staff for additional information regarding tree permitting procedures and requirements prior to site development.

### Enforcement History

DERM staff found two (2) closed enforcement cases for the referenced property address. The following is a summary of these closed enforcement cases that is associated with the subject folio:

#### North Miami Retirement Home (PSO 962)

In February 2005 A Notice of Violation (NOV) was issued to this facility for failure to renew/secure the required operating permit. In May 2005 the permit was secured and this case was subsequently closed due to compliance.

In January 2006 A NOV was issued to this facility for failure to renew/secure the required operating permit. In June 2006 the permit was secured and this case was subsequently closed due to compliance.

### Concurrency Review Summary

DERM has conducted a concurrency review for this application and has determined that the same meets all applicable LOS standards for an initial development order, as specified in the adopted CDMP for potable water supply, wastewater disposal, and flood protection. Therefore, the application has been approved for concurrency subject to the comments and conditions contained herein.

This concurrency approval does not constitute a final concurrency statement and is valid only for this initial development order, as provided for in the adopted methodology for concurrency review. Additionally, this approval does not constitute any assurance that the LOS standards would be met by any subsequent development order applications concerning the subject property.

This memorandum shall constitute DERM's written approval, as required by the Code.

If you have any questions concerning the comments, or wish to discuss this matter further, please contact Christine Velazquez at (305) 372-6764.

**PUBLIC WORKS DEPARTMENT COMMENTS**

Applicant's Names: JENE'S RETIREMENT INVESTORS, LTD

This Department has no objections to this application.

This site is presently being used with the existing parking lot layout where there is minimal impact to the surrounding roads; therefore this Department has no objections to the request to permit parking backing out into the right-of-way.

Additional improvements may be required at time of permitting/platting.

This land requires platting in accordance with Chapter 28 of the Miami-Dade County Code. Any road dedications and improvements required will be accomplished thru the recording of a plat.

This project meets traffic concurrency because it lies within the urban infill area where traffic concurrency does not apply.



Raul A Pino, P.L.S.

21-JUL-11

# Memorandum



**Date:** 14-JAN-11  
**To:** Marc LaFerrier, Director  
Department of Planning and Zoning  
**From:** Herminio Lorenzo, Fire Chief  
Miami-Dade Fire Rescue Department  
**Subject:** Z2010000175

**Fire Prevention Unit:**

This memo supersedes MDFR memo dated 10/26/10. MDFR has no objection to the application.

**Service Impact/Demand:**

Development for the above Z2010000175  
located at 1595 N.E. 145 STREET, MIAMI-DADE COUNTY, FLORIDA.  
in Police Grid 0399 is proposed as the following:

<u>residential</u>	dwelling units	<u>industrial</u>	square feet
	square feet	<u>institutional</u>	square feet
<u>Office</u>	square feet		square feet
<u>Retail</u>		<u>nursing home/hospitals</u>	

Based on this development information, estimated service impact is: N/A alarms-annually.  
The estimated average travel time is: 5:31 minutes

**Existing services**

The Fire station responding to an alarm in the proposed development will be:  
Station No. 22 - Interama - 15655 Biscayne Blvd.

**Planned Service Expansions:**

The following stations/units are planned in the vicinity of this development:  
None

**Fire Planning Additional Comments**

None

DATE: 06-SEP-11

BUILDING AND NEIGHBORHOOD  
COMPLIANCE DEPARTMENT

ENFORCEMENT HISTORY OF VIOLATIONS OF CHAPTER 19 AND  
CHAPTER 33 OF THE MIAMI-DADE COUNTY CODE

JENE'S RETIREMENT INVESTORS,  
LTD

1595 N.E. 145 STREET, MIAMI-  
DADE COUNTY, FLORIDA.

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APPLICANT

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ADDRESS

Z2010000175

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HEARING NUMBER

**HISTORY:**

ENFORCEMENT HISTORY: NC: No open cases. BNC: No open cases

**OUTSTANDING FINES, PENALTIES, COST OR LIENS  
INCURRED PURSUANT TO CHAPTER 8CC:**

none

**REPORTER NAME:**

NCS Albury

# ZONING INSPECTION REPORT

Inspector: RODRIGUEZ, FRANK

Inspection Date

Evaluator: AMINA NEWSOME

08/31/11

**Process #:** Z2010000175  
**Applicant's Name:** JENE'S RETIREMENT INVESTORS, LTD  
**Locations:** 1595 N.E. 145 STREET, MIAMI-DADE COUNTY, FLORIDA.  
**Size:** 22,264 Sq. Ft. **Folio #:** 3022200022420

## Request:

- 1 Unusual Use to permit a group home.
- 2 Modification of condition #2 of Resolution 4-ZAB-216-84, passed and adopted by the Zoning Appeals Board, reading as follows:

### FROM:

"2. That the plan be substantially in accordance with that submitted for the hearing entitled "Colony House Apt. Building", as prepared by Luis Felipe Lacau, dated received 4-30-84, and consisting of five pages."

"2. That the plan be substantially in accordance with that submitted for the hearing entitled "Colony House Apt. Building Existing Layout To Existing 2 Story Building" as prepared by Robert A. Guzman, P.E. consisting of 6 sheets dated stamped received 03/09/11.

The purpose of request #2 is to allow the applicant to submit a new site plan showing a group home in lieu of the previously approved home for the aged.

- 3 Applicant is requesting to permit the group home setback 27' (50' required) from the rear (west) property line, setback 25' (50' required) from the rear (north) property line.
- 4 Applicant is requesting to permit a FAR of .56 (.51 maximum permitted).
- 5 Applicant is requesting to permit 14 parking spaces ( 30 parking spaces required, 28 previously approved).
- 6 Applicant is requesting to permit parking backing out into the right-of-way (not permitted).
- 7 Applicant is requesting to permit a 19' for a 2-way drive (20' is required).
- 8 Applicant is requesting to permit a 0' to .08' wide landscape buffer abutting the right-of-way (7' wide required).
- 9 Applicant is requesting to permit a lawn area of 138.9% (20% maximum permitted).

## EXISTING ZONING

**Subject Property** BU-1,

**EXISTING USE** ALF

## SITE CHARACTERISTICS

### STRUCTURES ON SITE:

Two story apartment building.

### USE(S) OF PROPERTY:

Assisted living facility.

### FENCES/WALLS:

Wall encloses court yard. Three foot decorative C.B.S. wall extends from east building line southward.

### LANDSCAPING:

Existing landscape is established and thriving. Landscape includes eight Oak trees, two large ficus trees.

### BUFFERING:

## ZONING INSPECTION REPORT

Large shrubs and trees provide buffer from BU zoned district to the north. Parking lot is buffered with hedge.

### VIOLATIONS OBSERVED:

Limited mental patients under the age of sixty reside therein which is in violation of reso. #4ZAB-216-84.

### OTHER:

None.

Process #	Applicant's Name
Z2010000175	JENE'S RETIREMENT INVESTORS, LTD

### SURROUNDING PROPERTY

#### NORTH:

One story multifamily residence and parking lot for BU zoned property.

#### SOUTH:

One story multifamily homes

#### EAST:

One story duplex homes

#### WEST:

Parking lot for BU zoned property

### SURROUNDING AREA

Subject property is surrounded by duplex homes, multifamily residential properties and a BU zoned property used for retailer of musical instruments and a church.

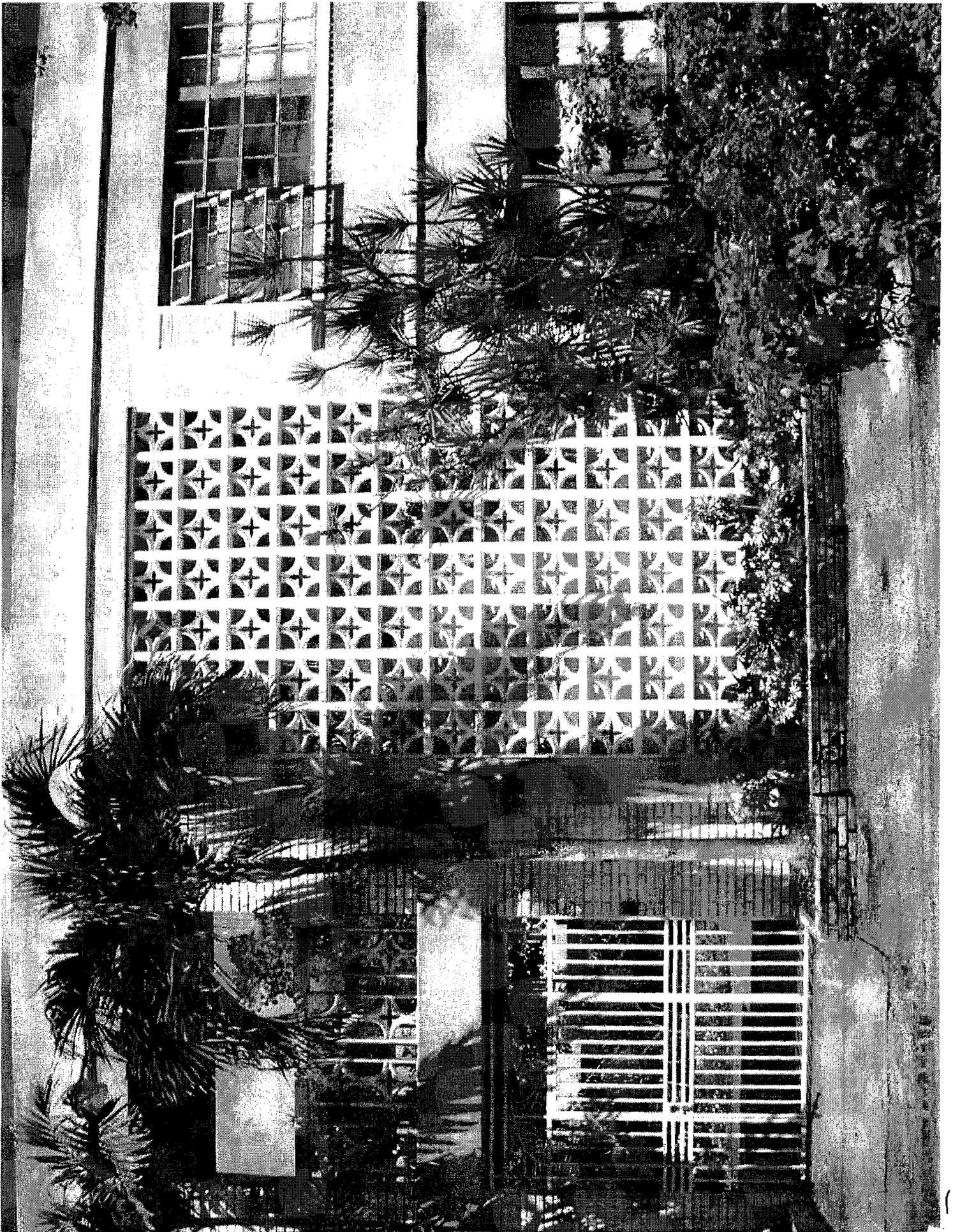
### NEIGHBORHOOD CHARACTERISTICS:

Multifamily residential close to commercially zoned properties.

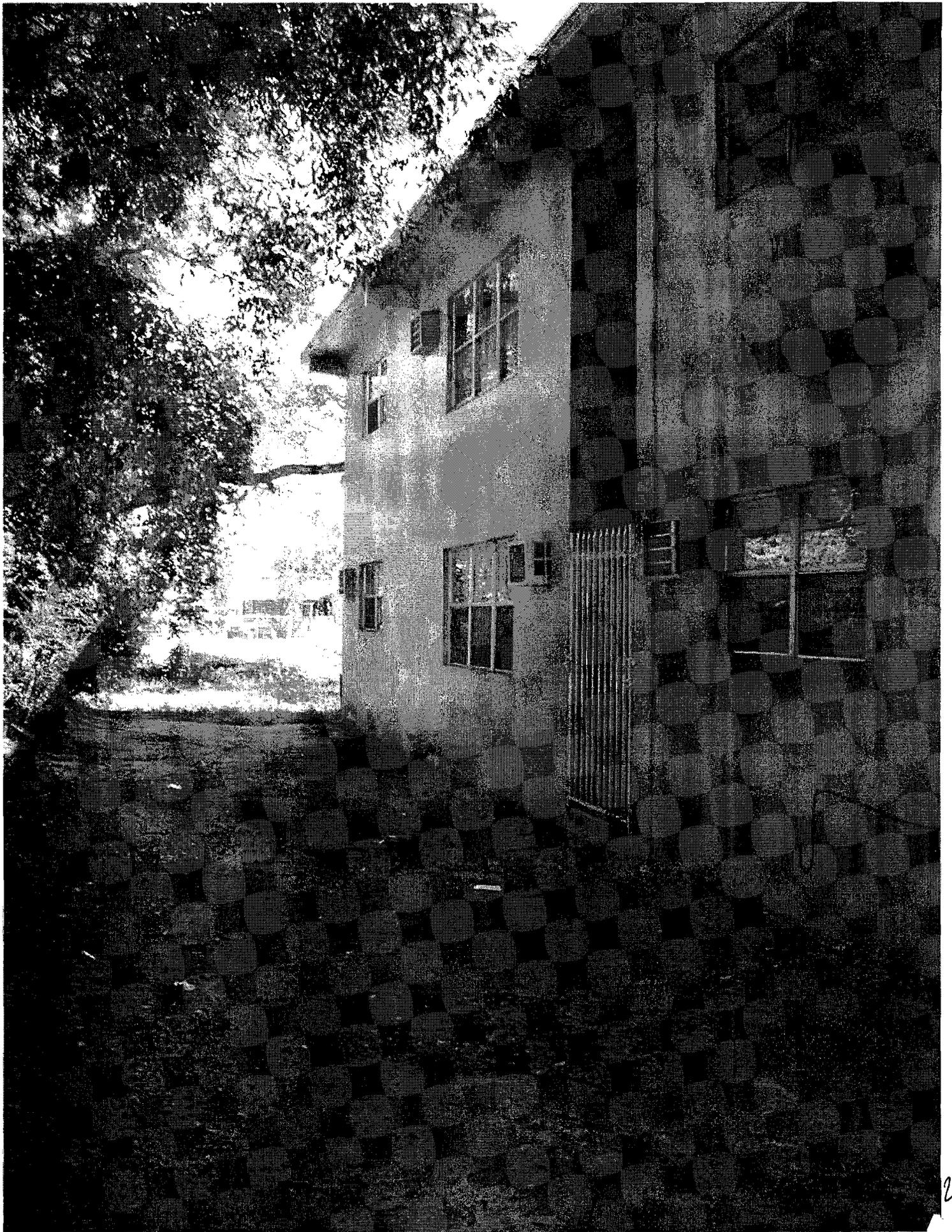
### COMMENTS:

None

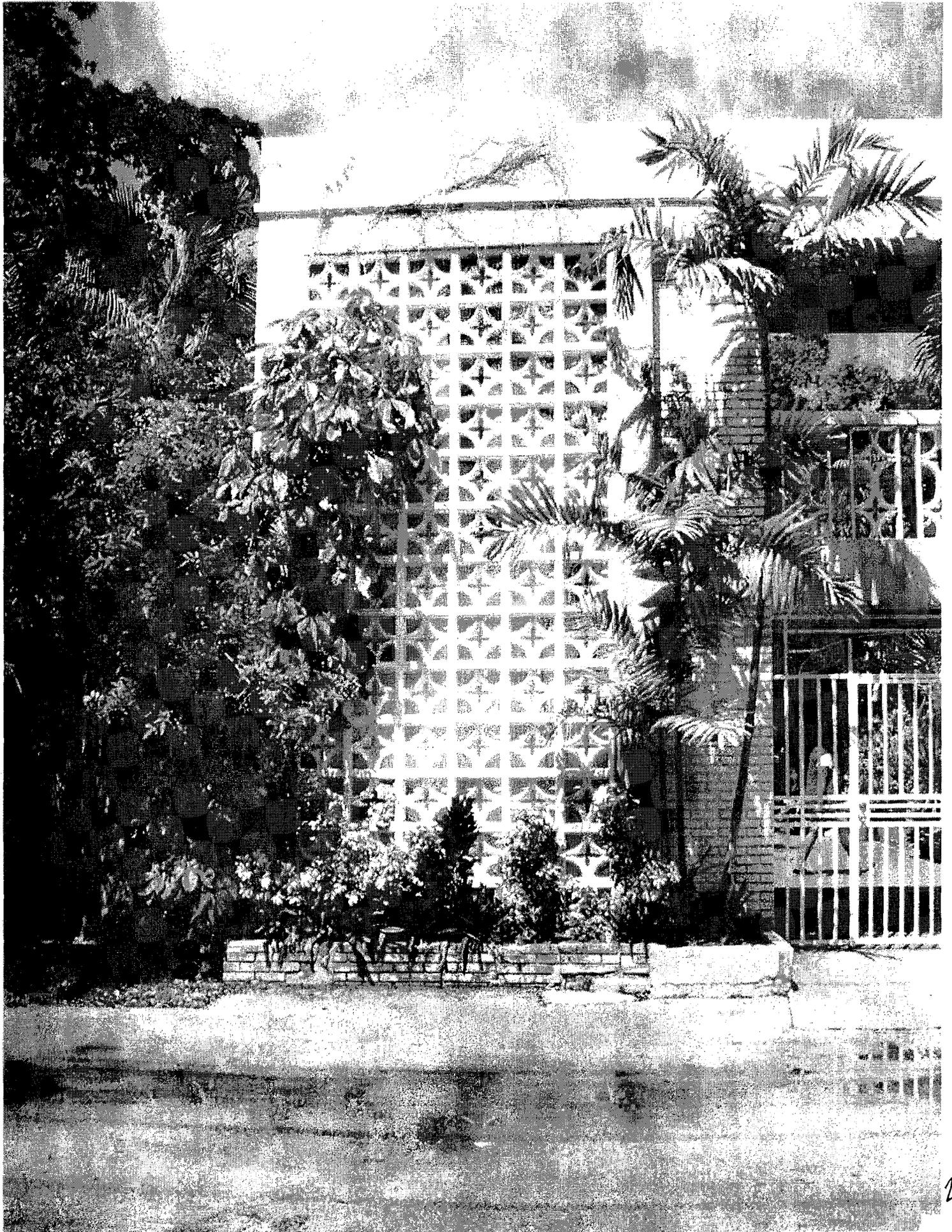












DISCLOSURE OF INTEREST\*

If a CORPORATION owns or leases the subject property, list principal stockholders and percent of stock owned by each. [Note: Where principal officers or stockholders consist of other corporation(s), trust(s), partnership(s) or other similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

CORPORATION NAME: \_\_\_\_\_

<u>NAME AND ADDRESS</u>	<u>Percentage of Stock</u>
_____	_____
_____	_____
_____	_____

If a TRUST or ESTATE owns or leases the subject property, list the trust beneficiaries and the percent of interest held by each. [Note: Where beneficiaries are other than natural persons, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

TRUST/ESTATE NAME \_\_\_\_\_

<u>NAME AND ADDRESS</u>	<u>Percentage of Interest</u>
_____ 210-175 _____	_____
_____	_____
_____ ZORING MORGAN'S SECTION _____	_____
_____ *H _____	_____

If a PARTNERSHIP owns or leases the subject property, list the principals including general and limited partners. [Note: Where the partner(s) consist of another partnership(s), corporation(s), trust(s) or other similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

PARTNERSHIP OR LIMITED PARTNERSHIP NAME: Jenex Retirement Investors, Ltd.

<u>NAME AND ADDRESS</u>	<u>Percentage of Ownership</u>
LP <u>Morris Esformes, 6885 N. Lincoln Ave. Lincolnwood, IL 60712</u>	<u>58.25</u>
LP <u>Philip Esformes, 12221 W. Dixie Hwy, No. Miami, FL 33161</u>	<u>40.75</u>
GP <u>Dyar Tore, LLC, 12221 W. Dixie Hwy, No. Miami FL 33161</u>	<u>1.00</u>
<u>owners of Dyar Tore: Morris and Philip Esformes</u>	_____
<u>manager: Philip Esformes</u>	_____

If there is a CONTRACT FOR PURCHASE, by a Corporation, Trust or Partnership list purchasers below, including principal officers, stockholders, beneficiaries or partners. [Note: Where principal officers, stockholders, beneficiaries or partners consist of other corporations, trusts, partnerships or other similar

entities, further disclosure shall be made to identify natural persons having the ultimate ownership interests].

NAME OF PURCHASER: \_\_\_\_\_

NAME, ADDRESS AND OFFICE (if applicable)	Percentage of Interest
_____	_____
_____	_____
_____	_____
_____	_____

Date of contract: \_\_\_\_\_

If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership or trust.

_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

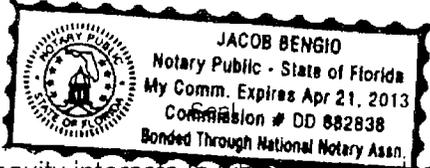
**NOTICE:** For any changes of ownership or changes in purchase contracts after the date of the application, but prior to the date of final public hearing, a supplemental disclosure of interest is required.

The above is a full disclosure of all parties of interest in this application to the best of my knowledge and belief.

Signature: \_\_\_\_\_  
(Applicant)

Sworn to and subscribed before me this 19 day of July, 2016. Affiant is personally know to me or has produced \_\_\_\_\_ as identification.

\_\_\_\_\_  
(Notary Public)  
My commission expires: 8/21/13



\*Disclosure shall not be required of: 1) any entity, the equity interests in which are regularly traded on an established securities market in the United States or another country; or 2) pension funds or pension trusts of more than five thousand (5,000) ownership interests; or 3) any entity where ownership interests are held in a partnership, corporation or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership and where no one (1) person or entity holds more than a total of five per cent (5%) of the ownership interest in the partnership, corporation or trust. Entities whose ownership interests are held in a partnership, corporation, or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership, shall only be required to disclose those ownership interest which exceed five (5) percent of the ownership interest in the partnership, corporation or trust.

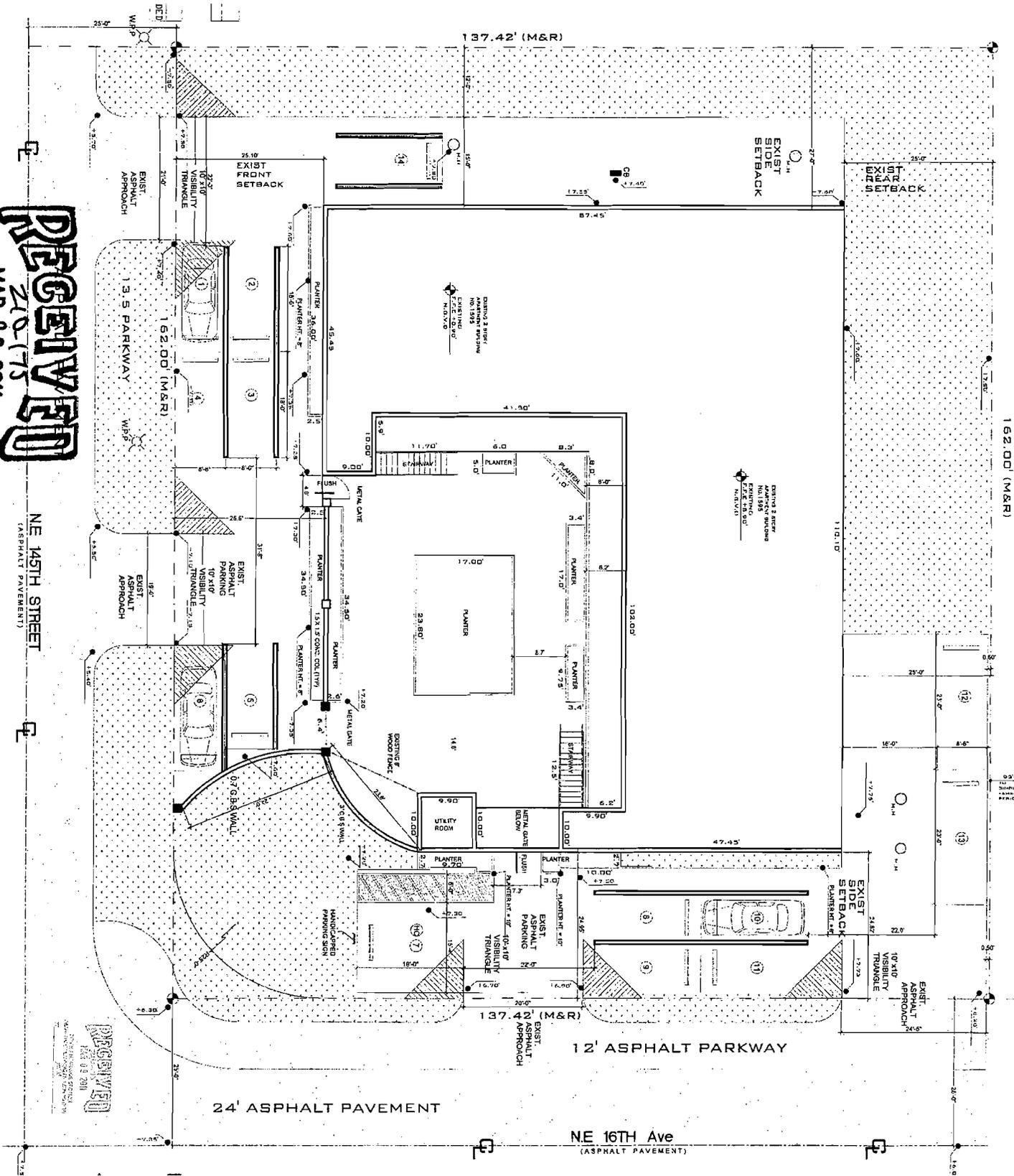
ZONING HEARINGS SECTION  
 MIAMI-DADE PLANNING AND ZONING DEPT.  
 BY AT

**RECEIVED**  
 3/10/11  
 MAR 09 2011

ENLARGED SITE PLAN

EXISTING SITE PLAN

SCALE 1/8" = 1'-0"





LOCATION MAP N.T.S.

**LEGAL DESCRIPTION:** 2.07 AC OF LOT 101, 102, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

**ZONING LEGEND B-1**

MINIMUM REQUIREMENTS	REQUIRED	PROVIDED
MINIMUM LOT AREA	5000 S.F.	NA
MINIMUM LOT WIDTH	25'-0"	NA
MINIMUM FRONT SETBACK	25'-0"	162'-0"
MINIMUM SIDE SETBACK	5'-0"	32'-6"
MINIMUM REAR SETBACK	5'-0"	32'-6"

**EXISTING SETBACK REQUIREMENT**

SETBACK TYPE	REQUIRED	PROVIDED
FRONT	25'-0"	162'-0"
REAR	5'-0"	32'-6"
SIDE	5'-0"	32'-6"

**EXISTING MAXIMUM FLOOR AREA RATIO (FAR) PER STORES**

MAXIMUM FLOOR AREA RATIO (FAR) PER STORES	REQUIRED	PROVIDED
MAXIMUM FLOOR AREA RATIO (FAR) PER STORES	10.0%	10.0%

**EXISTING LANDSCAPE REQUIREMENT**

SIC OF TOTAL LOT AREA	REQUIRED	PROVIDED
SIC OF TOTAL LOT AREA	15.2 % OF TOTAL LOT AREA	15.2 % OF TOTAL LOT AREA

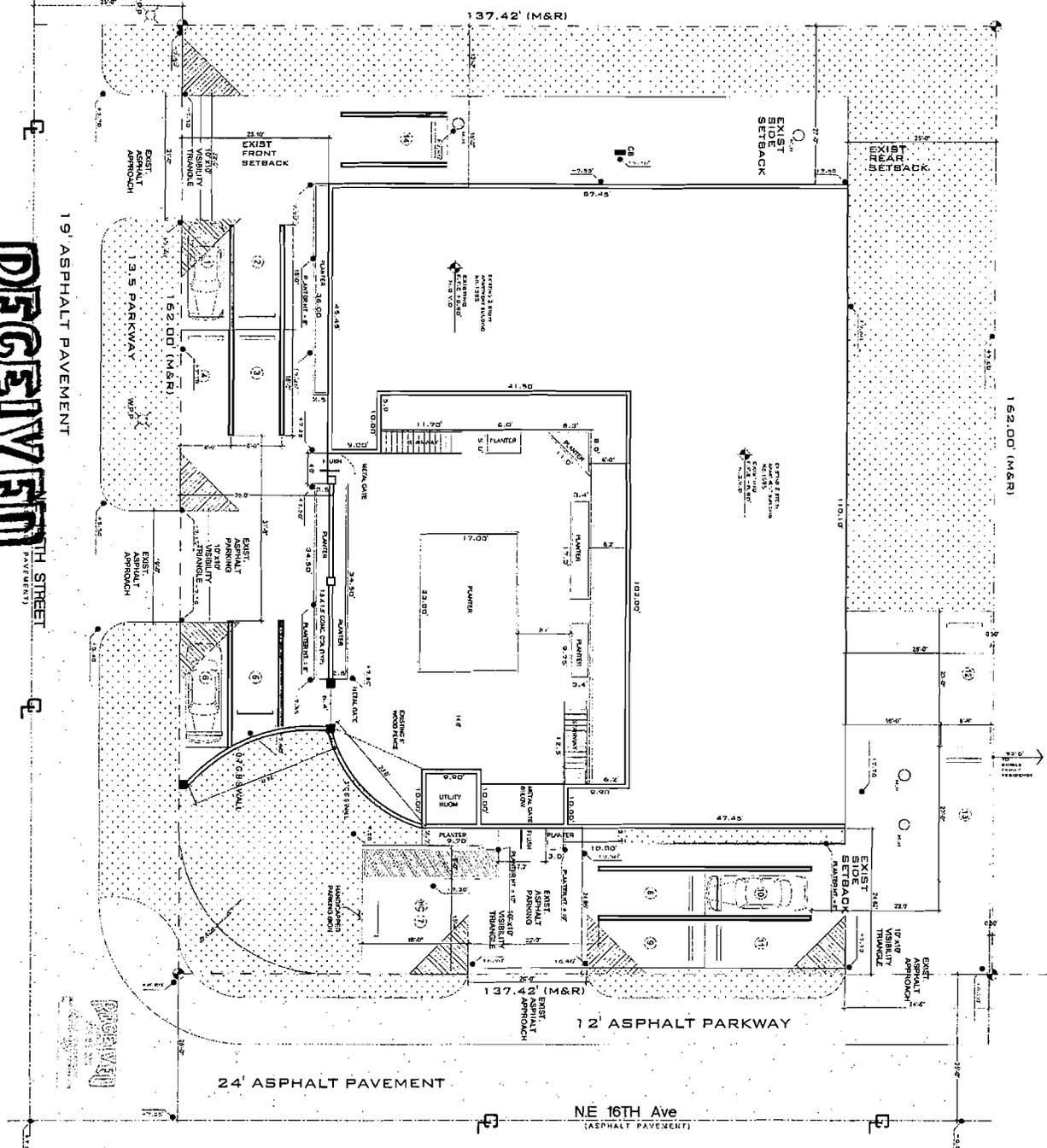
**PARKING REQ. AS PER CHAPTER 22-24 SEC. 04-2**

TYPE OF UNIT	PER UNIT	PROVIDED
TYPE OF UNIT	10 PER UNIT	10 PER UNIT

**PARKING REQ. AS PER**

TYPE OF UNIT	PER UNIT	PROVIDED
TYPE OF UNIT	10 PER UNIT	10 PER UNIT

**ZONING RESOLUTION # 62389664**



**RECEIVED**  
 210-175  
 MAR 09 2011

ZONING HEARINGS SECTION  
 MIAMI-DADE PLANNING AND ZONING DEPT.  
 BY *[Signature]*

EXISTING SITE PLAN  
 SCALE: 1/8" = 1'-0"

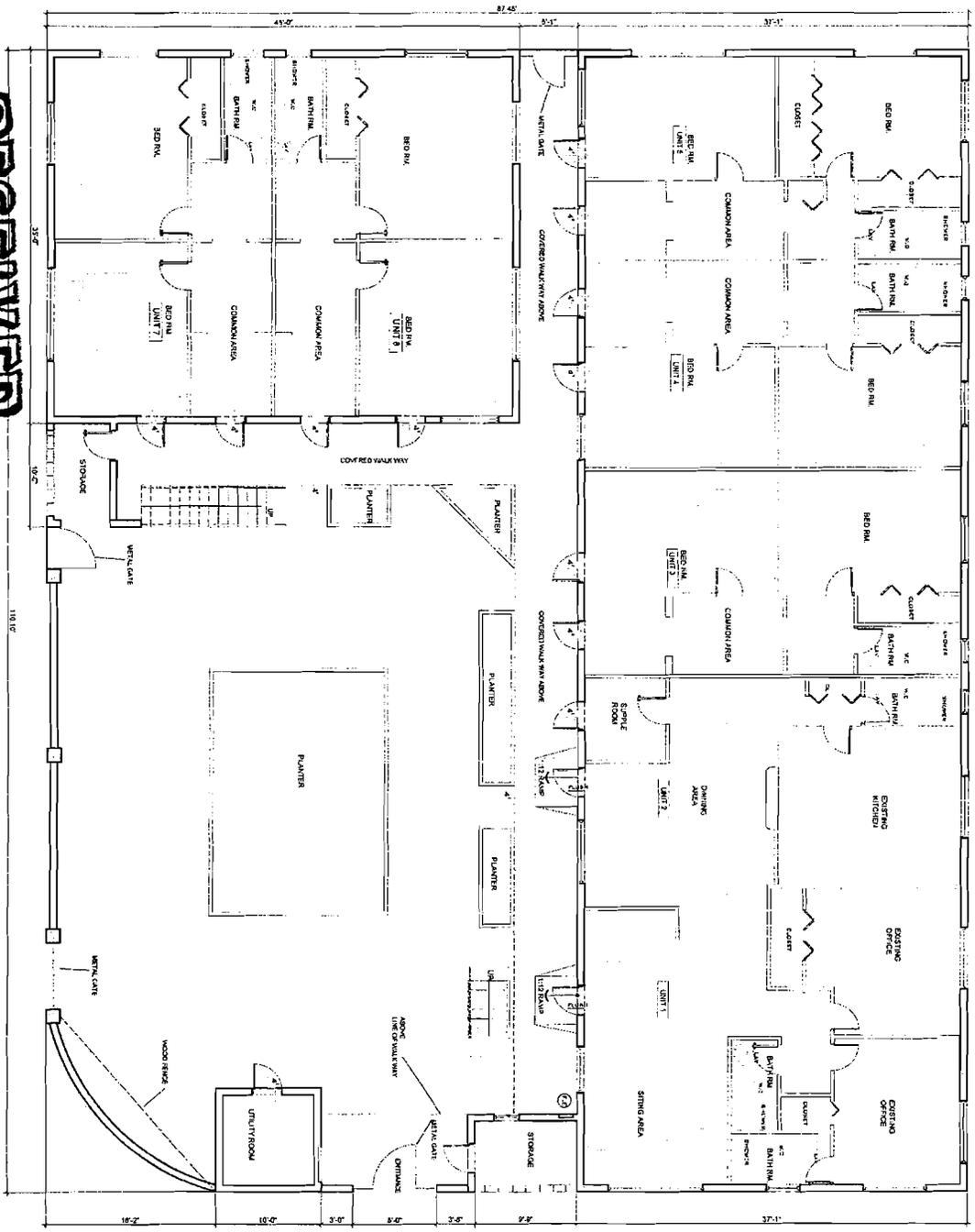
DATE: 05-05-2010  
 SHEET NUMBER: SP1.10

COLONY HOUSE APT. BUILDING  
 EXISTING LAYOUT TO EXISTING  
 2 STORY BUILDING  
 1595 N.E 145 Street

OWNER:  
 Jenes Retirement Investors LTD  
 3389 Sheridan St. Suite #195  
 Hollywood Fl. 33021

ROBERT A. JONES, P.E. P.A.  
 ENGINEER  
 1500 S.W. 15TH STREET  
 MIAMI, FL 33135  
 TEL: 305-441-1111  
 FAX: 305-441-1111





**RECEIVED**  
 Z-10-175  
 MAR 09 2011

ZONING HEARINGS SECTION  
 MIAMI-DADE PLANNING AND ZONING DEPT.  
 BY AT

EXISTING FLOOR (TYP) PLAN  
 SCALE: 3/16" = 1'-0"

TOTAL # OF BEDS  
 AT GROUND FLOOR-----20 BEDS



COLONY HOUSE APT. BUILDING  
 EXISTING LAYOUT TO EXISTING  
 2 STORY BUILDING  
 1595 N.E 145 Street

OWNER:  
 Jenex Retirement Investors LTD  
 3389 Sheridan St. Suite #195  
 Hollywood Fl. 33021

ROBERT A. OZAWA, P.E., P.A.  
 CONSULTING ENGINEER  
 11865 S.W. 27th  
 MIAMI FL 33156  
 TEL: 305-594-8277  
 FAX: 305-486-1891

CONSULTING & DESIGN SERVICES  
 11865 S.W. 27th  
 MIAMI FL 33156  
 TEL: 305-594-8277  
 FAX: 305-486-1891

DATE	REVISION
05-05-2010 <td></td>	

SHEET NUMBER  
 A.1.0



RECEIVED  
MIAMI-DADE COUNTY  
PLANNING & ZONING  
DEPT. MAR 09 2011  
BY: KCB

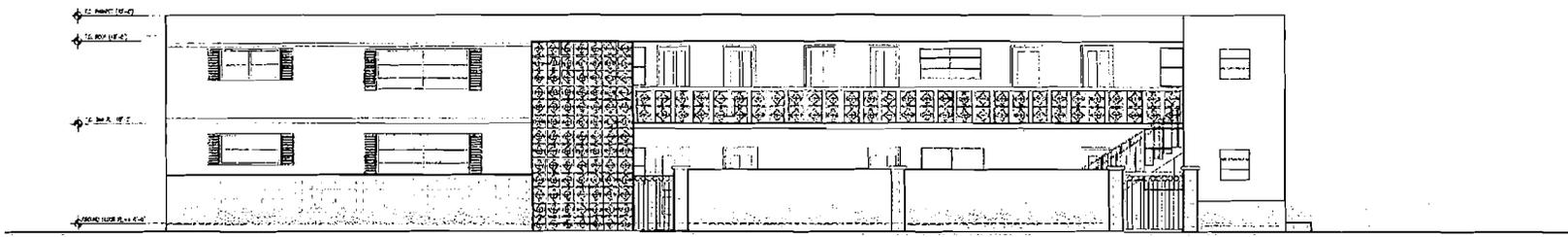
DRAFTING & DESIGN SERVICES  
1600 S.W. 76 STREET  
MIAMI, FLORIDA 33173  
PHONE: (305) 454-4177  
dgs@ddgservices.com

ROBERT A. GUZMAN, P.E., P.A.  
CONSULTING ENGINEERS  
CA No. 27603  
1996 E.W. 16TH STREET  
MIAMI, FLORIDA 33149  
TEL: 305-619-4327  
FAX: 305-428-1006

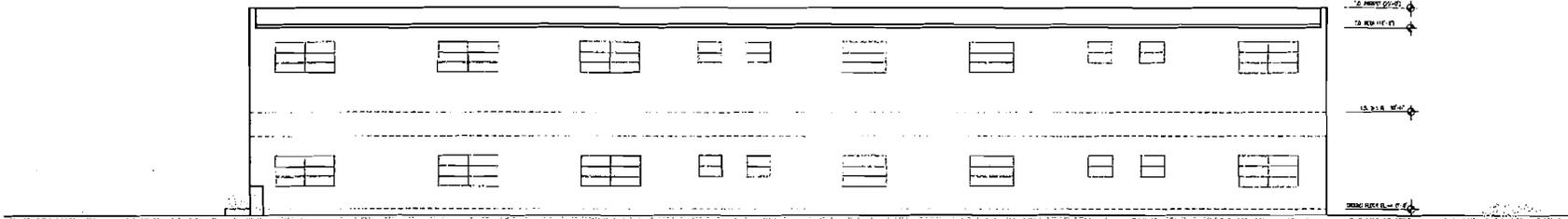


OWNER:  
Jenes Retirement Investors LTD  
3389 Sheridan St, Suite #195  
Hollywood Fl. 33021

COLONY HOUSE APT. BUILDING  
EXISTING LAYOUT TO EXISTING  
2 STORY BUILDING  
595 N.E 145 Street



EXISTING  
FRONT ELEVATION (S)  
SCALE: 3/16" = 1'-0"



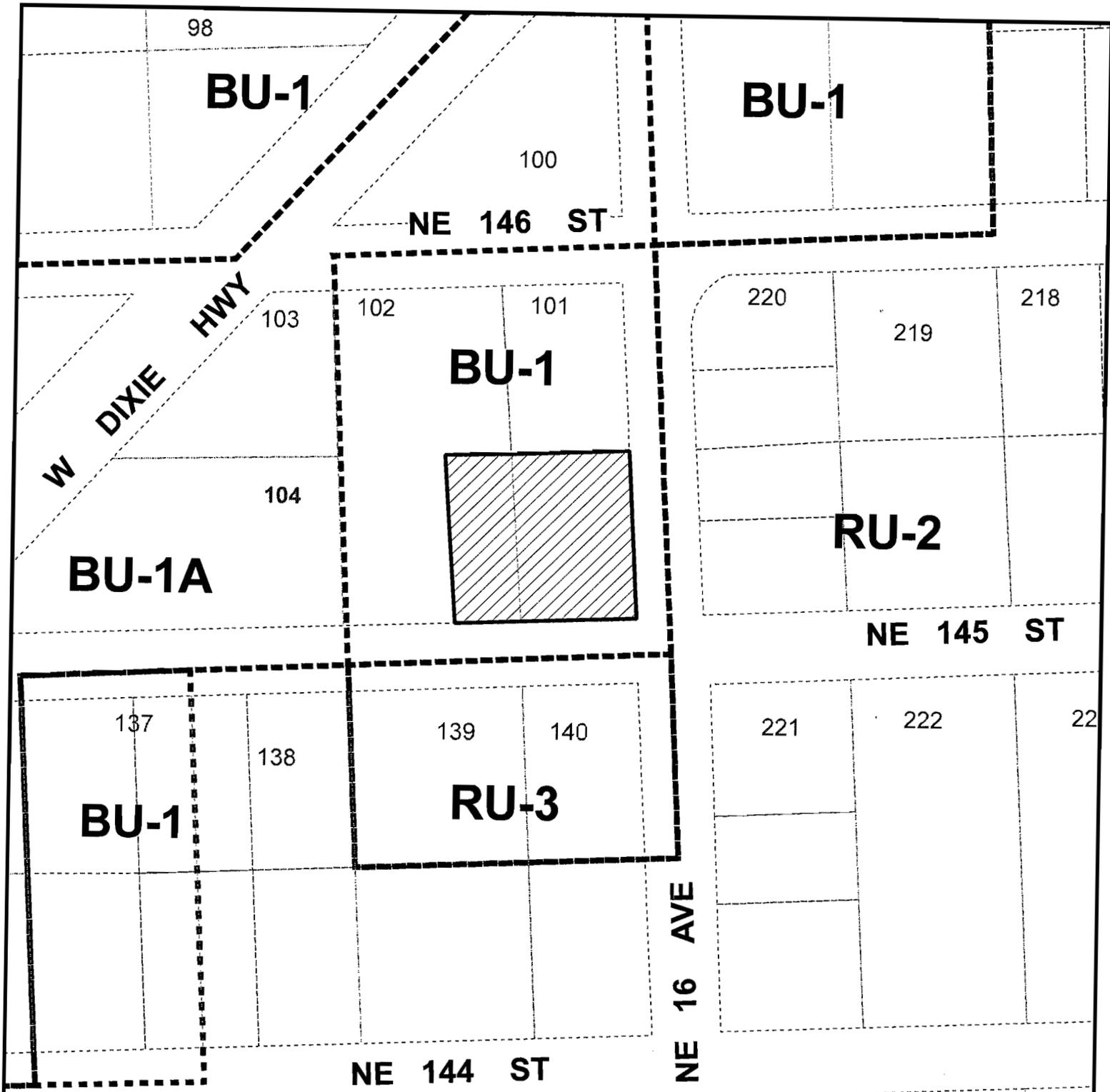
EXISTING  
REAR ELEVATION (N)  
SCALE: 3/16" = 1'-0"

**RECEIVED**  
210-175  
MAR 09 2011  
ZONING HEARINGS SECTION  
MIAMI-DADE PLANNING AND ZONING DEPT.  
BY: AH

RECEIVED  
MAR 10 2011  
PLANNING & ZONING DEPT.

DATE	REV-B	CHK
DWG. TITLE	ELEVATIONS FRONT & REAR	
SCALE	AS SHOWN	
BY	JCS	R.C.
PROJECT NO.		
DATE	05-05-2010	
SHEET NUMBER	A.3.0	





**MIAMI-DADE COUNTY**  
**HEARING MAP**

Process Number  
**Z2010000175**



Section: 20 Township: 52 Range: 42  
 Applicant: JENE'S RETIREMENT INVESTORS, LTD  
 Zoning Board: C8  
 Commission District: 2  
 Drafter ID: JEFFER GURDIAN  
 Scale: NTS

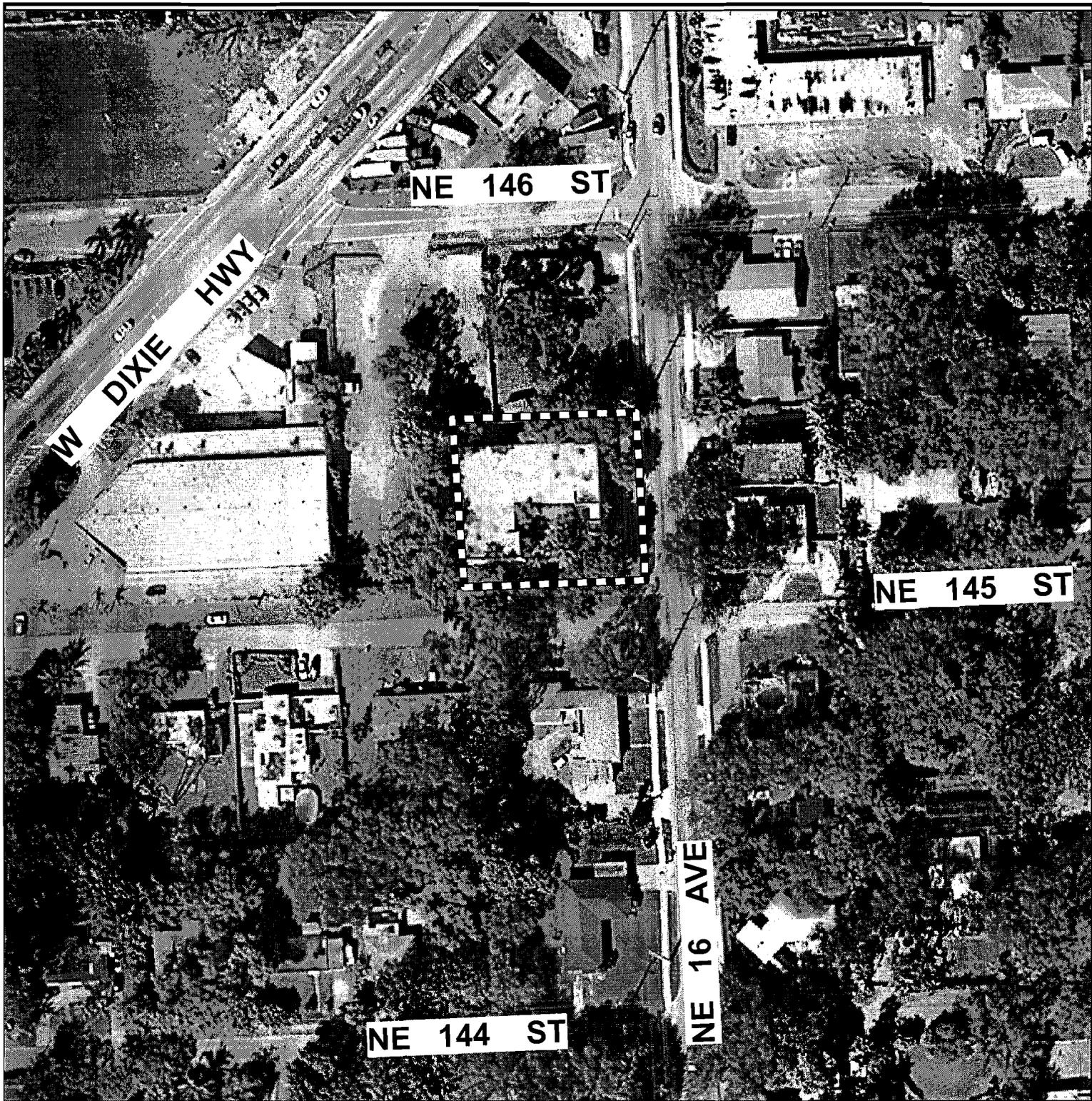
**Legend**

 Subject Property Case



SKETCH CREATED ON: Thursday, October 14, 2010

REVISION	DATE	BY
	3/31	



**MIAMI-DADE COUNTY**  
**AERIAL YEAR 2009**

Process Number

**Z2010000175**



Section: 20 Township: 52 Range: 42  
 Applicant: JENE'S RETIREMENT INVESTORS, LTD  
 Zoning Board: C8  
 Commission District: 2  
 Drafter ID: JEFFER GURDIAN  
 Scale: NTS

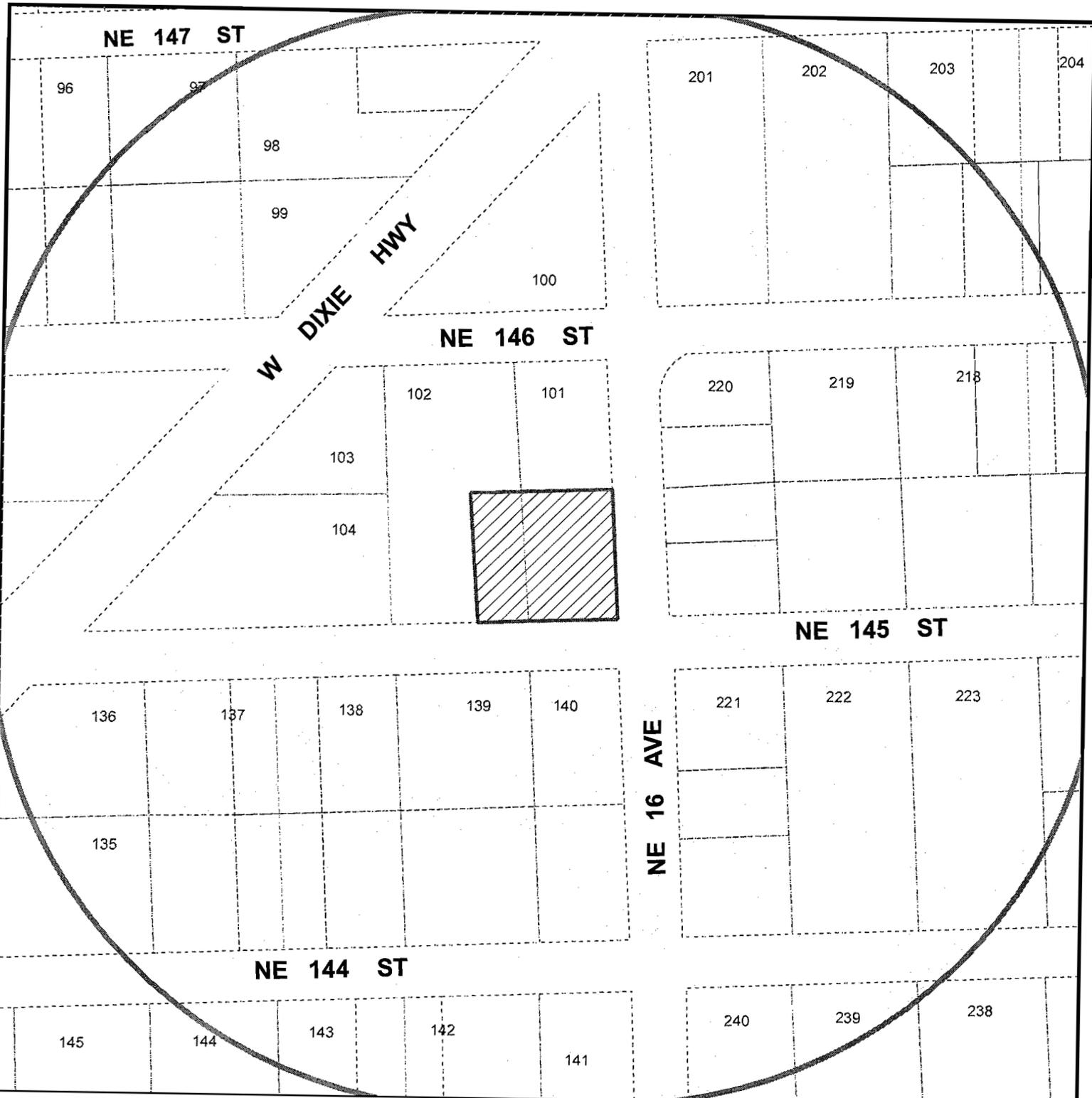
Legend

 Subject Property



SKETCH CREATED ON: Thursday, October 14, 2010

REVISION	DATE	BY
	34	



**MIAMI-DADE COUNTY  
RADIUS MAP**

Process Number

**Z2010000175**

RADIUS: 500

Section: 20 Township: 52 Range: 42  
 Applicant: JENE'S RETIREMENT INVESTORS, LTD  
 Zoning Board: C8  
 Commission District: 2  
 Drafter ID: JEFFER GURDIAN  
 Scale: NTS

**Legend**

-  Subject Property
-  Buffer



SKETCH CREATED ON: Thursday, October 14, 2010

REVISION	DATE	BY

**Miami-Dade County Department of Permitting, Environment and Regulatory Affairs  
Staff Report to Community Council No. 8**

**PH: Z08-096 (11-12-CZ8-1)**

**December 1, 2011**

Item No. 1

<b>Recommendation Summary</b>	
<b>Commission District</b>	6
<b>Applicant</b>	WRC Properties, Inc.
<b>Summary of Requests</b>	The applicant is seeking to permit a hotel and an office building to setback less than required from property lines and to waive building height requirements.
<b>Location</b>	North of NW 7 Street, between NW 62 Avenue and NW 65 Avenue, Miami-Dade County, Florida.
<b>Property Size</b>	21.71-acres
<b>Existing Zoning</b>	IU-2
<b>Existing Land Use</b>	Vacant
<b>2015-2025 CDMP Land Use Designation</b>	Office/Residential (see attached Zoning Recommendation Addendum)
<b>Comprehensive Plan Consistency</b>	Consistent with interpretative text, goals, objectives and policies of the CDMP
<b>Applicable Zoning Code Section(s)</b>	Section 33-311(A)(4)(b) Non-Use Variances From Other Than Airport Regulations (see attached Zoning Recommendation Addendum)
<b>Recommendation</b>	<b>Approval with conditions</b>

**REQUESTS:**

- (1) NON-USE VARIANCE to permit a hotel setback a minimum of 56' (69.76' required) from the side street (west) property line.
- (2) NON-USE VARIANCE to permit an office building setback 34.1' (47.1' required) from the side street (east) property line.
- (3) NON-USE VARIANCE to waive the zoning regulations limiting the building height to be no greater than the width of the widest street on which it abuts; to permit buildings with a height varying from 134.8' to 150.6' abutting a 100' wide street.

Plans are on file and may be examined in the Department of Permitting, Environment and Regulatory Affairs entitled "Waterford Core," as prepared by TVS Florida, Inc., Architecture. Sheets A-100.1, A-101.1, A-102.1, A-103.1 & A-104.1 dated stamped received 6/30/11. Sheets 203, 204, 208, 209, 213, 214, 305, 402, 504, and 605 dated stamped received 7/14/11 and the remaining 31 sheets dated stamped received 5/31/11 and plans entitled "Renaissance Hotel" as prepared by Cubellis Architect consisting of 8 sheets, dated stamped received 5/31/11 for a total of 54 sheets. Plans may be modified at public hearing.

**PROJECT DESCRIPTION:**

In 1990, pursuant to Resolution No. Z-32-90 the Board of County Commissioners approved the request for a Development of Regional Impact (DRI) for WRC Properties, Inc. The Waterford at Blue Lagoon DRI was approved for 3.7 million sq. ft. of offices, 100,000 sq. ft. of support retail uses, restaurants with a combined total of 750 seats, a health club consisting of 10,000 sq. ft. and three (3) hotels with a combined total of 1,200 rooms. The DRI was granted approval for several Substantial Deviation Determination requests, the most recent being in 1998. Pursuant

to Resolution No. Z24-98, the Waterford at Blue Lagoon DRI was approved for 4.43 million sq. ft. of offices, 30,000 sq. ft. of support retail uses, restaurants with a combined total of 500 seats, a health club consisting of 10,000 sq. ft. and five (5) hotels with a combined total of 1,400 rooms. The approval increased the office space by 730,000 sq. ft. and the number of hotels by 2 with an additional 200 rooms, the resolution reduced the support retail space by 70,000 sq. ft. and reduced the combined total number of restaurant seating by 250 seats.

This application seeks to develop three (3) office buildings consisting of 787,500 sq. ft., one (1) hotel with 443 rooms, four (4) parking structures for 3,200 vehicles and one (1) 6,800 sq. ft. retail building on the subject property. The proposed development stays within the thresholds of the overall development parameters of the approved DRI.

<b>NEIGHBORHOOD CHARACTERISTICS</b>		
	<b>Zoning and Existing Use</b>	<b>Land Use Designation</b>
<b>Subject Property</b>	IU-2; vacant	Office/Residential and Water
<b>North</b>	IU-2; office buildings	Office/Residential
<b>South</b>	IU-2; vacant and office building	Office/Residential
<b>East</b>	IU-2; office buildings	Office/Residential and Water
<b>West</b>	IU-2; office building	Office/Residential and Water

**NEIGHBORHOOD COMPATIBILITY:**

The subject property is a part of the Waterford at Blue Lagoon Development of Regional Impact (DRI) and is located north of NW 7 Street between NW 62 Avenue and NW 65 Avenue. The surrounding area is characterized by office buildings and lakes.

**SUMMARY OF THE IMPACTS:**

Approval of this application could have a positive impact on the economy of Miami-Dade County and provide jobs to County residents. Staff notes that approval of this application will result in additional traffic in the area surrounding the proposed development, however the proposed development is within the thresholds of the Waterford at Blue Lagoon DRI.

**CDMP ANALYSIS:**

The subject property is designated as **Office/Residential** on the Adopted 2015-2025 Land Use Plan (LUP) map. The CDMP interpretative text under the Office/Residential land use category describes the *uses allowed in this category which include both professional and clerical offices, hotels, motels, and residential uses.* The approval of the requests sought in this application will permit the applicant to develop the subject site with three (3) office buildings, a 443 room hotel, four (4) parking structures and a retail building. The proposed uses are consistent with the uses described in the CDMP Office/Residential land use category, and are **consistent** with the LUP map designation for the property. The location of proposed development is within close proximity to Miami International Airport and just south of SR 836 (Dolphin Expressway) and therefore furthers **Objective LU-1** which indicates that *the location and configuration of Miami-Dade County's urban growth through the year 2025 shall emphasize concentration and intensification of development around centers of activity, development of well designed communities containing a variety of uses, housing types and public services, renewal and*

*rehabilitation of blighted areas, and contiguous urban expansion when warranted, rather than sprawl.* Further, staff opines that the proposed uses are **compatible** with the surrounding area. The plans submitted with this application depict buildings with heights, scale and bulk similar to those in the surrounding area. Therefore, in staff's opinion, the proposed development is **consistent with Objective LU-4** which states that *Miami-Dade County shall, by the year 2015, reduce the number of land uses, which are inconsistent with the uses designated on the LUP map and interpretive text, or with the character of the surrounding community.*

#### **ZONING ANALYSIS:**

When requests #1 through #3 are analyzed under the Non-Use Variances From Other Than Airport Regulations, Section 33-311(A)(4)(b), staff is of the opinion that the approval of the requests would be **compatible** with the surrounding area, would not be detrimental to the neighborhood and would not affect the stability and appearance of the community. The surrounding area is characterized by office buildings and lakes. Staff found similar approvals in the area for building height and setbacks. Pursuant to Resolution No. CZAB8-10-03 and Resolution No. 5-ZAB-238-97 properties located to the east of the subject property on the east side of NW 62 Avenue were granted approval for building height greater than permitted. Additionally, a property located just east of NW 57 Avenue and north of Blue Lagoon Drive, was granted approval for an office building to setback less than required from the side street and building height greater than permitted, pursuant to Resolution No. CZAB8-13-00. The requests sought in this application, are not out of character with the area and would be consistent with other approvals granted for building height and setbacks.

The proposed development is located within close proximity to Miami International Airport. The Miami-Dade Aviation Department, through its memorandum indicates the proposed development is compatible with operations from Miami International Airport and does not object to the proposed building heights subject to conditions.

Therefore, in staff's opinion, approval of the requests would maintain the basic intent and purpose of the zoning regulations, which is to protect the general welfare of the public, particularly as it affects the stability and appearance of the community and would be **compatible** with same. **As such, staff recommends approval with conditions of requests #1 through #3 under Section 33-311(A)(4)(b), Non-Use Variances From Other Than Airport Regulations.**

#### **ACCESS, CIRCULATION AND PARKING:**

The site plan depicts four (4) parking structures for 3,200 vehicles. The proposed development has three (3) access points located along NW 65 Avenue, NW 7 Street and NW 62 Avenue, respectively. The internal circulation will allow for traffic to flow throughout the development on internal roads that provide access to each parking structure and building. The applicant has provided a connection between the parking structures and the office building or hotel. The connectivity path is covered by canopies that provide protection from inclement weather for pedestrians accessing the buildings.

**NEIGHBORHOOD SERVICES PROVIDER COMMENTS:** See attached.

**OTHER:** N/A

**RECOMMENDATION: Approval with conditions.**

**CONDITIONS FOR APPROVAL:**

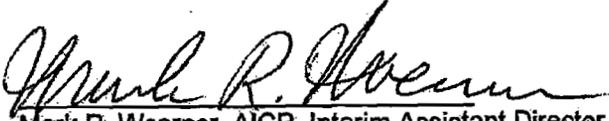
1. That a site plan be submitted to and meet with the approval of the Director of the Department of Permitting, Environment and Regulatory Affairs upon the submittal of an application for a building permit and/or Certificate of Use; said plan to include, but not be limited to, location of structure or structures, exits and entrances, drainage, walls, fences, landscaping, and other requirements.
2. That in the approval of the plan, the same be substantially in accordance with that submitted for the hearing entitled "Waterford Core," as prepared by TVS Florida, Inc., Architecture. Sheets A-100.1, A-101.1, A-102.1, A-103.1 & A-104.1 dated stamped received 6/30/11. Sheets 203, 204, 208, 209, 213, 214, 305, 402, 504, and 605 dated stamped received 7/14/11 and the remaining 31 sheets dated stamped received 5/31/11 and plans entitled "Renaissance Hotel" as prepared by Cubellis Architect consisting of 8 sheets, dated stamped received 5/31/11 for a total of 54 sheets. Plans may be modified at public hearing.
3. That the use be established and maintained in accordance with the approved plan.
4. That the applicant obtain a Certificate of Use from and promptly renew the same annually with the Department of Permitting, Environment and Regulatory Affairs, upon compliance with all terms and conditions, the same subject to cancellation upon violation of any of the conditions.
5. That the applicant comply with all applicable conditions and requirements of the Miami-Dade Aviation Department.

CD:ES:GR:NN:CH:AN



Charles Danger, P.E., Interim Director  
Miami-Dade County Department of  
Permitting, Environment and Regulatory Affairs

*NON  
GMA  
EP*



Mark R. Woerner, AICP, Interim Assistant Director of Planning  
Miami-Dade County Department of  
Sustainability, Planning and Economic Enhancement

*NON  
EP*

- ZONING RECOMMENDATION ADDENDUM
- HISTORY
- MOTION SLIPS\*
- DEPARTMENT MEMORANDA
- DISCLOSURE OF INTEREST\*
- HEARING PLANS\*
- MAPS
- \*If applicable

# ZONING RECOMMENDATION ADDENDUM

WRC Properties, Inc.  
Z08-096

<b>NEIGHBORHOOD SERVICES PROVIDER COMMENTS*</b>	
Aviation	No objection
Permitting, Environment and Regulatory Affairs	No objection
Public Works and Waste Management	No objection
Parks, Recreation and Open Space	No objection
Fire Rescue	Objects
Police	No objection
Schools	No objection
*Subject to conditions in the Department's attached memorandum.	

## COMPREHENSIVE DEVELOPMENT MASTER PLAN (CDMP) OBJECTIVES, POLICIES AND INTERPRETATIVE TEXT

<b>Office/Residential (Pg. I-43)</b>	<i>Uses allowed in this category include both professional and clerical offices, hotels, motels, and residential uses. Office developments may range from small-scale professional office to large-scale office parks. Satellite telecommunication facilities that are ancillary uses to the businesses in a development are also allowed. A specific objective in designing developments to occur in this category is that the development should be compatible with any existing, or zoned, or Plan-designated adjoining or adjacent residential uses. The maximum scale and intensity, including height and floor area ratio of office, hotel and motel development in areas designated Office/Residential shall be based on such factors as site size, availability of services, accessibility, and the proximity and scale of adjoining or adjacent residential uses. Where the Office/Residential category is located between residential and business categories, the more intensive activities to occur on the office site, including service locations and the points of ingress and egress, should be oriented toward the business side of the site, and the residential side of the site should be designed with sensitivity to the residential area and, where necessary, well buffered both visually and acoustically.</i>
<b>Objective LU-1 (Pg. I-2)</b>	<i>The location and configuration of Miami-Dade County's urban growth through the year 2025 shall emphasize concentration and intensification of development around centers of activity, development of well designed communities containing a variety of uses, housing types and public services, renewal and rehabilitation of blighted areas, and contiguous urban expansion when warranted, rather than sprawl.</i>
<b>Objective LU-4 (Pg. I-11)</b>	<i>Miami-Dade County shall, by the year 2015, reduce the number of land uses, which are inconsistent with the uses designated on the LUP map and interpretive text, or with the character of the surrounding community.</i>

## PERTINENT ZONING REQUIREMENTS/STANDARDS

<b>33-311(A)(4)(b) Non-Use Variances From Other Than Airport Regulations</b>	<i>Upon appeal or direct application in specific cases, the Board shall hear and grant applications for non-use variances from the terms of the zoning and subdivision regulations and may grant a non-use variance upon a showing by the applicant that the non-use variance maintains the basic intent and purpose of the zoning, subdivision and other land use regulations, which is to protect the general welfare of the public, particularly as it affects the stability and appearance of the community and provided that the non-use variance will be otherwise compatible with the surrounding land uses and would not be detrimental to the community. No showing of unnecessary hardship to the land is required.</i>
--	---

**1. WRC PROPERTIES, INC**  
**(Applicant)**

**11-12-CZ8-1 (08-096)**  
**Area 8/District 06**  
**Hearing Date: 12/01/11**

Property Owner (if different from applicant) **WRC PROPERTIES, INC.**

Is there an option to purchase /lease  the property predicated on the approval of the zoning request? Yes  No

Disclosure of interest form attached? Yes  No

**Previous Zoning Hearings on the Property:**

<b><u>Year</u></b>	<b><u>Applicant</u></b>	<b><u>Request</u></b>	<b><u>Board</u></b>	<b><u>Decision</u></b>
1985	Rhomber Realty Holding	- Zone Change.	BCC	Approved w/conds.
1989	W.R.C. Properties, Inc.	- Modification of condition of resolution.	BCC	Approved
1990	WRC Properties, Inc.	- D. R. I.	BCC	Approved w/conds.
1992	WRC Properties, Inc.	- Modification condition of resolution.	BCC	Approved
1996	WRC Properties, Co.	- To make a substantial deviation determination. - Modification of condition of resolution.	BCC	Approved w/conds.
1998	WRC Properties, Inc.	- To make a substantial deviation determination. - Modification of condition of resolution.	C08	Approved w/conds.
1998	WRC Properties, Inc.	- To make a substantial deviation determination. - Modification of condition of resolution.	BCC	Approved w/conds.
2009	WRC & Teachers Insurance & Met Life	- To make a substantial deviation determination. - Modification of condition of resolution.		

Action taken today does not constitute a final development order, and one or more concurrency determinations will subsequently be required. Provisional determinations or listings of needed facilities made in association with this Initial Development Order shall not be binding with regard to future decisions to approve or deny an Intermediate or Final Development Order on any grounds.

**Date:** June 8, 2011  
**To:** Marc C. LaFerrier, AICP, Director  
Department of Planning and Zoning

**From:** Jose Gonzalez, P.E., Assistant Director  
Environmental Resources Management 

**Subject:** C-08 #Z2008000096-2<sup>nd</sup> Revision  
WRC Properties, Inc.  
N.W. 7<sup>th</sup> Street and N.W.65<sup>th</sup> Avenue  
Request to Permit Buildings Height Greater than Permitted and to Permit  
Parking and Landscape Less than Required  
(IU-2) (20.5 Acres)  
51-53-40

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The Department of Environmental Resources Management (DERM) has reviewed the subject application and has determined that it meets the minimum requirements of Chapter 24 of the Code of Miami-Dade County, Florida (the Code). Accordingly, DERM may approve the application, and the same may be scheduled for public hearing.

Potable Water Service and Wastewater Disposal

Public water and public sanitary sewers can be made available to the subject property. Therefore, connection of the proposed development to the public water supply system and sanitary sewer system shall be required in accordance with Code requirements.

Existing public water and sewer facilities and services meet the Level of Service (LOS) standards set forth in the Comprehensive Development Master Plan (CDMP). Furthermore, the proposed development order, if approved, will not result in a reduction in the LOS standards subject to compliance with the conditions required by DERM for this proposed development order.

Notwithstanding the foregoing, and in light of the fact that the County's sanitary sewer system has limited sewer collection, transmission, and treatment capacity, no new sewer service connections can be permitted, unless there is adequate capacity to handle the additional flows that this project would generate. Consequently, final development orders for this site may not be granted if adequate capacity in the system is not available at the point in time when the project will be contributing sewage to the system. Lack of adequate capacity in the system may require the approval of alternate means of sewage disposal. Use of an alternate means of sewage disposal may only be granted in accordance with Code requirements, and shall be an interim measure, with connection to the public sanitary sewer system required upon availability of adequate collection/transmission and treatment capacity.

### Stormwater Management

This application is part of a Development Regional Impact (DRI) order for the Waterford at Blue Lagoon, which has received a conceptual approval by the South Florida Water Management District (SFWMD). Any modification of the site plan approved under the District Permit No. 13-01066-P shall require a permit review by the SFWMD.

### Pollution Remediation

DERM has reviewed the information regarding the above referenced sites and indicates that there are no records of current contamination assessment/remediation issues on these properties.

Please be advised that there are records of current solid waste contamination assessment/remediation issues abutting these properties as follows:

1. Abutting Folio # 30-3051-093-0090 (Airport #1 Dump/Maule Lake Dump/Waterford Project Red Road Dump, 701 NW 62<sup>nd</sup> AVE (#120), SW-1250/F-5443).
2. Abutting Folio #'s 30-3051-093-0120 & -0130 (USPS-Blue Lagoon Facility, NW 62<sup>nd</sup> AVE/NW 7<sup>th</sup> ST, SW-1185/F-13562).
3. Abutting Folio # 30-3051-093-0100 (17 Acre Tract Of Undeveloped Land For The Teachers Insurance And Annuity Association, 6400 NW 7<sup>th</sup> ST, SW-1500/F-21842)

Except as noted above, there are no records of current contamination assessment/remediation issues on any of the other abutting properties.

Please be advised that there are historical records of contamination assessment/remediation issues regarding non-permitted sites associated with these properties (Core Site Development Teacher's Insurance and Annuity Association, approximately NW 65<sup>th</sup> Ave. & theoretical NW 8<sup>th</sup> St., HWR-531/F-18674).

### Coastal Resources

The applicant is advised that docking in the area is restricted by the Miami-Dade County Manatee Protection Plan for "Residential docking: 1 motorboat per 100 feet of shoreline (density limit does not apply to single-family residences) docking access for upland owners. Manatees have occasionally been sighted in waters surrounding the subject site.

### Wetlands

A site inspection performed by DERM staff on October 1, 2008 has revealed that the subject property does not contain jurisdictional wetlands as defined by Chapter 24-5 of the Code. Therefore, a Class IV Wetland Permit will not be required.

The applicant is advised that permits from the Army Corps of Engineers (305-526-7181), the Florida Department of Environmental Protection (561-681-6600) and the South Florida Water Management District (1-800-432-2045) may also be required for the proposed project. It is the applicant's responsibility to contact these agencies.

### Tree Preservation

The subject properties contain tree resources. Section 24-49 of the Code provides for the preservation and protection of tree resources. A Miami-Dade County Tree Removal Permit is required prior to the

removal or relocation of any tree that is subject to the Tree Preservation and Protection provisions of the Code. Said permit shall meet the requirements of Sections 24-49.2 and 24-49.4 of the Code.

The applicant is required to comply with the above tree permitting requirements. DERM's approval of the subject application is contingent upon inclusion of said tree permitting requirements in the resolution approving this application.

The applicant is advised to contact DERM staff for additional information regarding permitting procedures and requirements prior to site development.

#### Enforcement History

DERM has found no open or closed enforcement records for the subject property.

#### Concurrency Review Summary

DERM has conducted a concurrency review for this application and has determined that the same meets all applicable LOS standards for an initial development order, as specified in the adopted CDMP for potable water supply, wastewater disposal, and flood protection. Therefore, the application has been approved for concurrency subject to the comments and conditions contained herein.

This concurrency approval does not constitute a final concurrency statement and is valid only for this initial development order, as provided for in the adopted methodology for concurrency review. Additionally, this approval does not constitute any assurance that the LOS standards would be met by any subsequent development order applications concerning the subject property.

This memorandum shall constitute DERM's written approval, as required by the Code.

If you have any questions concerning the comments, or wish to discuss this matter further, please contact Christine Velazquez at (305) 372-6764.

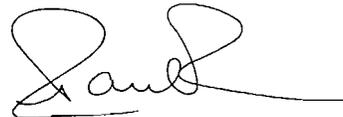
**PUBLIC WORKS DEPARTMENT COMMENTS**

Applicant's Names: WRC PROPERTIES, INC

This Department has no objections to this application.

Additional improvements may be required at time of permitting.

This project meets traffic concurrency because it lies within the urban infill area where traffic concurrency does not apply.

A handwritten signature in black ink, appearing to read "Raul A Pino". The signature is fluid and cursive, with a large initial "R" and "A".

Raul A Pino, P.L.S.

18-AUG-11



Miami-Dade Aviation Department  
P.O. Box 025504  
Miami, Florida 33102-5504  
T 305-876-7000 F 305-876-0948  
www.miami-airport.com

miamidade.gov

Commercial Airport:  
Miami International Airport

General Aviation Airports:  
Dade-Collier Training & Transition  
Homestead General  
Kendall-Tamiami Executive  
Opa-locka  
Opa-locka West

August 15, 2011

Mr. Francisco Hernandez  
ES Consultants, Inc.  
7700 N. Kendall Drive, Suite 607  
Miami, FL 33156

**RE: Determination Number DN-11-08-572 Land Use Zoning and Airspace Analysis  
for the Waterford "Core Site" Project**

Dear Mr. Hernandez:

The Miami-Dade Aviation Department (MDAD) is in receipt of your submittal for a land use zoning/airspace analysis and determination for three office buildings, four parking decks, a retail shop and a hotel located on NW 7<sup>th</sup> Street between NW 65<sup>th</sup> Avenue and Waterford Way (62<sup>nd</sup> Avenue), Miami, Florida.

**Land Use Review:**

Based on the available information, MDAD has determined that the uses as proposed are compatible with operations from Miami International Airport.

**Airspace Review:**

Our review of the plans submitted to our office finds that the maximum heights (which includes the tallest element on the roof, such as the top of any elevator shafts, architectural features, lightning rods, flag poles, etc.) of **159'-6" feet AMSL** for the 3 Office Buildings, **142'-7" feet AMSL** for the Hotel, **62'-7" feet AMSL** for Parking Deck 1, **73'-6" feet AMSL** for Parking Decks 2-4, and **34'-0" feet AMSL** for Retail Building H at this location conform to the amended Miami International Airport (Wilcox Field) Zoning Ordinance, approved by the Miami-Dade County Commission on July 2007.

This height determination is an estimate issued on a preliminary or advisory basis. Please note that as a preliminary height determination it does not constitute approval by MDAD for construction until coordination and a "No-Hazard" determination from the Federal Aviation

August 15, 2011  
Mr. Francisco Hernandez  
Page 2

Administration (FAA) is obtained. Please note, any proposed construction at this location reaching or exceeding 25 feet AMSL (Above Mean Sea Level) is required to be filed with the Federal Aviation Administration (FAA) using Form 7460-1 'Notice of Proposed Construction Alteration for Determination of Known Hazards'. In addition, any construction cranes for this project at this location reaching or exceeding 25 feet AMSL must be filed by the construction contractor using the same form. Thus, for any crane reaching or exceeding 25 feet AMSL, FAA form 7460-1 must be filed. The form is available through this office or through the FAA website: <https://oeaaa.faa.gov>. This form should be mailed to: Federal Aviation Administration, Air Traffic Airspace Branch - ASW-520, 2601 Meacham Blvd, Ft. Worth, TX 76137-0520. Alternatively, the applicant may "e-file" online at <https://oeaaa.faa.gov>. In addition, MDAD's Planning Division must review and approve the construction cranes height and locations associated with this construction project. The crane operator is required to complete a permissible crane height determination form which may be found on the MDAD webpage at the following location: [http://www.miami-airport.com/html/mia\\_planning\\_forms\\_and\\_maps.html](http://www.miami-airport.com/html/mia_planning_forms_and_maps.html) (select "Permissible Crane Height Determination Form"). The completed form is to be submitted to MDAD's Planning Division allowing for 5 days to review and approve the crane(s).

Based on the above, MDAD would not object to a proposed structure height that conforms to the Miami International Airport (Wilcox Field) Zoning Ordinance as long as:

- 1) The FAA determines that the construction of a building at the above mentioned height will not diminish or affect the safety, efficiency or capacity of the Miami International Airport in any way; and
- 2) The FAA issues a "Determination of No Hazard" for this project and location; and
- 3) An interested party does not file a "petition for review" to the FAA's aeronautical study that has yet to be completed for this project and location.

Please note that the airspace review process is governed by two different regulations: the Code of Miami-Dade County Article XXXVII, Miami International Airport (Wilcox Field) Zoning, and Federal Regulation Title 14 Part 77. The FAA has its own airspace evaluation requirements, and issues airspace determinations for structures and cranes based on the particular facts then presented before the FAA. The County's Aviation Department or the applicable municipal building official determines whether the County's height limitations are met, and FAA determines whether FAA building, marking and height requirements are met. It is the responsibility of the Aviation Department to administer and enforce the regulations prescribed in the Miami International Airport (Wilcox Field) Zoning Ordinance.

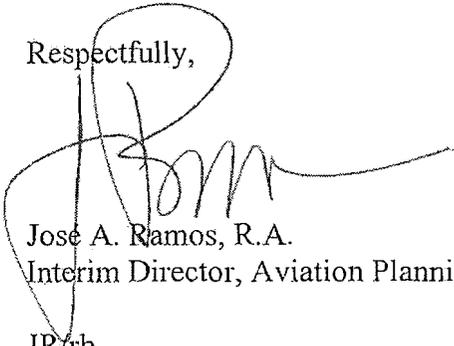
August 15, 2011  
Mr. Francisco Hernandez  
Page 3

Furthermore, please note that upon completion of this project, no Certificate of Use and Certificate of Occupancy shall be issued by a municipality or Miami-Dade County until approval is obtained by this office certifying that the structure was built no higher than the height approved by this letter. The approval shall be issued by this office after submittal by applicant of the required information as outlined in the Miami International Airport (Wilcox Field) Zoning Ordinance, **Section 33-349 Airspace Approvals, Paragraph A, Subsection 2.**

This determination is based, in part, on the description provided to us by you, which includes specific building locations and heights. Any changes in building locations/layouts or heights will void this determination. Any future construction or alteration, including an increase in heights requires separate notice to the FAA and MDAD.

Should you have any questions, please feel free to contact me at 305-876-8080.

Respectfully,

A handwritten signature in black ink, appearing to read 'JR', with a large, loopy flourish extending to the right.

Jose A. Ramos, R.A.  
Interim Director, Aviation Planning Division

JR/rb

C: File Zoning



# Memorandum

**Date:** 02-AUG-11  
**To:** Marc LaFerrier, Director  
 Department of Planning and Zoning  
**From:** Karls Paul-Noel, Interim Director  
 Miami-Dade Fire Rescue Department  
**Subject:** Z2008000096

**Fire Prevention Unit:**

This memo is related to the MDFR memorandum dated July 13, 2011 and other prior MDFR memorandums regarding subject project.

**OBJECTIONS:**

It is recommended that customer schedules a meeting with the Bureau of Fire Engineering to discuss previous Fire objections that have not been addressed.

**Service Impact/Demand**

Development for the above Z2008000096 located at LYING NORTH OF NORTHWEST 7 STREET, BETWEEN 62 AVENUE & 65 AVENUE, MIAMI-DADE COUNTY, FLORIDA.

in Police Grid 1245 is proposed as the following:

<u>N/A</u> residential	dwelling units	<u>N/A</u> industrial	square feet
<u>786,000</u> Office	square feet	<u>N/A</u> institutional	square feet
<u>141,376</u> Retail	square feet	<u>N/A</u> nursing home/hospitals	square feet

Based on this development information, estimated service impact is: 214.9 alarms-annually.  
 The estimated average travel time is: 7:33 minutes

**Existing services**

The Fire station responding to an alarm in the proposed development will be:

Station 40 - West Miami - 975 SW 62 Avenue  
 Rescue, ALS Engine.

**Planned Service Expansions:**

The following stations/units are planned in the vicinity of this development:

None.

**Fire Planning Additional Comments**

Current service impact calculated based on plans.

BUILDING AND NEIGHBORHOOD  
COMPLIANCE DEPARTMENT

ENFORCEMENT HISTORY OF VIOLATIONS OF CHAPTER 19 AND  
CHAPTER 33 OF THE MIAMI-DADE COUNTY CODE

WRC PROPERTIES, INC

LYING NORTH OF NORTHWEST 7  
STREET, BETWEEN 62 AVENUE &  
65 AVENUE, MIAMI-DADE  
COUNTY, FLORIDA.

---

**APPLICANT**

---

**ADDRESS**

Z2008000096

---

**HEARING NUMBER**

**HISTORY:**

OPEN CASES:

Neighborhood Compliance  
None

Building  
None

PREVIOUS CASES:

Neighborhood Compliance  
None

Building  
None

None

**OUTSTANDING FINES, PENALTIES, COST OR LIENS  
INCURRED PURSUANT TO CHAPTER 8CC:**

N/A

# Memorandum



**Date:** June 24, 2011  
**To:** Marc LaFerrier, Director  
Department of Planning and Zoning  
**From:** *M. Nardi* Maria I. Nardi, Chief  
Planning and Research Division  
**Subject:** Z2008000096: Waterford Core Development  
Revised plans dated stamped received 5/26/11

---

**Application Name:** Waterford Core Development.

**Project Location:** The site is located at the northwest intersection of NW 7<sup>th</sup> Street and 62<sup>nd</sup> Avenue, Miami-Dade County.

**Proposed Development:** The applicant is requesting an unusual use approval and non-use variances associated with a revised site plan to permit a retail development. Revised plans dated stamped received 5/26/11 have been submitted for review.

**Impact and demand:** Because this application does not generate any residential population, the CDMP Open Space Spatial Standards do not apply and this Department has no objection to this application.

We have no comments concerning impact or demand on existing County parks, proposed or budgeted service expansion, nor do we perform a concurrency review.

If you need additional information or clarification on this matter, please contact John Bowers at (305) 755-5447.

MN:jb

Cc: John M. Bowers, RLA/AICP, Landscape Architect 2

**DISCLOSURE OF INTEREST\***

If a **CORPORATION** owns or leases the subject property, list principal stockholders and percent of stock owned by each. [Note: Where principal officers or stockholders consist of other corporation(s), trust(s), partnership(s) or similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest.]

<b>CORPORATION NAME:</b> WRC Properties, Inc.	
<b>NAME AND ADDRESS</b>	<b>Percentage of Stock</b>
730 Third Avenue New York, NY 11017	A wholly owned subsidiary of Teachers Insurance and Annuity Association of America which is a not-for-profit corporation, chartered as a life insurance company under the laws of the State of New York, and has no shareholders

**NOTICE:** For changes of ownership or changes in purchase contracts after the date of the application, but prior to the date of final public hearing, a supplemental disclosure of interest is required.

The above is a full disclosure of all parties of interest in this application to the best of my knowledge and belief.

**WRC Properties, Inc.**

By:   
 Title: **MARK YACOVETTA**  
**DIRECTOR**

Sworn to and subscribed before me this 15<sup>th</sup> day of January, 2008. Affiant is personally known to me or has produced \_\_\_\_\_ as identification.

  
 (Notary Public) **DEBORAH L. SMITH**

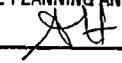
**DEBORAH L SMITH**  
**NOTARY PUBLIC**  
**MECKLENBURG COUNTY, NC**  
 My Commission Expires Dec. 7, 2011

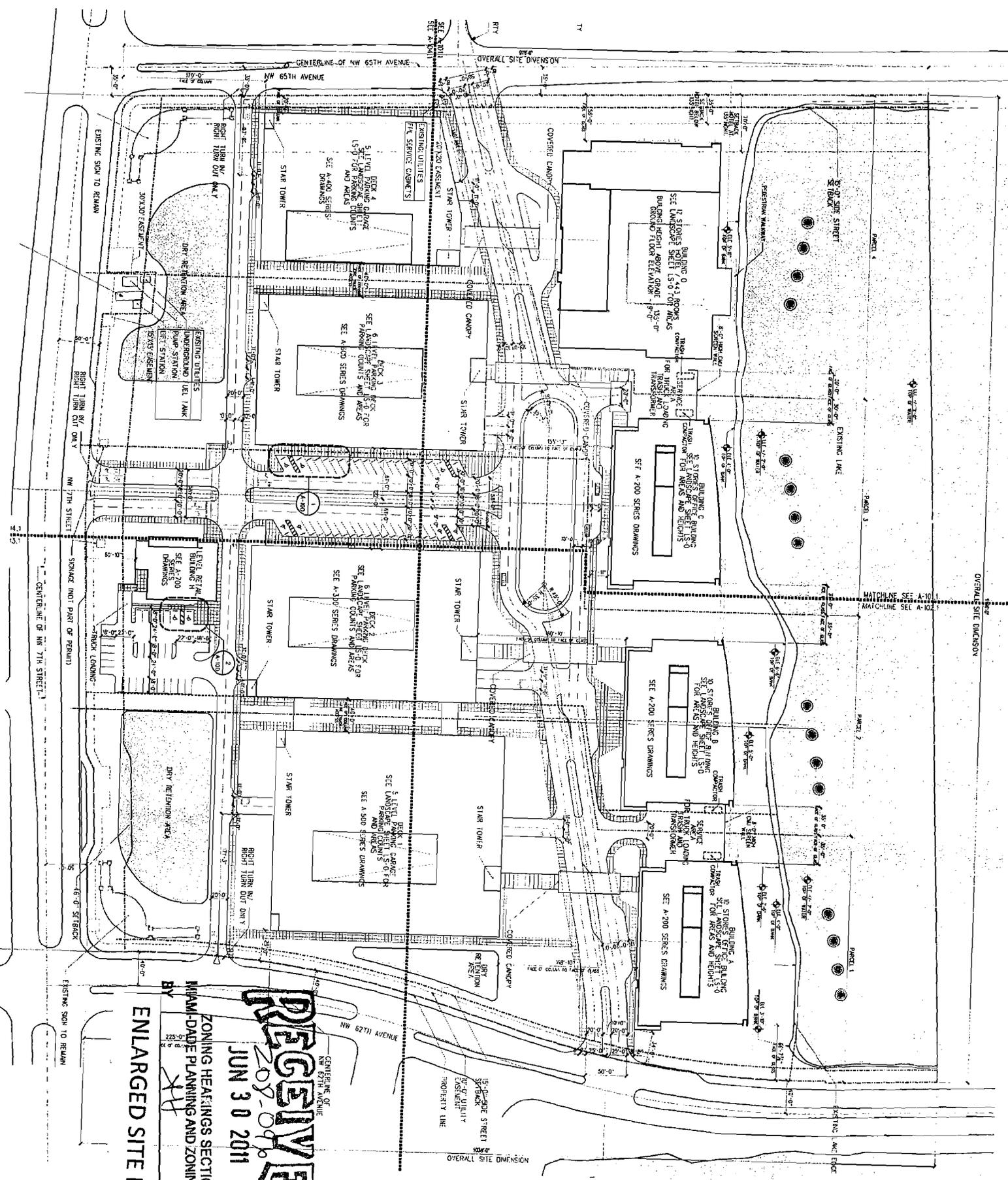
My commission expires \_\_\_\_\_

\* Disclosure shall not be required of: 1) any entity, the equity interests in which are regularly traded on an established securities market in the United States or another country; or 2) pension funds or pension trusts of more than five thousand (5,000) ownership interests; or 3) any entity where ownership interests are held in a partnership, corporation or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership and where no one (1) person or entity holds more than a total of five percent (5%) of the ownership interest in the partnership, corporation or trust. Entities whose ownership interests are held in a partnership, corporation, or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership, shall only be required to disclose those ownership interest which exceed five (5) percent of the ownership interest in the partnership, corporation or trust.

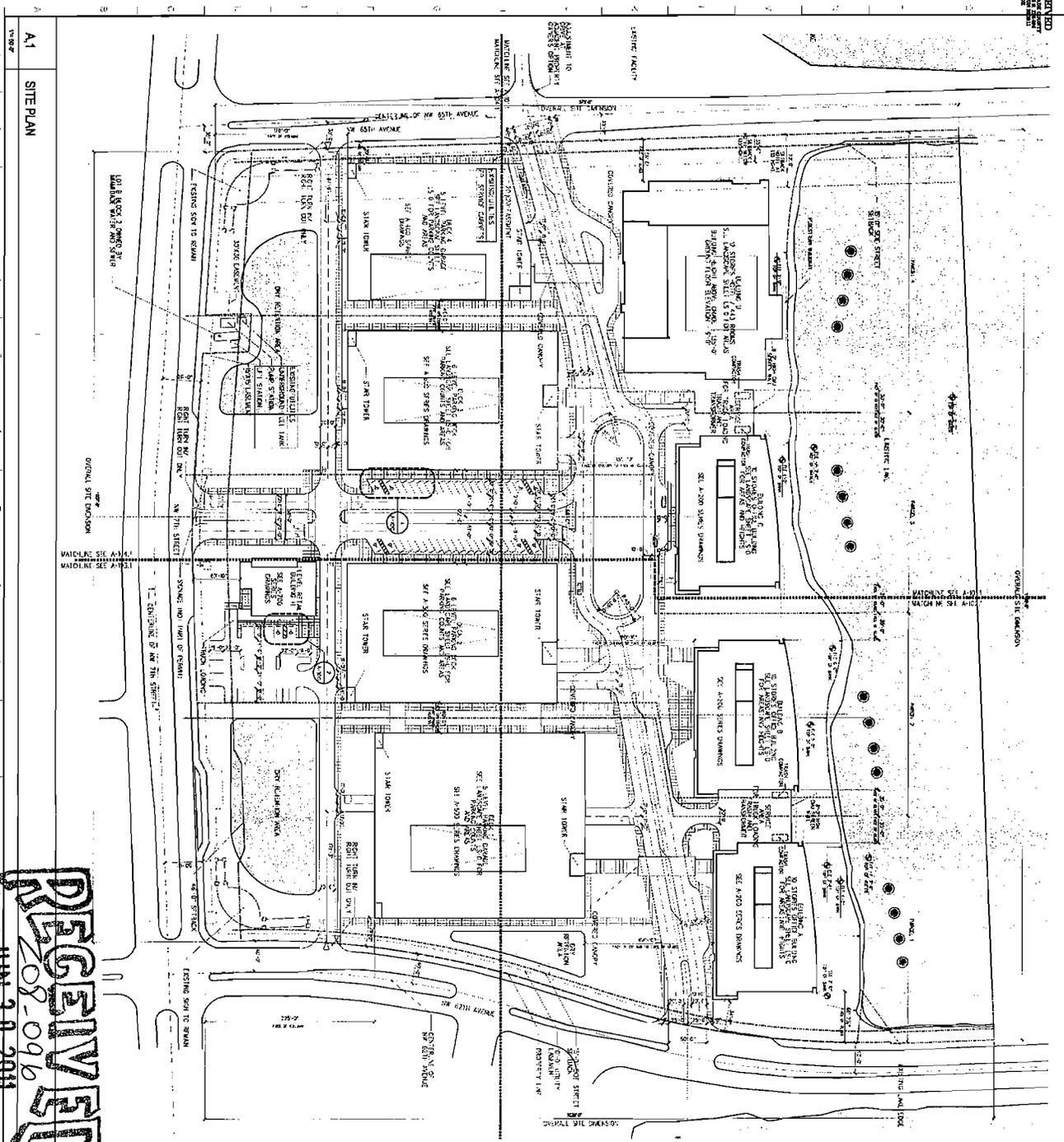
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 208-098  
**MAY 21 2008**

ZONING HEARINGS SECTION  
 MIAMI-DADE PLANNING AND ZONING DEPT.

BY 



ZONING HEARINGS SECTION  
 MIAMI-DADE PLANNING AND ZONING DEPT.  
 JUN 30 2011  
**RECEIVED**  
 ENLARGED SITE PLAN



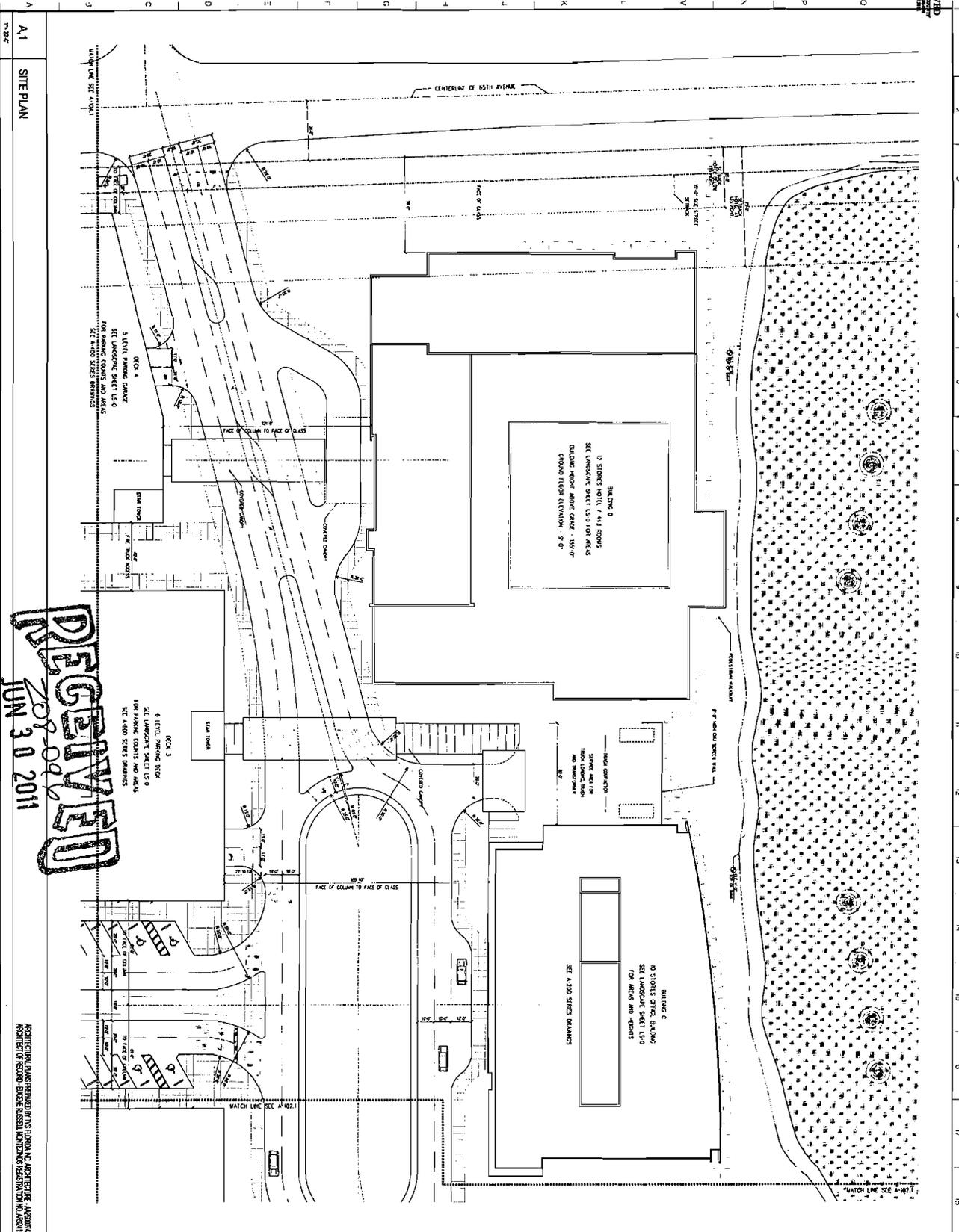
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 JUN 30 2014  
 208-096

ZONING HEARINGS SECTION  
 MIAMI-DADE PLANNING AND ZONING DEPT.  
 BY                     

<b>ZONING - A-100 SITE PLAN</b> TOTAL GROSS AREA OF PROPOSED BUILDINGS TOTAL GROSS AREA OF PROPOSED PARKING TOTAL GROSS AREA OF PROPOSED PERMITS TOTAL GROSS AREA OF PROPOSED PERMITS TOTAL GROSS AREA OF PROPOSED PERMITS TOTAL GROSS AREA OF PROPOSED PERMITS	
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**WATERFORD CORE**  
WATERFORD CORE  
WATERFORD CORE

**KEYNOTE LEGEND**



A1 SITE PLAN

**RECEIVED**  
JUN 30 2011

ZONING HEARINGS SECTION 13  
MIAMI-DADE PLANNING AND ZONING DEPT.  
BY *[Signature]*

APPROPRIAL PLANS PREPARED BY THE BUREAU OF ARCHITECTURE, LANDMARKS  
PROTECTED BY RESOLUTION 2008-100 (FUSSELL) LANDMARKS RESERVATION IN ARTISTS

**tvs**  
TERRACON CONSULTANTS  
ARCHITECTS AND PLANNERS  
1100 BAYVIEW BLVD., SUITE 1000  
MIAMI, FL 33133  
TEL: 305.371.1100  
WWW.TVSARCHITECTS.COM

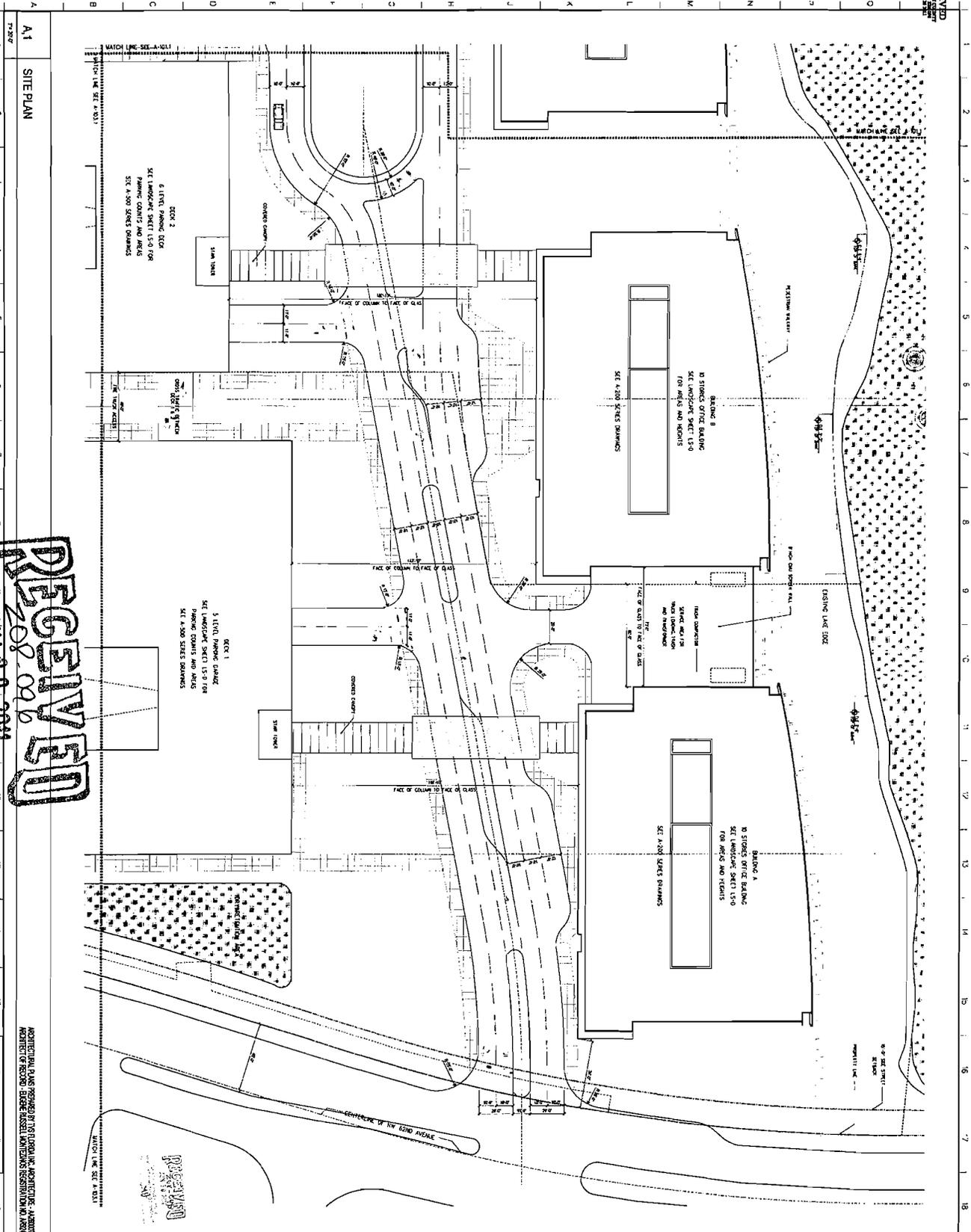
**KEYNOTE LEGEND**

1. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.  
2. DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.  
3. DIMENSIONS TO CENTERLINE UNLESS OTHERWISE NOTED.  
4. DIMENSIONS TO FACE OF COLUMN UNLESS OTHERWISE NOTED.  
5. DIMENSIONS TO FACE OF GLASS UNLESS OTHERWISE NOTED.  
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8. DIMENSIONS TO FACE OF BRICK UNLESS OTHERWISE NOTED.  
9. DIMENSIONS TO FACE OF STONE UNLESS OTHERWISE NOTED.  
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15. DIMENSIONS TO FACE OF TERRAZZO UNLESS OTHERWISE NOTED.  
16. DIMENSIONS TO FACE OF MARBLE UNLESS OTHERWISE NOTED.  
17. DIMENSIONS TO FACE OF GRANITE UNLESS OTHERWISE NOTED.  
18. DIMENSIONS TO FACE OF SLATE UNLESS OTHERWISE NOTED.  
19. DIMENSIONS TO FACE OF SCHIST UNLESS OTHERWISE NOTED.  
20. DIMENSIONS TO FACE OF QUARTZITE UNLESS OTHERWISE NOTED.  
21. DIMENSIONS TO FACE OF SOAPSTONE UNLESS OTHERWISE NOTED.  
22. DIMENSIONS TO FACE OF SLATE UNLESS OTHERWISE NOTED.  
23. DIMENSIONS TO FACE OF MARBLE UNLESS OTHERWISE NOTED.  
24. DIMENSIONS TO FACE OF GRANITE UNLESS OTHERWISE NOTED.  
25. DIMENSIONS TO FACE OF SLATE UNLESS OTHERWISE NOTED.

NO.	DESCRIPTION	DATE	BY	CHECKED
1	ISSUE FOR PERMITTING	05/14/11	[Signature]	[Signature]
2	ISSUE FOR PERMITTING	05/14/11	[Signature]	[Signature]
3	ISSUE FOR PERMITTING	05/14/11	[Signature]	[Signature]
4	ISSUE FOR PERMITTING	05/14/11	[Signature]	[Signature]
5	ISSUE FOR PERMITTING	05/14/11	[Signature]	[Signature]
6	ISSUE FOR PERMITTING	05/14/11	[Signature]	[Signature]
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18	ISSUE FOR PERMITTING	05/14/11	[Signature]	[Signature]
19	ISSUE FOR PERMITTING	05/14/11	[Signature]	[Signature]
20	ISSUE FOR PERMITTING	05/14/11	[Signature]	[Signature]
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23	ISSUE FOR PERMITTING	05/14/11	[Signature]	[Signature]
24	ISSUE FOR PERMITTING	05/14/11	[Signature]	[Signature]
25	ISSUE FOR PERMITTING	05/14/11	[Signature]	[Signature]

**WATERFORD CORE**  
NSF FOUNDATION  
PHASE 1B  
SITE PLAN

DATE: 05/14/11  
SCALE: AS SHOWN  
PROJECT NO: A-101.1



A1 SITE PLAN

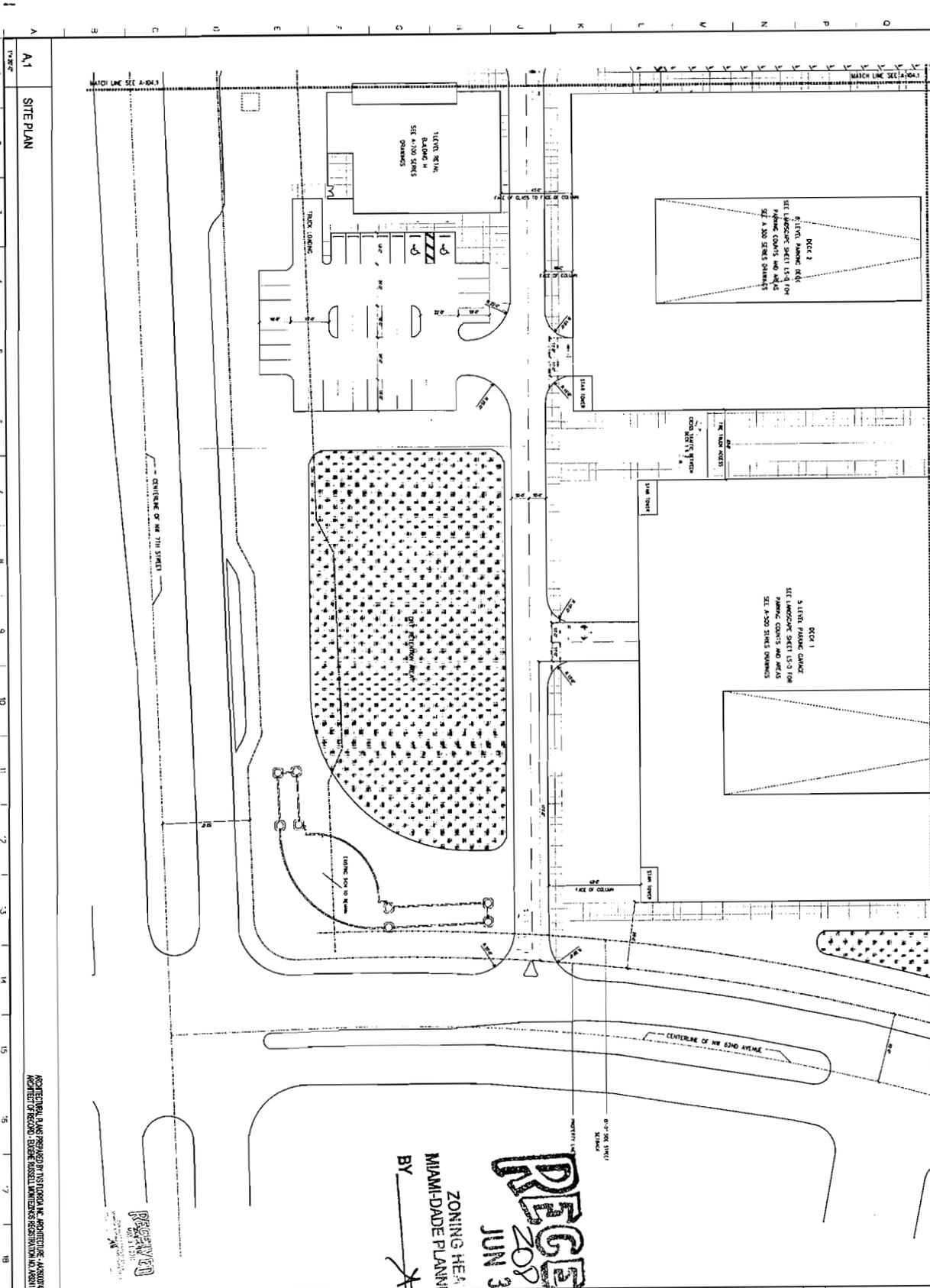
**RECEIVED**  
 JUN 30 2011

ZONING HEARINGS SECTION  
 MIAMI-DADE PLANNING AND ZONING DEPT.  
 BY *[Signature]*

AGRICULTURAL PLANS PREPARED BY THE FURBON INC., AGRICULTURE, ANIMATING  
 ARCHITECTURE RECORDS, ELIZABETH HANSEL, MANAGING ARCHITECTURE AND DESIGN

<p>THE FURBON INC. ARCHITECTURE        1000 BAYVIEW BLVD., SUITE 1000        MIAMI, FL 33134        TEL: 305.371.1111        FAX: 305.371.1112        WWW.TVSONLINE.COM</p>	
<p><b>KEYNOTE LEGEND</b></p> <p>1. EXISTING BUILDING        2. EXISTING PAVEMENT        3. EXISTING SIDEWALK        4. EXISTING LANE EDGE        5. EXISTING DRIVEWAY        6. EXISTING UTILITY        7. EXISTING TREE        8. EXISTING LANDSCAPE        9. EXISTING FENCE        10. EXISTING WALL        11. EXISTING CURB        12. EXISTING DRIVEWAY CURB        13. EXISTING DRIVEWAY PAVEMENT        14. EXISTING DRIVEWAY SIDEWALK        15. EXISTING DRIVEWAY UTILITY        16. EXISTING DRIVEWAY WALL        17. EXISTING DRIVEWAY FENCE        18. EXISTING DRIVEWAY LANDSCAPE        19. EXISTING DRIVEWAY CURB</p>	
<p><b>WATERFORD CORE</b>        MIAMI-DADE COUNTY        LAND RECORDS DEPT.</p>	
<p>Project No. _____        Drawing No. _____        Date: _____</p>	<p>Site Plan        A-102.1</p>

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ZONING HEALTH AND SAFETY SECTION  
MIAMI-DADE PLANNING AND ZONING DEPT.  
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**KEYNOTE LEGEND**

**tvs**  
THE BIRDSONG COMPANY  
11000 W. 110th Street, Suite 100  
Miami, FL 33156  
Phone: 305.444.1100  
Fax: 305.444.1101  
www.tbcorp.com

**WATERFORD CORE**  
N.E. 62ND AVENUE  
WATERFORD CORE  
WATERFORD CORE

**SITE PLAN**

Project No. **A-103.1**

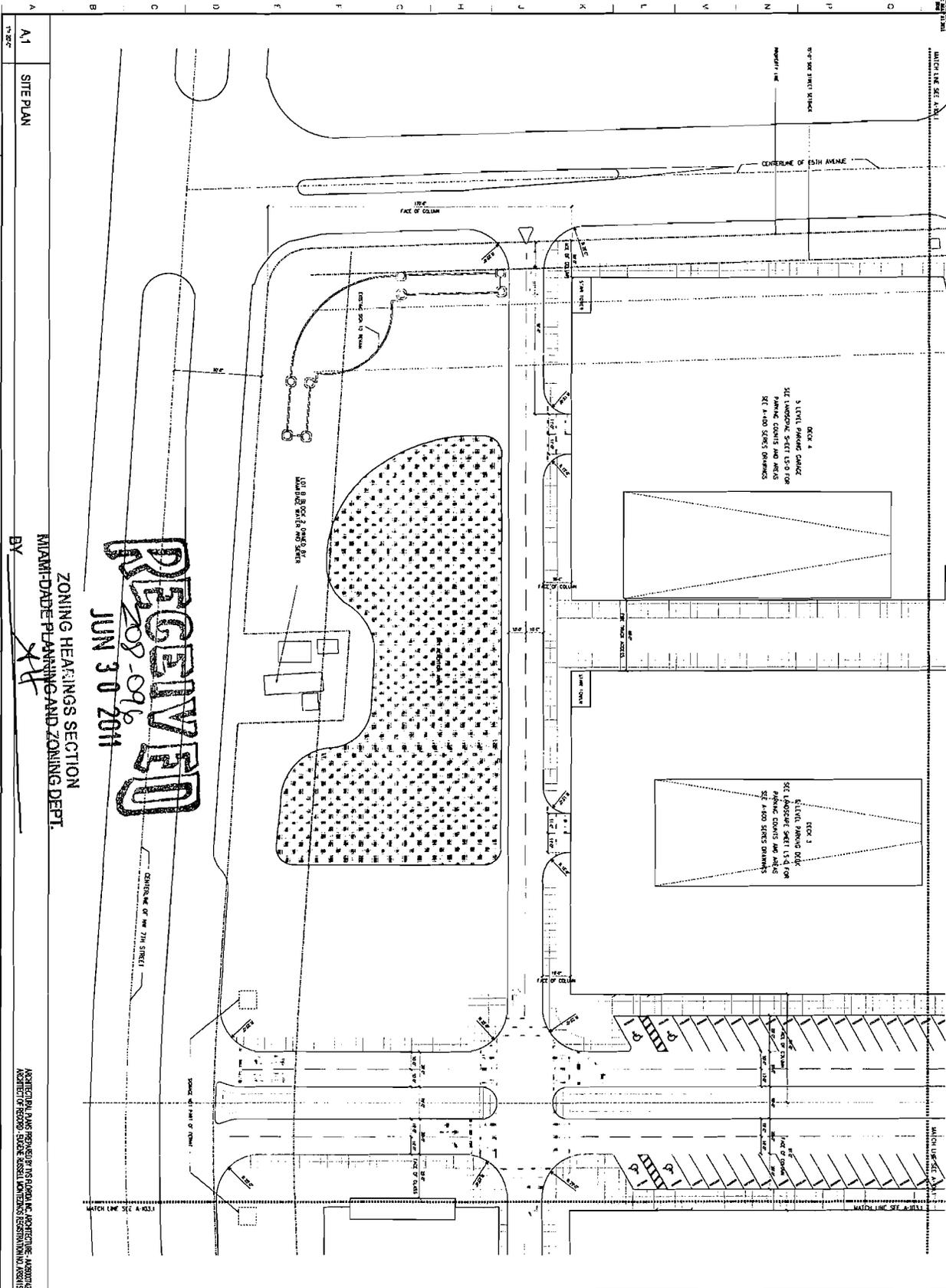
Scale: **1/8" = 1'-0"**

DATE: **07/27/09**

DATE: **07/27/09**

DATE: **07/27/09**

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MAY 14 2011  
MAY 14 2011



A1 SITE PLAN

ZONING HEARINGS SECTION  
MIAMI-DADE PLANNING AND ZONING DEPT.  
BY *[Signature]*

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JUN 30 2011

RECEIVED AND REPLICATED FOR THE ARCHITECTS, LANDSCAPE ARCHITECTS AND ENGINEERS, AND THE ARCHITECTS OF RECORD. SUCH REPLICATIONS SHALL BE LIMITED TO THE ORIGINAL ARCHITECT'S DESIGN.

**WATERFORD CORE**  
MAY 2010  
DATE FOR PLANS

**SITE PLAN**  
PROJECT NO. 104.1  
DATE FOR PLANS 05/10/10

Scale: 1" = 30'-0"

**KENNNOTE LEGEND**

1. SITE PLAN APPROVAL, RECORD SET  
2. SITE PLAN APPROVAL, RECORD SET  
3. SITE PLAN APPROVAL, RECORD SET  
4. SITE PLAN APPROVAL, RECORD SET

DATE: 05/10/10  
BY: [Signature]

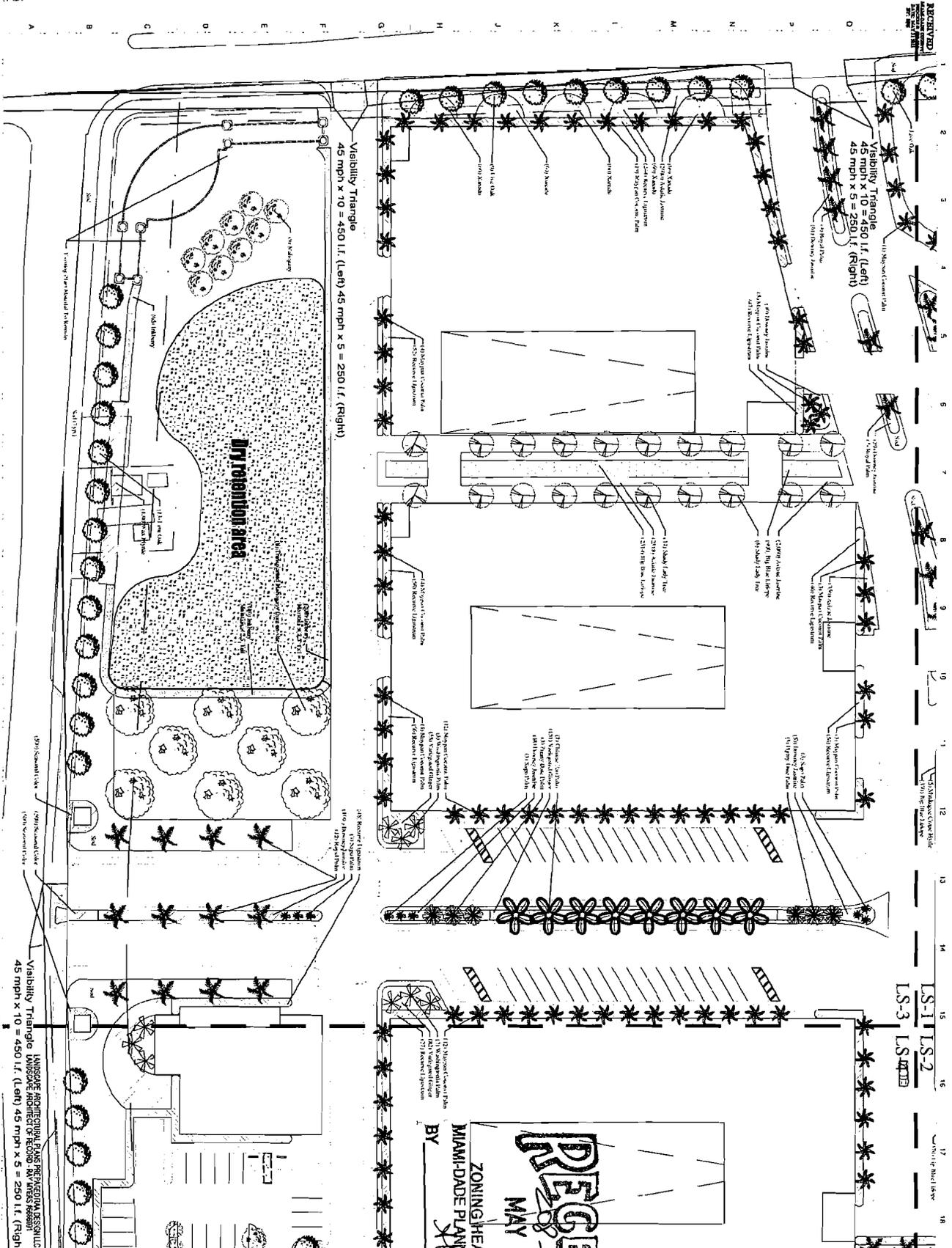








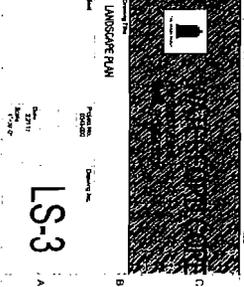
RECEIVED  
MAY 31 2011



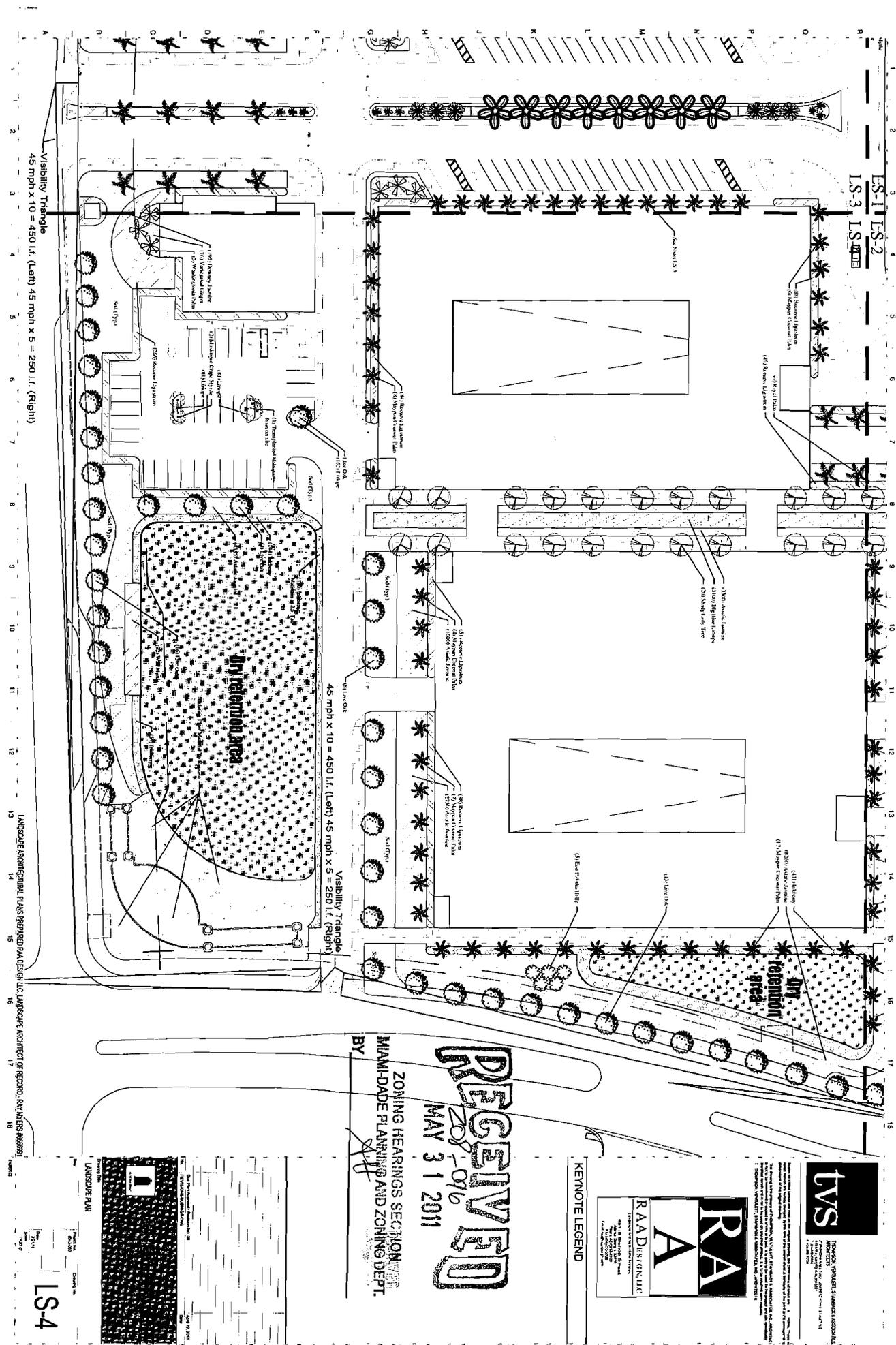
**RECEIVED**  
MAY 31 2011

KEYNOTE LEGEND  
RAAD DESIGN LLC  
4515 N. W. 10th Avenue, Suite 200  
Fort Lauderdale, FL 33309  
Tel: 954.575.1111  
Fax: 954.575.1112  
www.raad.com

MIAMI-DADE PLANNING AND ZONING DEPT.



NOT RELEASED FOR CONSTRUCTION



Visibility Triangle  
 45 mph x 10 = 450 ft. (Left) 45 mph x 5 = 250 ft. (Right)

Visibility Triangle  
 45 mph x 10 = 450 ft. (Left) 45 mph x 5 = 250 ft. (Right)

LANDSCAPE ARCHITECTURAL PLANS PREPARED BY DESIGN LLC, LANDSCAPE ARCHITECTS OF RECORD, AND OTHERS (AS SHOWN)

**LANDSCAPE PLAN**

DATE: 05/01/11

PROJECT: [REDACTED]

SCALE: 1" = 10'

LS-4

**RECEIVED**

2011 MAY 31

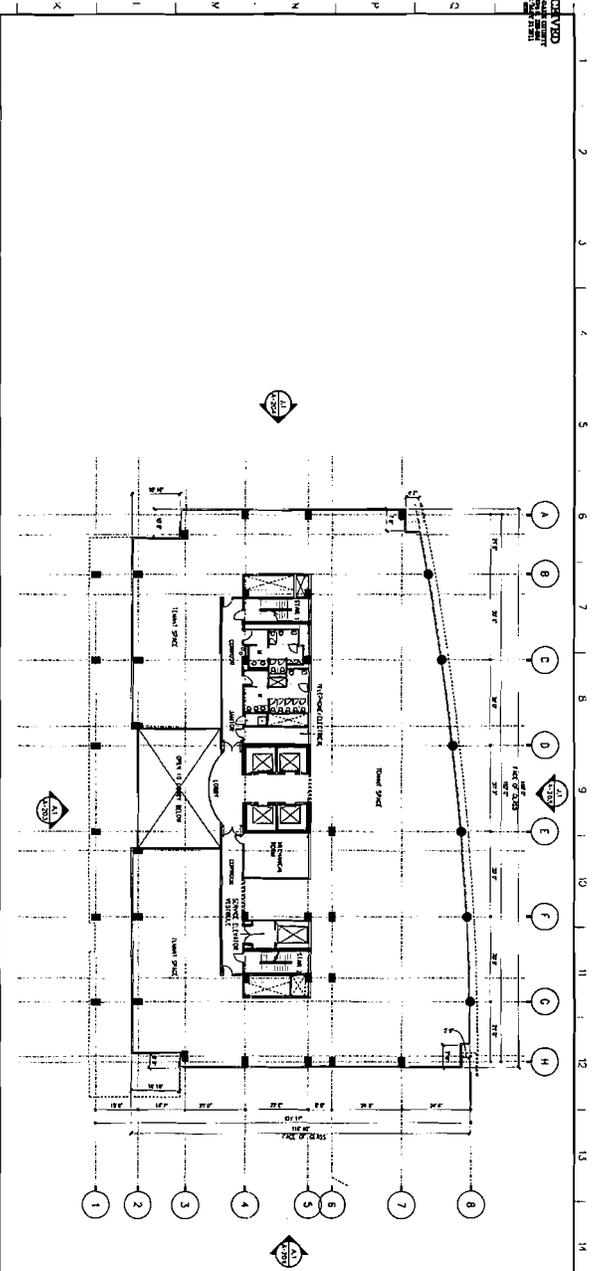
ZONING HEARINGS SECTION  
 MIAMI-DADE PLANNING AND ZONING DEPT.  
 BY [Signature]

**KEYNOTE LEGEND**

**RA**  
 RAADISIGN, LLC  
 4515 N. Kendall Drive  
 Suite 100  
 Miami, FL 33153  
 Phone: (305) 571-1111  
 Fax: (305) 571-1112  
 www.raadisign.com

**tvs**  
 TROPICAL VEGAN ARTS & DESIGN, INC.  
 10000 SW 15th St.  
 Suite 100  
 Miami, FL 33185  
 Phone: (305) 555-1111  
 Fax: (305) 555-1112  
 www.tvsgroup.com

3/20/2011 10:00 AM  
 3/20/2011 10:00 AM  
 3/20/2011 10:00 AM

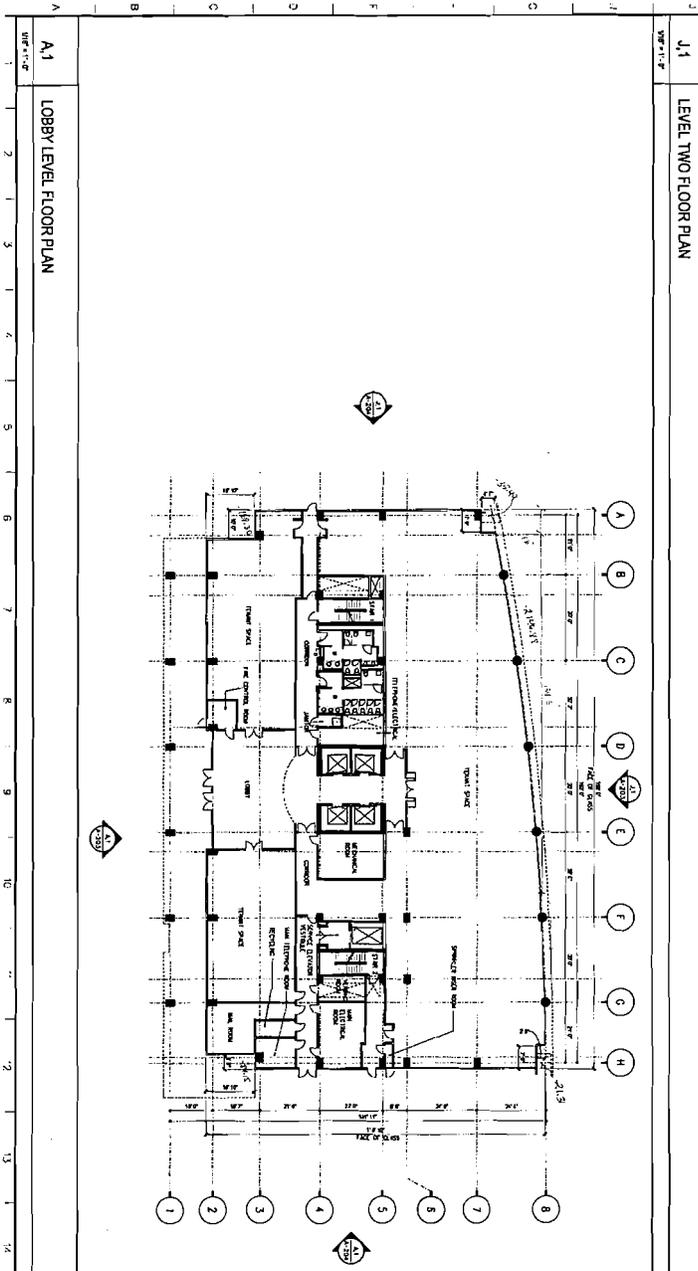


**RECEIVED**  
 MAY 31 2011  
 ZONING HEARINGS SECTION  
 MIAMI-DADE PLANNING AND ZONING DEPT.  
 BY *[Signature]*

**KEYNOTE LEGEND**

**lvs**  
 LIVINGSTON VANCE SMITH ARCHITECTS  
 1000 BAYVIEW BLVD., SUITE 1000  
 MIAMI, FL 33134  
 TEL: 305.371.1111  
 FAX: 305.371.1112  
 WWW.LVSARCHITECTS.COM

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OFFICE BUILDING A STORES  
 GROSS AREA: 28,200 SQ FT  
 HEIGHT OF THE BUILDING ABOVE GRADE: 18' 0"

*[Stamp]*

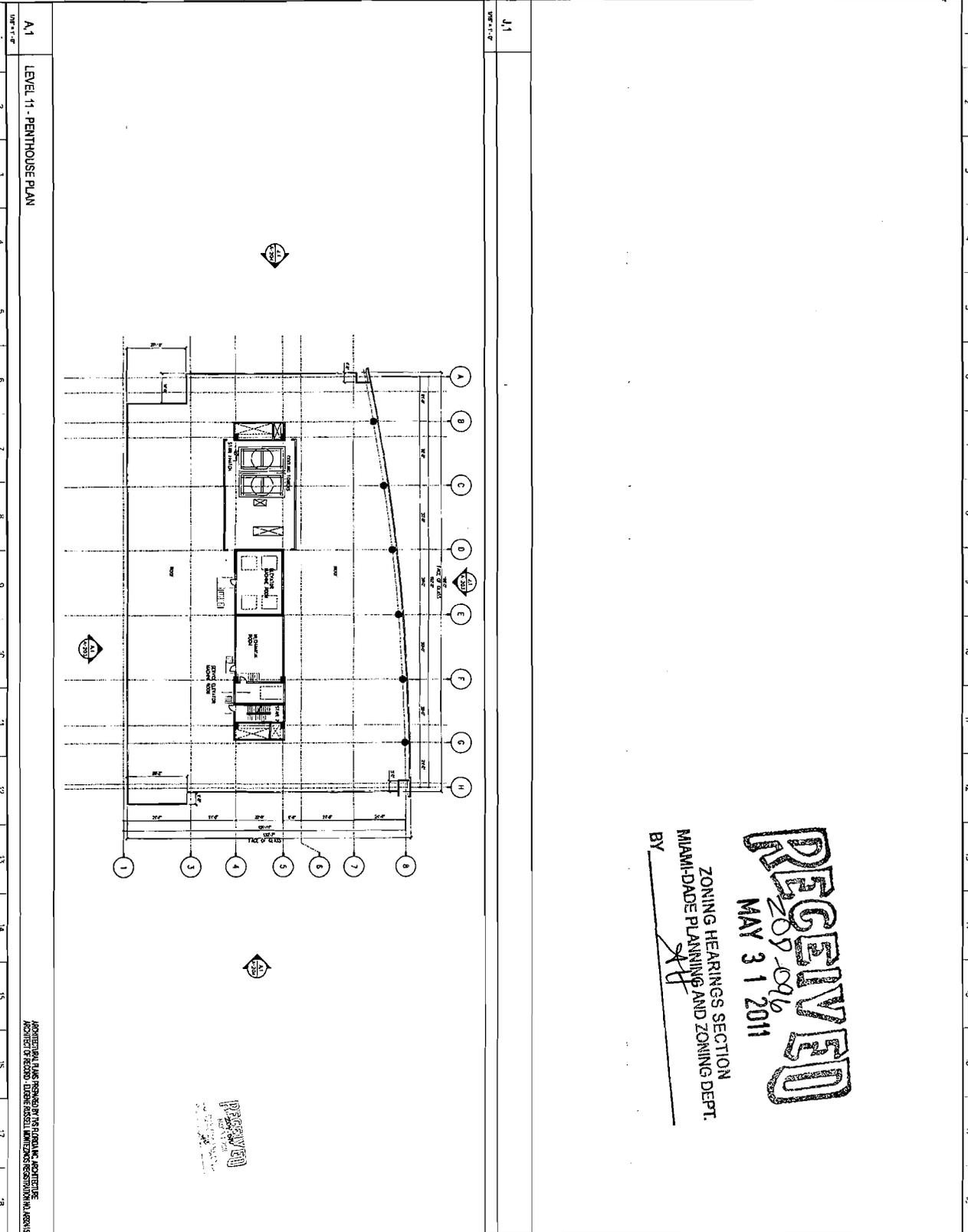
ARCHITECTURAL PLANS PREPARED BY THE FLOOR PLAN DEPARTMENT, MIAMI-DADE COUNTY OF MIAMI, FLORIDA. THESE PLANS WERE PREPARED FOR THE PROJECT IDENTIFIED HEREIN AND ARE NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF LVS ARCHITECTS.

**WATERFORD CORE**  
 1000 BAYVIEW BLVD., SUITE 1000  
 MIAMI, FL 33134  
 TEL: 305.371.1111  
 FAX: 305.371.1112  
 WWW.WATERFORDCORE.COM

**OFFICE BUILDING A**  
 LOBBY LEVEL & LEVEL TWO FLOOR PLAN

DATE: 03/20/11  
 SCALE: AS SHOWN  
 SHEET # A-200





**RECEIVED**  
MAY 31 2011  
ZONING HEARINGS SECTION  
MIAMI-DADE PLANNING AND ZONING DEPT.  
BY *[Signature]*

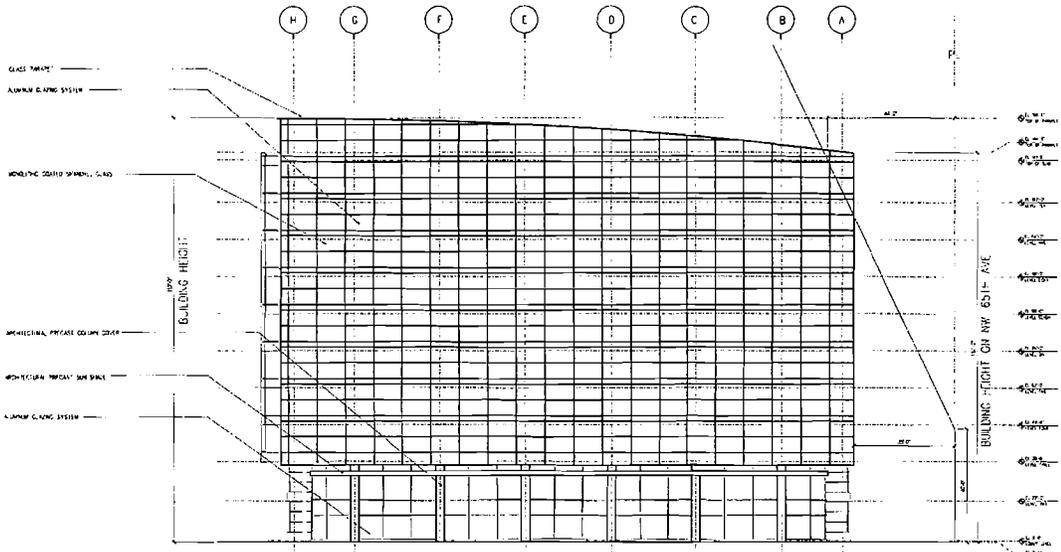
A.1 LEVEL 11 - PENTHOUSE PLAN

APPROVED FOR AS SHOWN BY THE ARCHITECT. ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE WORK SHOWN ON THIS PLAN. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED BY OTHER SOURCES. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS PLAN.

 <p>TWS TERRACON CONSULTANTS, INC. 1100 S.W. 15th Avenue, Suite 100 Miami, FL 33135 Tel: 305.375.1100 Fax: 305.375.1101 www.twsinc.com</p>		 <p>WATERFORD CORE WATERFORD CORE WATERFORD CORE WATERFORD CORE</p>	
<p>PROJECT TITLE: OFFICE BUILDING A PROJECT NO.: 11-000000 DRAWING NO.: A-202 DATE: 05/01/11</p>		<p>DESIGNED BY: [Name] CHECKED BY: [Name] DATE: [Date]</p>	
<p>NOT RELEASED FOR CONSTRUCTION</p>		<p>33</p>	

34

RECEIVED  
MAY 14 2011



**tvS** TVS FLORIDA INC. ARCHITECTURE  
 2200 BROWARD BLVD. SUITE 200  
 FORT LAUDERDALE, FL 33304  
 TEL: 754.885.7300  
 FAX: 754.885.7301  
 WWW.TVSAFLA.COM

Buildings are designed for the purposes of the Florida Building Code. The design of buildings is based on the Florida Building Code. The design of buildings is based on the Florida Building Code. The design of buildings is based on the Florida Building Code.

The design of buildings is based on the Florida Building Code. The design of buildings is based on the Florida Building Code. The design of buildings is based on the Florida Building Code.

© 2010 TVS FLORIDA INC. ARCHITECTURE

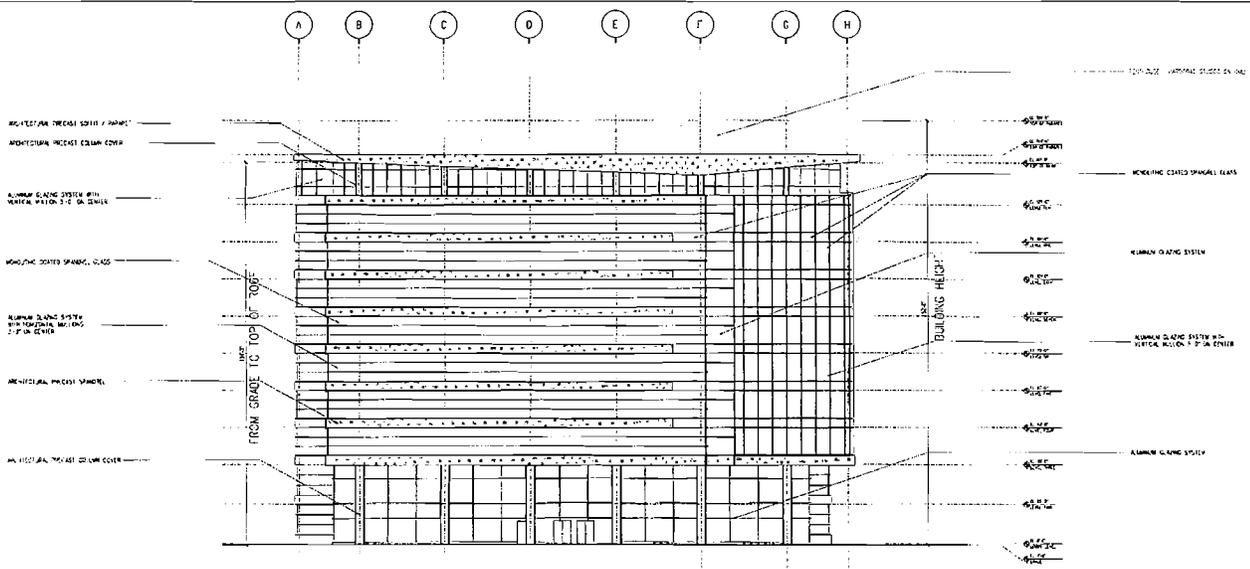
KEYNOTE LEGEND

ELEVATION TAKEN FROM MEAN SEA LEVEL

**RECEIVED**  
 208-096  
 JUL 14 2011

ZONING HEARINGS SECTION  
 MIAMI-DADE PLANNING AND ZONING DEPT.  
 BY *JK*

J,1 NORTH ELEVATION  
 SHEET 1 OF 2



A,1 SOUTH ELEVATION  
 SHEET 1 OF 2

ARCHITECTURAL PLANS PREPARED BY TVS FLORIDA INC. ARCHITECTURE - A42800142  
 ARCHITECT OF RECORD - EUGENE RUSSELL MONTAZZOS REGISTRATION NO. AR02415

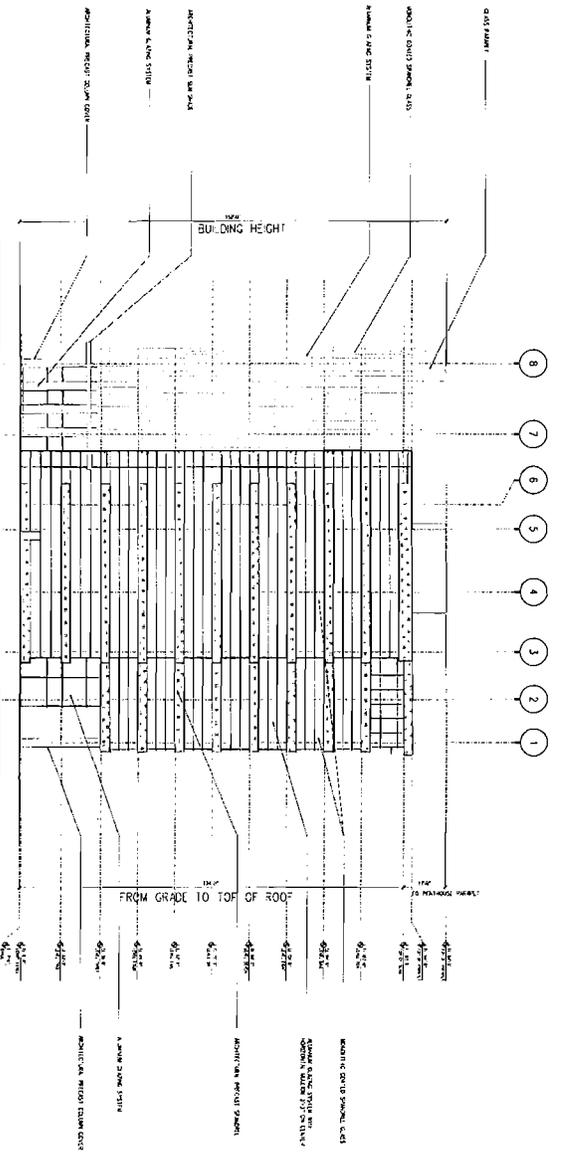
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17	APPROVAL	DATE
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**WATERFORD CORE**  
 1100 E. 63RD AVENUE  
 MIAMI, FLORIDA 33135

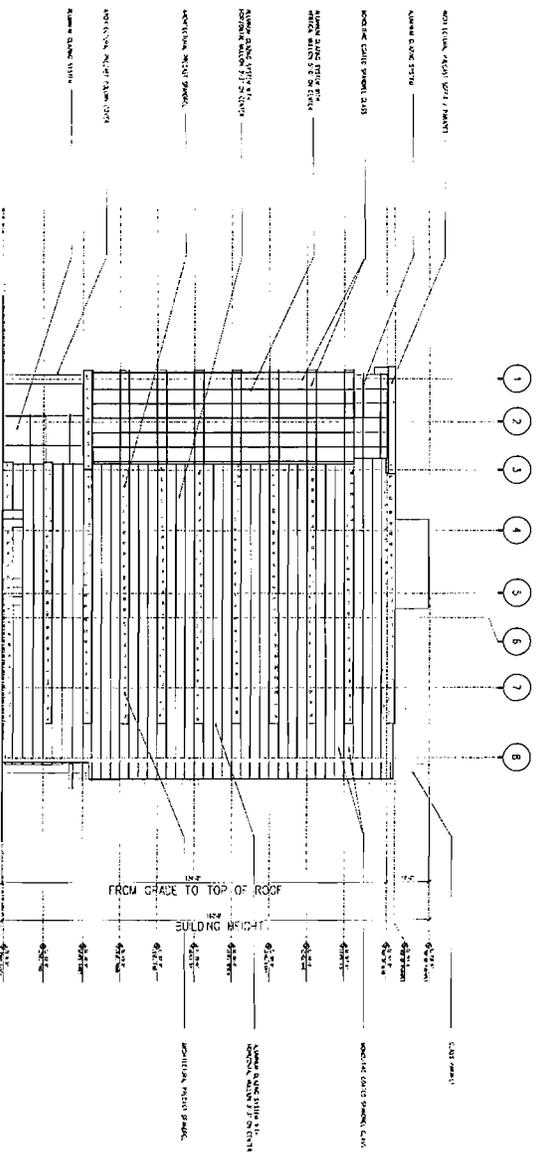
OFFICE BUILDING A  
 SOUTH & NORTH ELEVATION

Project No.	0210002
Sheet No.	A-203
Date	07/14/2011
Scale	1/8" = 1'-0"

A-203



J1 WEST ELEVATION



A1 EAST ELEVATION

ZONING HEARINGS SECTION  
MIAMI-DADE PLANNING AND ZONING DEPT.  
BY                     

**RECEIVED**  
209-096  
JUL 14 2011



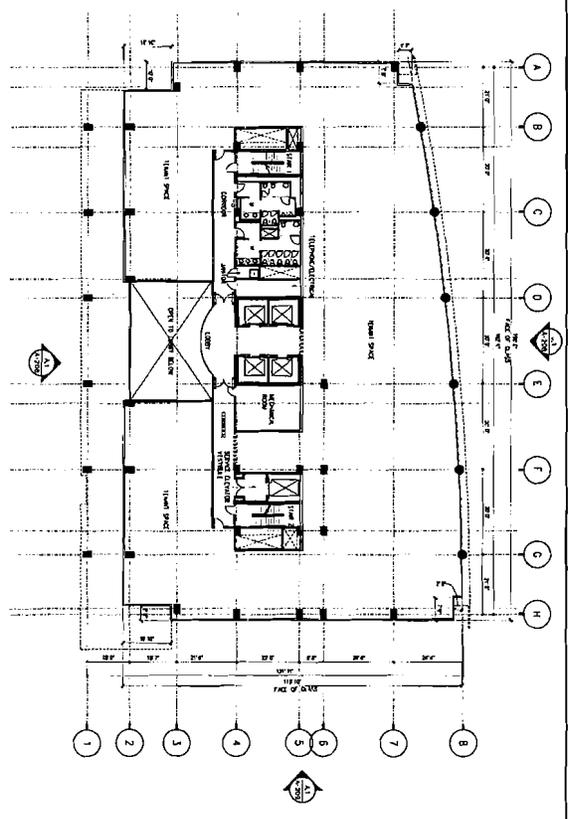
**KEYNOTE LEGEND**  
ELEVATION TAKE FROM M.S.M. SEA LEVEL

**WATERFORD CORE**  
1100 ROADSIDE  
MIAMI, FLORIDA 33136

**OFFICE BUILDING A**  
EAST & WEST ELEVATION

**A-204**

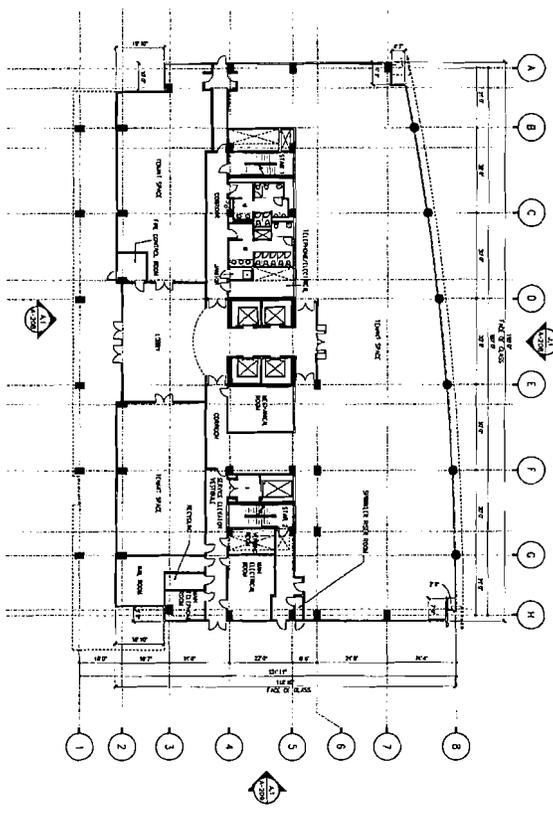
DATE	DESCRIPTION
01/26/2011	ISSUE FOR PERMIT
02/12/2011	ISSUE FOR PERMIT
06/02/2011	ISSUE FOR PERMIT



J.1 LEVEL TWO FLOOR PLAN

ZONING HEARINGS SECTION  
MIAMI-DADE PLANNING AND ZONING DEPT.  
BY *STH*

**RECEIVED**  
MAY 31 2011



A.1 LOBBY LEVEL FLOOR PLAN

ARCHITECTURAL PLAN SUBMITTED TO MIAMI-DADE PLANNING AND ZONING DEPARTMENT FOR REVIEW AND APPROVAL. THIS PLAN IS SUBJECT TO THE REVIEW AND APPROVAL OF THE MIAMI-DADE PLANNING AND ZONING DEPARTMENT.

OFFICE BUILDING B - 4/5 STORES  
CORES AND - 28,000 SQ FT  
HEAD OF THE BUILDING ABOVE GROUND - 18' 6"

**tvs**  
TYPICAL ARCHITECTURE  
ARCHITECTS

**KEYNOTE LEGEND**

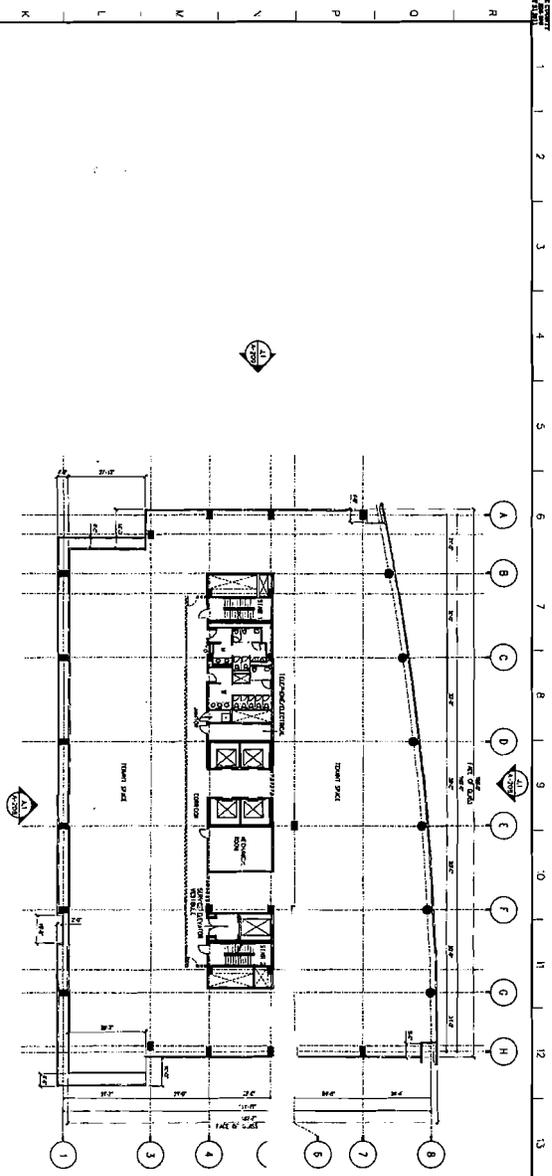
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**WATERFORD CORE**  
N/S COURTYARD  
W/RE BORDERS

Project Title: OFFICE BUILDING B  
LOBBY LEVEL & LEVEL TWO FLOOR PLAN

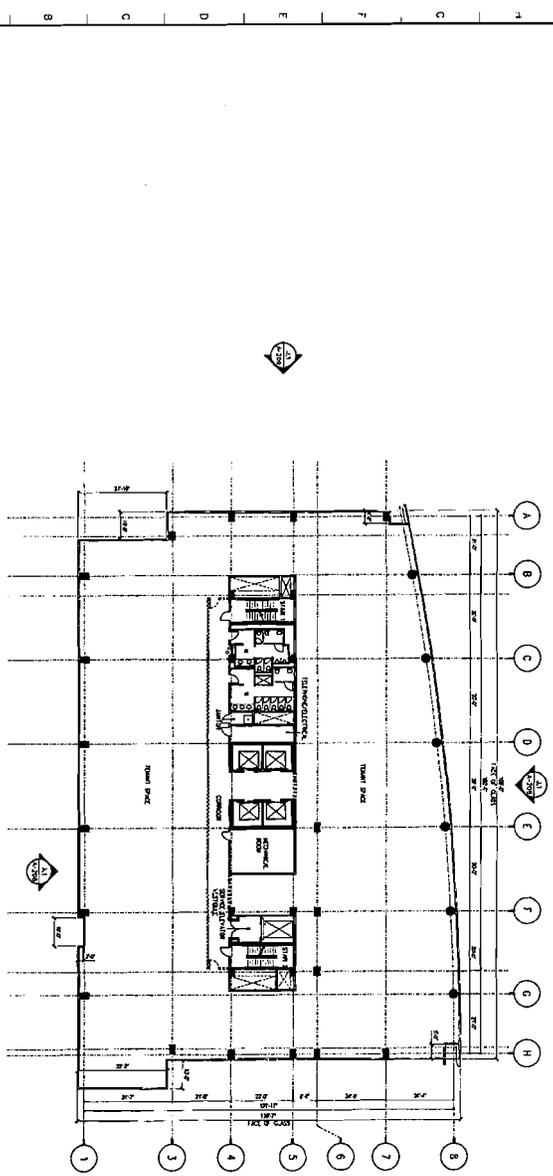
Project No.: A-205

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MAY 31 2014



**RECEIVED**  
MAY 31 2014

ZONING HEARINGS SECTION  
MIAMI-DADE PLANNING AND ZONING DEPT.  
BY *[Signature]*



J1 LEVEL 10 FLOOR PLAN  
A.1 TYPICAL LEVEL 3-9 FLOOR PLAN

ARCHITECTURAL PLANS PREPARED BY THE FLOORPLAN ARCHITECTURE  
AGENCY OF RECORD - CLARENCE RUSSELL LAWRENCE'S RESERVATION NO. 00000000

**tvs** TYPHOON  
TYPHOON CONSULTANTS, INC.  
1000 N. W. 10th St., Suite 1000  
Fort Lauderdale, FL 33304  
Tel: 954.575.1100  
Fax: 954.575.1101  
www.tvsinc.com

**REVNOTE LEGEND**

These notes shall apply to all drawings prepared by TVS. The notes shall be read in conjunction with the TVS Standard Drawing Notes. The notes shall be read in conjunction with the TVS Standard Drawing Notes. The notes shall be read in conjunction with the TVS Standard Drawing Notes.

*[Signature]*  
AT WINTERFORD

**WATERFORD CORE**  
1015 SOUTH STATE  
MIAMI, FLORIDA 33130

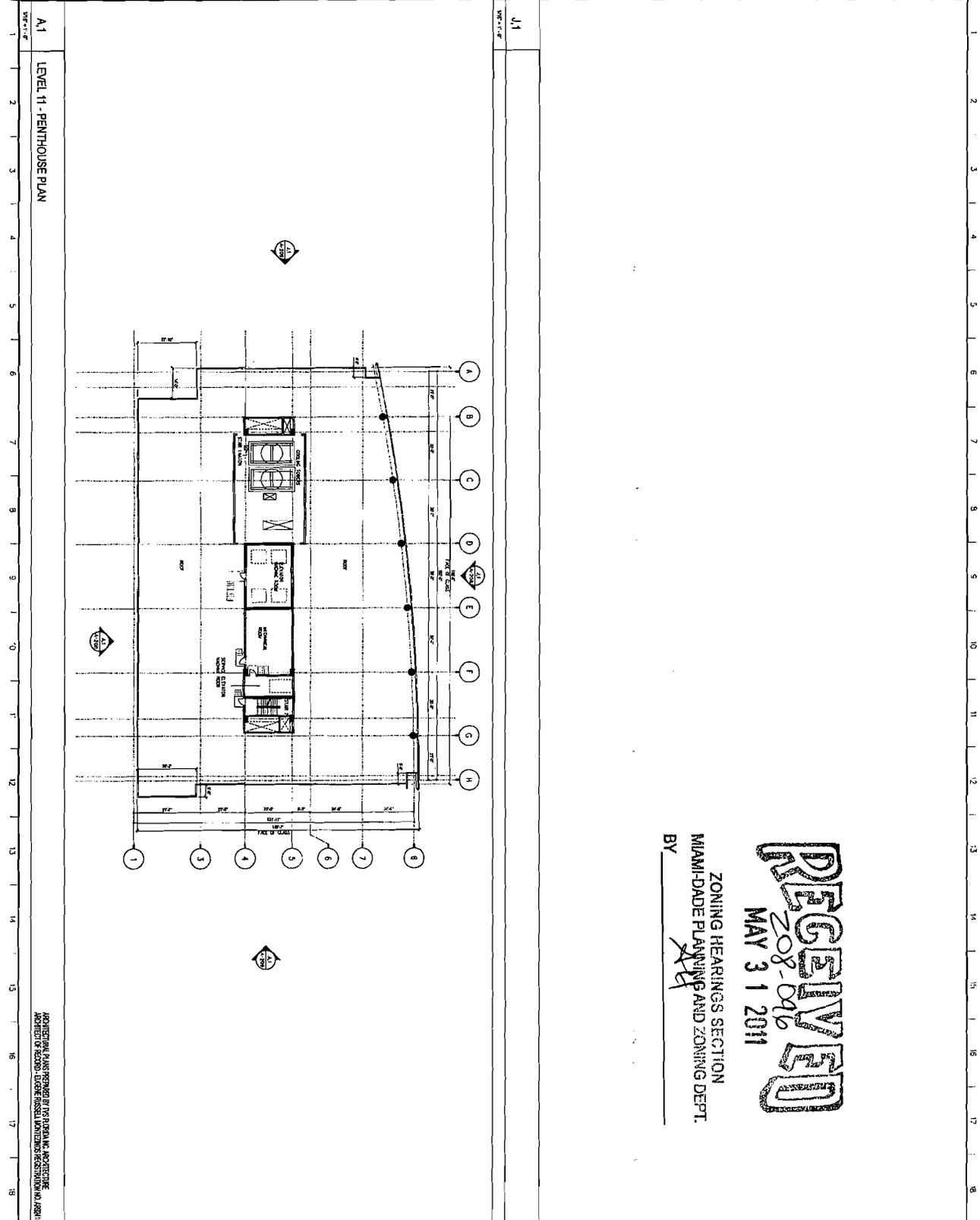
**OFFICE BUILDING 8**  
LEVEL 3 - 10 FLOOR PLAN

DATE: 05/28/14  
SCALE: AS SHOWN  
PROJECT: WATERFORD CORE

**A-206**

DATE PLOTTED: 05/03/11  
 TIME PLOTTED: 10:00 AM  
 PLOTTER: HP DesignJet 2400

DATE PLOTTED: 05/03/11  
 TIME PLOTTED: 10:00 AM  
 PLOTTER: HP DesignJet 2400



**RECEIVED**  
 208-0916  
 MAY 31 2011  
 ZONING HEARINGS SECTION  
 MIAMI-DADE PLANNING AND ZONING DEPT.  
 BY XXX

	
<p><b>KEYNOTE LEGEND</b></p>	
	
<p>PROJECT: WATERFORD CORE        31 WATERFORD</p>	
<p>DATE: 05/03/11        TIME: 10:00 AM        PLOTTER: HP DesignJet 2400</p>	
<p>OFFICE BUILDING B        LEVEL 11 - PENTHOUSE PLAN</p>	
<p>A-207</p>	

39

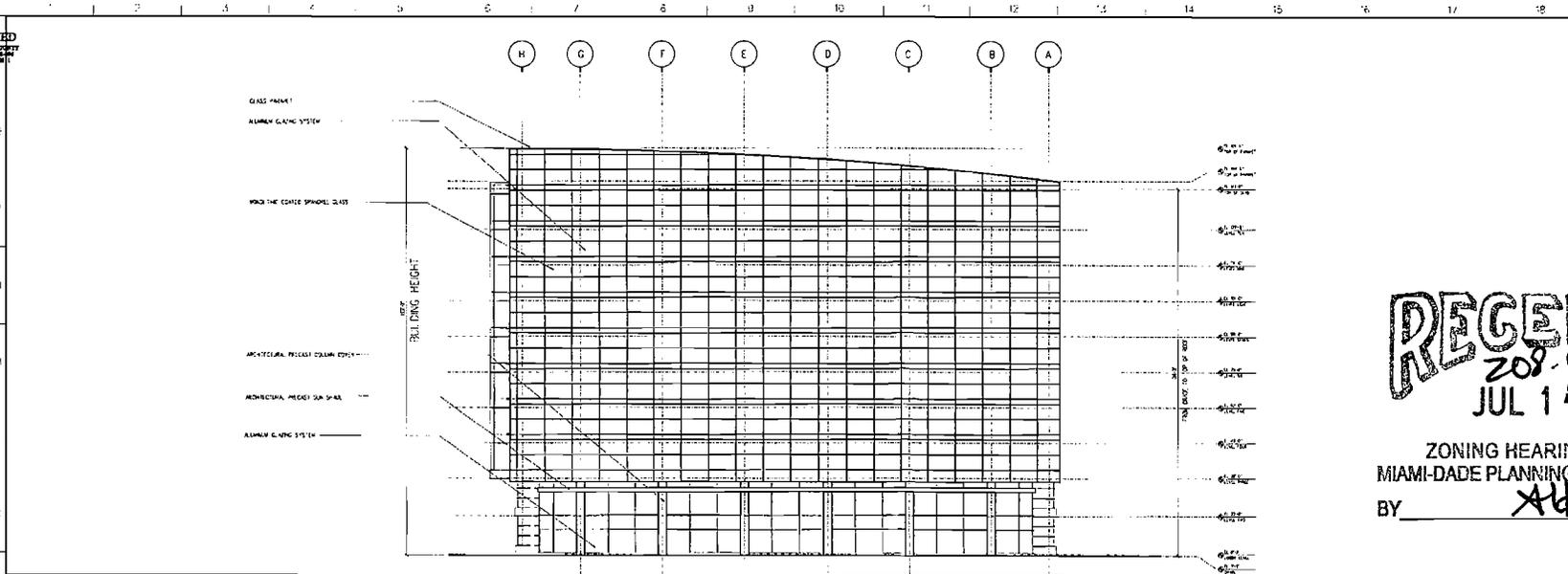
RECEIVED  
MIAMI-DADE COUNTY  
PLANNING AND ZONING DEPT.  
JUL 14 2011



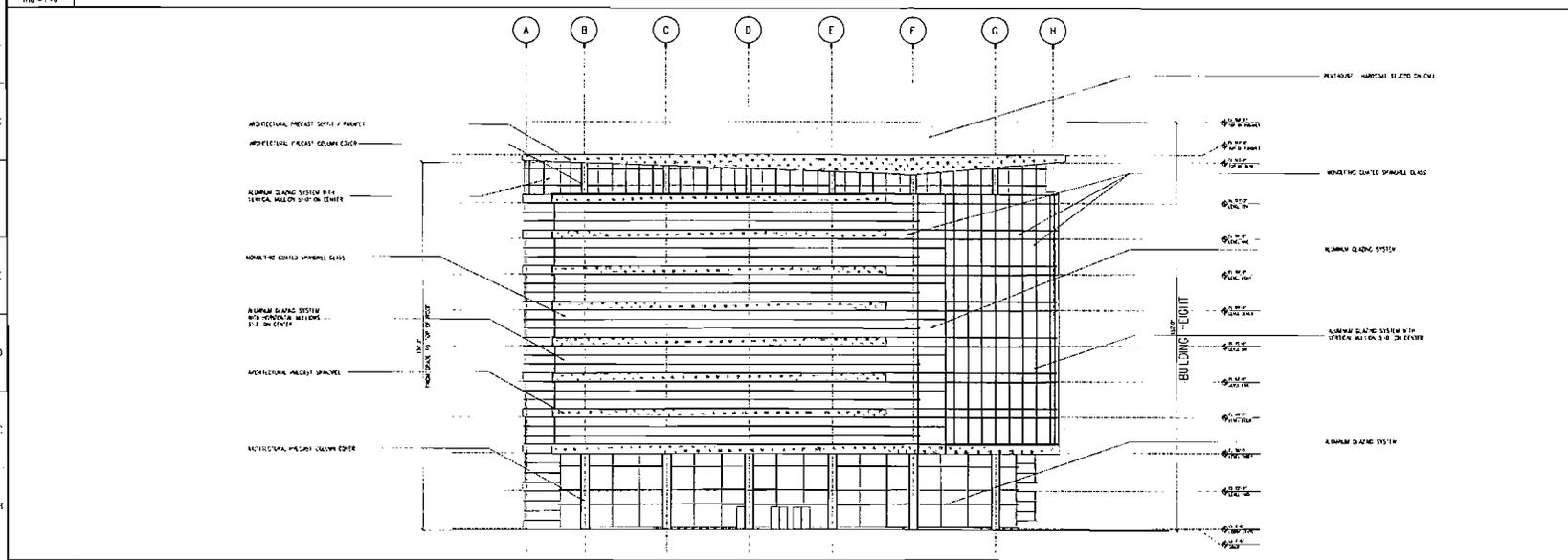
Scale of Glass Elevation per section original drawing. The Architect is not responsible for the accuracy of the scale of the Glass Elevation. The Architect is not responsible for the accuracy of the scale of the Glass Elevation. The Architect is not responsible for the accuracy of the scale of the Glass Elevation.

KEYNOTE LEGEND  
ELEVATION TAKEN FROM MEAN SEA LEVEL.

RECEIVED  
208-026  
JUL 14 2011  
ZONING HEARINGS SECTION  
MIAMI-DADE PLANNING AND ZONING DEPT.  
BY Ad



J,1 NORTH ELEVATION  
1/8" = 1'-0"



A,1 SOUTH ELEVATION  
1/8" = 1'-0"

4	SITE PLAN APPROVAL - REVISION 04	07/04/2011
3	SITE PLAN APPROVAL - REVISION 03	06/23/2010
No. REVISIONS/SUBMISSIONS		
Date		

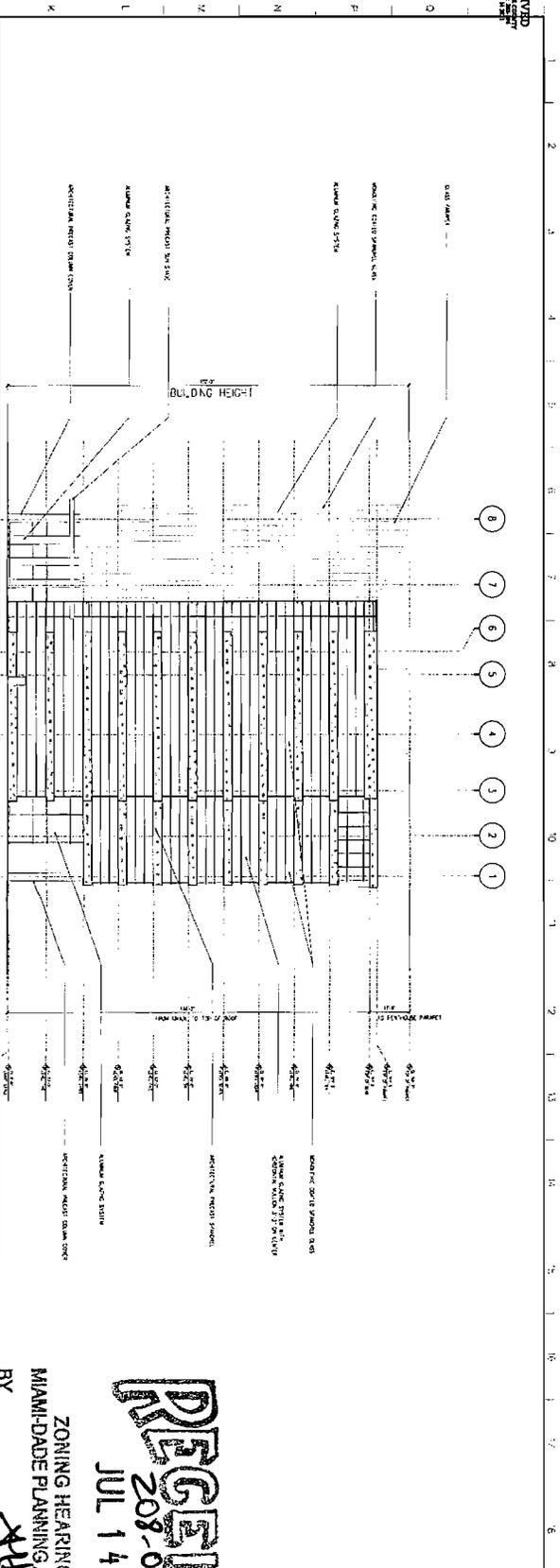
**WATERFORD CORE**  
N.W. 62ND AVENUE  
MIAMI, FLORIDA 33142

Drawing Title: **OFFICE BUILDING B SOUTH & NORTH ELEVATION**  
Date: \_\_\_\_\_ Project No: 208-026 Drawing No: \_\_\_\_\_

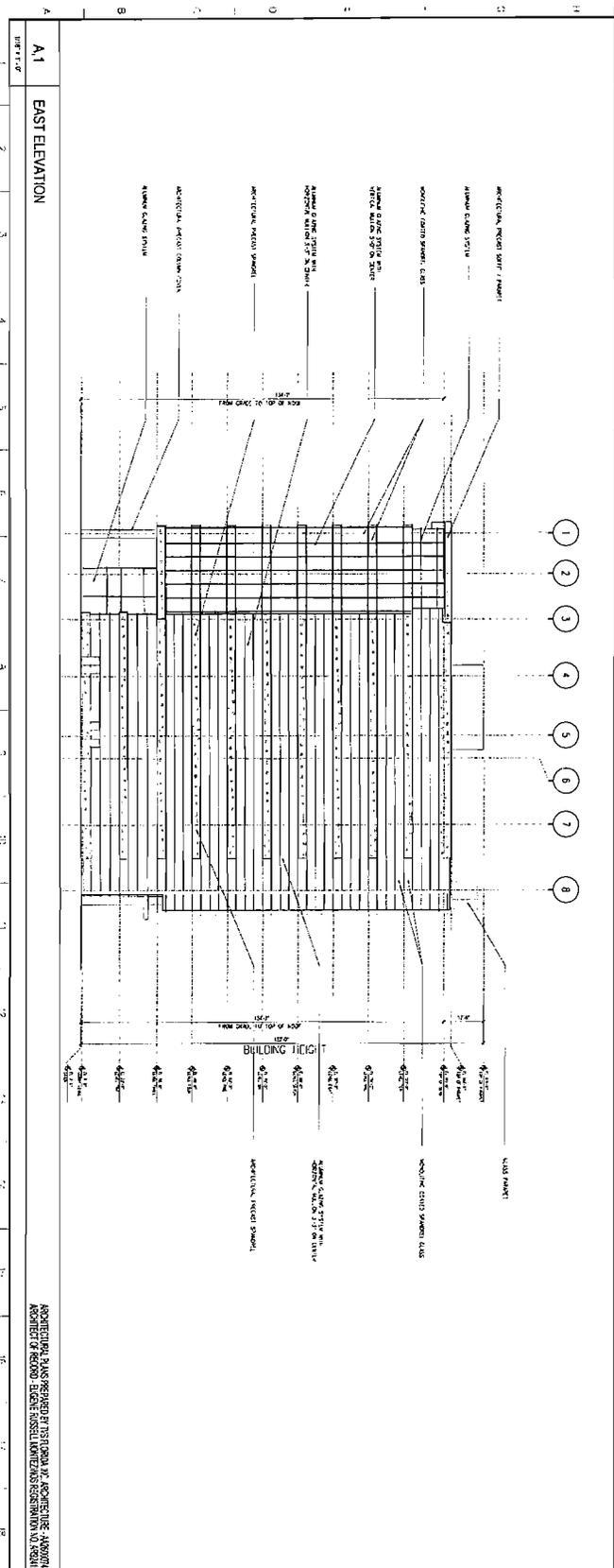
Scale: 1/8" = 1'-0"  
A-208

ARCHITECTURAL PLANS PREPARED BY TVS FLORIDA INC. ARCHITECTURE - AA2000042  
ARCHITECT OF RECORD - EUGENE RUSSELL MONTEZINOS REGISTRATION NO. AR24145

DATE PLOTTED: 07/14/2011  
PLOTTER: HP PLOTTER  
SCALE: 1/8" = 1'-0"



J1 WEST ELEVATION



A1 EAST ELEVATION

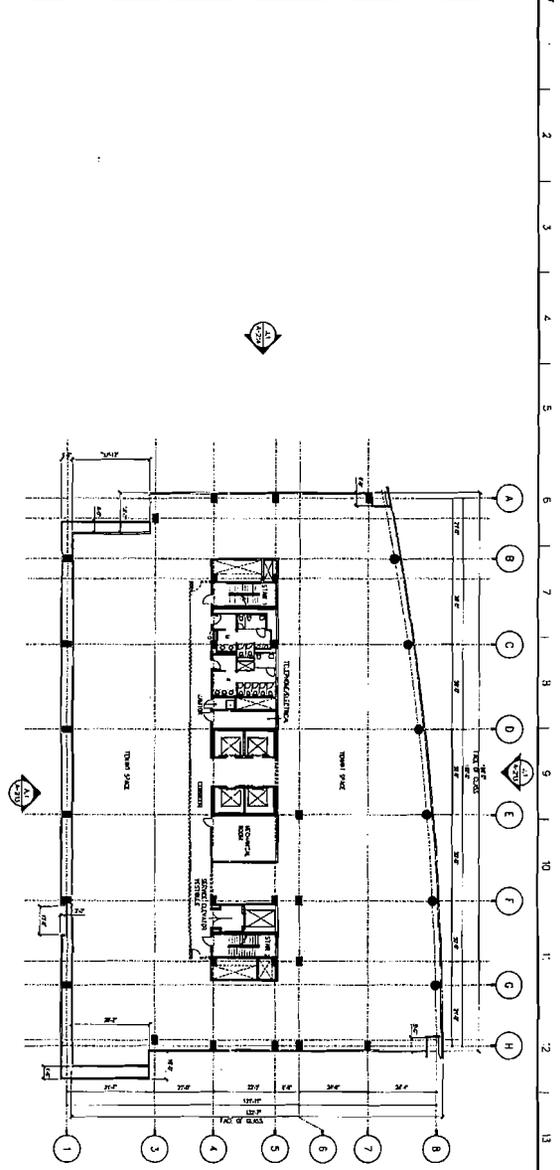
**RECEIVED**  
2011-07-14  
JUL 14 2011  
ZONING HEARINGS SECTION  
MIAMI-DADE PLANNING AND ZONING DEPT.  
BY XXX

ARCHITECTURE & PLANS PREPARED BY THE BUREAU OF ARCHITECTURE - MIAMI-DADE COUNTY  
ARCHITECT OF RECORD: SIGENE ROSSER LAMBERTS ASSOCIATES, INC.

<p>TWS TERRACON CONSULTANTS, INC. 1000 BAYVIEW BLVD., SUITE 1000 MIAMI, FL 33134 TEL: 305.573.8800 WWW.TWS-FL.COM</p>	<p><b>KEYNOTE LEGEND</b></p> <p>ELEVATION TAKEN FROM M.C.M. SEA LEVEL</p>	<p><b>WATERFORD CORE</b> NEW BUILDING NEW FLOORPLANS</p> <p>OFFICE BUILDING B EAST &amp; WEST ELEVATION</p> <p>DATE: 07/14/11 SCALE: AS SHOWN DRAWN BY: [Name] CHECKED BY: [Name]</p> <p><b>A-209</b></p>
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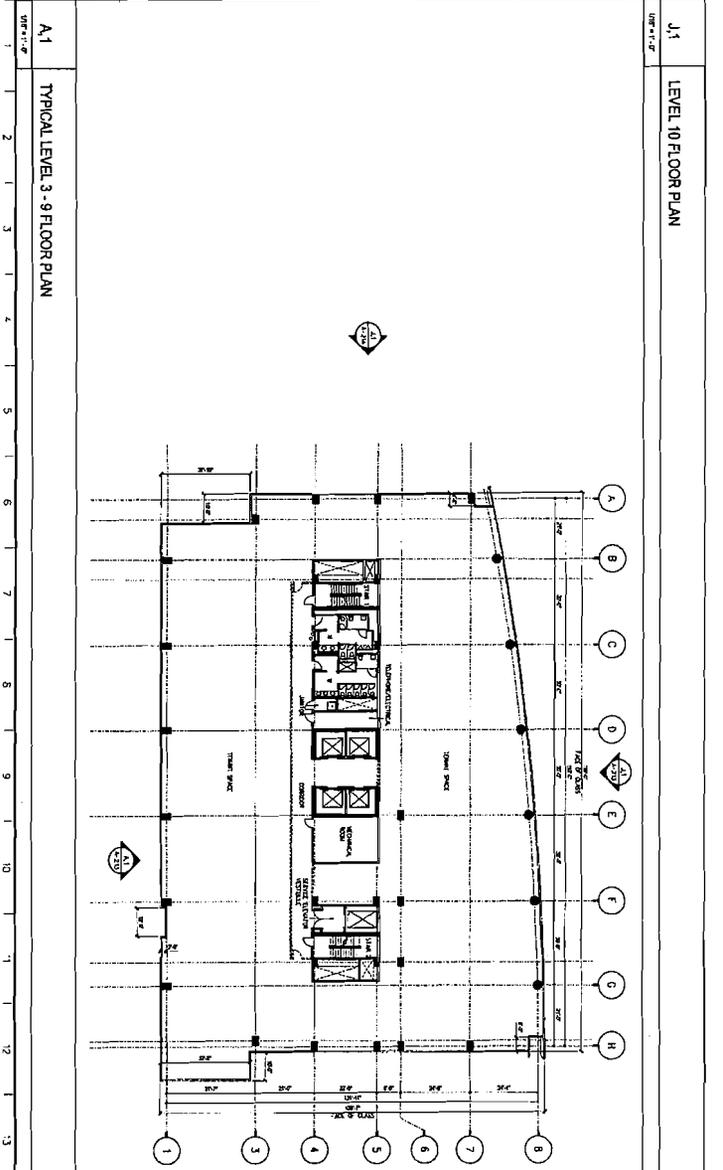


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MAY 31 2011



RECEIVED  
2010-09-06  
MAY 31 2011

ZONING HEARINGS SECTION  
MIAMI-DADE PLANNING AND ZONING DEPT.  
BY *[Signature]*



RECEIVED  
2010-09-06  
MAY 31 2011

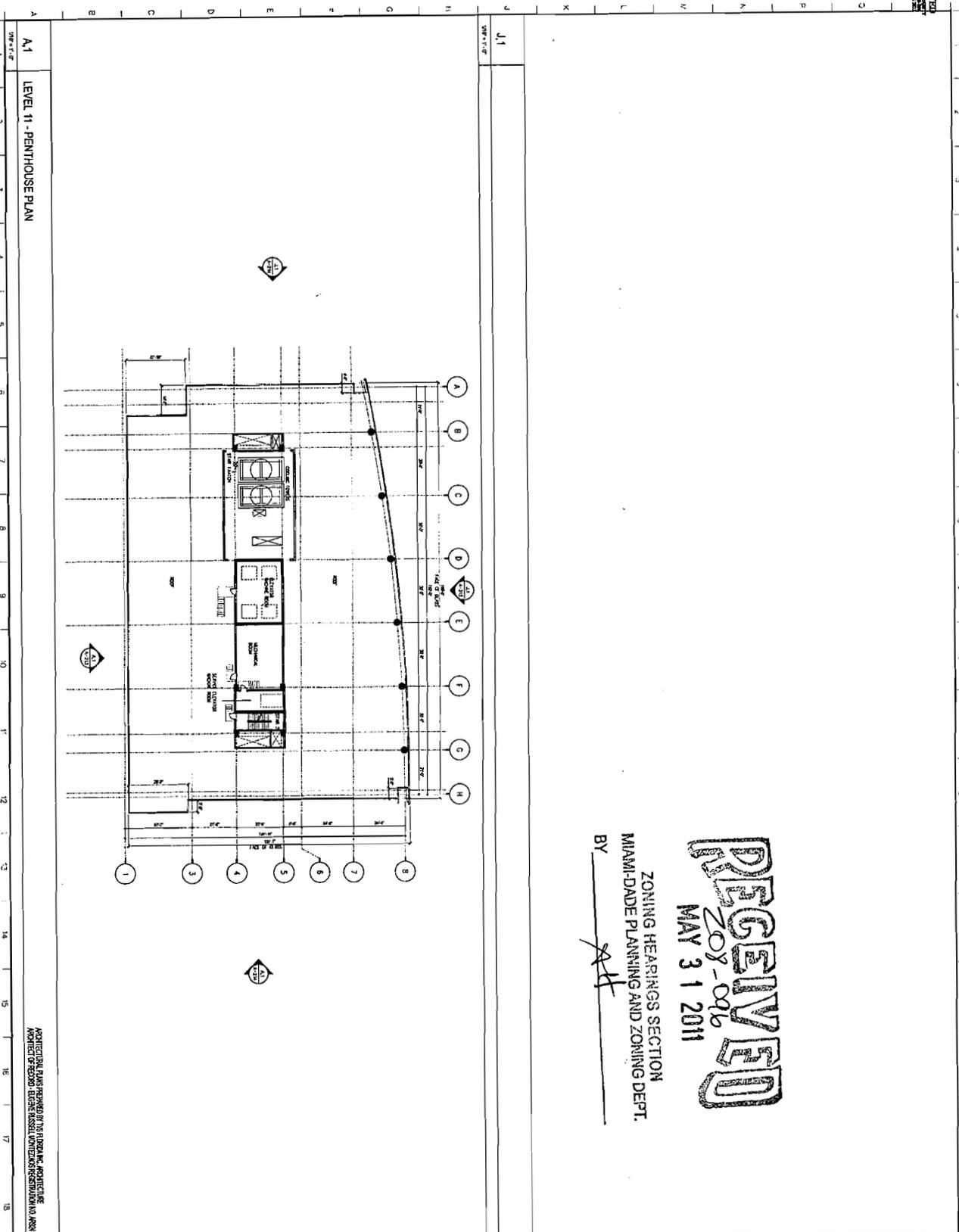
ZONING HEARINGS SECTION  
MIAMI-DADE PLANNING AND ZONING DEPT.  
BY *[Signature]*

<p>TRISTAR VIDEO SERVICES 1000 N. W. 10th St., Suite 100 Miami, FL 33136 Tel: 305.575.1111</p>		<p>WATERFORD CORE NEW BRICKS NEW FLOORPLANS</p>	
<p>Office: 1000 N. W. 10th St., Suite 100, Miami, FL 33136 Project No: 1000 N. W. 10th St., Suite 100, Miami, FL 33136 Drawing No: 1000 N. W. 10th St., Suite 100, Miami, FL 33136</p>		<p>DATE: 05/31/11 SCALE: AS SHOWN PROJECT: WATERFORD CORE DRAWING: LEVEL 3 - 10 FLOOR PLAN A-211</p>	

NOT RELEASED FOR CONSTRUCTION

RECEIVED  
MAY 31 2011

RECEIVED  
MAY 31 2011



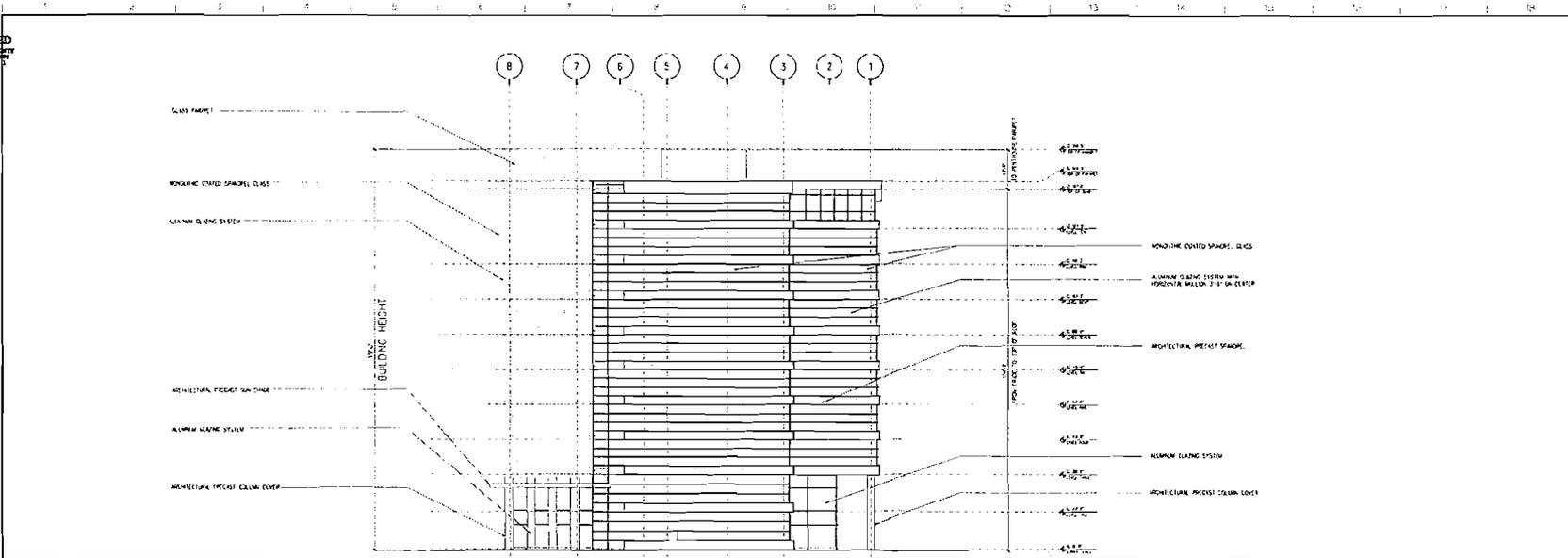
**RECEIVED**  
 201-096  
 MAY 31 2011

ZONING HEARINGS SECTION  
 MIAMI-DADE PLANNING AND ZONING DEPT.  
 BY AT

<p><b>tvs</b>          TOWN &amp; COUNTRY ARCHITECTS          1111 BAYVIEW BLVD., SUITE 1100          MIAMI, FL 33134          TEL: 305.575.1111          FAX: 305.575.1112          WWW.TVSARCHITECTS.COM</p>	<p><b>KENNOTE LEGEND</b></p> <p>1. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.          2. FINISHES ARE TO BE AS NOTED.          3. ALL WORK IS TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.          4. ALL WORK IS TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MECHANICAL, ELECTRICAL AND PLUMBING CODES AND SPECIFICATIONS.          5. ALL WORK IS TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE STRUCTURAL CODES AND SPECIFICATIONS.</p>	<p><i>Walter O. Miller</i>          W. O. MILLER          H. WATERFORD</p> <p><b>RECEIVED</b>          MAY 31 2011</p>	<p><b>WATERFORD CORE</b>          NEW/RENOVATION          UNIT # 208-1105</p> <p><b>OFFICE BUILDING C</b>  <b>LEVEL 11 - PENTHOUSE PLAN</b></p> <p>DATE: 05/20/11          DRAWN BY: [Signature]          CHECKED BY: [Signature]</p> <p><b>A-212</b></p>
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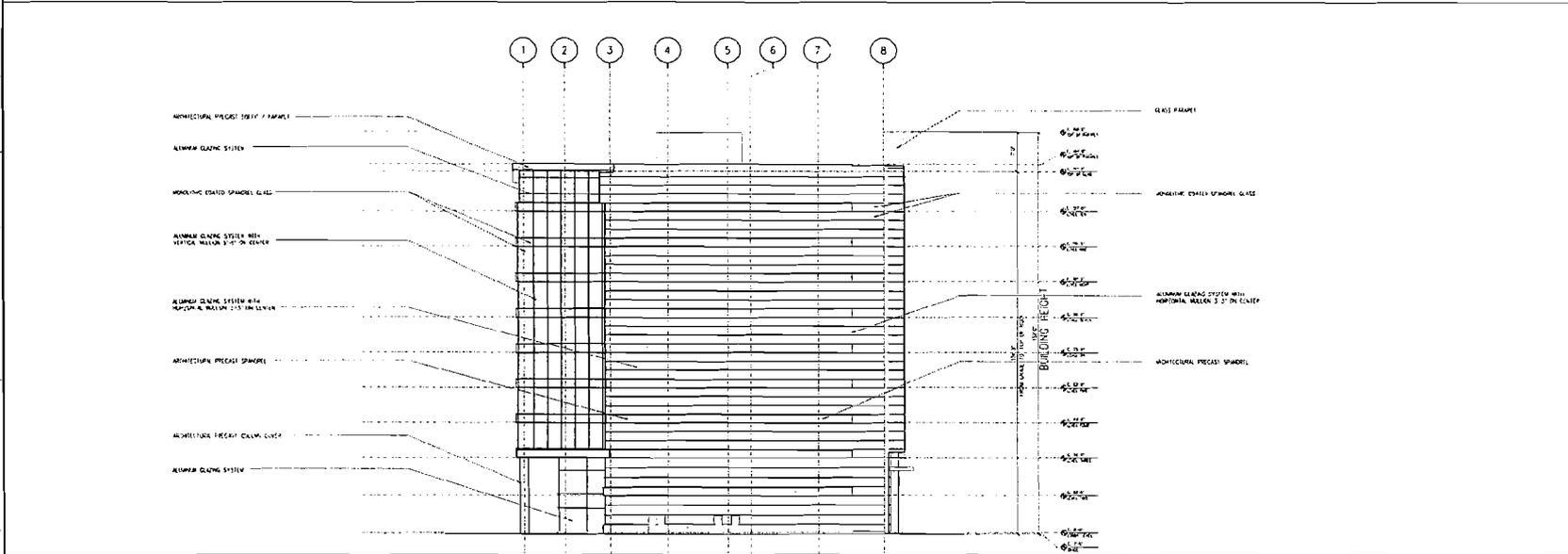


RECEIVED  
 DESIGN REVIEW COMMITTEE  
 PROJECT NO. 03-001  
 DATE: 02/14/12  
 BY: BJC



J,1 WEST ELEVATION

1/8" = 1'-0"



A,1 EAST ELEVATION

1/8" = 1'-0"



Some or all of these plans are for the proposed construction of a project. These plans are prepared by the architect for the use of the contractor and are not to be used for any other purpose. The architect is not responsible for the accuracy of the information provided in these plans. The owner is responsible for the accuracy of the information provided in these plans. The architect is not responsible for the accuracy of the information provided in these plans. The owner is responsible for the accuracy of the information provided in these plans.

KEYNOTE LEGEND

ELEVATION TAKEN FROM MEAN SEA LEVEL

2012.04.14  
 2012.04.14  
 2012.04.14

4	SITE PLAN APPROVAL - REVISION 08	07/08/2011
5	SITE PLAN APPROVAL - REVISION 03	06/15/2009
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**WATERFORD CORE**  
 1111 GADSDEN AVENUE  
 TAMPA, FLORIDA 33602

OFFICE BUILDING C  
 EAST & WEST ELEVATION

REV	DESCRIPTION	DATE
1		
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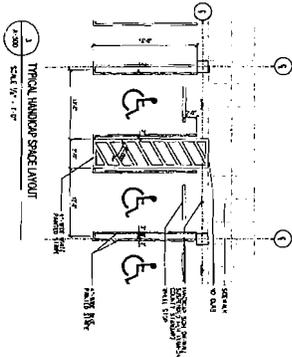
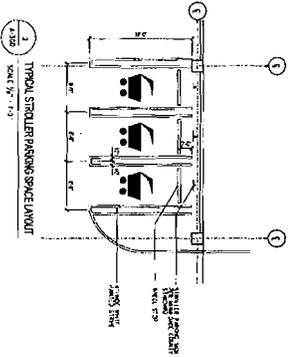
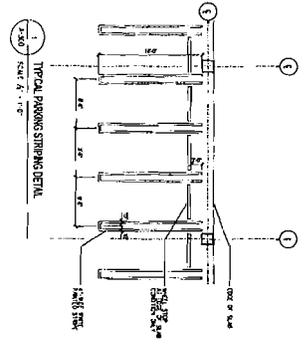
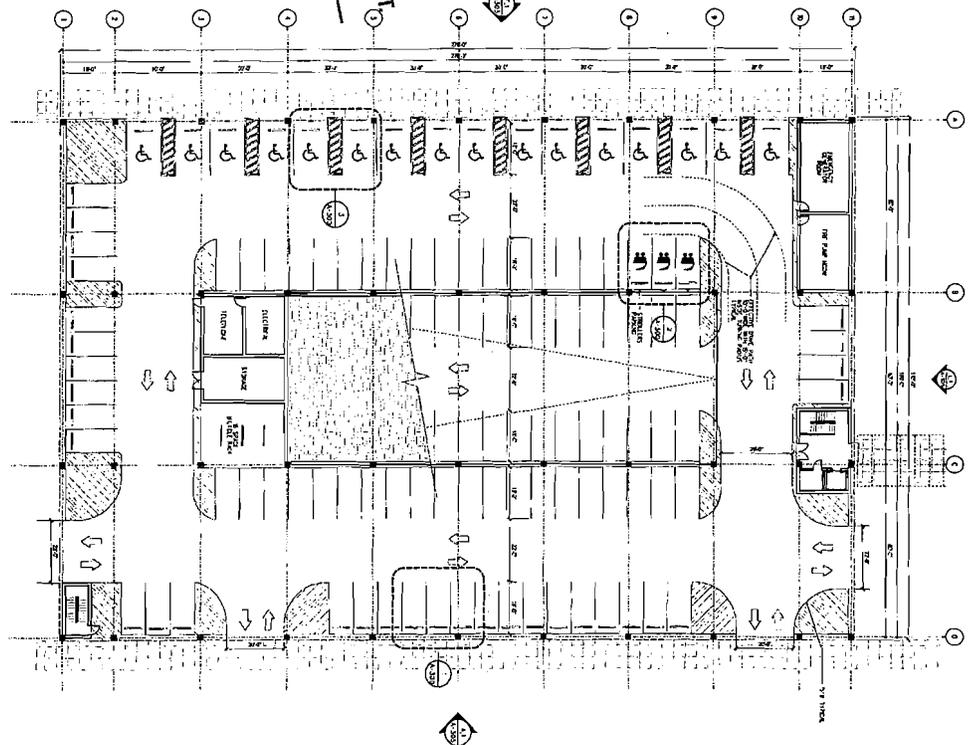
A-214

ARCHITECTURAL PLANS PREPARED BY TVS FLORIDA INC. ARCHITECTURE - A02000742  
 ARCHITECT OF RECORD - EUGENE RUSSELL MONTEZINS REGISTRATION NO. AR22415

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 MAY 31 2011  
 ZONING HEARINGS SECTION  
 MIAMI-DADE PLANNING AND ZONING DEPT.

BY \_\_\_\_\_

PARKING LEVEL 1



PARKING DECK 2 - LEVEL 1 PLAN  
 NOT TO SCALE  
 SEE SHEET A-300 FOR DETAILS

NOT TO SCALE  
 SEE SHEET A-300 FOR DETAILS

**WATERFORD CORE**  
 ARCHITECTURE  
 1000 BROADWAY  
 MIAMI, FL 33139  
 TEL: 305.375.1234  
 FAX: 305.375.1235  
 WWW.WATERFORDCORE.COM

**KEYNOTE LEGEND**

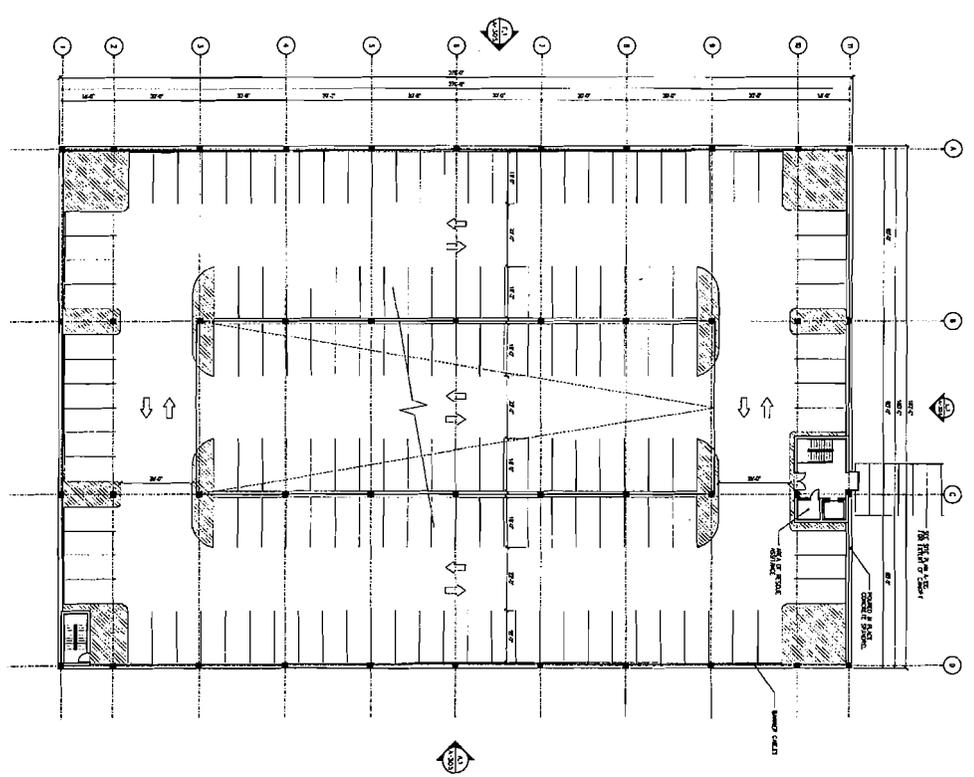
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2	TYPICAL STRIP-LIFT PARKING SPACE LAYOUT
3	TYPICAL WINDOW SPACE LAYOUT

NO.	DESCRIPTION	DATE
1	1.000	05/23/2011
2	2.000	05/23/2011
3	3.000	05/23/2011
4	4.000	05/23/2011
5	5.000	05/23/2011
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17	17.000	05/23/2011
18	18.000	05/23/2011
19	19.000	05/23/2011
20	20.000	05/23/2011

REVISIONS  
 NO. DATE BY  
 1 11/14/10 JLM

A 1  
 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18

PARKING LEVEL 2  
 1/8" = 1'-0"



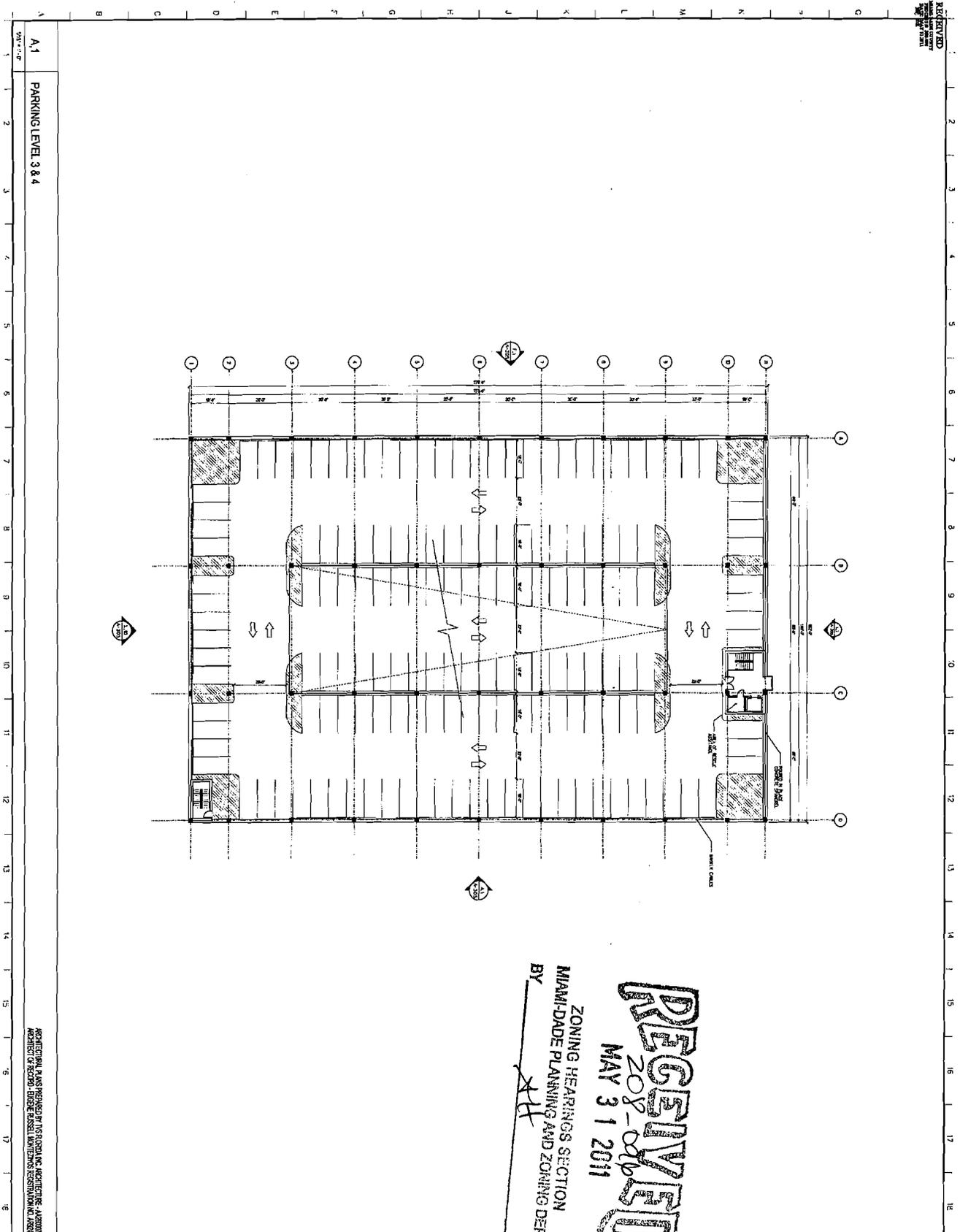
**RECEIVED**  
 MAY 31 2011  
 201-086  
 ZONING HEARINGS SECTION  
 MIAMI-DADE PLANNING AND ZONING DEPT.  
 BY AT

ARCHITECTURAL PLANS PREPARED BY THE ARCHITECTURAL ARCHITECTURE ARCHITECTS  
 ARCHITECTS OF RECORD - FLOOR PLANS, LAYOUTS, DIMENSIONS, ELEVATIONS, AND DETAILS



**KENNOTE LEGEND**  
 Kennotes are used to identify specific areas of the drawing that require further detail or clarification. They are typically used for complex details, materials, or construction methods. The legend provides a key to the symbols used in the drawing to identify these areas.

NO.	REVISIONS	DATE
1	ISSUE FOR PERMITTING - 1. REVISION TO 1.1 ELEV. PLANS APPROVAL - 1. REVISION TO 1.1 ELEV. PLANS APPROVAL - 1. REVISION TO 1.1 ELEV. PLANS APPROVAL	11/14/10
2	ISSUE FOR PERMITTING - 2. REVISION TO 2.1 ELEV. PLANS APPROVAL - 2. REVISION TO 2.1 ELEV. PLANS APPROVAL	11/14/10
3	ISSUE FOR PERMITTING - 3. REVISION TO 3.1 ELEV. PLANS APPROVAL - 3. REVISION TO 3.1 ELEV. PLANS APPROVAL	11/14/10
4	ISSUE FOR PERMITTING - 4. REVISION TO 4.1 ELEV. PLANS APPROVAL - 4. REVISION TO 4.1 ELEV. PLANS APPROVAL	11/14/10
5	ISSUE FOR PERMITTING - 5. REVISION TO 5.1 ELEV. PLANS APPROVAL - 5. REVISION TO 5.1 ELEV. PLANS APPROVAL	11/14/10
6	ISSUE FOR PERMITTING - 6. REVISION TO 6.1 ELEV. PLANS APPROVAL - 6. REVISION TO 6.1 ELEV. PLANS APPROVAL	11/14/10
7	ISSUE FOR PERMITTING - 7. REVISION TO 7.1 ELEV. PLANS APPROVAL - 7. REVISION TO 7.1 ELEV. PLANS APPROVAL	11/14/10
8	ISSUE FOR PERMITTING - 8. REVISION TO 8.1 ELEV. PLANS APPROVAL - 8. REVISION TO 8.1 ELEV. PLANS APPROVAL	11/14/10
9	ISSUE FOR PERMITTING - 9. REVISION TO 9.1 ELEV. PLANS APPROVAL - 9. REVISION TO 9.1 ELEV. PLANS APPROVAL	11/14/10
10	ISSUE FOR PERMITTING - 10. REVISION TO 10.1 ELEV. PLANS APPROVAL - 10. REVISION TO 10.1 ELEV. PLANS APPROVAL	11/14/10
11	ISSUE FOR PERMITTING - 11. REVISION TO 11.1 ELEV. PLANS APPROVAL - 11. REVISION TO 11.1 ELEV. PLANS APPROVAL	11/14/10
12	ISSUE FOR PERMITTING - 12. REVISION TO 12.1 ELEV. PLANS APPROVAL - 12. REVISION TO 12.1 ELEV. PLANS APPROVAL	11/14/10
13	ISSUE FOR PERMITTING - 13. REVISION TO 13.1 ELEV. PLANS APPROVAL - 13. REVISION TO 13.1 ELEV. PLANS APPROVAL	11/14/10
14	ISSUE FOR PERMITTING - 14. REVISION TO 14.1 ELEV. PLANS APPROVAL - 14. REVISION TO 14.1 ELEV. PLANS APPROVAL	11/14/10
15	ISSUE FOR PERMITTING - 15. REVISION TO 15.1 ELEV. PLANS APPROVAL - 15. REVISION TO 15.1 ELEV. PLANS APPROVAL	11/14/10
16	ISSUE FOR PERMITTING - 16. REVISION TO 16.1 ELEV. PLANS APPROVAL - 16. REVISION TO 16.1 ELEV. PLANS APPROVAL	11/14/10
17	ISSUE FOR PERMITTING - 17. REVISION TO 17.1 ELEV. PLANS APPROVAL - 17. REVISION TO 17.1 ELEV. PLANS APPROVAL	11/14/10
18	ISSUE FOR PERMITTING - 18. REVISION TO 18.1 ELEV. PLANS APPROVAL - 18. REVISION TO 18.1 ELEV. PLANS APPROVAL	11/14/10



A.1 PARKING LEVEL 3 & 4

ARCHITECTURAL PLANS PREPARED BY TYS CONSULTING ARCHITECTURE - A DIVISION OF ARCHITECTURE ASSOCIATES, INC. (TYS) FOR THE PROJECT OF WATERFORD CORE, 1700 N.W. 27th ST., MIAMI, FL 33135.

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 208-006  
 MAY 31 2011  
 ZONING HEARINGS SECTION  
 MIAMI-DADE PLANNING AND ZONING DEPT.  
 BY *XH*



**KEYNOTE LEGEND**

1. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.

2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.

4. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.

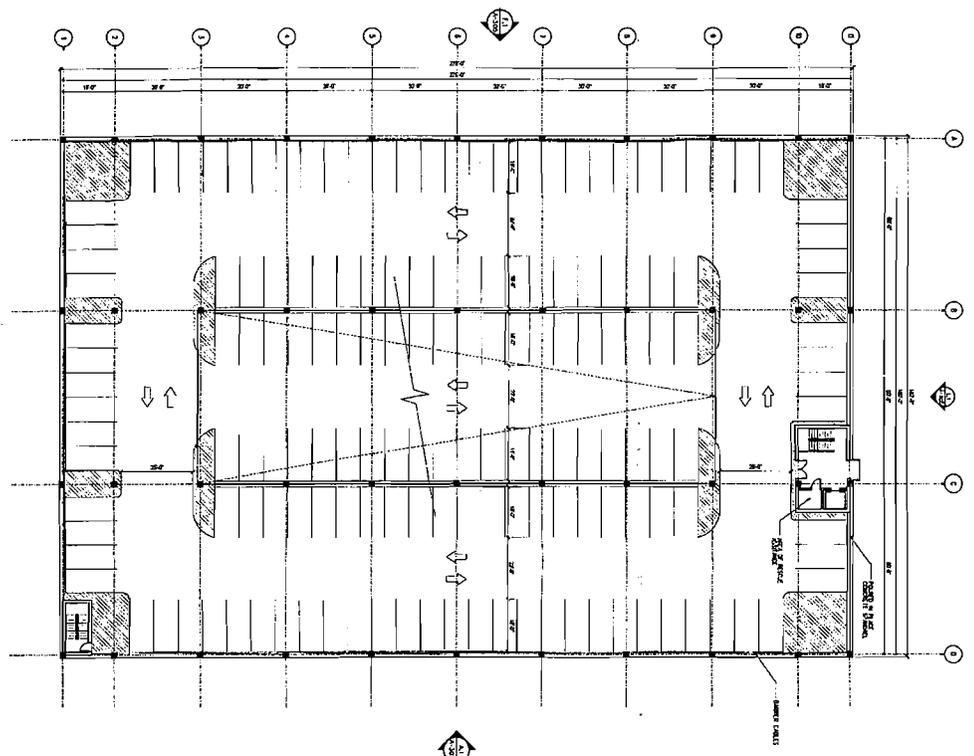


<p><b>WATERFORD CORE</b>                  1700 N.W. 27th ST.                  MIAMI, FL 33135</p>	
<p>Project Name: PARKING DECK 2 - LEVEL 3 &amp; 4 PLAN</p>	<p>Scale: A-302</p>
<p>Architect: TYS CONSULTING ARCHITECTURE, INC.</p>	<p>Date: 05/20/11</p>
<p>Project No.:</p>	<p>Sheet No.:</p>
<p>Client: WATERFORD CORE</p>	<p>Drawn By:</p>
<p>Checked By:</p>	<p>Scale:</p>

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MAY 31 2011

A 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19

A1  
PARKING LEVEL 5



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MIAMI-DADE PLANNING AND ZONING DEPT.  
MAY 31 2011  
BY *[Signature]*

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APPROVED FOR CONSTRUCTION  
APPROVED FOR CONSTRUCTION

<p>TWS SYSTEMS INC. ENGINEERING ARCHITECTURE &amp; INTERIOR DESIGN 1000 N.W. 107th Ave., Suite 100 Miami, FL 33177 Tel: 305.444.1111 Fax: 305.444.1112</p>	
<p><b>KEYNOTE LEGEND</b></p> <p>1. SEE SHEET A-302 FOR KEYNOTE LEGEND</p>	
<p><b>WATERFORD CORE</b> HIGH RISE MAY 10, 2010</p>	
<p><b>PARKING DECK 2 - LEVEL 5 PLAN</b></p>	
<p>DATE: 05/10/10 DRAWN BY: [Name] CHECKED BY: [Name] SCALE: 1/8" = 1'-0"</p>	
<p><b>A-303</b></p>	



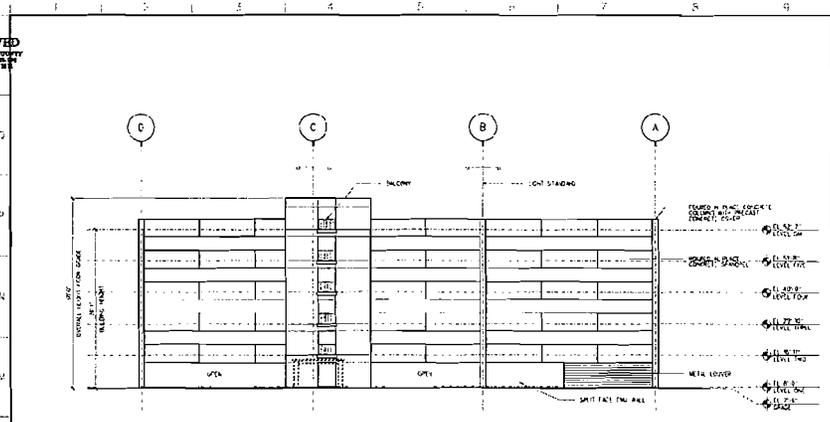
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 05/11/2011 10:00 AM  
 CIVIL ENGINEERING

**tvS** TVS FLORIDA INC. ARCHITECTURE  
 10000 W. BOULEVARD  
 SUITE 100  
 MIAMI, FL 33156  
 (305) 551-1100  
 www.tvSfla.com

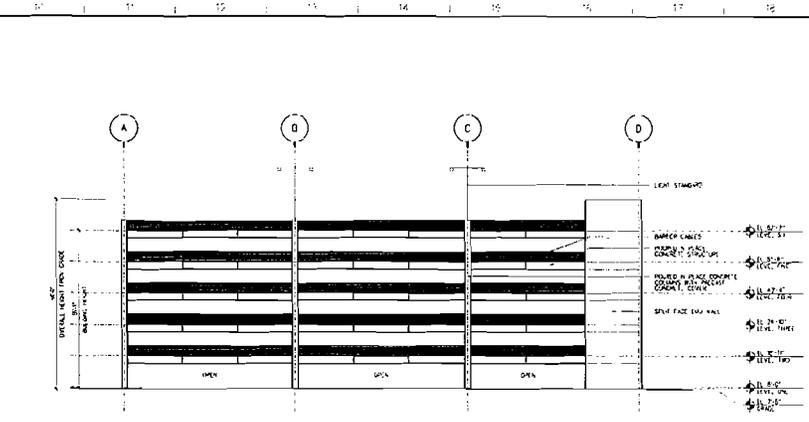
Scale is indicated on each drawing. The drawings are prepared on the basis of the information provided by the client. The architect assumes no responsibility for the accuracy of the information provided. The drawings are prepared in accordance with the Florida Building Code, Chapter 6, Part 9, and the Florida State Board of Building and Code Officials. The drawings are prepared in accordance with the Florida Building Code, Chapter 6, Part 9, and the Florida State Board of Building and Code Officials. The drawings are prepared in accordance with the Florida Building Code, Chapter 6, Part 9, and the Florida State Board of Building and Code Officials.

**KEYNOTE LEGEND**

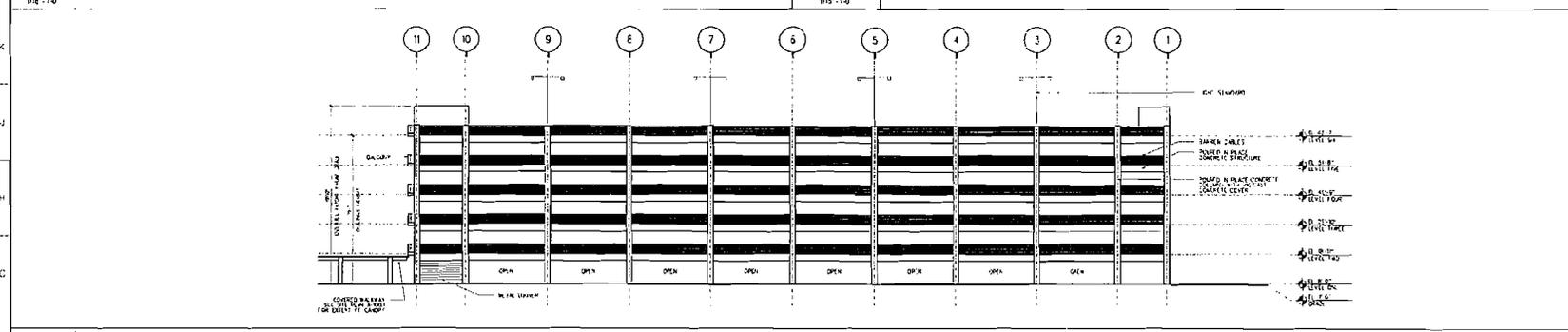
ELEVATION TAKEN FROM MEAN SEA LEVEL



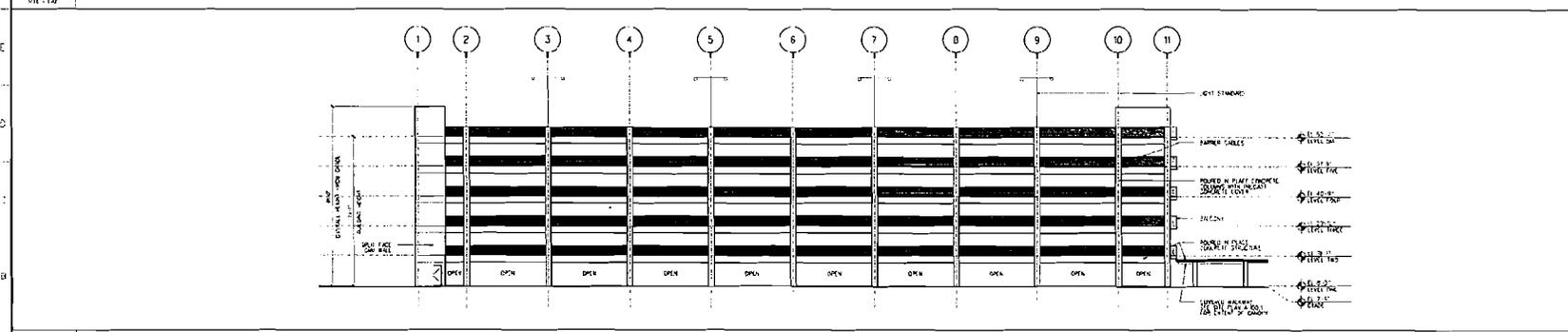
L,1 NORTH ELEVATION



L,10 SOUTH ELEVATION



F,1 WEST ELEVATION



A,1 EAST ELEVATION

ARCHITECTURAL PLANS PREPARED BY TVS FLORIDA INC. ARCHITECTURE - AA2000742  
 ARCHITECT OF RECORD - EUGENE RUSSELL MONTENEGROS REGISTRATION NO. AR20215

7	SITE PLAN APPROVAL - REVISION 05	07/26/2011
6	SITE PLAN APPROVAL - REVISION 03	04/12/2011
5	SITE PLAN APPROVAL - REVISION 02	03/22/2011
4	SITE PLAN APPROVAL - REVISION 01	04/05/2010
3	SITE PLAN APPROVAL - REVISION 02	03/07/2009
2		
1	REVISION/SUBMISSIONS	0012

**WATERFORD CORE**  
 10000 W. BOULEVARD  
 MIAMI, FLORIDA 33156

Drawing Title: **PARKING DECK 2 - ELEVATIONS**

Sheet No: **A-305**

Scale: 1/8" = 1'-0"

DATE: 05/11/2011

BY: [Signature]

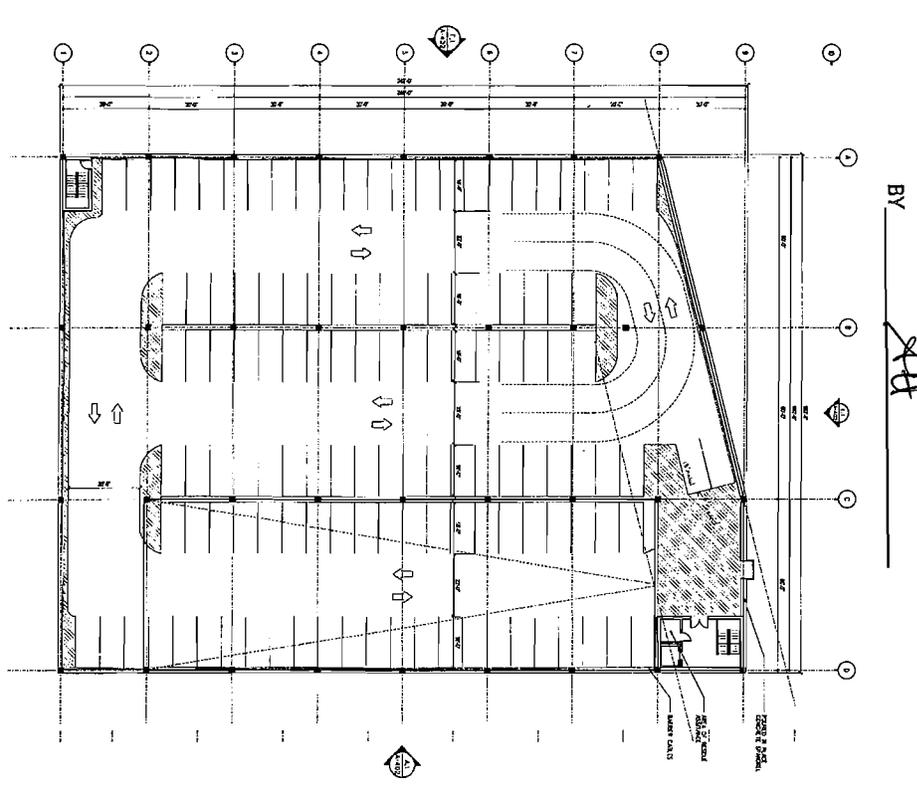
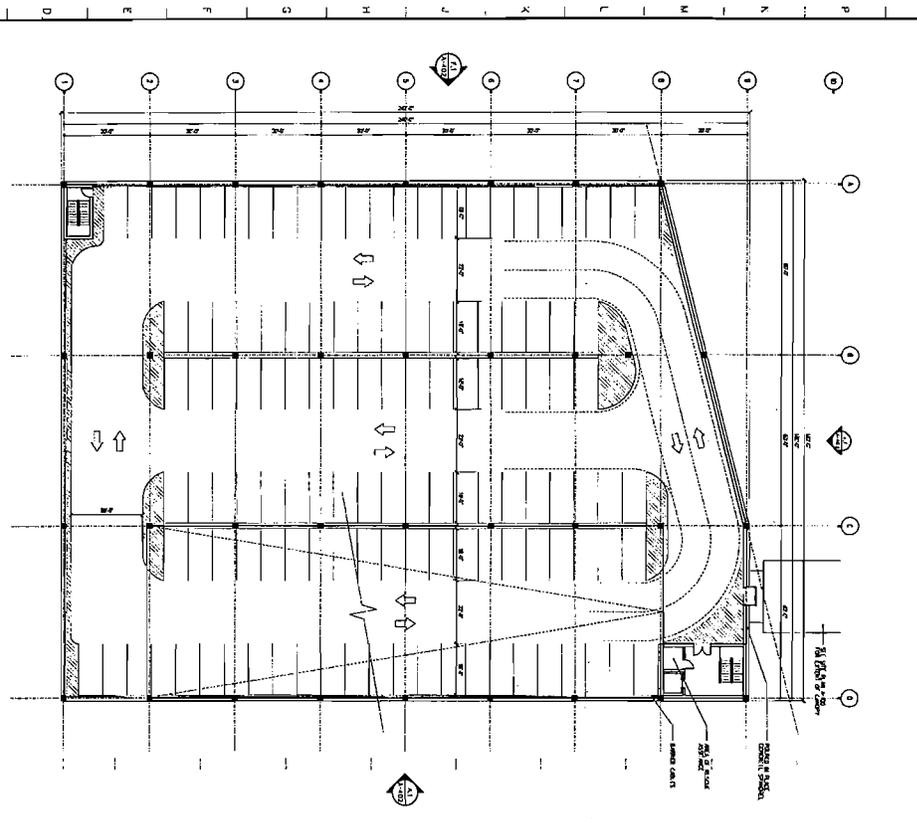
CHECKED: [Signature]

APPROVED: [Signature]



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 MAY 31 2011

ZONING HEARINGS SECTION  
 MIAMI-DADE PLANNING AND ZONING DEPT.  
 BY SKF



A.1  
 PARKING LEVEL 2, 3 AND 4  
 DATE: 11-12

A.10  
 PARKING LEVEL 5  
 DATE: 11-12

APPROVED BY: [Signature]  
 ARCHITECT: [Signature]  
 PROJECT: [Signature]

**KEYNOTE LEGEND**

THIS SHEET IS PART OF A SET OF DRAWINGS FOR THE PROJECT. THE DRAWINGS ARE TO BE USED IN CONJUNCTION WITH THE PROJECT MANUAL AND THE SPECIFICATIONS. THE DRAWINGS ARE TO BE USED TO CONSTRUCT THE PROJECT. THE DRAWINGS ARE TO BE USED TO CONSTRUCT THE PROJECT. THE DRAWINGS ARE TO BE USED TO CONSTRUCT THE PROJECT.

**WATERFORD CORE**  
 1000 BROADWAY  
 MIAMI, FL 33133

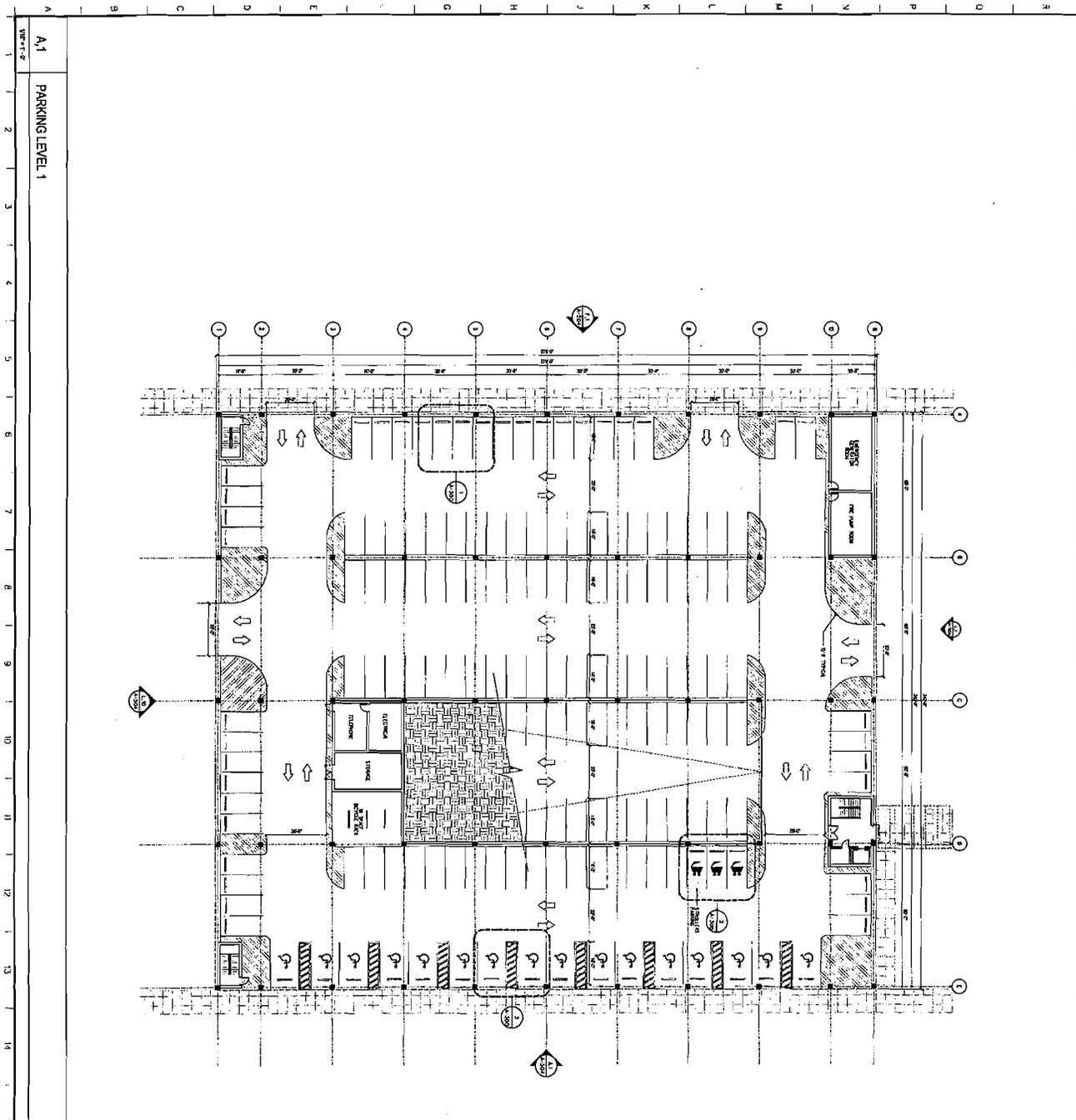
NO.	DESCRIPTION	DATE
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3	ISSUED FOR PERMIT	02/17/2011
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5	ISSUED FOR PERMIT	02/17/2011
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7	ISSUED FOR PERMIT	02/17/2011
8	ISSUED FOR PERMIT	02/17/2011
9	ISSUED FOR PERMIT	02/17/2011
10	ISSUED FOR PERMIT	02/17/2011

**PROJECT INFORMATION**

PROJECT NO. [Blank]  
 SHEET NO. [Blank]  
 TOTAL SHEETS [Blank]

**A-401**





ARCHITECTURAL PLANS PREPARED BY STURDIN INC. ARCHITECTURE. ANALYSIS  
 REPORT BY RICHARD COOPER ASSOCIATES. CONSULTING ARCHITECTS

PARKING DECK 1 PRELEBS  
 80 SPACES INCLUDING HANDICAP SPACES  
 AND SHOULDER PARKING SPACES

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 MAY 31 2011  
 ZONING HEARINGS SECTION  
 MIAMI-DADE PLANNING AND ZONING DEPT.  
 BY *SH*

**WATERFORD CORE**  
 WATERFORD CORE  
 1200 BROADWAY  
 MIAMI, FL 33130  
 TEL: 305.375.1200  
 FAX: 305.375.1201  
 WWW.WATERFORDCORE.COM

Project Title: **PARKING DECK 1 - LEVEL 1 PLAN**  
 Date: **05/27/2011**  
 Drawing No.: **A-500**

NO.	REVISION/DESCRIPTION	DATE
1	SITE PLAN APPROVAL - RECORD SET	05/27/2011
2	SITE PLAN APPROVAL - RECORD SET	05/27/2011
3	SITE PLAN APPROVAL - RECORD SET	05/27/2011
4	SITE PLAN APPROVAL - RECORD SET	05/27/2011
5	SITE PLAN APPROVAL - RECORD SET	05/27/2011

NO.	REVISION/DESCRIPTION	DATE
1	SITE PLAN APPROVAL - RECORD SET	05/27/2011
2	SITE PLAN APPROVAL - RECORD SET	05/27/2011
3	SITE PLAN APPROVAL - RECORD SET	05/27/2011
4	SITE PLAN APPROVAL - RECORD SET	05/27/2011
5	SITE PLAN APPROVAL - RECORD SET	05/27/2011

NO.	REVISION/DESCRIPTION	DATE
1	SITE PLAN APPROVAL - RECORD SET	05/27/2011
2	SITE PLAN APPROVAL - RECORD SET	05/27/2011
3	SITE PLAN APPROVAL - RECORD SET	05/27/2011
4	SITE PLAN APPROVAL - RECORD SET	05/27/2011
5	SITE PLAN APPROVAL - RECORD SET	05/27/2011

NO.	REVISION/DESCRIPTION	DATE
1	SITE PLAN APPROVAL - RECORD SET	05/27/2011
2	SITE PLAN APPROVAL - RECORD SET	05/27/2011
3	SITE PLAN APPROVAL - RECORD SET	05/27/2011
4	SITE PLAN APPROVAL - RECORD SET	05/27/2011
5	SITE PLAN APPROVAL - RECORD SET	05/27/2011

NO.	REVISION/DESCRIPTION	DATE
1	SITE PLAN APPROVAL - RECORD SET	05/27/2011
2	SITE PLAN APPROVAL - RECORD SET	05/27/2011
3	SITE PLAN APPROVAL - RECORD SET	05/27/2011
4	SITE PLAN APPROVAL - RECORD SET	05/27/2011
5	SITE PLAN APPROVAL - RECORD SET	05/27/2011

**tvs**  
 TAYLOR VAN SICKLE ARCHITECTURE  
 1200 BROADWAY  
 MIAMI, FL 33130  
 TEL: 305.375.1200  
 FAX: 305.375.1201  
 WWW.TVSARCHITECTURE.COM

**KEYNOTE LEGEND**

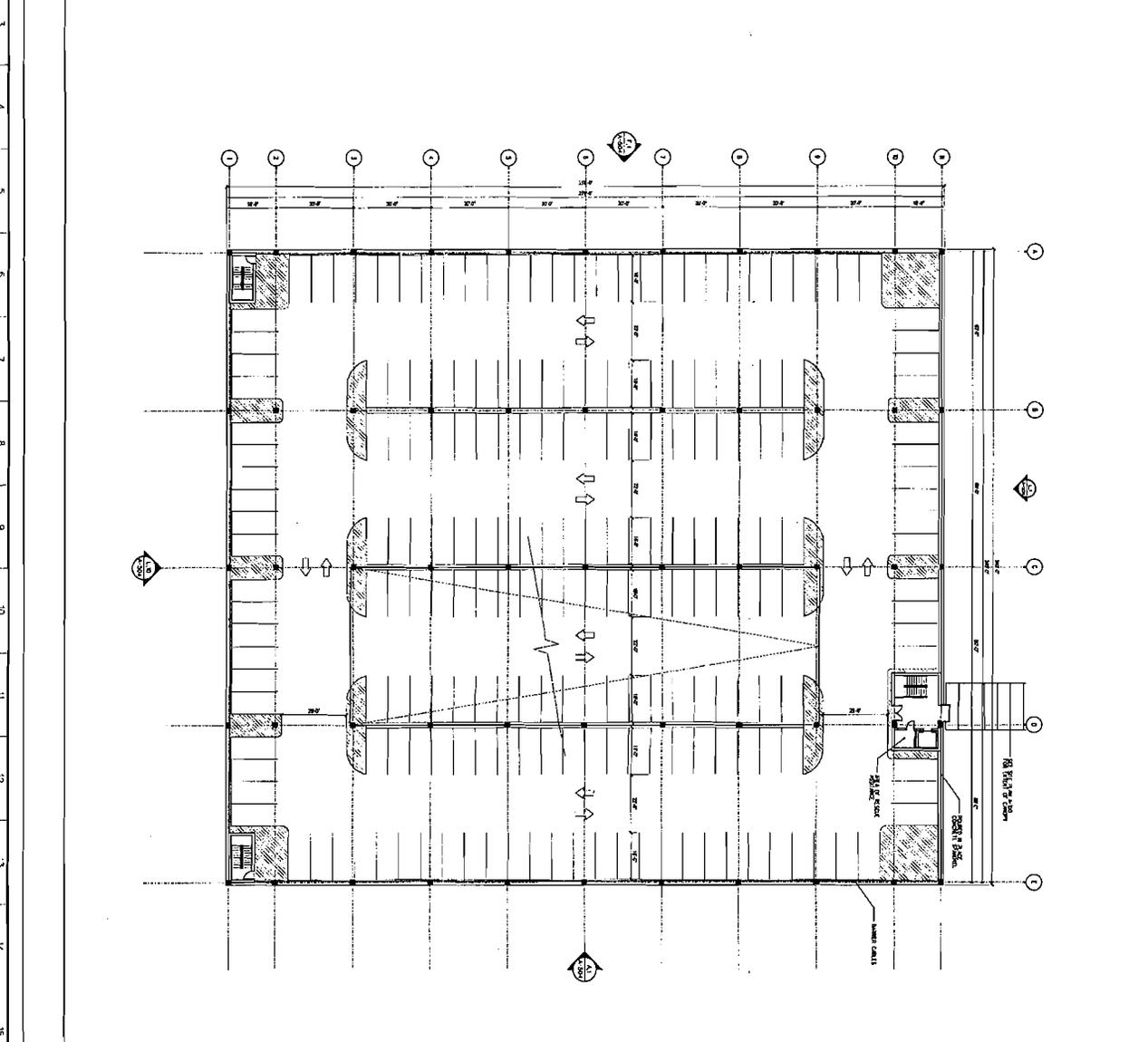
1. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.  
 2. DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.  
 3. DIMENSIONS TO CENTERLINE UNLESS OTHERWISE NOTED.  
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55

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MAY 31 2011

A 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19

A1  
PARKING LEVEL 2  
DATE: 11-1-10

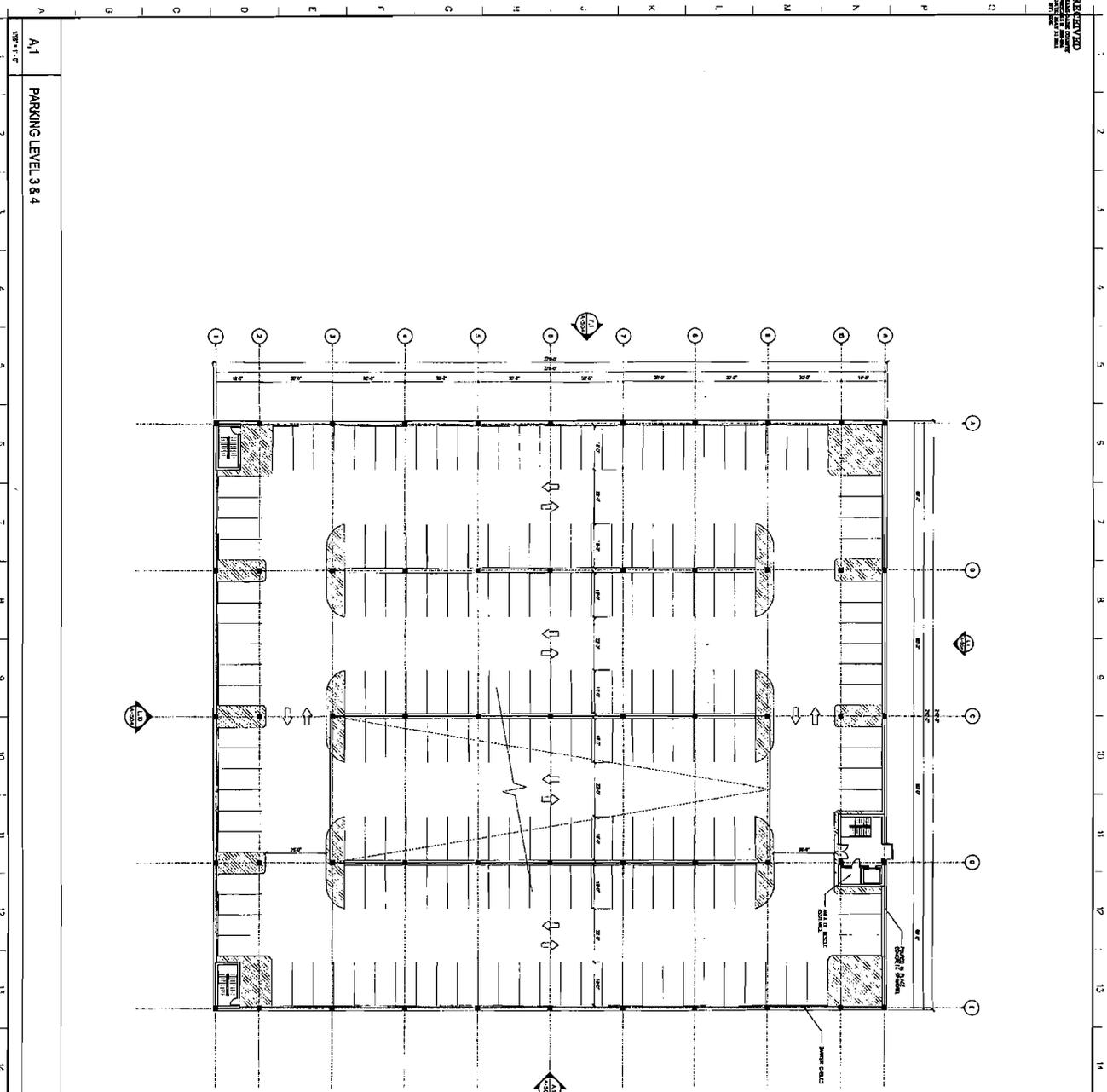


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MAY 31 2011

ZONING HEARINGS SECT ON  
MIAMI-DADE PLANNING AND ZONING DEPT.  
BY XLL

APPROVED AS SHOWN BY THE PLANNING AND ZONING DEPARTMENT  
APPROVED BY REGIONAL CLERK KESSIE LUTHELMER RESIDENTIAL AND BUSINESS

<p>TWS TRUSTEES OF WATERFORD SERVICES</p>	
<p>KEYNOTE LEGEND</p> <p>1. CONCRETE SLAB 2. CONCRETE WALL 3. CONCRETE COLUMN 4. CONCRETE BEAM 5. CONCRETE GIRDER 6. CONCRETE JOIST 7. CONCRETE DECK 8. CONCRETE CURB 9. CONCRETE CURB WALL 10. CONCRETE CURB WALL WITH FINISH 11. CONCRETE CURB WALL WITH FINISH AND RAMP 12. CONCRETE CURB WALL WITH FINISH AND RAMP AND CURB 13. CONCRETE CURB WALL WITH FINISH AND RAMP AND CURB AND FINISH 14. CONCRETE CURB WALL WITH FINISH AND RAMP AND CURB AND FINISH AND CURB 15. CONCRETE CURB WALL WITH FINISH AND RAMP AND CURB AND FINISH AND CURB AND FINISH AND CURB AND FINISH</p>	
<p>WATERFORD CORE 14750 S.W. 24th St MIAMI, FL 33185</p>	
<p>PARKING DECK 1 - LEVEL 2 PLAN</p> <p>Project No. _____ Drawing No. _____ Scale: _____ Date: _____</p>	
<p>A-501</p>	



A.1  
PARKING LEVEL 3 & 4

ARCHITECTURAL PLANS PREPARED BY THE CONSULTING ARCHITECTURE FIRM OF  
ARCHITECTS IN REPLY TO THE REQUEST FOR PROPOSALS FOR THE  
RECONSTRUCTION OF THE WATERFORD CORE

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2011-05-06  
MAY 31 2011  
ZONING HEARINGS SECTION  
MIAMI-DADE PLANNING AND ZONING DEPT.  
BY *XLF*

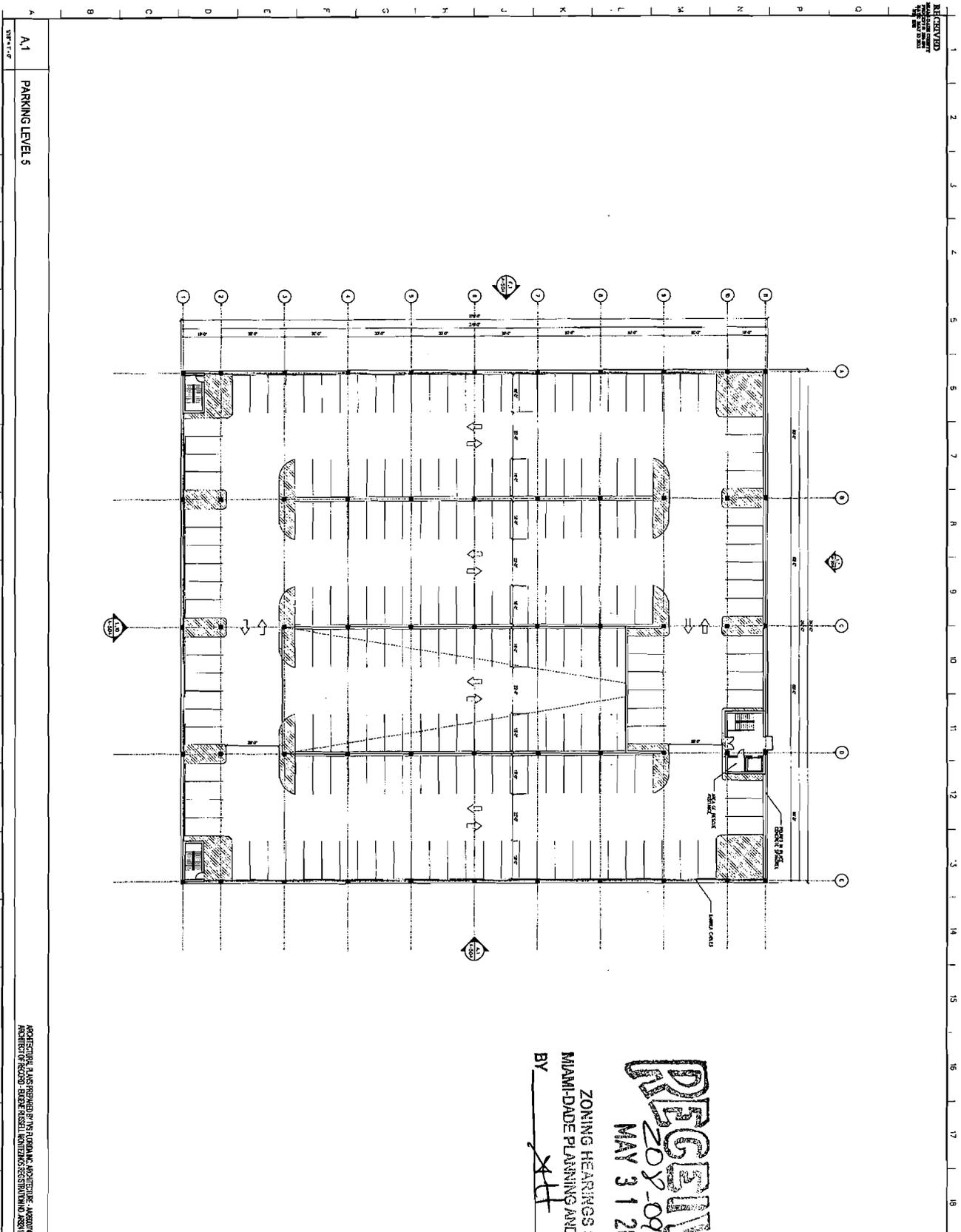


**KEYNOTE LEGEND**

1. EXISTING CONSTRUCTION  
2. NEW CONSTRUCTION  
3. EXISTING CONSTRUCTION TO REMAIN  
4. EXISTING CONSTRUCTION TO BE DEMOLISHED  
5. EXISTING CONSTRUCTION TO BE RECONSTRUCTED  
6. EXISTING CONSTRUCTION TO BE RECONSTRUCTED AND ENLARGED  
7. EXISTING CONSTRUCTION TO BE RECONSTRUCTED AND ENLARGED WITH NEW MATERIALS  
8. EXISTING CONSTRUCTION TO BE RECONSTRUCTED AND ENLARGED WITH NEW MATERIALS AND FINISHES  
9. EXISTING CONSTRUCTION TO BE RECONSTRUCTED AND ENLARGED WITH NEW MATERIALS AND FINISHES AND STRUCTURE

NO.	REVISION/DESCRIPTION	DATE
1	REVISED PER COMMENTS	05/27/11
2	REVISED PER COMMENTS	06/02/11
3	REVISED PER COMMENTS	06/02/11
4	REVISED PER COMMENTS	06/02/11
5	REVISED PER COMMENTS	06/02/11
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17	REVISED PER COMMENTS	06/02/11
18	REVISED PER COMMENTS	06/02/11
19	REVISED PER COMMENTS	06/02/11
20	REVISED PER COMMENTS	06/02/11

PROJECT TITLE: WATERFORD CORE  
 PROJECT NO.: WFC-10-000000  
 SHEET NO.: A-502



ARCHITECTURAL PLAN PREPARED BY FORDIAN ARCHITECTURE ARCHITECTS  
ARCHITECT OF RECORD: BRUCE F. BISSONNETTE ARCHITECTS

PROJECT No. 1000000000  
DATE: 05/01/11  
DRAWING TITLE: PARKING DECK 1 - LEVEL 5 PLAN  
SCALE: AS SHOWN

**WATERFORD CORE**  
NEW ENGLAND  
WATERFORD CORE  
WATERFORD CORE

NO.	DESCRIPTION	DATE	BY
1	1. SITE PLAN APPROVAL - REGION OF		
2	2. SITE PLAN APPROVAL - REGION OF		
3	3. SITE PLAN APPROVAL - REGION OF		
4	4. SITE PLAN APPROVAL - REGION OF		
5	5. SITE PLAN APPROVAL - REGION OF		
6	6. SITE PLAN APPROVAL - REGION OF		
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15	15. SITE PLAN APPROVAL - REGION OF		
16	16. SITE PLAN APPROVAL - REGION OF		
17	17. SITE PLAN APPROVAL - REGION OF		
18	18. SITE PLAN APPROVAL - REGION OF		

PREPARED BY  
FORDIAN ARCHITECTURE ARCHITECTS

ZONING HEARINGS SECTION  
MIAMI-DADE PLANNING AND ZONING DEPT.  
BY: SH

**RECEIVED**  
2011-05-31  
MAY 31 2011

KEYNOTE LEGEND

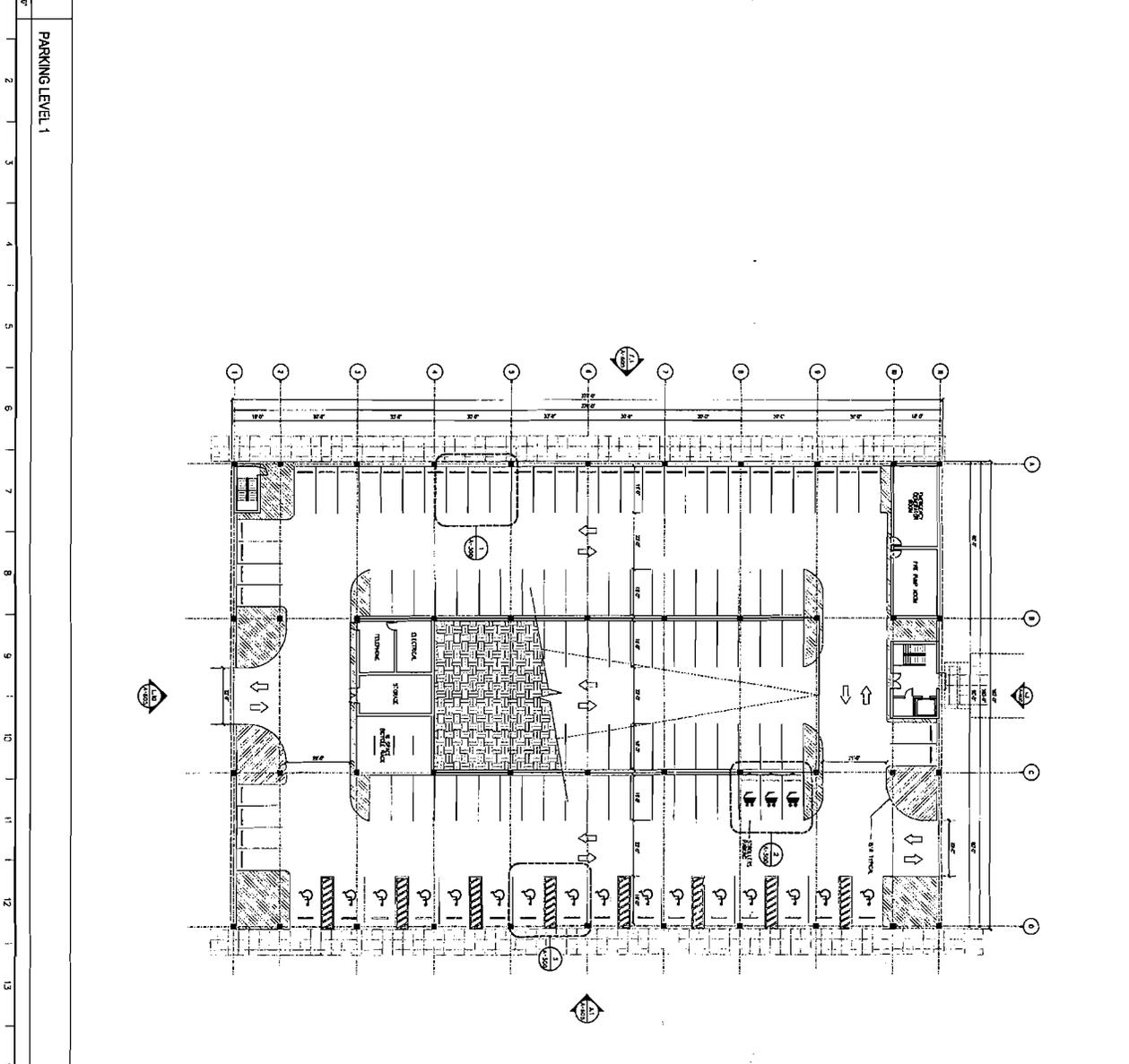
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**fvs**  
FORDIAN VENTURES & SERVICES  
1000000000  
1000000000



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A 1  
PARKING LEVEL 1  
1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17



PARKING DECK'S SOLIDIFIED  
SPACES INCLUDING SHROUDED SPACES  
AND STROLLER PARKING SPACES

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ZONING HEARINGS SECTION  
MIAMI-DADE PLANNING AND ZONING DEPT  
BY *ALT*

ARCHITECTURAL PLANS PREPARED BY TYS ARCHITECTURE, INC. ARCHITECTURE, AN ARCHITECTURAL FIRM REGISTERED IN THE STATE OF FLORIDA  
ARCHITECT OF RECORD: BOBBER BASSAL, LICENSED ARCHITECT IN FLORIDA

**tys**  
TYS ARCHITECTURE  
1000 N. W. 10th Street, Suite 100  
Miami, FL 33136  
Tel: 305.575.1111  
Fax: 305.575.1112  
www.tysarch.com

**KEYNOTE LEGEND**

1. SEE ARCHITECTURAL PLAN FOR THE LOCATION OF THE KEYNOTE LEGEND.  
2. SEE ARCHITECTURAL PLAN FOR THE LOCATION OF THE KEYNOTE LEGEND.  
3. SEE ARCHITECTURAL PLAN FOR THE LOCATION OF THE KEYNOTE LEGEND.  
4. SEE ARCHITECTURAL PLAN FOR THE LOCATION OF THE KEYNOTE LEGEND.  
5. SEE ARCHITECTURAL PLAN FOR THE LOCATION OF THE KEYNOTE LEGEND.

**WATERFORD CORE**  
MAY 2011  
CONSTRUCTION PERMITS

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITTING	05/17/2011
2	ISSUED FOR PERMITTING	05/17/2011
3	ISSUED FOR PERMITTING	05/17/2011
4	ISSUED FOR PERMITTING	05/17/2011
5	ISSUED FOR PERMITTING	05/17/2011

PROJECT NO. **A-600**

DATE: 05/17/2011

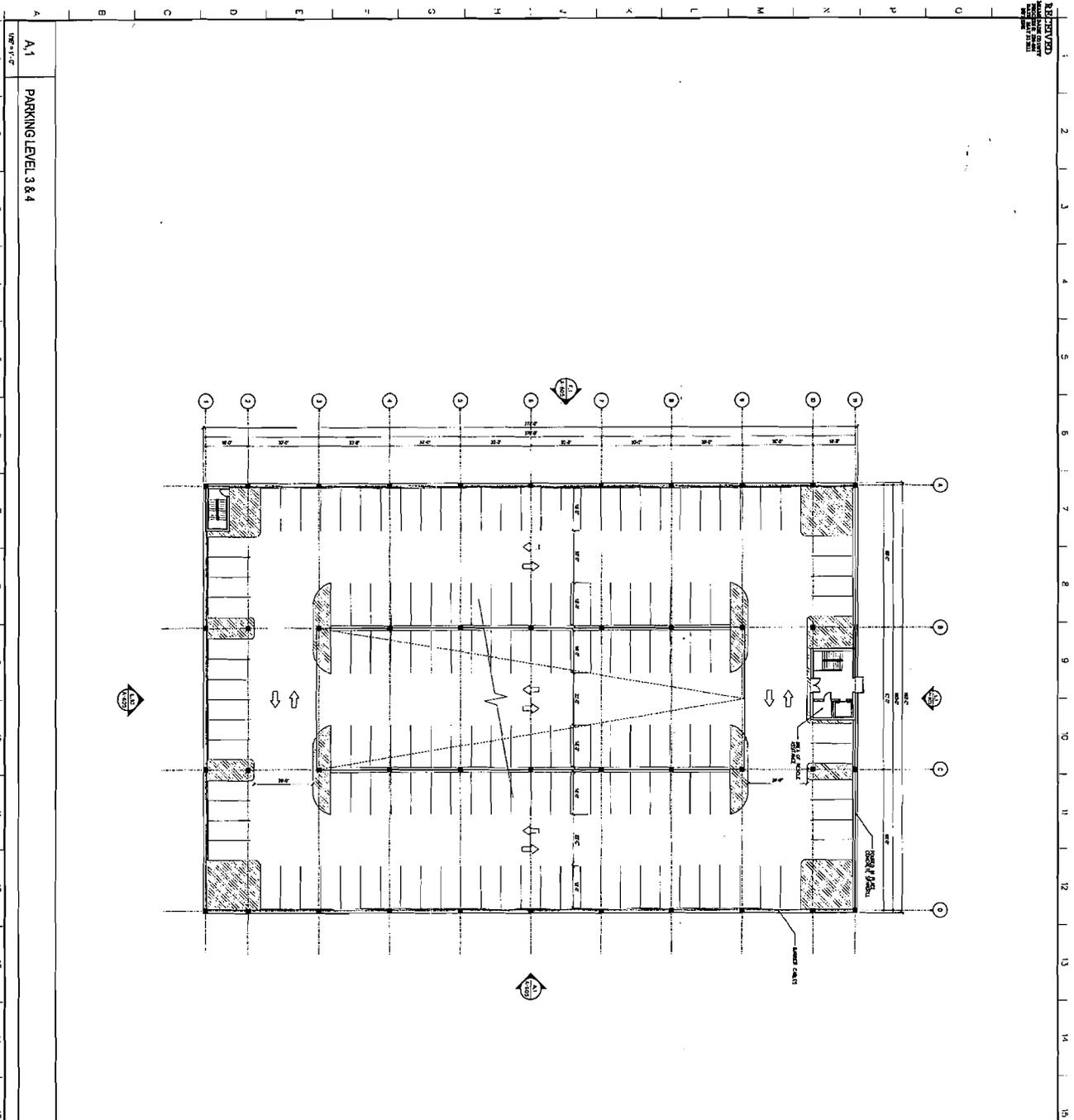
SCALE: AS SHOWN

NOT RELEASED FOR CONSTRUCTION

60



NOT TO SCALE  
 1/8" = 1'-0"  
 1/4" = 1'-0"  
 1/2" = 1'-0"  
 3/4" = 1'-0"  
 1" = 1'-0"



A.1  
 PARKING LEVEL 3 & 4

ARCHITECTURAL PLANS PREPARED BY THE FORD, INC. ARCHITECTURE - MIAMI  
 ARCHITECT OF RECORD - EUGENE B. RUSSELL ARCHITECTS ASSOCIATION, INC.

ZONING HEARINGS SECTION  
 MIAMI-DADE PLANNING AND ZONING DEPT.  
 BY *AF*

**RECEIVED**  
 208-096  
 MAY 31 2011

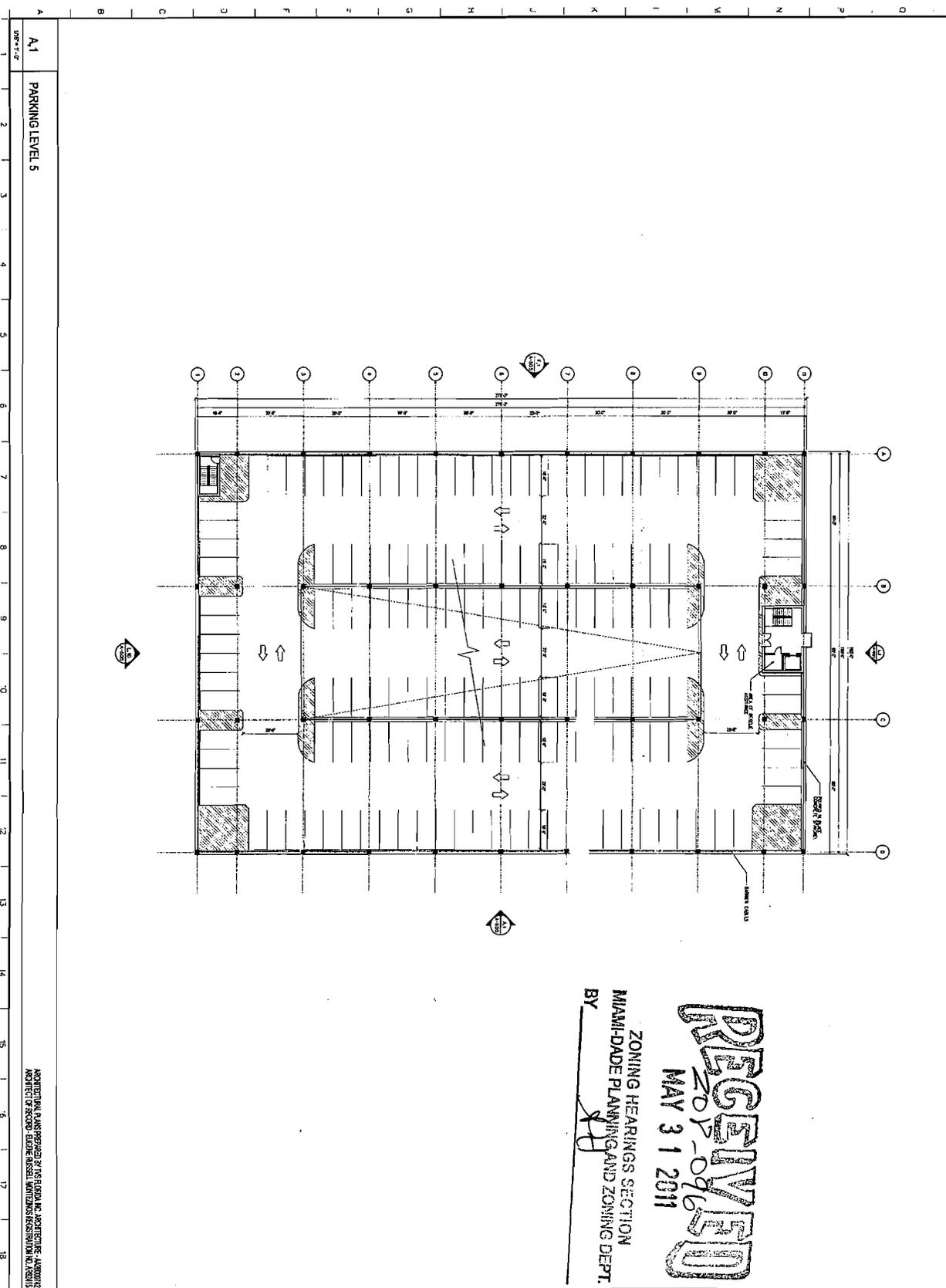
<p>Project Title  <b>PARKING DECK 3 - LEVEL 3 &amp; 4 PLAN</b></p> <p>Project No.  <b>A-602</b></p>	<p>Scale  <b>1/8" = 1'-0"</b></p>
<p>Client  <b>WATERFORD CORE</b></p> <p>Address  <b>1000 BAYVIEW BLVD</b></p>	<p>Revision  <b>1</b></p>
<p>Architect  <b>THE FORD, INC.</b></p>	<p>Date  <b>05/27/2011</b></p>
<p>Architect of Record  <b>EUGENE B. RUSSELL ARCHITECTS ASSOCIATION, INC.</b></p>	<p>Sheet No.  <b>01/17/2011</b></p>

**tvs**  
 THE FORD, INC. ARCHITECTURE  
 PROFESSIONAL SEAL, REGISTERED ARCHITECT  
 1000 BAYVIEW BLVD  
 MIAMI, FL 33134  
 (305) 371-1111

**KERNOTE LEGEND**

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.  
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.  
 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.  
 4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

REVISIONS  
 1. 05/11/11  
 2. 05/11/11  
 3. 05/11/11



A.1 PARKING LEVEL 5

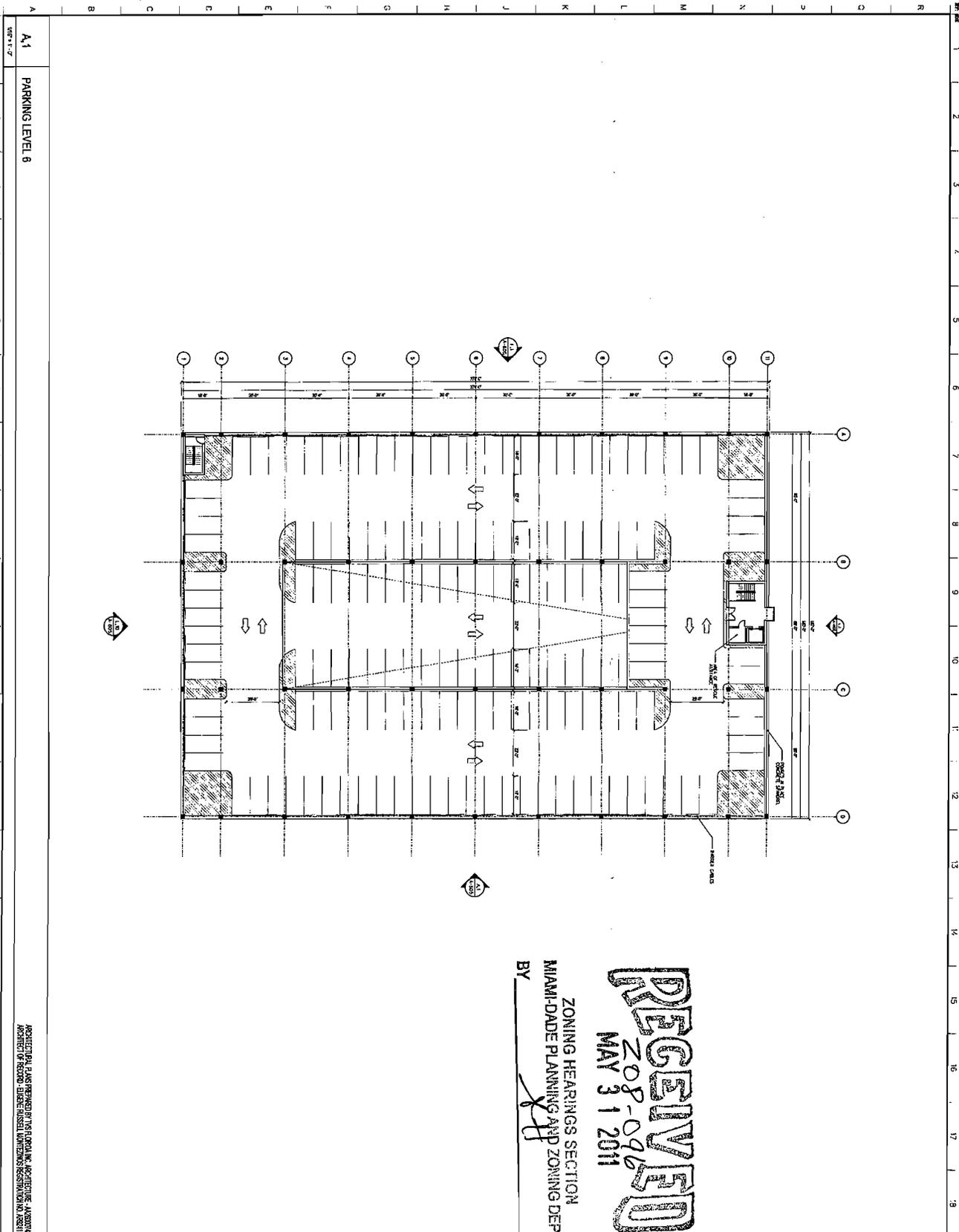
05/11/11 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19

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 MAY 31 2011  
 ZONING HEARINGS SECTION  
 MIAMI-DADE PLANNING AND ZONING DEPT.  
 BY *[Signature]*

ADDITIONAL PLANS PREPARED BY THE ARCHITECTURE ASSOCIATE ARCHITECTS OF RECORD, SUBJECT HEREIN, AND THE ARCHITECT ASSOCIATE ARCHITECTS OF RECORD.

<p>INTERNATIONAL ARCHITECTURE        1000 BAYVIEW DRIVE, SUITE 1000        MIAMI BEACH, FL 33139        TEL: 305.673.1100        FAX: 305.673.1101        WWW.LVSARCHITECTS.COM</p>	
<p><b>KEYNOTE LEGEND</b></p> <p>1. 05/11/11        2. 05/11/11        3. 05/11/11</p>	
<p><b>WATERFORD CORE</b>        WATERFORD CORE        MIAMI-DADE COUNTY</p>	
<p><b>PARKING DECK 3 - LEVEL 5 PLAN</b></p> <p>Project No. _____        Drawing No. _____        Date _____</p>	
<p><b>A-603</b></p>	

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2010-09-16  
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ZONING HEARINGS SECTION  
MIAMI-DADE PLANNING AND ZONING DEPT.  
BY \_\_\_\_\_

ARCHITECTURAL PLANS PREPARED BY THE ARCHITECTURE, INC. ARCHITECTS  
ARCHITECTS IN RECORD - JAMES HENNESSY ARCHITECTS, P.A. ARCHITECTS

**tvs**  
THE VISUALS GROUP  
ARCHITECTURAL AND INTERIOR DESIGN  
1000 BAYVIEW BLVD., SUITE 1000  
MIAMI, FL 33134  
TEL: 305.575.1100  
WWW.TVSGROUP.COM

**KEYNOTE LEGEND**  
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3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.  
4. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.  
5. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.

NO.	DESCRIPTION	DATE
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2	2. DATE OF THE ORIGINAL DESIGN OF THE PROJECT	10/12/2009
3	3. DATE OF THE ORIGINAL DESIGN OF THE PROJECT	10/12/2009
4	4. DATE OF THE ORIGINAL DESIGN OF THE PROJECT	10/12/2009
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10	10. DATE OF THE ORIGINAL DESIGN OF THE PROJECT	10/12/2009
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18	18. DATE OF THE ORIGINAL DESIGN OF THE PROJECT	10/12/2009
19	19. DATE OF THE ORIGINAL DESIGN OF THE PROJECT	10/12/2009

**WATERFORD CORE**  
RENEWABLE  
APARTMENTS

Project Title: **PARKING DECK 3 - LEVEL 3 SPAN**

Project No.: **A-604**

Scale: \_\_\_\_\_

Sheet: \_\_\_\_\_

Drawn By: \_\_\_\_\_

Checked By: \_\_\_\_\_

Approved By: \_\_\_\_\_

DATE: \_\_\_\_\_

64

59

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MIAMI DADE PLANNING AND ZONING DEPT.  
JUL 14 2011



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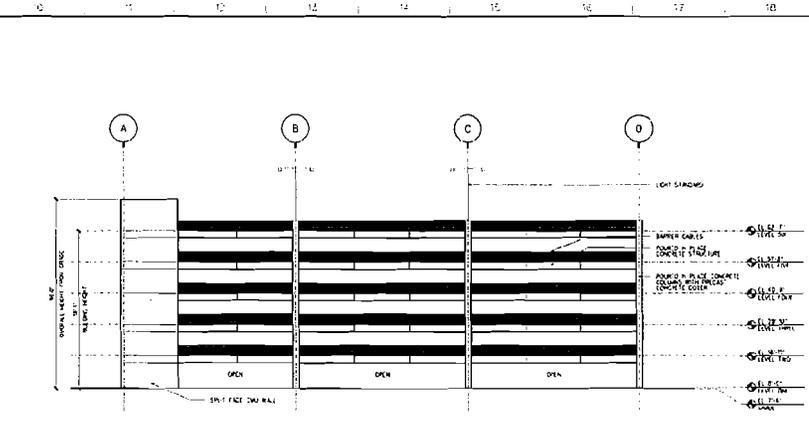
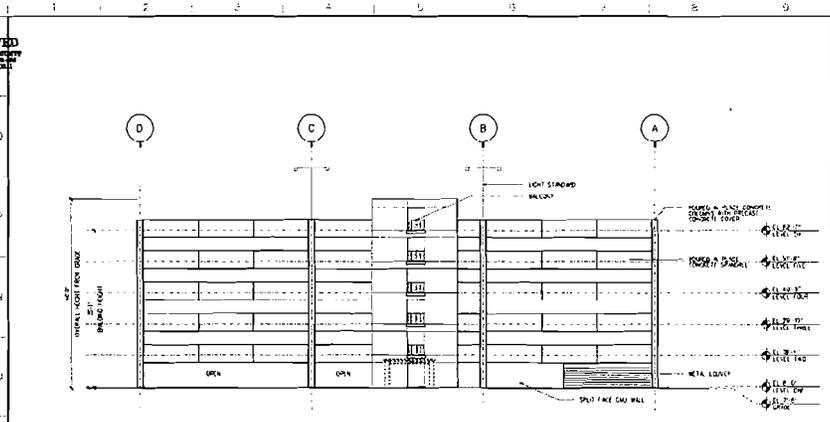
To be used in the project of the client. The architect shall not be held responsible for any errors or omissions in the drawings or specifications prepared by the architect.

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KEYNOTE LEGEND

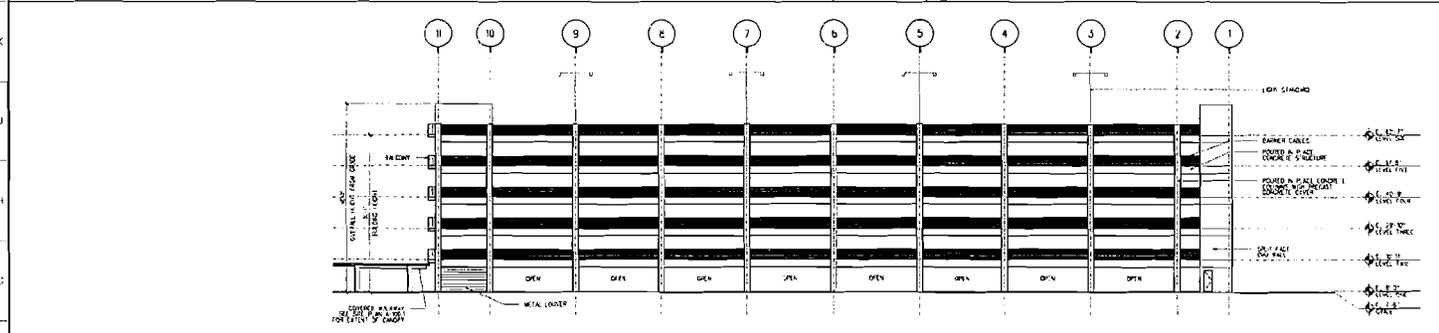
ELEVATION TAKEN FROM MEAN SEA LEVEL

- LEVEL 30
- LEVEL 29
- LEVEL 28
- LEVEL 27
- LEVEL 26
- LEVEL 25
- LEVEL 24
- LEVEL 23
- LEVEL 22
- LEVEL 21
- LEVEL 20
- LEVEL 19
- LEVEL 18
- LEVEL 17
- LEVEL 16
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- LEVEL 14
- LEVEL 13
- LEVEL 12
- LEVEL 11
- LEVEL 10
- LEVEL 9
- LEVEL 8
- LEVEL 7
- LEVEL 6
- LEVEL 5
- LEVEL 4
- LEVEL 3
- LEVEL 2
- LEVEL 1
- LEVEL 0

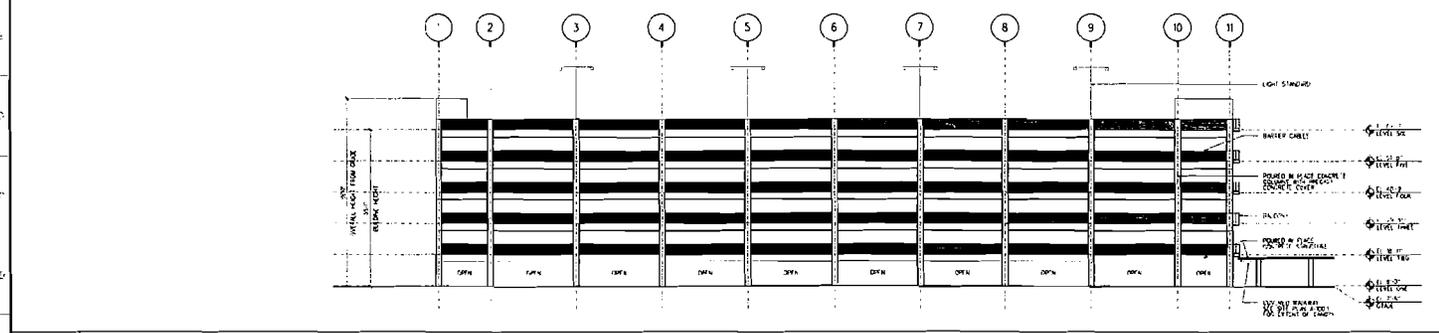


L,1 NORTH ELEVATION  
1/16" = 1'-0"

L,10 SOUTH ELEVATION  
1/16" = 1'-0"



F,1 WEST ELEVATION  
1/16" = 1'-0"



A,1 EAST ELEVATION  
1/16" = 1'-0"

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209-096  
JUL 14 2011

ZONING HEARINGS SECTION  
MIAMI-DADE PLANNING AND ZONING DEPT.  
BY *AK*

209-096  
JK

No.	REVISIONS/SUBMISSIONS	Date
7	SITE PLAN APPROVAL - REVISION 09	07/06/2011
6	SITE PLAN APPROVAL - REVISION 08	04/12/2011
5	SITE PLAN APPROVAL - REVISION 07	07/22/2010
4	SITE PLAN APPROVAL - REVISION 06	08/02/2010
3	SITE PLAN APPROVAL - REVISION 05	05/07/2010
2		
1		

**WATERFORD CORE**  
1101 GUY AVENUE  
MIAMI, FLORIDA 33136

Drawing Title: **PARKING DECK 3 - ELEVATIONS**

Project No. \_\_\_\_\_ Drawing No. **A-605**

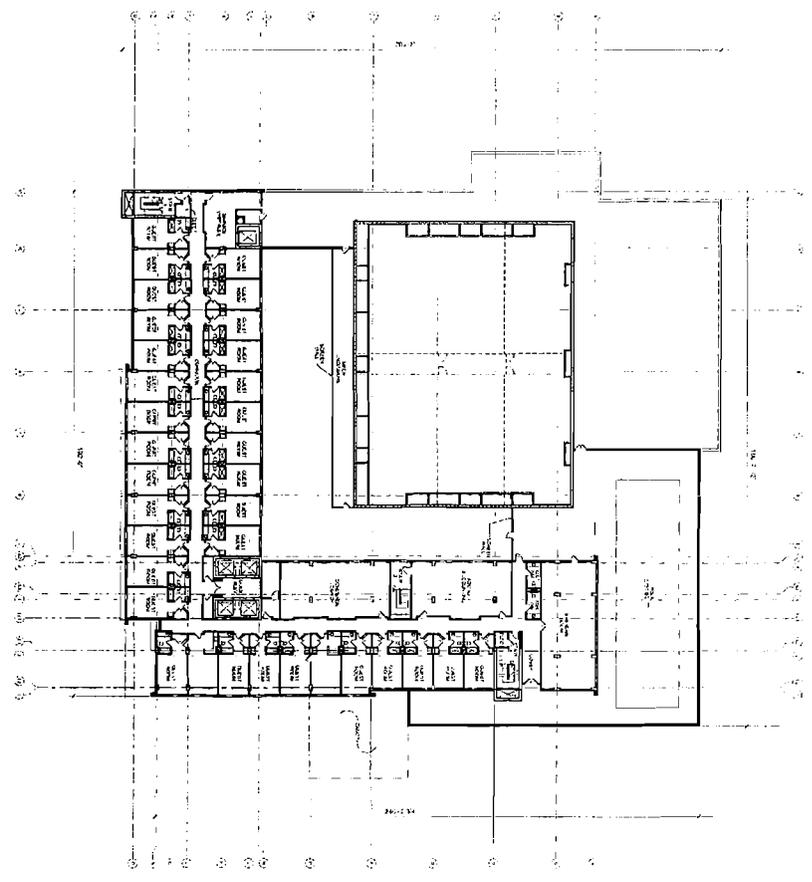
Scale: \_\_\_\_\_

Date: \_\_\_\_\_

ARCHITECTURAL PLANS PREPARED BY TVS FLORIDA INC. ARCHITECTURE - A03200142  
ARCHITECT OF RECORD - E. GENE RUSSELL MONTENAZOS REGISTRATION NO. A7821-13







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 ZOD-09-004  
 MAY 31 2011

ZONING HEARINGS SECTION  
 MANI-DADE PLANNING AND ZONING DEPT.  
 BY *Xf*

1 NORTH  
 2ND FLOOR PLAN

PROJECT:  
 CLIENT:  
 DATE:  
 DRAWN BY:  
 CHECKED BY:  
 APPROVED BY:

WINTER 2011

1000 EAST SUN PLAZE  
 MIAMI BEACH, FL 33136  
 TEL: 305.440.1111



17171 W. RENAISSANCE ST.  
 SUITE 200  
 COVINGTON, LA 70032



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NO.	DATE	REVISIONS
1	11/11/10	ISSUE FOR PERMITS
2	11/11/10	REVISED PERMITS
3	11/11/10	REVISED PERMITS
4	11/11/10	REVISED PERMITS
5	11/11/10	REVISED PERMITS
6	11/11/10	REVISED PERMITS
7	11/11/10	REVISED PERMITS
8	11/11/10	REVISED PERMITS
9	11/11/10	REVISED PERMITS
10	11/11/10	REVISED PERMITS

2ND FLOOR PLAN

SHAWING DESIGNER  
**HA102**  
 11/11/10

68





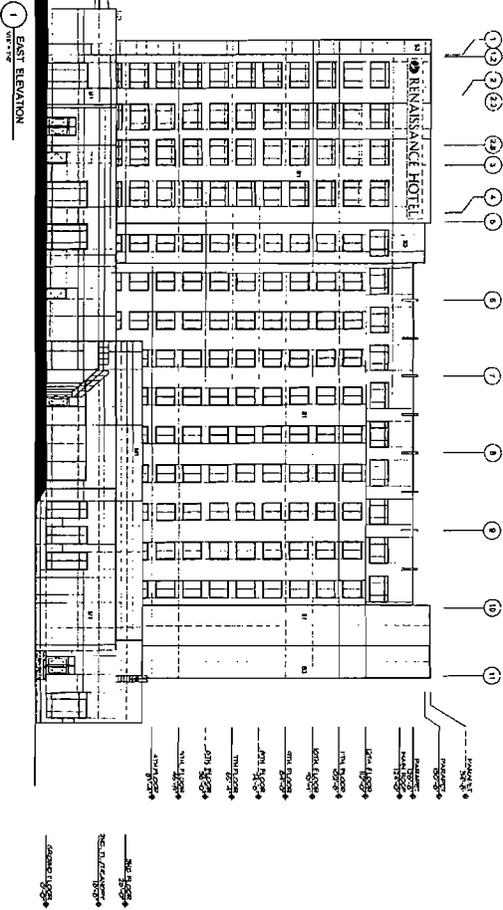
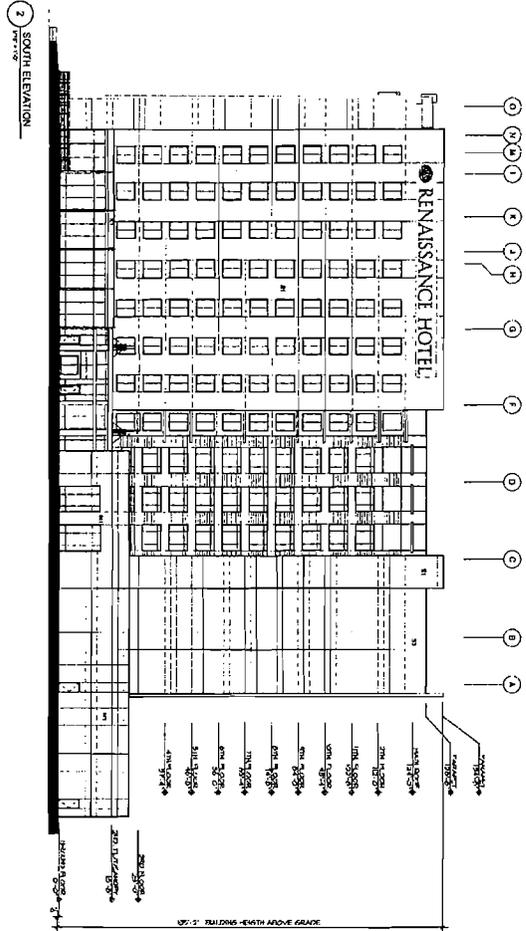


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2011-05-06  
MAY 31 2011  
ZONING HEARINGS SECTION  
MIAMI-DADE PLANNING AND ZONING DEPT.  
BY XXX

MANUFACTURED (ELEVATION)

1	DATE	DESCRIPTION
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2	05/03/11	ISSUED FOR PERMIT
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NOTES: 1. REFER TO THE PLAN IN THE PERMIT  
2. FINISHED FLOOR ELEVATION - 0'-0"



PROJECT: **Cubellis**  
1100 EAST 80th PLACE  
SUITE 200 NORTH  
MIAMI, FL 33143  
ARCHITECT: **WHITE CUBELLIS**  
1100 EAST 80th PLACE  
SUITE 200 NORTH  
MIAMI, FL 33143  
TEL: 305.441.1100  
WWW.WHITECUBELLIS.COM

WHITE CUBELLIS

1100 EAST 80th PLACE  
SUITE 200 NORTH  
MIAMI, FL 33143



200 S FIFTH STREET SUITE  
LOUSVILLE, KY 40202



1171 N PENNSYLVANIA ST  
CHARLOTTE, NC 28202



RENAISSANCE  
HOTEL  
MIAMI, FLORIDA



NO	DATE	REVISIONS
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OWNER NAME:  
BUILDING ELEVATIONS

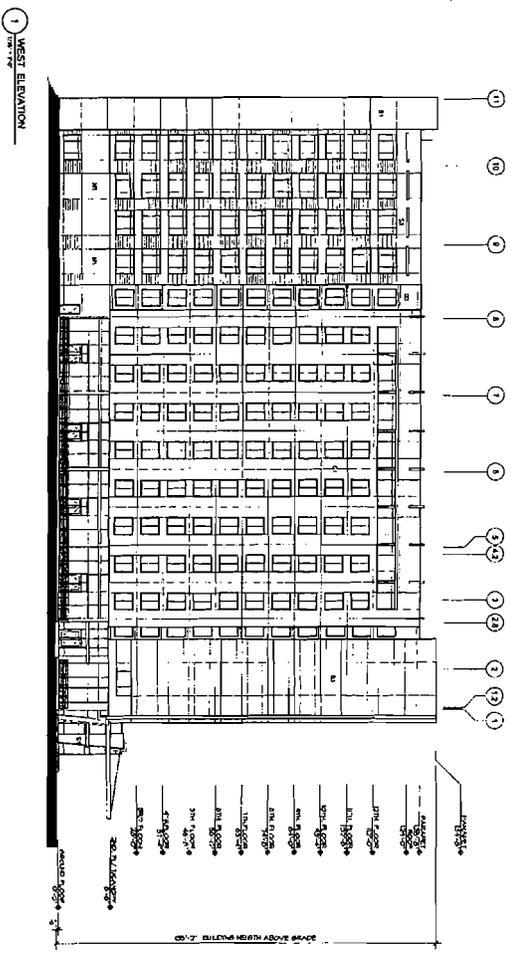
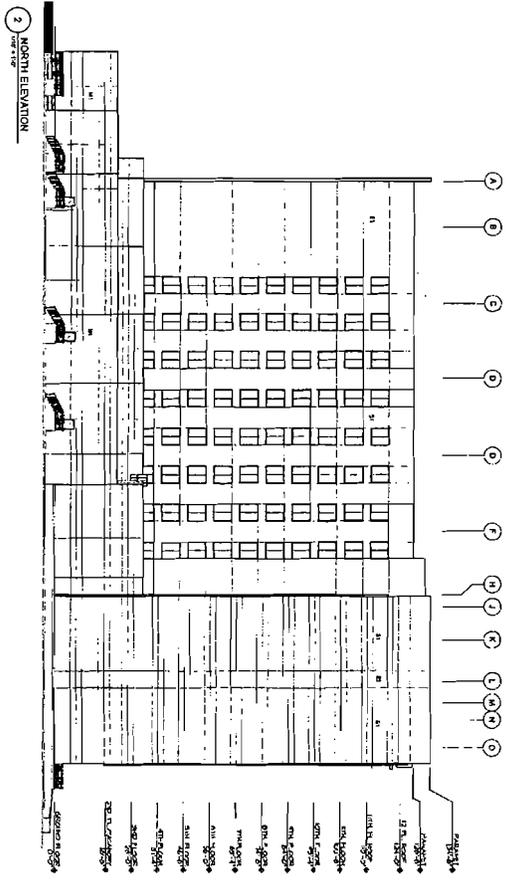
DATE: 05/03/11  
SCALE: 1/8" = 1'-0"

PROJECT NUMBER:  
HA200

**RECEIVED**  
MAY 31 2011  
ZONING HEARINGS SECTION  
MIAMI-DADE PLANNING AND ZONING DEPT.  
BY AD

**MATERIAL LEGEND**

1	CONCRETE	CONCRETE
2	BRICK	BRICK
3	GLASS	GLASS
4	ALUMINUM WINDOW	ALUMINUM WINDOW
5	ALUMINUM DOOR	ALUMINUM DOOR
6	WOOD	WOOD
7	ROOF	ROOF
8	LANDSCAPE	LANDSCAPE
9	POLE	POLE
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**ARCHITECT**  
**cubellis**  
1100 BROADWAY  
SUITE 1200  
MIAMI, FL 33139  
TEL: 305.375.1200  
WWW.CUBELLIS.COM

**WHITE** 7 X 10 1/2  
1100 BROADWAY  
SUITE 1200  
MIAMI, FL 33139  
TEL: 305.375.1200  
WWW.CUBELLIS.COM

**PROF**  
200 S. FIFTH STREET SUITE  
2000  
MIAMI, FL 33139  
TEL: 305.375.1200  
WWW.CUBELLIS.COM

**SE**  
11711 N. PENINSULA BLVD  
SUITE 200  
DORSET, FL 32922

**RENAISSANCE HOTEL**  
MIAMI FLORIDA

**PREPARED**  
MAY 11 2011  
BY: AD

NO.	DATE	REVISIONS
1	05/11/11	ISSUE FOR PERMITS
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**DRAWING NUMBER**  
**HA201**  
**SCALE** 1/8" = 1'-0"  
**DATE** 05/11/11

MIAMI INTERNATIONAL AIRPORT

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PERIMETER RD

SR 836 EXPY

IU-2

TR B

NW 67 AVE

NW 65 AVE

NW 62 AVE

IU-2

TR M  
MIAMI-DADE  
MIAMI

G/I

TRACT A

TR A

NW 7 ST

R-3

IU-2

NW 6 ST

NW 5 ST

NW 3 ST

NW 2 ST

TAMIAMI CANAL RD

R-1

R-1

MIAMI-DADE COUNTY  
HEARING MAP

Process Number  
**08-096**



SUBJECT PROPERTY

Section: 51 Township: 53 Range: 40  
Applicant: WRC PROPERTIES, INC.  
Zoning Board: C08  
District Number: 6  
Drafter ID: JEFFER  
Scale: NTS



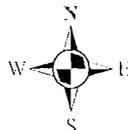
REVISION	DATE	BY
		74



**MIAMI-DADE COUNTY  
AERIAL**

Process Number  
**08-096**

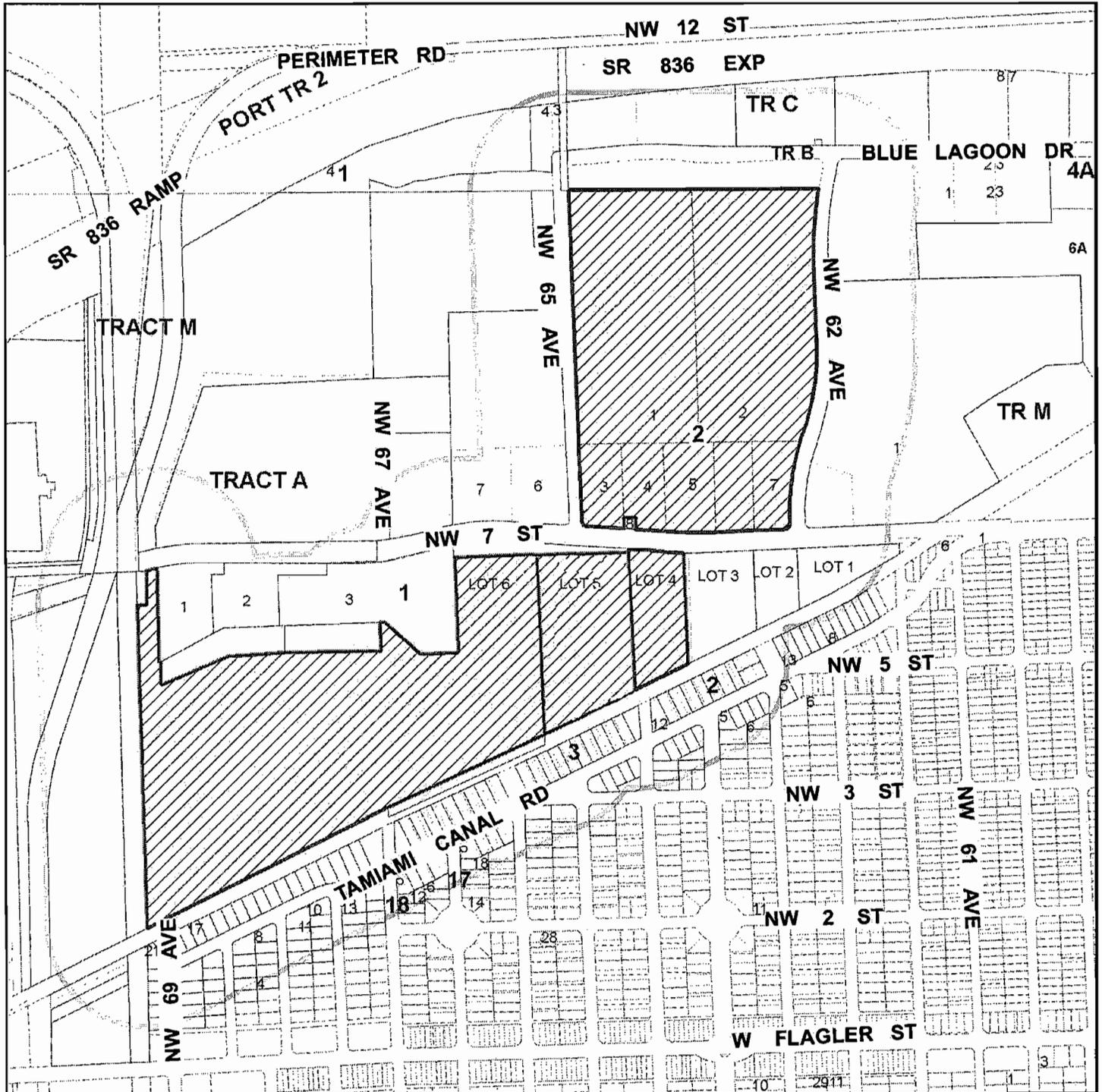
Section: 51 Township: 53 Range: 40  
 Applicant: WRC PROPERTIES, INC.  
 Zoning Board: C08  
 District Number: 6  
 Drafter ID: JEFFER  
 Scale: NTS



**SUBJECT PROPERTY**



REVISION	DATE	BY
		75



**MIAMI-DADE COUNTY**

Section: 51 Township: 53 Range: 40  
 Applicant: WRC PROPERTIES, INC  
 Zoning Board: C08  
 Commission District: 6  
 Drafter ID: JEFFER  
 Scale: NTS  
 ----- Zoning

Process Number

**08-096**



**SUBJECT PROPERTY  
 AND  
 CONTIGUOUS IF APPLICABLE**

**RADIUS: 500'**



FOLIO FILE DATE: 03/02/09

REVISION	DATE	BY

**Miami-Dade County Department of Permitting, Environment and Regulatory Affairs  
Staff Report to Community Council No. 8**

**PH: Z10-169 (11-12-CZ8-2)**

**December 1, 2011**

Item No. 2

<b>Recommendation Summary</b>	
<b>Commission District</b>	2
<b>Applicant</b>	Habitat for Humanity of Greater Miami, Inc.
<b>Summary of Requests</b>	The applicant is seeking to allow a single-family residence to setback closer to the rear and interior property lines with less lot frontage and area and greater lot coverage than permitted.
<b>Location</b>	Southwest corner of NW 69 Street and NW 31 Avenue, Miami-Dade County, Florida.
<b>Property Size</b>	40' x 85'
<b>Existing Zoning</b>	RU-1
<b>Existing Land Use</b>	Vacant land
<b>2015-2025 CDMP Land Use Designation</b>	Low Density Residential (see attached Zoning Recommendation Addendum)
<b>Comprehensive Plan Consistency</b>	Consistent with interpretative text, goals, objectives and policies of the CDMP
<b>Applicable Zoning Code Section(s)</b>	Section 33-311(A)(4)(b) Non-Use Variances From Other Than Airport Regulations (see attached Zoning Recommendation Addendum)
<b>Recommendation</b>	<b>Approval with conditions</b>

**REQUESTS:**

- (1) NON-USE VARIANCE to permit to permit a parcel of land with a lot frontage of 40' (75' required) and a lot area of 3400 sq. ft. (7,500 sq. ft. required).
- (2) NON-USE VARIANCE to permit a single-family residence setback 10'2" (25' required) from the rear (south) property line and setback 6'10" (15' required) from the side street (east) property line.
- (3) NON-USE VARIANCE to permit the single family residence with a lot coverage of 38% (35% permitted).

Plans are on file and may be examined in the Department of Permitting, Environment and Regulatory Affairs entitled "Habitat for Humanity," as prepared by Thomas & Calzadilla, Sheet A-1 dated stamped received 3/2/11 and Sheet A-2 dated stamped received 10/5/10. Plans may be modified at public hearing.

**PROJECT DESCRIPTION:** Proposed 1,292 sq. ft. single-family residence

<b>NEIGHBORHOOD CHARACTERISTICS</b>		
	<b>Zoning and Existing Use</b>	<b>Land Use Designation</b>
<b>Subject Property</b>	RU-1; vacant	Low Density Residential (2.5 to 6 dua)
<b>North</b>	RU-1; single-family residence	Low Density Residential (6 to 13 dua)
<b>South</b>	RU-1; vacant	Low Density Residential (2.5 to 6 dua)

<b>East</b>	RU-1; Gladeview Park	Low Density Residential (2.5 to 6 dua)
<b>West</b>	RU-1; single-family residence	Low Density Residential (2.5 to 6 dua)

**NEIGHBORHOOD COMPATIBILITY:**

The subject property is a vacant corner lot, located at the southwest corner of NW 69 Street and NW 31 Avenue. Single-family residences and vacant lots characterize the surrounding area where the subject property lies.

**SUMMARY OF THE IMPACTS:**

The approval this application could have a positive impact on the surrounding neighborhood with the development affordable housing on a substandard vacant lot. However, the requested variances are due to the size constraints of the property and could have a negative visual impact on the surrounding area.

**COMPREHENSIVE DEVELOPMENT MASTER PLAN ANALYSIS:**

The subject property is designated as **Low Density Residential** on the Adopted 2015-2025 Land Use Plan (LUP) map. *The residential densities allowed in this category shall range from a minimum of 2.5 to a maximum of 6.0 dwelling units per gross acre. Residential densities of blocks abutting activity nodes as defined in the Guidelines for Urban Form, or of blocks abutting section line roads between nodes, shall be allowed a maximum residential density of 10.0 dwelling units per gross acre. This density category is generally characterized by single family housing, e.g., single family detached, cluster, and townhouses. It could include low-rise apartments with extensive surrounding open space or a mixture of housing types provided that the maximum gross density is not exceeded.* The approval of this application will allow the construction of a proposed single-family residence on a substandard size lot setback closer to the rear (south) and side street (east) property lines with less lot frontage and greater lot coverage than that permitted by the Zoning Code.

The proposed single-family residence furthers **CDMP Land Use Policy 1C** which indicates that *Miami-Dade County shall give priority to infill redevelopment of substandard or underdeveloped environmentally suitable urban areas contiguous to existing urban development where all necessary urban services and facilities are projected to have capacity to accommodate additional demand.* The subject parcel is located within the Model City/Brownsville Targeted Urban Area, and as such furthers **CDMP Land Use Element Objective 12**, which indicates that *the County shall take specific measures to promote infill development that are located in the Urban Infill Area (UIA) as defined in Policy TC-1B or in an built-up area with urban services that is situated in a Community Development Block Grant (CDBG)-eligible area, a Targeted Urban Area identified in the Urban Economic Revitalization Plan for Targeted Urban Areas, an Enterprise Zone established pursuant to state law or in the designated Empowerment Zone established pursuant to federal law.* Staff opines that the proposed single-family residence is **consistent** with interpretative text, objectives and policies of the CDMP.

**ZONING ANALYSIS:**

When requests #1 and #2 are analyzed under the Non-Use Variances From Other Than Airport Regulations, Section 33-311(A)(4)(b), staff is of the opinion that the approval of the requests to permit a single-family residence with less setback from the rear and side street property lines, lot frontage and lot area than required would be **compatible** with the surrounding area, would not be detrimental to the neighborhood and would not affect the appearance of the community. Staff notes that the abutting single-family residence to the west, located at 3102 NW 69 Street was constructed in 1951 on a 3,400 sq. ft. lot with a 40' lot frontage. To the south of the subject property, at 3111 NW 68 Terrace, an existing single-family residence was constructed on a similar size lot in 1946. Staff also notes that pursuant to Resolution #ZB-520-61, the existing single family residence was constructed on a lot with lot frontage of 40' and lot area of 3629.60 sq. ft. Staff also found a similar approval for reduced setbacks in the surrounding area. In 1998, pursuant to Administrative Variance #V1998000187, approval was granted to permit an addition to an existing single-family residence to setback 12.5' (25' required) from the rear property line. Staff opines the approval of the requests will allow new development on a vacant lot within the Model City/Brownsville Targeted Urban Area as identified in the Urban Economic Revitalization Plan for Targeted Urban Areas. **As such, staff recommends approval of requests #1 and #2 under Section 33-311(A)(4)(b), Non-Use Variances From Other Than Airport Regulations.**

When request #3 is analyzed under the Non-Use Variances From Other Than Airport Regulations, Section 33-311(A)(4)(b), staff is of the opinion that the approval of the request to permit a single-family residence with greater lot coverage than permitted would be **compatible** with the surrounding area, would not be detrimental to the neighborhood and would not affect the appearance of the community. Staff opines that request #3 to permit a single-family residence with lot coverage of 38% (35% permitted), is germane to requests #1 and #2. Staff found no similar approvals for lot coverage greater than permitted; however, staff opines that the 3% increase in lot coverage is minimal and will not have a negative effect on the character of the neighborhood. **Therefore, staff recommends approval of request #3 under Section 33-311(A)(4)(b), Non-Use Variances From Other Than Airport Regulations.**

Based on the aforementioned, staff opines that the proposed single-family residence would be **consistent** with the Low-Density designation of the LUP map of the CDMP, and would be **compatible** with the surrounding predominant residential developments. **As such staff, recommends approval of requests #1 through #3 with conditions under Section 33-311(A)(4)(b), the Non-Use Variances From Other Than Airport Regulations.**

**ACCESS, CIRCULATION AND PARKING:** Not applicable.

**NEIGHBORHOOD SERVICES PROVIDER REVIEW:** See attached.

**OTHER:** Not applicable.

**RECOMMENDATION:**

**Approval with conditions.**

**CONDITIONS FOR APPROVAL:**

1. That a site plan be submitted to and meet with the approval of the Director of the Department of Permitting, Environment and Regulatory Affairs upon the submittal of an application for a building permit and/or Certificate of Use; said plan must include among other things but not be limited to, location of structure or structures, exits and entrances, drainage, walls, fences, landscaping, and other requirements.
2. That in the approval of the plan, the same be substantially in accordance with that submitted for the hearing entitled "Habitat for Humanity," as prepared by Thomas & Calzadilla, Sheet A-1 dated stamped received 3/2/11 and Sheet A-2 dated stamped received 10/5/10.
3. That the use be established and maintained in accordance with the approved plan.

CD:GR:NN:JC:AN



Charles Danger, P.E. Interim Director  
Miami-Dade County Department of  
Permitting, Environment and Regulatory Affairs

NDW  
Ema  
EP



Mark R. Woerner, AICP Interim Assistant Director of Planning  
Miami-Dade County Department of  
Sustainability, Planning and Economic Enhancement

NDW  
EP

ZONING RECOMMENDATION ADDENDUM  
HISTORY  
MOTION SLIPS\*  
DEPARTMENT MEMORANDA  
DISCLOSURE OF INTEREST\*  
HEARING PLANS\*  
MAPS

\*If applicable

# ZONING RECOMMENDATION ADDENDUM

*Habitat for Humanity of Greater Miami, Inc.*  
Z10-169

<b>NEIGHBORHOOD SERVICES PROVIDER COMMENTS*</b>	
Permitting, Environment and Regulatory Affairs	No objection
Public Works and Waste Management	No objection
Parks, Recreation and Open Space	No objection
Fire Rescue	No objection
Police	No objection
Schools	No objection
*Subject to conditions in their memorandum.	

## COMPREHENSIVE DEVELOPMENT MASTER PLAN (CDMP) OBJECTIVES, POLICIES AND INTERPRETATIVE TEXT

<b>Low Density Residential</b> (Pg. I-31)	<i>The Adopted 2015 and 2025 Land Use Plan designates the subject property as being within the Urban Development Boundary for Low Density Residential. The residential densities allowed in this category shall range from a minimum of 2.5 to a maximum of 6.0 units per gross acre. This density category is generally characterized by single family housing, e.g., single-family detached, cluster, zero lot line and townhouses. It could include low-rise apartments with extensive surrounding open space or a mixture of housing types provided that the maximum gross density is not exceeded.</i>
<b>Land Use Policy 1C</b> (Pg. I-2)	<i>Miami-Dade County shall give priority to infill development on vacant sites in currently urbanized areas, and redevelopment of substandard or underdeveloped environmentally suitable urban areas contiguous to existing urban development where all necessary urban services and facilities are projected to have capacity to accommodate additional demand.</i>
<b>Land Use Objective 12</b> (Pg. I-24)	<i>Miami-Dade County shall take specific measures to promote infill development that are located in the Urban Infill Area (UIA) as defined in Policy TC-1B or in an built-up area with urban services that is situated in a Community Development Block Grant (CDBG)-eligible area, a Targeted Urban Area identified in the Urban Economic Revitalization Plan for Targeted Urban Areas, an Enterprise Zone established pursuant to state law or in the designated Empowerment Zone established pursuant to federal law.</i>

## PERTINENT ZONING REQUIREMENTS/STANDARDS

<b>33-311(A)(4)(b) Non-Use Variances From Other Than Airport Regulations</b>	<i>Upon appeal or direct application in specific cases, the Board shall hear and grant applications for non-use variances from the terms of the zoning and subdivision regulations and may grant a non-use variance upon a showing by the applicant that the non-use variance maintains the basic intent and purpose of the zoning, subdivision and other land use regulations, which is to protect the general welfare of the public, particularly as it affects the stability and appearance of the community and provided that the non-use variance will be otherwise compatible with the surrounding land uses and would not be detrimental to the community. No showing of unnecessary hardship to the land is required.</i>
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**2. HABITAT FOR HUMANITY OF  
GREATER MIAMI INC.  
(Applicant)**

11-12-CZ8-2 (10-169)  
Area 8/District 02  
Hearing Date: 12/01/11

Property Owner (if different from applicant) Same.

Is there an option to purchase /lease  the property predicated on the approval of the zoning request? Yes  No

Disclosure of interest form attached? Yes  No

**Previous Zoning Hearings on the Property:**

<u>Year</u>	<u>Applicant</u>	<u>Request</u>	<u>Board</u>	<u>Decision</u>
No History				

Action taken today does not constitute a final development order, and one or more concurrency determinations will subsequently be required. Provisional determinations or listings of needed facilities made in association with this Initial Development Order shall not be binding with regard to future decisions to approve or deny an Intermediate or Final Development Order on any grounds.

**Date:** March 31, 2011  
**To:** Marc C. LaFerrier, AICP, Director  
Department of Planning and Zoning

**From:** Jose Gonzalez, P.E., Assistant Director  
Environmental Resources Management



**Subject:** C-08 #Z2010000169-1<sup>st</sup> Revision  
Habitat for Humanity of Greater Miami, Inc.  
3100 N.W. 69<sup>th</sup> Street  
To Permit a Parcel of Land with Less Lot Frontage and Lot Area than  
Required, to Permit a Single-Family Residence Setback Less than  
Required from Property Lines and to Permit a Greater Lot Coverage than  
Permitted  
(RU-1) (0.078 Acres)  
16-53-41

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The Department of Environmental Resources Management (DERM) has reviewed the subject application and has determined that it meets the minimum requirements of Chapter 24 of the Code of Miami-Dade County, Florida (the Code). Accordingly, DERM may approve the application, and the same may be scheduled for public hearing.

Potable Water Service and Wastewater Disposal

Public water and public sanitary sewers can be made available to the subject property. Therefore, connection of the proposed development to the public water supply system and sanitary sewer system shall be required in accordance with Code requirements.

Existing public water and sewer facilities and services meet the Level of Service (LOS) standards set forth in the Comprehensive Development Master Plan (CDMP). Furthermore, the proposed development order, if approved, will not result in a reduction in the LOS standards subject to compliance with the conditions required by DERM for this proposed development order.

Notwithstanding the foregoing, and in light of the fact that the County's sanitary sewer system has limited sewer collection, transmission, and treatment capacity, no new sewer service connections can be permitted, unless there is adequate capacity to handle the additional flows that this project would generate. Consequently, final development orders for this site may not be granted if adequate capacity in the system is not available at the point in time when the project will be contributing sewage to the system. Lack of adequate capacity in the system may require the approval of alternate means of sewage disposal. Use of an alternate means of sewage disposal may only be granted in accordance with Code requirements, and shall be an interim measure, with connection to the public sanitary sewer system required upon availability of adequate collection/transmission and treatment capacity.

Stormwater Management

Site grading and development plans shall comply with the requirements of Section 11C of the Code, as well as with all state and federal criteria, and shall not cause flooding of adjacent properties.

Any proposed development shall comply with county and federal flood criteria requirements. The proposed development order, if approved, will not result in a reduction in the LOS standards for flood protection set forth in the CDMP subject to compliance with the conditions required by DERM for this proposed development order.

#### Wetlands

The subject property does not contain wetlands as defined by Section 24-5 of the Code; therefore, a Class IV Wetland Permit will not be required.

The applicant is advised that permits from the Army Corps of Engineers (305-526-7181), the Florida Department of Environmental Protection (561-681-6600) and the South Florida Water Management District (1-800-432-2045) may be required for the proposed project. It is the applicant's responsibility to contact these agencies

#### Tree Preservation

Tree Removal Permit TREE-002729-2010 was issued to Habitat for Humanity of Greater Miami on December 7, 2010 and is scheduled to expire on December 7, 2011. TP TREE-002729-2010 approved the removal of one (1) regular avocado (*Persea americana*-#1) and preservation of two (2) regular avocados (*Persea americana*-#2, #4) and one (1) specimen strangler fig (*Ficus aurea*-#3) in accordance with the site plan entitled "Site/Landscape Plans, Detail & Notes", dated September 15, 2010, and prepared by Thomas & Calzadilla.

All approved tree removal/relocation, replanting and final inspection (a two weeks notice is required prior to the final inspection) must be completed prior to the scheduled expiration date of this permit to avoid violation of permit conditions. Please be advised that a new Miami-Dade County Tree Removal Permit or an amendment to Tree Removal Permit # is required prior to the removal or relocation of any other tree on the subject property. Please contact this Program at 305-372-6600 for information regarding tree permits.

#### Enforcement History

DERM has found no open or closed enforcement records for the subject property.

#### Concurrency Review Summary

DERM has conducted a concurrency review for this application and has determined that the same meets all applicable LOS standards for an initial development order, as specified in the adopted CDMP for potable water supply, wastewater disposal, and flood protection. Therefore, the application has been approved for concurrency subject to the comments and conditions contained herein.

This concurrency approval does not constitute a final concurrency statement and is valid only for this initial development order, as provided for in the adopted methodology for concurrency review. Additionally, this approval does not constitute any assurance that the LOS standards would be met by any subsequent development order applications concerning the subject property.

This memorandum shall constitute DERM's written approval, as required by the Code.

If you have any questions concerning the comments, or wish to discuss this matter further, please contact Christine Velazquez at (305) 372-6764.

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**PUBLIC WORKS DEPARTMENT COMMENTS**

Applicant's Names: HABITAT FOR HUMANITY OF GREATER MIAMI INC.

This Department has no objections to this application.

This land may require platting in accordance with Chapter 28 of the Miami-Dade County Code. Any road dedications and improvements required will be accomplished thru the recording of a plat.

This project meets traffic concurrency because it lies within the urban infill area where traffic concurrency does not apply.



Raul A Pino, P.L.S.

28-MAR-11

# Memorandum



**Date:** 26-OCT-10  
**To:** Marc LaFerrier, Director  
Department of Planning and Zoning  
**From:** Herminio Lorenzo, Fire Chief  
Miami-Dade Fire Rescue Department  
**Subject:** Z2010000169

## Fire Prevention Unit:

Not applicable to MDRF site requirements.

## Service Impact/Demand

Development for the above Z2010000169  
located at THE SOUTHWEST CORNER OF N.W. 69 STREET & N.W. 31 AVENUE, MIAMI-DADE COUNTY,  
FLORIDA.  
in Police Grid 0861 is proposed as the following:

<u>1</u>	dwelling units	<u>N/A</u>	square feet
<u>residential</u>		<u>industrial</u>	
<u>N/A</u>	square feet	<u>N/A</u>	square feet
<u>Office</u>		<u>institutional</u>	
<u>N/A</u>	square feet	<u>N/A</u>	square feet
<u>Retail</u>		<u>nursing home/hospitals</u>	

Based on this development information, estimated service impact is: 0.27 alarms-annually.  
The estimated average travel time is: 4:12 minutes

## Existing services

The Fire station responding to an alarm in the proposed development will be:  
Station 2 - Model Cities - 6460 NW 27 Avenue  
Rescue, BLS 65' Aerial, Battalion

## Planned Service Expansions:

The following stations/units are planned in the vicinity of this development:  
None.

## Fire Planning Additional Comments

Current service impact calculated based on site plan dated October 5, 2010.

**BUILDING AND NEIGHBORHOOD  
COMPLIANCE DEPARTMENT**

**ENFORCEMENT HISTORY OF VIOLATIONS OF CHAPTER 19 AND  
CHAPTER 33 OF THE MIAMI-DADE COUNTY CODE**

HABITAT FOR HUMANITY OF  
GREATER MIAMI INC.

THE SOUTHWEST CORNER OF  
N.W. 69 STREET & N.W. 31  
AVENUE, MIAMI-DADE COUNTY,  
FLORIDA.

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**APPLICANT**

---

**ADDRESS**

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Z2010000169

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**HEARING NUMBER**

**HISTORY:**

ENFORCEMENT HISTORY: NC: No open cases. BNC: No open cases.

**OUTSTANDING FINES, PENALTIES, COST OR LIENS  
INCURRED PURSUANT TO CHAPTER 8CC:**

None

**REPORTER NAME:**

NCS Chris Albury

**Inspector:** EDWARDS, RALPH

**Inspection Date**

**Evaluator:** AMINA NEWSOME

10/14/11

<b>Process #:</b>	<b>Applicant's Name</b>
Z2010000169	HABITAT FOR HUMANITY OF GREATER MIAMI INC.
<b>Locations:</b>	THE SOUTHWEST CORNER OF N.W. 69 STREET & N.W. 31 AVENUE, MIAMI-DADE COUNTY, FLORIDA.
<b>Size:</b>	40' x 85'
	<b>Folio #:</b> 3031160000490

**Request:**

- 1 Applicant is requesting to permit a parcel of land with a lot frontage of 40' (75' required) and a lot area of 3,400 (7,500 required).
- 2 Applicant is requesting to permit a single family residence setback 10'2" (25' required) from the rear (south) property line setback 6'10" (15' required) from the side street (east) property line.
- 3 Applicant is requesting to permit a lot coverage of 38% (35% maximum permitted).

**EXISTING ZONING**

**Subject Property** RU-1,

**EXISTING USE**

**SITE CHARACTERISTICS**

**STRUCTURES ON SITE:**

THE SUBJECT PROPERTY IS A VACANT LOT.

**USE(S) OF PROPERTY:**

VACANT LOT

**FENCES/WALLS:**

THE SUBJECT PROPERTY ONLY HAS A 4 FT CHAIN LINK FENCE ON THE WESTSIDE OF THE PROPERTY, WHERE IT ABUTS A RESIDENTIAL HOUSE.

**LANDSCAPING:**

THE SUBJECT PROPERTY HAS ONLY 3 LARGE TREES 30 TO 40 FT HIGH.

**BUFFERING:**

THE SUBJECT PROPERTY HAS AN OUT-GROWN HEDGE ON THE SOUTHSIDE OF THE PROPERTY THAT ABUT A VACANT LOT. ON THE WESTSIDE OF THE PROPERTY IT HAS A 4 FT CHAIN LINK FENCE THAT ABUT A RESIDENTIAL HOUSE.

**VIOLATIONS OBSERVED:**

NONE

**OTHER:**

NONE

**Process # Applicant's Name**

12

**SURROUNDING PROPERTY**

**NORTH:**

RU-1 ONE STORY SINGEL FAMILY RESIDENCES

**SOUTH:**

RU-1 VACANT LOT

**EAST:**

RU-1 GLADVIEW PARK 6815 NW 31 AVE

**WEST:**

RU-1 ONE STORY SINGLE FAMILY RESIDECES

**SURROUNDING AREA**

THE SUBJECT PROPERTY IS IN AN RU-1 ONE STORY SINGLE FAMILY RESIDECES WITH A PARK ON THE EASTSIDE.

**NEIGHBORHOOD CHARACTERISTICS:**

THE NEIGHBORHOOD IS A RESIDENTIAL ONE STORY SINGLE FAMILY RESIDENCES

**COMMENTS:**

DISCLOSURE OF INTEREST\*

If a CORPORATION owns or leases the subject property, list principal stockholders and percent of stock owned by each. [Note: Where principal officers or stockholders consist of other corporation(s), trust(s), partnership(s) or other similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

CORPORATION NAME: Habitat for Humanity of Greater Miami Inc. A NOT FOR PROFIT CORPORATION

<u>NAME AND ADDRESS</u>	<u>Percentage of Stock</u>
MICHAEL BATTLE, PRESIDENT	0
PAUL JONES, VICE PRESIDENT	0
TIMOTHY PLUMMER, 2ND VICE PRESIDENT	0
ANNE E. MANNING, ASST. SECRETARY	0

If a TRUST or ESTATE owns or leases the subject property, list the trust beneficiaries and the percent of interest held by each. [Note: Where beneficiaries are other than natural persons, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

TRUST/ESTATE NAME \_\_\_\_\_

<u>NAME AND ADDRESS</u>	<u>Percentage of Interest</u>
NOT APPLICABLE	0

If a PARTNERSHIP owns or leases the subject property, list the principals including general and limited partners. [Note: Where the partner(s) consist of another partnership(s), corporation(s), trust(s) or other similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

PARTNERSHIP OR LIMITED PARTNERSHIP NAME: \_\_\_\_\_

<u>NAME AND ADDRESS</u>	<u>Percentage of Ownership</u>
NOT APPLICABLE	0

If there is a CONTRACT FOR PURCHASE, by a Corporation, Trust or Partnership list purchasers below, including principal officers, stockholders, beneficiaries or partners. [Note: Where principal officers, stockholders, beneficiaries or partners consist of other corporations, trusts, partnerships or other similar

entities, further disclosure shall be made to identify natural persons having the ultimate ownership interests].

NAME OF PURCHASER: \_\_\_\_\_

NAME, ADDRESS AND OFFICE (if applicable)	Percentage of Interest
NOT APPLICABLE	0
_____	_____
_____	_____
_____	_____
_____	_____

Date of contract: \_\_\_\_\_

If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership or trust.

NOT APPLICABLE	0
_____	_____
_____	_____
_____	_____
_____	_____

**NOTICE:** For any changes of ownership or changes in purchase contracts after the date of the application, but prior to the date of final public hearing, a supplemental disclosure of interest is required.

The above is a full disclosure of all parties of interest in this application to the best of my knowledge and belief.

Signature: \_\_\_\_\_  
(Applicant)

Sworn to and subscribed before me this 24 day of sept, 20 10. Affiant is personally know to me or has produced Jessica Dekker as identification.

Jessica Dekker  
(Notary Public)



My commission expires: \_\_\_\_\_

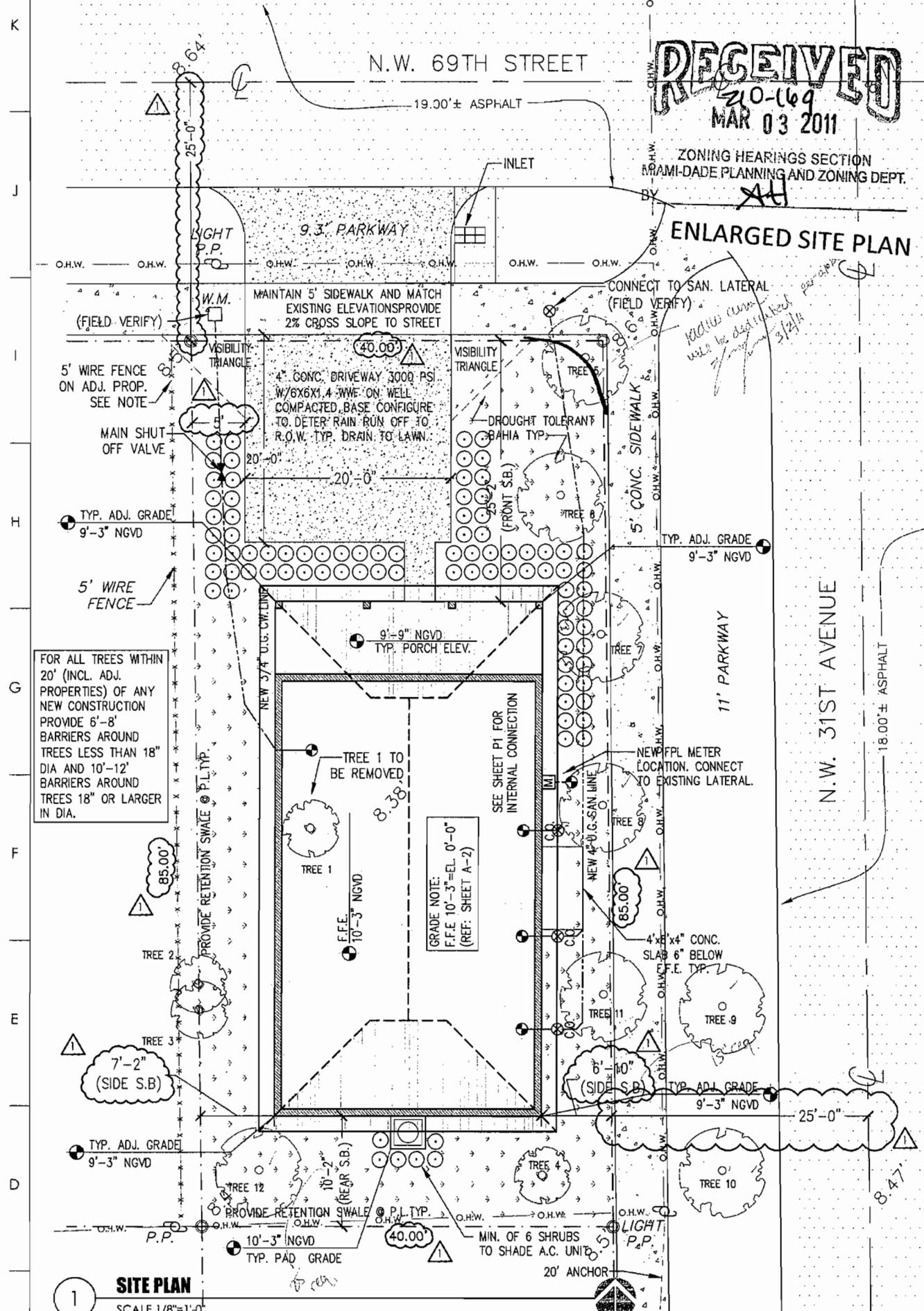
\*Disclosure shall not be required of: 1) any entity, the equity interests in which are regularly traded on an established securities market in the United States or another country; or 2) pension funds or pension trusts of more than five thousand (5,000) ownership interests; or 3) any entity where ownership interests are held in a partnership, corporation or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership and where no one (1) person or entity holds more than a total of five per cent (5%) of the ownership interest in the partnership, corporation or trust. Entities whose ownership interests are held in a partnership, corporation, or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership, shall only be required to disclose those ownership interest which exceed five (5) percent of the ownership interest in the partnership, corporation or trust.

# HABITAT FOR HUMANITY 3100 NW 69TH ST., Miami, FL

**RECEIVED**  
 210-169  
 MAR 03 2011

ZONING HEARINGS SECTION  
 MIAMI-DADE PLANNING AND ZONING DEPT.

**ENLARGED SITE PLAN**



FOR ALL TREES WITHIN 20' (INCL. ADJ. PROPERTIES) OF ANY NEW CONSTRUCTION PROVIDE 6'-8' BARRIERS AROUND TREES LESS THAN 18" DIA AND 10'-12' BARRIERS AROUND TREES 18" OR LARGER IN DIA.

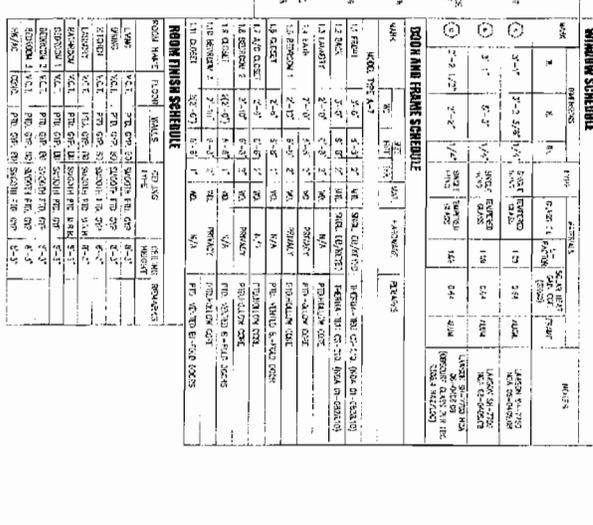
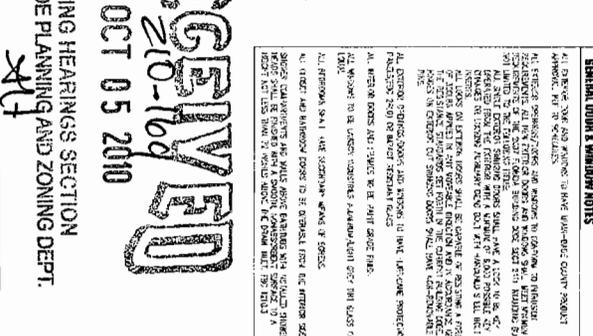
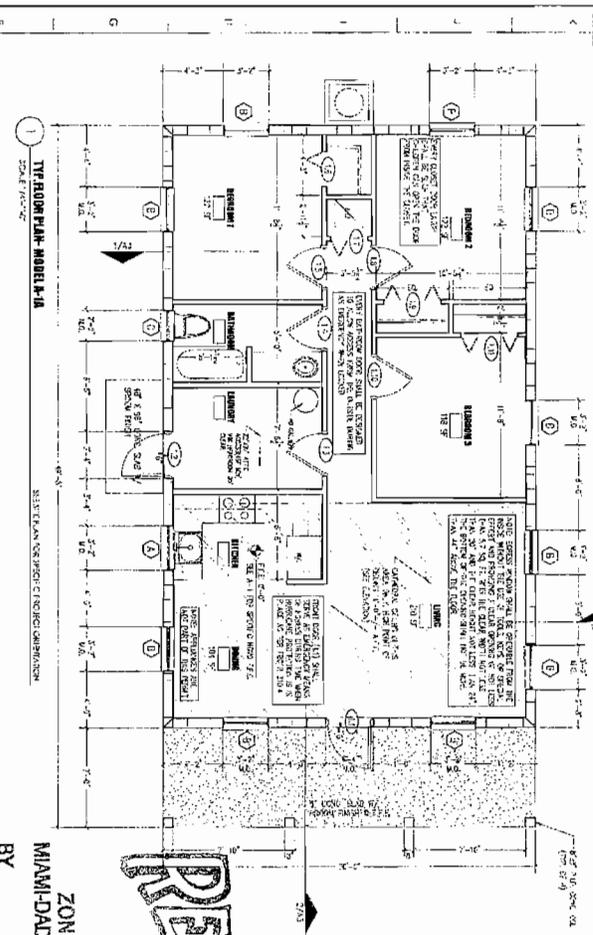
GRADE NOTE:  
 F.F.E. 10'-3" = EL. 0'-0"  
 (REF: SHEET A-2)

**1 SITE PLAN**  
 SCALE 1/8"=1'-0"

**FENCE NOTES**

**NEW TREE LEGEND**

RECEIVED  
 HABITAT FOR HUMANITY  
 1000 N. W. 10th St.  
 MIAMI, FL 33136



RECEIVED  
 OCT 05 2010  
 ZONING HEARINGS SECTION  
 MIAMI-DADE PLANNING AND ZONING DEPT.  
 BY *SLF*

**GENERAL DOOR & WINDOW NOTES**

1. ALL DOORS SHALL BE 36" WIDE AND 80" HIGH UNLESS OTHERWISE NOTED.

2. ALL WINDOWS SHALL BE 48" WIDE AND 72" HIGH UNLESS OTHERWISE NOTED.

3. ALL DOORS SHALL BE 1 3/4" THICK UNLESS OTHERWISE NOTED.

4. ALL WINDOWS SHALL BE 1 1/2" THICK UNLESS OTHERWISE NOTED.

5. ALL DOORS SHALL BE 1 3/4" THICK UNLESS OTHERWISE NOTED.

6. ALL WINDOWS SHALL BE 1 1/2" THICK UNLESS OTHERWISE NOTED.

7. ALL DOORS SHALL BE 1 3/4" THICK UNLESS OTHERWISE NOTED.

8. ALL WINDOWS SHALL BE 1 1/2" THICK UNLESS OTHERWISE NOTED.

9. ALL DOORS SHALL BE 1 3/4" THICK UNLESS OTHERWISE NOTED.

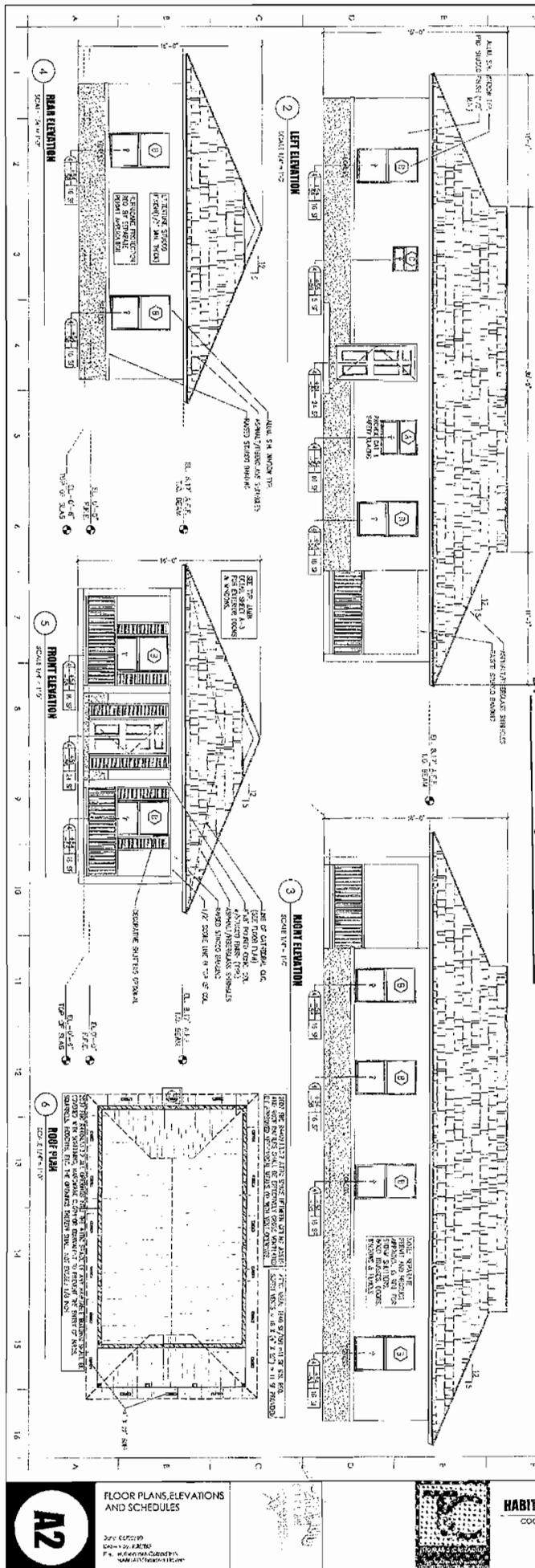
10. ALL WINDOWS SHALL BE 1 1/2" THICK UNLESS OTHERWISE NOTED.

**WINDOW SCHEDULE**

NO.	DESCRIPTION	SIZE	TYPE	FINISH	GLASS	OPERATION	NOTES
1	6'-0" x 4'-0"	6'-0" x 4'-0"	DOUBLE GLAZED	WOOD	FIXED	UPPER	UPPER WINDOW
2	6'-0" x 4'-0"	6'-0" x 4'-0"	DOUBLE GLAZED	WOOD	FIXED	LOWER	LOWER WINDOW
3	6'-0" x 4'-0"	6'-0" x 4'-0"	DOUBLE GLAZED	WOOD	FIXED	UPPER	UPPER WINDOW
4	6'-0" x 4'-0"	6'-0" x 4'-0"	DOUBLE GLAZED	WOOD	FIXED	LOWER	LOWER WINDOW

**DOOR AND FRAME SCHEDULE**

NO.	DESCRIPTION	SIZE	TYPE	FINISH	OPERATION	NOTES
1	6'-0" x 2'-0"	6'-0" x 2'-0"	WOOD	FIXED	UPPER	UPPER WINDOW
2	6'-0" x 2'-0"	6'-0" x 2'-0"	WOOD	FIXED	LOWER	LOWER WINDOW



**FLOOR PLANS, ELEVATIONS AND SCHEDULES**

**A2**

John G. Gentry  
 Licensed Professional Architect  
 No. 123456789  
 State of Florida

**HABITAT FOR HUMANITY**

COOPER CURR MODEL "A-14"

Registration

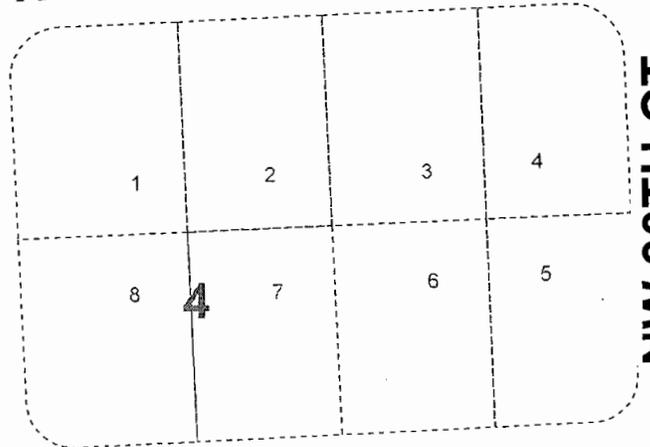
Habitat for Humanity



NW 70TH ST

NW 69TH TER

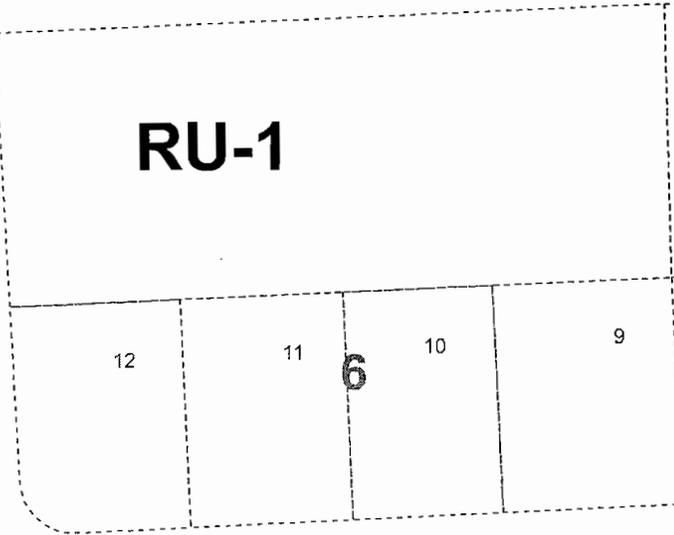
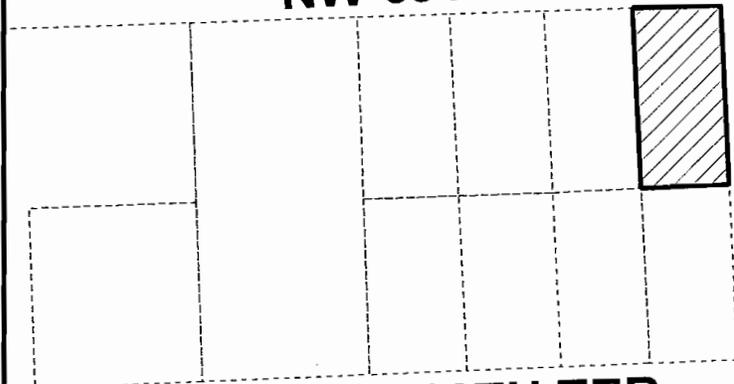
NW 30TH CT



NW 69TH ST

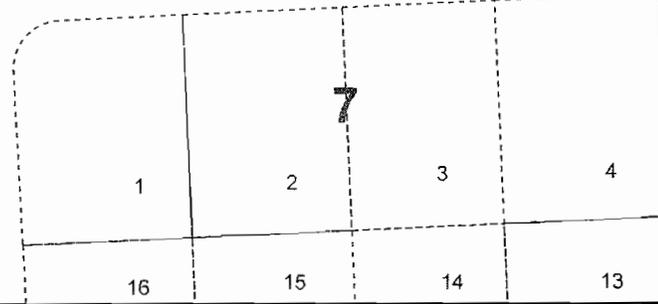
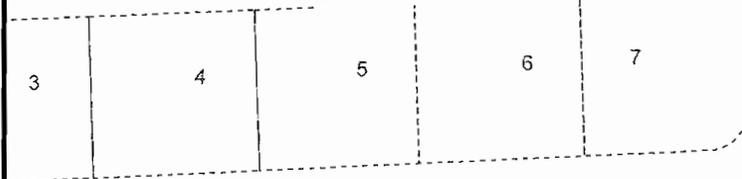
NW 31ST AVE

RU-1



NW 68TH TER

NW 68TH ST



MIAMI-DADE COUNTY  
HEARING MAP

Process Number  
**Z2010000169**



Section: 16 Township: 53 Range: 41  
Applicant: HABITAT FOR HUMANITY OF GREATER MIAMI INC.  
Zoning Board: C8  
Commission District: 2  
Drafter ID: JEFFER GURDIAN  
Scale: NTS

**Legend**  
 Subject Property Case



SKETCH CREATED ON: Wednesday, October 13, 2010

REVISION	DATE	BY
	19	



**MIAMI-DADE COUNTY**  
**AERIAL YEAR 2009**

Process Number

**Z2010000169**



Section: 16 Township: 53 Range: 41  
 Applicant: HABITAT FOR HUMANITY OF GREATER MIAMI INC.  
 Zoning Board: C8  
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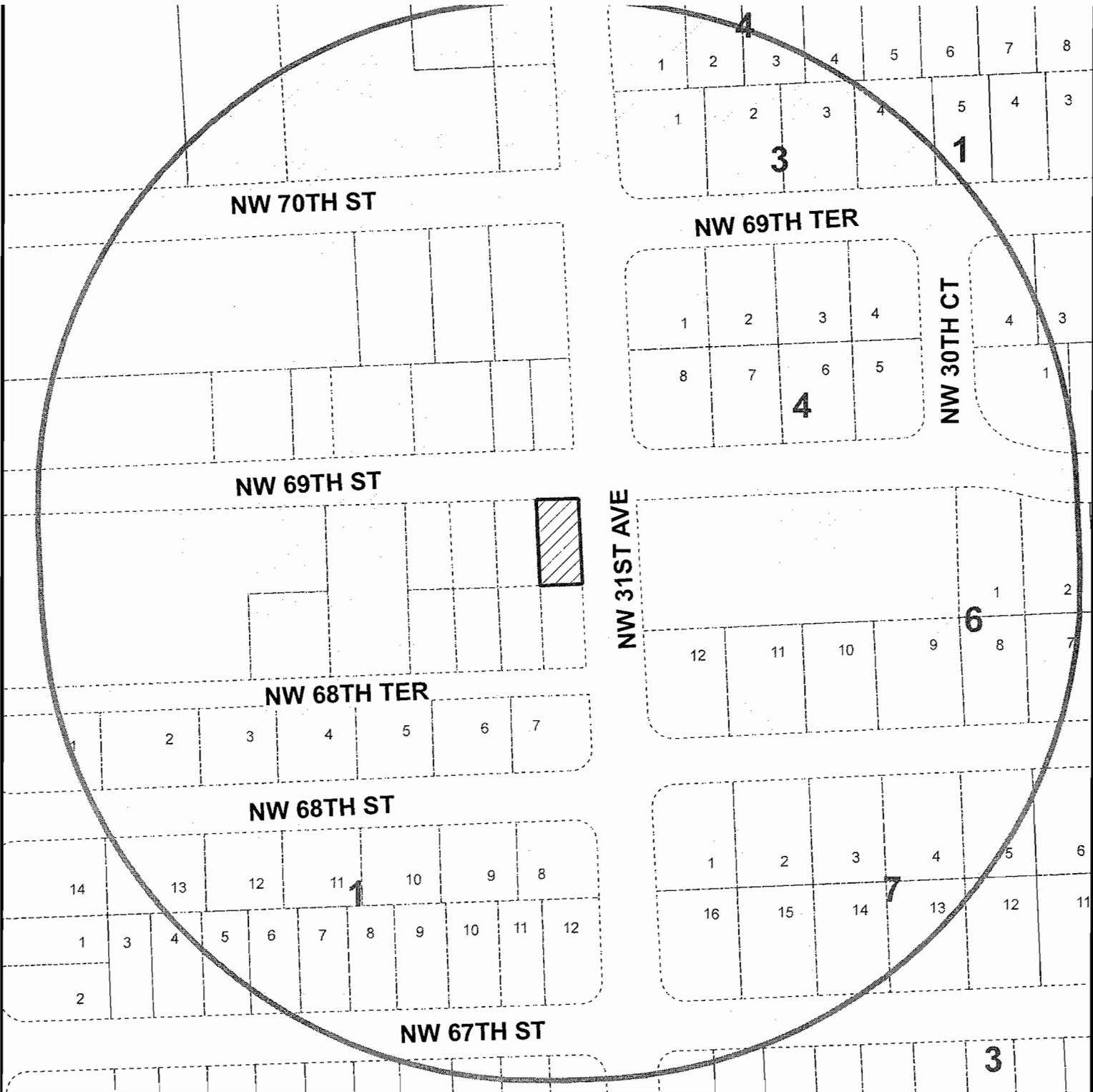
Legend

 Subject Property



SKETCH CREATED ON: Wednesday, October 13, 2010

REVISION	DATE	BY
		20



**MIAMI-DADE COUNTY**  
**RADIUS MAP**

Section: 16 Township: 53 Range: 41  
 Applicant: HABITAT FOR HUMANITY OF GREATER MIAMI INC.  
 Zoning Board: C8  
 Commission District: 2  
 Drafter ID: JEFFER GURDIAN  
 Scale: NTS

Process Number

**Z2010000169**  
 RADIUS: 500



**Legend**

-  Subject Property
-  Buffer



SKETCH CREATED ON: Wednesday, October 13, 2010

REVISION	DATE	BY

**Miami-Dade County Department of Permitting, Environment, and Regulatory Affairs  
Staff Report to Community Council No. 8**

**PH: Z10-173 (11-12-CZ8-3)**

**December 1, 2011**

Item No. 3

<b>Recommendation Summary</b>	
<b>Commission District</b>	2
<b>Applicant</b>	Habitat for Humanity of Greater Miami, Inc.
<b>Summary of Requests</b>	The applicant is seeking to allow a single-family residence to setback closer to the rear and with less lot frontage and area and greater lot coverage than permitted.
<b>Location</b>	West of NW 14 Ave and South of NW 74 Street, Miami-Dade County, Florida.
<b>Property Size</b>	47.00' x 76.27'
<b>Existing Zoning</b>	RU-1
<b>Existing Land Use</b>	Vacant land
<b>2015-2025 CDMP Land Use Designation</b>	Low-Medium Density Residential (see attached Zoning Recommendation Addendum)
<b>Comprehensive Plan Consistency</b>	Consistent with interpretative text, goals, objectives and policies of the CDMP
<b>Applicable Zoning Code Section(s)</b>	Section 33-311(A)(4)(b) Non-Use Variances From Other Than Airport Regulations (see attached Zoning Recommendation Addendum)
<b>Recommendation</b>	<b>Approval with conditions</b>

**REQUESTS:**

- (1) NON-USE VARIANCE to permit a single-family residence with a lot frontage of 47' (75' required) and a lot area of 3,584 sq. ft. (7,500 sq. ft. required).
- (2) NON-USE VARIANCE to permit a single-family residence setback 8'2" (25' required) from the rear (west) property line.
- (3) NON-USE VARIANCE to permit a lot coverage of 36.7% (35% permitted).

Plans are on file and may be examined in the Department of Permitting, Environment and Regulatory Affairs entitled "Habitat for Humanity" as prepared by Thomas & Calzadilla, Sheet A-1 dated stamped received 1/11/11 and Sheet A-2 dated stamped received 10/5/10 for a total of two sheets. Plans may be modified at public hearing.

**PROJECT DESCRIPTION:** Proposed 1,317 sq. ft. single-family residence

<b><u>NEIGHBORHOOD CHARACTERISTICS</u></b>		
	<b>Zoning and Existing Use</b>	<b>Land Use Designation</b>
<b>Subject Property</b>	RU-1; vacant	Low-Medium Density Residential (6 to 13 du)
<b>North</b>	RU-1; single-family residence	Low-Medium Density Residential (6 to 13 du)
<b>South</b>	RU-1; vacant	Low-Medium Density Residential (6 to 13 du)
<b>East</b>	IU-1; manufacturing facility	Industrial and Office

West	RU-1; single-family residences	Low-Medium Density Residential (6 to 13 dua)
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**NEIGHBORHOOD COMPATIBILITY:**

The subject property is an interior lot, located west of NW 14 Avenue and south of NW 74 Street. Single-family residences, vacant lots and industrial uses characterize the surrounding area where the subject property lies.

**SUMMARY OF THE IMPACTS:**

The approval this application could have a positive impact on the surrounding neighborhood with the development affordable housing on a substandard vacant lot. However, the requested variances are due to the size constraints of the property and could have a negative visual impact on the surrounding area.

**COMPREHENSIVE DEVELOPMENT MASTER PLAN ANALYSIS:**

The subject property is designated as **Low-Medium Density Residential** on the Adopted 2015-2025 Land Use Plan (LUP) map. The proposed use for a single-family residence is consistent with the housing types permitted under the CDMP Land Use Element interpretive text for Low-Medium Residential Communities. This category allows a range in density from a minimum of 6.0 to a maximum of 13 dwelling units per gross acre. The approval of the request sought in this application will not add additional dwelling units to the site beyond what is allowed by the Land Use Map of the CDMP. Therefore, the request is **consistent** with the density threshold of the LUP map of the CDMP.

The proposed single-family residence furthers **CDMP Land Use Element Policy LU-1C** which indicates that *Miami-Dade County shall give priority to infill redevelopment of substandard or underdeveloped environmentally suitable urban areas contiguous to existing urban development where all necessary urban services and facilities are projected to have capacity to accommodate additional demand.* The subject parcel is located within the Model City/Brownsville Targeted Urban Area, and as such furthers **Land Use Element Objective LU-12**, which indicates that the County *shall take specific measures to promote infill development that are located in the Urban Infill Area (UIA) as defined in Policy TC-1B or in a built-up area with urban services that is situated in a Community Development Block Grant (CDBG)-eligible area, a Targeted Urban Area identified in the Urban Economic Revitalization Plan for Targeted Urban Areas, an Enterprise Zone established pursuant to state law or in the designated Empowerment Zone established pursuant to federal law.* Staff opines that the proposed single-family residence is **consistent** with interpretative text, objectives and policies of the CDMP.

**ZONING ANALYSIS:**

When requests #1 through #3 are analyzed under the Non-Use Variances From Other Than Airport Regulations, Section 33-311(A)(4)(b), staff opines that approval of these requests will maintain the basic intent and purpose of the zoning, subdivision and other land use regulations and would be **compatible** with same. Staff notes that the abutting property, to the south of the subject property, was approved pursuant to Resolution #CZAB-8-43-11, to permit a parcel of land with a lot frontage of 47' (75' required), a lot area of 3,584 sq. ft. (7,500 sq. ft. required), a setback of 11'4" (25' required) from the rear property line and a setback of 9'11" (15' required) from the side street property line, as well as a lot coverage of 35.7% (35% permitted). As such,

Staff opines the approval of the requests will allow new development on a vacant lot within the Model City/Brownsville Targeted Urban Area as identified in the Urban Economic Revitalization Plan for Targeted Urban Areas. Overall, staff is supportive of this application subject to conditions, and is of the opinion that the approval of these requests would not affect the stability and appearance of the community and would be compatible with the surrounding area. Furthermore, staff notes that the proposal would be consistent with Policy LU-1C and Objective LU-12 of the CDMP. **As such, staff recommends approval with conditions of requests #1 through #3 under Section 33-311(A)(4)(b), Non-Use Variances From Other Than Airport Regulations.**

**ACCESS, CIRCULATION AND PARKING:** Not applicable.

**NEIGHBORHOOD SERVICES PROVIDER REVIEW:** See attached.

**OTHER:** Not applicable.

**RECOMMENDATION:**

Approval with conditions.

**CONDITIONS FOR APPROVAL:**

1. That a site plan be submitted to and meet with the approval of the Director of the Department of Permitting, Environment and Regulatory Affairs upon the submittal of an application for a building permit and/or Certificate of Use; said plan must include among other things but not be limited to, location of structure or structures, exits and entrances, drainage, walls, fences, landscaping, etc.
2. That in the approval of the plan, the same be substantially in accordance with that submitted for the hearing entitled "Habitat for Humanity" as prepared by Thomas & Calzadilla, Sheet A-1 dated stamped received 1/11/11 and Sheet A-2 dated stamped received 10/5/10 for a total of two sheets. Except as may be specified by any zoning resolution applicable to the subject property, any future additions on the property which conform to Zoning Code requirements will not require further public hearing action.
3. That the use be established and maintained in accordance with the approved plan.

CD:ES:MW:GR:JV:NN:CH:JC

  
\_\_\_\_\_  
Charles Danger, P.E. Interim Director  
Miami-Dade County Department of  
Permitting, Environment and Regulatory Affairs

*NON  
COMM*

Habitat for Humanity of Greater Miami, Inc.

Z10-173

Page | 4



Mark R. Woerner, AICP Interim Assistant Director of Planning  
Miami-Dade County Department of  
Sustainability, Planning and Economic Enhancement

NDN  
EJ

ZONING RECOMMENDATION ADDENDUM  
HISTORY  
MOTION SLIPS\*  
DEPARTMENT MEMORANDA  
DISCLOSURE OF INTEREST\*  
HEARING PLANS\*  
MAPS

\*If applicable

# ZONING RECOMMENDATION ADDENDUM

*Habitat for Humanity of Greater Miami, Inc.*  
Z10-173

<b>NEIGHBORHOOD SERVICES PROVIDER COMMENTS</b>	
DERM	No objection*
Public Works	No objection
Parks	No objection
MDT	No comment
Fire Rescue	No objection
Police	No comment
Schools	No objection
*Subject to conditions in their memorandum.	

## COMPREHENSIVE DEVELOPMENT MASTER PLAN (CDMP) OBJECTIVES, POLICIES AND INTERPRETATIVE TEXT

<b>Low-Medium Density</b> (Pg. I-31)	<i>The Adopted 2015 and 2025 Land Use Plan designates the subject property as being within the Urban Development Boundary for Low-Medium Density Residential use. This category allows a range in density from a minimum of 6.0 to a maximum of 13 dwelling units per gross acre. The types of housing typically found in areas designated low-medium density include single-family homes, townhouses and low-rise apartments. Zero-lot-line single-family developments in this category shall not exceed a density of 7.0 dwelling units per gross acre.</i>
<b>Policy LU-1C</b> (Pg. I-2)	<i>Miami-Dade County shall give priority to infill development on vacant sites in currently urbanized areas, and redevelopment of substandard or underdeveloped environmentally suitable urban areas contiguous to existing urban development where all necessary urban services and facilities are projected to have capacity to accommodate additional demand.</i>
<b>Objective LU-12</b> (Pg. I-24)	<i>Miami-Dade County shall take specific measures to promote infill development that are located in the Urban Infill Area (UIA) as defined in Policy TC-1B or in a built-up area with urban services that is situated in a Community Development Block Grant (CDBG)-eligible area, a Targeted Urban Area identified in the Urban Economic Revitalization Plan for Targeted Urban Areas, an Enterprise Zone established pursuant to state law or in the designated Empowerment Zone established pursuant to federal law.</i>

## PERTINENT ZONING REQUIREMENTS/STANDARDS

<b>Section 33-311(A)(4)(b) Non-Use Variances From Other Than Airport Regulations.</b>	<i>Upon appeal or direct application in specific cases, the Board shall hear and grant applications for non-use variances from the terms of the zoning and subdivision regulations and may grant a non-use variance upon a showing by the applicant that the non-use variance maintains the basic intent and purpose of the zoning, subdivision and other land use regulations, which is to protect the general welfare of the public, particularly as it affects the stability and appearance of the community and provided that the non-use variance will be otherwise compatible with the surrounding land uses and would not be detrimental to the community. No showing of unnecessary hardship to the land is required</i>
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**3. HABITAT FOR HUMANITY OF  
GREATER MIAMI INC.  
(Applicant)**

11-12-CZ8-3 (10-173)  
Area 8/District 02  
Hearing Date: 12/01/11

Property Owner (if different from applicant) Same.

Is there an option to purchase /lease  the property predicated on the approval of the zoning request? Yes  No

Disclosure of interest form attached? Yes  No

**Previous Zoning Hearings on the Property:**

<u>Year</u>	<u>Applicant</u>	<u>Request</u>	<u>Board</u>	<u>Decision</u>
No History				

Action taken today does not constitute a final development order, and one or more concurrency determinations will subsequently be required. Provisional determinations or listings of needed facilities made in association with this Initial Development Order shall not be binding with regard to future decisions to approve or deny an Intermediate or Final Development Order on any grounds.

# Memorandum



**Date:** October 20, 2010

**To:** Marc C. LaFerrier, AICP, Director  
Department of Planning and Zoning

**From:** Jose Gonzalez, P.E., Assistant Director  
Environmental Resources Management

A handwritten signature in black ink, appearing to read "Jose Gonzalez". The signature is written in a cursive, flowing style.

**Subject:** C-08 #Z2010000173  
Habitat for Humanity of Greater Miami, Inc.  
7320 N.W. 14 Avenue  
To Permit a Parcel of Land with Less Area and Frontage than Required,  
to Permit a Single-Family Residence Setback Less than Required from  
Property Lines and Request a Greater Lot Coverage than Required  
(RU-1) (0.082 Acres)  
11-53-41

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The Department of Environmental Resources Management (DERM) has reviewed the subject application and has determined that it meets the minimum requirements of Chapter 24 of the Code of Miami-Dade County, Florida (the Code). Accordingly, DERM may approve the application, and the same may be scheduled for public hearing.

Potable Water Service and Wastewater Disposal

Public water and public sanitary sewers can be made available to the subject property. Therefore, connection of the proposed development to the public water supply system and sanitary sewer system shall be required in accordance with Code requirements.

Existing public water and sewer facilities and services meet the Level of Service (LOS) standards set forth in the Comprehensive Development Master Plan (CDMP). Furthermore, the proposed development order, if approved, will not result in a reduction in the LOS standards subject to compliance with the conditions required by DERM for this proposed development order.

Notwithstanding the foregoing, and in light of the fact that the County's sanitary sewer system has limited sewer collection, transmission, and treatment capacity, no new sewer service connections can be permitted, unless there is adequate capacity to handle the additional flows that this project would generate. Consequently, final development orders for this site may not be granted if adequate capacity in the system is not available at the point in time when the project will be contributing sewage to the system. Lack of adequate capacity in the system may require the approval of alternate means of sewage disposal. Use of an alternate means of sewage disposal may only be granted in accordance with Code requirements, and shall be an interim measure, with connection to the public sanitary sewer system required upon availability of adequate collection/transmission and treatment capacity.

### Stormwater Management

Site grading and development plans shall comply with the requirements of Section 11C of the Code, as well as with all state and federal criteria, and shall not cause flooding of adjacent properties.

Any proposed development shall comply with county and federal flood criteria requirements. The proposed development order, if approved, will not result in a reduction in the LOS standards for flood protection set forth in the CDMP subject to compliance with the conditions required by DERM for this proposed development order.

### Wetlands

The subject property does not contain wetlands as defined by Section 24-5 of the Code; therefore, a Class IV Wetland Permit will not be required.

The applicant is advised that permits from the Army Corps of Engineers (305-526-7181), the Florida Department of Environmental Protection (561-681-6600) and the South Florida Water Management District (1-800-432-2045) may be required for the proposed project. It is the applicant's responsibility to contact these agencies.

### Tree Preservation

The subject property contains tree resources. Section 24-49 of the Code provides for the preservation and protection of tree resources. A Miami-Dade County Tree Removal Permit is required prior to the removal or relocation of any tree that is subject to the Tree Preservation and Protection provisions of the Code. Said permit shall meet the requirements of Sections 24-49.2 and 24-49.4 of the Code.

The applicant is required to comply with the above tree permitting requirements. DERM's approval of the subject application is contingent upon inclusion of said tree permitting requirements in the resolution approving this application.

The applicant is advised to contact DERM staff for additional information regarding permitting procedures and requirements prior to site development.

### Enforcement History

DERM has found no open or closed enforcement records for the subject property.

### Concurrency Review Summary

DERM has conducted a concurrency review for this application and has determined that the same meets all applicable LOS standards for an initial development order, as specified in the adopted CDMP for potable water supply, wastewater disposal, and flood protection. Therefore, the application has been approved for concurrency subject to the comments and conditions contained herein.

This concurrency approval does not constitute a final concurrency statement and is valid only for this initial development order, as provided for in the adopted methodology for concurrency review. Additionally, this approval does not constitute any assurance that the LOS standards would be met by any subsequent development order applications concerning the subject property.

This memorandum shall constitute DERM's written approval, as required by the Code.

If you have any questions concerning the comments, or wish to discuss this matter further, please contact Christine Velazquez at (305) 372-6764.

**PUBLIC WORKS DEPARTMENT COMMENTS**

Applicant's Names: HABITAT FOR HUMANITY OF GREATER MIAMI, INC.

This Department has no objections to this application.

This project meets traffic concurrency because it lies within the urban infill area where traffic concurrency does not apply.

A handwritten signature in black ink, appearing to read "Raul", with a stylized flourish extending to the right.

Raul A Pino, P.L.S.

08-FEB-11

# Memorandum



**Date:** 01-NOV-10  
**To:** Marc LaFerrier, Director  
 Department of Planning and Zoning  
**From:** Herminio Lorenzo, Fire Chief  
 Miami-Dade Fire Rescue Department  
**Subject:** Z2010000173

## Fire Prevention Unit:

No objection.

## Service Impact/Demand

Development for the above Z2010000173  
 located at LYING WEST OF N.W. 14 AVENUE & APPROX. 74.83' SOUTH OF N.W. 74 STREET, MIAMI-DADE  
 COUNTY, FLORIDA.  
 in Police Grid 0797 is proposed as the following:

1	dwelling units	N/A	square feet
<u>residential</u>		<u>industrial</u>	square feet
N/A	square feet	N/A	square feet
<u>Office</u>		<u>institutional</u>	
N/A	square feet	N/A	square feet
<u>Retail</u>		<u>nursing home/hospitals</u>	

Based on this development information, estimated service impact is: 0.27 alarms-annually.  
 The estimated average travel time is: 5:48 minutes

## Existing services

The Fire station responding to an alarm in the proposed development will be:

Station 2 - Model Cities - 6460 NW 27 Avenue  
 Rescue, BLS 65' Aerial, Battalion

## Planned Service Expansions:

The following stations/units are planned in the vicinity of this development:

None.

## Fire Planning Additional Comments

Service impact calculated based on site plan.

BUILDING AND NEIGHBORHOOD  
COMPLIANCE DEPARTMENT

ENFORCEMENT HISTORY OF VIOLATIONS OF CHAPTER 19 AND  
CHAPTER 33 OF THE MIAMI-DADE COUNTY CODE

HABITAT FOR HUMANITY OF  
GREATER MIAMI, INC.

LYING WEST OF N.W. 14 AVENUE  
& APPROX. 74.83' SOUTH OF N.W.  
74 STREET, MIAMI-DADE COUNTY,  
FLORIDA.

---

APPLICANT

---

ADDRESS

Z2010000173

---

HEARING NUMBER

**HISTORY:**

ENFORCEMENT HISTORY: NC: No open cases. BNC: No open cases.

**OUTSTANDING FINES, PENALTIES, COST OR LIENS  
INCURRED PURSUANT TO CHAPTER 8CC:**

**REPORTER NAME:**

NCS Belinda Brown

**Inspector:** EDWARDS, RALPH

**Inspection Date**

**Evaluator:** JACQUELINE CARRANZA

10/18/11

**Process #:** Z2010000173      **Applicant's Name** HABITAT FOR HUMANITY OF GREATER MIAMI, INC.

**Locations:** LYING WEST OF N.W. 14 AVENUE & APPROX. 74.83' SOUTH OF N.W. 74 STREET, MIAMI-DADE COUNTY, FLORIDA.

**Size:** 47' X 76.27'

**Folio #:** 3031110380031

**Request:**

- 1 Applicant is requesting to permit a parcel of land with a lot frontage of 47' (75' required) and lot area of 3,584.69 sqft (7,500 sqft required). Sec. 33-49
- 2 Applicant is requesting to permit a single family residence setback 8'-2" (25' req.) from the rear (West) property line. Sec. 33-50
- 3 Applicant is requesting to permit a lot coverage of 36.7% (35% permitted).

**EXISTING ZONING**

**Subject Property** RU-1,

**EXISTING USE** VACANT LAND

**SITE CHARACTERISTICS**

**STRUCTURES ON SITE:**

THE SUBJECT SITE IS A VACANT LOT.

**USE(S) OF PROPERTY:**

THE PROPERTY IS A VACANT LOT.

**FENCES/WALLS:**

THE SUBJECT SITE HAS A 3 FT CHAIN LINK FENCE ON THE NORTHSIDE ABUTTING THE THE RESIDENTIAL HOUSE. ON THE WESTSIDE IT HAS A 4FT CHAIN LINK FENCE ABUTTING A RESIDENCE

**LANDSCAPING:**

NONE

**BUFFERING:**

NONE

**VIOLATIONS OBSERVED:**

NONE

**OTHER:**

NONE

**Process #    Applicant's Name**

**SURROUNDING PROPERTY**

**NORTH:**

RU-1 ONE STORY SINGLE FAMILY RESIDENCES

**SOUTH:**

RU-1 VACANT LOT

**EAST:**

IU-1 LIGHT MANUFACTURING EAST 14 AVE, BOTH SIDE OF 74 ST

**WEST:**

RU-1 ONE STORY SINGLE FAMILY RESIDENCE

**SURROUNDING AREA**

WEST OF THE SUBJECT PROPERTY IS RU-1, SINGLE-FAMILY RESIDENTIAL. EAST OF THE PROPERTY IS IU-1 LIGHT MANUFACTURING.

**NEIGHBORHOOD CHARACTERISTICS:**

THE SUBJECT SITE HAS RU-1 TO THE WEST AND TO THE EAST OF 14 AVE ON 74 ST HAS IU-1 LIGHT MANUFACTURING.

**COMMENTS:**

DISCLOSURE OF INTEREST\*

If a CORPORATION owns or leases the subject property, list principal stockholders and percent of stock owned by each. [Note: Where principal officers or stockholders consist of other corporation(s), trust(s), partnership(s) or other similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

CORPORATION NAME: Habitat for Humanity of Greater Miami Inc. A NOT FOR PROFIT CORPORATION

<u>NAME AND ADDRESS</u>	<u>Percentage of Stock</u>
<u>MICHAEL BATTLE, PRESIDENT</u>	<u>0</u>
<u>PAUL JONES, VICE PRESIDENT</u>	<u>0</u>
<u>TIMOTHY PLUMMER, 2ND VICE PRESIDENT</u>	<u>0</u>
<u>ANNE E. MANNING, ASST. SECRETARY</u>	<u>0</u>

If a TRUST or ESTATE owns or leases the subject property, list the trust beneficiaries and the percent of interest held by each. [Note: Where beneficiaries are other than natural persons, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

TRUST/ESTATE NAME \_\_\_\_\_

<u>NAME AND ADDRESS</u>	<u>Percentage of Interest</u>
<u>NOT APPLICABLE</u>	<u>0</u>
<u>210-173</u>	
<u>OCT 05 2011</u>	
<u>JSA</u>	

If a PARTNERSHIP owns or leases the subject property, list the principals including general and limited partners. [Note: Where the partner(s) consist of another partnership(s), corporation(s), trust(s) or other similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

PARTNERSHIP OR LIMITED PARTNERSHIP NAME: \_\_\_\_\_

<u>NAME AND ADDRESS</u>	<u>Percentage of Ownership</u>
<u>NOT APPLICABLE</u>	<u>0</u>

If there is a CONTRACT FOR PURCHASE, by a Corporation, Trust or Partnership list purchasers below, including principal officers, stockholders, beneficiaries or partners. [Note: Where principal officers, stockholders, beneficiaries or partners consist of other corporations, trusts, partnerships or other similar

entities, further disclosure shall be made to identify natural persons having the ultimate ownership interests].

NAME OF PURCHASER: \_\_\_\_\_

NAME, ADDRESS AND OFFICE (if applicable)	Percentage of Interest
NOT APPLICABLE	0
_____	_____
_____	_____
_____	_____
_____	_____

Date of contract: \_\_\_\_\_

If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership or trust.

NOT APPLICABLE	0
_____	_____
_____	_____
_____	_____
_____	_____

210-173  
 OCT 26 2010  
 JST

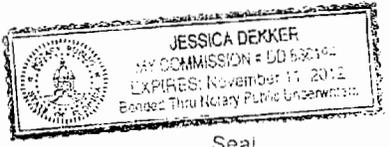
NOTICE: For any changes of ownership or changes in purchase contracts after the date of the application, but prior to the date of final public hearing, a supplemental disclosure of interest is required.

The above is a full disclosure of all parties of interest in this application to the best of my knowledge and belief

Signature: Amie C  
(Applicant)

Sworn to and subscribed before me this 24 day of sept 2010 Affiant is personally know to me or has produced Jessica Dekker as identification

Jessica Dekker  
(Notary Public)

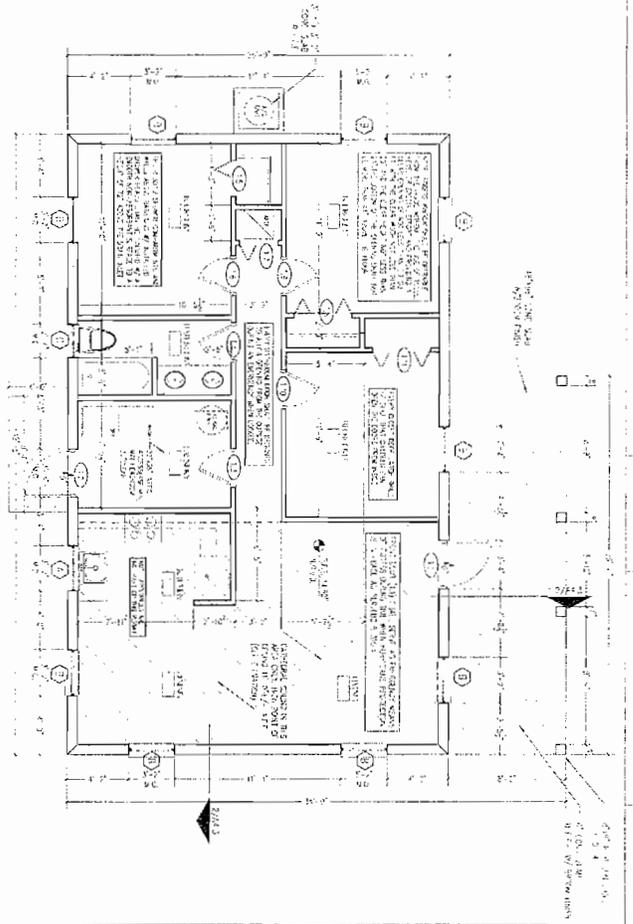


My commission expires \_\_\_\_\_

\*Disclosure shall not be required of: 1) any entity, the equity interests in which are regularly traded on an established securities market in the United States or another country; or 2) pension funds or pension trusts of more than five thousand (5,000) ownership interests; or 3) any entity where ownership interests are held in a partnership, corporation or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership and where no one (1) person or entity holds more than a total of five per cent (5%) of the ownership interest in the partnership, corporation or trust. Entities whose ownership interests are held in a partnership, corporation, or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership, shall only be required to disclose those ownership interest which exceed five (5) percent of the ownership interest in the partnership, corporation or trust.







**GENERALANWEISUNGEN**

Die Bauteile sind nach Angabe der Maßstäbe zu verstehen. Die Ausführung ist nach den Angaben in den Zeichnungen zu verstehen. Die Ausführung ist nach den Angaben in den Zeichnungen zu verstehen. Die Ausführung ist nach den Angaben in den Zeichnungen zu verstehen.

**RECHENSCHLÜSSEL**

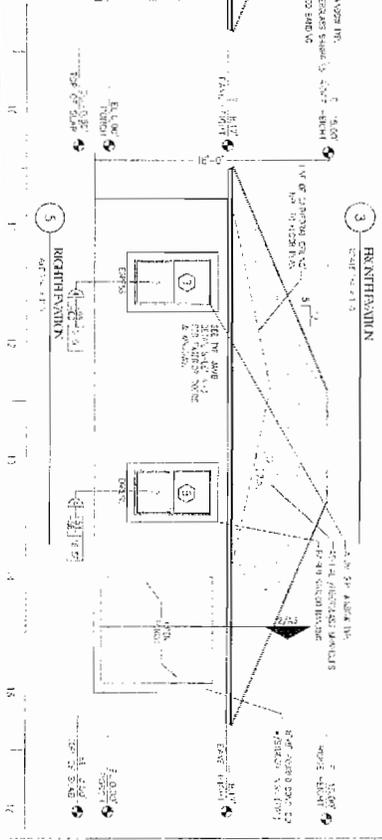
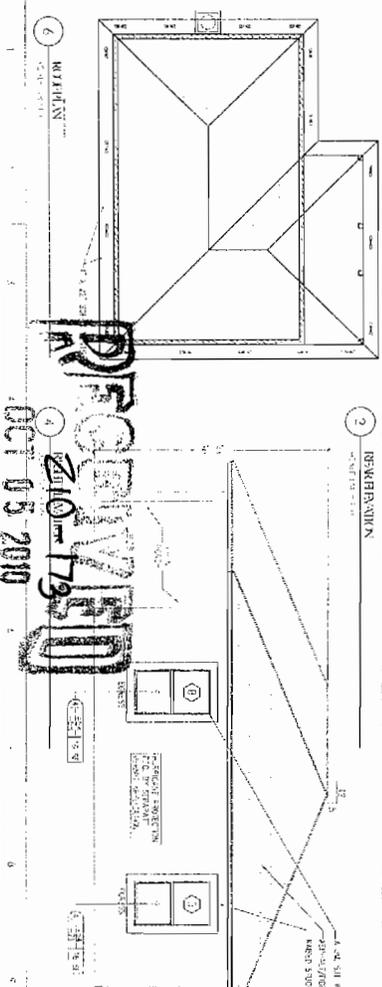
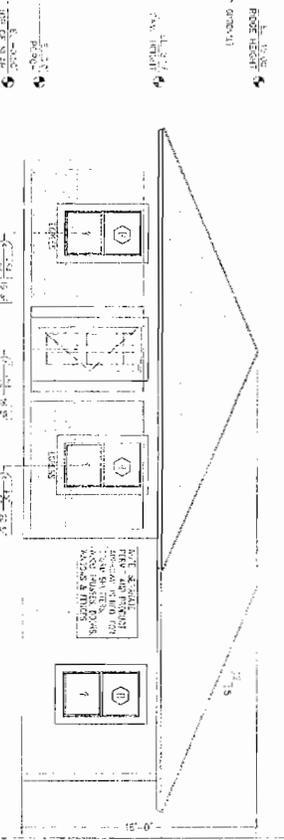
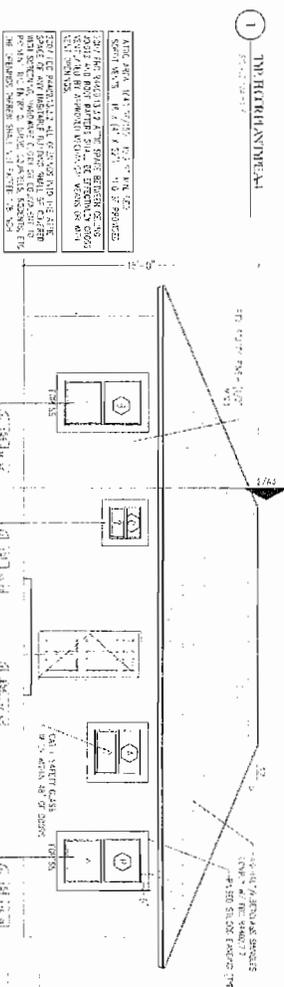
Room number	Room name	Area	Volume	Remarks
1.01	Küche	10.50	2.10	
1.02	Wohnzimmer	15.00	3.00	
1.03	Büro	10.00	2.00	
1.04	Büro	10.00	2.00	
1.05	Büro	10.00	2.00	
1.06	Büro	10.00	2.00	
1.07	Büro	10.00	2.00	
1.08	Büro	10.00	2.00	
1.09	Büro	10.00	2.00	
1.10	Büro	10.00	2.00	
1.11	Büro	10.00	2.00	
1.12	Büro	10.00	2.00	
1.13	Büro	10.00	2.00	
1.14	Büro	10.00	2.00	
1.15	Büro	10.00	2.00	
1.16	Büro	10.00	2.00	
1.17	Büro	10.00	2.00	
1.18	Büro	10.00	2.00	
1.19	Büro	10.00	2.00	
1.20	Büro	10.00	2.00	
1.21	Büro	10.00	2.00	
1.22	Büro	10.00	2.00	
1.23	Büro	10.00	2.00	
1.24	Büro	10.00	2.00	
1.25	Büro	10.00	2.00	
1.26	Büro	10.00	2.00	
1.27	Büro	10.00	2.00	
1.28	Büro	10.00	2.00	
1.29	Büro	10.00	2.00	
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1.43	Büro	10.00	2.00	
1.44	Büro	10.00	2.00	
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1.46	Büro	10.00	2.00	
1.47	Büro	10.00	2.00	
1.48	Büro	10.00	2.00	
1.49	Büro	10.00	2.00	
1.50	Büro	10.00	2.00	

**WINDRISSEN**

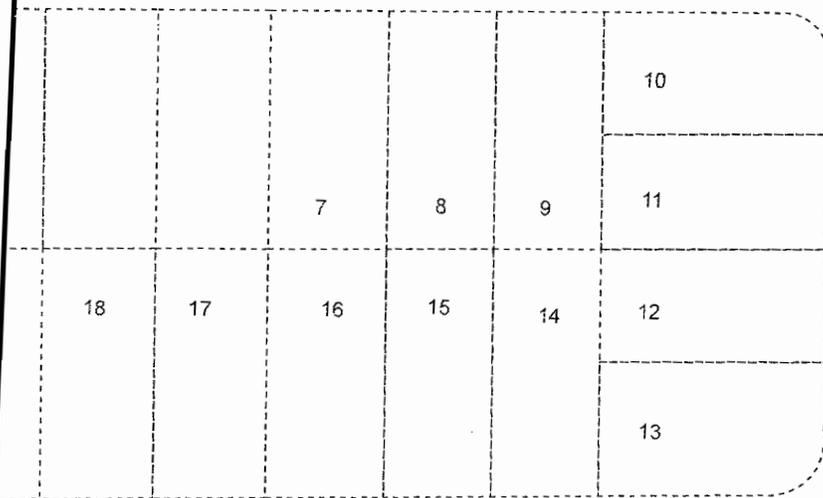
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45°	1.5	0.10	
90°	2.0	0.15	
135°	2.5	0.20	
180°	3.0	0.25	
225°	3.5	0.30	
270°	4.0	0.35	
315°	4.5	0.40	
360°	5.0	0.45	

**DECKENANWEISUNGEN**

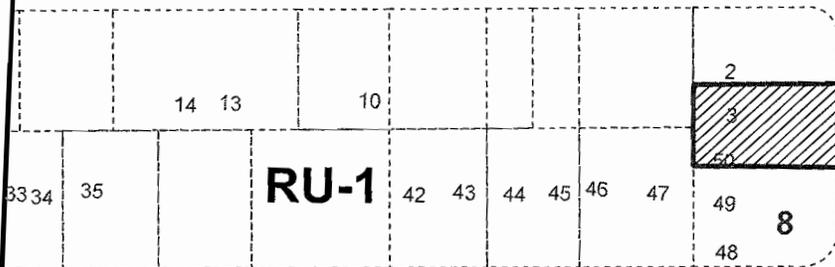
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1.02	Wohnzimmer	15.00	3.00	
1.03	Büro	10.00	2.00	
1.04	Büro	10.00	2.00	
1.05	Büro	10.00	2.00	
1.06	Büro	10.00	2.00	
1.07	Büro	10.00	2.00	
1.08	Büro	10.00	2.00	
1.09	Büro	10.00	2.00	
1.10	Büro	10.00	2.00	
1.11	Büro	10.00	2.00	
1.12	Büro	10.00	2.00	
1.13	Büro	10.00	2.00	
1.14	Büro	10.00	2.00	
1.15	Büro	10.00	2.00	
1.16	Büro	10.00	2.00	
1.17	Büro	10.00	2.00	
1.18	Büro	10.00	2.00	
1.19	Büro	10.00	2.00	
1.20	Büro	10.00	2.00	
1.21	Büro	10.00	2.00	
1.22	Büro	10.00	2.00	
1.23	Büro	10.00	2.00	
1.24	Büro	10.00	2.00	
1.25	Büro	10.00	2.00	
1.26	Büro	10.00	2.00	
1.27	Büro	10.00	2.00	
1.28	Büro	10.00	2.00	
1.29	Büro	10.00	2.00	
1.30	Büro	10.00	2.00	
1.31	Büro	10.00	2.00	
1.32	Büro	10.00	2.00	
1.33	Büro	10.00	2.00	
1.34	Büro	10.00	2.00	
1.35	Büro	10.00	2.00	
1.36	Büro	10.00	2.00	
1.37	Büro	10.00	2.00	
1.38	Büro	10.00	2.00	
1.39	Büro	10.00	2.00	
1.40	Büro	10.00	2.00	
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1.42	Büro	10.00	2.00	
1.43	Büro	10.00	2.00	
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NW 75TH ST



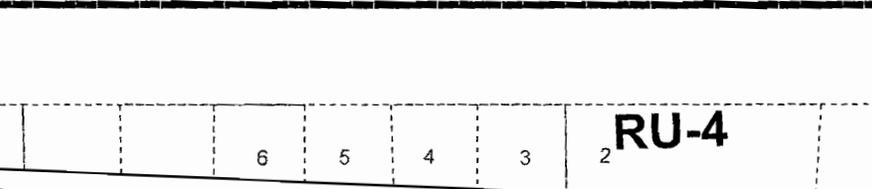
NW 74TH ST



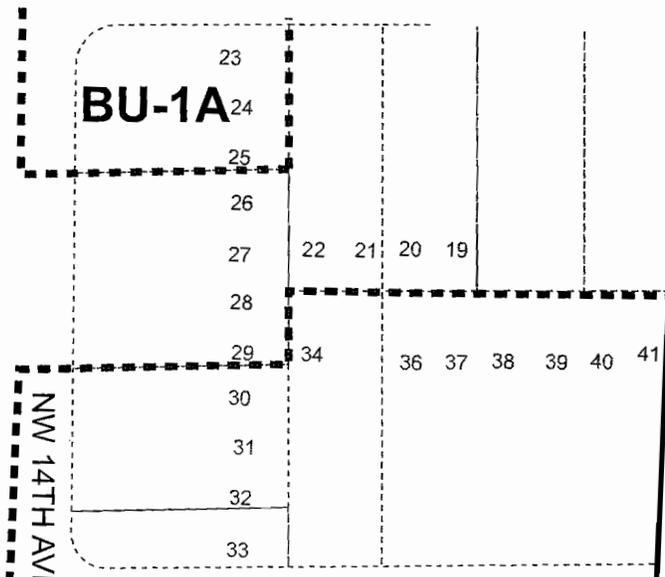
NW 73RD ST



Florida East Coast Railway  
(Okeechobee-Miami Branch)



RU-4



BU-1A

IU-1

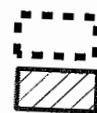
NW 14TH AVE

RU-1

**MIAMI-DADE COUNTY**  
**HEARING MAP**

Process Number  
**Z2010000173**

**Legend**



Zoning

Subject Property Case



Section: 11 Township: 53 Range: 41  
 Applicant: HABITAT FOR HUMANITY OF GREATER MIAMI, INC.  
 Zoning Board: C8  
 Commission District: 2  
 Drafter ID: ALFREDO FERNANDEZ-CUETO  
 Scale: NTS



SKETCH CREATED ON: Wednesday, October 13, 2010

REVISION	DATE	BY
		19



Florida East Coast Railway  
(Okeechobee-Miami Branch)

**MIAMI-DADE COUNTY**  
AERIAL YEAR 2009

Process Number  
**Z2010000173**

Legend



Subject Property



Section: 11 Township: 53 Range: 41  
 Applicant: HABITAT FOR HUMANITY OF GREATER MIAMI, INC.  
 Zoning Board: C8  
 Commission District: 2  
 Drafter ID: ALFREDO FERNANDEZ-CUETO  
 Scale: NTS



SKETCH CREATED ON: Wednesday, October 13, 2010

REVISION	DATE	BY
		20



**MIAMI-DADE COUNTY**  
RADIUS MAP

Process Number  
**Z2010000173**  
RADIUS: 500

Section: 11 Township: 53 Range: 41  
Applicant: HABITAT FOR HUMANITY OF GREATER MIAMI, INC.  
Zoning Board: C8  
Commission District: 2  
Drafter ID: ALFREDO FERNANDEZ-CUETO  
Scale: NTS

**Legend**

-  Buffer
-  Subject Property
-  Contiguous Properties
-  Property Boundaries



SKETCH CREATED ON: Wednesday, October 13, 2010

REVISION	DATE	BY

**Miami-Dade County Department of Permitting, Environment and Regulatory Affairs  
Staff Report to Community Council No. 8**

**PH: Z10-192 (11-12-CZ8-4)**

**December 1, 2011**

Item No. 4

<b>Recommendation Summary</b>	
<b>Commission District</b>	2
<b>Applicant</b>	Juan De Dios Property, Inc.
<b>Summary of Requests</b>	The applicant is requesting to permit a retail building with less setback and greenbelt than required.
<b>Location</b>	3235 NW 32 Avenue, Miami-Dade County, Florida.
<b>Property Size</b>	12,868 sq. ft.
<b>Existing Zoning</b>	BU-1A
<b>Existing Land Use</b>	Vacant
<b>2015-2025 CDMP Land Use Designation</b>	Business and Office (see attached Zoning Recommendation Addendum)
<b>Comprehensive Plan Consistency</b>	Consistent with interpretative text, goals, objectives and policies of the CDMP
<b>Applicable Zoning Code Section(s)</b>	Section 33-311(A)(4)(b) Non-Use Variances From Other Than Airport Regulations (see attached Zoning Recommendation Addendum)
<b>Recommendation</b>	Approval with conditions

**REQUEST:**

- (1) NON-USE VARIANCE to permit a retail building setback 7.5' (15' required) from the interior side (east) property line.
- (2) NON-USE VARIANCE to permit a greenbelt with a minimum width of 3' (7' required) along the right-of-way.

Plans are on file and may be examined in the Department of Permitting, Environment and Regulatory Affairs entitled "Proposed Commercial Building" as prepared by Hidalgo Construction Group. Sheets SP and LP are dated stamped received 8/17/11 and the remaining sheets A-1 and A-2 are dated stamped received 2/8/11, for a total of four (4) sheets. Plans may be modified at public hearing.

**PROJECT DESCRIPTION:** Proposed one (1) story retail center building, approximately 3,923 sq. ft., with sixteen (16) parking spaces.

<b>NEIGHBORHOOD CHARACTERISTICS</b>		
	<b>Zoning and Existing Use</b>	<b>Land Use Designation</b>
<b>Subject Property</b>	BU-1A; vacant land	Business and Office
<b>North</b>	BU-1A; single family residence	Business and Office
<b>South</b>	BU-1A; retail building	Business and Office
<b>East</b>	RU-2; duplex residence	Low-Medium Density Residential (6 to 13 dua)
<b>West</b>	IU-1; Miami-Dade transit facility	Industrial and Office

### **NEIGHBORHOOD COMPATIBILITY:**

The subject property is a vacant corner lot, located at 3235 NW 32 Avenue. The surrounding area is characterized by commercial, industrial and residential uses.

### **SUMMARY OF THE IMPACTS:**

Approval of this application could have a positive impact on the economy of Miami-Dade County and provide jobs to area residents. However, the requested variances could have a negative visual impact on the surrounding area.

### **COMPREHENSIVE DEVELOPMENT MASTER PLAN ANALYSIS:**

The subject property is designated as ***Business and Office*** on the Adopted 2015-2025 Land Use Plan (LUP) map. This category accommodates the full range of sales and service activities, including retail. The approval of the request sought in this application will permit the applicant to develop a one story retail building. The proposed retail store use is consistent with the uses permitted as described under the CDMP interpretive text for the Business and Office CDMP designation and is **consistent** with the Business and Office designation on the LUP map.

### **ZONING ANALYSIS:**

When requests #1 and #2 are analyzed under the Non-Use Variances From Other Than Airport Regulations, Section 33-311(A)(4)(b), staff is of the opinion that said requests maintain the basic intent and purpose of the zoning and other land use regulations, would be **compatible** with the surrounding area and would not be detrimental to the neighborhood. Furthermore, approval of this application will allow applicant to utilize the subject property as permitted under the BU-1A, Limited Business Zoning District, and develop the site in accordance with the character of the surrounding community.

In staff's opinion the requested variances are the result of the constraints of the property. Request #1, to permit the proposed building with a setback of 7.50' (15' required) from the interior side (east) is mitigated by the proposed 6' high CBS wall along the interior side (east) property line. Staff opines that the submitted plans indicate sensitivity to the residential use located to the east, with said wall. However, staff opines that certain more intensive uses may cause a negative aural impact to the adjacent residential properties due to the close proximity of the proposed building. Therefore, staff recommends that certain uses be restricted from the subject property. As a condition for approval, staff recommends that no billiard rooms, pool rooms, bowling alleys or amusement center be permitted on the subject property. Staff also recommends as a condition for approval, that the 6' high CBS wall also be placed along the rear (north) property line to provide the existing residential property to the north with a similar buffer. In staff's opinion, these conditions will mitigate any negative visual or aural impacts that may result from the proposed commercial development on the residential properties located to the north and east.

Staff opines that request #2, the proposed reduction in the required landscaped greenbelt occurs on only a portion of the site and would not cause a negative visual impact on the transit facility across NW 32<sup>nd</sup> Avenue and allows the applicant to meet minimum parking requirements. Additionally, staff notes that the subject site provides a 6.87' wide greenbelt along most of the right-of-way of NW 32<sup>nd</sup> Avenue. Therefore, staff opines that the small area of

the greenbelt that is 3' wide will not have a negative visual impact in the surrounding area. As such, staff opines that the approval of the application will be **compatible** with the surrounding commercial, industrial and residential developments.

In addition, staff recommends as a condition for approval, that the applicant provide a curb between parking spaces #12 and #13 as shown on the submitted plans. Therefore, in staff's opinion, approval with conditions of the requests would maintain the basic intent and purpose of the zoning regulations, which is to protect the general welfare of the public, particularly as it affects the stability and appearance of the community and would be **compatible** with same. **As such, staff recommends approval with conditions of requests #1 and #2 under Section 33-311(A)(4)(b), Non-Use Variances From Other Than Airport Regulations.**

**ACCESS, CIRCULATION AND PARKING:**

The site plan submitted depicts a proposed one story retail building that meets the minimum required parking requirement and the location and width of the drives on the subject property are sufficient to accommodate the potential traffic on this site. There is a small parking area with its own ingress and egress along NW 32 Street and the larger parking area with access on NW 32 Avenue.

**NEIGHBORHOOD SERVICES PROVIDER REVIEW:** See attached.

**OTHER:** Not applicable.

**RECOMMENDATION:**

**Approval with conditions.**

**CONDITIONS FOR APPROVAL:**

1. That a site plan be submitted to and meet with the approval of the Director of the Department of Planning & Zoning upon the submittal of an application for a building permit and/or Certificate of Use; said plan must include among other things but not be limited to, location of structure or structures, exits and entrances, drainage, walls, fences, landscaping, etc.
2. That in the approval of the plan, the same be substantially in accordance with that submitted for the hearing entitled "Proposed Commercial Building" as prepared by Hidalgo Construction Group. Sheets SP and LP are dated stamped received 8/17/11 and the remaining sheets A-1 and A-2 are dated stamped received 2/8/11, for a total of four (4) sheets.
3. That the use be established and maintained in accordance with the approved plan.
4. That the applicant obtain a Certificate of Use from and promptly renew the same annually with the Department of Permitting, Environment and Regulatory Affairs, upon compliance with all terms and conditions, the same subject to cancellation upon violation of any of the conditions.

6. That the 6' high CBS wall be provided along the interior side (east) and rear (north) property lines and be enhanced to show columns at a maximum spacing of twenty (20) feet with decorative pre-cast concrete caps on top of the columns.
7. That a curb be provided between parking spaces #12 and #13 as shown on the submitted plans.
8. That no billiard rooms, pool rooms, bowling alleys or amusement centers be permitted.

CD:ES:MW:GR:NN:CH:JC

  
Charles Danger, P.E. Interim Director  
Miami-Dade County Department of  
Permitting, Environment and Regulatory Affairs

*NDW*  
*W*  
*EP*

  
Mark R. Woerner, AICP Interim Assistant Director of Planning  
Miami-Dade County Department of  
Sustainability, Planning and Economic Enhancement

*NDW*  
*EP*

ZONING RECOMMENDATION ADDENDUM  
HISTORY  
MOTION SLIPS\*  
DEPARTMENT MEMORANDA  
DISCLOSURE OF INTEREST\*  
HEARING PLANS\*  
MAPS

\*If applicable

## ZONING RECOMMENDATION ADDENDUM

Applicant: *Juan De Dios Property, LLC*  
PH: Z10-192

<b>NEIGHBORHOOD SERVICES PROVIDER COMMENTS*</b>	
DERM	No objection
Public Works	No objection
Parks	No objection
Fire Rescue	No objection
Police	No comment
Schools	No objection
*Subject to conditions in their memorandum.	

### COMPREHENSIVE DEVELOPMENT MASTER PLAN (CDMP) OBJECTIVES, POLICIES AND INTERPRETATIVE TEXT

<p><b>Business and Office</b> (Pg. I-41)</p>	<p><i>The Adopted 2015 and 2025 Land Use Plan designates the subject property as being within the Urban Development Boundary for <b>Business and Office</b>. This category accommodates the full range of sales and service activities. Included are retail, wholesale, personal and professional services, call centers, commercial and professional offices, hotels, motels, hospitals, medical buildings, nursing homes (also allowed in the institutional category), entertainment and cultural facilities, amusements and commercial recreation establishments such as private commercial marinas.</i></p>
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### PERTINENT ZONING REQUIREMENTS/STANDARDS

<p><b>33-311(A)(4)(b)</b> <b>Non-Use</b> <b>Variations From</b> <b>Other Than</b> <b>Airport</b> <b>Regulations</b></p>	<p><i>Upon appeal or direct application in specific cases, the Board shall hear and grant applications for non-use variances from the terms of the zoning and subdivision regulations and may grant a non-use variance upon a showing by the applicant that the non-use variance maintains the basic intent and purpose of the zoning, subdivision and other land use regulations, which is to protect the general welfare of the public, particularly as it affects the stability and appearance of the community and provided that the non-use variance will be otherwise compatible with the surrounding land uses and would not be detrimental to the community. No showing of unnecessary hardship to the land is required.</i></p>
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**4. JUAN DE DIOS PROPERTY INC.**  
**(Applicant)**

11-12-CZ8-4 (10-192)  
Area 8/District 02  
Hearing Date: 12/01/11

Property Owner (if different from applicant) **JUAN DE DIOS CABRERA.**

Is there an option to purchase /lease  the property predicated on the approval of the zoning request? Yes  No

Disclosure of interest form attached? Yes  No

**Previous Zoning Hearings on the Property:**

<b><u>Year</u></b>	<b><u>Applicant</u></b>	<b><u>Request</u></b>	<b><u>Board</u></b>	<b><u>Decision</u></b>
No History				

Action taken today does not constitute a final development order, and one or more concurrency determinations will subsequently be required. Provisional determinations or listings of needed facilities made in association with this Initial Development Order shall not be binding with regard to future decisions to approve or deny an Intermediate or Final Development Order on any grounds.

**Date:** February 23, 2011  
**To:** Marc C. LaFerrier, AICP, Director  
Department of Planning and Zoning

**From:** Jose Gonzalez, P.E., Assistant Director  
Environmental Resources Management



**Subject:** C-08 #Z2010000192-1<sup>st</sup> Revision  
Juan de Dios Property, Inc.  
Northeast corner of N.W. 32<sup>nd</sup> Avenue and N.W. 32<sup>nd</sup> Street  
To Permit a Retail Building Setback Less than Required from Property  
Lines  
(BU-1A) (0.30 Acres)  
28-53-41

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The Department of Environmental Resources Management (DERM) has reviewed the subject application and has determined that it meets the minimum requirements of Chapter 24 of the Code of Miami-Dade County, Florida (the Code). Accordingly, DERM may approve the application, and the same may be scheduled for public hearing.

Potable Water Service and Wastewater Disposal

Public water and public sanitary sewers can be made available to the subject property. Therefore, connection of the proposed development to the public water supply system and sanitary sewer system shall be required in accordance with Code requirements.

Existing public water and sewer facilities and services meet the Level of Service (LOS) standards set forth in the Comprehensive Development Master Plan (CDMP). Furthermore, the proposed development order, if approved, will not result in a reduction in the LOS standards subject to compliance with the conditions required by DERM for this proposed development order.

Please note the downstream sanitary sewer pump station, Miami-Dade Water and Sewer pump station #30-086, which services this area, is currently operating under conditional moratorium and is not in compliance with the requirements set forth in the First Partial Consent Decree, Case No.93-1109 CIV-Moreno, between the Environmental Protection Agency and Miami Dade County. Consequently, increases in wastewater flow are not allowed to the public sanitary sewer system associated with this pump station.

Notwithstanding the foregoing, and in light of the fact that the County's sanitary sewer system has limited sewer collection, transmission, and treatment capacity, no new sewer service connections can be permitted, unless there is adequate capacity to handle the additional flows that this project would generate. Consequently, final development orders for this site may not be granted if adequate capacity in the system is not available at the point in time when the project will be contributing sewage to the system. Lack of adequate capacity in the system may require the approval of alternate means of sewage disposal. Use of an alternate means of sewage disposal may only be granted in accordance

with Code requirements, and shall be an interim measure, with connection to the public sanitary sewer system required upon availability of adequate collection/transmission and treatment capacity.

#### Stormwater Management

This application qualifies for No-Notice General Permit.

Stormwater shall be retained on site utilizing properly designed seepage or infiltration drainage system. Drainage plans shall provide for full on-site retention of the stormwater runoff generated by a 5-year / 1-day storm event.

Site grading and development plans shall comply with the requirements of Section 11C of the Code, as well as with all State and Federal Criteria, and shall not cause flooding of adjacent properties.

#### Wetlands

The subject property does not contain wetlands as defined by Section 24-5 of the Code; therefore, a DERM Class IV Wetland Permit will not be required.

The applicant is advised that permits from the Army Corps of Engineers (305-526-7181), the Florida Department of Environmental Protection (561-681-6600) and the South Florida Water Management District (1-800-432-2045) may be required for the proposed project. It is the applicant's responsibility to contact these agencies.

#### Tree Preservation

The subject property contains tree resources. Section 24-49 of the Code provides for the preservation and protection of tree resources. A Miami-Dade County Tree Removal Permit is required prior to the removal or relocation of any tree that is subject to the Tree Preservation and Protection provisions of the Code. Said permit shall meet the requirements of Sections 24-49.2 and 24-49.4 of the Code.

The applicant is required to comply with the above tree permitting requirements. DERM's approval of the subject application is contingent upon inclusion of said tree permitting requirements in the resolution approving this application.

The applicant is advised to contact DERM staff for additional information regarding permitting procedures and requirements prior to site development.

#### Enforcement History

DERM has found one (1) closed enforcement records for the subject properties.

Folio # 30-3128-011-3380

El Chaparral Cafeteria and Restaurant

DERM has file # GDO-2813. There is record of a closed enforcement case for failure to secure Grease Trap Discharge Operating Permit. A Uniform Civil Violation Notice (UCVN # 781711) was issued on September 18, 2001 and the case was subsequently closed with the issuance of the permit on November 16, 2001.

#### Concurrency Review Summary

DERM has conducted a concurrency review for this application and has determined that the same meets all applicable LOS standards for an initial development order, as specified in the adopted CDMP

for potable water supply, wastewater disposal, and flood protection. Therefore, the application has been approved for concurrency subject to the comments and conditions contained herein.

This concurrency approval does not constitute a final concurrency statement and is valid only for this initial development order, as provided for in the adopted methodology for concurrency review. Additionally, this approval does not constitute any assurance that the LOS standards would be met by any subsequent development order applications concerning the subject property.

This memorandum shall constitute DERM's written approval, as required by the Code.

If you have any questions concerning the comments, or wish to discuss this matter further, please contact Christine Velazquez at (305) 372-6764.

**PUBLIC WORKS DEPARTMENT COMMENTS**

Applicant's Names: JUAN DE DIOS PROPERTY INC.

This Department has no objections to this application.

Additional improvements may be required at time of permitting.

This project meets the traffic concurrency criteria because it lies within the urban infill area where traffic concurrency does not apply.



Raul A Pino, P.L.S.

09-SEP-11

# Memorandum



**Date:** 14-JAN-11  
**To:** Marc LaFerrier, Director  
Department of Planning and Zoning  
**From:** Herminio Lorenzo, Fire Chief  
Miami-Dade Fire Rescue Department  
**Subject:** Z2010000192

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## Fire Prevention Unit:

Fire Engineering & Water Supply has reviewed and approved the site plan dated stamp received 12/20/10. MDR has no objection to the application.

## Service Impact/Demand

Development for the above Z2010000192  
located at NORTHEAST CORNER OF NORTHWEST 32 AVENUE & NORTHWEST 32 STREET, MIAMI-DADE  
COUNTY, FLORIDA.  
in Police Grid 1075 is proposed as the following:

<u>residential</u>	dwelling units	<u>industrial</u>	square feet
	square feet	<u>institutional</u>	square feet
<u>Office</u>			
4600	square feet		square feet
<u>Retail</u>		<u>nursing home/hospitals</u>	

Based on this development information, estimated service impact is: 2 alarms-annually.  
The estimated average travel time is: 7:50 minutes

## Existing services

The Fire station responding to an alarm in the proposed development will be:  
Station No. 2 - 6460 NW 27 Avenue

## Planned Service Expansions:

The following stations/units are planned in the vicinity of this development:  
None

## Fire Planning Additional Comments

None

BUILDING AND NEIGHBORHOOD  
COMPLIANCE DEPARTMENT

ENFORCEMENT HISTORY OF VIOLATIONS OF CHAPTER 19 AND  
CHAPTER 33 OF THE MIAMI-DADE COUNTY CODE

JUAN DE DIOS PROPERTY INC.

NORTHEAST CORNER OF  
NORTHWEST 32 AVENUE &  
NORTHWEST 32 STREET, MIAMI-  
DADE COUNTY, FLORIDA.

---

APPLICANT

---

ADDRESS

Z2010000192

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HEARING NUMBER

**HISTORY:**

NC: Case #201113000077, was opened on May 6, 2011, for Parking and Storing Commercial vehicles for sale on a vacant lot without prior approval from a Public Hearing [Unauthorized Use]. A warning letter was issued on May 6, 2011. Compliance has been achieved. The case has been closed.

Case #201112000079, was opened on May 6, 2011, for storing tree cuttings and debris on the property [Junk/Trash violation]. A warning letter was issued on the same day. Compliance has been achieved. The case is closed.

BLDG: No Building Support cases found.

JUAN DE DIOS PROPERTY INC.

**OUTSTANDING FINES, PENALTIES, COST OR LIENS  
INCURRED PURSUANT TO CHAPTER 8CC:**

**REPORTER NAME:**

**Inspector:** EDWARDS, RALPH

**Inspection Date**

**Evaluator:** JACQUELINE CARRANZA

10/14/11

**Process #:**        **Applicant's Name**  
Z2010000192      JUAN DE DIOS PROPERTY INC.

**Locations:**        NORTHEAST CORNER OF NORTHWEST 32 AVENUE & NORTHWEST 32 STREET,  
                                 MIAMI-DADE COUNTY, FLORIDA.

**Size:**                12,859 SQ. FT

**Folio #:** 3031280113380

**Request:**

- 1 Applicant is requesting to permit a retail building setback 7.50' (15' required) from the interior side (east) property line.
- 2 Applicant is requesting to permit a greenbelt varying from 3' to 7' wide (7' required) along the rights-of-way.

**EXISTING ZONING**

**Subject Property** BU-1A,

**EXISTING USE**

**SITE CHARACTERISTICS**

**STRUCTURES ON SITE:**

THE SUBJECT SITE IS A VACANT LOT.

**USE(S) OF PROPERTY:**

THE SUBJECT SITE IS VACANT

**FENCES/WALLS:**

THE SUBJECT SITE HAS AN 8 FT HIGH ON THE WEST & EASTSIDE OF THE PROPERTY. ON THE NORTH SIDE OF THE PROPERTY IT HAS A 4 FT CHAIN LINK FENCES, AND ON THE EASTSIDE OF THE PROPERTY IT HAS A 6 FT IRON FENCES THAT ABUTS THE RESIDENTIAL PROPERTY.

**LANDSCAPING:**

THE SUBJECT PROPERTY HAS 4 PLAM TREES ON THE PROPERTY.

**BUFFERING:**

THE PROPERTY HAS ONLY THE FENCE FOR BUFFERING.

**VIOLATIONS OBSERVED:**

NONE

**OTHER:**

NONE

**Process #**    **Applicant's Name**  
Z2010000192    JUAN DE DIOS PROPERTY INC.

**SURROUNDING PROPERTY**

**NORTH:**

BU-1A ONE STORY SINGLE FAMILY RESIDENCE.

**SOUTH:**

BU-1A ONE STORY SINGLE FAMILY RESIDENCE.

**EAST:**

RU-2 TWO STORY DUPLEX RESIDENCES.

**WEST:**

IU-1 METRO DADE BUS GARAGES.

**SURROUNDING AREA**

TO THE WEST ON 32 AVE IS THE METRO-DADE BUS GARAGE. THE REST OF THE SURROUNDING AREA IS MOSTLY RESIDENTIAL WITH SOME COMMERCIAL.

**NEIGHBORHOOD CHARACTERISTICS:**

MOSTLY RESIDENTIAL WITH SOME COMMERCIAL ON 32 AVE.

**COMMENTS:**

DISCLOSURE OF INTEREST\*

If a CORPORATION owns or leases the subject property, list principal stockholders and percent of stock owned by each. [Note: Where principal officers or stockholders consist of other corporation(s), trust(s), partnership(s) or other similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest]

CORPORATION NAME Juan De Dios Property Inc.

<u>NAME AND ADDRESS</u>	<u>Percentage of Stock</u>
<u>Juan De Dios (individual)</u>	<u>100%</u>
<u>1120 Red Bird Ave.</u>	
<u>Miami Springs FL 33166</u>	

If a TRUST or ESTATE owns or leases the subject property, list the trust beneficiaries and the percent of interest held by each. [Note: Where beneficiaries are other than natural persons, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

TRUST/ESTATE NAME \_\_\_\_\_

<u>NAME AND ADDRESS</u>	<u>Percentage of Interest</u>
<u>210-192</u>	
_____	_____
_____	_____
_____	_____

If a PARTNERSHIP owns or leases the subject property, list the principals including general and limited partners [Note: Where the partner(s) consist of another partnership(s), corporation(s), trust(s) or other similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

PARTNERSHIP OR LIMITED PARTNERSHIP NAME \_\_\_\_\_

<u>NAME AND ADDRESS</u>	<u>Percentage of Ownership</u>
_____	_____
_____	_____
_____	_____
_____	_____

If there is a CONTRACT FOR PURCHASE, by a Corporation, Trust or Partnership list purchasers below, including principal officers, stockholders, beneficiaries or partners. [Note: Where principal officers, stockholders, beneficiaries or partners consist of other corporations, trusts, partnerships or other similar

If there is a **CONTRACT FOR PURCHASE** by a Corporation, Trust or Partnership, list purchasers below, including principal officers, stockholders, beneficiaries or partners. [Note: Where principal officers, stockholders, beneficiaries or partners consist of other corporations, trusts, partnerships or similar entities, further disclosure shall be made to identify natural persons having ultimate ownership interests].

NAME OF PURCHASER: Tom De Niro Property Trust

NAME, ADDRESS AND OFFICE (if applicable)	Percentage of Interest
<u>Tom De Niro Property Trust</u>	<u>100%</u>
<u>1234 Red Bird Ave</u>	
<u>Miami Springs, FL 33166</u>	

Date of contract: \_\_\_\_\_

If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership or trust:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

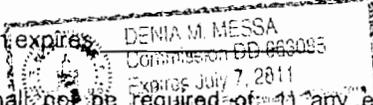
**NOTICE:** For changes of ownership or changes in purchase contracts after the date of the application, but prior to the date of final public hearing, a supplemental disclosure of interest is required.

The above is a full disclosure of all parties of interest in this application to the best of my knowledge and belief.

Signature: [Signature]  
(Applicant)

Sworn to and subscribed before me this 2 day of Dec, 2010. Affiant is personally known to me or has produced Tom De Niro Property Trust as identification.

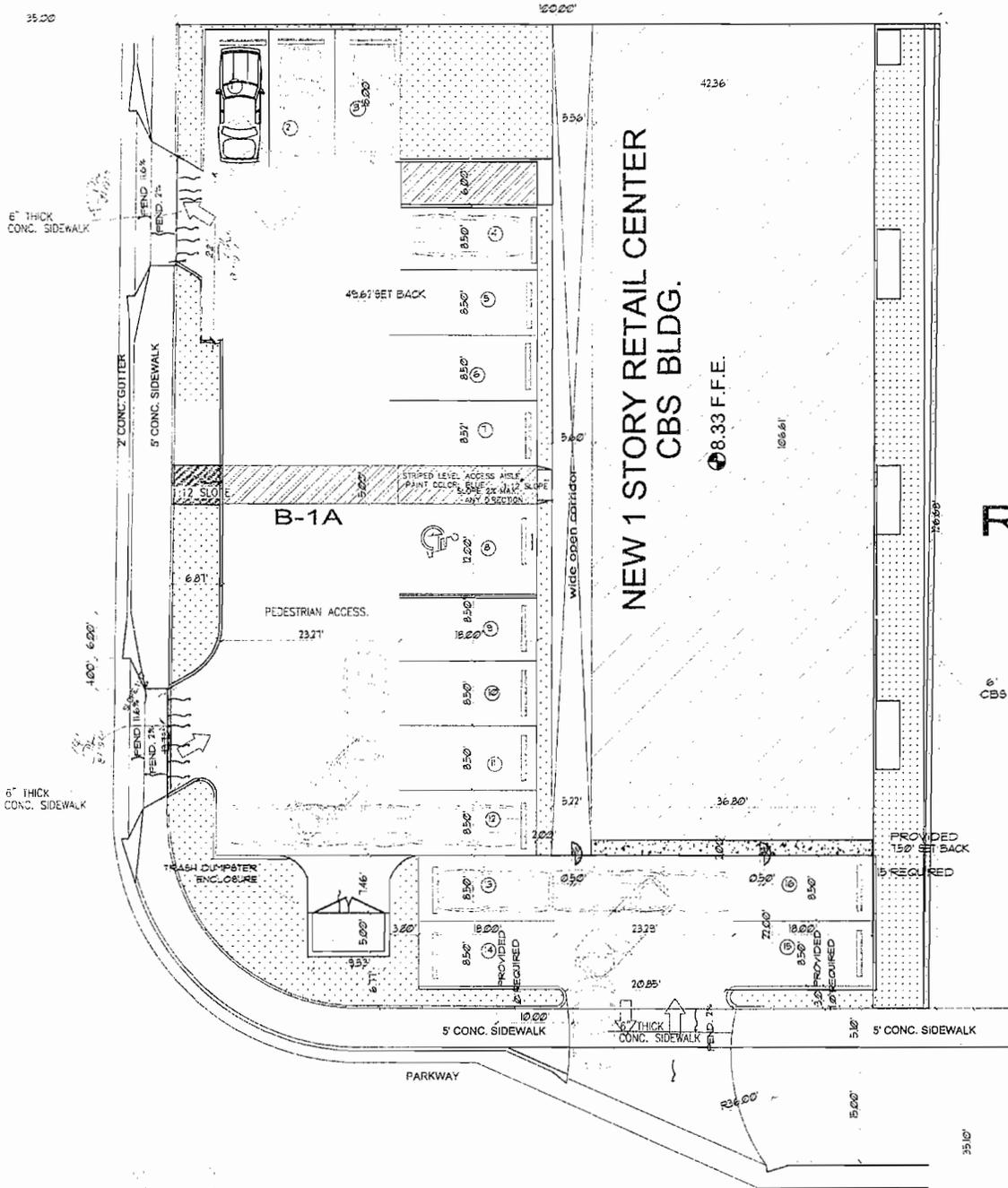
[Signature]  
(Notary Public)

My commission expires: 

\*Disclosure shall not be required of: 1) any entity, the equity interests in which are regularly traded on an established securities market in the United States or another country; or 2) pension funds or pension trusts of more than five thousand (5,000) ownership interests; or 3) any entity where ownership interests are held in a partnership, corporation or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership and where no one (1) person or entity holds more than a total of five per cent (5%) of the ownership interest in the partnership, corporation or trust. Entities whose ownership interests are held in a partnership, corporation, or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership, shall only be required to disclose those ownership interest which exceed five (5) percent of the ownership interest in the partnership, corporation or trust.

# B-1A

N.W. 32th AVENUE (FIELD) (70' TOTAL R/W)



N.W. 32th STREET (FIELD) (70' TOTAL R/W)

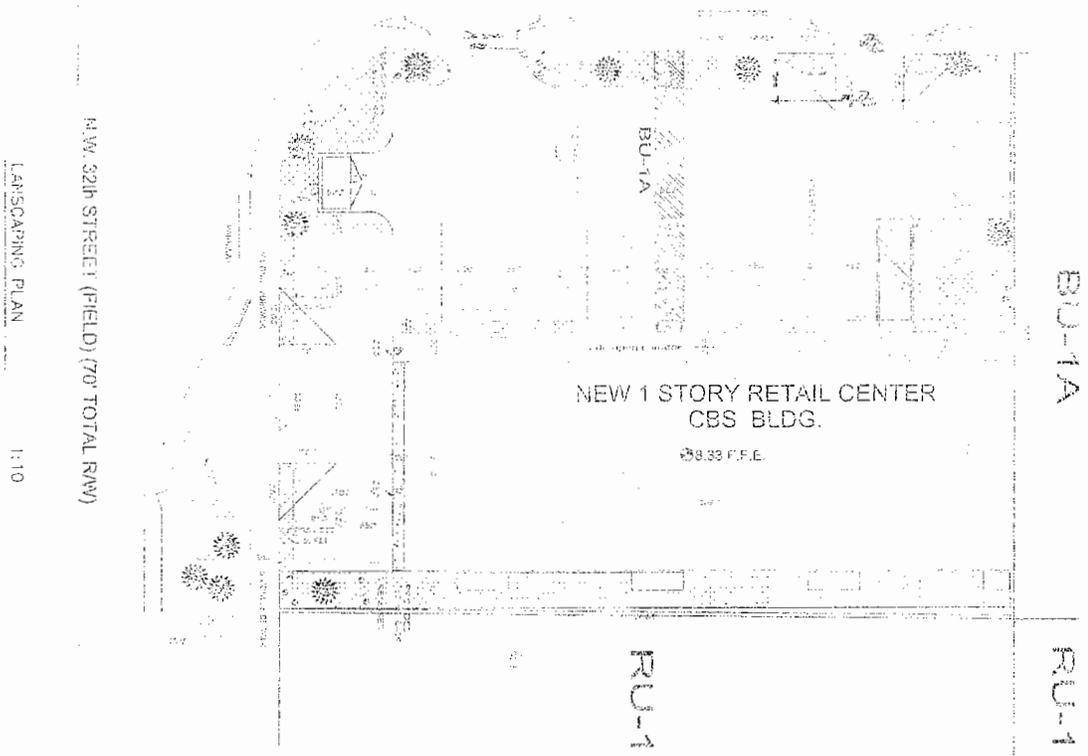
**RECEIVED**  
210-192  
AUG 17 2011

ZONING HEARINGS SECTION  
MIAMI-DADE PLANNING AND ZONING DEPT.  
BY AB

ENLARGED SITE PLAN



N.W. 32th AVENUE (FIELD) (70' TOTAL R.W.)



LANDSCAPING PLAN 1:10

**RECEIVED**  
 210-192  
 AUG 17 2011

ZONING HEARINGS SECTION  
 MIAMI-DADE PLANNING AND ZONING DEPT.  
 BY AT

**LANDSCAPING LEGEND**

**OPEN SPACE**  
 1. OPEN SPACE SHALL BE MAINTAINED AT ALL TIMES.  
 2. OPEN SPACE SHALL BE MAINTAINED AT ALL TIMES.  
 3. OPEN SPACE SHALL BE MAINTAINED AT ALL TIMES.

**LANDSCAPING**  
 1. LANDSCAPING SHALL BE MAINTAINED AT ALL TIMES.  
 2. LANDSCAPING SHALL BE MAINTAINED AT ALL TIMES.  
 3. LANDSCAPING SHALL BE MAINTAINED AT ALL TIMES.

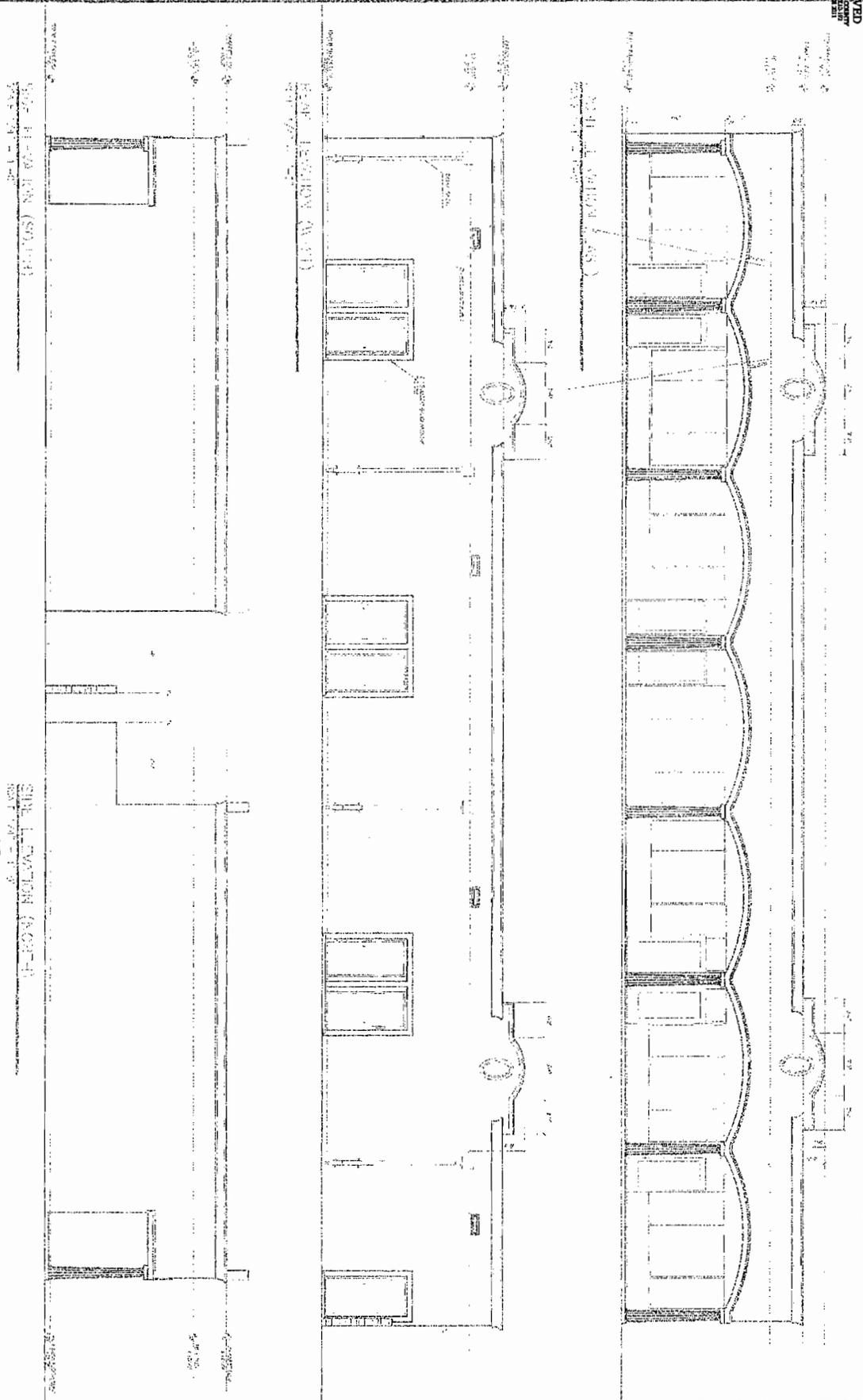
**SHRUBS**  
 1. SHRUBS SHALL BE MAINTAINED AT ALL TIMES.  
 2. SHRUBS SHALL BE MAINTAINED AT ALL TIMES.  
 3. SHRUBS SHALL BE MAINTAINED AT ALL TIMES.

**TREES**  
 1. TREES SHALL BE MAINTAINED AT ALL TIMES.  
 2. TREES SHALL BE MAINTAINED AT ALL TIMES.  
 3. TREES SHALL BE MAINTAINED AT ALL TIMES.

NO.	DESCRIPTION	QUANTITY	UNIT
1	...	...	...
2	...	...	...
3	...	...	...
4	...	...	...
5	...	...	...
6	...	...	...
7	...	...	...
8	...	...	...
9	...	...	...
10	...	...	...



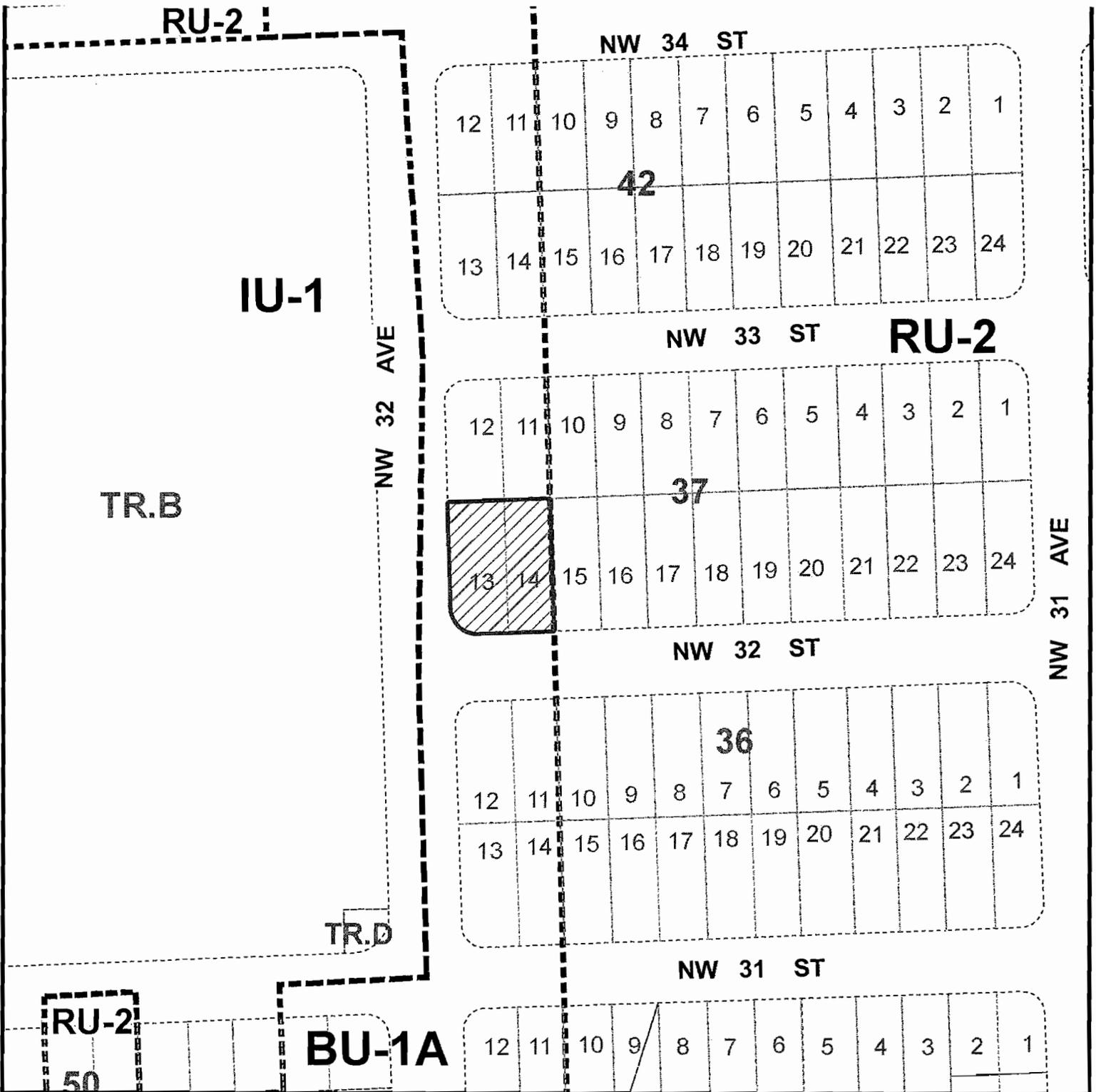
RECEIVED  
MAY 10 2011  
PLANNING & ZONING DEPT.



**RECEIVED**  
20-192  
FEB 08 2011

ZONING HEARINGS SECTION  
MIAMI-DADE PLANNING AND ZONING DEPT.  
BY AT

<p>RECEIVED MAY 10 2011 PLANNING &amp; ZONING DEPT.</p>	<p>PROPOSED COMMERCIAL BUILDING</p> <p>31-00 W 59 AVE, MIAMI, FL OWNER: JUAN M. DIAZ</p>	<p>420 NW 43 PLACE MIAMI, FL 33132 TEL: (305) 444-9943 FAX: (305) 444-9935</p>
	<p>ELEVATIONS</p> <p>THIS DRAWING IS A PART OF THE RECORDS OF THE PLANNING AND ZONING DEPARTMENT OF MIAMI-DADE COUNTY, FL. NO PART OF THIS DRAWING SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING FROM THE PLANNING AND ZONING DEPARTMENT.</p>	<p>DATE: 02/08/11 DRAWN BY: [Signature] CHECKED BY: [Signature] SCALE: 1/8" = 1'-0"</p>



**MIAMI-DADE COUNTY**  
**HEARING MAP**

Process Number  
**Z2010000192**



Section: 28 Township: 53 Range: 41  
 Applicant: JUAN DE DIOS PROPERTY INC.  
 Zoning Board: C8  
 Commission District: 2  
 Drafter ID: JEFFER GURDIAN  
 Scale: NTS

**Legend**

 Subject Property Case



REVISION	DATE	BY
	22	



**MIAMI-DADE COUNTY**  
**AERIAL YEAR 2009**

Process Number

**Z2010000192**



Section: 28 Township: 53 Range: 41  
 Applicant: JUAN DE DIOS PROPERTY INC.  
 Zoning Board: C8  
 Commission District: 2  
 Drafter ID: JEFFER GURDIAN  
 Scale: NTS

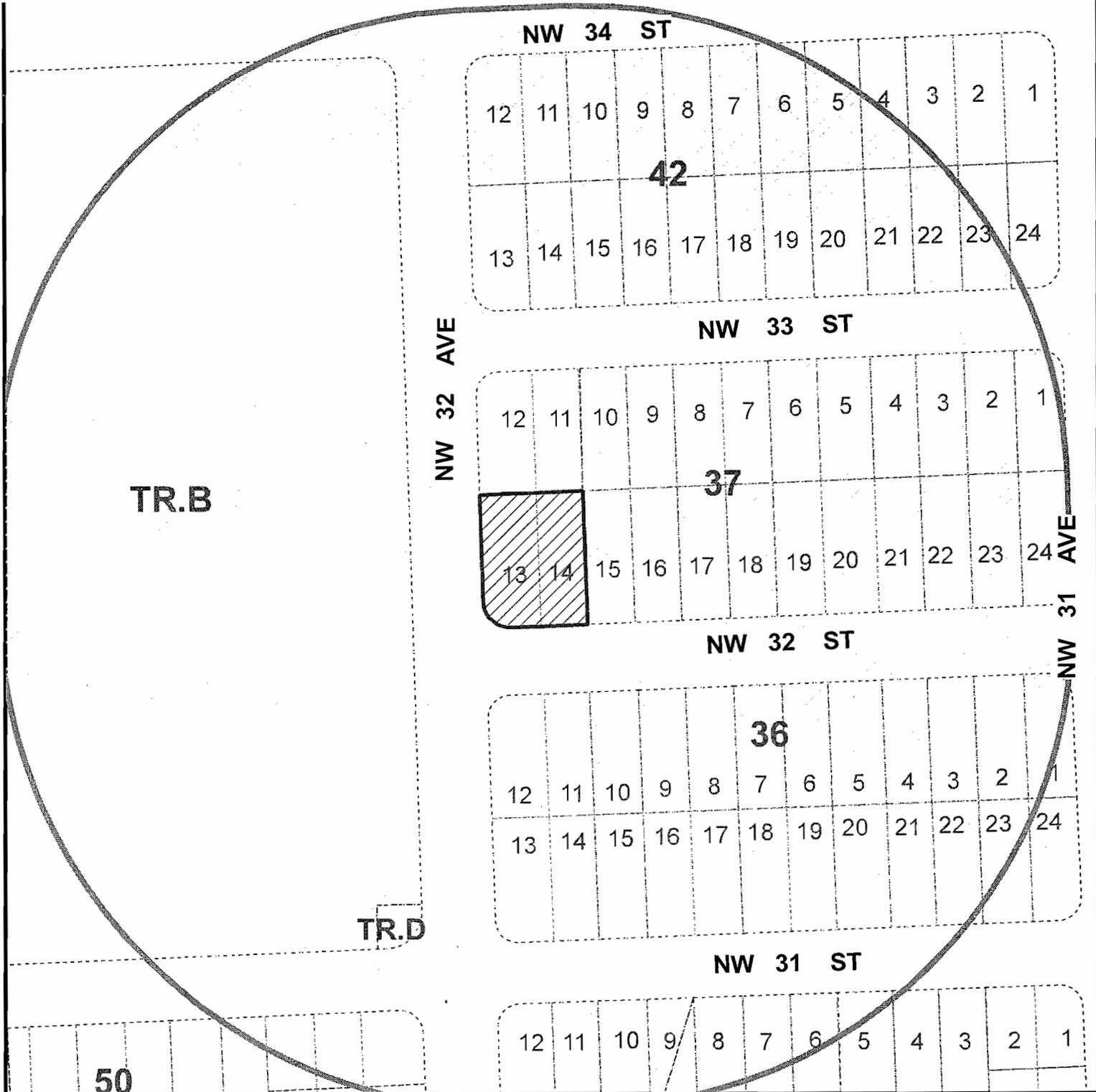
Legend

 Subject Property



SKETCH CREATED ON: Thursday, December 30, 2010

REVISION	DATE	BY
	23	



**MIAMI-DADE COUNTY**  
**RADIUS MAP**

Section: 28 Township: 53 Range: 41  
 Applicant: JUAN DE DIOS PROPERTY INC.  
 Zoning Board: C8  
 Commission District: 2  
 Drafter ID: JEFFER GURDIAN  
 Scale: NTS

Process Number  
**Z2010000192**  
 RADIUS: 500

**Legend**

-  Subject Property
-  Buffer



REVISION	DATE	BY

**Miami-Dade County Department of Permitting, Environment and Regulatory Affairs  
Staff Report to Community Council No. 8**

PH: Z11-004 (11-12-CZ8-5)

December 1, 2011

Item No. 5

<b>Recommendation Summary</b>	
<b>Commission District</b>	2
<b>Applicant</b>	Habitat for Humanity
<b>Summary of Requests</b>	The applicant is seeking to allow a single-family residence to setback closer to the rear and interior property lines with less lot frontage and area and greater lot coverage than permitted.
<b>Location</b>	Lying south of NW 69 Street, approximately 80' west of NW 31 Avenue, Miami-Dade County, Florida.
<b>Property Size</b>	40' x 85'
<b>Existing Zoning</b>	RU-1
<b>Existing Land Use</b>	Vacant
<b>2015-2025 CDMP Land Use Designation</b>	Low Density Residential, 2.5 to 6 dua (see attached Zoning Recommendation Addendum)
<b>Comprehensive Plan Consistency</b>	Consistent with interpretative text, goals, objectives and policies of the CDMP
<b>Applicable Zoning Code Section(s)</b>	Section 33-311(A)(4)(b), Non-Use Variance standards (see attached Zoning Recommendation Addendum)
<b>Recommendation</b>	<b>Approval with conditions</b>

**REQUESTS:**

- (1) Applicant is requesting to permit a parcel of land with a lot frontage of 40' (75' required) and a lot area of 3,400 sq. ft. (7,500 sq. ft. required).
- (2) Applicant is requesting to permit a single-family residence setback 10' 2" (25' required) from the rear (north) property line.
- (3) Applicant is requesting to permit a single-family residence with a lot coverage of 38% (35% permitted).

Plans are on file and may be examined in the Department of Permitting, Environment and Regulatory affairs entitled "Habitat for Humanity," as prepared by Thomas & Calzadilla, dated stamped received 1/19/2011, consisting of 2 sheets. Plans may be modified at public hearing.

**PROJECT DESCRIPTION:** A proposed 1,292 sq. ft. single-family residence.

<b><u>NEIGHBORHOOD CHARACTERISTICS</u></b>		
	<b>Zoning and Existing Use</b>	<b>Land Use Designation</b>
<b>Subject Property</b>	RU-1; vacant land	Low Density Residential (2.5 to 6 dua)
<b>North</b>	RU-1; vacant land	Low Density Residential (2.5 to 6 dua)
<b>South</b>	RU-1; single-family residence	Low Density Residential (2.5 to 6 dua)

<b>East</b>	RU-1; single-family residence	Low Density Residential (2.5 to 6 dua)
<b>West</b>	RU-1; vacant land	Low Density Residential (2.5 to 6 dua)

**NEIGHBORHOOD COMPATIBILITY:**

The subject property is an interior lot in an area comprised of single-family residences and vacant lots.

**SUMMARY OF THE IMPACTS:**

The approval of this application could have a positive impact on the surrounding neighborhood with the development affordable housing on a substandard vacant lot. However, the requested variances are due to the size constraints of the property and could have a negative visual impact on the surrounding area.

**COMPREHENSIVE DEVELOPMENT MASTER PLAN ANALYSIS:**

The subject property is designated as **Low Density Residential** on the Adopted 2015-2025 Land Use Plan (LUP) map. *The residential densities allowed in this category shall range from a minimum of 2.5 to a maximum of 6.0 dwelling units per gross acre. Residential densities of blocks abutting activity nodes as defined in the Guidelines for Urban Form, or of blocks abutting section line roads between nodes, shall be allowed a maximum residential density of 10.0 dwelling units per gross acre. This density category is generally characterized by single family housing, e.g., single family detached, cluster, and townhouses. It could include low-rise apartments with extensive surrounding open space or a mixture of housing types provided that the maximum gross density is not exceeded.* The approval of this application will allow the construction of a proposed single-family residence on a substandard sized lot with a reduced rear setback and lot frontage, and with a greater lot coverage than that permitted by the Zoning Code.

The proposed single-family residence furthers the CDMP Land Use Element **Policy LU-1C** which indicates that *Miami-Dade County shall give priority to infill redevelopment of substandard or underdeveloped environmentally suitable urban areas contiguous to existing urban development where all necessary urban services and facilities are projected to have capacity to accommodate additional demand.* The subject parcel is located within the Model City/Brownsville Targeted Urban Area, and as such furthers the **CDMP** Land Use Element, **Objective 12** of, which indicates that the County *shall take specific measures to promote infill development that are located in the Urban Infill Area (UIA) as defined in Policy TC-1B or in a built-up area with urban services that is situated in a Community Development Block Grant (CDBG)-eligible area, a Targeted Urban Area identified in the Urban Economic Revitalization Plan for Targeted Urban Areas, an Enterprise Zone established pursuant to state law or in the designated Empowerment Zone established pursuant to federal law.* Staff opines that the proposed single-family residence is **consistent** with interpretative text, objectives and policies of the CDMP.

**ZONING ANALYSIS:**

When requests #1 through #3 are analyzed under the Non-Use Variances From Other Than Airport Regulations, Section 33-311(A)(4)(b), staff is of the opinion that the approval of the requests to permit a single-family residence with less setback than required from the rear property line as well as a reduced lot frontage and lot area would be **compatible** with the surrounding area. Further, in staff's opinion, approval of the application would not be detrimental to the neighborhood and would not affect the appearance of the community. Staff notes that the abutting single-family residence to the west, located at 3102 NW 69 Street, was constructed in 1951 on a 3,400 sq. ft. lot with a 40' lot frontage. To the south of the subject property, at 3111 NW 68 Terrace, an existing single-family residence was constructed on a similar size lot in 1946. Staff also notes that pursuant to Resolution #ZB-520-61, the existing single family residence was constructed on a lot with a lot frontage of 40' and a lot area of 3,629.60 sq. ft. Staff also found a similar approval for reduced setbacks in the surrounding area. In 1998, pursuant to Administrative Variance #V1998000187, approval was granted to permit an addition to an existing single-family residence located at 3060 NW 69 Terrace, to setback 12.5' (25' required) from the rear property line. Staff opines the approval of the requests will allow development on a vacant lot within the Model City/Brownsville Targeted Urban Area as identified in the Urban Economic Revitalization Plan for Targeted Urban Areas.

Further, when request #3 is similarly analyzed under the Non-Use Variances standards, staff is of the opinion that approval of this request would be **compatible** with the surrounding area, would not be detrimental to the neighborhood and would not affect the appearance of the community. Staff opines that request #3 to permit a single-family residence with a lot coverage of 38% (35% permitted), is germane to requests #1 and #2. Although staff found no similar approvals for lot coverage greater than permitted, staff opines that the 3% increase in lot coverage is minimal and will not have a negative effect on the character of the neighborhood. **Therefore, staff recommends approval of requests #1 through #3 under Section 33-311(A)(4)(b), Non-Use Variances From Other Than Airport Regulations.**

Based on the aforementioned, staff opines that the proposed single-family residence would be **consistent** with the Low-Density designation of the LUP map of the CDMP, and would be **compatible** with the surrounding predominant residential developments. **As such staff, recommends approval of requests #1 through #3 with conditions under Section 33-311(A)(4)(b), the Non-Use Variances From Other Than Airport Regulations.**

**ACCESS, CIRCULATION AND PARKING:** Not applicable.

**NEIGHBORHOOD SERVICES PROVIDER REVIEW:** See attached.

**OTHER:** Not applicable.

**RECOMMENDATION:**

**Approval with conditions.**

**CONDITIONS FOR APPROVAL:**

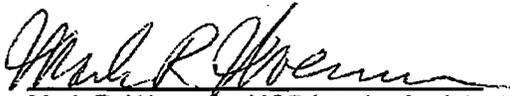
1. That a site plan be submitted to and meet with the approval of the Director of the Department of Permitting, Environment and Regulatory Affairs upon the submittal of an application for a building permit and/or Certificate of Use; said plan must include among other things but not be limited to, location of structure or structures, exits and entrances, drainage, walls, fences, landscaping, and other requirements.
2. That in the approval of the plan, the same be substantially in accordance with that submitted for the hearing entitled "Habitat for Humanity," as prepared by Thomas & Calzadilla, dated stamped received 1/19/2011, consisting of 3 sheets.
3. That the use be established and maintained in accordance with the approved plan.

CD:ES:GR:NN:JC:CH



Charles Danger, P.E. Interim Director  
Miami-Dade County Department of  
Permitting, Environment and Regulatory Affairs

NDN  
sum  
EG



Mark R. Woerner, AICP Interim Assistant Director of Planning  
Miami-Dade County Department of  
Sustainability, Planning and Economic Enhancement

NDN  
EG

ZONING RECOMMENDATION ADDENDUM  
HISTORY  
MOTION SLIPS\*  
DEPARTMENT MEMORANDA  
DISCLOSURE OF INTEREST\*  
HEARING PLANS\*  
MAPS

\*If applicable

11/09/2011

# ZONING RECOMMENDATION ADDENDUM

*Habitat for Humanity  
Z11-004*

<b>NEIGHBORHOOD SERVICES PROVIDER COMMENTS</b>	
DERM	No objection
Public Works	No objection
Parks	No objection
MDT	No objection
Fire Rescue	No objection
Police	No objection
Schools	No objection
*Subject to conditions in their memorandum.	

## **COMPREHENSIVE DEVELOPMENT MASTER PLAN (CDMP) OBJECTIVES, POLICIES AND INTERPRETATIVE TEXT**

<b>Low Density (Pg. I-31)</b>	<i>The residential densities allowed in this category shall range from a minimum of 2.5 to a maximum of 6.0 units per gross acre. This density category is generally characterized by single family housing, e.g., single-family detached, cluster, zero lot line and townhouses. It could include low-rise apartments with extensive surrounding open space or a mixture of housing types provided that the maximum gross density is not exceeded.</i>
<b>Policy LU-1C</b>	<i>Miami-Dade County shall give priority to infill development on vacant sites in currently urbanized areas, and redevelopment of substandard or underdeveloped environmentally suitable urban areas contiguous to existing urban development where all necessary urban services and facilities are projected to have capacity to accommodate additional demand.</i>
<b>Objective LU-12</b>	<i>Miami-Dade County shall take specific measures to promote infill development that are located in the Urban Infill Area (UIA) as defined in Policy TC-1B or in a built-up area with urban services that is situated in a Community Development Block Grant (CDBG)-eligible area, a Targeted Urban Area identified in the Urban Economic Revitalization Plan for Targeted Urban Areas, an Enterprise Zone established pursuant to state law or in the designated Empowerment Zone established pursuant to federal law.</i>

## **PERTINENT ZONING REQUIREMENTS/STANDARDS**

<b>Section 33-311(A)(4)(b) Non-Use Variances From Other Than Airport Regulations.</b>	<i>Upon appeal or direct application in specific cases, the Board shall hear and grant applications for non-use variances from the terms of the zoning and subdivision regulations and may grant a non-use variance upon a showing by the applicant that the non-use variance maintains the basic intent and purpose of the zoning, subdivision and other land use regulations, which is to protect the general welfare of the public, particularly as it affects the stability and appearance of the community and provided that the non-use variance will be otherwise compatible with the surrounding land uses and would not be detrimental to the community. No showing of unnecessary hardship to the land is required</i>
---	--

**5. HABITAT FOR HUMANITY OF  
GREATER MIAMI INC.  
(Applicant)**

11-12-CZ8-5 (11-004)  
Area 8/District 02  
Hearing Date: 12/01/11

Property Owner (if different from applicant) Same.

Is there an option to purchase /lease  the property predicated on the approval of the zoning request? Yes  No

Disclosure of interest form attached? Yes  No

**Previous Zoning Hearings on the Property:**

<u>Year</u>	<u>Applicant</u>	<u>Request</u>	<u>Board</u>	<u>Decision</u>
No History				

Action taken today does not constitute a final development order, and one or more concurrency determinations will subsequently be required. Provisional determinations or listings of needed facilities made in association with this Initial Development Order shall not be binding with regard to future decisions to approve or deny an Intermediate or Final Development Order on any grounds.

# Memorandum



**Date:** February 2, 2011

**To:** Marc C. LaFerrier, AICP, Director  
Department of Planning and Zoning

**From:** Jose Gonzalez, P.E., Assistant Director  
Environmental Resources Management

A handwritten signature in black ink, appearing to read "Jose Gonzalez". The signature is fluid and cursive, written over the printed name in the "From:" field.

**Subject:** C-08 #Z2011000004  
Habitat for Humanity of Greater Miami, Inc.  
3114 N.W. 69<sup>th</sup> Street  
To Permit a Parcel of Land with Less Lot Frontage and Area than  
Required and to Permit a Single-Family Residence Setback Less than  
Required from Property Lines  
(RU-1) (0.078 Acres)  
16-53-41

---

The Department of Environmental Resources Management (DERM) has reviewed the subject application and has determined that it meets the minimum requirements of Chapter 24 of the Code of Miami-Dade County, Florida (the Code). Accordingly, DERM may approve the application, and the same may be scheduled for public hearing.

#### Potable Water Service and Wastewater Disposal

Public water and public sanitary sewers can be made available to the subject property. Therefore, connection of the proposed development to the public water supply system and sanitary sewer system shall be required in accordance with Code requirements.

Existing public water and sewer facilities and services meet the Level of Service (LOS) standards set forth in the Comprehensive Development Master Plan (CDMP). Furthermore, the proposed development order, if approved, will not result in a reduction in the LOS standards subject to compliance with the conditions required by DERM for this proposed development order.

Notwithstanding the foregoing, and in light of the fact that the County's sanitary sewer system has limited sewer collection, transmission, and treatment capacity, no new sewer service connections can be permitted, unless there is adequate capacity to handle the additional flows that this project would generate. Consequently, final development orders for this site may not be granted if adequate capacity in the system is not available at the point in time when the project will be contributing sewage to the system. Lack of adequate capacity in the system may require the approval of alternate means of sewage disposal. Use of an alternate means of sewage disposal may only be granted in accordance with Code requirements, and shall be an interim measure, with connection to the public sanitary sewer system required upon availability of adequate collection/transmission and treatment capacity.

#### Stormwater Management

Site grading and development plans shall comply with the requirements of Chapter 11C of the Code, as well as with all State and Federal Criteria, and shall not cause flooding of adjacent properties.

The proposed development order, if approved, will not result in the reduction of the LOS standards for flood protection set forth in the CDMP.

#### Wetlands

The subject property does not contain wetlands as defined by Section 24-5 of the Code; therefore, a DERM Class IV Wetland Permit will not be required.

The applicant is advised that permits from the Army Corps of Engineers (305-526-7181), the Florida Department of Environmental Protection (561-681-6600) and the South Florida Water Management District (1-800-432-2045) may be required for the proposed project. It is the applicant's responsibility to contact these agencies.

#### Tree Preservation

According to the site plan submitted with this application the subject property contains a prohibited tree as defined in Section 24-49.9 of the Code. Pursuant to Section 24-49.9 of the Code, all prohibited trees are exempt from permitting and must be removed from the site prior to development. Notwithstanding the foregoing, the applicant is advised that Section 24-49 of the Code requires the preservation of tree resources. A Miami-Dade County Tree Removal Permit is required prior to the removal or relocation of any other tree on the subject property that is not a prohibited species. The applicant is advised to contact DERM staff for permitting procedures and requirements prior to development of site and landscaping plans.

#### Enforcement History

DERM has found no open or closed enforcement records for the subject property.

#### Concurrency Review Summary

DERM has conducted a concurrency review for this application and has determined that the same meets all applicable LOS standards for an initial development order, as specified in the adopted CDMP for potable water supply, wastewater disposal, and flood protection. Therefore, the application has been approved for concurrency subject to the comments and conditions contained herein.

This concurrency approval does not constitute a final concurrency statement and is valid only for this initial development order, as provided for in the adopted methodology for concurrency review. Additionally, this approval does not constitute any assurance that the LOS standards would be met by any subsequent development order applications concerning the subject property.

This memorandum shall constitute DERM's written approval, as required by the Code.

If you have any questions concerning the comments, or wish to discuss this matter further, please contact Christine Velazquez at (305) 372-6764.

8

**PUBLIC WORKS DEPARTMENT COMMENTS**

Applicant's Names: HABITAT FOR HUMANITY OF GREATER MIAMI INC.

This Department has no objections to this application.

This land may require platting in accordance with Chapter 28 of the Miami-Dade County Code. Any road dedications and improvements required will be accomplished thru the recording of a plat.

This application does not generate any new additional daily peak hour trips, therefore no vehicle trips have been assigned. This meets the traffic concurrency criteria set for an Initial Development Order.



Raul A Pino, P.L.S.

22-FEB-11

# Memorandum



**Date:** 08-FEB-11  
**To:** Marc LaFerrier, Director  
 Department of Planning and Zoning  
**From:** Herminio Lorenzo, Fire Chief  
 Miami-Dade Fire Rescue Department  
**Subject:** Z2011000004

## Fire Prevention Unit:

No objection.

## Service Impact/Demand:

Development for the above Z2011000004  
 located at LYING SOUTH OF NW 69 STREET, APPROX. 80' WEST OF NW 31 AVENUE. MIAMI-DADE COUNTY, FLORIDA.  
 in Police Grid 0861 is proposed as the following:

1	dwelling units	N/A	square feet
<u>residential</u>		<u>industrial</u>	square feet
N/A	square feet	N/A	square feet
<u>Office</u>		<u>institutional</u>	
N/A	square feet	N/A	square feet
<u>Retail</u>		<u>nursing home/hospitals</u>	

Based on this development information, estimated service impact is: 0.27 alarms-annually.  
 The estimated average travel time is: 3:27 minutes

## Existing services

The Fire station responding to an alarm in the proposed development will be:

Station 2 - Model Cities - 6460 NW 27 Avenue  
 Rescue, BLS 65' Aerial, Battalion 5

## Planned Service Expansions:

The following stations/units are planned in the vicinity of this development:

None.

## Fire Planning Additional Comments

Current service impact calculated based on site plan date stamped January 19, 2011.

BUILDING AND NEIGHBORHOOD  
COMPLIANCE DEPARTMENT

ENFORCEMENT HISTORY OF VIOLATIONS OF CHAPTER 19 AND  
CHAPTER 33 OF THE MIAMI-DADE COUNTY CODE

HABITAT FOR HUMANITY OF  
GREATER MIAMI INC.

LYING SOUTH OF NW 69 STREET,  
APPROX. 80' WEST OF NW 31  
AVENUE. MIAMI-DADE COUNTY,  
FLORIDA.

---

**APPLICANT**

---

**ADDRESS**

Z2011000004

---

**HEARING NUMBER**

**HISTORY:**

ENFORCEMENT HISTORY; NC: No open cases. BNC: No open cases.

**OUTSTANDING FINES, PENALTIES, COST OR LIENS  
INCURRED PURSUANT TO CHAPTER 8CC:**

None

**REPORTER NAME:**

NCS Chris Albury

**Inspector:** EDWARDS, RALPH

**Inspection Date**

**Evaluator:** CARL HARRISON

10/14/11

**Process #:** Z2011000004  
**Applicant's Name:** HABITAT FOR HUMANITY OF GREATER MIAMI INC.

**Locations:** LYING SOUTH OF NW 69 STREET, APPROX. 80' WEST OF NW 31 AVENUE. MIAMI-DADE COUNTY, FLORIDA.

**Size:** 40 X 85

**Folio #:** 3031160000500

**Request:**

- 1 Applicant is requesting to permit a parcel of land with a lot frontage of 40' (75' required) and a lot area of 3,400 (7,500 required)
- 2 Applicant is requesting to permit a single family residence setback 10'2" (25' required) from the rear (south) property line.
- 3 Applicant is requesting to permit a lot coverage of 38% (35% maximum permitted).

**EXISTING ZONING**

**Subject Property** RU-1,

**EXISTING USE**

**SITE CHARACTERISTICS**

**STRUCTURES ON SITE:**

THE SUBJECT SITE IS A VACANT LOT

**USE(S) OF PROPERTY:**

VACANT LOT

**FENCES/WALLS:**

THE SUBJECT PROPERTY HAS A CHAIN LINK FENCE 4 FT HIGH ON THE EASTSIDE OF THE PROPERTY.

**LANDSCAPING:**

THE SUBJECT PROPERTY IS A VACANT LOT WITH NO LANDSCAPE.

**BUFFERING:**

THE PROPERTY HAS A CHIN LINK FENCE ON THE EASTSIDE & A HEDGE ON THE SOUTHSIDE WHICH BELONGS TO THE RESIDENTIAL HOUSE;

**VIOLATIONS OBSERVED:**

NONE

**OTHER:**

NONE

**Process # Applicant's Name**

**SURROUNDING PROPERTY**

**NORTH:**

RU-1 ONE STORY SINGLE FAMILY RESIDENCES

**SOUTH:**

RU-1 ONE STORY SINGLE FAMILY RESIDENCE

**EAST:**

RU-1 ONE STORY SINGLE FAMILY RESIDENCE

**WEST:**

RU-1 VACANT LOT

**SURROUNDING AREA**

THE SUBJECT PROPERTY IS SURROUNDED ONE STORY SINGLE FAMILY RESIDENTIAL HOME.

**NEIGHBORHOOD CHARACTERISTICS:**

RU-1 THE NEIGHBORHOOD IS MOSTLY ONE STORY SINGLE FAMILY HOMES

**COMMENTS:**

211-004

DISCLOSURE OF INTEREST\*

If a CORPORATION owns or leases the subject property, list principal stockholders and percent of stock owned by each. [Note: Where principal officers or stockholders consist of other corporation(s), trust(s), partnership(s) or other similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

CORPORATION NAME: Habitat for Humanity of Greater Miami Inc. A NOT FOR PROFIT CORPORATION

<u>NAME AND ADDRESS</u>	<u>Percentage of Stock</u>
MICHAEL BATTLE, PRESIDENT	0
PAUL JONES, VICE PRESIDENT	0
TIMOTHY PLUMMER, 2ND VICE PRESIDENT	0

If a TRUST or ESTATE owns or leases the subject property, list the trust beneficiaries and the percent of interest held by each. [Note: Where beneficiaries are other than natural persons, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

TRUST/ESTATE NAME \_\_\_\_\_

<u>NAME AND ADDRESS</u>	<u>Percentage of Interest</u>
NOT APPLICABLE	0

If a PARTNERSHIP owns or leases the subject property, list the principals including general and limited partners. [Note: Where the partner(s) consist of another partnership(s), corporation(s), trust(s) or other similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

PARTNERSHIP OR LIMITED PARTNERSHIP NAME: \_\_\_\_\_

<u>NAME AND ADDRESS</u>	<u>Percentage of Ownership</u>
NOT APPLICABLE	0

If there is a CONTRACT FOR PURCHASE, by a Corporation, Trust or Partnership list purchasers below, including principal officers, stockholders, beneficiaries or partners. [Note: Where principal officers, stockholders, beneficiaries or partners consist of other corporations, trusts, partnerships or other similar

entities, further disclosure shall be made to identify natural persons having the ultimate ownership interests].

NAME OF PURCHASER: \_\_\_\_\_

NAME, ADDRESS AND OFFICE (if applicable)	Percentage of Interest
NOT APPLICABLE	0
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

Date of contract: \_\_\_\_\_

If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership or trust.

NOT APPLICABLE	0
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

**NOTICE:** For any changes of ownership or changes in purchase contracts after the date of the application, but prior to the date of final public hearing, a supplemental disclosure of interest is required.

The above is a full disclosure of all parties of interest in this application to the best of my knowledge and belief.

Signature: \_\_\_\_\_  
(Applicant)

Sworn to and subscribed before me this 10 day of Dec, 2010. Affiant is personally know to me or has produced \_\_\_\_\_ as identification.

Jessica Dekker  
(Notary Public)

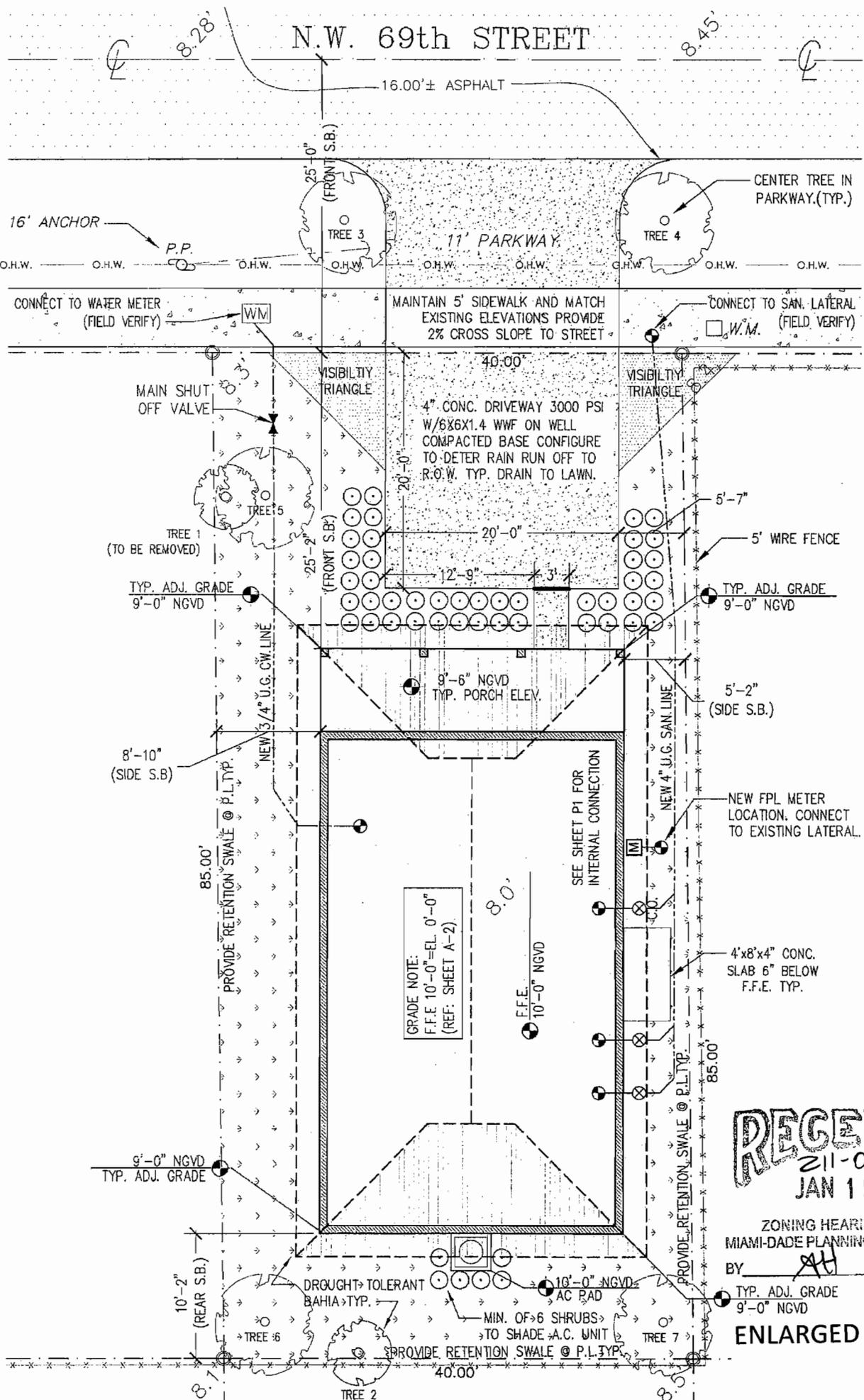


My commission expires: \_\_\_\_\_

Seal

\*Disclosure shall not be required of: 1) any entity, the equity interests in which are regularly traded on an established securities market in the United States or another country; or 2) pension funds or pension trusts of more than five thousand (5,000) ownership interests; or 3) any entity where ownership interests are held in a partnership, corporation or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership and where no one (1) person or entity holds more than a total of five per cent (5%) of the ownership interest in the partnership, corporation or trust. Entities whose ownership interests are held in a partnership, corporation, or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership, shall only be required to disclose those ownership interest which exceed five (5) percent of the ownership interest in the partnership, corporation or trust.

N.W. 69th STREET



RECEIVED  
211-004  
JAN 19 2011

ZONING HEARINGS SECTION  
MIAMI-DADE PLANNING AND ZONING DEPT.

BY *AT*

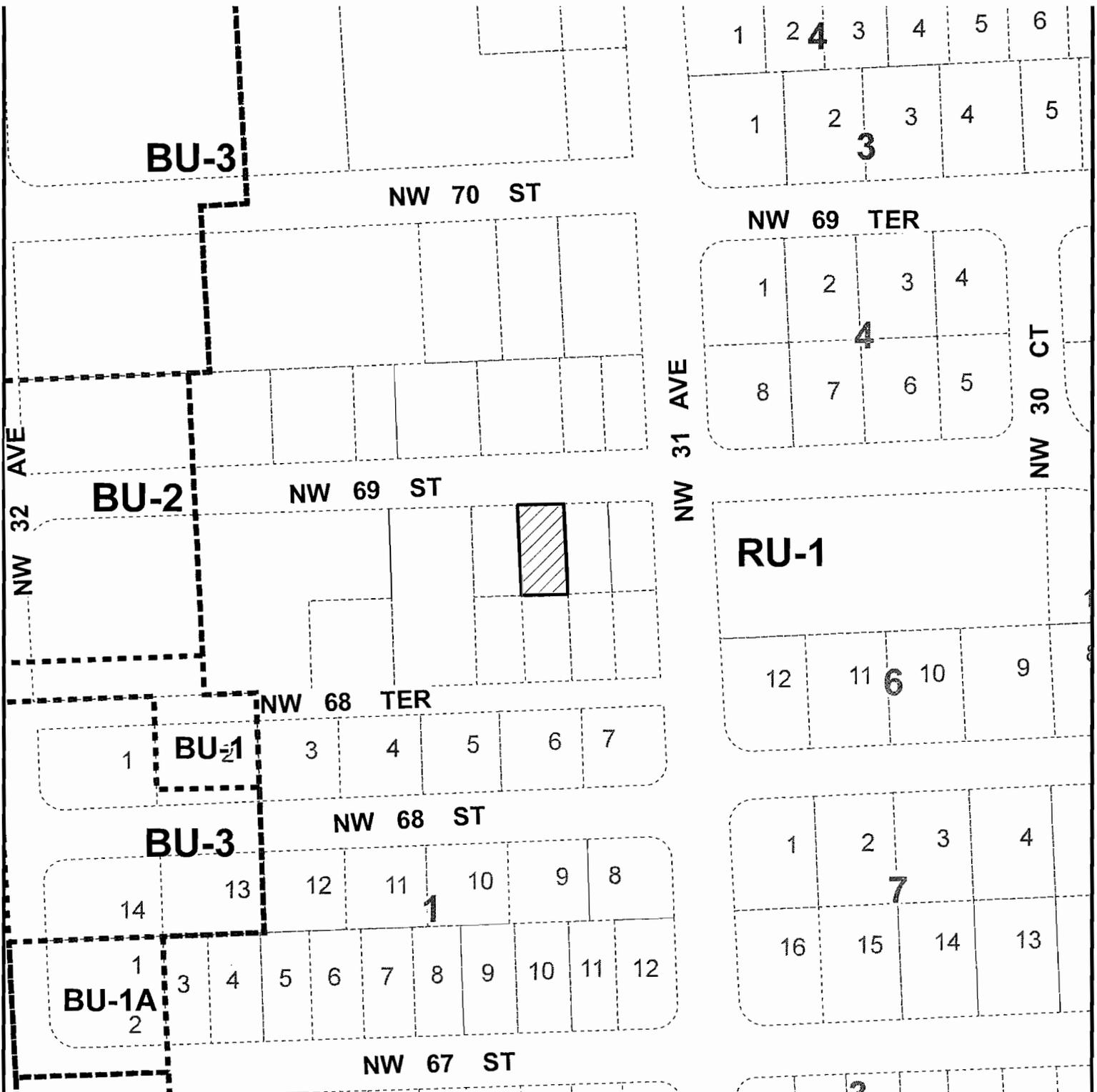
TYP. ADJ. GRADE  
9'-0" NGVD

ENLARGED SITE PLAN

SITE PLAN







**MIAMI-DADE COUNTY**  
**HEARING MAP**

Process Number  
**Z2011000004**



Section: 16 Township: 53 Range: 41  
 Applicant: HABITAT FOR HUMANITY OF GREATER MIAMI INC.  
 Zoning Board: C8  
 Commission District: 2  
 Drafter ID: JEFFER GURDIAN  
 Scale: NTS

**Legend**

 Subject Property Case



REVISION	DATE	BY
	19	



**MIAMI-DADE COUNTY**

**AERIAL YEAR 2009**

Process Number

**Z2011000004**

Section: 16 Township: 53 Range: 41

Applicant: HABITAT FOR HUMANITY OF GREATER MIAMI INC.

Zoning Board: C8

Commission District: 2

Drafter ID: JEFFER GURDIAN

Scale: NTS

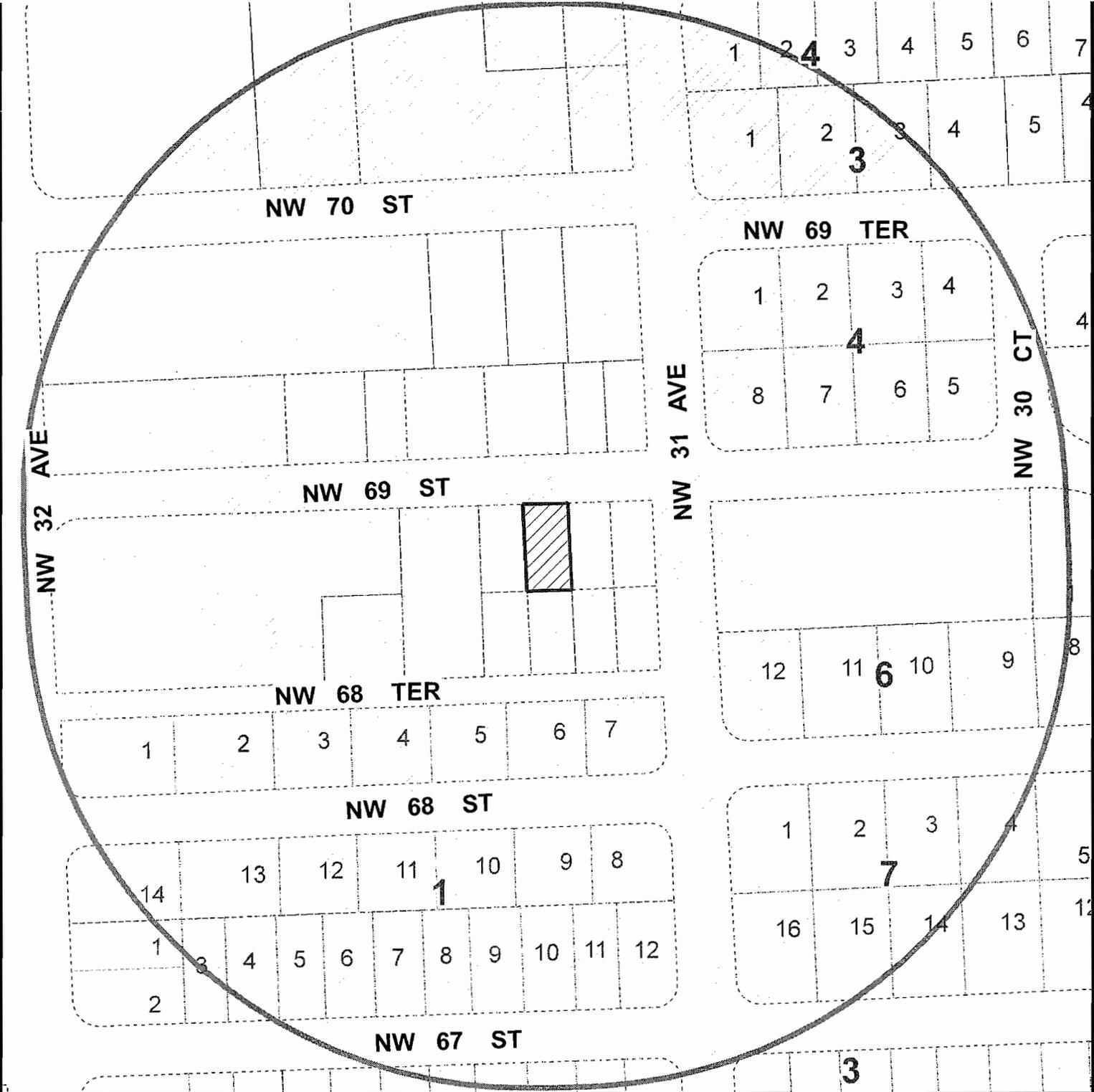
Legend

 Subject Property



SKETCH CREATED ON: Tuesday, February 1, 2011

REVISION	DATE	BY
	20	



**MIAMI-DADE COUNTY  
RADIUS MAP**

Process Number  
**Z2011000004**  
RADIUS: 500

Section: 16 Township: 53 Range: 41  
Applicant: HABITAT FOR HUMANITY OF GREATER MIAMI INC.  
Zoning Board: C8  
Commission District: 2  
Drafter ID: JEFFER GURDIAN  
Scale: NTS

**Legend**

-  Subject Property
-  Buffer



SKETCH CREATED ON: Tuesday, February 1, 2011

REVISION	DATE	BY

**Miami-Dade County Department of Permitting, Environment and Regulatory Affairs  
Staff Report to Community Council No. 8**

**PH: Z11-081 (12-11-CZ8-6)**

**December 1, 2011**

Item No. 6

<b>Recommendation Summary</b>	
<b>Commission District</b>	2
<b>Applicant</b>	Quisquella Restaurant, Inc.
<b>Summary of Requests</b>	The applicant is requesting to extend the hours of sales of alcoholic beverages at an existing restaurant.
<b>Location</b>	9513 NW 27 Avenue, Miami-Dade County, Florida.
<b>Property Size</b>	100' x 120'
<b>Existing Zoning</b>	BU-2
<b>Existing Land Use</b>	Restaurant
<b>2015-2025 CDMP Land Use Designation</b>	Business and Office (see attached Zoning Recommendation Addendum)
<b>Comprehensive Plan Consistency</b>	Inconsistent with interpretative text, goals, objectives and policies of the CDMP
<b>Applicable Zoning Code Section(s)</b>	Section 33-311(A)(4)(b) Non-Use Variances From Other Than Airport Regulations (see attached Zoning Recommendation Addendum)
<b>Recommendation</b>	<b>Denial without Prejudice</b>

**REQUEST:**

NON USE VARIANCE to permit an existing restaurant to have sales of alcoholic beverages until 4:00 AM Monday through Saturday (1:00 AM permitted).

**PROJECT DESCRIPTION:** Existing restaurant.

<b><u>NEIGHBORHOOD CHARACTERISTICS</u></b>		
	<b>Zoning and Existing Use</b>	<b>Land Use Designation</b>
<b>Subject Property</b>	BU-2; restaurant	Business and Office
<b>North</b>	BU-2; office building	Business and Office
<b>South</b>	BU-2; retail	Business and Office
<b>East</b>	RU-2; single-family residence BU-2; retail	Low-Medium Density Residential (6 to 13 dua)
<b>West</b>	BU-3; Miami-Dade Transit Facility BU-3; auto repair	Business and Office

**NEIGHBORHOOD COMPATIBILITY:**

The subject property is located within an existing shopping center at 9513 NW 27 Street. The surrounding area is characterized by commercial and residential uses. The subject property abuts a single family residence on the northeast corner, commercial uses to the north, and south, southeast corner and west.

**SUMMARY OF THE IMPACTS:**

The approval of the requested non-use variance would allow patrons to enjoy the consumption of alcoholic beverages with their food past the permitted time of 1:00 AM. However, approval of the request may adversely affect the neighborhood and surrounding area due to the possible

increase of noise, lighting, vibration, traffic and crime. Furthermore, staff opines the extension of hours of operation could affect the tranquility of the abutting residential area.

### **COMPREHENSIVE DEVELOPMENT MASTER PLAN ANALYSIS:**

The subject property is designated as **Business and Office** on the Adopted 2015-2025 Land Use Plan (LUP) map. This category accommodates the full range of sales and service activities. Staff opines that the existing restaurant use is **consistent** with the allowable uses described in the CDMP interpretive text under the Business and Office land use category and its use is **consistent** with the CDMP LUP map Business and Office designation for the subject property.

However, staff opines that the request for extended hours for alcoholic sales is too intensive and would negatively impact levels of noise, lighting, vibration, traffic, and crime on the residential property to the northeast of the subject property. **CDMP Land Use Policy LU-4** provides that *Miami-Dade County shall, by the year 2015, reduce the number of land uses, which are inconsistent with the uses designated on the LUP map and interpretive text, or with the character of the surrounding community.* Staff opines that the proximity of the subject property to the abutting single-family residence could create potential nuisances such as increases in the levels of noise, lighting, vibration, traffic and crime for the abutting residence and the surrounding residential community. In addition, **CDMP Land Use Policy LU-4C** indicates *residential neighborhoods shall be protected from intrusion by uses that would disrupt or degrade the health, safety, tranquility, character, and overall welfare of the neighborhood by creating such impacts as excessive density, noise, light, glare, odor, vibration, dust, or traffic.* Staff opines that approval of the subject request could create a potential safety hazard and would have a negative impact to the tranquility, character and overall welfare of the abutting residential neighborhood. As such, staff opines that the approval of the request is **inconsistent** with the **Land Use Policy LU-4C**.

### **ZONING ANALYSIS:**

The applicant is proposing to permit the sale of alcoholic beverages Monday through Saturday until 4:00 AM at the existing restaurant. The subject property is located within the BU-2 zoning designation, which allows uses such as package stores, pubs, bars, and liquor package stores as well as night clubs located no closer than five hundred (500) feet of any RU or EU District, if approved at a public hearing. Staff notes that a night club use is not allowed at the subject property, and approval of same will require a public hearing.

The subject property is located within an existing shopping center at 9513 NW 27 Street, and abuts a single family residence on the northeast corner, commercial uses to the north, and south, southeast corner and west. Documents submitted by the applicant consist of a survey, which indicates the distance from the subject property to the single-family residence to be 20 feet, and a lease, which indicates that the property will be used as a "restaurant nightclub". Staff opines that the approval to permit the sale of alcoholic beverages Monday through Saturday until 4:00 AM at the existing restaurant is similar to a nightclub type use and would be **incompatible** with the surrounding residential area and could result in a deterioration of the quality of life in said neighborhood.

When the subject request is analyzed under Section 33-311(A)(4)(b), the Non-Use Variance (NUV) Standards, staff is of the opinion that approval of this request would not maintain the basic intent and purpose of the zoning, subdivision and other land use regulations, which is to protect the general welfare of the public, particularly as it affects the stability of the community,

would be incompatible with the surrounding residential land uses and would be detrimental to the community. Moreover, the Miami-Dade Police Incident Report of selected crimes within a 0.5 mile radius of the subject property, indicates 309 crime incidents from January 1, 2011 to July 15, 2011, ten (10) of which are located directly in the corner of NW 27<sup>th</sup> Avenue and NW 95<sup>th</sup> Street. Staff opines that the resulting effect of the subject request may increase crime in the area and is too intensive for the 100' x 120' (0.28-acre) site.

Consequently, staff recommends denial without prejudice of the subject request under Section 33-311(A)(4)(b), Non-Use Variances From Other Than Airport Regulations.

**ACCESS, CIRCULATION AND PARKING:** Not applicable.

**NEIGHBORHOOD SERVICES PROVIDER REVIEW:** See attached.

**OTHER:** Not applicable.

**RECOMMENDATION:** Denial without prejudice.

**CONDITIONS FOR APPROVAL:** None.

CD:ES:MW:GR:NN:CH:JC



Charles Danger, P.E. Interim Director  
Miami-Dade County Department of  
Permitting, Environment and Regulatory Affairs

NBW  
GMR  
ES



Mark R. Woerner, AICP Interim Assistant Director of Planning  
Miami-Dade County Department of  
Sustainability, Planning and Economic Enhancement

NBW  
S

ZONING RECOMMENDATION ADDENDUM  
HISTORY  
MOTION SLIPS\*  
DEPARTMENT MEMORANDA  
DISCLOSURE OF INTEREST\*  
HEARING PLANS\*  
MAPS

\*If applicable

10/31/11

## ZONING RECOMMENDATION ADDENDUM

Applicant: *Quisquella Restaurant*  
PH: Z11-081

<b>NEIGHBORHOOD SERVICES PROVIDER COMMENTS*</b>	
DERM	No objection
Public Works	No objection
Parks	No objection
Fire Rescue	No objection
Police	Objects
Schools	No objection
*Subject to conditions in their memorandum.	

### COMPREHENSIVE DEVELOPMENT MASTER PLAN (CDMP) OBJECTIVES, POLICIES AND INTERPRETATIVE TEXT

<b>Business and Office</b> (Pg. I-41)	<i>The Adopted 2015 and 2025 Land Use Plan designates the subject property as being within the Urban Development Boundary for <b>Business and Office</b>. This category accommodates the full range of sales and service activities. Included are retail, wholesale, personal and professional services, call centers, commercial and professional offices, hotels, motels, hospitals, medical buildings, nursing homes (also allowed in the institutional category), entertainment and cultural facilities, amusements and commercial recreation establishments such as private commercial marinas.</i>
<b>Land Use Objective LU-4</b> (Pg. I-11)	<i>Miami-Dade County shall, by the year 2015, reduce the number of land uses, which are inconsistent with the uses designated on the LUP map and interpretive text, or with the character of the surrounding community.</i>
<b>Land Use Objective LU-4C</b> (Pg. I-11)	<i>Residential neighborhoods shall be protected from intrusion by uses that would disrupt or degrade the health, safety, tranquility, character, and overall welfare of the neighborhood by creating such impacts as excessive density, noise, light, glare, odor, vibration, dust, or traffic.</i>

### PERTINENT ZONING REQUIREMENTS/STANDARDS

<b>33-311(A)(4)(b) Non-Use Variances From Other Than Airport Regulations</b>	<i>Upon appeal or direct application in specific cases, the Board shall hear and grant applications for non-use variances from the terms of the zoning and subdivision regulations and may grant a non-use variance upon a showing by the applicant that the non-use variance maintains the basic intent and purpose of the zoning, subdivision and other land use regulations, which is to protect the general welfare of the public, particularly as it affects the stability and appearance of the community and provided that the non-use variance will be otherwise compatible with the surrounding land uses and would not be detrimental to the community. No showing of unnecessary hardship to the land is required.</i>
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**6. QUISQUELLA RESTAURANT INC.**  
**(Applicant)**

**11-12-CZ8-6 (11-081)**  
**Area 8/District 02**  
**Hearing Date: 12/01/11**

Property Owner (if different from applicant) **1201 NW 54 ST.**

Is there an option to purchase /lease  the property predicated on the approval of the zoning request? Yes  No

Disclosure of interest form attached? Yes  No

**Previous Zoning Hearings on the Property:**

<b><u>Year</u></b>	<b><u>Applicant</u></b>	<b><u>Request</u></b>	<b><u>Board</u></b>	<b><u>Decision</u></b>
No History				

Action taken today does not constitute a final development order, and one or more concurrency determinations will subsequently be required. Provisional determinations or listings of needed facilities made in association with this Initial Development Order shall not be binding with regard to future decisions to approve or deny an Intermediate or Final Development Order on any grounds.

# Memorandum



**Date:** July 26, 2011

**To:** Marc C. LaFerrier, AICP, Director  
Department of Planning and Zoning

**From:** Jose Gonzalez, P.E., Assistant Director  
Environmental Resources Management

A handwritten signature in black ink, appearing to read "Jose Gonzalez". The signature is written in a cursive, flowing style.

**Subject:** C-08 #Z2011000081  
Quisquella Restaurant, Inc.  
9505 N.W. 27<sup>th</sup> Avenue  
To Extend Hours of Operation for Alcoholic Beverage Sales  
(BU-2) (0.46 Acres)  
03-53-41

The Department of Environmental Resources Management (DERM) has reviewed the subject application and has determined that it meets the minimum requirements of Chapter 24 of the Code of Miami-Dade County, Florida (the Code). Accordingly, DERM may approve the application, and the same may be scheduled for public hearing.

DERM has no pertinent comments regarding this application since the request does not entail any environmental concern.

#### Concurrency Review Summary

DERM has conducted a concurrency review for this application and has determined that the same meets all applicable Level of Service (LOS) standards for an initial development order, as specified in the adopted Comprehensive Development Master Plan for potable water supply, wastewater disposal, and flood protection. Therefore, the application has been approved for concurrency subject to the comments and conditions contained herein.

This concurrency approval does not constitute a final concurrency statement and is valid only for this initial development order, as provided for in the adopted methodology for concurrency review. Additionally, this approval does not constitute any assurance that the LOS standards would be met by any subsequent development order applications concerning the subject property.

This memorandum shall constitute DERM's written approval, as required by the Code.

If you have any questions concerning the comments, or wish to discuss this matter further, please contact Christine Velazquez at (305) 372-6764.

**PUBLIC WORKS DEPARTMENT COMMENTS**

Applicant's Names: QUISQUELLA RESTAURANT INC.

This Department has no objections to this application.

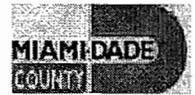
This project meets traffic concurrency because it lies within the urban infill area where traffic concurrency does not apply.



Raul A Pino, P.L.S.

09-SEP-11

# Memorandum



**Date:** 28-JUL-11  
**To:** Marc LaFerrier, Director  
 Department of Planning and Zoning  
**From:** Karls Paul-Noel, Interim Director  
 Miami-Dade Fire Rescue Department  
**Subject:** Z2011000081

## Fire Prevention Unit:

Not applicable to MDFR site requirements.

## Service Impact/Demand

Development for the above Z2011000081  
 located at 9513 NW 27 AVE, MIAMI-DADE COUNTY, FLORIDA.  
 in Police Grid 0678 is proposed as the following:

<u>N/A</u> residential	dwelling units	<u>N/A</u> industrial	square feet
<u>N/A</u> Office	square feet	<u>N/A</u> institutional	square feet
<u>N/A</u> Retail	square feet	<u>N/A</u> nursing home/hospitals	square feet

Based on this development information, estimated service impact is: N/A alarms-annually.  
 The estimated average travel time is: 4:30 minutes

## Existing services

The Fire station responding to an alarm in the proposed development will be:  
 Station 7 - W Little River - 9350 NW 22 Avenue  
 Rescue, ALS Engine, Squad

## Planned Service Expansions:

The following stations/units are planned in the vicinity of this development:  
 None.

## Fire Planning Additional Comments

Not applicable to service impact analysis.

8

DATE: 13-JUL-11

BUILDING AND NEIGHBORHOOD  
COMPLIANCE DEPARTMENT

ENFORCEMENT HISTORY OF VIOLATIONS OF CHAPTER 19 AND  
CHAPTER 33 OF THE MIAMI-DADE COUNTY CODE

QUISQUELLA RESTAURANT INC.

9505 NW 27 AVE, MIAMI-DADE  
COUNTY, FLORIDA.

---

APPLICANT

---

ADDRESS

Z2011000081

---

HEARING NUMBER

**HISTORY:**

ENFORCEMENT HISTORY: NC; No cases found. BNC; No cases found.

**OUTSTANDING FINES, PENALTIES, COST OR LIENS  
INCURRED PURSUANT TO CHAPTER 8CC:**

none

**REPORTER NAME:**

NCS Albury

# Memorandum



**Date:** November 18, 2011

**To:** Charles Danger, Interim Director  
Permitting, Environment and Regulatory Affairs

**From:** James K. Loftis, Director  
Miami-Dade Police Department

**Subject:** Review - Zoning Application  
Case: No. Z2011000081 – Quisquella Restuarant

## APPLICATION

The applicant, Quisquella Restaurant, is requesting a public hearing for a non-use variance of the requirements of Section 33-151(g) of the Code of Miami-Dade County (MDC) to permit the sale of alcoholic beverages Monday through Saturday until 4:00 a.m., at the existing restaurant located at 9505 NW 27 Avenue, Miami, Florida.

## CURRENT POLICE SERVICES

The restaurant is located in unincorporated MDC and serviced by our Northside District, located at 2950 NW 83<sup>rd</sup> Street, Miami, Florida. Our current staffing allows for an average emergency response time of eight minutes or less.

## REVIEW

A review of the application and related documents was conducted to predict the impact on the Miami-Dade Police Department's (MDPD) resources and the impact that the location could have on the proposed zoning modification changes. A ½ mile radius check of crimes/calls for service of the location was completed and has been provided in the attached documents for the MDC Permitting, Environment and Regulatory Affairs (PERA).

Current data of police staffing, population, and crimes/calls for service was examined to project any increase in calls for service. Based on this data and due to the nature of the request (extended sales of alcoholic beverages), it cannot be accurately predicted as to any projected increase in calls for service. Previous calls for service to the restaurant and experience leads to anticipate that calls for police service will rise should the request be approved.

While current staffing should accommodate any slight increase in the volume of calls for service, we recommend that the PERA not approve the request. The surrounding neighborhood does not lend itself to benefit from this request. The mere volume of crimes/calls for service in the immediate area indicates no quality of life benefits for citizens if this request is approved.

Charles Danger, Interim Director  
November 18, 2011  
Page 2

However, should PERA approve the request and demand for police services increase beyond current levels, additional sworn personnel, support staff, and equipment may be required to maintain current levels of service.

Additionally, regardless of the request's outcome, it is recommended that Quisquella Restaurant, work closely with the local police district command staff in considering security options for the site, especially during high volume times, to include but not limited to holidays.

If the request is approved, the MDPD recommends the following to be implemented as part of the venture.

1. A parking plan should be submitted that will allow for adequate off-street parking for all hours and prohibiting patrons from parking on NW 27 Avenue.
2. Security measures should be implemented, including uniformed security personnel for the business and the parking areas. These measures should also include lighting and video cameras with recording capabilities.
3. Activities, including illegal alcohol sales, alcohol sales without proof of food sales, or other criminal activities that may constitute a nuisance to the community and/or a danger to the public health, safety, and welfare be immediate grounds for revocation of alcohol sales by the Director of the PERA.
4. The business owners shall maintain documentation that evidences adherence to Section 33-151 of the Code of MDC and the Certificate of Use and Occupancy.

Should you have any questions or require additional information, Lieutenant William Gonzalez, of the Public Information & Education Bureau, may be contacted at (305) 471-1716.

JKL/kh  
Attachment

//

# Memorandum



**Date:** August 11, 2011  
**To:** Marc LaFerrier, Director  
Department of Planning and Zoning  
**From:**  Maria I. Nardi, Chief  
Planning and Research Division  
**Subject:** Z2011000081: QUISQUELLA RESTAURANT INC

---

**Application Name:** MARIAQUISQUELLA RESTAURANT INC

**Project Location:** The site is located at 9513 NW 27 AVE, Miami-Dade County.

**Proposed Development:** The applicant is requesting a non-use variance to permit the sale of alcoholic beverages Monday through Saturday until 4:00 AM.

**Impact and demand:** The letter of intent specifies that the purpose of the change is to permit the sale of alcoholic beverages Monday through Saturday until 4:00 AM. Because this application does not generate any residential population, the CDMP Open Space Spatial Standards do not apply.

We have no pertinent comments for this application concerning impact or demand on existing County parks, proposed or budgeted service expansion, nor do we perform a concurrency review.

If you need additional information or clarification on this matter, please contact John Bowers at (305) 755-5447.

MN:jb

Cc: John M. Bowers, RLA/AICP, Landscape Architect 2

**Inspector:** EDWARDS, RALPH

**Inspection Date**

**Evaluator:** JACQUELINE CARRANZA

10/14/11

**Process #:** Z2011000081  
**Applicant's Name:** QUISQUELLA RESTAURANT INC.

**Locations:** 9513 NW 27 AVE, MIAMI-DADE COUNTY, FLORIDA.

**Size:** 100 X 120

**Folio #:** 3031030150260

**Request:**

Applicant is requesting to permit an existing restaurant to have sales of alcoholic beverages until 4am (1am required).

**EXISTING ZONING**

**Subject Property** BU-2,

**EXISTING USE** RESTURANT

**SITE CHARACTERISTICS**

**STRUCTURES ON SITE:**

THE SUBJECT SITE IS A MULTI STORE BUILDING WHICH INCLUDES 9505-9507-9509-9513. THE STORE WHERE THE RESTAURANT IS AT HAS A 2ND FLOOR, (9513).

**USE(S) OF PROPERTY:**

THE SUBJECT SITE IS VACANT AT THIS TIME/ESTABLISH AS A RESTAURANT WITH BEER AND WINE

**FENCES/WALLS:**

THE SUBJECT PROPERTY HAS A 6 FT CHAIN LINK FENCE ON THE NORTHSIDE AND NORTHEAST OF THE PROPERTY

**LANDSCAPING:**

NONE

**BUFFERING:**

THERE A CHAIN LINK FENCE ON NORTHEAST SIDE OF THE PROPERTY.

**VIOLATIONS OBSERVED:**

NONE

**OTHER:**

**Process #** Z2011000081  
**Applicant's Name** QUISQUELLA RESTAURANT INC.

**SURROUNDING PROPERTY**

**NORTH:**

BU-2 ON 27 AVE USED CAR DEALERSHIP

**SOUTH:**

BU-2 ON 27 AVE NEW AND USED TIRE SHOP

**EAST:**

BU-2 ON 27 AVE GROCERY STORE

**WEST:**

BU-1 MULTI COMMERCIAL STORE

**SURROUNDING AREA**

MOSTY COMMERCIAL AREA ON 27 AVE WITH RU-2 BLOCK ON THE EASTSIDE,AND RU-1 ON THE WESTSIDE

**NEIGHBORHOOD CHARACTERISTICS:**

MOSTY COMMERCIAL ON 27 AVE WITH RU-1 ON THE WEST AND RU-2 ON THE EAST.

**COMMENTS:**

DISCLOSURE OF INTEREST\*

If a CORPORATION owns or leases the subject property, list principal stockholders and percent of stock owned by each. [Note: Where principal officers or stockholders consist of other corporation(s), trust(s), partnership(s) or other similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

CORPORATION NAME: Quisquella Restaurant, Inc.

<u>NAME AND ADDRESS</u>	<u>Percentage of Stock</u>
Gerpy Fermin	100%
_____	_____
_____	_____
_____	_____

If a TRUST or ESTATE owns or leases the subject property, list the trust beneficiaries and the percent of interest held by each. [Note: Where beneficiaries are other than natural persons, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

TRUST/ESTATE NAME \_\_\_\_\_

<u>NAME AND ADDRESS</u>	<u>Percentage of Interest</u>
_____	_____
_____	_____
_____	_____
_____	_____

If a PARTNERSHIP owns or leases the subject property, list the principals including general and limited partners. [Note: Where the partner(s) consist of another partnership(s), corporation(s), trust(s) or other similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

PARTNERSHIP OR LIMITED PARTNERSHIP NAME: 1201 NW 54 ST, LTD.

<u>NAME AND ADDRESS</u>	<u>Percentage of Ownership</u>
Ronald P. Fisher, 419 W. 49 St., #105, Hialeah, FL 33012	SEE Exhibit "A" 33 22
James Q. Fisher, 419 W. 49 St., #105, Hialeah, FL 33012	33 33
Richard J. Fisher, 419 W. 49 St., #105, Hialeah, FL 33012	33 33
_____	_____
_____	_____

If there is a CONTRACT FOR PURCHASE, by a Corporation, Trust or Partnership list purchasers below, including principal officers, stockholders, beneficiaries or partners. [Note: Where principal officers, stockholders, beneficiaries or partners consist of other corporations, trusts, partnerships or other similar

entities, further disclosure shall be made to identify natural persons having the ultimate ownership interests].

NAME OF PURCHASER: \_\_\_\_\_

NAME, ADDRESS AND OFFICE (if applicable)

Percentage of Interest

_____	_____
_____	_____
_____	_____
_____	_____

Date of contract: \_\_\_\_\_

211-081  
JUN 07 2011  
ZONING BOARD  
MANDATE PLANNING AND ZONING DEPT  
BY: *AK*

If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership or trust.

_____	_____
_____	_____
_____	_____
_____	_____

**NOTICE:** For any changes of ownership or changes in purchase contracts after the date of the application, but prior to the date of final public hearing, a supplemental disclosure of interest is required.

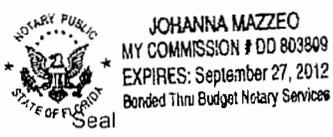
The above is a full disclosure of all parties of interest in this application to the best of my knowledge and belief.

Signature: *Ang E. Huff R. DA*  
(Applicant)

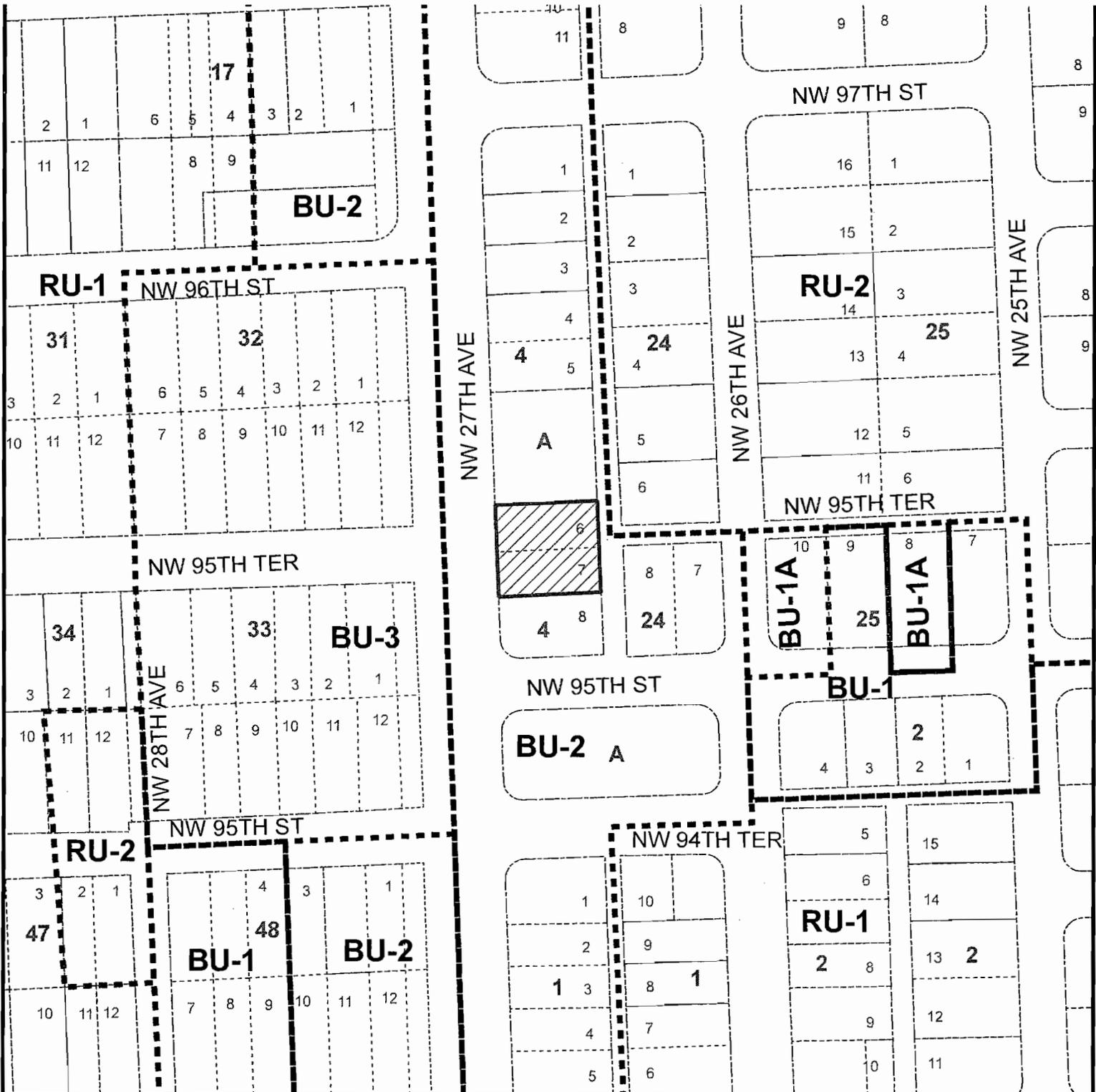
Sworn to and subscribed before me this 22 day of JUNE, 20 11. Affiant is personally know to me or has produced \_\_\_\_\_ as identification.

*Johanna Mazzeo*  
(Notary Public)

My commission expires: Sep 27 2012



\*Disclosure shall not be required of: 1) any entity, the equity interests in which are regularly traded on an established securities market in the United States or another country; or 2) pension funds or pension trusts of more than five thousand (5,000) ownership interests; or 3) any entity where ownership interests are held in a partnership, corporation or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership and where no one (1) person or entity holds more than a total of five per cent (5%) of the ownership interest in the partnership, corporation or trust. Entities whose ownership interests are held in a partnership, corporation, or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership, shall only be required to disclose those ownership interest which exceed five (5) percent of the ownership interest in the partnership, corporation or trust.



**MIAMI-DADE COUNTY**  
**HEARING MAP**

Process Number  
**Z2011000081**



Section: 03 Township: 53 Range: 41  
 Applicant: QUISQUELLA RESTAURANT INC.  
 Zoning Board: C8  
 Commission District: 2  
 Drafter ID: KEELING STENNETT  
 Scale: NTS

**Legend**

-  Subject Property Case
-  Zoning



SKETCH CREATED ON: Monday, July 18, 2011

REVISION	DATE	BY
	17	



**MIAMI-DADE COUNTY**  
**AERIAL YEAR 2009**

Process Number

**Z2011000081**



Section: 03 Township: 53 Range: 41  
 Applicant: QUISQUELLA RESTAURANT INC.  
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 Scale: NTS

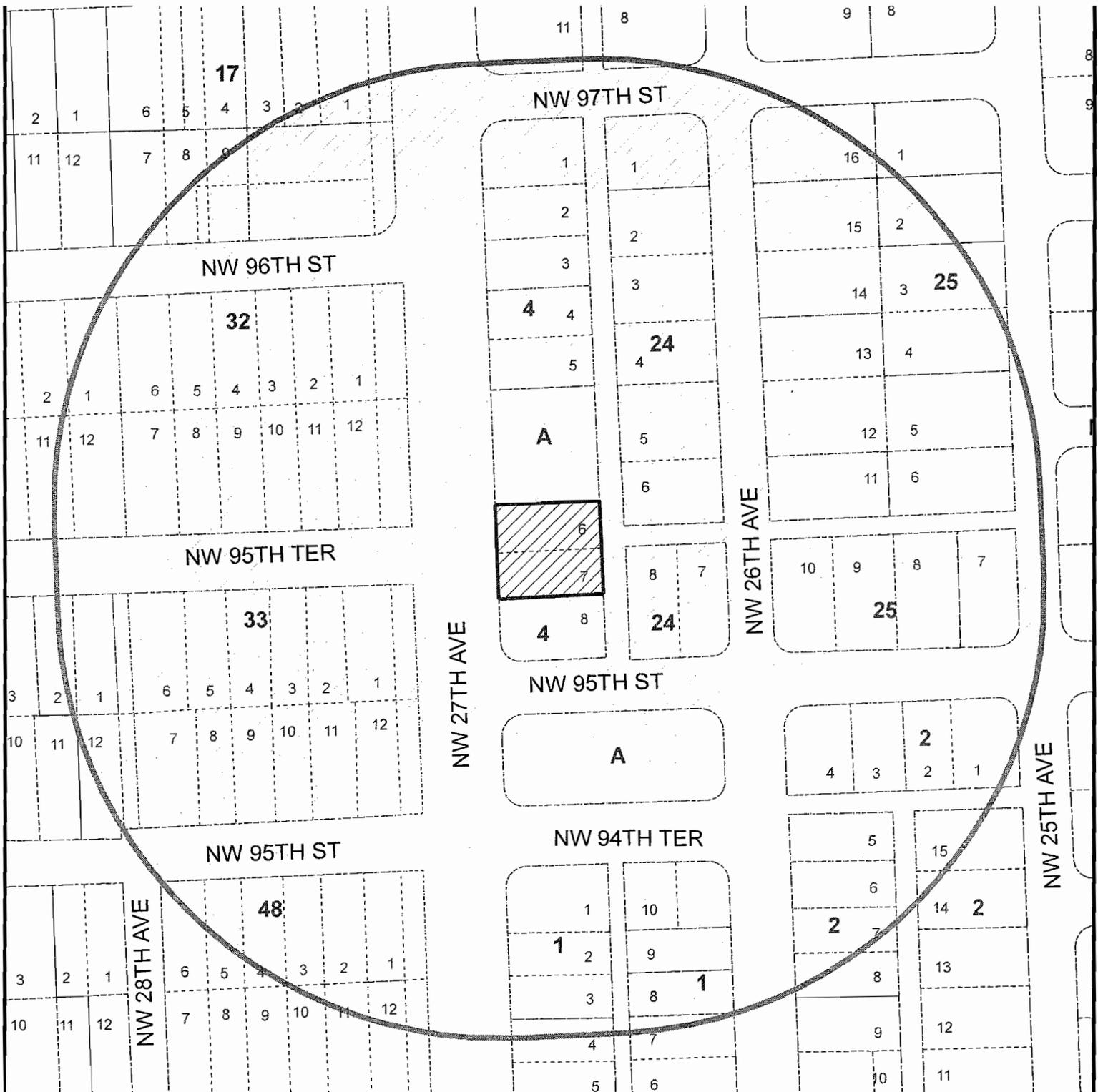
Legend

 Subject Property



SKETCH CREATED ON: Monday, July 18, 2011

REVISION	DATE	BY
	18	



**MIAMI-DADE COUNTY  
RADIUS MAP**

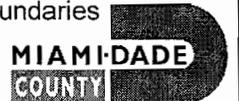
Process Number  
**Z2011000081**

RADIUS: 500

Section: 03 Township: 53 Range: 41  
 Applicant: QUISQUELLA RESTAURANT INC.  
 Zoning Board: C8  
 Commission District: 2  
 Drafter ID: KEELING STENNETT  
 Scale: NTS

**Legend**

-  Subject Property
-  Buffer
-  Property Boundaries



SKETCH CREATED ON: Friday, July 15, 2011

REVISION	DATE	BY