

FINAL AGENDA

5-12-2014 Version # 2



COMMUNITY ZONING APPEALS BOARD 14
SOUTH DADE GOVERNMENT CENTER-ROOM #104 (OLD BUILDING)
10710 SW 211 Street, Miami
Wednesday, June 11, 2014 at 6:00 p.m.

PREVIOUSLY DEFERRED

A. 14-5-CZ14-2 D. R. HORTON, INC. 13-102 02-56-39

CURRENT

1. 14-6-CZ14-1 MELVIN H DAVIDOW TRUST AND D. R. HORTON, INC. 14-8 14-56-39 N



Official Zoning Agenda

COMMUNITY ZONING APPEALS BOARD

COMMUNITY ZONING APPEALS BOARD - AREA 14

MEETING OF WEDNESDAY, JUNE 11 , 2014

SOUTH DADE GOVERNMENT CENTER,

ROOM # 104 (OLD BUILDING)

10710 SW 211 STREET, MIAMI, FLORIDA

NOTICE: THE FOLLOWING HEARINGS ARE SCHEDULED FOR 6:00 P.M., AND

ALL PARTIES SHOULD BE PRESENT AT THAT TIME

ANY PERSON MAKING IMPERTINENT OR SLANDEROUS REMARKS OR WHO BECOMES BOISTEROUS WHILE ADDRESSING THE COMMUNITY ZONING APPEALS BOARD SHALL BE BARRED FROM FURTHER AUDIENCE BEFORE THE COMMUNITY ZONING APPEALS BOARD BY THE PRESIDING OFFICER, UNLESS PERMISSION TO CONTINUE OR AGAIN ADDRESS THE BOARD BE GRANTED BY THE MAJORITY VOTE OF THE BOARD MEMBERS PRESENT.

NO CLAPPING, APPLAUDING, HECKLING OR VERBAL OUTBURSTS IN SUPPORT OR OPPOSITION TO A SPEAKER OR HIS OR HER REMARKS SHALL BE PERMITTED. NO SIGNS OR PLACARDS SHALL BE ALLOWED IN THE MEETING ROOM. PERSONS EXITING THE MEETING ROOM SHALL DO SO QUIETLY.

THE USE OF CELL PHONES IN THE MEETING ROOM IS NOT PERMITTED. RINGERS MUST BE SET TO SILENT MODE TO AVOID DISRUPTION OF PROCEEDINGS. INDIVIDUALS, INCLUDING THOSE ON THE DAIS, MUST EXIT THE MEETING ROOM TO ANSWER INCOMING CELL PHONE CALLS. COUNTY EMPLOYEES MAY NOT USE CELL PHONE CAMERAS OR TAKE DIGITAL PICTURES FROM THEIR POSITIONS ON THE DAIS.

THE NUMBER OF FILED PROTESTS AND WAIVERS ON EACH APPLICATION WILL BE READ INTO THE RECORD AT THE TIME OF HEARING AS EACH APPLICATION IS READ.

THOSE ITEMS NOT HEARD PRIOR TO THE ENDING TIME FOR THIS MEETING, WILL BE DEFERRED TO THE NEXT AVAILABLE ZONING HEARING MEETING DATE FOR THIS BOARD.

SWEARING IN OF WITNESS

A. D.R. HORTON, INC. 14-5-CZ14-2 (13-102)

**02-56-39
Area 14/District 8**

(1) MODIFICATION of Condition #2 of Resolution #CZAB14-1-02 passed and adopted by Community Zoning Appeals Board # 14, and reading as follows:

From: "That in the approval of the plan, the same be substantially in accordance with that submitted for the hearing entitled "Proposed Residential Development" as prepared by Felix Pardo & Associates, Inc., dated 12/21/01 and consisting of 14 sheets. Plans may be modified at public hearing."

To: "That in the approval of the plan, the same be substantially in accordance with that submitted for the hearing entitled "General Site Plan. Palma Vista" as prepared by Tri-County Engineering, Inc., consisting of 2 sheets, landscape plans prepared by Witkin Hults Design Group consisting of 8 sheets, and architectural drawings prepared by AB Design Group, Inc., consisting of 40 sheets for a total of 50 sheets, all plans dated stamped received 11/7/13."

The purpose of the request is to allow the applicant to submit revised plans showing the inclusion of two story residential models to the existing residential development.

The aforementioned plans are on file and may be examined in the Department of Regulatory and Economic Resources. Plans may be modified at public hearing.

LOCATION: The South side of SW 184 Street, lying East & West of SW 128 Avenue, MIAMI-DADE COUNTY, FLORIDA.

SIZE OF PROPERTY: 6.84 Acres

Department of Regulatory and
Economic Resources
Recommendation:

Approval with conditions

Protests: _____ 0 _____

Waivers: _____ 0 _____

APPROVED: _____

DENIED WITH PREJUDICE: _____

DENIED WITHOUT PREJUDICE: _____

DEFERRED: _____

Deferred From: May 7th, 2014

1. MELVIN H. DAVIDOW TRUST AND D.R. HORTON, INC (14-6-CZ14-1 (14-08) 14-56-39
Area 14/District 8

DISTRICT BOUNDARY CHANGE from AU and GU to EU-M.

LOCATION: Lying West of SW 127 Avenue, between SW 226 Street and theoretical SW 228 Street, MIAMI-DADE COUNTY, FLORIDA.

SIZE OF PROPERTY: 9.6 Acres

Department of Regulatory and
Economic Resources
Recommendation:

Approval, subject to the acceptance of the
proffered covenant.

Protests: 0

Waivers: 0

APPROVED: _____

DENIED WITH PREJUDICE: _____

DENIED WITHOUT PREJUDICE: _____

DEFERRED: _____

NOTICE

THE FOLLOWING SUMMARY INFORMATION IS PROVIDED AS A COURTESY; IT SHOULD NOT BE TREATED AS LEGAL ADVICE AND IT SHOULD NOT BE RELIED UPON. LEGAL CONSULTATION MAY BE WARRANTED IF AN APPEAL OR OTHER LEGAL CHALLENGE IS BEING CONTEMPLATED.

Decisions of the Community Zoning Appeals Board (CZAB) may be subject to appeal or other challenge. For example, depending upon the nature of the requests and applications addressed by the CZAB, a CZAB decision may be directly appealable to the Board of County Commissioners (BCC) or may be subject to challenge in Circuit Court. Challenges asserted in Circuit Court, where available, must ordinarily be filed within 30 days of the transmittal of the pertinent CZAB resolution to the Clerk of the BCC.

Appeals to the BCC, where available, must be filed with the Zoning Hearing Section of the Department of Regulatory and Economic Resources (RER), or its successor Department, within 14 days after RER has posted a short, concise statement (such as that furnished above for the listed items) that sets forth the action that was taken by the CZAB. (RER's posting will be made on a bulletin board located in the office of RER.)

All other applicable requirements imposed by rule, ordinance, or other law must also be observed when filing or otherwise pursuing any challenge to a CZAB decision.

Further information regarding options and methods for challenging a CZAB decision may be obtained from sources that include, but are not limited to, the following: Sections 33-312, 33-313, 33-314, 33-316, and 33-317 of the Code of Metropolitan Dade County, Florida; the Florida Rules of Appellate Procedure; and the Municode website (www.municode.com). Miami-Dade County does not provide legal advice regarding potential avenues and methods for appealing or otherwise challenging CZAB decisions; however, a licensed attorney may be able to provide assistance and legal advice regarding any potential challenge or appeal.

A handwritten signature or mark, possibly initials, located in the lower right quadrant of the page. It consists of several overlapping loops and lines, resembling a stylized 'S' or a similar character.

**Miami-Dade County Department of Regulatory And Economic Resources
Staff Report to Community Council No. 14**

PH: Z13-102(14-5-CZ14-2)

June 11, 2014

Item No. A

Recommendation Summary	
Commission District	8
Applicant	D. R. Horton, Inc.
Summary of Requests	The applicant is seeking to modify a condition of a previously approved resolution to allow for the submittal of revised plans showing the inclusion of two-story residential models to the existing residential development.
Location	South side of SW 184 Street, lying East & West of SW 128 Avenue, Miami-Dade County, Florida.
Property Size	6.84 Acres
Existing Zoning	EU-M (Estates Mod. 1 Family 15,000 sq. ft. gross)
Existing Land Use	Single-family residences/Vacant parcels
2020-2030 CDMP Land Use Designation	Estate Density Residential (1 – 2.5 du/ac) (see attached Zoning Recommendation Addendum)
Comprehensive Plan Consistency	Consistent with interpretative text, goals, objectives and policies of the CDMP
Applicable Zoning Code Section(s)	Section 33-311(A)(7) Generalized Modification Standards (see attached Zoning Recommendation Addendum)
Recommendation	Approval with a condition.

This item was deferred from the May 7, 2014 Community Zoning Appeals Board (CZAB) #14 meeting to allow the applicant time to meet with the neighbors. The applicant has informed staff that after meeting with neighbors and further consideration, they have decided to withdraw the requested 2-story models and to seek the approval of the 1-story model homes only.

REQUEST:

MODIFICATION of Condition #2 of Resolution #CZAB14-1-02 passed and adopted by Community Zoning Appeals Board #14, and reading as follows:

From: "2. That in the approval of the plan, the same be substantially in accordance with that submitted for the hearing entitled "Proposed Residential Development" as prepared by Felix Pardo & Associates, Inc., dated 12/21/01 and consisting of 14 sheets. Plans may be modified at public hearing."

To: "2. That in the approval of the plan, the same be substantially in accordance with that submitted for the hearing entitled "General Site Plan. Palma Vista" as prepared by Tri-County Engineering, Inc., consisting of 2 sheets, landscape plans prepared by Witkin Hults Design Group consisting of 8 sheets, and architectural drawings prepared by AB Design Group, Inc., consisting of 40 sheets for a total of 50 sheets, all plans dated stamped received 11/7/13."

The purpose of the request is to allow the applicant to submit revised plans showing the inclusion of two story residential models to the existing residential development.

The aforementioned plans are on file and may be examined in the Department of Regulatory and Economic Resources. Plans may be modified at public hearing.

PROJECT DESCRIPTION AND HISTORY:

The subject site is an existing 6.84-acre parcel that was approved with conditions, pursuant to Resolution #CZAB14-1-02, to permit a residential development consisting of 22 residential lots with single-story residences along with accompanying variances for a private drive, lot areas and depths.

The applicant now seeks to modify one of the approved conditions in order to submit revised plans showing the inclusion of two story residential models to the existing residential development.

NEIGHBORHOOD CHARACTERISTICS		
	Zoning and Existing Use	Land Use Designation
Subject Property	EU-M; single-family residences / vacant parcels	Estate Density Residential (1 – 2.5 du/ac)
North	AU; park	Parks and Recreation
South	EU-M; single-family residences	Estate Density Residential (1 2.5 du/ac)
East	RU-1; single-family residences	Low-Density Residential, (2.5 - 6 dua)
West	EU-M; single-family residences	Estate Density Residential (1 – 2.5 du/ac)

NEIGHBORHOOD COMPATIBILITY:

The subject property is located on the south side of SW 184 Street, lying East & West of SW 128 Avenue. Single-family residences are located to the west, south and east of the subject site. A park lies to the north of the subject property.

SUMMARY OF THE IMPACTS:

Approval of this application will allow the applicant to provide additional housing types in the community. However, same could have a negative visual impact on the residential properties located to the west, south and east.

CDMP ANALYSIS:

The subject property is located within the Urban Development Boundary (UDB) and is designated as ***Estate Density Residential*** on the Adopted 2020-2030 Comprehensive Development Master Plan (CDMP) Land Use Plan (LUP) map. *This density range is characterized by detached estate residences that typically occupy a small portion of the parcel and can be developed at a maximum of 2.5 dwelling units per acre.* Since the applicant is seeking to modify a condition of a previously approved resolution to allow showing the inclusion of two-story residential models to the existing residential development, and the applicant is not requesting to add additional dwelling units to the site, staff opines that approval of the application with a condition is **consistent** with the designation of Estate Density Residential as shown on the Comprehensive Development Master Plan (CDMP) LUP map.

ZONING ANALYSIS:

When the requested modification is analyzed under Section 33-311(A)(7) Generalized Modification Standards, staff opines that approval of this request would be **compatible** with the surrounding area. Staff notes that pursuant to Resolution #CZAB14-1-02, the subject property was approved to permit a residential development consisting of 22 residential lots with single-story residences. The applicant is now seeking to allow for the inclusion of two-story residential models to the existing residential development. Staff further notes that the submitted plans show that seven (7) lots are not a part of this application because one-story single-family residences were already constructed on said sites. Therefore, the requested modification to allow the two-story models will only apply to the remaining fifteen (15) lots. Staff opines that the proposed two-story models are compatible with the existing residences located to the west, south and east. The submitted elevation plans show models with a maximum height of 26'-9", which is less than the 35' maximum height allowed by the existing and adjacent EU-M and RU-1, single-family residential zoning districts. Staff further opines that approval of same will provide variety of housing types within the previously approved residential development, which will enhance the character of the neighborhood while allowing potential property owners and residents more choices.

Additionally, staff notes that based on the memorandum from the Public Works and Waste Management Department, the approval of the aforementioned request would not generate any new additional daily peak hour trips and therefore would not result in excessive traffic. Their memorandum states that subject to conditions, the application meets the criteria for traffic concurrency for an Initial Development Order. The memorandum from the Division of Environmental Resources Management (DERM) of the Department of Regulatory and Economic Resources (RER) indicates that the approval with conditions of the aforementioned request will not have an unfavorable impact on the environmental resources of the County. Specifically, its memorandum indicates that a review of the application for compliance with the requirements of Chapter 24 of the Code indicated that the Level of Service standards as specified in the CDMP for potable water supply, wastewater disposal and flood protection are valid for this initial development order. Additionally, the Miami-Dade Fire Rescue Department (MDFRD) does not have any objections to the submitted plans.

Therefore, staff opines that the approval of the applicant's request to modify the condition of the prior resolution and allow new two-story single-family residence models would not have a negative aural and visual impact on the surrounding area and would be **compatible** with the area concerned, when considering the necessity and reasonableness of the modification in relation to the present and future development of the area. **Based on the aforementioned analysis and the memoranda from the different departments mentioned above, staff recommends approval with a condition of this application under Section 33-311(A)(7) Generalized Modification Standards.**

ACCESS, CIRCULATION AND PARKING: N/A

NEIGHBORHOOD SERVICES PROVIDER COMMENTS: See attached.

OTHER: N/A

RECOMMENDATION: Approval with conditions.

CONDITION FOR APPROVAL:

That all the conditions of Resolution #CZAB14-1-02 remain in full force and effect, except as herein modified.

ES:MW:NN:CH:JV



Eric Silva, AICP, Developmental Coordinator, *NBN*
Development Services Division
Miami-Dade County
Department of Regulatory and Economic Resources

ZONING RECOMMENDATION ADDENDUM

D. R. Horton, Inc.
Z13-102

NEIGHBORHOOD SERVICES PROVIDER COMMENTS*	
Division of Environmental Resource Management (RER)	No objection
Public Works and Waste Management	No objection
Parks, Recreation and Open Spaces	No objection
Fire Rescue	No objection
Police	No comment
Schools	No objection
*Subject to conditions in their memorandum.	

COMPREHENSIVE DEVELOPMENT MASTER PLAN (CDMP) OBJECTIVES, POLICIES AND INTERPRETATIVE TEXT

Estate Density (Pg. I-31)	<i>The Adopted 2020 and 2030 Land Use Plan designates the subject property as being within the Urban Development Boundary for Estate Density Residential. This density range is typically characterized by detached estates which utilize only a small portion of the total parcel. Clustering, and a variety of housing types may, however, be authorized. The residential densities allowed in this category shall range from a minimum of 1.0 to a maximum of 2.5 dwelling units per gross acre.</i>
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PERTINENT ZONING REQUIREMENTS/STANDARDS

Section 33-311(A)(7) Generalized Modification Standards.	<i>The Board shall hear applications to modify or eliminate any condition or part thereof which has been imposed by any final decision adopted by resolution; and to modify or eliminate any provisions of restrictive covenants, or parts thereof, accepted at public hearing, except as otherwise provided in Section 33-314(C)(3); provided, that the appropriate Board finds after public hearing that the modification or elimination, in the opinion of the Community Zoning Appeals Board, would not generate excessive noise or traffic, tend to create a fire or other equally or greater dangerous hazard, or provoke excessive overcrowding of people, or would not tend to provoke a nuisance, or would not be incompatible with the area concerned, when considering the necessity and reasonableness of the modification or elimination in relation to the present and future development of the area concerned.</i>
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**MIAMI-DADE COUNTY
COMMUNITY ZONING APPEALS BOARD - AREA 14
MOTION SLIP**

#2

APPLICANT'S NAME: D.R. HORTON, INC.

REPRESENTATIVE: Juan Mayol

HEARING NUMBER	HEARING DATE	RESOLUTION NUMBER	
14-5-CZ14-2 (13-102)	May 7, 2014	CZAB14	14

REC: Approve with conditions.

<input type="checkbox"/> WITHDRAW:	<input type="checkbox"/> APPLICATION	<input type="checkbox"/> ITEM(S): _____
<input checked="" type="checkbox"/> DEFER:	<input type="checkbox"/> INDEFINITELY	<input checked="" type="checkbox"/> TO: <u>June 11, 2014</u> <input type="checkbox"/> W/LEAVE TO AMEND
<input type="checkbox"/> DENY:	<input type="checkbox"/> WITH PREJUDICE	<input type="checkbox"/> WITHOUT PREJUDICE
<input type="checkbox"/> ACCEPT PROFFERED COVENANT	<input type="checkbox"/> ACCEPT REVISED PLANS	
<input type="checkbox"/> APPROVE:	<input type="checkbox"/> PER REQUEST	<input type="checkbox"/> PER DEPARTMENT <input type="checkbox"/> PER D.I.C.
	<input type="checkbox"/> WITH CONDITIONS	
<input checked="" type="checkbox"/> NOTE: Deferred item to June 11, 2014 with no re-advertisement. Asked applicant to meet with neighbors regarding the location of the proposed two-story homes next to the existing single-family homes.		

TITLE	M/S	NAME	YES	NO	ABSENT
COUNCILWOMAN		Diane COATS-DAVIS			X
COUNCILMAN		Nehemiah DAVIS	X		
COUNCILMAN		Gary J. DUFEK	X		
VICE CHAIRMAN	M	Curtis LAWRENCE	X		
COUNCILWOMAN	S	Lubby NAVARRO	X		
COUNCILMAN		Neal SPENCER			X
CHAIRMAN		Wilbur B. BELL	X		

VOTE: 5 0

EXHIBITS: YES NO

COUNTY ATTORNEY: Abbie Schwaderer

A. D.R. HORTON, INC
(Applicant)

14-5-CZ14-2 (13-102)
Area 14/District 08
Hearing Date: 06/11/14

Property Owner (if different from applicant) **Same.**

Is there an option to purchase /lease the property predicated on the approval of the zoning request? Yes No

Disclosure of interest form attached? Yes No

Previous Zoning Hearings on the Property:

<u>Year</u>	<u>Applicant</u>	<u>Request</u>	<u>Board</u>	<u>Decision</u>
1976	Bradley R. and Kay Pruitt	- Zone change from (EU-M) to AU. - Variance request setback 48' (50' required) front (East) property line with conditions.	BCC	Approved
2002	Mangrove Development of Miami Inc.	- Zone change from AU to EU-M. - Special Exception to permit site plan approval for a proposed residential development.	C14	Approved with Condition(s)

Action taken today does not constitute a final development order, and one or more concurrency determinations will subsequently be required. Provisional determinations or listings of needed facilities made in association with this Initial Development Order shall not be binding with regard to future decisions to approve or deny an Intermediate or Final Development Order on any grounds.

Memorandum



Date: February 12, 2014

To: Jack Osterholt, Director
Department of Regulatory and Economic Resources

From: Jose Gonzalez, P.E.
Department of Regulatory and Economic Resources 

Subject: BCC #Z2013000102
D.R. Horton Inc.
Southside of SW 184th Street Lying East & West of SW 128th Avenue
Modification of condition #2 of resolution #CZAB14-1092 passed
and adopted by community zoning appeals board #14
(EU-M) (6.84 Acres)
02-56-39

The subject application has been reviewed for compliance with the requirements of Chapter 24 of the Miami-Dade County Code (the Code) and meets the minimum requirements of the Code. Accordingly, the application may be scheduled for public hearing.

Potable Water Service

The subject property is located within the Miami-Dade Water and Sewer Department (MDWASD) water franchised service area. There is a 24-inch distribution water main abutting the property along NW 184th Street and there is 8-inch distribution water main abutting the property along NW 184th Terrace. Said mains are owned and operated by MDWASD.

The source for this water supply is the Alexander Orr Water Treatment Plant, which is owned and operated by MDWASD. This plant has sufficient capacity to provide current water demand. The plant is presently producing water that meets federal, state, and county drinking water standards.

Wastewater Disposal

The subject property is located within MDWASD sanitary sewer franchised service area. There is an existing 24-inch force main that currently abuts the property along NW 184th Street.

The abutting 24-inch force main directs the wastewater flow to the pump station 30-1071 and then to the South District Wastewater Treatment Plant. The South District Wastewater Treatment Plant is owned and operated by MDWASD. At this time the South District Wastewater Treatment Plant has sufficient capacity to treat current discharge.

Civil drawings for the required sewer main extension will need to be approved by MDWASD and the DERM Environmental Wastewater Permitting Section, prior to approval of final development orders.

Stormwater Management

The previously approved Surface Water Management General Permit No. 13-01961-P issued in October 17, 2007 expired; therefore a new Surface Water Management General Permit from DERM shall be required for the construction and operation of the required surface water management system. This permit shall be obtained prior to platting and/or site development, or public works approval of

paving and drainage plans. The applicant is advised to contact the DERM Water Control Section at (305) 372-6681 for further information regarding permitting procedures and requirements.

Stormwater shall be retained on site utilizing properly designed seepage or infiltration drainage system. Drainage plans shall provide for full on-site retention of the stormwater runoff generated by a 5-year / 1-day storm event.

Site grading and development shall provide for the full retention of the 25-year/3-day storm event and shall also comply with the requirements of Chapter 11C of the Code, as well as with all state and federal criteria, and shall not cause flooding of adjacent properties.

Any proposed development shall comply with county and federal flood criteria requirements. The proposed development order, if approved, will not result in a reduction in the LOS standards for flood protection set forth in the CDMP subject to compliance with the conditions required for this proposed development order.

Wetlands

The subject properties do not contain wetlands as defined by Section 24-5 of the Code; therefore, a Class IV Wetlands Permit will not be required.

The applicant is advised that permits from the Army Corps of Engineers (305) 526-7181, the Florida Department of Environmental Protection (561) 681-6600 and the South Florida Water Management District (1-800-432-2045) may be required for the proposed project. It is the applicant's responsibility to contact these agencies.

Natural Forest Communities

The subject properties lie south of an EEL (Environmentally Endangered Lands) property (Larry and Penny Thompson Park) which is a County-designated Natural Forest Community (NFC) pineland. NFC's are upland natural areas (Pine Rockland and Hardwood Hammocks) that, meet one or more of the following criteria: the presence of endangered, threatened, rare or endemic plant species; low percentage of site covered by exotic plant species; high overall plant diversity; wildlife habitat values; and geological features. As such, the tree and understory resources contained in these communities are accorded heightened protection by Section 24-49 of the Code. Be aware that management of the pineland will include the use of periodic prescribed burning, which reduces the threat of wildfire and maintains the ecological integrity of the habitat. Prescribed burning, which may occur as frequently as every three years, is beneficial to wildlife and the rare plant species present in the pineland. Like other developments in the area, the subject properties lie within the potential smoke dispersion corridor. Consequently, the subject properties may be affected by periodic smoke events from prescribed burns or unexpected wildfires. Also, according to the landscape code for Miami-Dade County, controlled species may not be planted within 500 feet of the native plant community. Please refer to the Landscape Manual of the Department of Planning and Zoning for a list of these controlled landscaping plants. Additionally, per Section 24-49.9 of the Code, all prohibited plant species shall be removed from the subject properties prior to development, and their sale, propagation, planting, importation or transportation is prohibited. Please contact Tim Joyner of the DERM Natural Resources Planning Section (305) 372-6548 for further information about the removal of prohibited plants and Cynthia Guerra of the DERM Environmentally Endangered Lands (EEL) Program (305) 372-6687 for information about Larry and Penny Thompson Park.

Tree Preservation

An aerial review performed by staff reveals that tree resources currently exist along the perimeter of the subject project. Tree Removal/Relocation Permit #5048 was issued only for lots 15 and 18 (folios 30-6902-024-0150 and 0180) on January 29, 2014 and expires on January 29, 2016. Be advised that this tree permit does not authorize removal and/or relocation of trees within the other lots included in this project.

Therefore, a new Tree Removal/Relocation Permit or an amendment to Tree Removal/Relocation Permit #5048 is required prior to the removal and/or relocation of trees that are subject to the Tree Preservation and Protection provisions of the Code.

All approved tree removal/relocation, replanting and final inspection (a two weeks notice is required prior to the final inspection) must be completed prior to the scheduled expiration date of Tree Removal/Relocation Permit #5048 in order to avoid violation of permit conditions.

Please contact the Tree Permitting Program at (305) 372-6574 for information regarding tree permits.

Enforcement History

There are no open or closed enforcement records for violations of Chapter 24 of the Code for the subject property.

Concurrency Review Summary

A concurrency review has been conducted for this application and has determined that the same meets all applicable LOS standards for an initial development order, as specified in the adopted CDMP for potable water supply, wastewater disposal, and flood protection. Therefore, the application has been approved for concurrency subject to the comments and conditions contained herein.

This concurrency approval does not constitute a final concurrency statement and is valid only for this initial development order, as provided for in the adopted methodology for concurrency review. Additionally, this approval does not constitute any assurance that the LOS standards would be met by any subsequent development order applications concerning the subject property.

This memorandum shall constitute written approval as required by Chapter 24 of the Code.

If you have any questions concerning the comments or wish to discuss this matter further, please contact Christine Velazquez at (305) 372-6764.

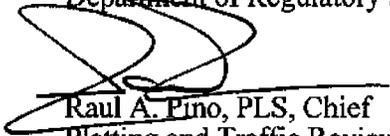
cc: Eric Silva, Department of Regulatory and Economic Resources

Memorandum



Date: January 28, 2014

To: Eric Silva, Assistant Director
Department of Regulatory and Economic Resources

From: 
Raul A. Pino, PLS, Chief
Platting and Traffic Review Section
Department of Regulatory and Economic Resources

Subject: Z2013000102
Name: D.R. Horton, Inc.
Location: South Side of SW 184 Street Lying East & West of SW 128 Avenue
Section 02 Township 56 South Range 39 East

The Department of Regulatory and Economic Resources Platting and Traffic Review Section has reviewed the subject application and has no objections.

This land complies with Chapter 28 of the Miami-Dade County Code. The property is platted as Lots 1 thru 15 and 18 thru 22, Block 1 of Plat Book 162, Page 16.

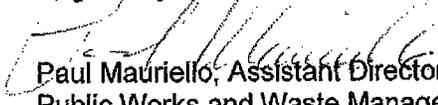
This application does not generate any new additional daily peak hour trips, therefore no vehicle trips have been assigned. This application meets the traffic concurrency criteria set for an Initial Development Order.

Memorandum



Date: November 27, 2013

To: Eric Silva, Assistant Director
Regulatory and Economic Resources Department

From: 
Paul Mauriello, Assistant Director, Waste Operations
Public Works and Waste Management Department

Subject: D.R. Horton, Inc. (#13_102)

The Department's review of the above-referenced item is provided below. Additional comments will be provided as needed. If you should have any questions, please do not hesitate to contact Stacey McDuffie, Manager of the Fiscal Management and Planning Division, at 305-514-6661. **The PWWM has no objections to the proposed application.**

Application: *D.R. Horton, Inc.* is requesting a modification of Resolution No. CZAB14-1-02 to include plans for two-story residential models, on a property zoned Estate Modified, Single Family District (EU-M)

Size: The subject property is 6.84 acres.

Location: The subject property is located on the south side of SW 184th Street, lying east and west of SW 128th Avenue, in Miami-Dade County, Florida.

Analysis:

1. Solid Waste Disposal

The Miami-Dade County Solid Waste Management System consists of both County facilities and private facilities under contract as follows: three Class I landfills (two owned by Waste Management Inc., of Florida) a Class III landfill, a Resources Recovery Facility waste to energy plant and associated ash monofill, and three regional transfer facilities. The Public Works and Waste Management Department (PWWM) does not assess or adjust estimated capacity requirements based on the impacts of individual developments. Instead, the Department maintains sufficient disposal capacity to accommodate five years of waste flows committed to the system through long-term interlocal agreements or contracts with municipalities and private waste haulers and anticipated non-committed waste flows. The latest Concurrency Status Determination issued on September 25, 2013, which is valid for one year, shows sufficient disposal system capacity to exceed the County's adopted level of service (five years of capacity). This determination, which is on file with the Regulatory and Economic Resources Department (formerly the Department of Planning and Zoning) is contingent upon the continued ability of the County to obtain and renew disposal facility operating permits from the Florida Department of Environmental Protection, as needed.

2. Garbage and Trash Collection Services

Pursuant to Chapter 15 of the Miami-Dade County Code (Code), entitled Solid Waste Management, the single family residences on the property meets the County Code definition of residential units. As such, according to the Code, the residential units will receive PWWM waste

collection service. Twice weekly curbside waste collection, twice per year scheduled bulky waste collection service, and unlimited use of the 13 Trash and Recycling Centers are the services currently provided to residential units in the PWWM solid waste collection service area.

3. Recycling

The PWWM provides curbside recycling services to **residential units** located in unincorporated Miami-Dade County through a private contractor. The single stream recycling program currently includes separation of glass, aluminum cans, steel cans, plastic bottles, newspaper and phone books. Further information may be obtained by calling the Department's Public Information & Outreach Division at 305-594-1500 or 305-514-6714.

Applicants are **strongly** advised to incorporate adequate space in their building plans to accommodate the recycling program (i.e. somewhere for residents to store their recycling carts).

4. Waste Storage/Setout Considerations

Section 15-4 of the Code requires that plans for storage and collection of solid waste be adequate before a building permit may be issued. Site plans must address location, accessibility, number and adequacy of solid waste collection and storage facilities. The site plan legend must contain the following statement: "Facilities for the collection and storage of solid waste are shown in accordance with Section 15-4 of the Miami-Dade County Code."

5. Site Circulation Considerations

It is required that development plans associated with this project incorporate at least one of the following traffic circulation criteria to minimize the reversing of waste vehicles and hence, provide for the safe circulation of service vehicles:

- a. Cul-de-sac with a minimum 49 foot turning radius (no "dead-ends")
- b. "T" shaped turnaround 60 feet long by 10 feet wide
- c. Paved throughway of adequate width (minimum 15 feet)

In addition, any and all alleyways designed with utilities, including waste collection, provided at the rear of the property should be planned in accordance with standard street specifications with sufficient width and turning radii to permit large vehicle access. Additionally, there should be no "dead-end" alleyways developed. Also, a sufficient waste set-out zone should be preserved (between the edge of the pavement and any possible obstructions such as parked cars, fencing, etc.,) that would interrupt or preclude waste collection.

Memorandum



Date: December 9, 2013

To: Jack Osterholt, Deputy Mayor
Director, Regulatory and Economic Resources Department

From: Maria I. Nardi, Chief *M. I.*
Planning and Research Division
Parks, Recreation and Open Spaces Department

Subject: Z2013000102: D.R. HORTON, INC

Application Name: D.R. HORTON, INC

Project Location: The site is located at the south side of SW 184 ST LYING EAST & WEST of SW128 Ave, Miami-Dade County.

Proposed Development: The applicant is requesting approval for a modification of plans to permit two-story residential units. No additional more units are proposed than currently permitted.

Impact and demand: This application does not generate any additional residential population, and therefore the CDMP Open Space Spatial Standards do not apply.

Recommendation: PROS has no pertinent comments for this application concerning impact or demand on existing County parks, proposed or budgeted service expansion, nor do we perform a concurrency review. Based on our findings described herein **PROS HAS NO OBJECTION TO THIS APPLICATION.**

If you need additional information or clarification on this matter, please contact John Bowers at (305) 755-5447.

MN:jb

Cc: John M. Bowers



Memorandum

Date: 24-JAN-14
To: Jack Osterholt, Director
 Department of Regulatory and Economic Resources
From: Dave Downey, Fire Chief
 Miami-Dade Fire Rescue Department
Subject: Z2013000102

Fire Prevention Unit:

Rev No.1: No objection to the site plan dated stamp received 11/7/13.

Service Impact/Demand

Development for the above Z2013000102
 located at Lying west of SW 127 Ave & lying on both sides of SW 184 ST, MIAMI-DADE COUNTY, FLORIDA.
 in Police Grid 2200 is proposed as the following:

<u>20</u> residential	dwelling units	<u> </u> industrial	square feet
<u> </u>	square feet	<u> </u> institutional	square feet
<u>Office</u>		<u> </u> nursing home/hospitals	square feet
<u> </u> Retail	square feet		

Based on this development information, estimated service impact is: 5.6 alarms-annually.
 The estimated average travel time is: 5:00 minutes

Existing services

The Fire station responding to an alarm in the proposed development will be:
 Station 52 - South Miami Heights - 12105 Quail Roost Dr
 Rescue, ALS Tanker, Battalion

Planned Service Expansions:

The following stations/units are planned in the vicinity of this development:
 None

Fire Planning Additional Comments

None

For information regarding the aforementioned comments, please contact the Miami-Dade Fire Rescue Department Planning Section at 786-331-4540.

DATE: 25-MAR-14

BUILDING AND NEIGHBORHOOD
COMPLIANCE DEPARTMENT

ENFORCEMENT HISTORY OF VIOLATIONS OF CHAPTER 19 AND
CHAPTER 33 OF THE MIAMI-DADE COUNTY CODE

D. R. HORTON, INC

Lying west of SW 127 Ave & lying on
both sides of SW 184 ST, MIAMI-
DADE COUNTY, FLORIDA.

APPLICANT

ADDRESS

Z2013000102

HEARING NUMBER

HISTORY:

NC OPEN: THERE ARE NO CURRENT OPEN NEIGHBORHOOD REGULATIONS CASES

NC CLOSED:

CASE #201101004215, WAS OPENED ON MAY 26, 2011, FOR FAILURE TO PERFORM LOT MAINTENANCE IN A RESIDENTIAL DISTRICT [OVERGROWTH OF GRASS AND WEEDS]. A WARNING LETTER WAS ISSUED ON JUNE 3, 2011. CIVIL VIOLATION NOTICE # T015967, WAS ISSUED ON JUNE 21, 2011, FOR NON-COMPLIANCE. THE VIOLATION WAS CORRECTED. THE CASE WAS FORWARDED TO THE LIEN/COLLECTIONS DEPARTMENT FOR THE NON-PAYMENT OF THE CITATION. THE LIEN/PAYMENT PLAN WAS SATISFIED AND THE CASE HAS BEEN CLOSED.

CASE #201201006351, WAS OPENED ON SEPTEMBER 27, 2012, FOR FAILURE TO PERFORM LOT MAINTENANCE IN A RESIDENTIAL AREA [OVERGROWTH OF GRASS AND WEEDS]. CIVIL VIOLATION NOTICE #T030820, WAS ISSUED THE SAME DAY AS THIS IS A REPEAT VIOLATION. THE VIOLATION WAS CORRECTED. THE CITATION WAS CLOSED BY THE DEPARTMENT DUE TO OWNERSHIP CHANGE.

BLDG: THERE ARE NO CURRENT OPEN OR CLOSED BUILDING SUPPORT REGULATIONS CASES

D.R. HORTON, INC

**OUTSTANDING FINES, PENALTIES, COST OR LIENS
INCURRED PURSUANT TO CHAPTER 8CC:**

DISCLOSURE OF INTEREST*

RECEIVED
MIAMI-DADE COUNTY
PROCESS # 213-102
DATE NOV 07 2013
BY: DAH

ION owns or leases the subject property, list principal, stockholders and percent of stock owned by each. [Note: Where principal officers or stockholders consist of other corporation(s), trust(s), partnership(s) or further disclosure shall be made to identify the natural persons having the ultimate ownership]

CORPORATION NAME: D. R. Horton, Inc.

NAME AND ADDRESS:

Percentage of
Stock

*DR HORTON, INC. is a publicly owned corporation with stock registered with the Federal Securities and Exchange Commission which stock is regularly traded on the New York Stock Exchange as NYSE: DHI, an established securities market in the United States.

100%

If a **TRUST** or **ESTATE** owns or leases the subject property, list the trust beneficiaries and percent of interest held by each. [Note: Where beneficiaries are other than natural persons, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

TRUST/ESTATE NAME: _____

NAME AND ADDRESS

Percentage of Interest

If a **PARTNERSHIP** owns or leases the subject property, list the principals including general and limited partners. [Note: Where partner(s) consist of other partnership(s), corporation(s), trust(s) or similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interests].

PARTNERSHIP OR LIMITED PARTNERSHIP NAME: _____

NAME AND ADDRESS

Percentage of Ownership

RECEIVED
213-102
NOV 07 2013

ZONING HEARINGS SECTION
MIAMI-DADE PLANNING AND ZONING DEPT.

BY _____

If there is a **CONTRACT FOR PURCHASE** by a Corporation, Trust or Partnership, list purchasers below including principal officers, stockholders, beneficiaries or partners. [Note: Where principal officers, stockholders, and partners consist of other corporations, trusts, partnerships or similar entities, further disclosure shall be made to identify natural persons having ultimate ownership interests].

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MIAMI-DADE COUNTY
PROCESS #: Z13-102
DATE: NOV 07 2013
BY: DAH

CHASER: _____
NAME AND ADDRESS (if applicable) _____
Percentage of Interest _____

Date of contract: _____

If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership or trust:

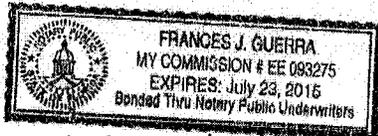
NOTICE: For changes of ownership or changes in purchase contracts after the date of the application, but prior to the date of final public hearing, a supplemental disclosure of interest is required.

The above is a full disclosure of all parties of interest in this application to the best of my knowledge and belief.

Signature: *[Handwritten Signature]*

Sworn to and subscribed before me this 30 day of October, 2013. Affiant is personally known to me or has produced _____ as identification.

Frances J. Guerra
(Notary Public)



My commission expires _____

*Disclosure shall not be required of: 1) any entity, the equity interests in which are regularly traded on an established securities market in the United States or another country; or 2) pension funds or pension trusts of more than five thousand (5,000) ownership interests; or 3) any entity where ownership interests are held in a partnership, corporation or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership and where no one (1) person or entity holds more than a total of five per cent (5%) of the ownership interest in the partnership, corporation or trust. Entities whose ownership interests are held in a partnership, corporation, or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership, shall only be required to disclose those ownership interest which exceed five (5) percent of the ownership interest in the partnership, corporation or trust.

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Z13-102
NOV 07 2013

ZONING HEARINGS SECTION
MIAMI-DADE PLANNING AND ZONING DEPT.
BY *[Handwritten Signature]*

RECEIVED

MIAMI-DADE COUNTY
PROCESS #: Z13-102
DATE: NOV 07 2013
BY: DAH

EXHIBIT "B"

D. R. Horton, Inc. / Folio Numbers

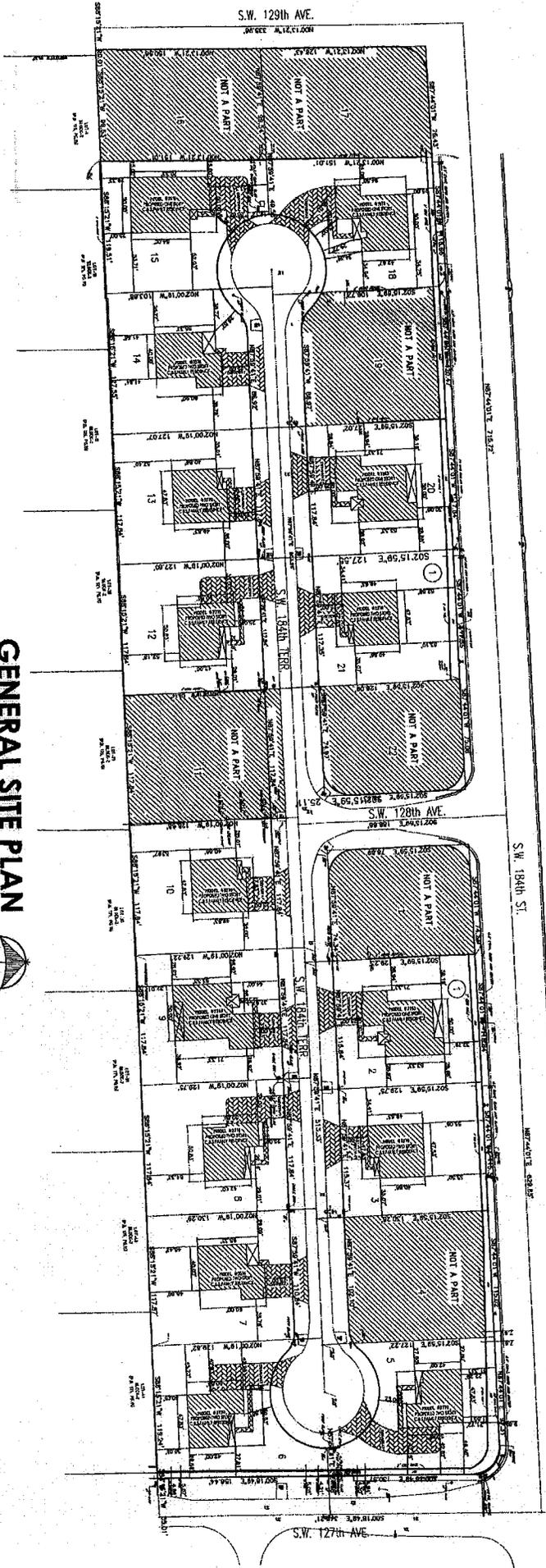
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- 30-6902-024-0150
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- 30-6902-024-0120
- 30-6902-024-0100
- 30-6902-024-0020
- 30-6902-024-0090
- 30-6902-024-0030
- 30-6902-024-0080
- 30-6902-024-0070
- 30-6902-024-0050
- 30-6902-024-0060

- 30-6902-024-0190*
- 30-6902-024-0220*
- 30-6902-024-0110*
- 30-6902-024-0010*
- 30-6902-024-0040*

* Lots under different ownership included in the application as subject property. D. R. Horton owns 76.2% (75% minimum required) of the property described in the application.

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Z13-102
NOV 07 2013

ZONING HEARINGS SECTION
MIAMI-DADE PLANNING AND ZONING DEPT.
BY _____



GENERAL SITE PLAN

SCALE = 1:50



RECEIVED
 NOV 07 2013

ZONING HEARING SECTION
 MIAMI-DADE PLANNING AND ZONING DEPT.
 BY _____

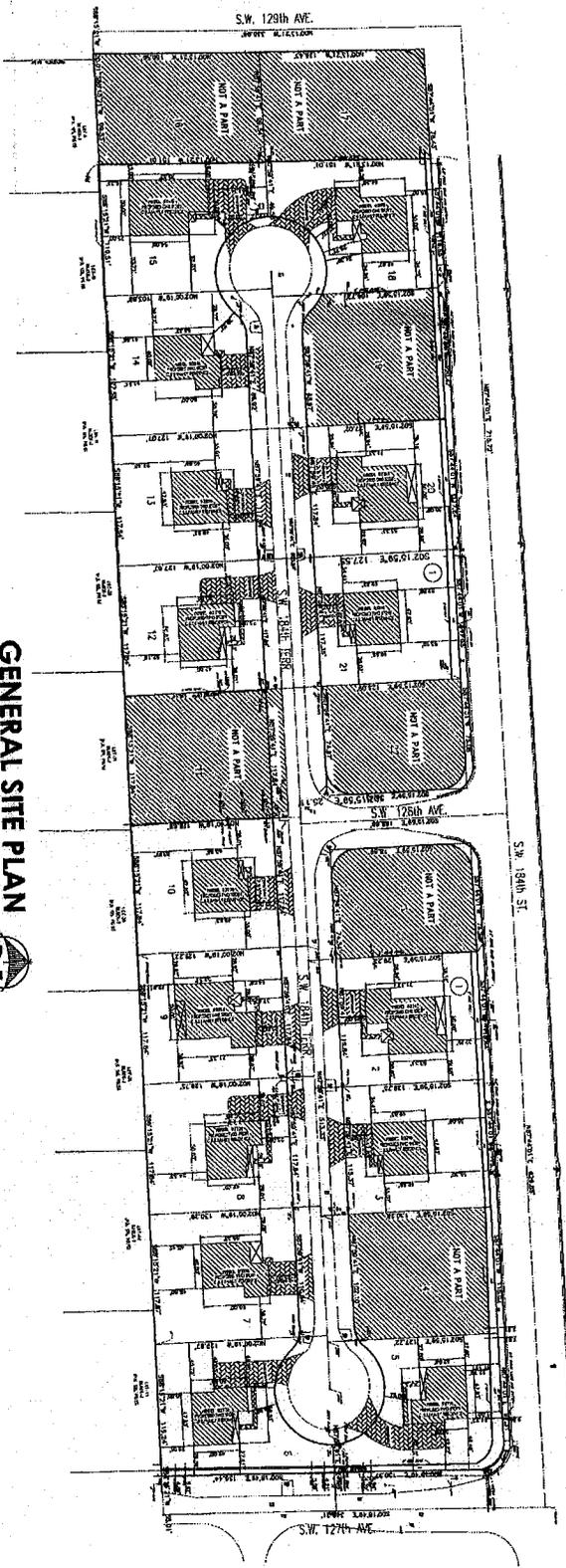
ENLARGED SITE PLAN

RECEIVED
 11/07/2013
 ZONING HEARING SECTION
 MIAMI-DADE PLANNING AND ZONING DEPT.

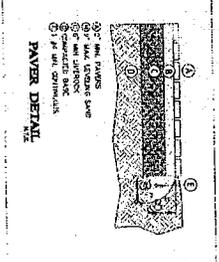
NO.	DESCRIPTION	AMOUNT	TOTAL
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2	RECORDING FEE	1,000.00	2,000.00
3	RECORDING FEE	1,000.00	3,000.00
4	RECORDING FEE	1,000.00	4,000.00
5	RECORDING FEE	1,000.00	5,000.00
6	RECORDING FEE	1,000.00	6,000.00
7	RECORDING FEE	1,000.00	7,000.00
8	RECORDING FEE	1,000.00	8,000.00
9	RECORDING FEE	1,000.00	9,000.00
10	RECORDING FEE	1,000.00	10,000.00
11	RECORDING FEE	1,000.00	11,000.00
12	RECORDING FEE	1,000.00	12,000.00
13	RECORDING FEE	1,000.00	13,000.00
14	RECORDING FEE	1,000.00	14,000.00
15	RECORDING FEE	1,000.00	15,000.00
16	RECORDING FEE	1,000.00	16,000.00
17	RECORDING FEE	1,000.00	17,000.00
18	RECORDING FEE	1,000.00	18,000.00
19	RECORDING FEE	1,000.00	19,000.00
20	RECORDING FEE	1,000.00	20,000.00
21	RECORDING FEE	1,000.00	21,000.00
22	RECORDING FEE	1,000.00	22,000.00
23	RECORDING FEE	1,000.00	23,000.00
24	RECORDING FEE	1,000.00	24,000.00
25	RECORDING FEE	1,000.00	25,000.00
26	RECORDING FEE	1,000.00	26,000.00
27	RECORDING FEE	1,000.00	27,000.00
28	RECORDING FEE	1,000.00	28,000.00
29	RECORDING FEE	1,000.00	29,000.00
30	RECORDING FEE	1,000.00	30,000.00

GENERAL SITE PLAN

SCALE = 1/8" = 1'-0"



Site Plan Note:
 This general site plan is an example of a possible layout. The model at each lot will be selected based on clients request.

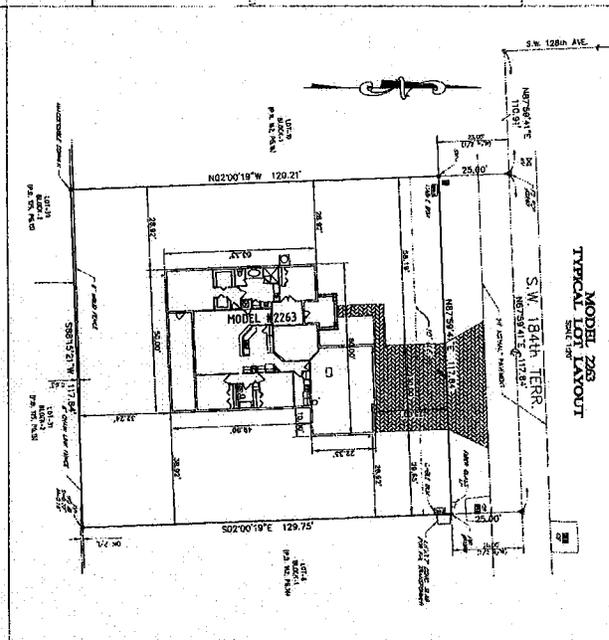
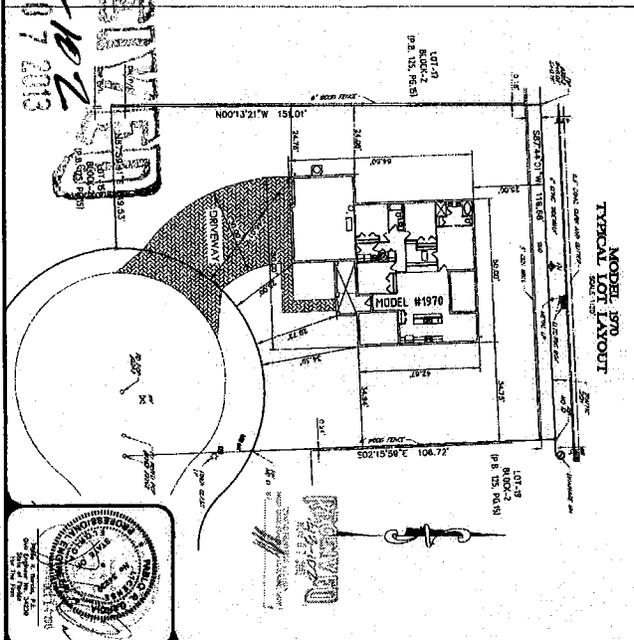
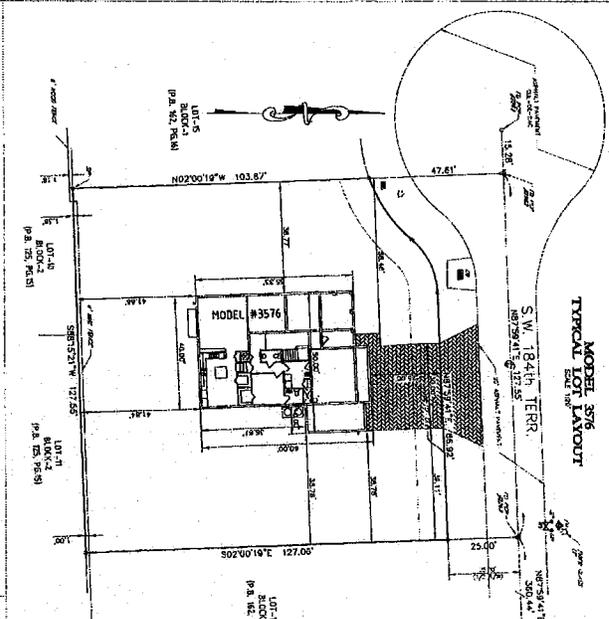
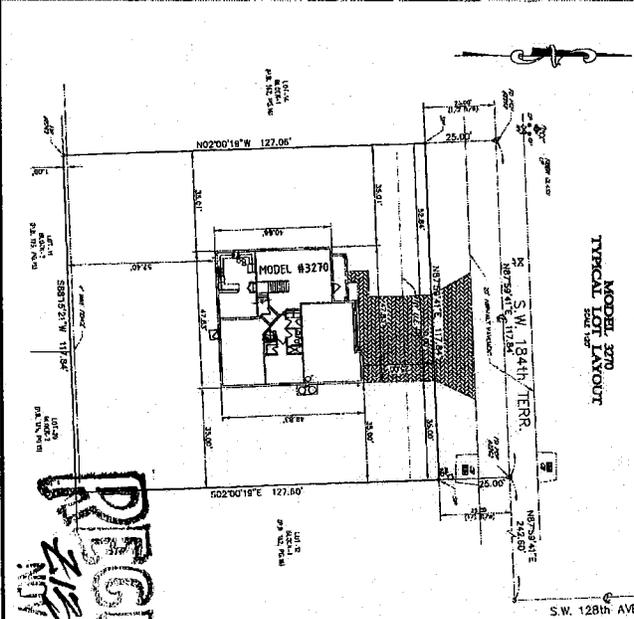
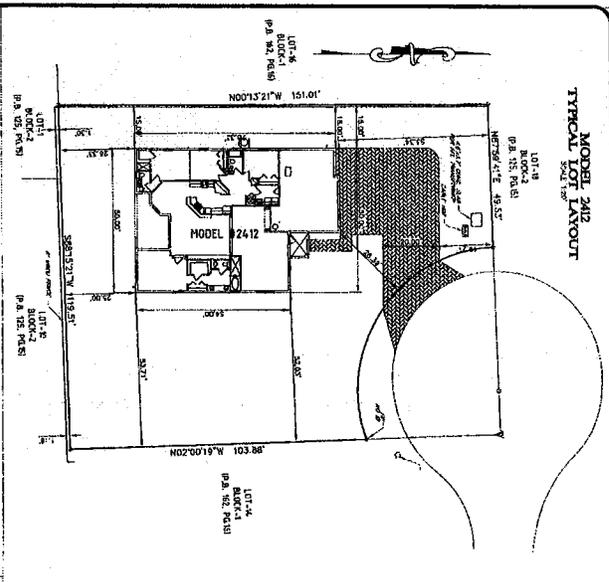
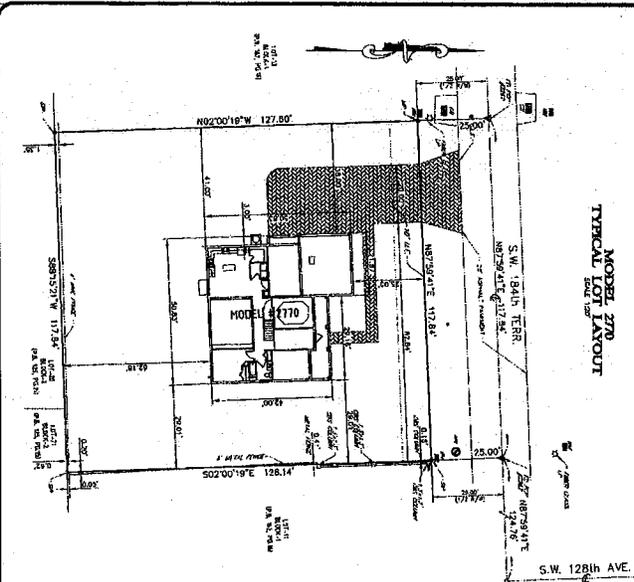


LEGAL DESCRIPTION:
 LOTS 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.



TRI-COUNTY ENGINEERING, INC.
 ENGINEERS ARCHITECTS SURVEYORS & MAPPERS
 California: EB-8706, AA-2777, LB-8507 State of Florida
 7729 N.W. 146th St. Ph: (305) 823-3737
 Miami Lakes, Florida 33016 Fax: (305) 823-3172

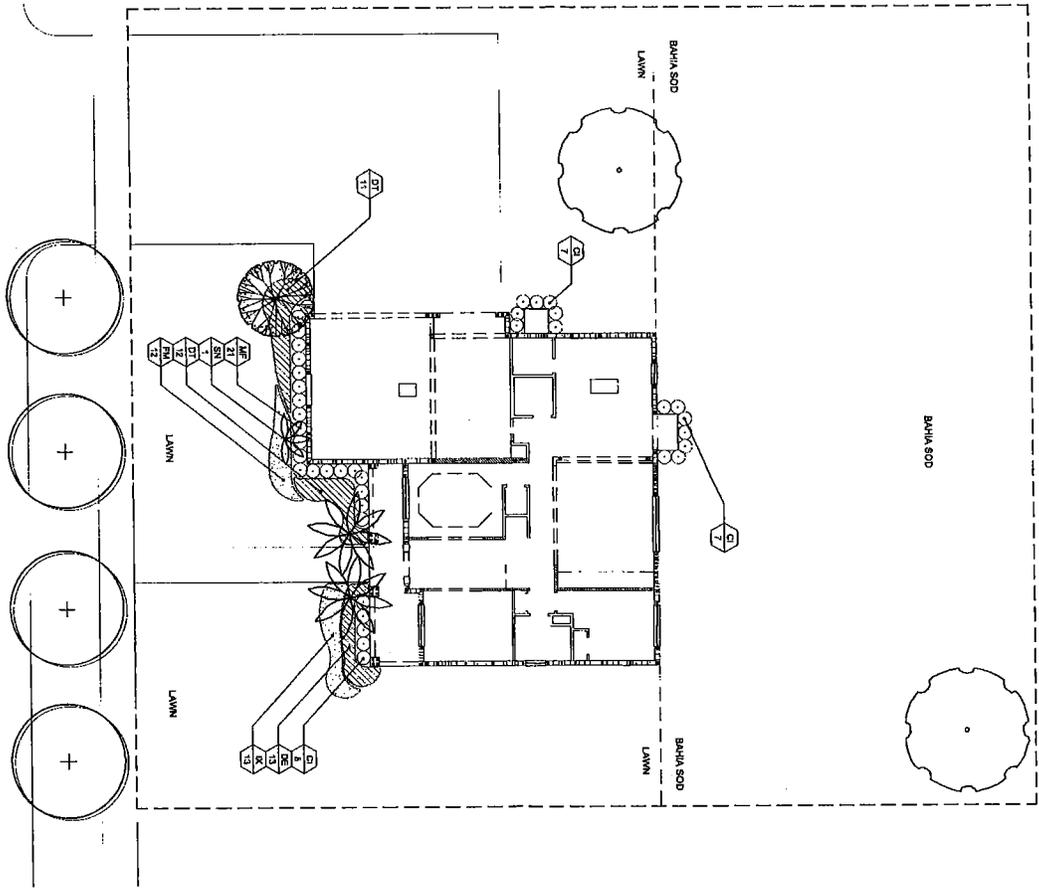
Project Name:	GENERAL SITE PLAN, PALMA VISTA	Desg	No.	DATE	BY	APRV	REVISION DESCRIPTION
Owner / Ph:	G.R. HORTON Ph: 854-949-3084	Dwn	△				
Address:	1246 S. Military Trail Suite 100 Deerfield, FL 33442	Child	△				
Project Add:	Vicinity of SW 184th St. And 128th Ave. West	Appr	△				
		Date	△	10/08/2013			



	TRI-COUNTY ENGINEERING, Inc. ENGINEERS ARCHITECTS SURVEYORS & MAPPERS Certificate: EP-6704, AA-2777, LP-6057 State of Florida 7729 N.W. 148th St. Miami Lakes, Florida 33018 Ph: (305) 823-3737 Fax: (305) 823-3172	Project Name: GENERAL SITE PLAN, PALMA VISTA Diner / Ph: D.J. HORTON Ph: 854-849-3204 Address: 1245 S. Military Trail Suite #100 Overfield, FL 33442 Project Add: Vicinity of SW 184th St. And 128th Ave. West	Desg: S.P. Draw: J.L. Chkd: J.L. Apprv: J.L. Date: 10/08/2013	No. DATE BY APRV REVISION DESCRIPTION 1 10/08/2013 J.L. J.L.	
	Scale: 1/8" = 1'-0" Sheet: SP-2 2 of 2	1310942	10/08/2013	10/08/2013	10/08/2013
		1310942	10/08/2013	10/08/2013	10/08/2013
		1310942	10/08/2013	10/08/2013	10/08/2013
		1310942	10/08/2013	10/08/2013	10/08/2013

RECEIVED
 10/17/2013
 ZONING HEARINGS SECTION
 MIAMI-DADE PLANNING AND ZONING DEPT.
 BY

LANDSCAPE PLAN
Scale: 1"=8'-0"



LANDSCAPE LIST

SYMBOL	QUANTITY	DESCRIPTION	REMARKS
1	1	1" H x 6" W x 2' L O.C.	
2	2	CONCRETE RETAINING WALL	
3	1	1" H x 6" W x 2' L O.C.	
4	4	1" H x 6" W x 2' L O.C.	
5	1	1" H x 6" W x 2' L O.C.	
6	1	1" H x 6" W x 2' L O.C.	
7	1	1" H x 6" W x 2' L O.C.	
8	1	1" H x 6" W x 2' L O.C.	
9	1	1" H x 6" W x 2' L O.C.	
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11	1	1" H x 6" W x 2' L O.C.	
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13	1	1" H x 6" W x 2' L O.C.	
14	1	1" H x 6" W x 2' L O.C.	
15	1	1" H x 6" W x 2' L O.C.	
16	1	1" H x 6" W x 2' L O.C.	
17	1	1" H x 6" W x 2' L O.C.	
18	1	1" H x 6" W x 2' L O.C.	
19	1	1" H x 6" W x 2' L O.C.	
20	1	1" H x 6" W x 2' L O.C.	
21	1	1" H x 6" W x 2' L O.C.	

LANDSCAPE LEGEND Information Required to be Furnished to the Permitting Authority

Zoning District: R-1M

Map: 1/2" = 1' - 0"

Scale: 1" = 8' - 0"

DATE: 07/10/13

PROJECT: PALM VISTA

LOCATION: MIAMI-DADE COUNTY, FLORIDA

LANDSCAPE PLAN

REQUIREMENTS:

A. Square Foot of Open Space Required by Chapter 22, as indicated on the plan: _____

B. Square Foot of Existing or Proposed Open Space Required by Chapter 22: _____

C. Total Square Foot of Open Space Required by Chapter 22: _____

D. Total Square Foot of Existing or Proposed Open Space Required by Chapter 22: _____

E. Total Square Foot of Open Space Provided by Chapter 22: _____

F. Total Square Foot of Open Space Provided by Chapter 22: _____

G. Total Square Foot of Open Space Provided by Chapter 22: _____

H. Total Square Foot of Open Space Provided by Chapter 22: _____

I. Total Square Foot of Open Space Provided by Chapter 22: _____

J. Total Square Foot of Open Space Provided by Chapter 22: _____

K. Total Square Foot of Open Space Provided by Chapter 22: _____

L. Total Square Foot of Open Space Provided by Chapter 22: _____

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N. Total Square Foot of Open Space Provided by Chapter 22: _____

O. Total Square Foot of Open Space Provided by Chapter 22: _____

P. Total Square Foot of Open Space Provided by Chapter 22: _____

Q. Total Square Foot of Open Space Provided by Chapter 22: _____

R. Total Square Foot of Open Space Provided by Chapter 22: _____

S. Total Square Foot of Open Space Provided by Chapter 22: _____

T. Total Square Foot of Open Space Provided by Chapter 22: _____

U. Total Square Foot of Open Space Provided by Chapter 22: _____

V. Total Square Foot of Open Space Provided by Chapter 22: _____

W. Total Square Foot of Open Space Provided by Chapter 22: _____

X. Total Square Foot of Open Space Provided by Chapter 22: _____

Y. Total Square Foot of Open Space Provided by Chapter 22: _____

Z. Total Square Foot of Open Space Provided by Chapter 22: _____

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NOV 07 2013

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NOV 07 2013

ZONING REVIEW BOARD
MIAMI-DADE COUNTY
NOV 07 2013

L-5

REVISION

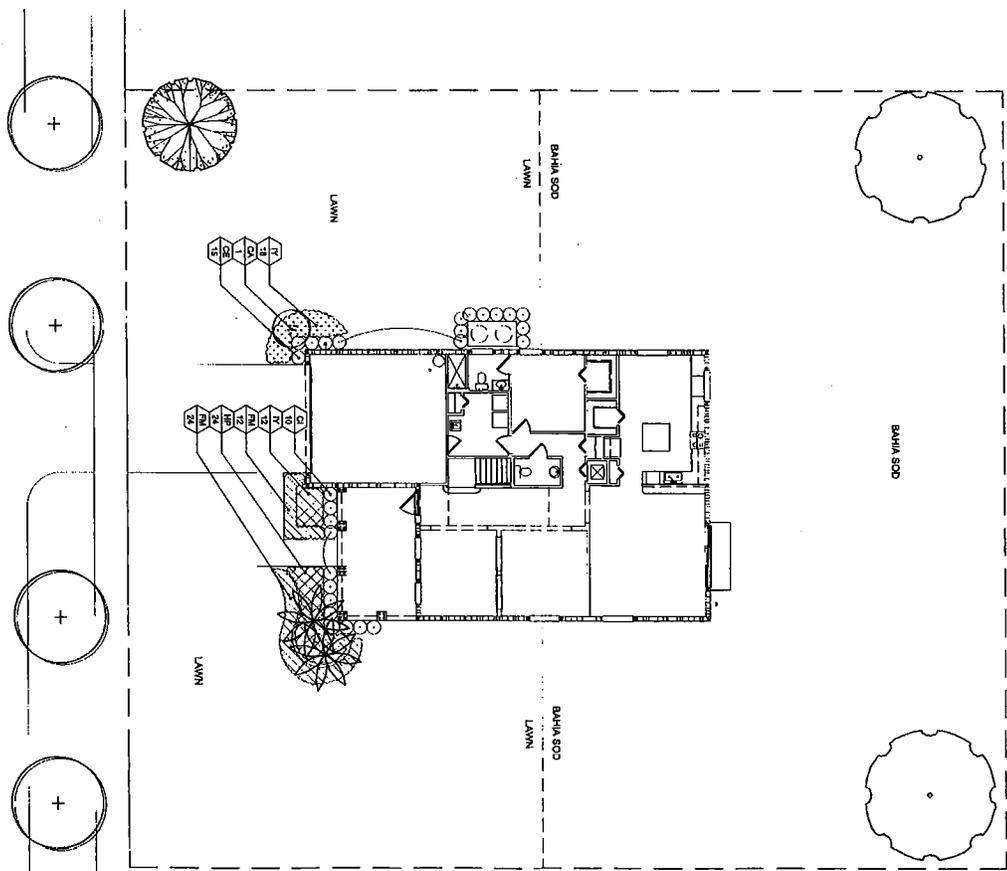
Project:

PALM VISTA
Miami-Dade County, Florida
LANDSCAPE PLAN

WITKIN HULTS DESIGN GROUP
3900 SW 15th Street, Suite 100, Miami, FL 33135
Phone: 305.857.8881 Fax: 305.857.8880
www.witkinhults.com

LANDSCAPE PLAN

Scale: 1/8"=1'-0"



LANDSCAPE LIST

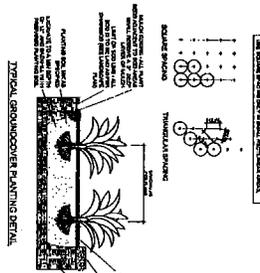
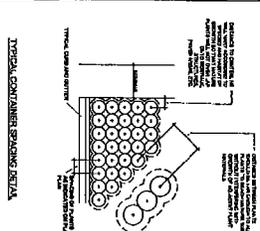
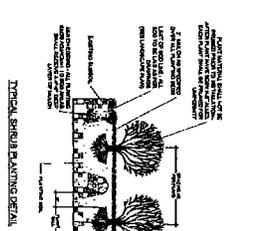
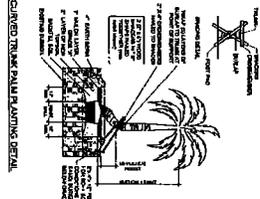
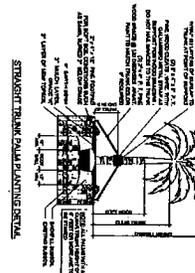
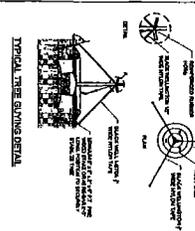
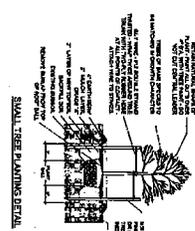
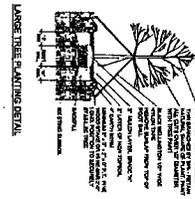
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 ZONING HEARING'S SECTION
 MIAMI-DADE PLANNING AND ZONING DEPT.
 BY [Signature]
 NOV 07 2013

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 [Signature]

<p>WITKIN HULST DESIGN GROUP 207 South 21st Avenue, Suite 200 Miami, FL 33135 Phone: 305.375.1111 Fax: 305.375.1112 www.witkin-hulst.com</p>	<p>PALM VISTA Miami-Dade County, Florida LANDSCAPE PLAN</p>	<p>Project: _____ Date: _____ Designer: _____ Checker: _____ Scale: _____</p>	<p>By: [Signature] Title: _____ Date: _____</p>	<p>Call No. 2013-100 L-7</p>
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PLANTING NOTES:

- All plant material is to be Florida Number 1 or better pursuant to the Florida Department of Agriculture's Grades and Standards for Nursery Plants.
- All plants are to be top dressed with a minimum 3" layer of Mulchcom muck. Escalopine muck or equal.
- Planting plans shall take precedence over plant list in case of discrepancy.
- No changes are to be made without the prior consent of the Landscape Architect and Owner. Additions and or deletions to the plant material must be approved by the project engineer.
- Landscape Contractor is responsible for providing their own square footage takeoffs and flag verification for 100% and coverage for all areas specified.
- All landscape areas are to be provided with automatic sprinkler system which provide 100% coverage, and 50% overlap.
- All trees in lawn areas are to receive a 24" diameter mulched saucer at the base of the trunk.
- Trees are to be planted within parking islands after soil is brought up to grade. Deeply set root balls are not acceptable.
- Planting soil for tropical and hardy shall be 50/50 mix, manmade mix. Planting soil for sexual beds to be composed of 50% Canadian peat moss, 25% soil free coarse sand and 25% vermiculite.
- Tree and shrub pit will be supplemented with "Hydromix Plus", 21 gram size with a 20-10-5 analysis, or substitute application accepted by Landscape Architect. Owner to manufacturer's standard container showing weight, analysis and name of manufacturer.

SOD NOTES:

- Sod is to be grade 1/2" weed free.
- All areas marked "LAWN" shall be sod seeded with St. Augustine "Florant" sod. See list on plan. All areas marked "SOD GRASS" shall be sod seeded with "Turfgrass".
- Provide a 2" deep bed of planting soil as described in planting notes (the sheet, prior to planting, remove stones, sticks, etc. from the sub soil surface. Excavate existing non-conforming soil as required to level the finish grade of sod is flush with adjacent pavement or top of curb as well as adjacent sod in the case of sod patches).
- Place sod on moistened soil with edges tightly butted, in staggered rows at right angles to slopes.
- Keep edge of sod bed a minimum of 1" away from groundwater table and 24" away from edge of shrub bed and 36" away from trees, measured from center of plant.
- Sod shall be watered immediately after installation to uniformly wet the soil to at least 2" below the bottom of the sod edges.
- Excavate and remove excess soil so top of sod is flush with top of curb or adjacent pavement or adjacent existing sod.

GENERAL NOTES:

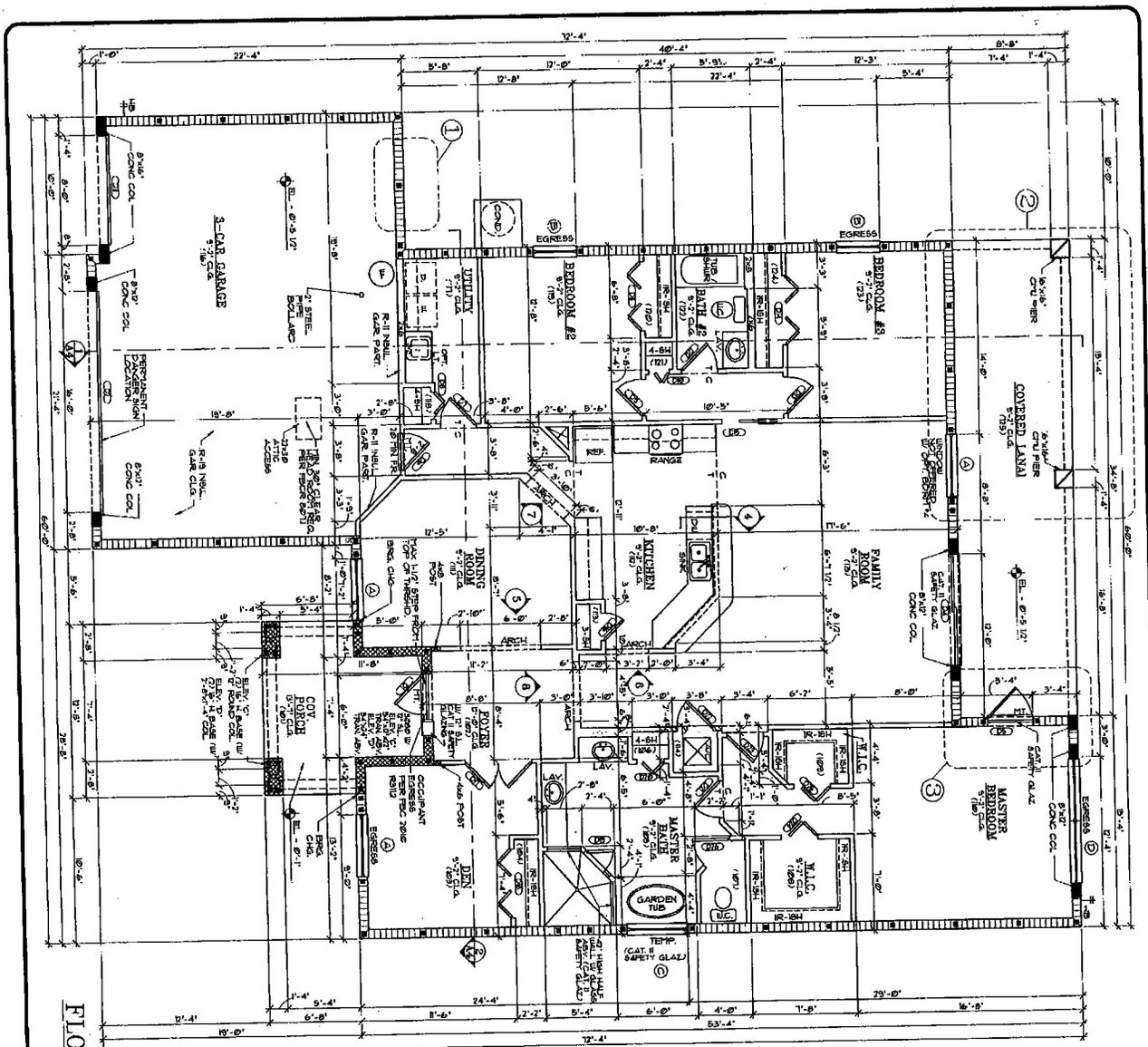
- The Landscape Contractor is to locate and verify all underground and overhead utilities prior to beginning work. Contact proper utility companies and/or General Contractor prior to digging for field verification. The Owner and the Landscape Architect shall not be responsible for any damages to utility or irrigation lines (see Roadway Plans for more utility notes).
- Landscape Contractor is to verify all current drawings and check for discrepancies and bring to the attention of the Landscape Architect prior to commencing with the work.
- All unwatered and unpruned tree pits are to be properly banded and flagged during installation.
- All planting plans are issued as drawings by the Landscape Architect. It is the responsibility of the Landscape Contractor to verify the location of the Landscape Architect's work.

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ZONING HEARINGS SECTION
MIAMI-DADE PLANNING AND ZONING DEPT.
BY _____

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NOV 11 2013
L-8
Landscape Architect
Landscape Contractor
Date: 11/07/2013

Project: PALM VISTA
Miami-Dade County, Florida
LANDSCAPE DETAILS

W H
D
WITKIN HULTS
DESIGN GROUP
307 South 2nd Avenue, Hollywood, Florida
Phone: 954-883-8881 Fax: 954-883-8882
www.witkins.com



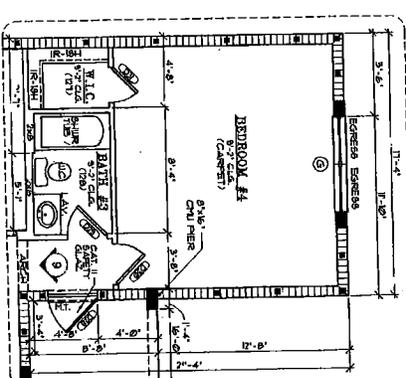
FLOOR PLAN

OPT. SRVC DR
① FLOOR PLAN

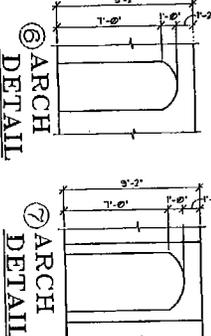
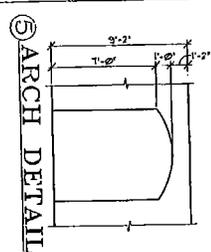
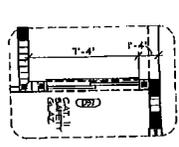
SQ. FT. CALC'S	
LIVING	2169 SQ. FT.
OPT. LIVING W/ SPORT. #4	2633 SQ. FT.
COVERED PORCH	01 SQ. FT.
COVERED LAUNAI	360 SQ. FT.
COVERED LAUNAI W/ SPORT. #4	199 SQ. FT.
GARAGE	636 SQ. FT.
TOTAL	3300 SQ. FT.
COVERED	3600 SQ. FT.

EXTERIOR FINISHES
 5'-2" BRICK
 13'-1" STUCCO
 ALL SIDES TO BE 6'-0" TALL UNLESS NOTED OTHERWISE

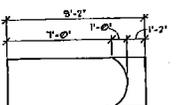
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OPT. S.G.D.
③ MSTR BDRM



⑧ ARCH DETAIL OPT. BEDROOM #4



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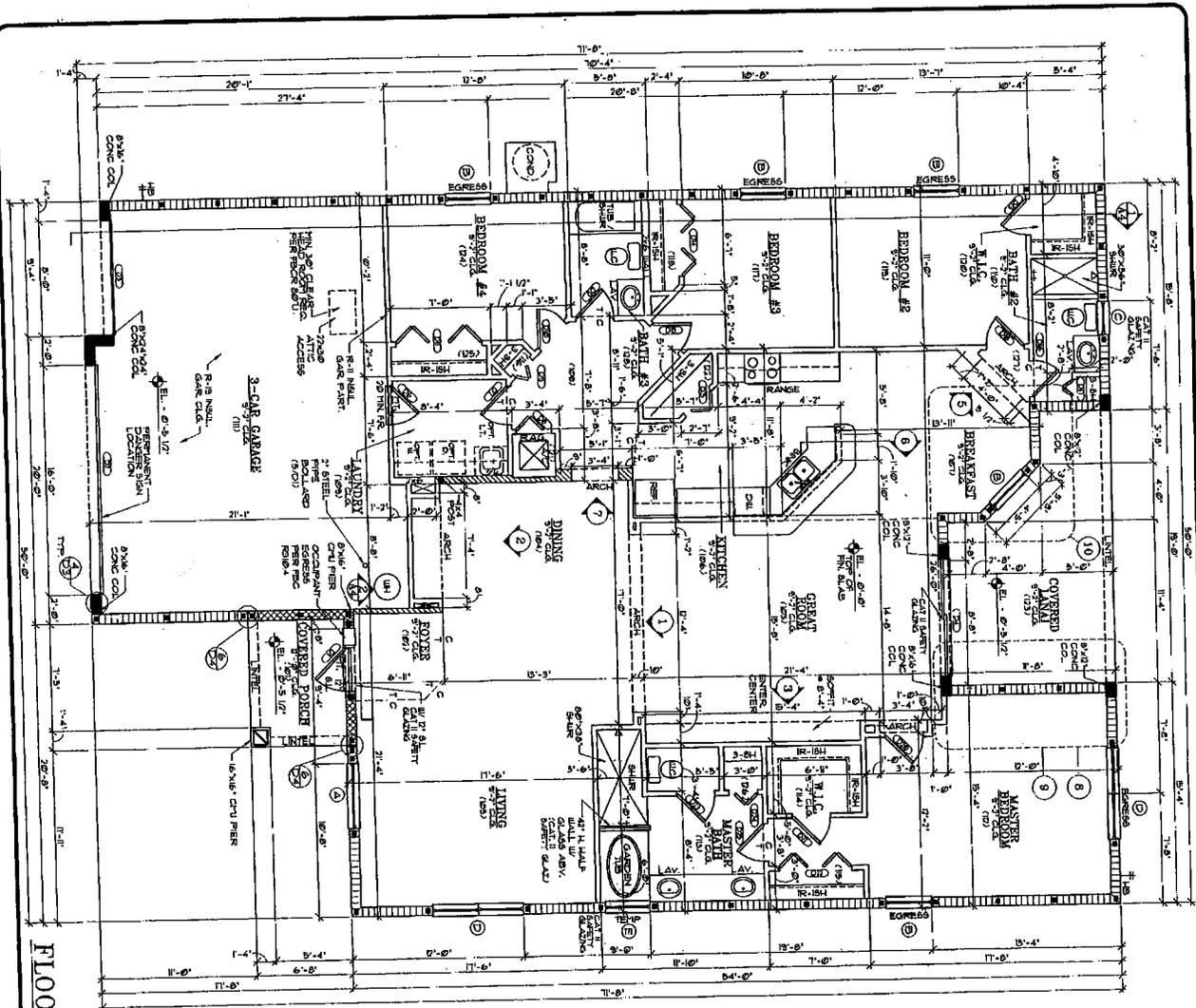
ZONING HEARINGS SECTION
 MIAMI-DADE PLANNING & ZONING DEPT.
 BY _____

ARCHITECT
 STATE OF FLORIDA
 AYN 000000
 N. Huddle
 SP 210 818
 LICENSE NUMBER
 00000000000000000000
 DATE 09/19/13
 SCALE 1/4" = 1'-0"
 SHEET A1 OF

PROJECT #
 02438.002
 MODEL
 "2263"
 GARAGE SWING:
 LEFT
 7' X 8' 0"

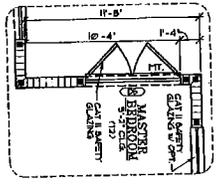
D.R. HORTON
 American Builder
 www.drhorton.com
 407.714.6078
 1401 NW 14th St
 Ft. Lauderdale, FL 33304
 A6-00000000

ARCHITECTS
Design Group
 1401 NW 14th St
 Ft. Lauderdale, FL 33304
 407.714.6078
 A6-00000000

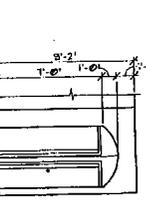


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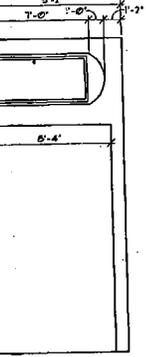
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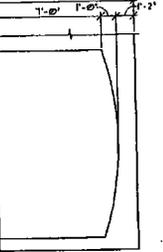
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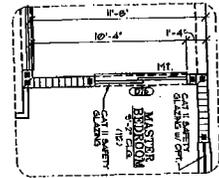
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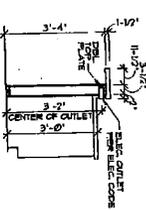
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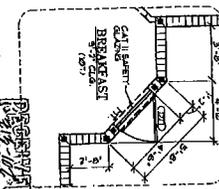
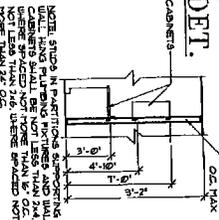
OPT. ARCH DET.



BAR DETAIL



CABINET DETAIL



ARCH DETAIL

	SQ. FT.	CAI.C.'S
LIVING	240	56 FT.
COVERED PORCH	43	50 FT.
3 CAR GARAGE	400	50 FT.
COVERED LAVAL	19	50 FT.
TOTAL	282	50 FT.

TRACER / ROOF
 WALLS
 DETAIL TO BE
 SHOWN ON PLANS
 PER ARCHITECT'S
 REQUIREMENTS
 UNLESS NOTED
 OTHERWISE

ZONING HEARING
 MIAMI-DADE PLANNING AND ZONING DEPT.
 BY

PROJECT
 NOV 7 2013

DATE: 09/18/13
 SCALE: 1/4" = 1'-0"
 SHEET: A1 OF

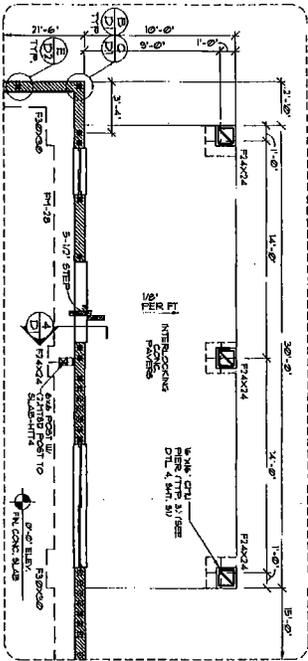
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 STATE OF FLORIDA
 ARCH. NO. 000524

PROJECT NO.
 2412
 GARAGE SWING
 LEFT

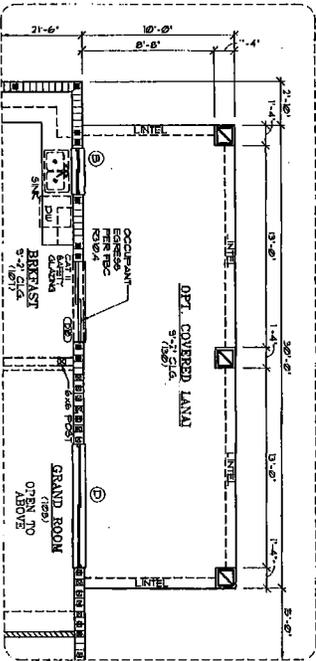
SUBDIV. & LOTS
 PALMA
 VISTA

D.R. HORTON
 American's Builder
 www.drhorton.com

Design Group
 4441 N. RONALD REAGAN BLVD.
 LAKELAND, FL 34101
 PHONE: 888-333-3333
 FAX: 888-333-3333



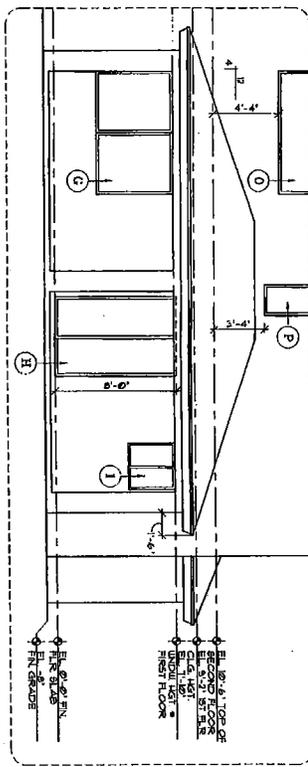
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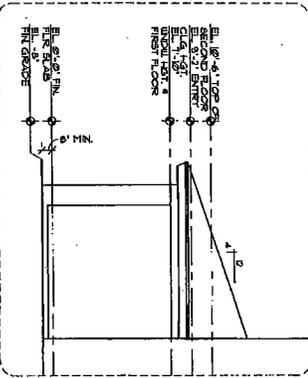
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FOR WINDOW AND DOOR TYPES SEE SHEET 02A



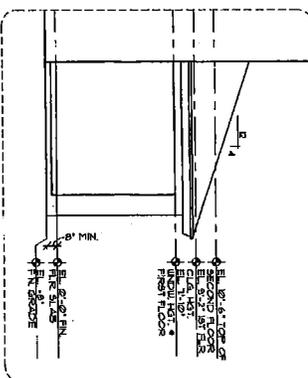
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5	5	5			



③ PART. REAR ELEVATION
FOR WINDOW AND DOOR LOADS SEE ELEVATION SHEETS



④ PART. LEFT ELEVATION



⑤ PART. RIGHT ELEVATION

ROOM NO.	ROOM NAME	FLOOR BASE	WALLS	CEILING	H.R.	FINISH	NOTES
100	COVERED LANAI	FI	W/A	CI/A	5'-2"	C	

FINISH SCHEDULE LEGEND			
MARK	M = MATERIAL CODE	MARK	M = MATERIAL CODE
FI	INTERLOCKING CONCRETE PAVERS	CI	TEXTURED STUCCO
A	PAINTED		

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APR 07 2013

ZONING HEARING SECTION
MANUAL DE PLANNING AND ZONING DEPT.
BY _____

DATE: 9/19/13
SCALE: 1/4"=1'-0"
SHEET: A1.10*

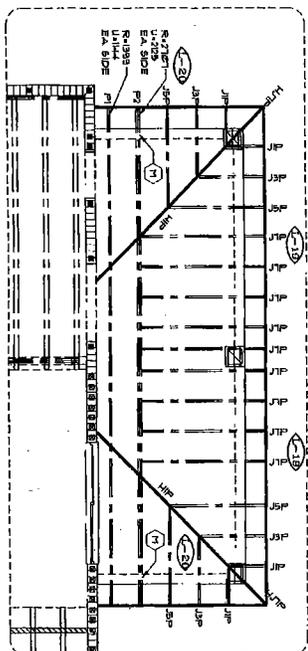
ARCHITECT
STATE OF CALIFORNIA
DANIEL R. HORTON
10541 SHERWOOD DRIVE
SAN DIEGO, CA 92121
TEL: (619) 585-4422
FAX: (619) 585-4422
WWW.DRHORTON.COM

OPTIONAL COVERED LANAI FLR. PLANS & ELEVATIONS
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JOB NO: 02438.004

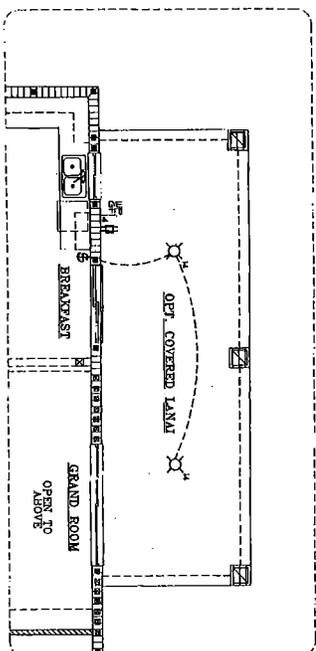
PROPERTY: PALMA VISTA
DESIGNER: D.R. HORTON
ARCHITECT: DANIEL R. HORTON
10541 SHERWOOD DRIVE
SAN DIEGO, CA 92121
TEL: (619) 585-4422
FAX: (619) 585-4422
WWW.DRHORTON.COM

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LAKELAND, FL 33708
TEL: (813) 947-1100
FAX: (813) 947-1100
WWW.DRHORTON.COM
N.A. 0000000000



① PART. FIRST FLOOR TRUSS PLAN



② PART. FIRST FLOOR ELECTRICAL PLAN

GENERAL NOTES		SERVICE		LOADING		SPECIAL	
PLAN	SECTION	120/240V, 1PH, 3P	UNIFORM SERVICE AC	15K			
LOAD	DESCRIPTION	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL

NOTES:
 1. GENERAL NOTES AND THE NOTES ON DRAWINGS PREPARED BY THE ARCHITECT SHALL BE THE BASIS FOR THE ELECTRICAL DESIGN.
 2. THE ELECTRICAL DESIGN SHALL BE BASED ON THE LOADS AND CONDITIONS SHOWN ON THE DRAWINGS.
 3. THE ELECTRICAL DESIGN SHALL BE BASED ON THE ASSUMPTIONS AND CONDITIONS SHOWN ON THE DRAWINGS.
 4. THE ELECTRICAL DESIGN SHALL BE BASED ON THE ASSUMPTIONS AND CONDITIONS SHOWN ON THE DRAWINGS.
 5. THE ELECTRICAL DESIGN SHALL BE BASED ON THE ASSUMPTIONS AND CONDITIONS SHOWN ON THE DRAWINGS.
 6. THE ELECTRICAL DESIGN SHALL BE BASED ON THE ASSUMPTIONS AND CONDITIONS SHOWN ON THE DRAWINGS.
 7. THE ELECTRICAL DESIGN SHALL BE BASED ON THE ASSUMPTIONS AND CONDITIONS SHOWN ON THE DRAWINGS.
 8. THE ELECTRICAL DESIGN SHALL BE BASED ON THE ASSUMPTIONS AND CONDITIONS SHOWN ON THE DRAWINGS.
 9. THE ELECTRICAL DESIGN SHALL BE BASED ON THE ASSUMPTIONS AND CONDITIONS SHOWN ON THE DRAWINGS.
 10. THE ELECTRICAL DESIGN SHALL BE BASED ON THE ASSUMPTIONS AND CONDITIONS SHOWN ON THE DRAWINGS.

CAST-KATE LUNTEL SCHEDULE
NOV 11, 2018

TYPE	LENGTH	DATE	APPROVED	DATE	APPROVED	TYPE	COTTINGS
L-12	12'-0"	11-15-18	11-15-18	11-15-18	11-15-18	11-15-18	11-15-18
L-12	12'-0"	11-15-18	11-15-18	11-15-18	11-15-18	11-15-18	11-15-18
L-12	12'-0"	11-15-18	11-15-18	11-15-18	11-15-18	11-15-18	11-15-18
L-12	12'-0"	11-15-18	11-15-18	11-15-18	11-15-18	11-15-18	11-15-18
L-12	12'-0"	11-15-18	11-15-18	11-15-18	11-15-18	11-15-18	11-15-18



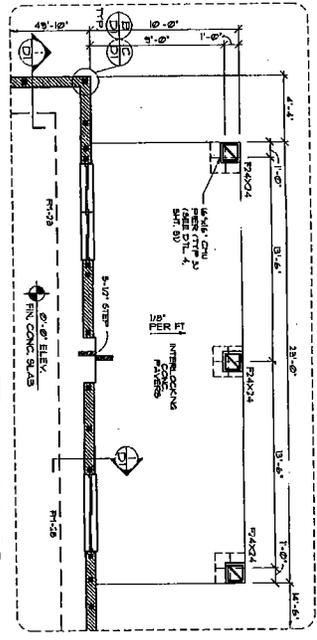
CONNECTOR SCHEDULE

MARK	SHAPE	PL #	PARTNER	UPSET	PLACEMENT	REINFORCING	LATERAL
12	SECTION	14153	(10) 20d X 11/2 LATH	1225			
			(7) 20d 2'-1"	1000			

CONNECTOR NOTES:
 1. THE CONNECTOR SHALL BE CAST IN PLACE CONCRETE.
 2. THE CONNECTOR SHALL BE CAST IN PLACE CONCRETE.
 3. THE CONNECTOR SHALL BE CAST IN PLACE CONCRETE.
 4. THE CONNECTOR SHALL BE CAST IN PLACE CONCRETE.
 5. THE CONNECTOR SHALL BE CAST IN PLACE CONCRETE.
 6. THE CONNECTOR SHALL BE CAST IN PLACE CONCRETE.
 7. THE CONNECTOR SHALL BE CAST IN PLACE CONCRETE.
 8. THE CONNECTOR SHALL BE CAST IN PLACE CONCRETE.
 9. THE CONNECTOR SHALL BE CAST IN PLACE CONCRETE.
 10. THE CONNECTOR SHALL BE CAST IN PLACE CONCRETE.

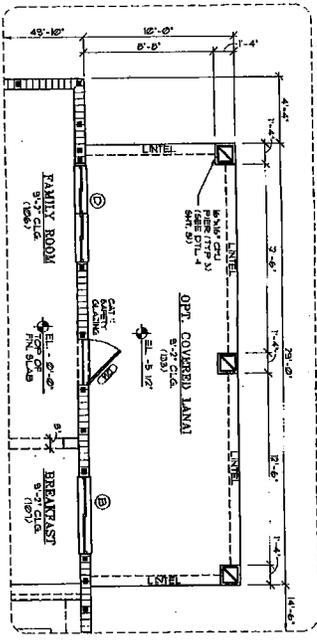
RECEIVED
 NOV 11 2018
 ZONING HEARINGS SECTION
 MIAMI-DADE PLANNING AND ZONING DEPT.
 BY _____

<p>ARCHITECT: STATE OF FLORIDA NO. 1008834</p>	<p>DATE: 9/19/13 SCALE: 1/4" = 1'-0" SHEET: A1.204</p>	<p>PROJECT: 2018038 004 "2770" GARAGE STRIP: LEFT</p>	<p>DESIGN: & LOT: PALMA VISTA</p>	<p>D.R. HORTON America's Builder www.drhorton.com 1000</p>	<p>ARCHITECTS: Design Group Inc.</p>	<p>1444 N. RONALD REAGAN BLVD MIAMI, FL 33147-4678 PH: 407-74-6078 FAX: 407-74-6078 WWW: DRHORTON.COM AIA #: 000888</p>
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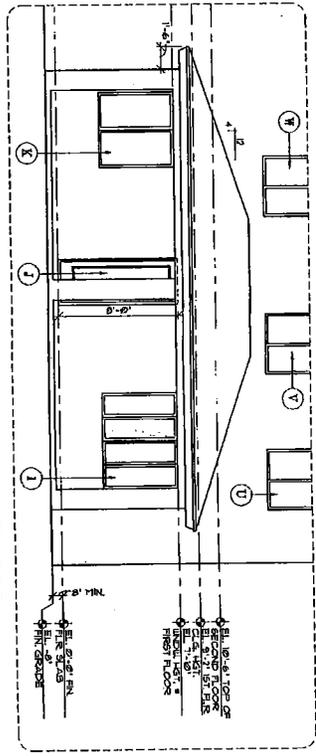
① PART. FOUNDATION PLAN

NO.	DESCRIPTION	NOTES
1	1/2" CONC. VERTICAL DOOR	
2	1/2" CONC. VERTICAL DOOR	
3	1/2" CONC. VERTICAL DOOR	
4	1/2" CONC. VERTICAL DOOR	
5	1/2" CONC. VERTICAL DOOR	
6	1/2" CONC. VERTICAL DOOR	
7	1/2" CONC. VERTICAL DOOR	
8	1/2" CONC. VERTICAL DOOR	
9	1/2" CONC. VERTICAL DOOR	
10	1/2" CONC. VERTICAL DOOR	

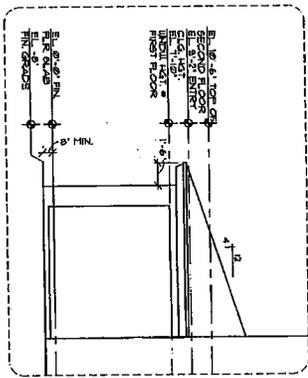


② PART. FIRST FLOOR PLAN

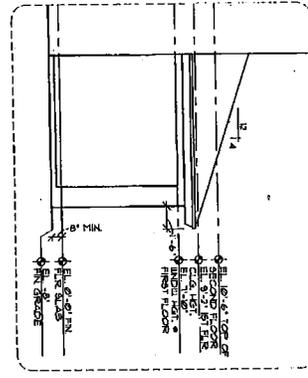
MARK	DESCRIPTION
1	1/2" CONC. VERTICAL DOOR
2	1/2" CONC. VERTICAL DOOR
3	1/2" CONC. VERTICAL DOOR
4	1/2" CONC. VERTICAL DOOR
5	1/2" CONC. VERTICAL DOOR
6	1/2" CONC. VERTICAL DOOR
7	1/2" CONC. VERTICAL DOOR
8	1/2" CONC. VERTICAL DOOR
9	1/2" CONC. VERTICAL DOOR
10	1/2" CONC. VERTICAL DOOR



③ PART. REAR ELEVATION



④ PART. LEFT ELEVATION



⑤ PART. RIGHT ELEVATION

ROOM NO.	ROOM NAME	FLOOR BASE	WALLS	CEILING	HT.	FINISH	NOTES
U3	COVERED LANAI	FI	W/A	CI/A	9'-2"	C	

MARK	MATERIAL CODE	FINISH SCHEDULE
FI	INTERLOCKING CONCRETE PAVERS	CI
A	PAINTED	

RECEIVED

NOV 07 2013

ZONING HEARING SECTION
MIAMI-DADE PLANNING AND ZONING DEPT.

DATE: 09/19/13
SCALE: 1/4" = 1'-0"
BY: A1.10*

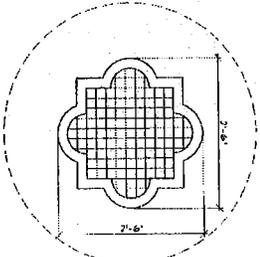
RECEIVED
MICHAELE HERTZ
STATE OF FLORIDA
ARTS AND CULTURE

OPTIONAL COVERED LANAI FLR PLANS & ELEVATIONS

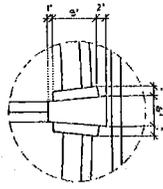
PROJ NO: 024368.005
MODEL: "3270"
GARAGE FINISH: LEFT

D-R HORTON
American's Builder
www.drhorton.com

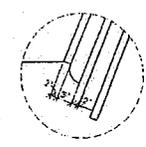
ARCHITECTS
Design Group
1441 N. RONALD REAGAN BLVD.
LAKELAND, FL 33709
TEL: 407-744-0715
WWW.DRHORTON.COM



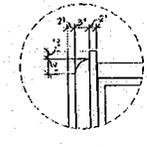
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SCALE 3/4" = 1'-0"



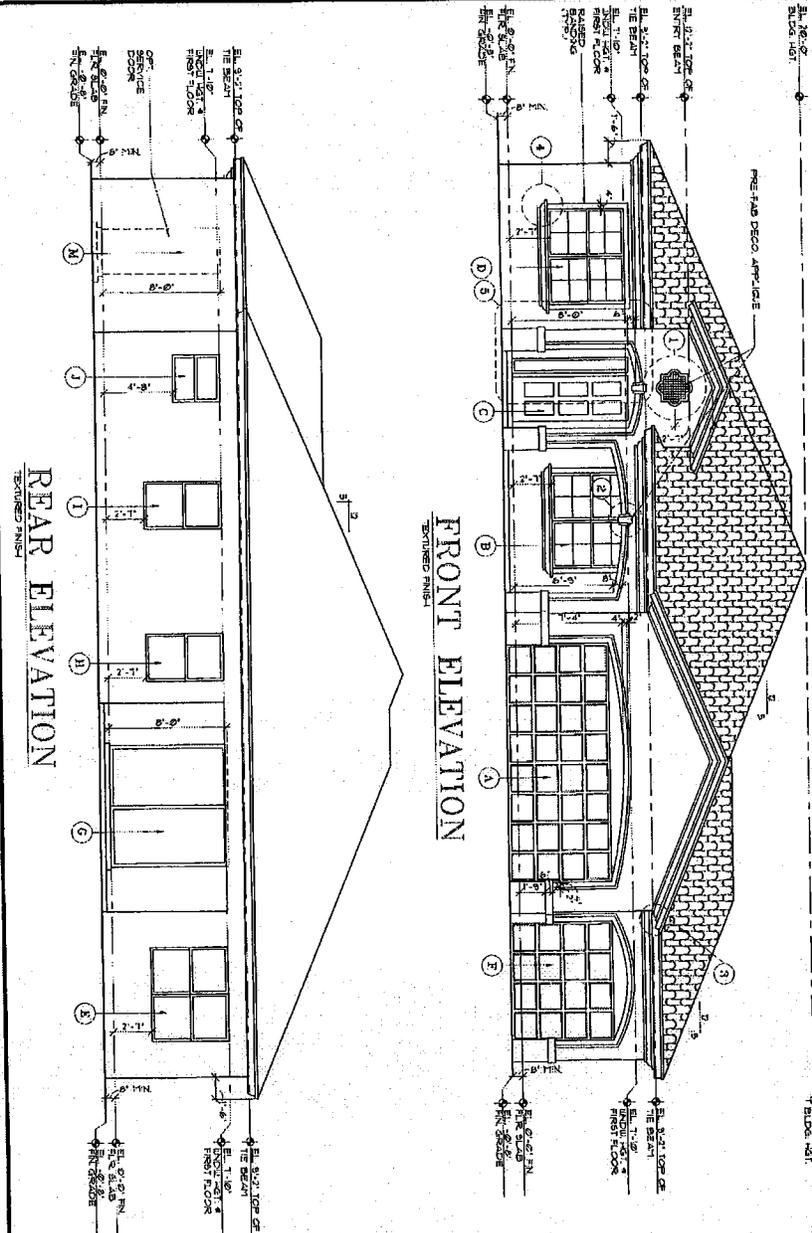
② PREFAB DECO. APPLIQUE
SCALE 3/4" = 1'-0"



③ PREFAB DECO. APPLIQUE
SCALE 3/4" = 1'-0"



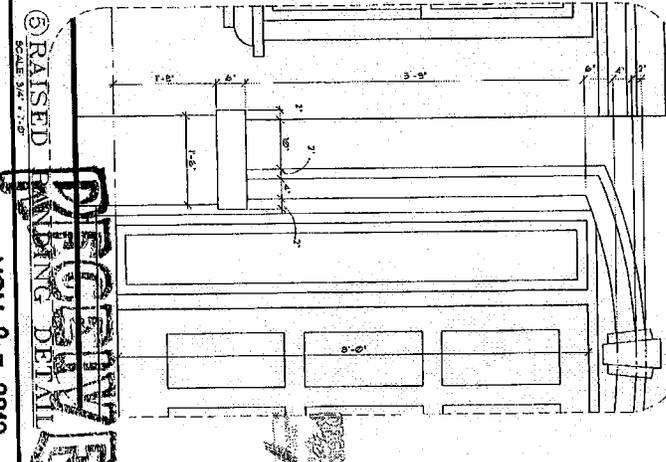
④ PREFAB DECO. APPLIQUE
SCALE 3/4" = 1'-0"



DO NOT SCALE AND IS SUBJECT TO CHANGE
BASED ON SHOWN DIMENSIONS

CALL NUMBER	QUANTITY	DESCRIPTION	REMARKS	ROOM NUMBER
A	10	6'-0" X 6'-0" DECO. APPLIQUE	ENTRANCE	101
B	24	17'-0" X 6'-0" DECO. APPLIQUE	ENTRANCE	101
C	24	3'-0" X 6'-0" DECO. APPLIQUE	ENTRANCE	101
D	24	17'-0" X 6'-0" DECO. APPLIQUE	ENTRANCE	101
E	24	17'-0" X 6'-0" DECO. APPLIQUE	ENTRANCE	101
F	24	17'-0" X 6'-0" DECO. APPLIQUE	ENTRANCE	101
G	24	17'-0" X 6'-0" DECO. APPLIQUE	ENTRANCE	101
H	24	17'-0" X 6'-0" DECO. APPLIQUE	ENTRANCE	101
I	24	17'-0" X 6'-0" DECO. APPLIQUE	ENTRANCE	101
J	24	17'-0" X 6'-0" DECO. APPLIQUE	ENTRANCE	101
K	24	17'-0" X 6'-0" DECO. APPLIQUE	ENTRANCE	101
L	24	17'-0" X 6'-0" DECO. APPLIQUE	ENTRANCE	101
M	24	17'-0" X 6'-0" DECO. APPLIQUE	ENTRANCE	101
N	24	17'-0" X 6'-0" DECO. APPLIQUE	ENTRANCE	101

BASED FROM SHOWN UNIT = 12" (TYP)
INSET: TYPED IN SETTING = 1/2" (TYP)
BLDG. ON 11' HIGH - 10' HIGH ROOM 101
ANY OTHERS WILL BE A ZONE 6 CATEGORY
PRESSURE HAVE BEEN ADJUSTED PER IRC 1003.1.2
TO MATCH FROM THE PRODUCT MANUFACTURER.



ARCHITECTS
Design Group

4411 N. ROAD 8, SUITE 200
PALM BEACH, FL 33410
TEL: 561-833-1111
FAX: 561-833-1111
WWW.DGDESIGN.COM

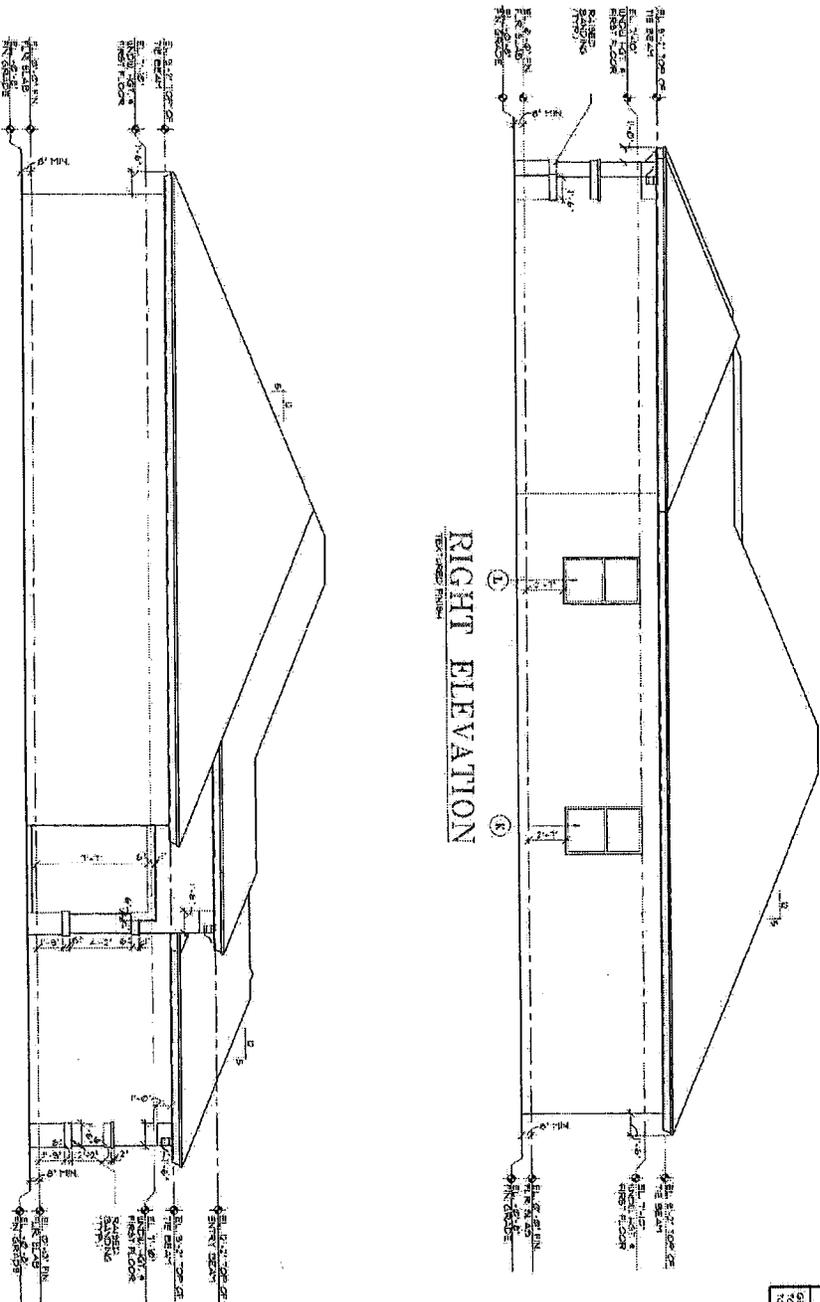
D.R. HORTON
America's Builder
www.drhorton.com
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ARCHITECT
STATE OF FLORIDA
ART. NO. 98993
SEP 7 2013
M. HORTON

PHOTOGRAPHY
MOORE
1970"
GARAGE STRIPS
RIGHT
FRONT
& REAR
ELEVATION
"D"

DATE: 09/19/13
SCALE: 1/4" = 1'-0"
BY: [Signature]
120p

NOV 07 2013
ZONING HEARINGS SECTION
MIAMI-DADE PLANNING AND ZONING DEPT.
BY



ROOF SQUARE FOOTAGE	301.00 SQ. FT.
FLOOR AREA	1,000.00 SQ. FT.
NET AREA	1,000.00 SQ. FT.
ROOF VENT 6" X 6" @ 24 IN. x 36 SQ. FT.	
2x4 VENTS - 2136 VENTS	
SOCKETED VENTS	
2x VENTS	

LEFT ELEVATION

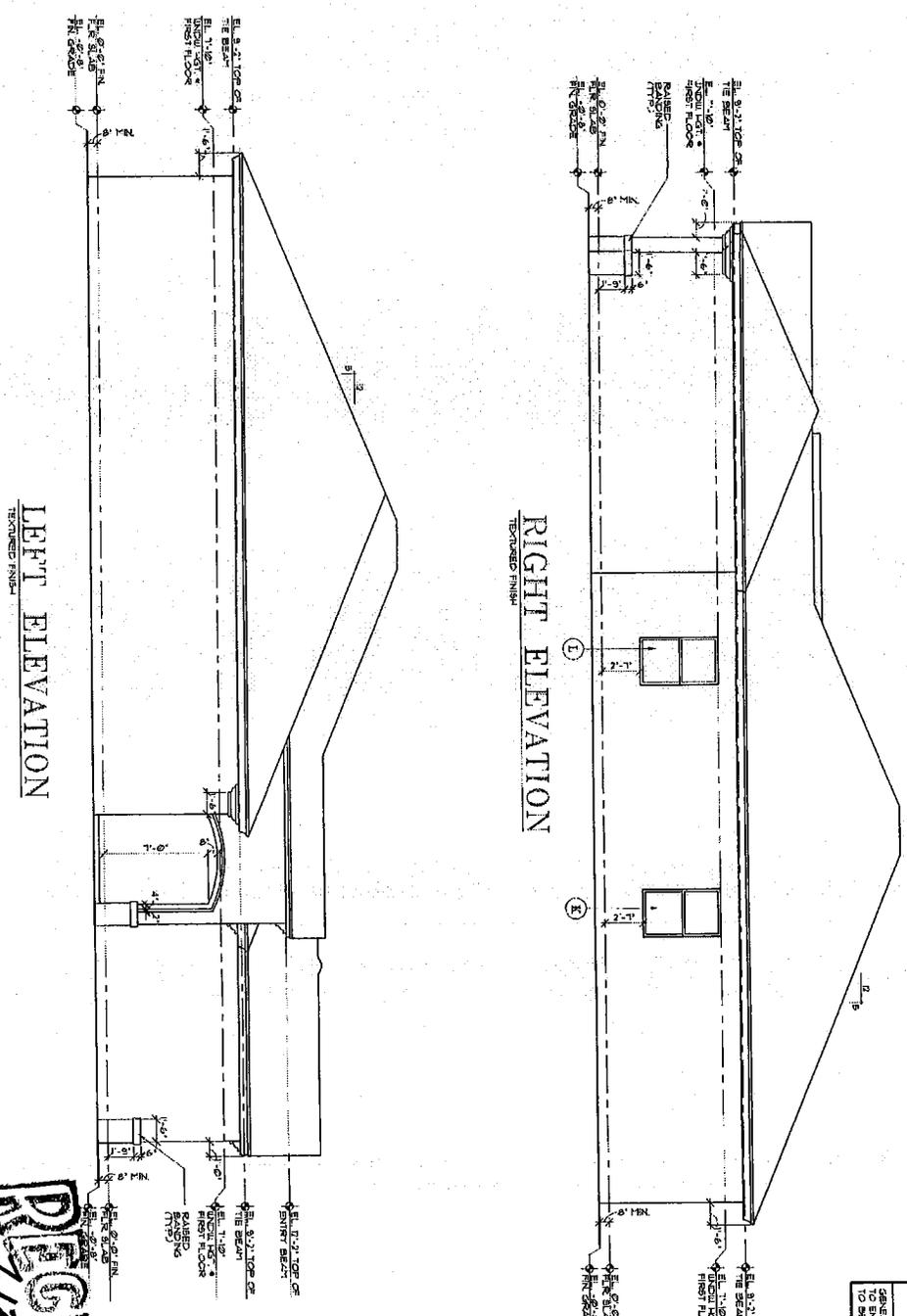
RIGHT ELEVATION

DESIGNED
 07 2013

ZONING HEARING SECTION
 MIAMI-DADE PLANNING AND ZONING DEPT.
 BY

<p>ARCHITECTS Design Group, Inc.</p>	<p>DATE: 09/19/13 SCALE: 1/4" = 1'-0" SHEET: A3E OF</p>	<p>PROJECT: STATE OF FLORIDA DATE: 08/07/13</p>	<p>ARCHITECT: M. HORTON</p>	<p>STUDIO # 107 PALMA VISTA 1970"</p>	<p>PROVIDED 02438.001 MODEL</p>	<p>GARAGE BAYING RIGHT</p>	<p>FACED LEFT & RIGHT</p>	<p>ARCHITECT: STATE OF FLORIDA DATE: 08/07/13</p>	<p>DATE: 09/19/13 SCALE: 1/4" = 1'-0" SHEET: A3E OF</p>
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D.R. HORTON
 American's Builder
 www.drhorton.com
 800.821.1100



LEFT ELEVATION
TEXTURED FINISH

RIGHT ELEVATION
TEXTURED FINISH

ROOF VENTILATION ELEVATION	MODE-970
PER PART 8.04	
SO ROOF VENT	SO ROOF VENT
1/2" X 1/2" X 1/2"	1/2" X 1/2" X 1/2"
3240 SF	3240 SF
ROOF VENT 8'-0" X 12'-0" N. - 816 SF FT.	
REQUIRED	
ROOF VENTING	
7240 SF/246 * 2228 VENTS	
HINTUM	
REQUIRED VENTS	
24 VENTS	

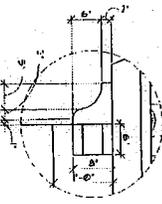
GENERAL NOTE:
TO ENSURE PROPER VENTILATION THE VENTS ARE TO BE EVENLY DISTRIBUTED THROUGH OUT THE ROOF.

RECEIVED
2-13-10
NOV 07 2013

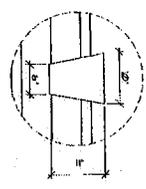
ZONING HEARING SECTION
MILWAUKEE PLANNING AND ZONING DEPT.

BY

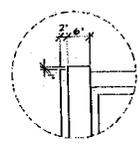
<p>DATE: 09/19/13 SHEET: 1/3-1-0 A3D</p>	<p>ARCHITECT: M. HORTON 27 ANCHOR POINT DELAWARE, OH 43015 (614) 222-8800</p>	<p>STATE OF OHIO STATE OF OHIO AN NO. 0008374</p>	<p>STUDENT: & LOR PALMA VISTA</p>	<p>PROJEC/NO. 02438.001 NO. 1970</p>	<p>GARAGE STING: RIGHT</p>	<p>PAGE: ELEVATION D LEFT & RIGHT</p>	<p>1441 N. RONALD REAGAN BLD. DESIGN GROUP, INC. 1441 N. RONALD REAGAN BLD. DESIGN GROUP, INC. 1441 N. RONALD REAGAN BLD. DESIGN GROUP, INC.</p>	<p>D.R. HORTON American's Builder www.drhorton.com</p>	<p>ARCHITECTS Design Group, Inc.</p>
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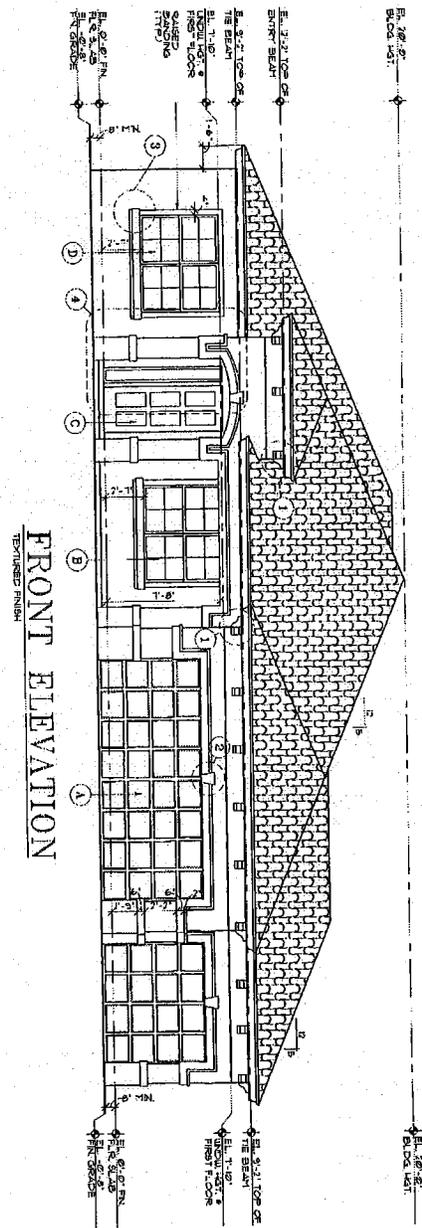
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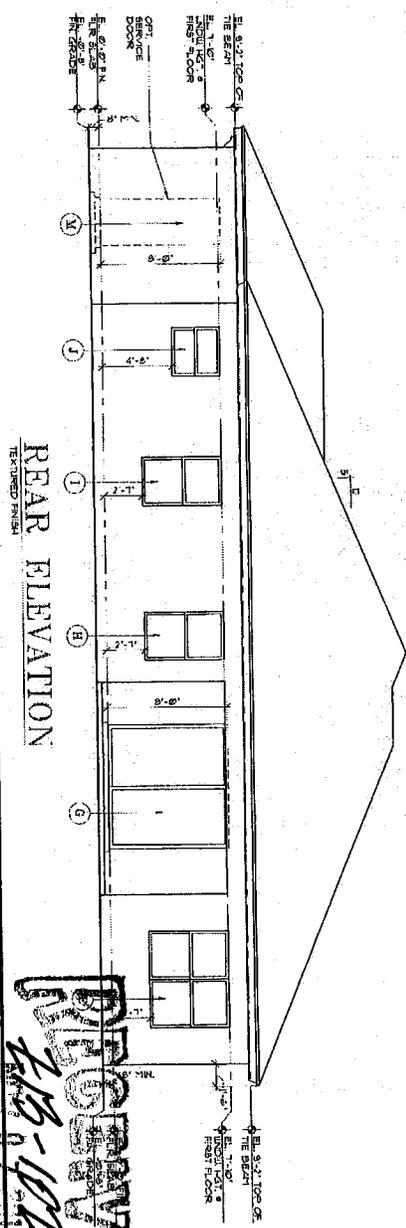
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SCALE 3/4" = 1'-0"



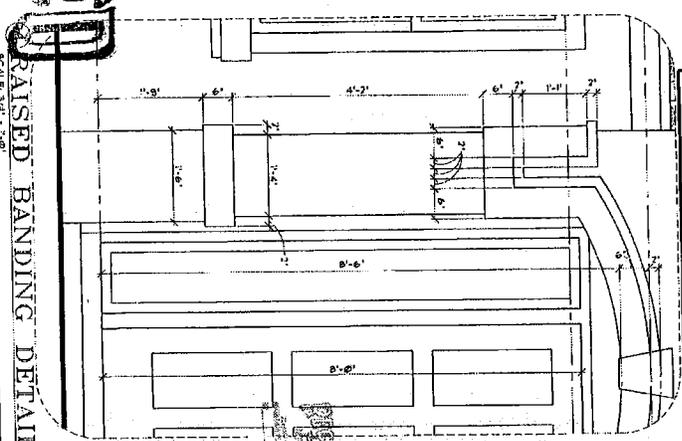
③ PREFAB DECO APPLIQUE
SCALE 3/4" = 1'-0"



FRONT ELEVATION
TEXTURED FINISH



REAR ELEVATION
TEXTURED FINISH



RAISED BANDING DETAIL
SCALE 3/4" = 1'-0"

CALL OUT	QUANTITY	DESCRIPTION	UNIT	PRICE	TOTAL	REMARKS	NOTES
A	1	3'-0" x 1'-0" WINDOW	SQ. FT.	14.42	14.42	EXTERIOR	①
B	1	7'-2" x 5'-4" WINDOW	SQ. FT.	37.37	37.37	EXTERIOR	②
C	1	3'-0" x 1'-0" WINDOW	SQ. FT.	14.42	14.42	EXTERIOR	③
D	1	7'-2" x 5'-4" WINDOW	SQ. FT.	37.37	37.37	EXTERIOR	④
E	1	3'-0" x 1'-0" WINDOW	SQ. FT.	14.42	14.42	EXTERIOR	⑤
F	1	7'-2" x 5'-4" WINDOW	SQ. FT.	37.37	37.37	EXTERIOR	⑥
G	1	3'-0" x 1'-0" WINDOW	SQ. FT.	14.42	14.42	EXTERIOR	⑦
H	1	7'-2" x 5'-4" WINDOW	SQ. FT.	37.37	37.37	EXTERIOR	⑧
I	1	3'-0" x 1'-0" WINDOW	SQ. FT.	14.42	14.42	EXTERIOR	⑨
J	1	7'-2" x 5'-4" WINDOW	SQ. FT.	37.37	37.37	EXTERIOR	⑩
K	1	3'-0" x 1'-0" WINDOW	SQ. FT.	14.42	14.42	EXTERIOR	⑪
L	1	7'-2" x 5'-4" WINDOW	SQ. FT.	37.37	37.37	EXTERIOR	⑫
M	1	3'-0" x 1'-0" WINDOW	SQ. FT.	14.42	14.42	EXTERIOR	⑬
N	1	7'-2" x 5'-4" WINDOW	SQ. FT.	37.37	37.37	EXTERIOR	⑭

PROCESSES HAVE BEEN ASSIGNED PER PER 1809.1.5 TO VALUES FROM THE PRODUCT MANUFACTURER.

BASIC WIND SPEED USE = 175 (Wind)
INTERNAL PRESSURE COEFFICIENT = 0.18
WIND DIRECTION = LESS THAN 45° FROM CORNER
WIND DIRECTION = 45° TO 89° FROM CORNER
WIND DIRECTION = 90° FROM CORNER
WIND DIRECTION = 135° FROM CORNER
WIND DIRECTION = 180° FROM CORNER
WIND DIRECTION = 225° FROM CORNER
WIND DIRECTION = 270° FROM CORNER
WIND DIRECTION = 315° FROM CORNER
WIND DIRECTION = 360° FROM CORNER
WIND DIRECTION = 0° FROM CORNER

ZONING HEARING
MIAMI-DADE PLANNING AND ZONING DEPT.
BY _____

PROPOSED
2-13-1971

ARCHITECT
STATE OF FLORIDA
JAMES HORTON
NO. 0008374

SEP 23 1971

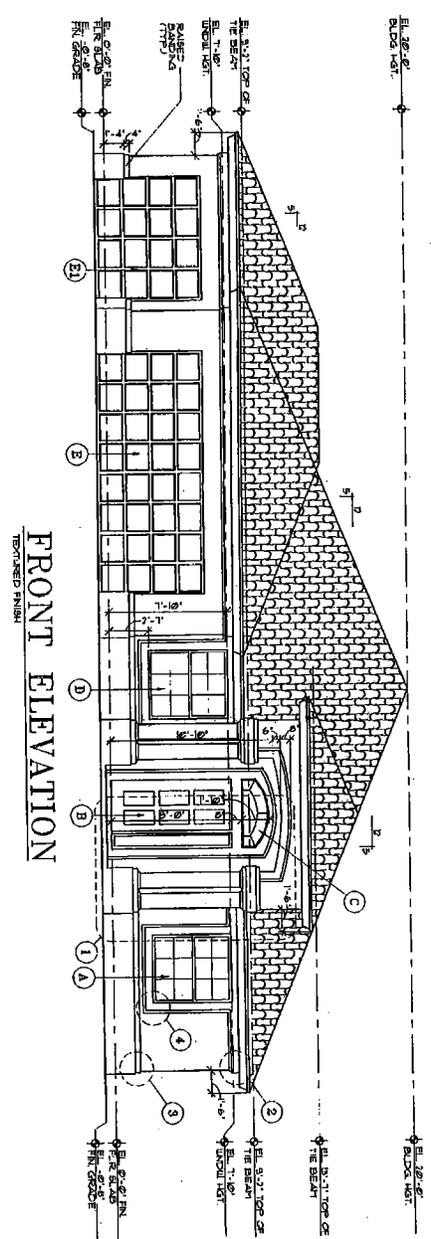
ARCHITECT
STATE OF FLORIDA
JAMES HORTON
NO. 0008374

DATE: 09/18/73
SCALE: 1/4" = 1'-0"
SHEET: A2E

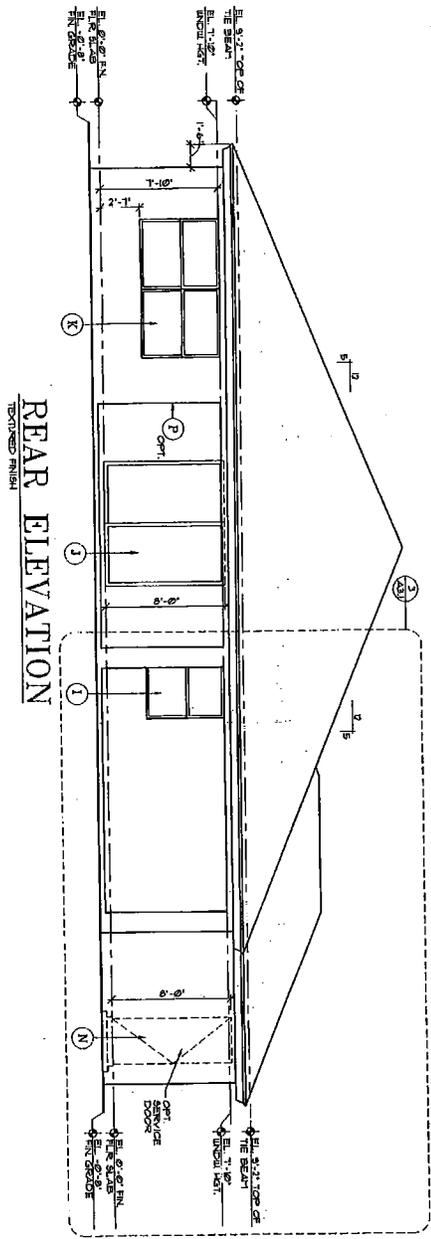
PROJECT: PALMA VISTA
MODEL: 1970
GARAGE: STRIKE RIGHT
PAGE: ELEVATION FRONT & REAR

D-R HORTON
America's Builder
www.drhorton.com
CORPORATE 8004

ARCHITECTS
Design Group Inc.
4441 N. ROYAL BURGESS BLVD
LAKELAND, FL 33702
TEL: 407/742-4275
FAX: 407/742-4275
WWW.DRHORTON.COM
44 9/23/73

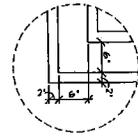
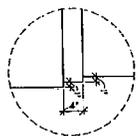
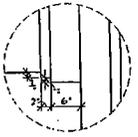


FRONT ELEVATION
TEMPERED FINISH



REAR ELEVATION
TEMPERED FINISH

- ② STUCCO BAND SCALE 3/4" = 1'-0"
- ③ STUCCO BAND SCALE 3/4" = 1'-0"
- ④ STUCCO BAND SCALE 3/4" = 1'-0"

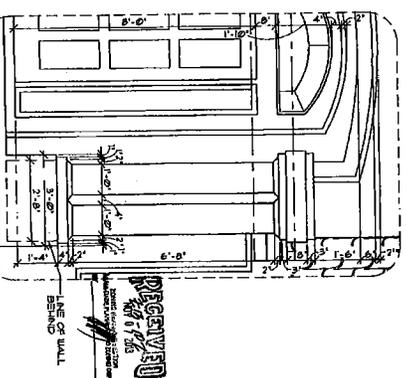


NO. OF VENTS	NO. OF VENTS	NO. OF VENTS
NO. OF VENTS	NO. OF VENTS	NO. OF VENTS
NO. OF VENTS	NO. OF VENTS	NO. OF VENTS
NO. OF VENTS	NO. OF VENTS	NO. OF VENTS

GENERAL NOTE:
TO ENSURE PROPER VENTILATION THE VENTS ARE TO BE EVENLY DISTRIBUTED THROUGHOUT THE ROOF.

NO.	DESCRIPTION	QTY	UNIT	REMARKS	NOTES
1
2
3
4
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38
39
40

RESOURCES HAVE BEEN MONITORED PER PER 1901.5 TO VALUES FROM THE PRODUCT MANUFACTURER.



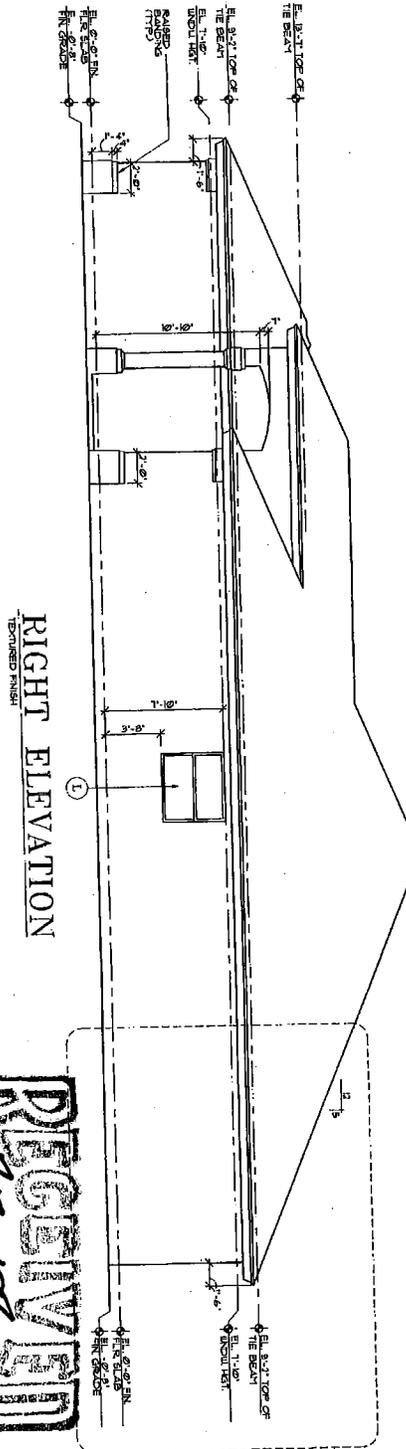
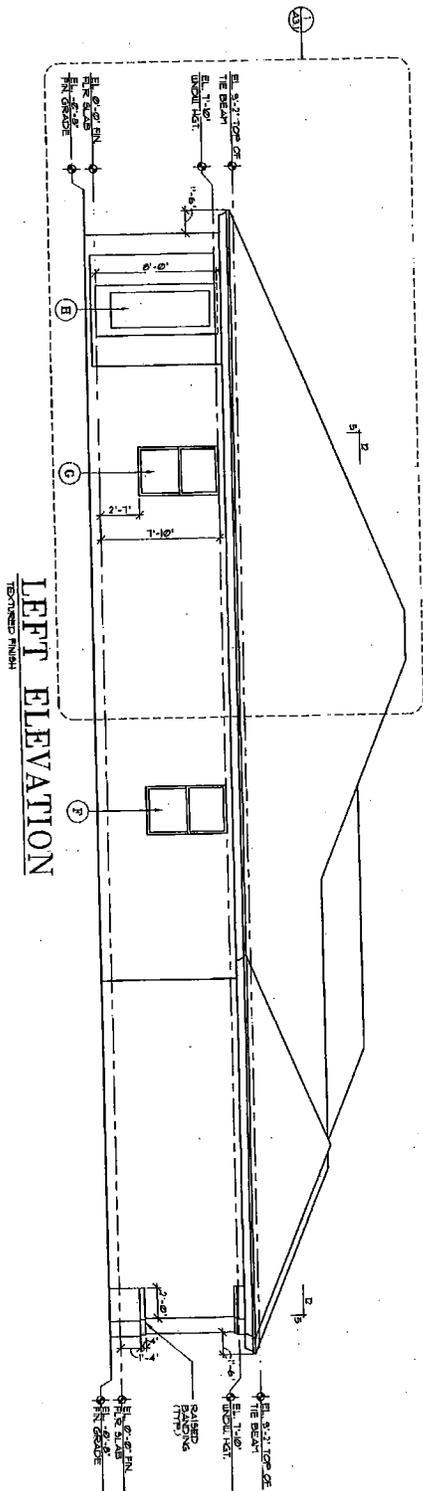
APR 07 2013
ZONING DEPT.
MAMI-DADE PLANNING
BY

ARCHITECT
STATE OF FLORIDA
AT NO. 0008274
SEP 21 2013
MICHAEL LEBRUK
251 W. JACKSON BLVD
DELMAR, DE 19840
(302) 338-1922

PRODUCTION #
024386 002
MODEL #
"2283"
CADDIS SYSTEM
LEFT
ELEVATION
FRONT
REAR

STUDY & ZONING
PALMA
VISTA
D-R-HORTON
America's Builder
www.drhorton.com

ARCHITECTS
Design Group
1441 N. RONALD REAGAN BLVD.
PALM BEACH, FL 33411
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 113-102
 NOV 07 2013

RECEIVED
 113-102

ARCHITECTURAL SECTION
 MIAMI-DADE PLANNING AND ZONING DEPT.
 BY _____

DATE: 09/19/13
 SCALE: 1/4"=1'-0"
 SHEET
 A3C OF

APPROVED:
 STATE OF FLORIDA
 ARCHITECT
 M. W. HORTON
 SP 20118

PAGE:
 ELEVATION
 LEFT
 &
 RIGHT

PROJECT:
 02438.002
 MODEL:
 "2263"

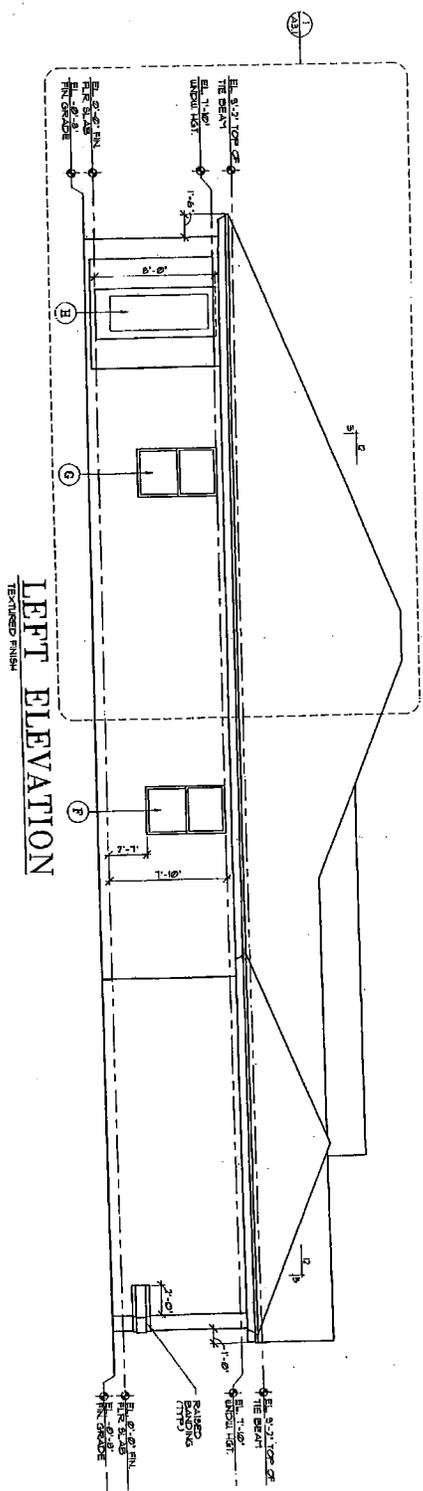
GARAGE SIGN:
 LEFT

STUDY: 2 LOT
 PALMA
 VISTA

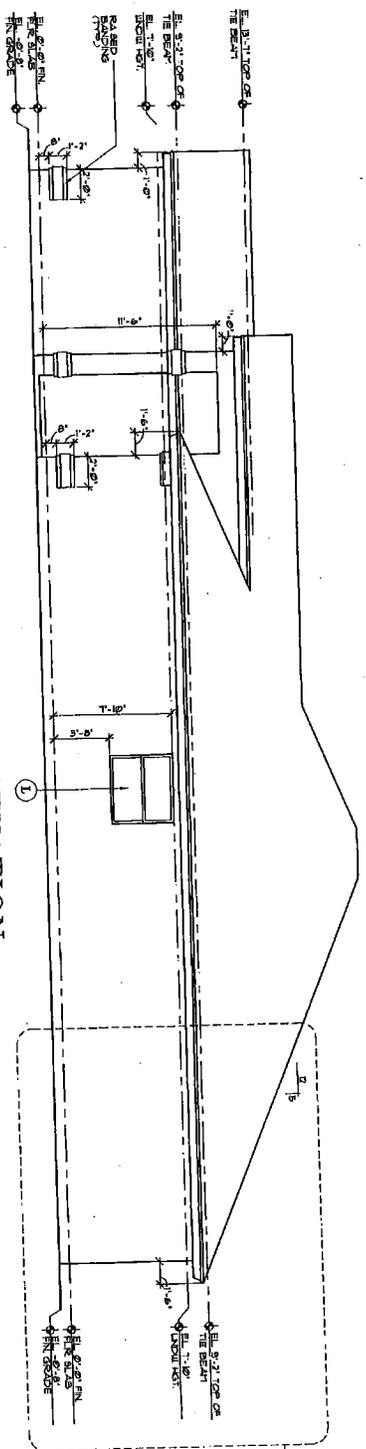
D.R. HORTON
 America's Builder
 www.drhorton.com
 800.978.1100

ARCHITECTS
Design Group
 1441 N. NUNO BOULEVARD
 MIAMI, FL 33176
 PH: 305.751.4075
 FAX: 305.751.4075
 WWW: DRH.COM
 AIA # 000225

69



LEFT ELEVATION
TEXTURED FINISH



RIGHT ELEVATION
TEXTURED FINISH

RECEIVED

RECEIVED

BY *[Signature]*
 MANAGER OF PLANNING
 ENGINEERING DEPT.

DATE: 09/19/13
 SCALE: 1/4"=1'-0"
 SHEET: A3D0*

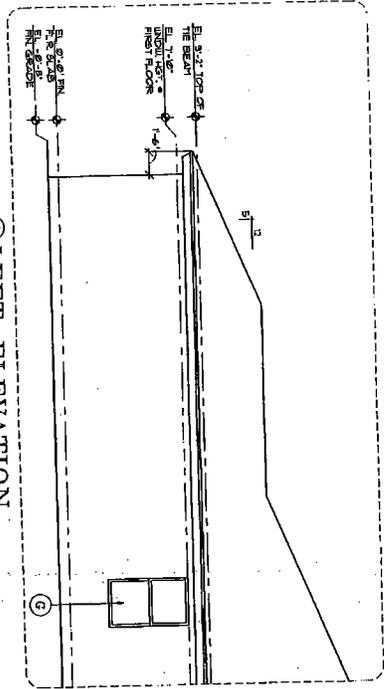
ARCHITECT:
 STANLEY HORTON
 27 AVENUE
 DELRAY BEACH, FL 33444
 (561) 322-2222

PROJECT:
 02438.002
 MODEL:
 "2263"

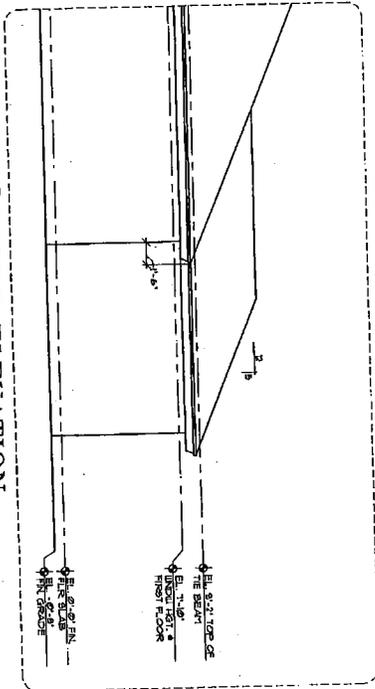
DATE: 09/19/13
 SCALE: 1/4"=1'-0"
 SHEET: A3D0*

D-R-HORTON
America's Builder
 www.drhorton.com

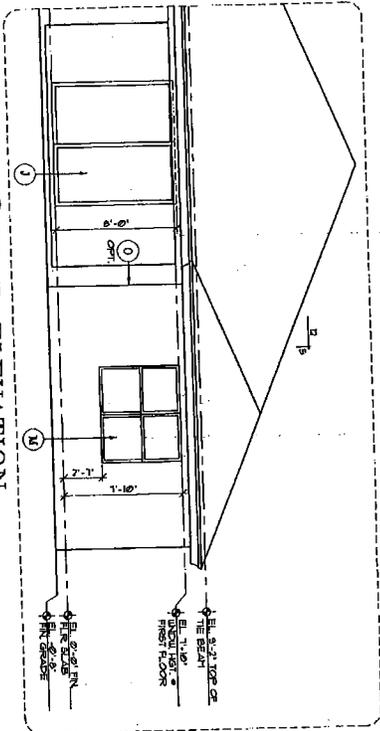
ARCHITECTS
Design Group Inc.
 1601 N. ROYAL BEACH BLVD
 LONGWOOD, FL 32750
 PH: 407-714-6070
 FAX: 407-714-6071
 www.designgroupinc.com
 AA #1008225



① LEFT ELEVATION



② RIGHT ELEVATION



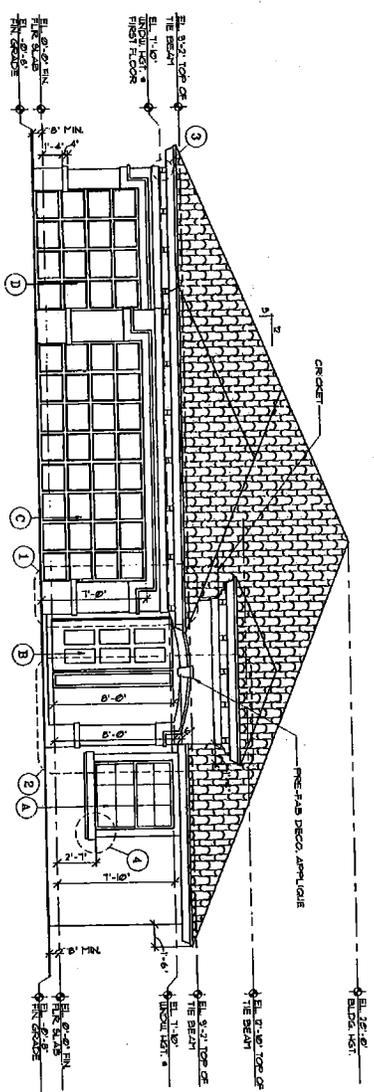
③ REAR ELEVATION

ZONING REGULATIONS SECTION
 MIAMI-DADE PLANNING AND ZONING DEPT.
 BY *[Signature]*

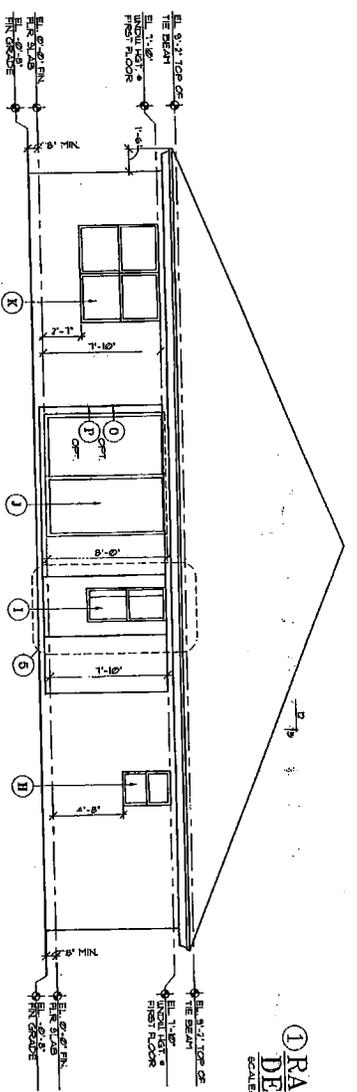
RECEIVED
 215-1620
 NOV 07 2013

RECEIVED
 11/7/13

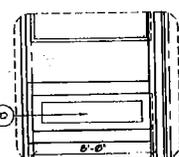
<p>ARCHITECTS Design Group Inc.</p>	<p>4411 N. RONALD REAGAN BLVD. LONGWOOD, FL 32750 PH: 407-714-4078 www.designgroupinc.com AA # 005325</p>	<p>D-R-HORTON <i>America's Builder</i> www.drhorton.com ESTABLISHED 1954</p>	<p>PROJECT # 2263 PALMA VISTA</p>	<p>PROPOSAL # 02438.002 MODEL "2263" GARAGE SWING: LEFT PARTS: LEFT, RIGHT & REAR ELEVATIONS OPTIONAL 4TH BEDROOM</p>	<p>DATE: 09/29/13 SCALE: 1/4"=1'-0" SHEET: A3.102</p> <p><i>[Signature]</i> SEP 2 0 13 JAMES H. BEIK 87 ANGLON POINT DELRAY BEACH, FL 33444 (561) 321-3333</p>
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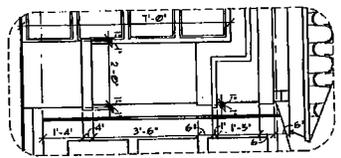
FRONT ELEVATION
TEXTURED FINISH



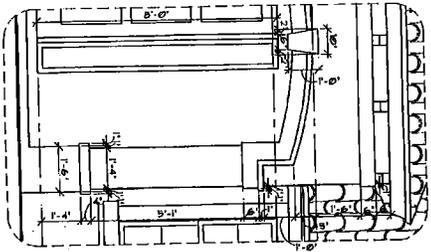
REAR ELEVATION
TEXTURED FINISH



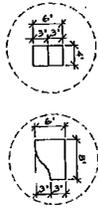
OPT. FRENCH DOOR



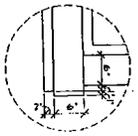
RAISED BANDING
DETAIL
SCALE 1/2\"/>



RAISED BANDING
DETAIL
SCALE 1/2\"/>



DETAIL
SCALE 3/4\"/>



DETAIL
SCALE 3/4\"/>

CALL LETTERS	SOURCE	MOORING	ZONE	NO. 1	NO. 2	NO. 3	NO. 4	NO. 5	NO. 6	NO. 7	NO. 8	NO. 9	NO. 10	NO. 11	NO. 12	NO. 13	NO. 14	NO. 15	NO. 16	NO. 17	NO. 18	NO. 19	NO. 20	NO. 21	NO. 22	NO. 23	NO. 24	
A	24	30-84	4	30/3 / -4/13																								
B	38	30-84	4	31/3 / -4/23																								
C	12	30-84	4	34/22 / -4/61																								
D	36	30-84	4	36/23 / -4/37																								
E	11	30-84	4	38/23 / -4/24																								
F	11	30-84	4	39/23 / -4/24																								
G	11	30-84	4	40/23 / -4/24																								
H	11	30-84	4	41/23 / -4/24																								
I	11	30-84	4	42/23 / -4/24																								
J	64	30-84	4	43/23 / -4/24																								
K	34	30-84	4	44/23 / -4/24																								
L	11	30-84	4	45/23 / -4/24																								
M	11	30-84	4	46/23 / -4/24																								
N	34	30-84	4	47/23 / -4/24																								
O	48	30-84	4	48/23 / -4/24																								
P	48	30-84	4	49/23 / -4/24																								
Q	24	30-84	4	50/23 / -4/24																								

BASIC WIND SPEED MPH = 175 (VWD) 18
 INTERNAL PRESSURE COEFFICIENT = 0.18
 EXTERNAL PRESSURE COEFFICIENT = 0.18
 ANY CORNER SHALL BE 4'-0" FROM CORNER
 AND BE A ZONE 5 CORNER
 AND BE A ZONE 5 CORNER
 PASSAGES HAVE BEEN NOTED PER PER 1809.15
 TO BE TESTED ALLOWABLE OR NOMINAL WIND LOAD
 VALUES FROM THE PRODUCT MANUFACTURER.

RECEIVED
 213-1062
 NOV 07 2013
 RECEIVED
 11/7/13

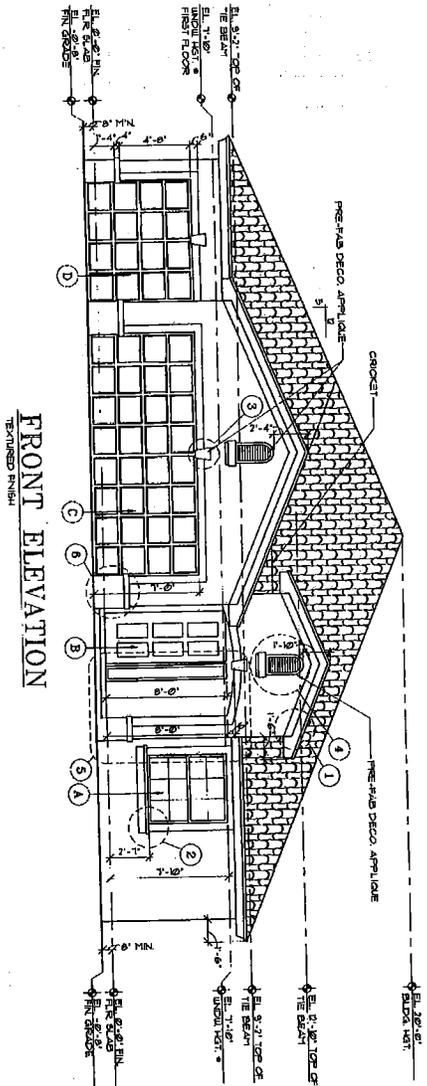
ZONING HEAVY
 MIAMI-DADE PLANNING AND ZONING DEPT.
 BY

ARCHITECT
 STATE OF FLORIDA
 ATTY. NO. 0000747
 MICHAEL HORTON
 551 W. PALM BLVD.
 SUITE 200
 WEST PALM BEACH, FL 33411
 (561) 835-9822
 SEP 28 2013
 DATE: 09/19/13
 SCALE: 1/4"=1'-0"
 SHEET
 A2A OF

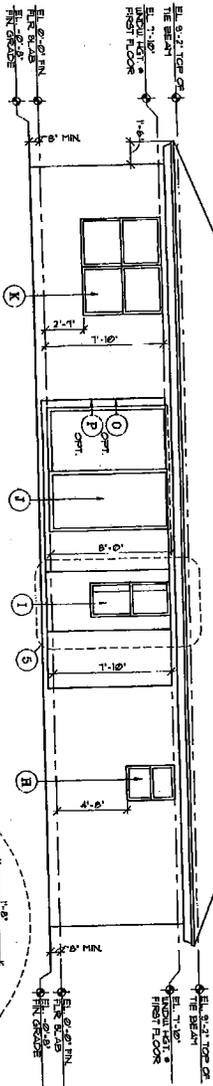
STANDARD & LOR
 PALMA
 VISTA
 PROJECT NO.
 02438.003
 SHEET NO.
 "2412"
 GARAGE STRIP:
 LEFT
 ELEVATION
 FRONT
 & REAR

D.R. HORTON
 America's Builder
 www.drhorton.com
 6001 W. BOYD BLVD.
 MIAMI, FL 33149

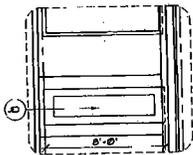
ARCHITECTS
Design Group Inc.
 1411 N. HOWARD ROAD
 SUITE 200
 WEST PALM BEACH, FL 33411
 (561) 835-9822



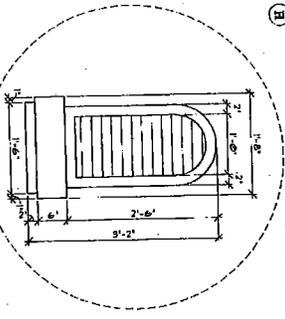
FRONT ELEVATION
TEXTURED FINISH



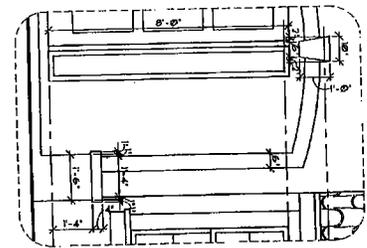
REAR ELEVATION
TEXTURED FINISH



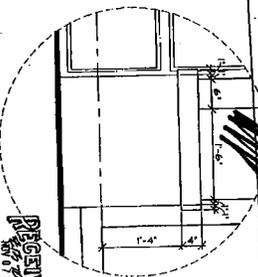
OPT. FRENCH DOOR



DETAIL
SCALE 3/4\"/>



RAISED BANDING DETAIL
SCALE 1/2\"/>



DETAIL
SCALE 3/4\"/>

CONCRETE AND GROUNDWORK DATA

ITEM NO.	DESCRIPTION	QUANTITY	UNIT	REMARKS	NOTES
1	4\"/>				

RESOURCES HAVE BEEN MONITORED AND THE RESULTS TO VALUES FROM THE PRODUCT MANUFACTURER.

RECEIVED
NOV 07 2013

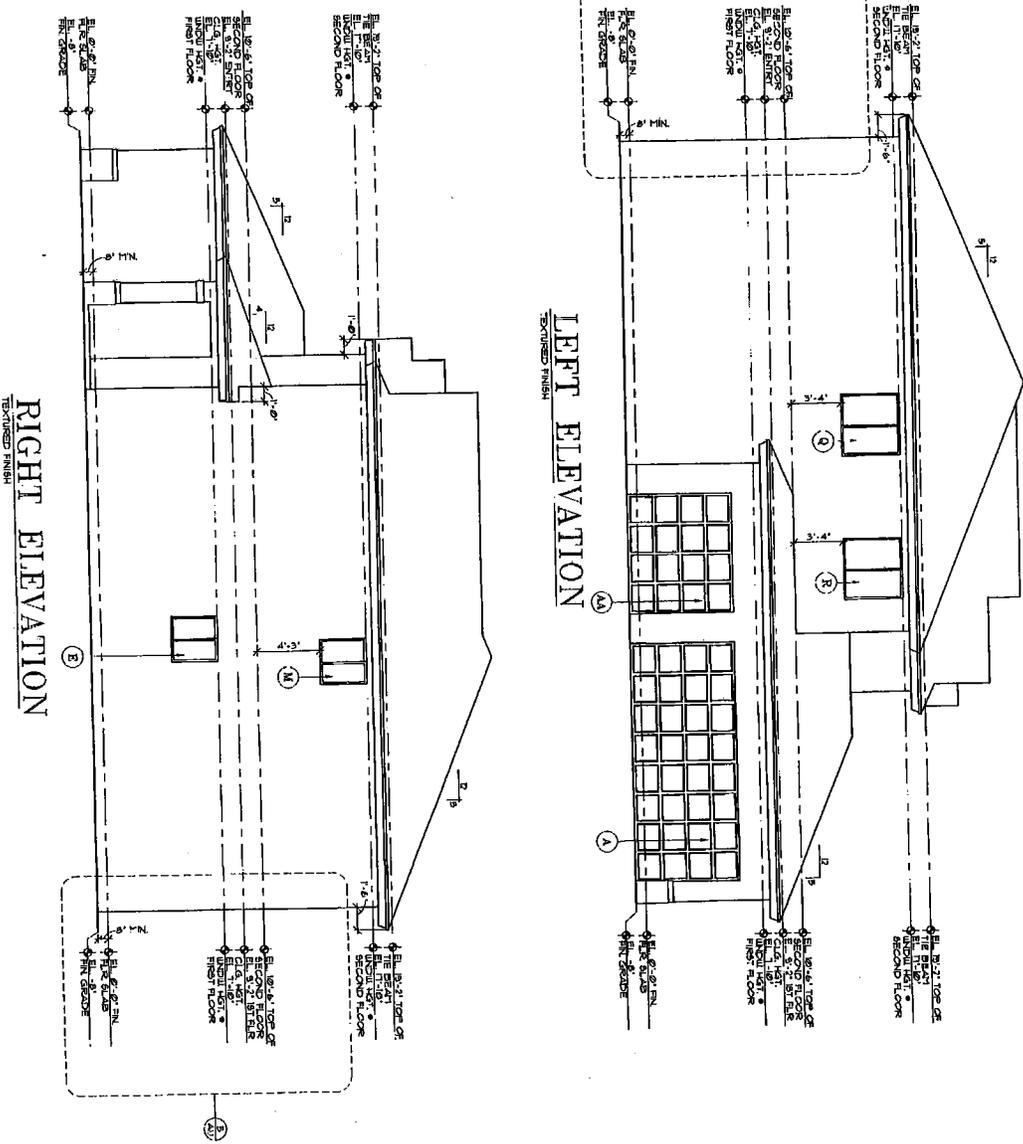
ZONING HEARINGS COMMISSION
MIAMI-DADE PLANNING AND ZONING DEPT
BY

DATE: 06/29/13
SCALE: 1/4\"/>

PROJECT NO: 02438-003
MODEL: "2412"
ELEVATION: FRONT & REAR

D-R-HORTON
America's Builder
www.drhorton.com

ARCHITECTS
Design Group Inc.
4441 N. ROYAL PALM BLVD.
UNIVERSITY, FL 32710
TEL: 407-714-4075
www.designgroupinc.com
M.F. 00000000



GRID	DESCRIPTION	TYPE	FINISH	REMARKS	SECTION
A	36'-0" x 12'-0" GARAGE DOOR	5	36'-0" / -4'-0"		①
B	36'-0" x 12'-0" GARAGE DOOR	5	36'-0" / -4'-0"		②
C	36'-0" x 12'-0" GARAGE DOOR	5	36'-0" / -4'-0"		③
D	36'-0" x 12'-0" GARAGE DOOR	5	36'-0" / -4'-0"		④
E	36'-0" x 12'-0" GARAGE DOOR	5	36'-0" / -4'-0"		⑤
F	36'-0" x 12'-0" GARAGE DOOR	5	36'-0" / -4'-0"		⑥
G	36'-0" x 12'-0" GARAGE DOOR	5	36'-0" / -4'-0"		⑦
H	36'-0" x 12'-0" GARAGE DOOR	5	36'-0" / -4'-0"		⑧
I	36'-0" x 12'-0" GARAGE DOOR	5	36'-0" / -4'-0"		⑨
J	36'-0" x 12'-0" GARAGE DOOR	5	36'-0" / -4'-0"		⑩
K	36'-0" x 12'-0" GARAGE DOOR	5	36'-0" / -4'-0"		⑪
L	36'-0" x 12'-0" GARAGE DOOR	5	36'-0" / -4'-0"		⑫
M	36'-0" x 12'-0" GARAGE DOOR	5	36'-0" / -4'-0"		⑬
N	36'-0" x 12'-0" GARAGE DOOR	5	36'-0" / -4'-0"		⑭
O	36'-0" x 12'-0" GARAGE DOOR	5	36'-0" / -4'-0"		⑮
P	36'-0" x 12'-0" GARAGE DOOR	5	36'-0" / -4'-0"		⑯
Q	36'-0" x 12'-0" GARAGE DOOR	5	36'-0" / -4'-0"		⑰
R	36'-0" x 12'-0" GARAGE DOOR	5	36'-0" / -4'-0"		⑱

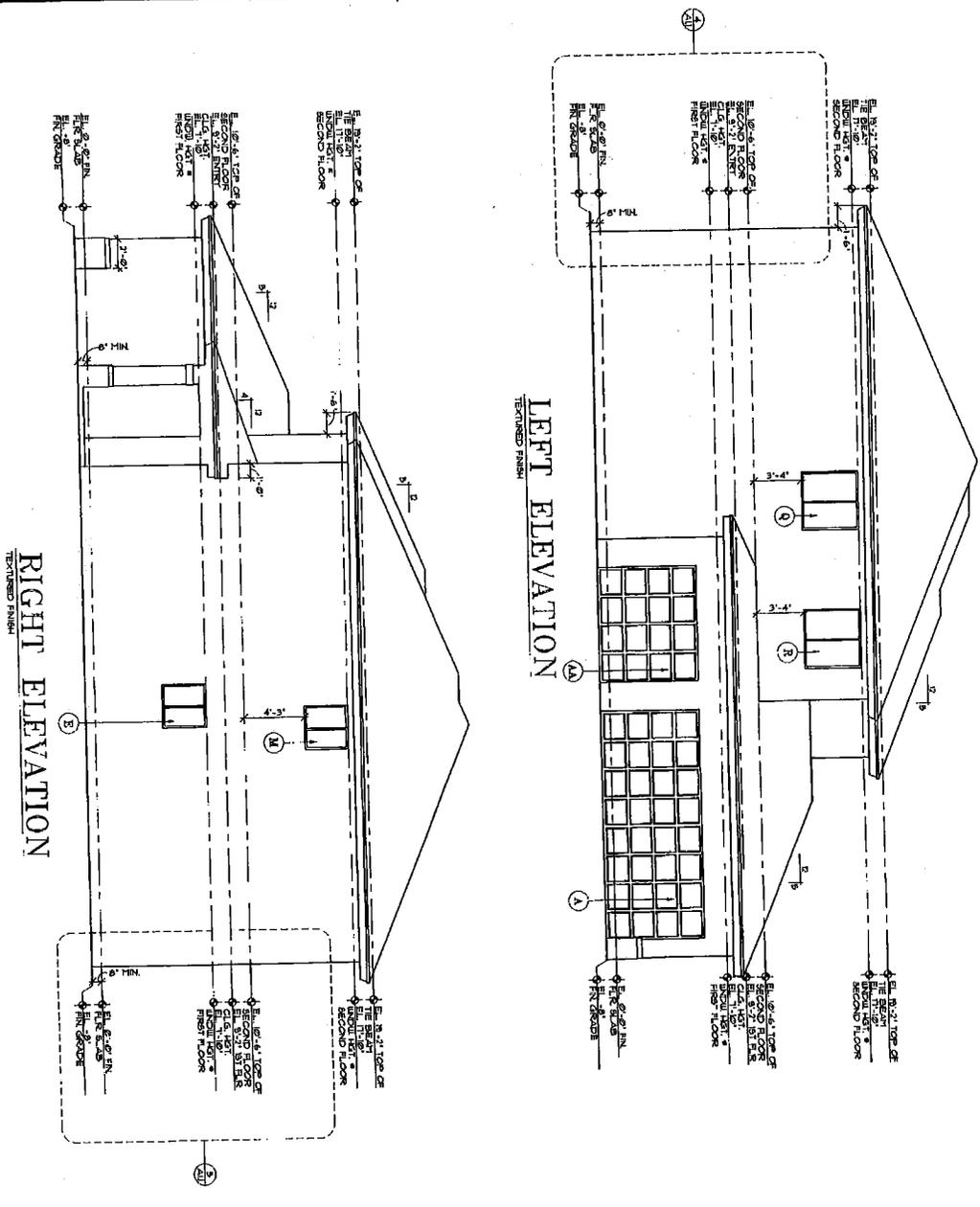
RECEIVED
 NOV 07 2013
 ZONING HEARDING SECTION
 MAINTENANCE PLANNING AND ZONING DEPARTMENT
 BY: [Signature]
 11/7/13

DESIGN GROUP
3441 N. AVENUE ROAD, SUITE 100
PALM BEACH, FL 33409
TEL: 561-833-1111
FAX: 561-833-1112
WWW.DRHORTON.COM

D.R. HORTON
America's Builder
www.drhorton.com
CORPORATE HQ

PROJECT: 02438.004
MODEL: "2770"
PAGE: LEFT
ELEVATION: LEFT & RIGHT

ARCHITECT: [Signature]
STATE OF FLORIDA
ARCHITECT NO. 00000000
DATE: 9/19/13
SCALE: 1/4" = 1'-0"
SHEET: A4 Co



COMPILED BY: [Name] DATE: [Date]

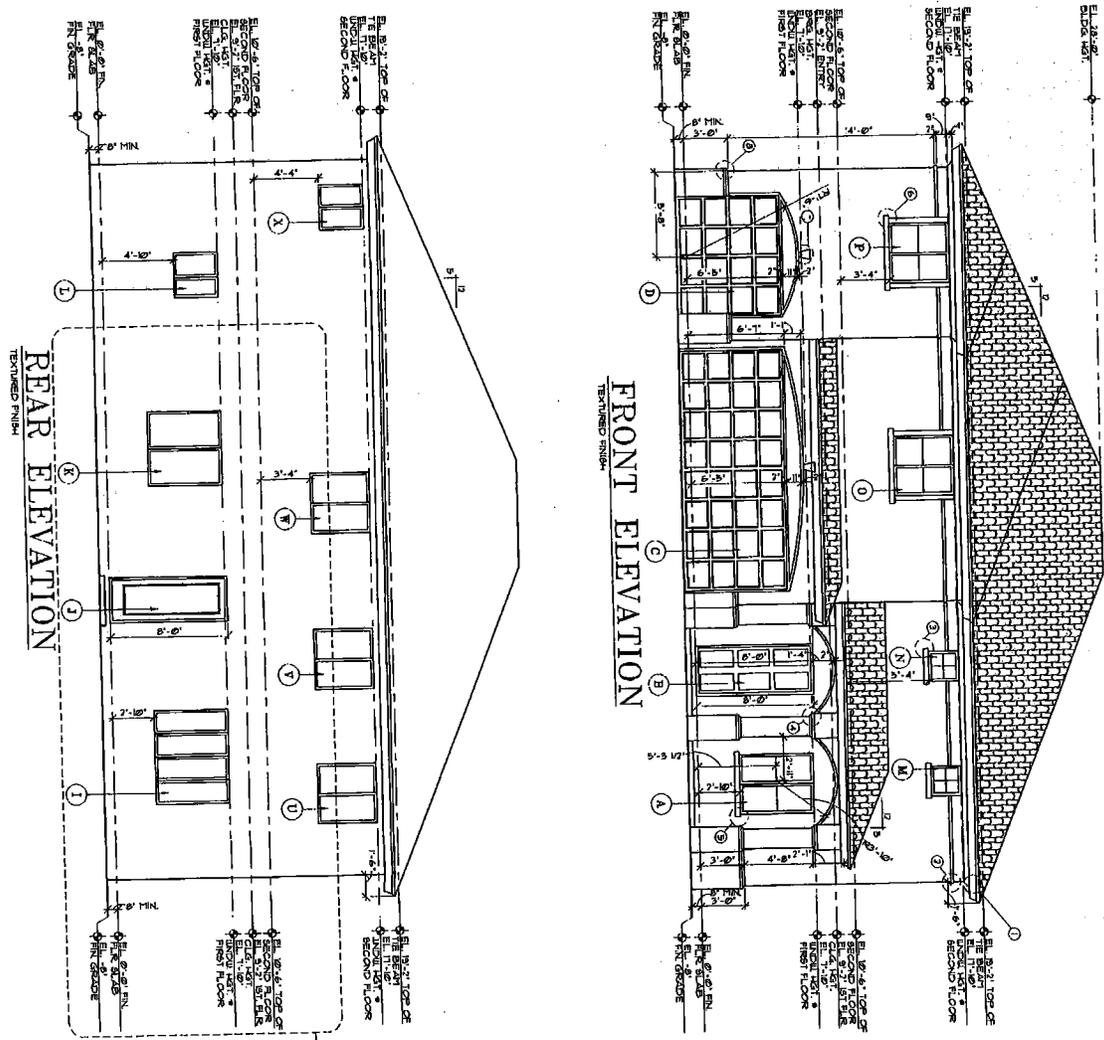
GRID	MARKING	ZONE	WIND	WIND	WIND	WIND
A	10' 0" x 10' 0" OPENING	B	10' 0" / -10' 0"	10' 0" / -10' 0"	10' 0" / -10' 0"	10' 0" / -10' 0"
B	34' 0" x 10' 0" OPENING	B	10' 0" / -10' 0"	10' 0" / -10' 0"	10' 0" / -10' 0"	10' 0" / -10' 0"
C	34' 0" x 10' 0" OPENING	B	10' 0" / -10' 0"	10' 0" / -10' 0"	10' 0" / -10' 0"	10' 0" / -10' 0"
D	34' 0" x 10' 0" OPENING	B	10' 0" / -10' 0"	10' 0" / -10' 0"	10' 0" / -10' 0"	10' 0" / -10' 0"
E	34' 0" x 10' 0" OPENING	B	10' 0" / -10' 0"	10' 0" / -10' 0"	10' 0" / -10' 0"	10' 0" / -10' 0"
F	34' 0" x 10' 0" OPENING	B	10' 0" / -10' 0"	10' 0" / -10' 0"	10' 0" / -10' 0"	10' 0" / -10' 0"
G	34' 0" x 10' 0" OPENING	B	10' 0" / -10' 0"	10' 0" / -10' 0"	10' 0" / -10' 0"	10' 0" / -10' 0"
H	34' 0" x 10' 0" OPENING	B	10' 0" / -10' 0"	10' 0" / -10' 0"	10' 0" / -10' 0"	10' 0" / -10' 0"
I	34' 0" x 10' 0" OPENING	B	10' 0" / -10' 0"	10' 0" / -10' 0"	10' 0" / -10' 0"	10' 0" / -10' 0"
J	34' 0" x 10' 0" OPENING	B	10' 0" / -10' 0"	10' 0" / -10' 0"	10' 0" / -10' 0"	10' 0" / -10' 0"
K	34' 0" x 10' 0" OPENING	B	10' 0" / -10' 0"	10' 0" / -10' 0"	10' 0" / -10' 0"	10' 0" / -10' 0"
L	34' 0" x 10' 0" OPENING	B	10' 0" / -10' 0"	10' 0" / -10' 0"	10' 0" / -10' 0"	10' 0" / -10' 0"
M	34' 0" x 10' 0" OPENING	B	10' 0" / -10' 0"	10' 0" / -10' 0"	10' 0" / -10' 0"	10' 0" / -10' 0"
N	34' 0" x 10' 0" OPENING	B	10' 0" / -10' 0"	10' 0" / -10' 0"	10' 0" / -10' 0"	10' 0" / -10' 0"
O	34' 0" x 10' 0" OPENING	B	10' 0" / -10' 0"	10' 0" / -10' 0"	10' 0" / -10' 0"	10' 0" / -10' 0"
P	34' 0" x 10' 0" OPENING	B	10' 0" / -10' 0"	10' 0" / -10' 0"	10' 0" / -10' 0"	10' 0" / -10' 0"
Q	34' 0" x 10' 0" OPENING	B	10' 0" / -10' 0"	10' 0" / -10' 0"	10' 0" / -10' 0"	10' 0" / -10' 0"
R	34' 0" x 10' 0" OPENING	B	10' 0" / -10' 0"	10' 0" / -10' 0"	10' 0" / -10' 0"	10' 0" / -10' 0"

BASIC WIND SPEED MPH = 75 (min)

RECEIVED
 Z-13-102
 NOV 07 2013

ZONING HEARING SECTION
 MIAMI-DADE PLANNING AND ZONING DEPT.
 BY [Signature]

<p>ARCHITECT N. Horton 57 ANSON RD DELAY BEACH, FL 33448 (888) 888-8888</p>	<p>DATE: 9/19/13 SCALE: 1/4"=1'-0" SEAL: A4D0*</p>	<p>PROPOSER: 02438.004 MODEL: "2770"</p>	<p>OWNER: PALMA VISTA STUDY: 2 LOT</p>	<p>ARCHITECT: D-R HORTON American's Builder www.drhorton.com ESTABLISHED 2004</p>	<p>ARCHITECTS: Design Group Inc. 1041 N. RONALD REAGAN BLVD. LONGWOOD, FL 32750 PH: 407-774-4478 FAX: 407-774-4478 www.designgroupinc.com FL #000833</p>
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REAR ELEVATION
TEXTURED FINISH

FRONT ELEVATION
TEXTURED FINISH



CALL NUMBER	ZONE	WIND DIR	ZONE	STORM WIND	VEILING	SCAFFOLD	POST TENSIONING
A	2E	4050-4R	4	64.2 / 70.0	0	0	0
B	2A	3000-0R	4	63.4 / 71.2	0	0	0
C	1D	6' x 6' x 1.08	5	54.1 / 71.0	0	0	0
D	3B	6' x 6' x 1.08	5	61.5 / 71.3	0	0	0
E	2B	5000-0R	4	62.3 / 71.0	0	0	0
F	2B	3000-0R	4	64.3 / 71.0	0	0	0
G	2C	4000-0R	4	64.3 / 71.0	0	0	0
H		NOT USED					
I	2C	6000-0R	4	64.4 / 70.2	0	0	0
J	2C	3000-0R	4	64.4 / 71.0	0	0	0
K	2D	5000-0R	4	63.3 / 71.0	0	0	0
L	2D	3000-0R	4	63.3 / 71.2	0	0	0
M	4	2000-0R	4	64.3 / 70.7	0	0	0
N	4	2000-0R	4	63.3 / 71.2	0	0	0
O	4	4000-0R	4	61.3 / 71.1	0	0	0
P	4	4000-0R	4	61.3 / 71.1	0	0	0
Q	2D	5000-0R	4	64.3 / 71.0	0	0	0
R	2D	5000-0R	4	64.3 / 71.0	0	0	0
S	2D	3000-0R	4	64.3 / 71.0	0	0	0
T	4	2000-0R	4	63.3 / 71.2	0	0	0
U	4	4000-0R	4	61.3 / 71.1	0	0	0
V	4	4000-0R	4	61.3 / 71.1	0	0	0
W	4	4000-0R	4	61.3 / 71.1	0	0	0
X	3	3000-0R	5	64.3 / 71.2	0	0	0

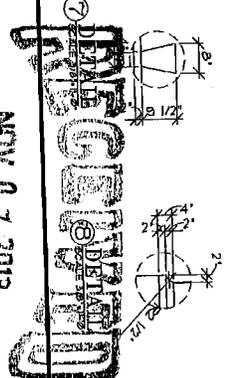
GENERAL NOTE:
TO ENSURE PROPER VENTILATION THE VENTS ARE TO BE EVENLY DISTRIBUTED THROUGHOUT THE SCHEMATIC.

NO VENTILATION IN COLUMN PER SECTION

NO PORTAGE
NO PORTAGE
VENTILATION REQUIRED
2715 SF
100' X 2475 54" x 52 SF

ROOF VENT 6' x 2' - 03 SQ. FT.

REQUIRED
ROOF VENTING
100' X 2475 54" x 52 SF
MINUTELY
REQUIRED VENTS
10 VENTS



ZONING HEARING
MIAMI-DADE PLANNING AND ZONING DEPT.
BY

DATE: 09/18/13
SCALE: 1/4"=1'-0"
AS3A 09'

ARCHITECT
D.R. HORTON
1000 BROADWAY
MIAMI, FL 33139
TEL: 305.441.1111
WWW.DRHORTON.COM

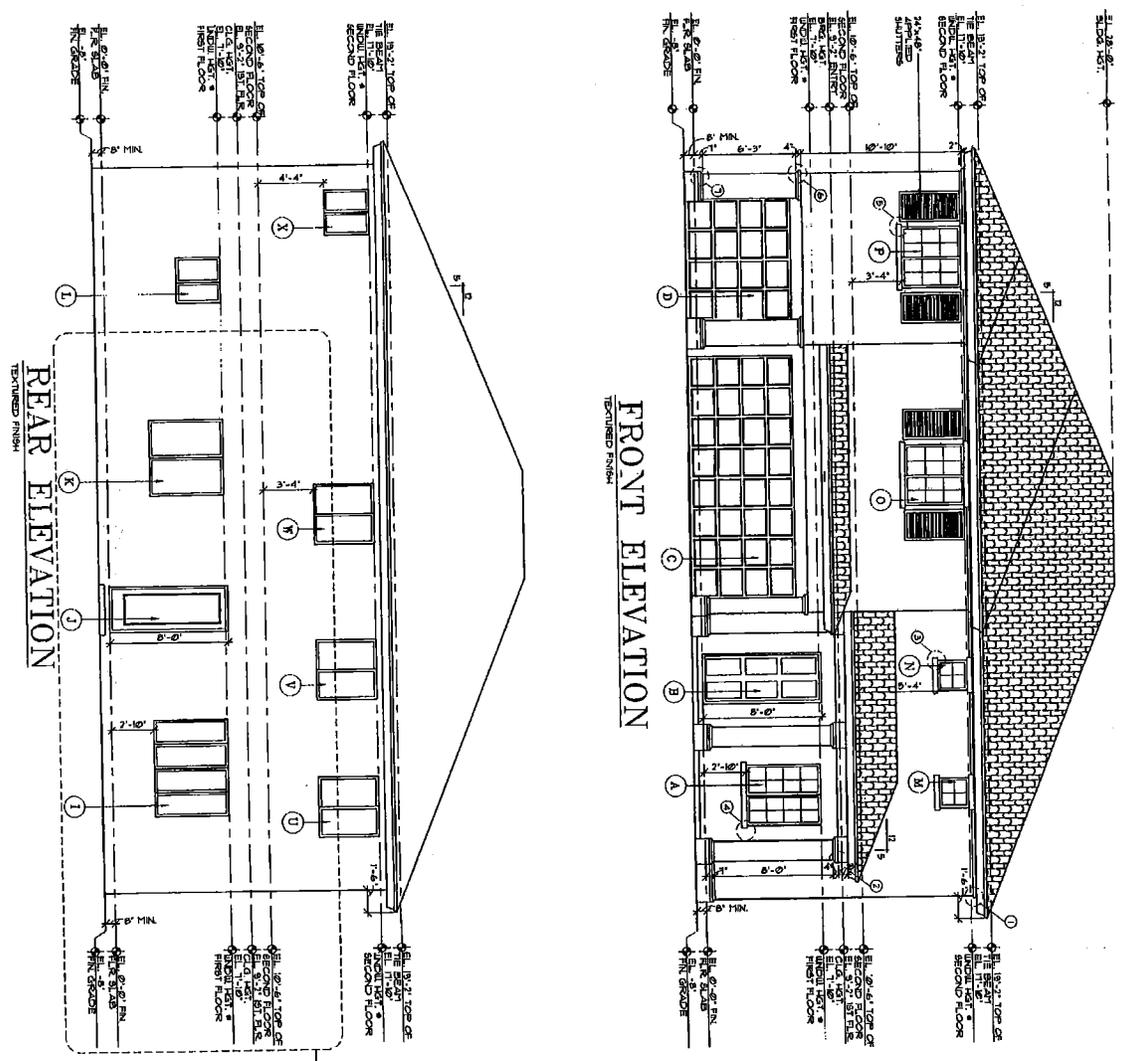
PROJECT
PALMA VISTA
ELEVATION
"A"
FRONT & REAR

DATE: 09/18/13
SCALE: 1/4"=1'-0"
AS3A 09'

DESIGNER
D.R. HORTON
1000 BROADWAY
MIAMI, FL 33139
TEL: 305.441.1111
WWW.DRHORTON.COM

DATE: 09/18/13
SCALE: 1/4"=1'-0"
AS3A 09'

DATE: 09/18/13
SCALE: 1/4"=1'-0"
AS3A 09'



CALL OUT	NO. / TYPE	FINISH	SCALE	REMARKS	NOTES
A	20	4090-HR	4	643 / -172	EMERGENCY EXIT
B	24	3680-DR	4	644 / -170	EMERGENCY EXIT
C	10	614-37-T10	5	644 / -170	EMERGENCY EXIT
D	10	614-37-T10	5	643 / -173	EMERGENCY EXIT
E	25	3680-DR	4	643 / -170	EMERGENCY EXIT
F	25	3680-DR	4	643 / -170	EMERGENCY EXIT
G	20	4090-HR	4	643 / -170	EMERGENCY EXIT
H	NOT USED				
I	20	644-170	4	644 / -170	EMERGENCY EXIT
J	24	3680-DR	4	644 / -172	EMERGENCY EXIT
K	25	3680-DR	4	643 / -170	EMERGENCY EXIT
L	9	3680-DR	4	643 / -172	EMERGENCY EXIT
M	4	2020-DR	4	643 / -172	EMERGENCY EXIT
N	4	2020-DR	4	643 / -172	EMERGENCY EXIT
O	16	4040-HR	4	613 / -171	EMERGENCY EXIT
P	16	4040-HR	4	613 / -171	EMERGENCY EXIT
Q	20	5040-HR	4	643 / -170	EMERGENCY EXIT
R	20	5040-HR	4	643 / -170	EMERGENCY EXIT
S	20	5040-HR	4	643 / -170	EMERGENCY EXIT
T	4	2020-DR	4	643 / -172	EMERGENCY EXIT
U	16	4040-HR	4	613 / -171	EMERGENCY EXIT
V	16	4040-HR	4	613 / -171	EMERGENCY EXIT
W	16	4040-HR	4	613 / -171	EMERGENCY EXIT
X	5	3680-DR	5	643 / -172	EMERGENCY EXIT

GENERAL NOTE:
 TO BE VENTILATED THROUGH THE ROOF.
 TO BE VENTILATED THROUGH THE ROOF.
 TO BE VENTILATED THROUGH THE ROOF.

RECEIVED
 11/13-10/2
 NOV 17 2013

ZONING HEARING
 MAMMADE PLANNING ZONING DEPT.
 BY _____

DATE: 08/19/13
 SCALE: 1/4" = 1'-0"
 SHEET: A3B OF

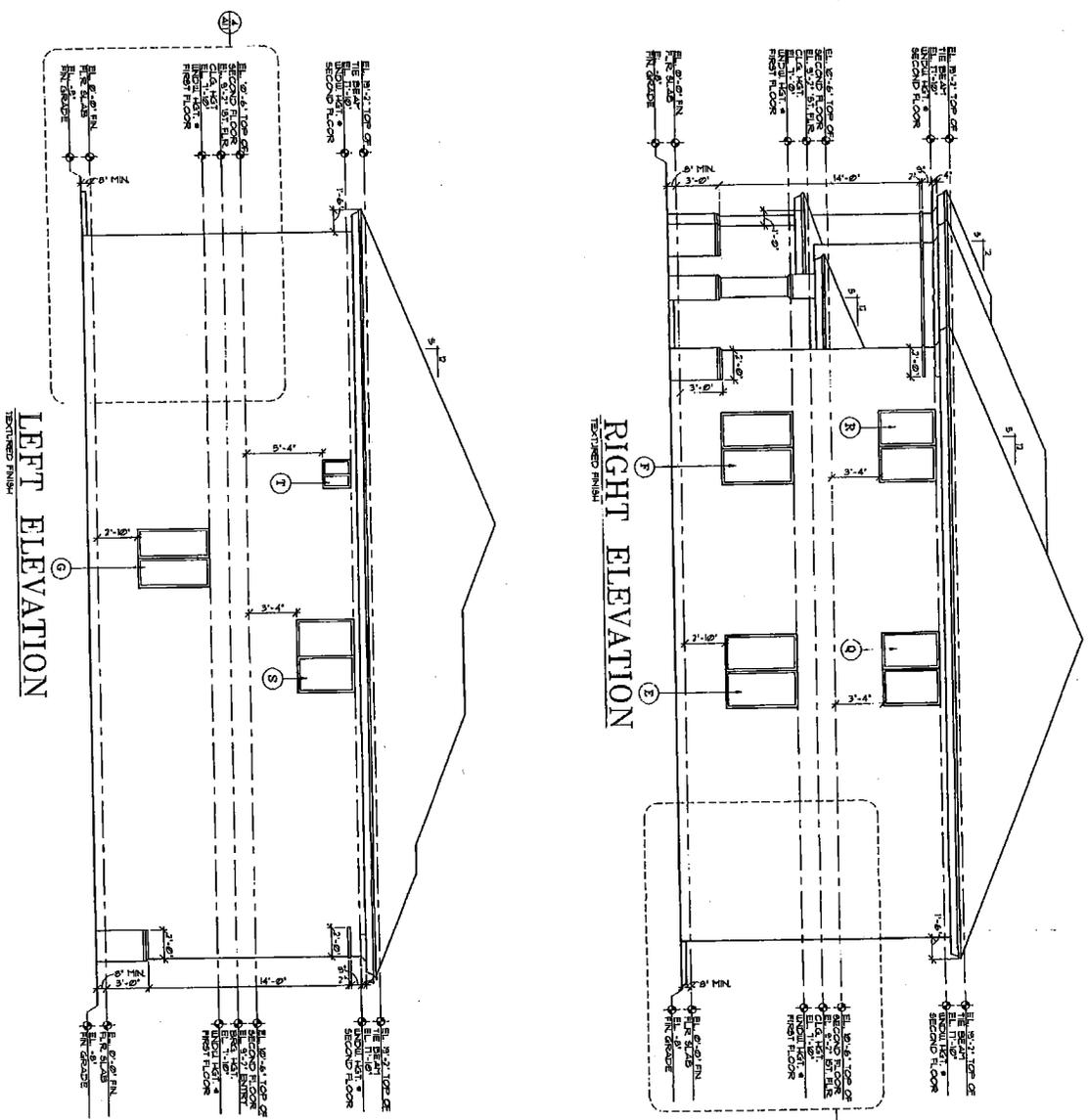
ARCHITECT:
 STATE OF FLORIDA
 ARCH. NO. 000524

ELEVATION
 "B"
 FRONT &
 REAR

PROJ. NO.
 02438.005
 SCALE: 1/4" = 1'-0"

D.R. HORTON
 American's Builder
 www.drhorton.com

Design Group
 344 N. RINDLE SQUARE BLVD.
 SUITE 200
 TAMPA, FL 33609
 TEL: 813-271-4818
 FAX: 813-271-4818
 A/E: 000524



CELL NUMBER	ROOM NAME	AREA	PERIMETER	FINISH	REMARKS	NOTES
A	4000-HR	4	663 / '12	CONC		(A)
B	3000-DK	4	654 / '12	CONC		(B)
C	1000-DK	5	604 / '10	CONC		(C)
D	1000-DK	4	603 / '10	CONC		(D)
E	1000-DK	4	603 / '10	CONC		(E)
F	1000-DK	4	603 / '10	CONC		(F)
G	1000-DK	4	603 / '10	CONC		(G)
H	NOT USED					(H)
I	6000-HR	4	644 / '10	CONC		(I)
J	3000-DK	4	604 / '12	CONC		(J)
K	1000-DK	4	603 / '10	CONC		(K)
L	1000-DK	4	603 / '10	CONC		(L)
M	1000-DK	4	603 / '10	CONC		(M)
N	1000-DK	4	603 / '10	CONC		(N)
O	1000-DK	4	603 / '10	CONC		(O)
P	1000-DK	4	603 / '10	CONC		(P)
Q	1000-DK	4	603 / '10	CONC		(Q)
R	1000-DK	4	603 / '10	CONC		(R)
S	1000-DK	4	603 / '10	CONC		(S)
T	1000-DK	4	603 / '10	CONC		(T)
U	1000-DK	4	603 / '10	CONC		(U)
V	1000-DK	4	603 / '10	CONC		(V)
W	1000-DK	4	603 / '10	CONC		(W)
X	1000-DK	4	603 / '10	CONC		(X)

RECEIVED
 218-022
 07 2013

20 JUNIOR HIGH PLANNING DEPT.
 MIAMI-DADE PLANNING DEPT.

ARCHITECT: STATE OF FLORIDA
 STATE OF FLORIDA
 ARCHITECT: STATE OF FLORIDA
 STATE OF FLORIDA
 ARCHITECT: STATE OF FLORIDA
 STATE OF FLORIDA

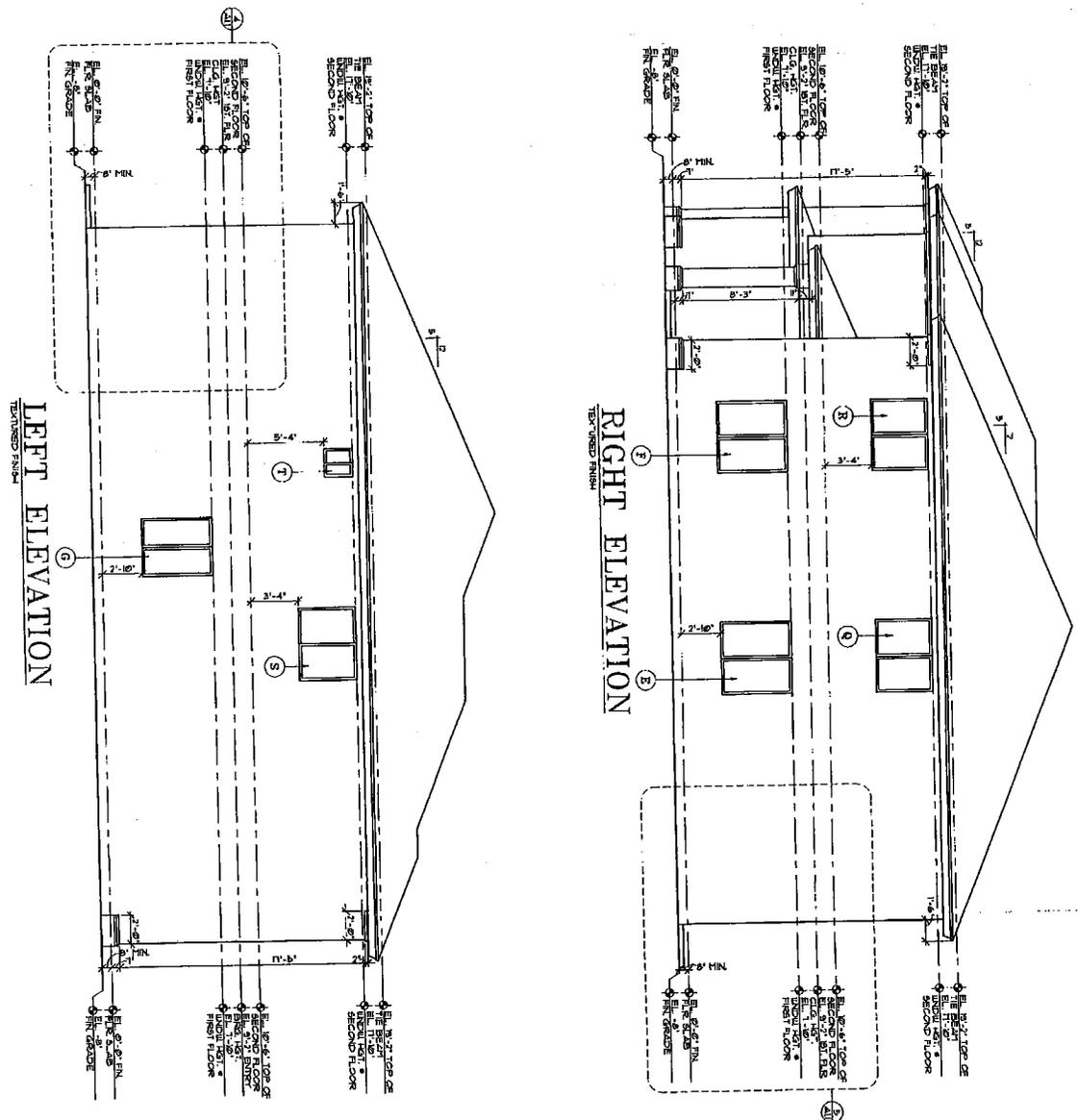
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 SHEET: 44A07

PAGE: LEFT
 ELEVATION: LEFT & RIGHT

PROJECT: PALMA VISTA
 ADDRESS: 32700
 CITY: MIAMI, FL 33183

D-R-HORTON
 America's Builder
 WWW.DRHORTON.COM
 800.272.800

Design Group Inc.
 4441 N. RONALD REAGAN BLVD.
 MIAMI, FL 33178
 TEL: 305.441.4078
 FAX: 305.441.4079
 WWW.DESIGNGROUPINC.COM
 AA 0000335



COMPARISON OF LOT COVERAGES

LOT	AREA	MAXIMUM PERCENTAGE COVER	PERCENTAGE COVER	REMARKS	NOTED
A	4,000-SQ	4	683 / 712	REAR	(A)
B	3,800-SQ	4	684 / 712	REAR	(B)
C	3,800-SQ	5	684 / 712	REAR	(C)
D	3,800-SQ	5	615 / 712	REAR	(D)
E	3,800-SQ	4	683 / 712	REAR	(E)
F	3,800-SQ	4	683 / 712	REAR	(F)
G	4,000-SQ	4	683 / 712	REAR	(G)
H	NOT USED				
I	6,000-SQ	4	644 / 712	REAR	(I)
J	3,800-SQ	4	684 / 712	REAR	(J)
K	3,800-SQ	4	683 / 712	REAR	(K)
L	3,800-SQ	4	683 / 712	REAR	(L)
M	3,800-SQ	4	683 / 712	REAR	(M)
N	3,800-SQ	4	683 / 712	REAR	(N)
O	4,000-SQ	4	613 / 712	REAR	(O)
P	4,000-SQ	4	613 / 712	REAR	(P)
Q	3,800-SQ	4	683 / 712	REAR	(Q)
R	3,800-SQ	4	683 / 712	REAR	(R)
S	3,800-SQ	4	683 / 712	REAR	(S)
T	3,800-SQ	4	683 / 712	REAR	(T)
U	4,000-SQ	4	612 / 712	REAR	(U)
V	4,000-SQ	4	613 / 712	REAR	(V)
W	4,000-SQ	4	612 / 712	REAR	(W)
X	3,800-SQ	5	683 / 712	REAR	(X)
Y	3,800-SQ	5	683 / 712	REAR	(Y)

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 2/13-10/20
 2/13 10 7 2013

ZONING HEARING
 MIAMI-DADE PLANNING & ZONING DEPT
 RECEIVED
 2/13/13

BY _____

ARCHITECT
 DESIGN GROUP
 2700 N.W. 107th Ave.
 Suite 100
 Miami, FL 33177
 Tel: 305-555-1234
 Fax: 305-555-5678
 www.designgroup.com

DESIGNER
 MICHAEL LARSEN
 2700 N.W. 107th Ave.
 Suite 100
 Miami, FL 33177
 Tel: 305-555-1234
 Fax: 305-555-5678
 www.designgroup.com

DATE 09/19/13
SCALE 1/4" = 1'-0"
PROJECT
A4B08

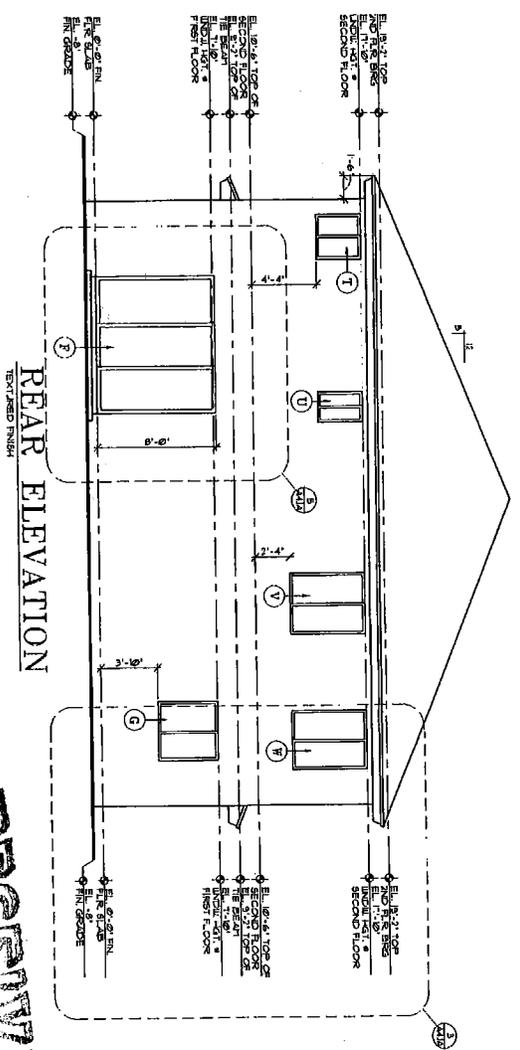
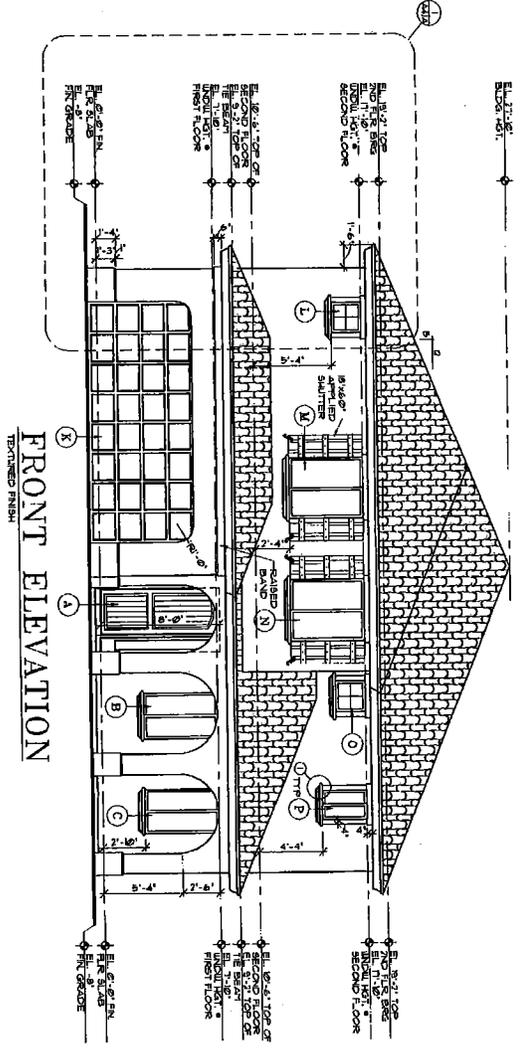
PROJECT
 PALMA VISTA
 "B" ELEVATION
 LEFT & RIGHT

PROJ. NO. 02438.005
MODEL
 "3270"
GARAGE SWING:
 LEFT

STORY: 2 LOT#
 PALMA VISTA
 "B" ELEVATION
 LEFT & RIGHT

D-R-HORTON
 America's Builder
 www.drhorton.com
 800-288-1000

ARCHITECTS
Design Group Inc.
 1441 N. RONALD REAGAN BLVD.
 SUITE 100
 MIAMI, FL 33177
 TEL: 305-555-1234
 FAX: 305-555-5678
 WWW.DESIGNGROUP.COM



CALL ROOMS	WINDOW SIZE	TYPE	FINISH	REMARKS	TO BE USED FOR THE WINDOW
A	36\"/>				
B	36\"/>				
C	36\"/>				
D	36\"/>				
E	36\"/>				
F	36\"/>				
G	36\"/>				
H	36\"/>				
I	36\"/>				
J	36\"/>				
K	36\"/>				
L	36\"/>				
M	36\"/>				
N	36\"/>				
O	36\"/>				
P	36\"/>				
Q	36\"/>				
R	36\"/>				
S	36\"/>				
T	36\"/>				
U	36\"/>				
V	36\"/>				
W	36\"/>				
X	36\"/>				
Y	36\"/>				
Z	36\"/>				
AA	36\"/>				
AB	36\"/>				

GENERAL NOTE:
 TO ENSURE PROPER VENTILATION THE VENTS ARE TO BE EVENLY DISTRIBUTED THROUGHOUT THE ROOM.

REQUIRED VENTS:
 MINOR VENTS
 MAJOR VENTS

REAR VENTILATION CALCULATION:
 50 SCQ/FACE
 2,475 SF
 1/8\"/>

RECEIVED
 03/13/2013
 ZONING DEPARTMENT
 MIAMI-DADE PLANNING AND ZONING DEPT.
 BY _____

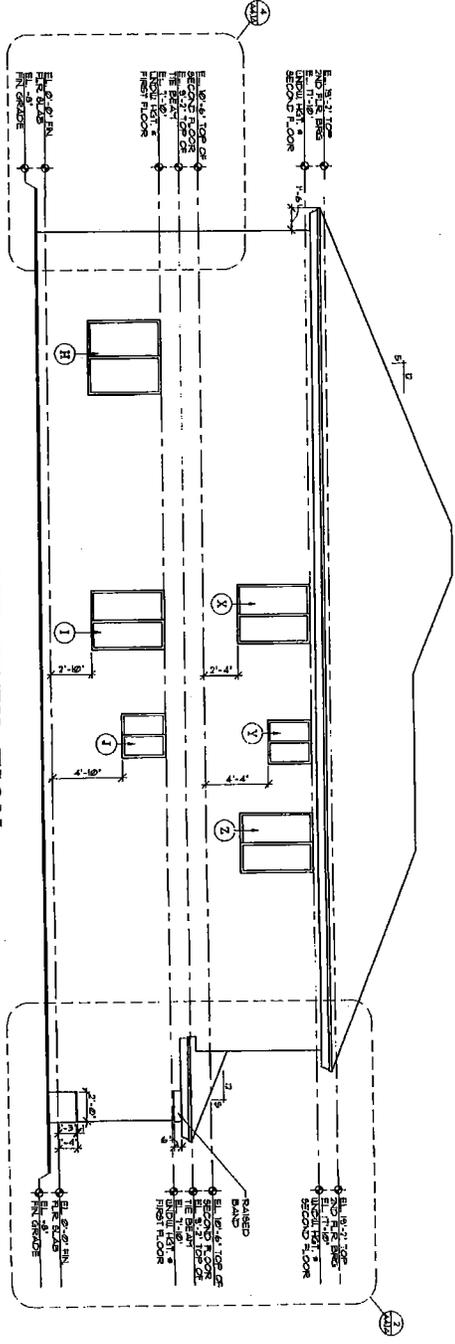
ARCHITECT:
 D.R. HORTON
 35776
 DATE: 09/19/13
 SCALE: 3/4\"/>

PROJECT:
 02436.006
 3576
 GARAGE STAIRS
 LEFT

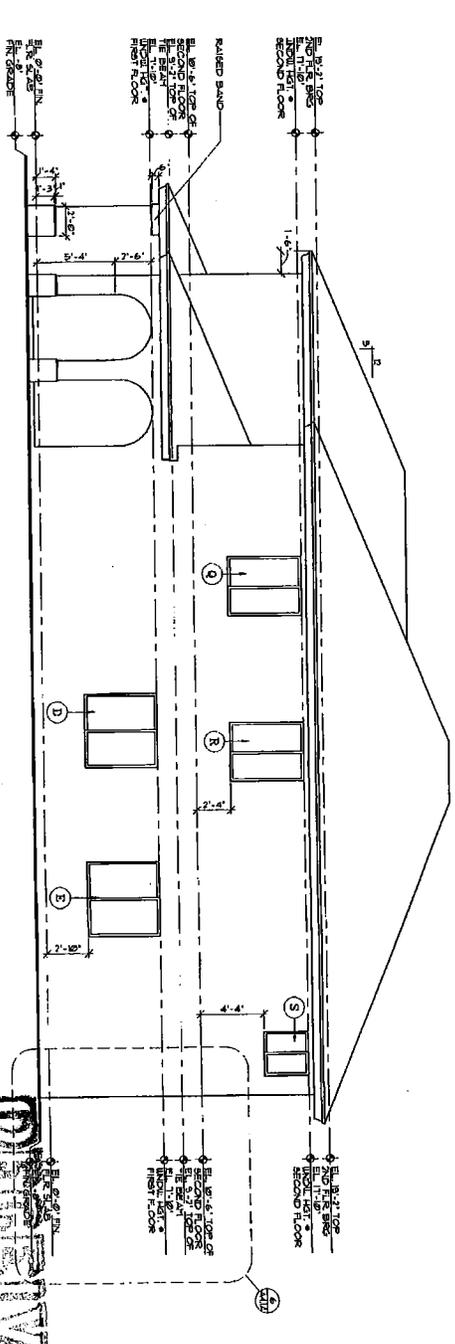
STORY:
 PALMA
 VISITA

D.R. HORTON
 America's Builder
 www.drhorton.com
 00070001 2004

RENTALS
 Design Group Inc.
 441 N. MIAMI BEACH BLVD
 SUITE 200
 MIAMI, FL 33136
 PH: 407-774-0018
 FAX: 407-774-0018
 WWW.DRDESIGN.COM
 A.P. 00000015



LEFT ELEVATION



RIGHT ELEVATION

APPROVED
 1713-102
 NOV 07 2013



ZONING HEARING REPORT
 MIAMI-DADE PLANNING AND ZONING DEPT.
 BY _____

DATE: 08/19/13
 SCALE: 1/4"=1'-0"
 SHEET: A4A of 4

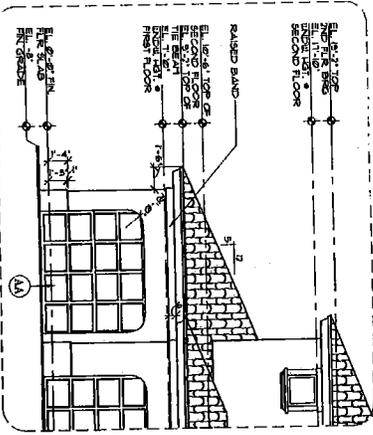
ARCHITECT:
 D.R. HORTON
 1441 N. BIRDALE BOULEVARD
 SUITE 100
 MIAMI, FL 33150
 (305) 551-1000

PROJECT:
 PALMA VISTA
 MODEL:
 "3576"
 DRAWING:
 ELEVATION
 LEFT & RIGHT

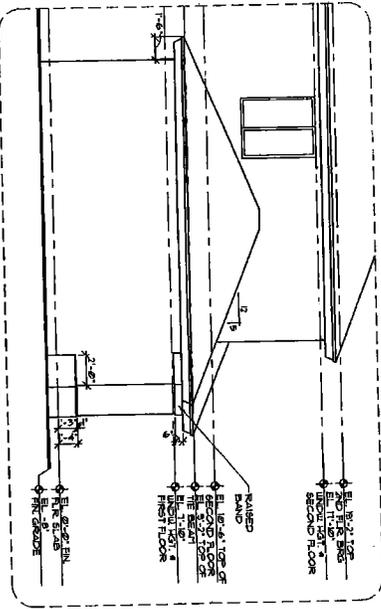
DESIGNER & LOT:
 PALMA VISTA
 PROJECT NO:
 02-4381-006
 MODEL:
 "3576"
 DRAWING:
 ELEVATION
 LEFT & RIGHT

D.R. HORTON
 America's Builder
 www.drhorton.com
 1000

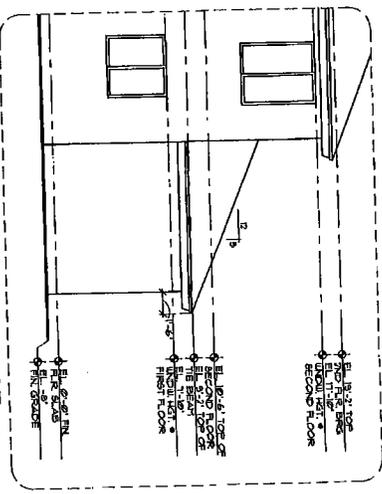
ARCHITECTS
Design Group Inc.
 1441 N. BIRDALE BOULEVARD
 SUITE 100
 MIAMI, FL 33150
 (305) 551-1000
 www.designgroupinc.com
 AIA #0003232



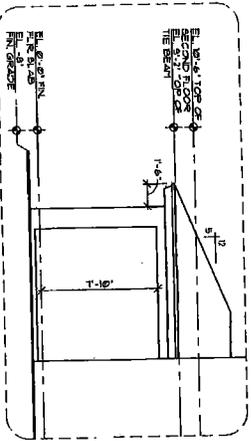
① OPT. 3-CAR GARAGE
FRONT ELEVATION



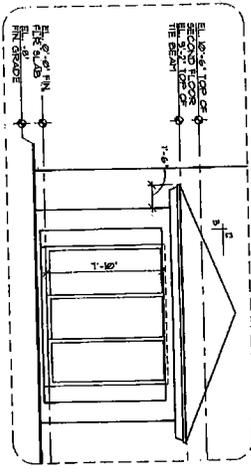
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LEFT ELEVATION



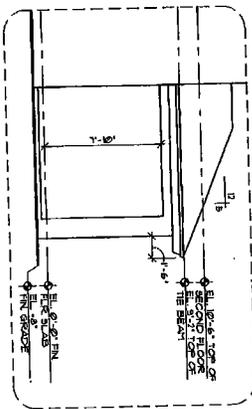
③ OPT. 3-CAR GARAGE
REAR ELEVATION



④ OPT. COVERED LANAI
LEFT ELEVATION



⑤ OPT. COVERED LANAI
REAR ELEVATION



⑥ OPT. COVERED LANAI
RIGHT ELEVATION

ZONING HEARING
MIAMI-DADE PLANNING & ZONING DEPT.
BY _____

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07-10-13
07-10-13

RECEIVED
07-10-13

ARCHITECT: DR. HORTON
3715 N. BAYVIEW BLVD.
SUITE 100
MIAMI, FL 33149
TEL: 305.575.1100
FAX: 305.575.1101
WWW.DRHORTON.COM

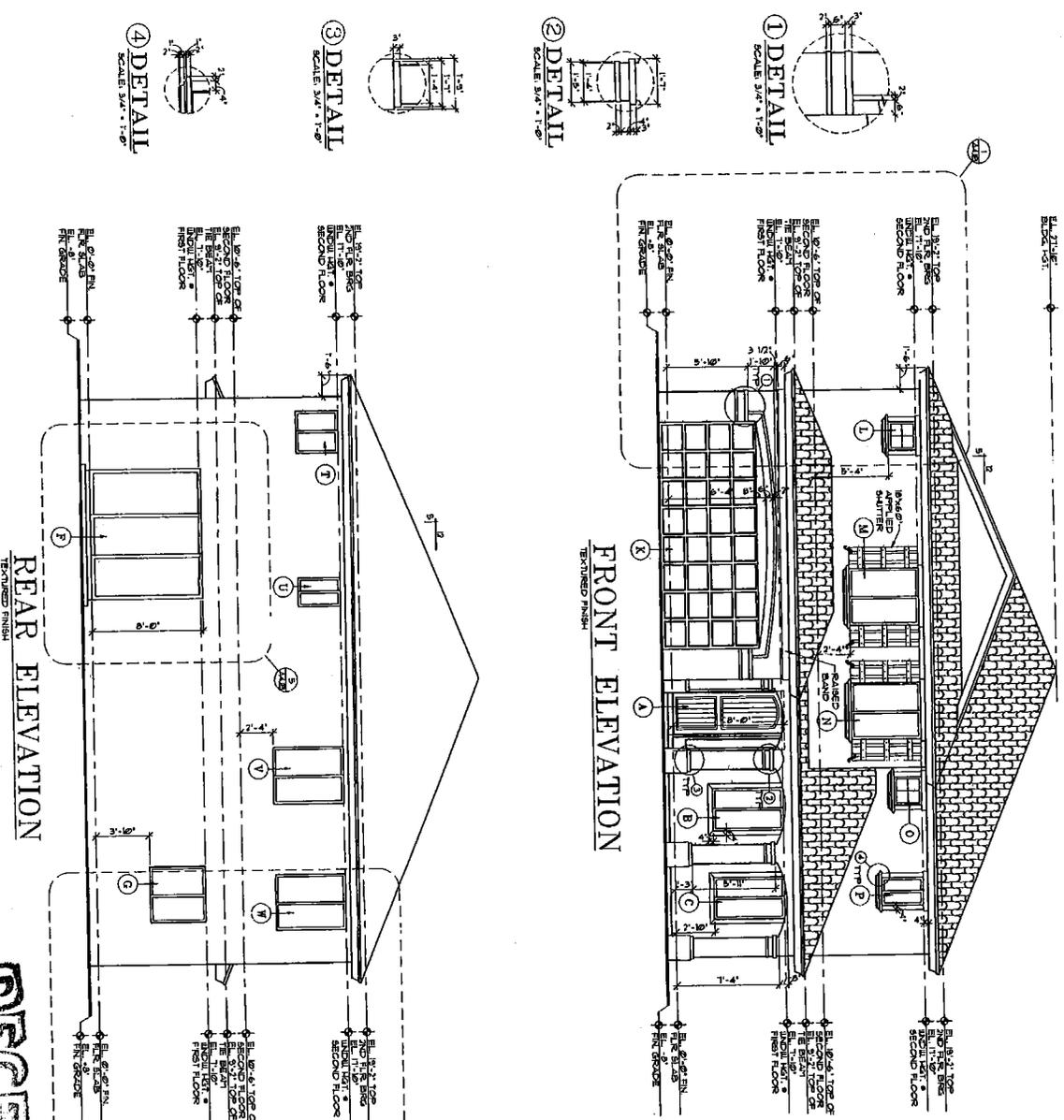
DATE: 09/19/13
SCALE: 1/8"=1'-0"
SHEET: A4.1Aa

PROJECT: PALMA VISTA
MODEL: "3576"
GARAGE SWING: LEFT
SCALE: 1/8"=1'-0"
ELEVATION OPTIONS "A"

D.R. HORTON
THE REAL TEAM
America's Builder
WWW.DRHORTON.COM
800.272.2222

ARCHITECTS
Design Group Inc.
1441 N. RONALD REAGAN BLVD.
LUDERDALE, FL 33709
TEL: 407.744.0011
WWW.DSGROUPINC.COM
M.F. 05/20/13

NOV 07 2013
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 BY _____



CALL LETTER	ROOM NAME	NO. OF SEATING	ZONE	EXISTING (SQ. FT.)	REAR	ROOM AREA (SQ. FT.)
A	3080-DSC	4	4014 / -48.28	REAR	3080	3080
B	3080-HR	4	4015 / -48.28	REAR	3080	3080
C	3080-HR	5	4125 / -54.21	REAR	3080	3080
D	3080-HR	4	4110 / -44.80	REAR	3080	3080
E	3080-HR	4	4110 / -44.80	REAR	3080	3080
F	3080-DSC	4	4029 / -48.28	REAR	3080	3080
G	4080-HR	5	4121 / -50.88	REAR	4080	4080
H	4080-HR	4	4110 / -44.80	REAR	4080	4080
I	4080-HR	4	4113 / -45.44	REAR	4080	4080
J	3080-HR	4	4110 / -44.80	REAR	3080	3080
K	3080-HR	4	4110 / -44.80	REAR	3080	3080
L	3080-HR	5	4110 / -44.80	REAR	3080	3080
M	4080-HR	4	4113 / -45.44	REAR	4080	4080
N	4080-HR	5	4113 / -54.54	REAR	4080	4080
O	2020-HG	4	4110 / -44.80	REAR	2020	2020
P	2020-HR	4	4110 / -44.80	REAR	2020	2020
Q	4080-HR	4	4113 / -45.44	REAR	4080	4080
R	4080-HR	4	4113 / -45.44	REAR	4080	4080
S	3080-HR	5	4010 / -48.28	REAR	3080	3080
T	3080-HR	5	4010 / -48.28	REAR	3080	3080
U	3080-HR	4	4110 / -44.80	REAR	3080	3080
V	4080-HR	4	4113 / -45.44	REAR	4080	4080
W	4080-HR	5	4113 / -54.54	REAR	4080	4080
X	4080-HR	4	4110 / -44.80	REAR	4080	4080
Y	3080-HR	4	4110 / -44.80	REAR	3080	3080
Z	4080-HR	4	4113 / -45.44	REAR	4080	4080
AA	8'0" X 3'0" CLOSET	5	3081 / -44.13	REAR	3080	3080

GENERAL NOTE: PRESSURES HAVE BEEN NOTIFIED FOR THE ABOVE TO VERIFY FROM THE PRODUCT MANUFACTURER.

INTERVAL PRESSURE COEFFICIENT = ± 0.18

WIND SPEED UPH = 115 (MIL)

WIND SPEED DWN = 85 (MIL)

WIND DIRECTION = 100°

WIND PERIOD = 30 MIN

WIND PROFILE = 100 FT

WIND CORNER = 100 FT

WIND EXPOSURE = 100 FT

WIND CATEGORY = 100 FT

WIND ZONE = 100 FT

WIND OUTDOOR = 100 FT

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 NOV 07 2013
 ZONING HEARING DEPARTMENT
 MIAMI-DADE PLANNING AND ZONING DEPT.
 BY _____

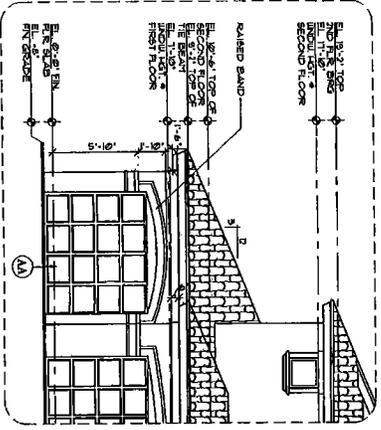
DATE: 09/19/13
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 A3B0*

ARCHITECTS
P Design Group Inc.
 1441 N. SHADY ROAD, SUITE 200
 LINDWOOD, FL 33150
 PH: 407-744-0018
 WWW.PDESIGNGROUP.COM
 A/E: 0000332

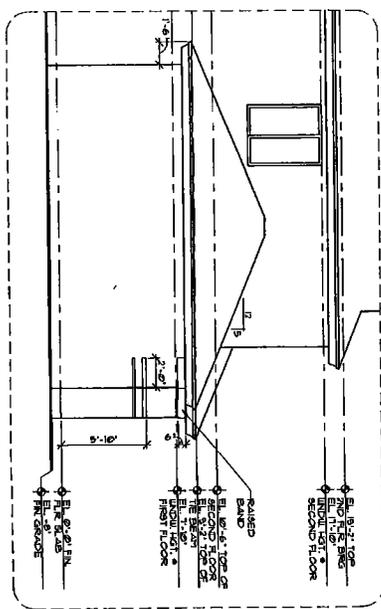
PREPARED BY: M. HUBBARD
 02438 006
 PALMA VISTA
 LEPT
 CARVAGE SWING:
 "3576"
 FRONT ELEVATION
 REAR

D-R HORTON
 American's Builder
 www.drhorton.com
 600 TRINITY ROAD

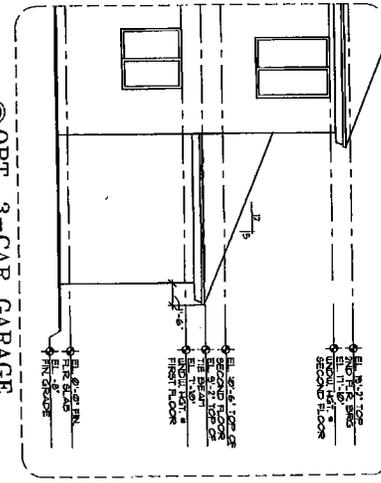
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 A3B0*



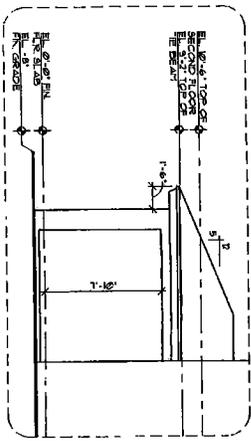
① OPT. 3-CAR GARAGE
FRONT ELEVATION



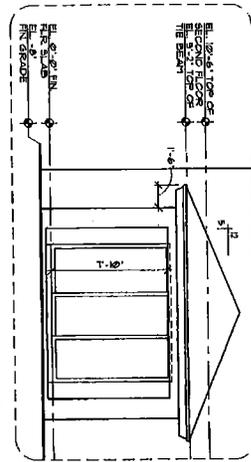
② OPT. 3-CAR GARAGE
LEFT ELEVATION



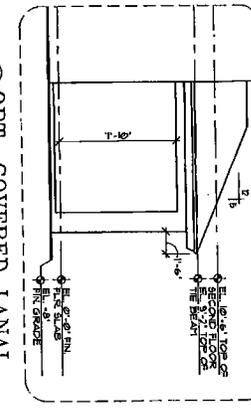
③ OPT. 3-CAR GARAGE
REAR ELEVATION



④ OPT. COVERED LANAI
LEFT ELEVATION



⑤ OPT. COVERED LANAI
REAR ELEVATION



⑥ OPT. COVERED LANAI
RIGHT ELEVATION

RECEIVED
NOV 13 2013

RECEIVED
NOV 13 2013

ZONING REVISION
MIAMI-DADE PLANNING
BY _____

DATE: 09/19/13
SCALE: 1/4" = 1'-0"
SHEET: A4.1B

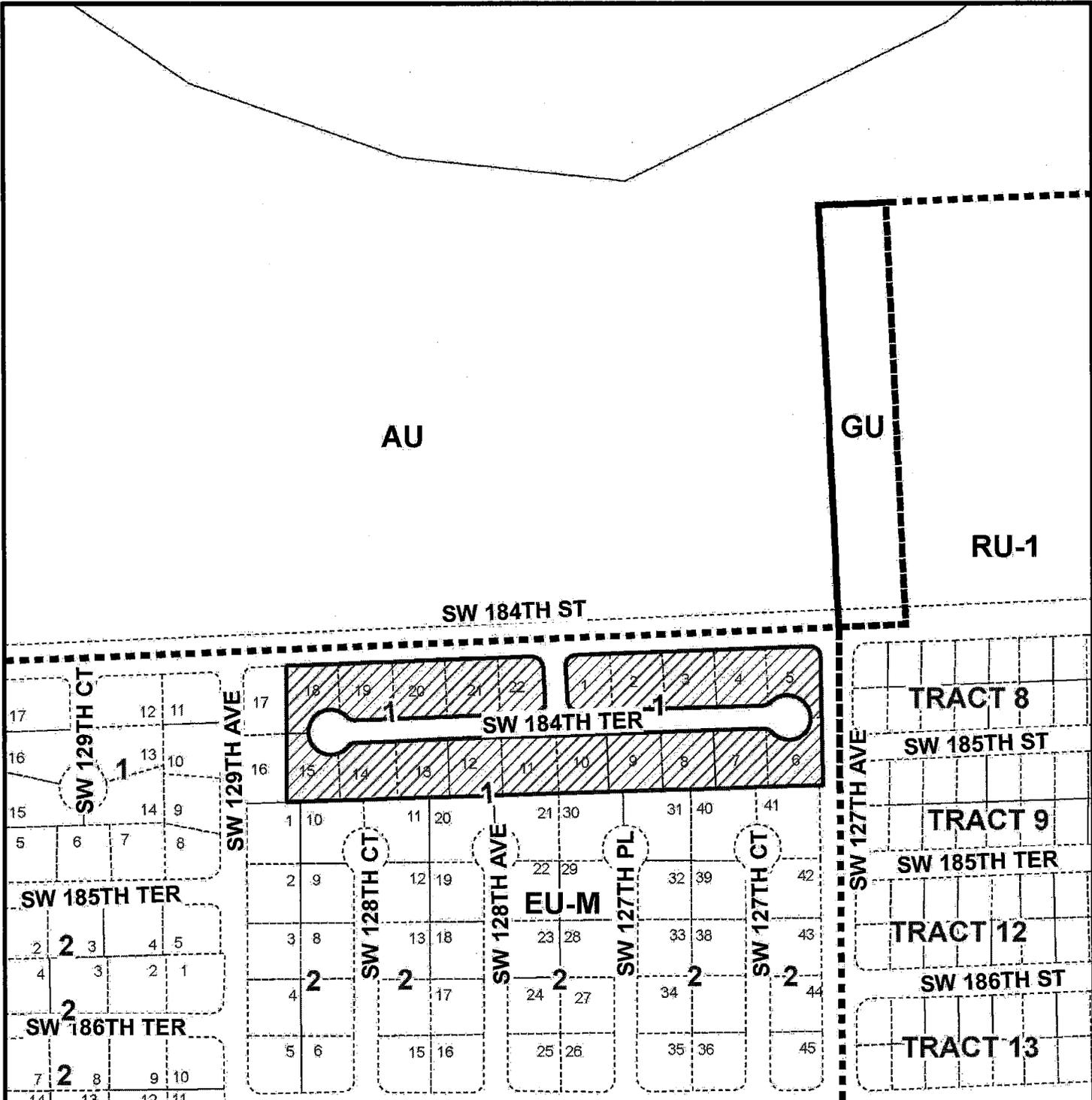
ARCHITECT:
STATE OF FLORIDA
A.M. 090824

PROJECT:
GARAGE STAIRS:
LEFT
ELEVATION
"B"
OPTIONS

PROJECT NO:
02-138,008
NO. "B"
"3576"

D-R-HORTON
America's Builder
www.drhorton.com
COURTESY 104

ARCHITECTS
Design Group
3441 N. SW 82ND AVE.
MIAMI, FL 33155
PH: 407-746-0118
FAX: 407-746-0118
WWW.DESIGNGROUP.COM
A.A. 0002512



MIAMI-DADE COUNTY
HEARING MAP

Process Number
Z2013000102



Section: 02 Township: 56 Range: 39
 Applicant: D.R. HORTON, INC
 Zoning Board: C 14
 Commission District: 8
 Drafter ID: JEFFER GURDIAN
 Scale: NTS

Legend

 Subject Property Case



SKETCH CREATED ON: Monday, December 2, 2013

REVISION	DATE	BY
		71



MIAMI-DADE COUNTY

AERIAL YEAR 2012

Process Number

Z2013000102



Section: 02 Township: 56 Range: 39
 Applicant: D.R. HORTON, INC
 Zoning Board: C14
 Commission District: 8
 Drafter ID: JEFFER GURDIAN
 Scale: NTS

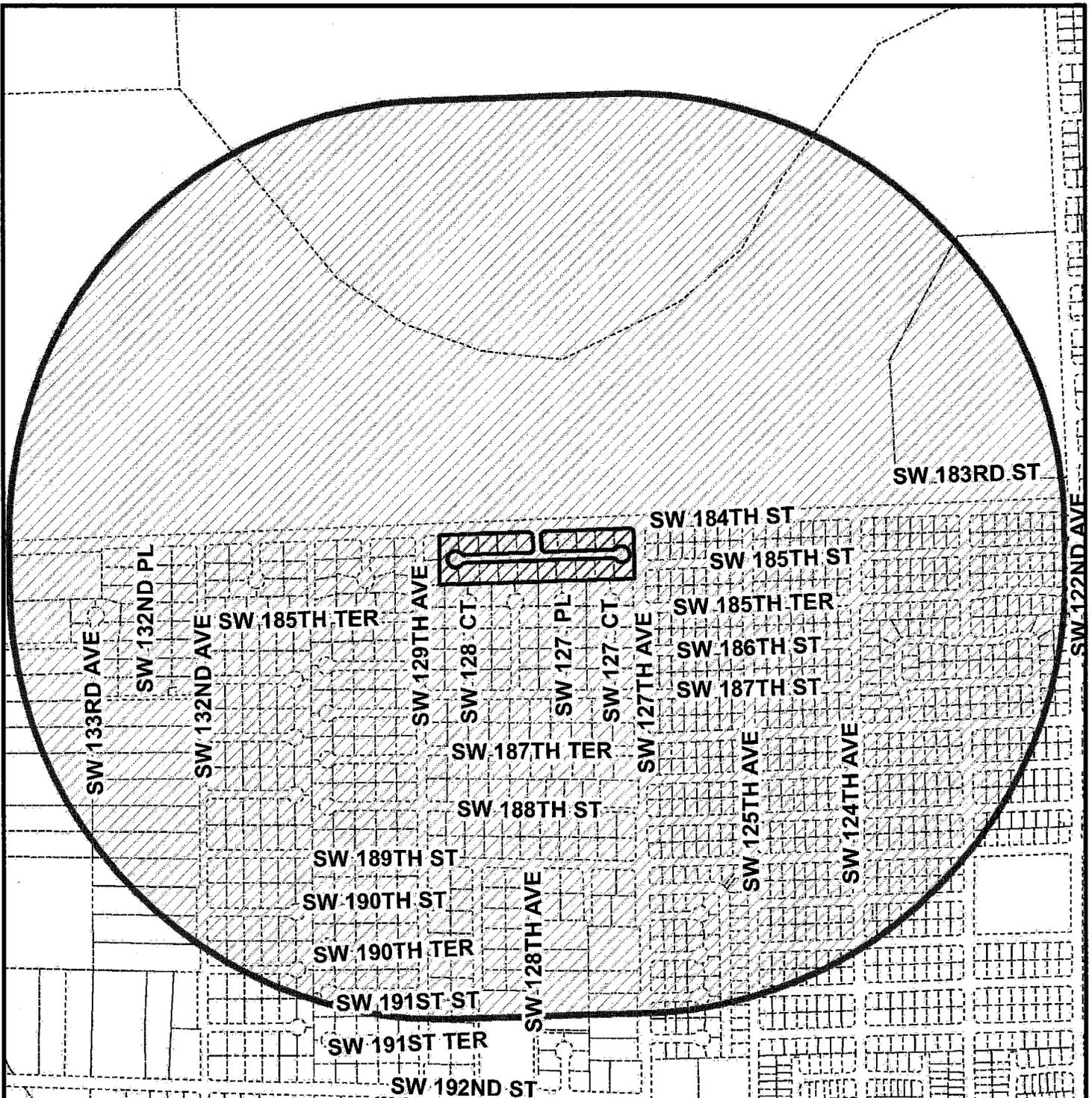
Legend

 Subject Property



SKETCH CREATED ON: Monday, December 2, 2013

REVISION	DATE	BY
		72



MIAMI-DADE COUNTY
RADIUS MAP

Process Number

Z2013000102

RADIUS: 2640

Section: 02 Township: 56 Range: 39
 Applicant: D.R. HORTON, INC
 Zoning Board: C14
 Commission District: 8
 Drafter ID: JEFFER GURDIAN
 Scale: NTS

Legend

-  Subject Property
-  Buffer



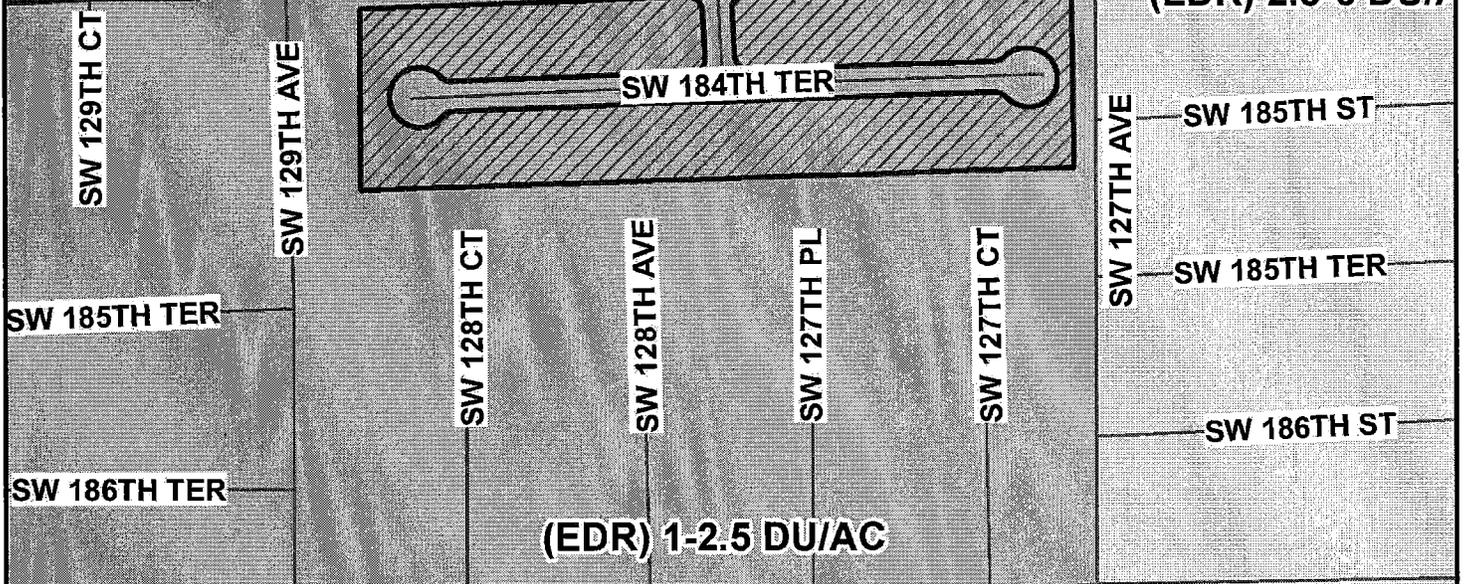
SKETCH CREATED ON: Monday, December 2, 2013

REVISION	DATE	BY
		73

PARKS AND RECREATION

SW 184TH ST

(LDR) 2.5-6 DU/AC



MIAMI-DADE COUNTY
CDMP MAP

Process Number
Z2013000102



Section: 02 Township: 56 Range: 39
Applicant: D.R. HORTON, INC
Zoning Board: C14
Commission District: 8
Drafter ID: JEFFER GURDIAN
Scale: NTS

Legend

-  Subject Property Case
-  Zoning



SKETCH CREATED ON: Monday, December 2, 2013

REVISION	DATE	BY

**Miami-Dade County Department of Regulatory and Economic Resources
Staff Report to Community Council No. 14**

PH: Z14-008 (14-6-CZ14-1)

June 11, 2014

Item No. 1

Recommendation Summary	
Commission District	8
Applicants	Melvin H. Davidow Trust and D.R. Horton, Inc.
Summary of Requests	The applicants are seeking to allow a district boundary change from AU and GU to EU-M.
Location	Northwest corner of SW 228 Street & SW 127 Avenue, Miami-Dade County, Florida.
Property Size	9.60-gross acres
Existing Zoning	GU, Interim District/AU, Agricultural District
Existing Land Use	Vacant
2020-2030 CDMP Land Use Designation	Low-Density Residential, 2.5 – 6 dua, (see attached Zoning Recommendation Addendum)
Comprehensive Plan Consistency	Consistent with the LUP map of the CDMP
Applicable Zoning Code Section(s)	Section 33-311, District Boundary Change (see attached Zoning Recommendation Addendum)
Recommendation	Approval, subject to the acceptance of the proffered covenant

REQUEST:

DISTRICT BOUNDARY CHANGE from GU and AU to EU-M.

PROJECT DESCRIPTION:

The applicants seek to rezone the 9.6-gross acre parcel from GU, Interim District and AU, Agricultural District to EU-M, Single Family Modified Estate District.

NEIGHBORHOOD CHARACTERISTICS		
	Zoning and Existing Use	Land Use Designation
Subject Property	GU/AU; vacant	Low-Density Residential (2.5 to 6 dua)
North	EU-M; vacant AU: single-family residence	Low-Density Residential (2.5 to 6 dua)
South	GU: row crops	Low-Density Residential (2.5 to 6 dua)
East	RU-1: single-family residences, vacant	Low-Density Residential (2.5 to 6 dua)
West	EU-M; vacant AU/GU; row crops	Low-Density Residential (2.5 to 6 dua)

NEIGHBORHOOD COMPATIBILITY:

Staff notes that the abutting properties that are located partially to the north and northwesterly are zoned EU-M and are vacant. A narrow, 140' wide portion of the property to the north is zoned AU and contains a single-family residence. The properties to the east are zoned RU-1,

Single-Family Residential District and except for an approximately 202' wide parcel that remains vacant, contain single family residences. The remaining properties to the south and west are zoned AU and GU, and contain row crops. Additionally, the properties to the west are separated from the subject property by a canal.

SUMMARY OF THE IMPACTS:

The approval of this application will allow the applicants to provide additional housing in this section of the County. However, the proposed rezoning could have an impact on traffic on the abutting roadways, schools and emergency services in the area.

COMPREHENSIVE DEVELOPMENT MASTER PLAN ANALYSIS:

The subject property is located within the Urban Development Boundary (UDB) and is designated as **Low Density Residential**. *This category allows a range in density from a minimum of 2.5 to a maximum of 6 dwelling units per gross acre and is characterized by single family housing, e.g., single-family detached, cluster, zero lot line and townhouses.* This would allow the applicants to develop the 9.60-gross acre parcel with a maximum of 57 residential units which is the maximum allowed under the density threshold of the CDMP Low-Density Residential designation on the LUP map.

The applicants seek to rezone the 9.6-gross acre parcel to EU-M. Staff notes that the EU-M zoning district allows residences at 15,000 sq. ft., which would allow the applicants to develop the 9.60-gross acre parcel at 2.9 dwelling units per acre for a maximum of 27 residential units. The applicants have submitted alternate plans indicating that the subject property can be developed with a maximum of 17 lots under the EU-M standards, which require the parcels to have a minimum of 15,000 sq. ft. in area and a minimum frontage of 120' and a minimum depth of 115'. However, the applicants are proposing to develop the subject property with 22 residential units through the purchase of five (5) Severable Use Rights (SURs). With the utilization of (SURs), EU-M zoning district would permit a minimum lot area of 12,500 sq. ft. and a minimum lot frontage of 100', thereby allowing the applicants to develop the site with a maximum of 22 residential units. The applicants have also submitted a plan depicting the proposed development with twenty-two (22) residential lots ranging from 12,500 sq. ft. to 31,000 sq. ft. in area. Staff notes that the applicants have proffered a covenant to limit the development of the parcel to the proposed subdivision plan and to develop the parcel through the purchase of five (5) SURs with 22 residential units, which staff notes, is within the density threshold of the CDMP Low-Density designation on the LUP.

The CDMP Land Use Element **Objective LU-4**, states that *Miami-Dade County shall, by the year 2030, reduce the number of land uses, which are inconsistent with the uses designated on the LUP map and interpretive text, or with the character of the surrounding community.* The subject property abuts properties to the north and northwest that are also zoned EU-M as well as existing farm uses on the properties to the west and south. The properties to the east contain single-family residences that are developed under the RU-1, Single-Family Residential District standards. Staff opines that the EU-M zoning, while being compatible with the uses to the north, will provide a reasonable transition between the RU-1 zoned properties to the east and the existing agricultural uses located to the west. As such, subject to the Board's acceptance of the proffered covenant, staff opines that the rezoning of the subject property to EU-M would be **compatible** with the surrounding area and **consistent** with the density

threshold of the Estate Density Residential designation of the parcel on the CDMP Land Use Plan map and the CDMP's Land Use Element the interpretative text, **Objective LU-4.**

ZONING ANALYSIS:

When the applicants' request to rezone the 9.60-gross acre parcel to EU-M, Single-Family Modified Estate District, is analyzed under Section 33-311, District Boundary Change, staff opines that the approval of the application would not have an unfavorable impact on the environment, the natural resources, or the economy of the County. Staff notes that the approval of the applicants' request to rezone the property will be **consistent** with the Low-Density Residential designation of the parcel on the CDMP Land Use Plan map. Further, staff opines that approval of this request will not have a negative impact on the surrounding roadways or transportation facilities based on the recommendations and/or information contained in the memorandum from the Platting and Traffic Review Section of the Department of Regulatory and Economic Resources (RER). Their memorandum also indicates that the proposed development will meet the traffic concurrency criteria for an Initial Development Order. Said memorandum indicates that the proposed development will generate 30 PM daily peak hour vehicle trips, which does not exceed the acceptable Level of Service (LOS) on the surrounding roadways as specified in the memorandum, dated March 27, 2014. Additionally, staff notes that the memorandum from the RER's Division of Environmental and Regulatory Management (DERM) indicates that the proposed rezoning meets the LOS standards for an initial development order and therefore will not have an unfavorable impact on the natural resources of Miami-Dade County.

The subject parcel abuts the section line roadway, SW 127 Avenue, approximately 630' south of its intersection with the half-section line roadway, SW 224 Street. Said intersection is approximately 0.42 of a mile west of South Dixie Highway, a Major Roadway, and approximately two (2) miles west of the Florida Turnpike Extension. Additionally, as previously noted in the CDMP analysis of this application, the proposed development is **compatible** with the EU-M zoned parcels to the north and northwest, and the RU-1 zone properties to the east. Further, staff opines that the proposed rezoning of the parcel with the purchase of the five (5) SUR's in order to develop the parcel with smaller lots will provide a reasonable transition between the RU-1 zoned parcels to the east and the larger, existing agriculture parcels to the west and south. The submitted site plans indicate that the purpose of the rezoning is to allow the applicants to develop the site with 22 single-family residences on lots ranging from a minimum of 12,500 sq. ft. to 31,000 sq. ft. through the purchase of five (5) SURs. Therefore, subject to the acceptance of the proffered covenant, staff opines that approval of the applicants' request for district boundary change to EU-M will be **compatible** with the surrounding area. **Staff therefore, recommends approval of the application under Section 33-311, District Boundary Change, subject to the Board's acceptance of the proffered covenant.**

ACCESS, CIRCULATION AND PARKING: N/A

NEIGHBORHOOD SERVICES PROVIDER REVIEW: See attached.

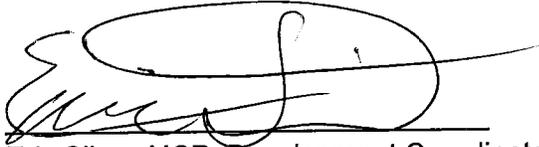
OTHER: Not applicable.

RECOMMENDATION:

Approval, subject to the Boards acceptance of the covenant.

CONDITIONS FOR APPROVAL: None.

ES:MW:NN:JV:CH



Eric Silva, AICP, Development Coordinator
Development Services Division
Miami-Dade County Department of
Regulatory and Economic Resources

NDN

ZONING RECOMMENDATION ADDENDUM

Melvin H. Davidow Trust and D.R. Horton, Inc.
Z14-008

NEIGHBORHOOD SERVICES PROVIDER COMMENTS	
Division of Environmental and Regulatory Management (RER)	No objection*
Platting and Traffic Review Section (RER)	No objection*
Parks, Recreation and Open Spaces	No objection
Fire Rescue	No objection
Police	No objection
Schools	No objection
*Subject to conditions in their memorandum.	

COMPREHENSIVE DEVELOPMENT MASTER PLAN (CDMP) OBJECTIVES, POLICIES AND INTERPRETATIVE TEXT

Estate Density Residential (Pg. I-31)	<i>This density range is typically characterized by detached estates which utilize only a small portion of the total parcel. Clustering, and a variety of housing types may, however, be authorized. The residential densities allowed in this category shall range from a minimum of 1.0 to a maximum of 2.5 units per gross acre.</i>
Severable Use Rights (Pg. I-30)	Severable Use Rights (SURs) or Transfer of Development Rights (TDR's) may be transferred to parcels within the Urban Development Boundary. When Severable Use Rights or Transfer of Development Rights are utilized on residentially designated parcels, development will be allowed to exceed the maximum limits designated for the site or affected portions of it; however, this provision does not authorize the granting of a zoning district that, without use of SURs or TDR's, would exceed the Plan density limit.
Objective LU-4 (Pg. I-11)	Miami-Dade County shall, by the year 2015, reduce the number of land uses, which are inconsistent with the uses designated on the LUP map and interpretive text, or with the character of the surrounding community.
Policy LU-9C (Pg. I-19)	Miami-Dade County shall continue to encourage and promote the transfer of Severable Use Rights (SUR) from lands, which are allocated SURs in Chapter 33B, Code of Miami-Dade County, to land located within the Urban Development Boundary (UDB) as designated on the LUP map.

PERTINENT ZONING REQUIREMENTS/STANDARDS

Section 33-311 District Boundary Change	<p>(A) <i>The Community Zoning Appeals Boards are advised that the purpose of zoning and regulations is to provide a comprehensive plan and design to lessen the congestion in the highways; to secure safety from fire, panic and other dangers, to promote health, safety, morals, convenience and the general welfare; to provide adequate light and air; to prevent the overcrowding of land and water; to avoid undue concentration of population; to facilitate the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements, with the view of giving reasonable consideration among other things to the character of the district or area and its peculiar suitability for particular uses and with a view to conserving the value of buildings and property and encouraging the most appropriate use of land and water throughout the County.</i></p> <p>(F) Section 33-311 provides that the Board shall take into consideration, among other factors the extent to which:</p> <p>(1) <i>The development permitted by the application, if granted, conforms to the Comprehensive Development Master Plan for Miami-Dade County, Florida; is consistent with applicable area or neighborhood studies or plans, and would serve a public benefit warranting the granting of the application at the time it is considered;</i></p>
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ZONING RECOMMENDATION ADDENDUM

*Melvin H. Davidow Trust and D.R. Horton, Inc.
Z14-008*

	<p>(2) <i>The development permitted by the application, if granted, will have a favorable or unfavorable impact on the environmental and natural resources of Miami-Dade County, including consideration of the means and estimated cost necessary to minimize the adverse impacts; the extent to which alternatives to alleviate adverse impacts may have a substantial impact on the natural and human environment; and whether any irreversible or irretrievable commitment of natural resources will occur as a result of the proposed development;</i></p> <p>(3) <i>The development permitted by the application, if granted, will have a favorable or unfavorable impact on the economy of Miami-Dade County, Florida;</i></p> <p>(4) <i>The development permitted by the application, if granted, will efficiently use or unduly burden water, sewer, solid waste disposal, recreation, education or other necessary public facilities which have been constructed or planned and budgeted for construction;</i></p> <p>(5) <i>The development permitted by the application, if granted, will efficiently use or unduly burden or affect public transportation facilities, including mass transit, roads, streets and highways which have been constructed or planned and budgeted for construction, and if the development is or will be accessible by public or private roads, streets or highways.</i></p>
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**1. MELVIN H DAVIDOW TRUST AND
D. R. HORTON, INC
(Applicant)**

**14-6-CZ14-1(14-008)
Area 14/District 08
Hearing Date: 06/11/14**

Property Owner (if different from applicant) **Toby Davidow TR, & D.R. Horton, Inc.**

Is there an option to purchase /lease the property predicated on the approval of the zoning request? Yes No

Disclosure of interest form attached? Yes No

Previous Zoning Hearings on the Property:

<u>Year</u>	<u>Applicant</u>	<u>Request</u>	<u>Board</u>	<u>Decision</u>
2002	Steve Purdo, ET AL	- Zone change from AU-1 to EU-M.	C14	Approved

Action taken today does not constitute a final development order, and one or more concurrency determinations will subsequently be required. Provisional determinations or listings of needed facilities made in association with this Initial Development Order shall not be binding with regard to future decisions to approve or deny an Intermediate or Final Development Order on any grounds.

Memorandum



Date: February 27, 2014

To: Jack Osterholt, Director
Department of Regulatory and Economic Resources

From: Jose Gonzalez, P.E.
Department of Regulatory and Economic Resources

Subject: C-14 #Z2014000008
Trustee of the Melvin H. Davidow Trust and D.R. Horton, Inc.
SW corner of SW 226th Street and SW 127th Avenue
District Boundary Changes AU-GU-EUM to EUM
(GU) (9.6 Acres)
14-56-39

A handwritten signature in black ink, appearing to read "Jose Gonzalez", written over the printed name in the "From:" field.

The subject application has been reviewed by the Department of Regulatory and Economic Resources – Division of Environmental Resources Management (DERM) for compliance with the requirements of Chapter 24 of the Miami-Dade County Code (the Code) and meets the minimum requirements of the Code. Accordingly, the application may be scheduled for public hearing.

Potable Water Service

Public water and public sanitary sewers can be made available to the subject property. Therefore, connection of the proposed development to the public water supply system and sanitary sewer system shall be required in accordance with Code requirements.

Be advised that the required water main extension permit is issued by the Florida Department of Health. Civil drawings for the water main extension will need to be approved by the Miami-Dade Water and Sewer Department and the Environmental Permitting Section of DERM.

Civil drawing for the required sewer main extension will need to be approved by Miami-Dade Water and Sewer Department and the Environmental Wastewater Permitting Section of DERM prior to approval of final development orders.

Existing public water and sewer facilities and services meet the Level of Service (LOS) standards set forth in the Comprehensive Development Master Plan (CDMP). Furthermore, the proposed development order, if approved, will not result in a reduction in the LOS standards subject to compliance with the conditions required by DERM for this proposed development order.

Notwithstanding the foregoing, and in light of the fact that the County's sanitary sewer system has limited sewer collection, transmission, and treatment capacity, no new sewer service connections can be permitted, unless there is adequate capacity to handle the additional flows that this project would generate. Consequently, final development orders for this site may not be granted if adequate capacity in the system is not available at the point in time when the project will be contributing sewage to the system. Lack of adequate capacity in the system may require the approval of alternate means of sewage disposal. Use of an alternate means of sewage disposal may only be granted in accordance with Code requirements, and shall be an interim measure, with connection to the public sanitary sewer system required upon availability of adequate collection/transmission and treatment capacity.

Stormwater Management

Be advised that the previously approved Surface Water Management General Permit No. 13-05267-P, issued on February 9th, 2014 is in effect. Therefore, a Surface Water Management General Permit Modification from the Water Control Section of DERM shall be required for the construction and operation of the required surface water management system. This permit shall be obtained prior to any future development order approval. The applicant is advised to contact the Water Control Section for further information regarding permitting procedures and requirements.

Stormwater shall be retained on site utilizing properly designed seepage or infiltration drainage system. Drainage must be provided for the 5-year/1-day storm event.

Site grading and development plans shall comply with the requirements of Chapter 11C of the Code, as well as with all state and federal criteria, and shall not cause flooding of adjacent properties.

Any proposed development shall comply with county and federal flood criteria requirements. The proposed development order, if approved, will not result in a reduction in the LOS standards for flood protection set forth in the CDMP subject to compliance with the conditions required for this proposed development order.

Tree Preservation

The subject properties contain tree resources. Section 24-49 of the Code provides for the preservation and protection of tree resources. A Miami-Dade County Tree Removal/Relocation Permit is required prior to the removal and/or relocation of any tree that is subject to the Tree Preservation and Protection provisions of the Code. Said permit shall meet the requirements of Sections 24-49.2 and 24-49.4 of the Code.

Also, the sites may contain prohibited trees as defined in Section 24-49.9 of the Code. Pursuant to Section 24-49.9 of the Code, all prohibited plant species shall be removed from the subject properties prior to development or redevelopment, and their sale, propagation, planting, importation or transportation is prohibited. Pursuant to this subsection and in accordance with Chapter 19 of the Code, developed sites shall be maintained to prevent the growth or accumulation of prohibited species including grass, weeds and non-native undergrowth.

The applicant is required to comply with the above tree permitting requirements. DERM's approval of the subject application is contingent upon inclusion of said tree permitting requirements in the resolution approving this application.

The applicant is advised to contact the Tree Permitting Program at 305-372-6574 for additional information regarding permitting procedures and requirements prior to site development.

Enforcement History

There are no open or closed enforcement records for violations of Chapter 24 of the Code for the subject property.

Concurrency Review Summary

A concurrency review has been conducted for this application and has determined that the same meets all applicable LOS standards for an initial development order, as specified in the adopted CDMP for potable water supply, wastewater disposal, and flood protection. Therefore, the application has been approved for concurrency subject to the comments and conditions contained herein.

This concurrency approval does not constitute a final concurrency statement and is valid only for this initial development order, as provided for in the adopted methodology for concurrency review. Additionally, this approval does not constitute any assurance that the LOS standards would be met by any subsequent development order applications concerning the subject property.

This memorandum shall constitute written approval as required by Chapter 24 of the Code.

If you have any questions concerning the comments or wish to discuss this matter further, please contact Christine Velazquez at (305) 372-6764.

cc: Eric Silva, Department of Regulatory and Economic Resources

Memorandum



Date: March 27, 2014

To: Eric Silva, Development Coordinator
Department of Regulatory and Economic Resources

From:  Raul A. Pino, PLS, Chief
Platting and Traffic Review Section
Department of Regulatory and Economic Resources

Subject: Z2014000008
Name: Toby R. Davidow, as Trustee of the Melvin H. Davidow Trust and D.R. Horton, Inc.
Location: SW 228 Street & SW 127 Avenue
Section 14 Township 56 South Range 39 East

The Department of Regulatory and Economic Resources Platting and Traffic Review Section has reviewed the subject application and has no objections.

This land requires platting in accordance with Chapter 28 of the Miami-Dade County Code. Any right-of-way dedications and/or improvements required will be accomplished thru the recording of a plat.

This application **does** meet the traffic concurrency criteria for an Initial Development Order. It will generate **30 PM** daily peak hour vehicle trips. The traffic distribution of these trips to the adjacent roadways reveals that the addition of these new trips **does not** exceed the acceptable level of service of the following roadways:

Sta.#		LOS present	LOS w/project
9790	SW 127 Ave. s/o SW 216 St.	C	C
9898	SW 216 St. w/o US-1	B	B
9910	SW 232 St. w/o SW 137 Ave.	A	A
F-8	S. Dixie Hwy. s/o SW 232 St.	C	C

The request herein, constitutes an Initial Development Order only, and one or more traffic concurrency determinations will subsequently be required before development will be permitted.

Memorandum



Date: February 6, 2014

To: Eric Silva, Assistant Director
Regulatory and Economic Resources Department

From: Paul Mauriello, Assistant Director, Waste Operations
Public Works and Waste Management Department 

Subject: Melvin H. Davidow Trust and D.R. Horton, Inc. (#14_008)

The Department's review of the above-referenced item is provided below. Final comments will be offered as needed. If you should have any questions, please do not hesitate to contact Stacey McDuffie of the Fiscal Management and Planning Division at 305-514-6661. **The PWWM has no objections to the proposed application.**

Application: *Melvin H. Davidow Trust and D.R. Horton, Inc.*, seeks a district boundary change from Agricultural (AU), Interim (GU), and Modified Estates District (EU-M) to Modified Estates District (EU-M) to permit the development of single family homes.

Size: The subject property is approximately 9.6 acres.

Location: The subject property is located at the North West corner of S.W. 228th Street and S.W. 127th Avenue in Miami-Dade County, Florida.

Analysis:

1. Solid Waste Disposal

The Miami-Dade County Solid Waste Management System consists of both County facilities and private facilities under contract as follows: three Class I landfills (two owned by Waste Management Inc., of Florida) a Class III landfill, a Resources Recovery Facility waste to energy plant and associated ash monofill, and three regional transfer facilities. The Public Works and Waste Management Department (PWWM) does not assess or adjust estimated capacity requirements based on the impacts of individual developments. Instead, the Department maintains sufficient disposal capacity to accommodate five years of waste flows committed to the system through long-term interlocal agreements or contracts with municipalities and private waste haulers and anticipated non-committed waste flows. The latest Concurrency Status Determination issued on September 25, 2013, which is valid for one year, shows sufficient disposal system capacity to exceed the County's adopted level of service (five years of capacity). This determination, which is on file with the Sustainability, Planning and Economic Enhancement Department (formerly the Department of Planning and Zoning) is contingent upon the continued ability of the County to obtain and renew disposal facility operating permits from the Florida Department of Environmental Protection, as needed.

2. Garbage and Trash Collection Services

Pursuant to Chapter 15 of the Miami-Dade County Code (Code), entitled Solid Waste Management, the re-designation to Modified Estate District (EU-M) will likely result in development of "Residential Units." Per the Code, residential units located within the project shall, therefore, receive PWWM waste collection service, once the vacant lot is developed. Twice weekly curbside waste collection, twice per year scheduled bulky waste collection service, and unlimited use of the 13 Trash and Recycling

Centers are the services currently provided to residential units in the PWWM solid waste collection service area.

3. Recycling

The PWWM provides curbside recycling services to residential units located in unincorporated Miami-Dade County through a private contractor. The single stream recycling program currently includes separation of glass, aluminum cans, steel cans, plastic bottles, newspaper and phone books. Further information may be obtained by calling the Department's Public Information & Outreach Division at 305-594-1500 or 305-514-6714.

Applicants are **strongly** advised to incorporate adequate space in their building plans to accommodate the recycling program (i.e. somewhere for residents to store their recycling carts).

4. Waste Storage/Setout Considerations

Section 15-4 of the Code requires that plans for storage and collection of solid waste be adequate before a building permit may be issued. Site plans must address location, accessibility, number and adequacy of solid waste collection and storage facilities. The site plan legend must contain the following statement: "Facilities for the collection and storage of solid waste are shown in accordance with Section 15-4 of the Miami-Dade County Code."

5. Site Circulation Considerations

It is required that development plans associated with this project incorporate at least one of the following traffic circulation criteria to minimize the reversing of waste vehicles and hence, provide for the safe circulation of service vehicles:

- a. Cul-de-sac with a minimum 49 foot turning radius (no "dead-ends")
- b. "T" shaped turnaround 60 feet long by 10 feet wide
- c. Paved throughway of adequate width (minimum 15 feet)

In addition, any and all alleyways designed with utilities, including waste collection, provided at the rear of the property should be planned in accordance with standard street specifications with sufficient width and turning radii to permit large vehicle access. Additionally, there should be no "dead-end" alleyways developed. Also, a sufficient waste set-out zone should be preserved (between the edge of the pavement and any possible obstructions such as parked cars, fencing, etc.,) that would interrupt or preclude waste collection.

Memorandum



Date: February 28, 2014
To: Jack Osterholt, Deputy Mayor
Director, Regulatory and Economic Resources Department
From: Maria I. Nardi, Chief *M.I.*
Planning and Research Division
Parks, Recreation and Open Spaces Department
Subject: Z2014000008: MELVIN H DAVIDOW TRUST AND D. R. HORTON, INC.

Application Name: MELVIN H DAVIDOW TRUST AND D. R. HORTON, INC.

Project Location: The site is located at the northwest corner of SW 228 ST & SW127AVE, Miami-Dade County.

Proposed Development: The request is for approval of a district boundary change from GU-AU-EUM TO EUM.

Impact and demand: This application generates up to 25 single family units with an estimated population of 79 which generates a local park space need, based on 2.75 acres per 1,000 population, of approximately 1/4 acre.

Recreation and Open Space Element policies ROS-2a (i); (ii); (iii); (iv); and (v) provide for the establishment of Miami-Dade County's minimum Level of Service standard for the provision of local recreation open space. This application is in Park Benefit District 3 (PBD) which has a surplus capacity of 219.11 acres when measured by the County concurrency level-of-services standard for the unincorporated area of 2.75 acres of local recreation open space for 1,000 persons in UMSA.

County-owned local parks that are within three miles of the subject application are described in Table A which lists the name, type and acreage for each park.

**Table A - County Parks (local only)
Within a 3 Mile Radius of Application Area.**

Park Facility	Classification	Acreage
Quail Roost Park	NEIGHBORHOOD PARK	3.1
South Miami Heights Park	NEIGHBORHOOD PARK	5.7
Eureka Park	COMMUNITY PARK	5.1
Lincoln City Park #1	MINI-PARK	1.0
Lincoln Estates Park	MINI-PARK	0.8
Losner Park	MINI-PARK	0.6
Charles Burr Park	NEIGHBORHOOD PARK	4.0
Caribbean Park	NEIGHBORHOOD PARK	5.2
Kevin Broils Park	NEIGHBORHOOD PARK	5.2
Princetonian Park	NEIGHBORHOOD PARK	6.5
Pine Island Lake Park	NEIGHBORHOOD PARK	18.0
Goulds Wayside Park	NEIGHBORHOOD PARK	2.9
MedSouth Park	NEIGHBORHOOD PARK	4.5

Goulds Park	COMMUNITY PARK	30.0
Roberta Hunter Park	NEIGHBORHOOD PARK	15.0
William Randolph Community Park	NEIGHBORHOOD PARK	10.0
Cutler Ridge Skate Park	SINGLE PURPOSE PARK	3.6
Sharman Park	NEIGHBORHOOD PARK	2.1
Debbie Curtin Park	NEIGHBORHOOD PARK	9.8

Recommendation: Based on our findings described herein **PROS HAS NO OBJECTION TO THIS APPLICATION.**

If you need additional information or clarification on this matter, please contact John Bowers at (305) 755-5447.

MN:jb

Cc: John M. Bowers, Parks Property Management Supervisor

Memorandum



Date: 04-FEB-14
To: Jack Osterholt, Director
 Department of Regulatory and Economic Resources
From: Dave Downey, Fire Chief
 Miami-Dade Fire Rescue Department
Subject: Z2014000008

Fire Prevention Unit:

No objection to the site plan with a January 22, 2014 Zoning Department received date.

Service Impact/Demand

Development for the above Z2014000008
 located at nwc OF SW 228 ST & SW127AVE, MIAMI-DADE COUNTY, FLORIDA.
 in Police Grid 2350 is proposed as the following:

<u>25</u> residential	dwelling units	<u>N/A</u> industrial	square feet
<u>N/A</u> Office	square feet	<u>N/A</u> institutional	square feet
<u>N/A</u> Retail	square feet	<u>N/A</u> nursing home/hospitals	square feet

Based on this development information, estimated service impact is: 7.01 alarms-annually.
 The estimated average travel time is: 7:12 minutes

Existing services

The Fire station responding to an alarm in the proposed development will be:
 Station 5 - Goulds/Princeton - 13150 SW 238 Street
 Rescue, BLS Engine, Battalion 7.

Planned Service Expansions:

The following stations/units are planned in the vicinity of this development:
 None.

Fire Planning Additional Comments

Current service impact calculated based on site plan date stamped received January 22, 2014. Substantial changes to the plan will require additional service impact analysis.

For information regarding the aforementioned comments, please contact the Miami-Dade Fire Rescue Department Planning Section at 786-331-4540.

Building and Neighborhood Compliance

ENFORCEMENT HISTORY

MELVIN H DAVIDOW TRUST AND D.R. HORTON, INC NW CRN OF SW 228 ST & SW 127 AVE

APPLICANT

ADDRESS

JUNE 11, 2014

Z2014000008

DATE

HEARING NUMBER

CURRENT ENFORCEMENT HISTORY:

FOLIO: 3069140000230

FOLIO: 3069140120450

NC: THERE ARE NO CURENT OPEN OR CLOSED NEIGHBORHOOD REGULATION CASES

BLDG: THERE ARE NO CURRENT OPEN OR CLOSED NEIGHBORHOOD REGULATION CASES

VIOLATOR:

MELVIN H DAVIDOW TRUST AND D.R. HORTON, INC

DISCLOSURE OF INTEREST*

If a CORPORATION owns or leases the subject property, list principal stockholders and percent of stock owned by each. [Note: Where principal officers or stockholders consist of other corporation(s), trust(s), partnership(s) or other similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

CORPORATION NAME: D.R. Horton, Inc.

<u>NAME AND ADDRESS</u>	<u>Percentage of Stock</u>
<u>Publicly Traded Company on the NYSE under</u> <u>the name DHI</u>	<u>N/A</u>
_____	_____
_____	_____

If a TRUST or ESTATE owns or leases the subject property, list the trust beneficiaries and the percent of interest held by each. [Note: Where beneficiaries are other than natural persons, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

TRUST/ESTATE NAME _____

<u>NAME AND ADDRESS</u>	<u>Percentage of Interest</u>
_____	_____
_____	_____
_____	_____
_____	_____

24-003
RECEIVED
JAN 22 2014
ZONING HEARINGS SECTION
MIAMI-DADE PLANNING AND ZONING DEPT
BY _____

If a PARTNERSHIP owns or leases the subject property, list the principals including general and limited partners. [Note: Where the partner(s) consist of another partnership(s), corporation(s), trust(s) or other similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

PARTNERSHIP OR LIMITED PARTNERSHIP NAME: _____

<u>NAME AND ADDRESS</u>	<u>Percentage of Ownership</u>
_____	_____
_____	_____
_____	_____
_____	_____

If there is a CONTRACT FOR PURCHASE, by a Corporation, Trust or Partnership list purchasers below, including principal officers, stockholders, beneficiaries or partners. [Note: Where principal officers, stockholders, beneficiaries or partners consist of other corporations, trusts, partnerships or other similar entities, further disclosure shall be made to identify natural persons having the ultimate ownership interests].

DISCLOSURE OF INTEREST*

If a CORPORATION owns or leases the subject property, list principal stockholders and percent of stock owned by each. [Note: Where principal officers or stockholders consist of other corporation(s), trust(s), partnership(s) or other similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

CORPORATION NAME: _____

<u>NAME AND ADDRESS</u>	<u>Percentage of Stock</u>
_____	_____
_____	_____
_____	_____

214-003
RECEIVED
JAN 22 2014

ZONING HEARINGS SECTION
HART-DADE PLANNING AND ZONING DEPT
BY FR

If a TRUST or ESTATE owns or leases the subject property, list the trust beneficiaries and the percent of interest held by each. [Note: Where beneficiaries are other than natural persons, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

TRUST/ESTATE NAME Melvin H. Davidow Trust

<u>NAME AND ADDRESS</u>	<u>Percentage of Interest</u>
<u>Tony R Davidow</u>	_____
<u>8860 S.W. 87 St</u>	<u>100%</u>
<u>Miami, FL 33173</u>	_____
_____	_____

If a PARTNERSHIP owns or leases the subject property, list the principals including general and limited partners. [Note: Where the partner(s) consist of another partnership(s), corporation(s), trust(s) or other similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

PARTNERSHIP OR LIMITED PARTNERSHIP NAME: _____

<u>NAME AND ADDRESS</u>	<u>Percentage of Ownership</u>
_____	_____
_____	_____
_____	_____
_____	_____

If there is a CONTRACT FOR PURCHASE, by a Corporation, Trust or Partnership list purchasers below, including principal officers, stockholders, beneficiaries or partners. [Note: Where principal officers, stockholders, beneficiaries or partners consist of other corporations, trusts, partnerships or other similar entities, further disclosure shall be made to identify natural persons having the ultimate ownership interests].

8/3/12 roc
#11437368_v1

NAME OF PURCHASER: _____

NAME, ADDRESS AND OFFICE (if applicable)

Percentage of Interest

_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

Date of contract: _____

If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership or trust.

_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

NOTICE: For any changes of ownership or changes in purchase contracts after the date of the application, but prior to the date of final public hearing, a supplemental disclosure of interest is required.

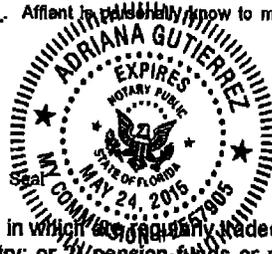
The above is a full disclosure of all parties of interest in this application to the best of my knowledge and belief.

Signature: Tony R Daviden, Trustee
(Applicant)

Sworn to and subscribed before me this 21 day of JUN 20 14. Affiant is personally known to me or has produced FD-30-816-A-634-0 as identification.

[Signature]
(Notary Public)

My commission expires: May 24, 2015



*Disclosure shall not be required of: 1) any entity, the equity interests in which are primarily traded on an established securities market in the United States or another country; or 2) pension funds or pension trusts of more than five thousand (5,000) ownership interests; or 3) any entity where ownership interests are held in a partnership, corporation or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership and where no one (1) person or entity holds more than a total of five per cent (5%) of the ownership interest in the partnership, corporation or trust. Entities whose ownership interests are held in a partnership, corporation, or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership, shall only be required to disclose those ownership interest which exceed five (5) percent of the ownership interest in the partnership, corporation or trust.

NAME OF PURCHASER: D.R. Horton, Inc.

NAME, ADDRESS AND OFFICE (if applicable)	Percentage of Interest
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

Date of contract: _____

If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership or trust.

_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

NOTICE: For any changes of ownership or changes in purchase contracts after the date of the application, but prior to the date of final public hearing, a supplemental disclosure of interest is required.

The above is a full disclosure of all parties of interest in this application to the best of my knowledge and belief.

Signature: *[Handwritten Signature]*
(Applicant)

Sworn to and subscribed before me this 21 day of January 2014. Affiant is personally know to me or has produced _____ as identification.

Francis Guerra
(Notary Public)

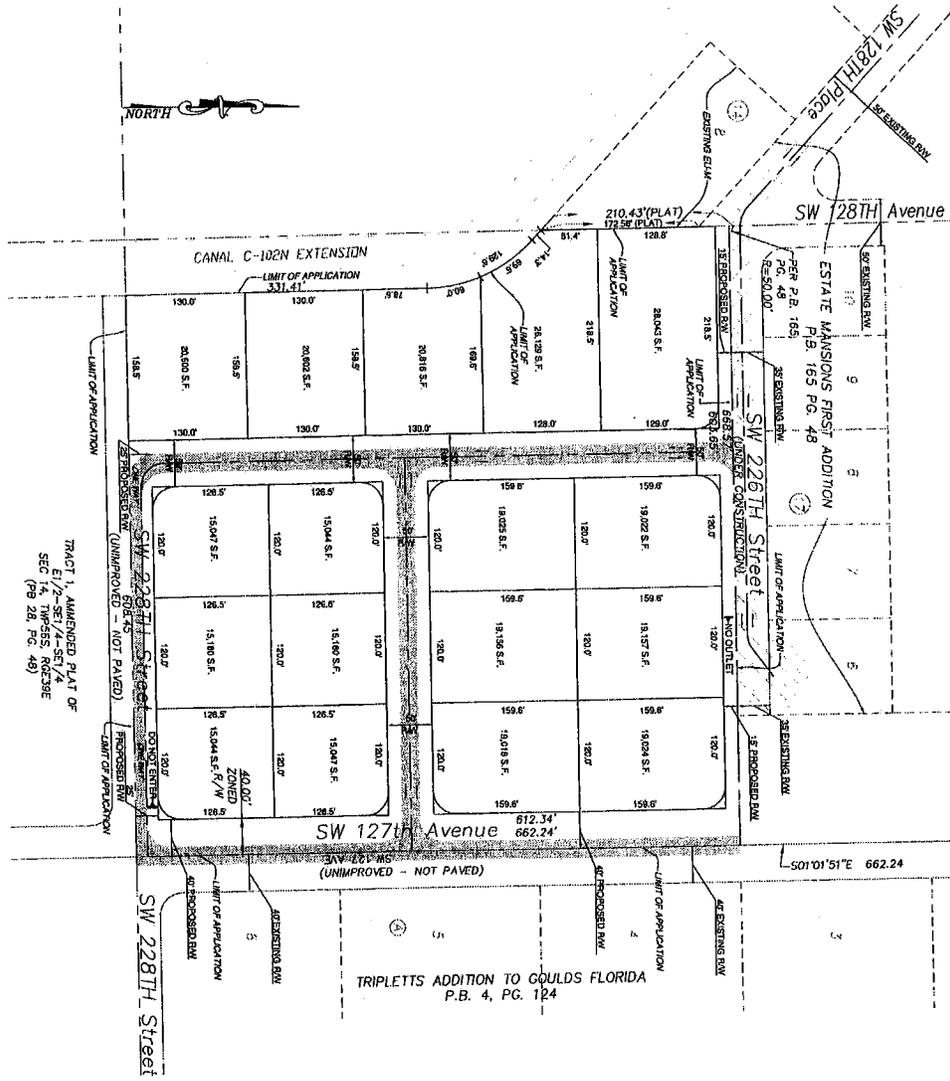


My commission expires: _____

Seal

*Disclosure shall not be required of: 1) any entity, the equity interests in which are regularly traded on an established securities market in the United States or another country; or 2) pension funds or pension trusts of more than five thousand (5,000) ownership interests; or 3) any entity where ownership interests are held in a partnership, corporation or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership and where no one (1) person or entity holds more than a total of five per cent (5%) of the ownership interest in the partnership, corporation or trust. Entities whose ownership interests are held in a partnership, corporation, or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership, shall only be required to disclose those ownership interest which exceed five (5) percent of the ownership interest in the partnership, corporation or trust.

BONITA V SITE PLAN

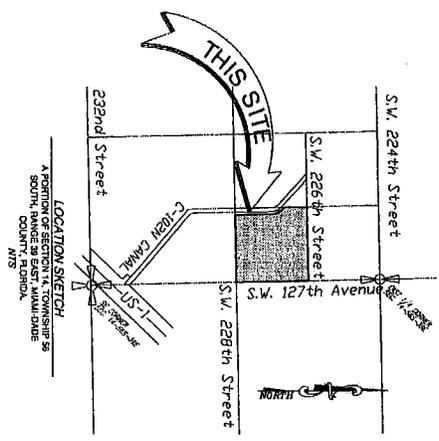


RECEIVED
 MAY 06 2014
 24-008

ZONING HEARINGS SECTION
 MIAMI-DADE PLANNING AND ZONING DEPT
 BY RF F.E.



LEGAL DESCRIPTION (PER ORD 20091, PG. 3513)
 THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 14, TOWNSHIP 26 SOUTH, RANGE 29 EAST, 14, TOWNSHIP 26 SOUTH, RANGE 29 EAST, DADE COUNTY, FLORIDA, WHICH LIES WESTERLY OF THE FOLLOWING DESCRIBED LINE:
 BEGIN AT THE POINT OF INTERSECTION OF THE SOUTH LINE OF THE SE 1/4 OF THE NE 1/4 OF SAID SECTION 14 WITH A LINE THAT IS 800 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF THE SE 1/4 OF THE NE 1/4 OF SAID SECTION 14; THENCE RUN NORTH 71° 14' 00" WEST ALONG THE LINE THAT IS 800 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF THE SE 1/4 OF THE NE 1/4 OF SAID SECTION 14 TO THE POINT OF INTERSECTION OF SAID LINE WITH THE WEST CURVATURE OF A CIRCULAR CURVE TO THE LEFT THENCE RUN NORTHWESTERLY, ALONG THE ARC OF SAID CIRCULAR CURVE TO THE LEFT HAVING A RADIUS OF 1800 FEET THROUGH A CENTRAL ANGLE OF 82° 42' 00" RUN NORTHEASTERLY TO A POINT OF INTERSECTION WITH THE WEST LINE OF THE SE 1/4 OF THE NE 1/4 OF SAID SECTION 14 AND TO THE END OF THE ABOVE DESCRIBED LINE SAID POINT BEING 468.89 FEET NORTHERLY FROM THE SOUTHWEST CORNER OF THE SE 1/4 OF THE NE 1/4 OF SAID SECTION 14.



ZONING LEGEND

EXISTING ZONING DISTRICT: AU
 PROPOSED ZONING DISTRICT: EUM

SITE SUMMARY	
AREALY	2.8
NET AREA (ACRES)	3.0
NET AREA (SQUARE FEET)	258,000
NUMBER OF LOTS	17 NEW
BUILDING HEIGHT (MAX)	25

SETBACKS		
FRONT	RECORDED (MAN)	PROPOSED (MAN)
SIDE	15	15
REAR	25	25

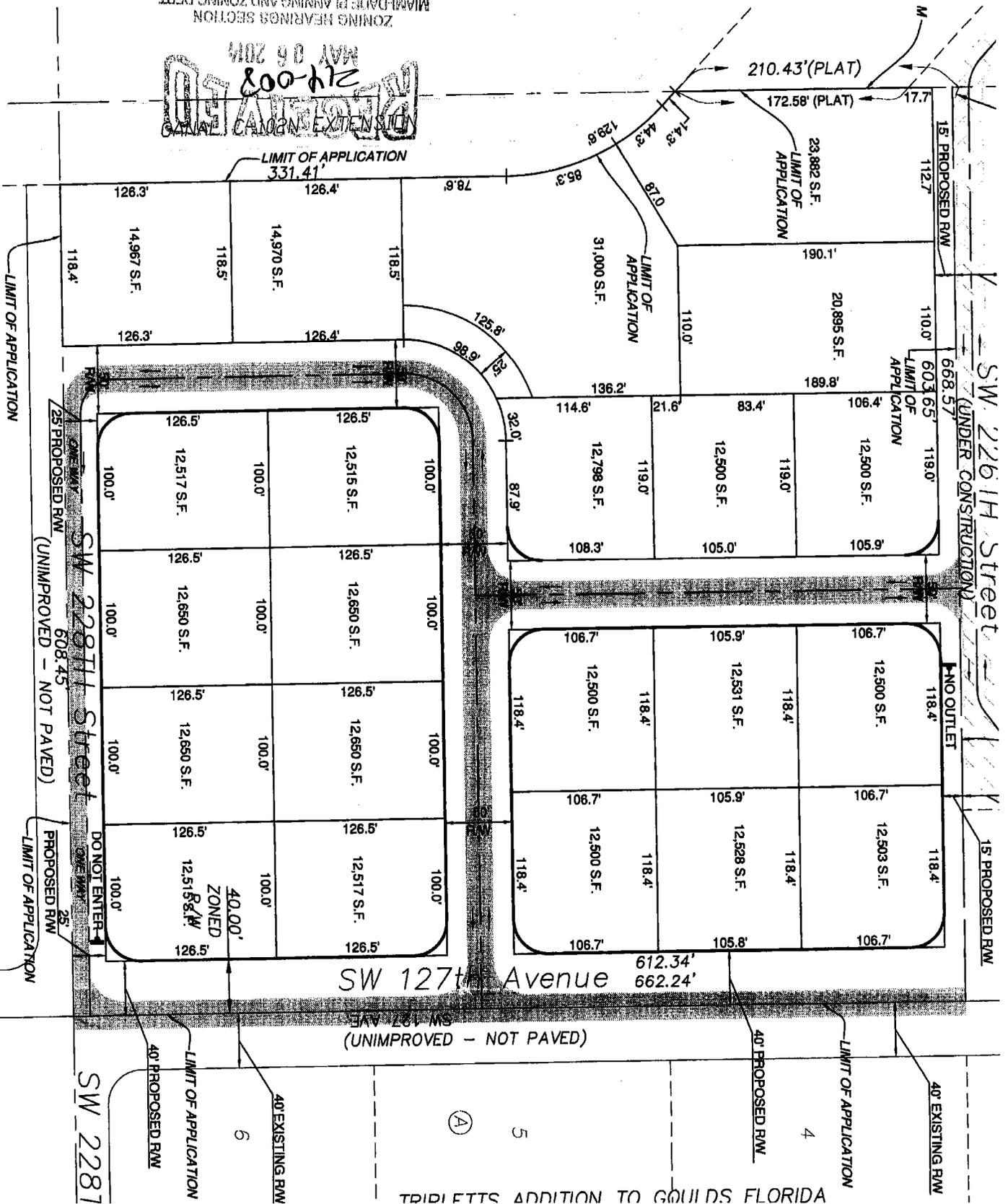
NOTES: DIMENSIONS SHOWN TO THE NEAREST FEET AND ANGLES TO THE NEAREST 1/2 DEGREE (200) ARE SUBJECT TO CHANGE DURING THE PLANNING PROCESS, BUT WILL MEET THE MINIMUM REQUIREMENTS AT 7-24.1 SUBMITTING.

2/4/2014
 RECEIVED
 MAY 13 2014

ENLARGED SITE PLAN

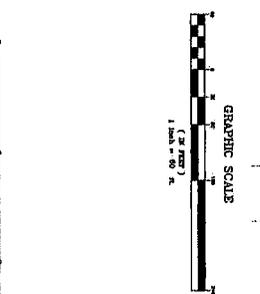
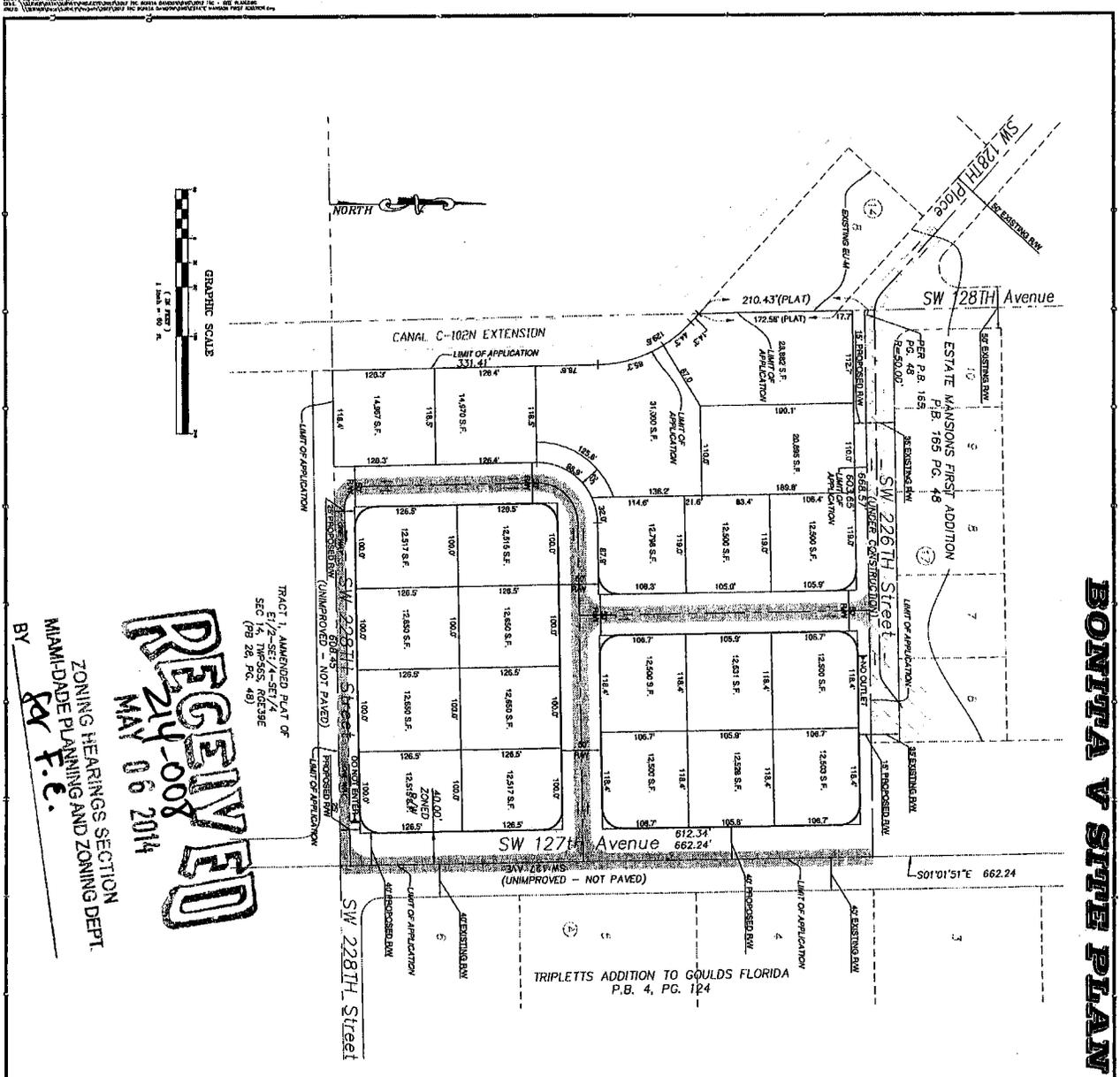
BY *for FF*
 ZONING HEARING AND ZONING DEPT.
 MARIETTA PLANNING AND ZONING DEPT.

REZONING
 214-008
 MAY 08 2014
 CANAL EXTENSION



TRACT 1, AMENDED PLAT OF
 E1/2-SE1/4-SE1/4
 SEC 14, TWP 56S, RGE 39E
 (PB 28, PG. 48)

BONITA V SITE PLAN



RECEIVED
MAY 06 2014
ZONING HEARINGS SECTION
MIAMI-DADE PLANNING AND ZONING DEPT.
BY *[Signature]* F.C.

NOTES:
1) LOT DIMENSIONS SHOWN TO THE NEAREST TENTH AND ANGLES TO THE NEAREST SECOND.
2) ALL DIMENSIONS ARE SUBJECT TO CHANGE DURING THE PLANNING PROCESS, BUT WILL MEET THE MINIMUM REQUIREMENTS OF THE ZONING DISTRICT.

ZONING LEGEND

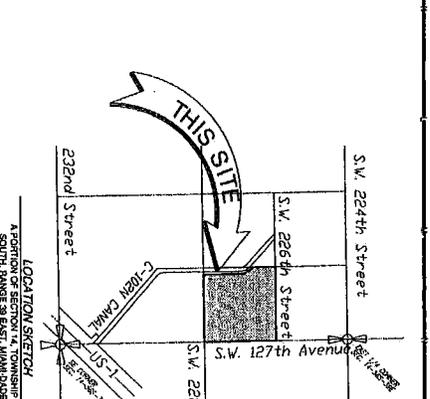
EXISTING ZONING DISTRICT: AU
PROPOSED ZONING DISTRICT: ELM (SUH)

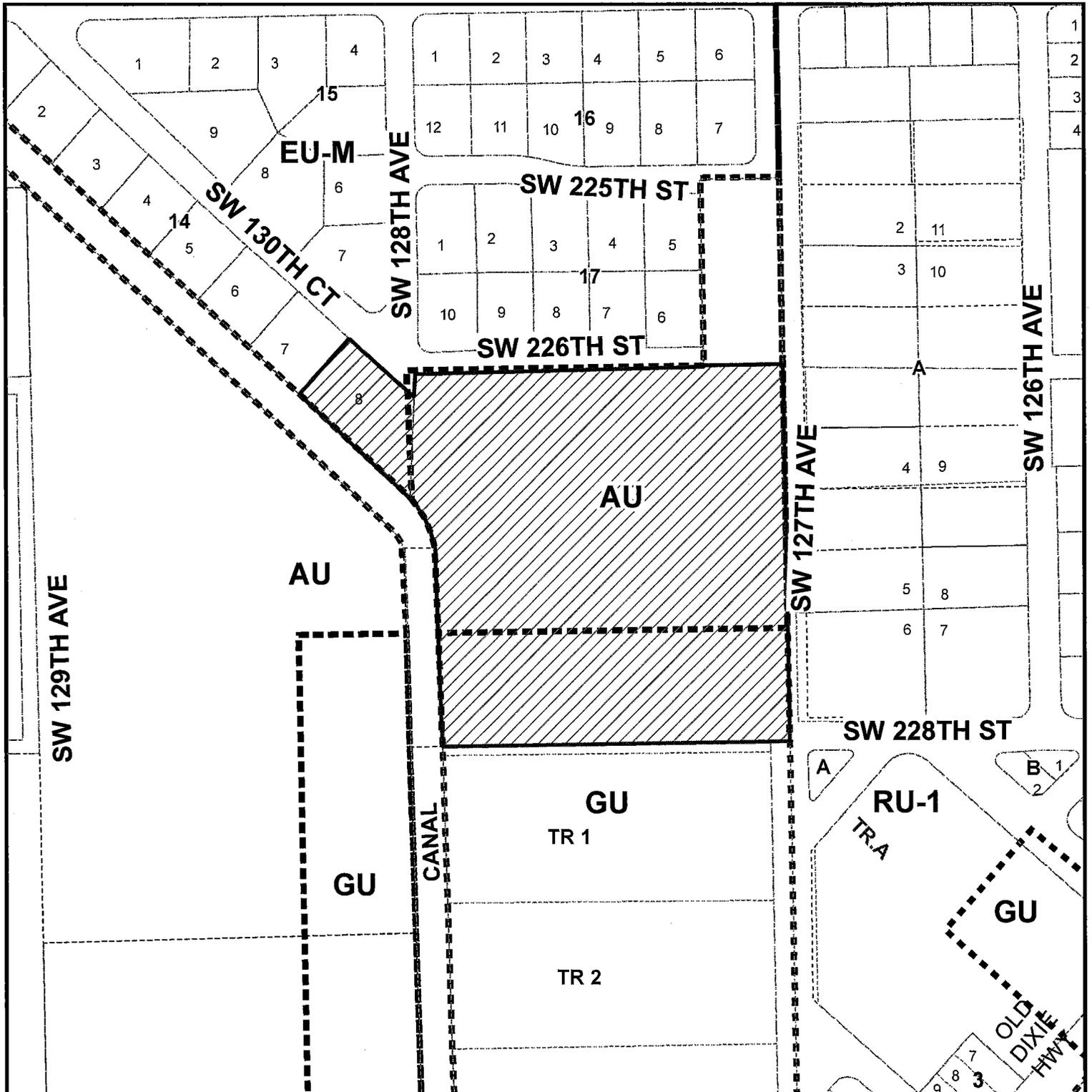
SETBACKS	RESERVED (MIN)	PROVIDED (MIN)
FRONT	25	25
SIDE	10	10
REAR	25	25

SITE SUMMARY

PROPERTY LABEL	AMOUNT
NET AREA (ACRES)	7.3
LOT COVERAGE (SQ. YARD)	30%
NUMBER OF LOTS	22 NEW
BUILDING HEIGHT (MAX)	25

LEGAL DESCRIPTION: (PER 089 20931, PG. 2813)
THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 14, TOWNSHIP 28 SOUTH, RANGE 28 EAST, DUDE COUNTY, FLORIDA, WHICH LIES WESTERLY OF THE FOLLOWING DESCRIBED LINE:
BEGIN AT THE POINT OF INTERSECTION OF THE SOUTH LINE OF THE SE 1/4 OF THE NE 1/4 OF SAID SECTION 14 WITH A LINE THAT IS 80.0 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF THE SE 1/4 OF THE NE 1/4 OF SAID SECTION 14; THENCE S 14° 00' 00" E 110.0 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE TO THE LEFT; THENCE RUN NORTHWESTERLY, ALONG THE ARC OF SAID CIRCULAR CURVE TO THE POINT OF TANGENCY WITH THE WEST LINE OF THE SE 1/4 OF THE NE 1/4 OF SAID SECTION 14; THENCE S 14° 00' 00" E 110.0 FEET TO A POINT OF INTERSECTION WITH THE WEST LINE OF THE SE 1/4 OF THE NE 1/4 OF SAID SECTION 14; THENCE S 14° 00' 00" E 110.0 FEET TO THE END OF THE ABOVE DESCRIBED LINE. SAID POINT BEING 49.89 FEET NORTHERLY FROM THE SOUTHWEST CORNER OF THE SE 1/4 OF THE NE 1/4 OF SAID SECTION 14.





MIAMI-DADE COUNTY
HEARING MAP

Process Number
Z2014000008



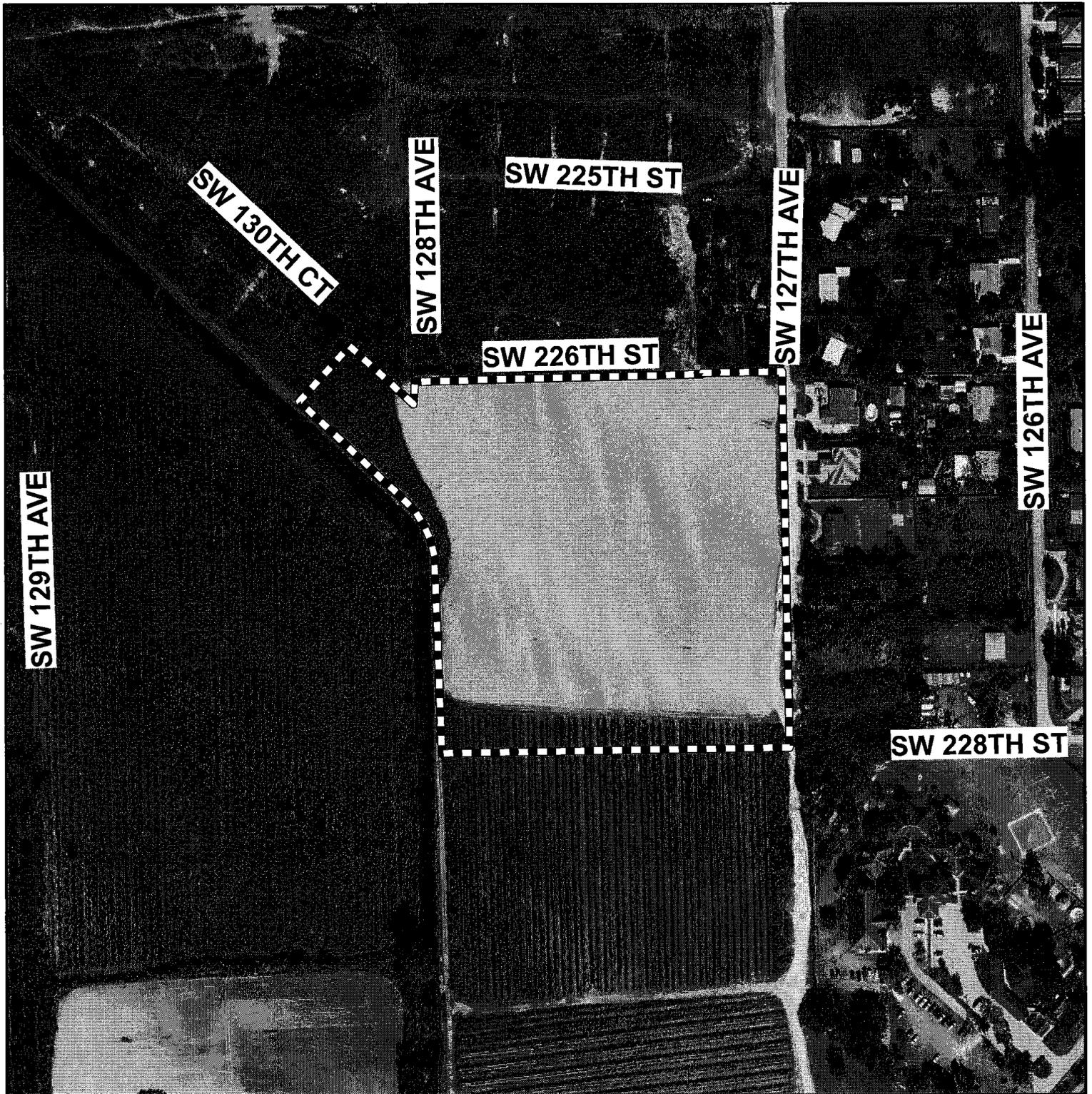
Section: 13/14 Township: 56 Range: 39
 Applicant: MELVIN H DAVIDOW TR AND D R HORTON INC
 Zoning Board: C14
 Commission District: 8
 Drafter ID: JEFFER GURDIAN
 Scale: NTS

Legend

 Subject Property Case



REVISION	DATE	BY
		26



MIAMI-DADE COUNTY

AERIAL YEAR 2013

Process Number

Z2014000008



Section: 13/14 Township: 56 Range: 39

Applicant: MELVIN H DAVIDOW TRUST AND D. R. HORTON, INC.

Zoning Board: C14

Commission District: 8

Drafter ID: JEFFER GURDIAN

Scale: NTS

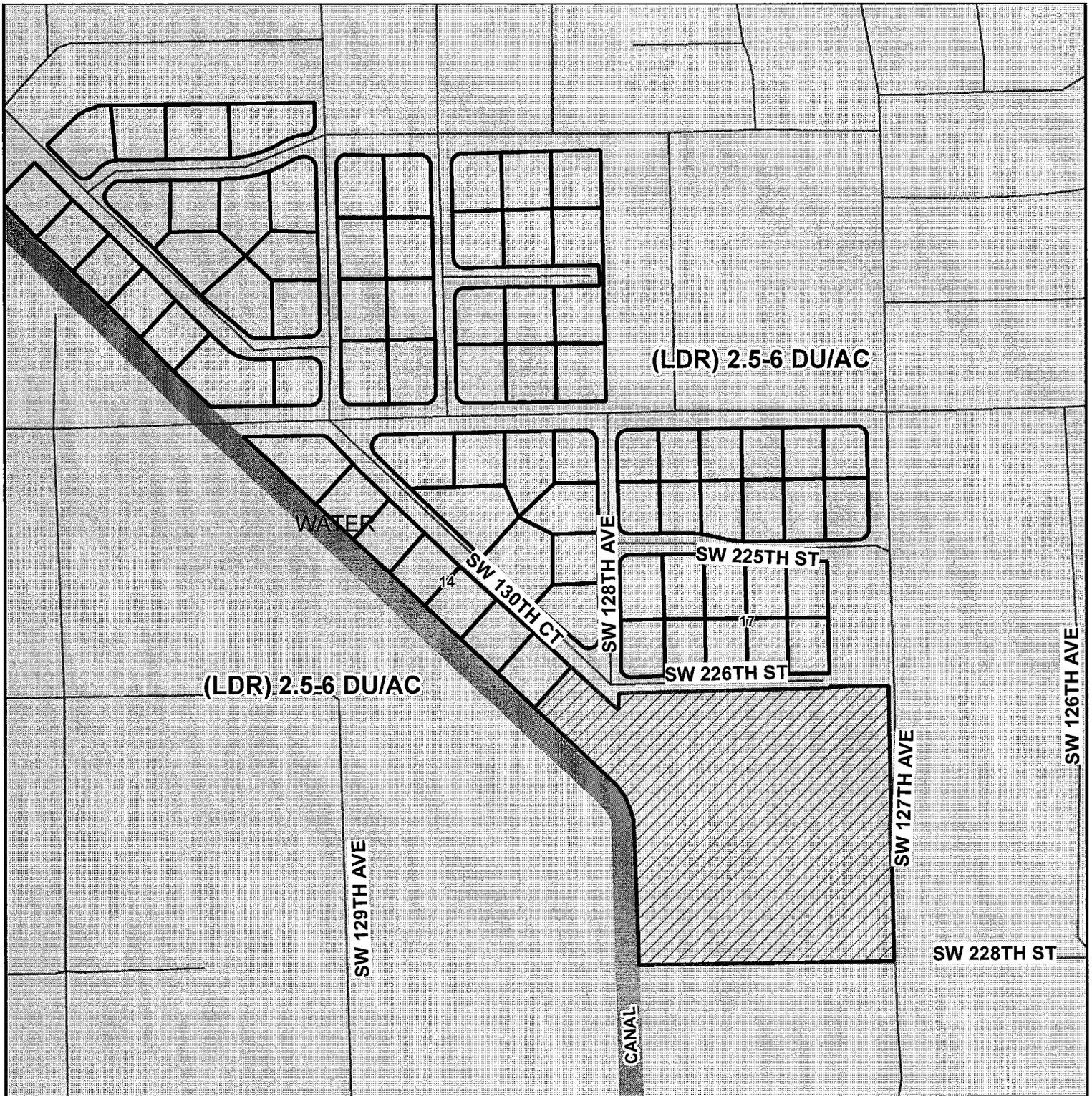
Legend

 Subject Property



SKETCH CREATED ON: Monday, February 24, 2014

REVISION	DATE	BY
		27



MIAMI-DADE COUNTY
CDMP MAP

Process Number
Z2014000008



Section: 13/14 Township: 56 Range: 39
 Applicant: MELVIN H DAVIDOW TR AND D R HORTON INC
 Zoning Board: C14
 Commission District: 8
 Drafter ID: JEFFER GURDIAN
 Scale: NTS

Legend

 Subject Property Case



SKETCH CREATED ON: Thursday, February 20, 2014

REVISION	DATE	BY

This instrument was prepared by:
Name: Alan S. Krischer, Esq.
Holland & Knight, LLP
701 Brickell Avenue
Miami, Florida 33131

PLANNING AND ZONING
AGENDA OFFICE

2014 JUN -3 P 12: 16

DRAFT

Melvin H Davidow
Trust and DR.
Horton, Inc.

C2A514
Z14-08

6/11/14

(Space reserved for Clerk)

DECLARATION OF RESTRICTIONS

WHEREAS, the undersigned Owner, Melvin H. Davidow Trust, holds the fee simple title to the land in Miami-Dade County, Florida, described in Exhibit "A," attached hereto, and hereinafter called the "Property," which is supported by the attorney's opinion, and

IN ORDER TO ASSURE the County that the representations made by the owner during consideration of Public Hearing No. 2014-003 will be abided by the Owner freely, voluntarily and without duress makes the following Declaration of Restrictions covering and running with the Property:

- (1) The Property shall be developed substantially in accordance with that certain plot plan previously submitted entitled "Bonita V Site Plan" prepared by Ludovici & Orange, dated last revised May 5, 2014, consisting of one page.
- (2) The Property shall be developed with the application of Severable Use Rights in accordance with section 33B-45 of the Miami-Dade County Zoning Code.

County Inspection. As further part of this Declaration, it is hereby understood and agreed that any official inspector of Miami-Dade County, or its agents duly authorized, may have the privilege at any time during normal working hours of entering and inspecting the use of the premises to determine whether or not the requirements of the building and zoning regulations and the conditions herein agreed to are being complied with.

Covenant Running with the Land. This Declaration on the part of the Owner shall constitute a covenant running with the land and may be recorded, at Owner's expense, in the public records of Miami-Dade County, Florida and shall remain in full force and effect and be binding upon the undersigned Owner, and their heirs, successors and assigns until such time as the same is modified or released. These restrictions during their lifetime shall be for the benefit of, and limitation upon, all present and future owners of the real property and for the benefit of Miami-Dade County and the public welfare. Owner, and their heirs, successors and assigns, acknowledge that acceptance of this Declaration does not in any way obligate or provide a limitation on the County.

Term. This Declaration is to run with the land and shall be binding on all parties and all persons claiming under it for a period of thirty (30) years from the date this Declaration is recorded after which time it shall be extended automatically for successive periods of ten (10) years each, unless an instrument signed by the, then, owner(s) of the Property has been

recorded agreeing to change the covenant in whole, or in part, provided that the Declaration has first been modified or released by Miami-Dade County.

Modification, Amendment, Release. This Declaration may be modified, amended or released as to the Property, or any portion thereof, by a written instrument executed by the, then, owner(s) of the property, including joinders of all mortgagees, if any, provided that the same is also approved by the Board of County Commissioners or Community Zoning Appeals Board of Miami-Dade County, Florida, whichever by law has jurisdiction over such matters, after public hearing. It is provided, however, in the event that the Property is annexed to an existing municipality or the Property is incorporated into a new municipality, any modification, amendment, or release shall not become effective until it is approved by such municipality and is thereafter approved by the Board of County Commissioners, in accordance with applicable procedures.

Enforcement. Enforcement shall be by action against any parties or person violating, or attempting to violate, any covenants. The prevailing party in any action or suit pertaining to or arising out of this declaration shall be entitled to recover, in addition to costs and disbursements allowed by law, such sum as the Court may adjudge to be reasonable for the services of his attorney. This enforcement provision shall be in addition to any other remedies available at law, in equity or both.

Authorization for Miami-Dade County to Withhold Permits and Inspections. In the event the terms of this Declaration are not being complied with, in addition to any other remedies available, the County is hereby authorized to withhold any further permits, and refuse to make any inspections or grant any approvals, until such time as this declaration is complied with.

Election of Remedies. All rights, remedies and privileges granted herein shall be deemed to be cumulative and the exercise of any one or more shall neither be deemed to constitute an election of remedies, nor shall it preclude the party exercising the same from exercising such other additional rights, remedies or privileges.

Presumption of Compliance. Where construction has occurred on the Property or any portion thereof, pursuant to a lawful permit issued by the County, and inspections made and approval of occupancy given by the County, then such construction, inspection and approval shall create a rebuttable presumption that the buildings or structures thus constructed comply with the intent and spirit of this Declaration.

Severability. Invalidation of any one of these covenants, by judgment of Court, shall not affect any of the other provisions which shall remain in full force and effect. However, if any material portion is invalidated, the County shall be entitled to revoke any approval predicated upon the invalidated portion

Recording. This Declaration shall be filed of record in the public records of Miami-Dade County, Florida at the cost of the Owners following the approval of the Application. This Declaration shall become effective immediately upon recordation. Notwithstanding the previous sentence, if any appeal is filed, and the disposition of such appeal results in the denial of the application, in its entirety, then this Declaration shall be null and void and of no further effect. Upon the disposition of an appeal that results in the denial of the

Application, in its entirety, and upon written request, the Director of the Regulatory and Economic Resources Department or the executive officer of the successor of said department, or in the absence of such director or executive officer by his/her assistant in charge of the office in his/her absence, shall forthwith execute a written instrument, in recordable form, acknowledging that this Declaration is null and void and of no further effect.

Acceptance of Declaration. Acceptance of this Declaration does not obligate the County in any manner, nor does it entitle the Owner to a favorable recommendation or approval of any application, zoning or otherwise, and the Board of County Commissioners and/or any appropriate Community Zoning Appeals Board retains its full power and authority to deny each such application in whole or in part and to decline to accept any conveyance or dedication.

Owner. The term Owner shall include the Owner, and its heirs, successors and assigns.

[Execution Pages Follow]

Declaration of Restrictions

Page 4

Signed, sealed and acknowledged on this ____ day of _____, 201__.

WITNESSES:

Toby R. Davidow, as Trustee of the Melvin H. Davidow Trust

Signature

Signature

Printed Name

Name/Title

Signature

Printed Name

STATE OF FLORIDA

)

) SS

COUNTY OF MIAMI-DADE

)

The foregoing instrument was acknowledged before me this ____ day of _____, 201__, by Toby R. Davidow, as trustee of the Melvin H. Davidow Trust, on behalf of said trust, for the purposes stated herein. He/She is personally known to me or has produced _____ as identification.

Notary Public - State of Florida

My Commission Expires: _____